
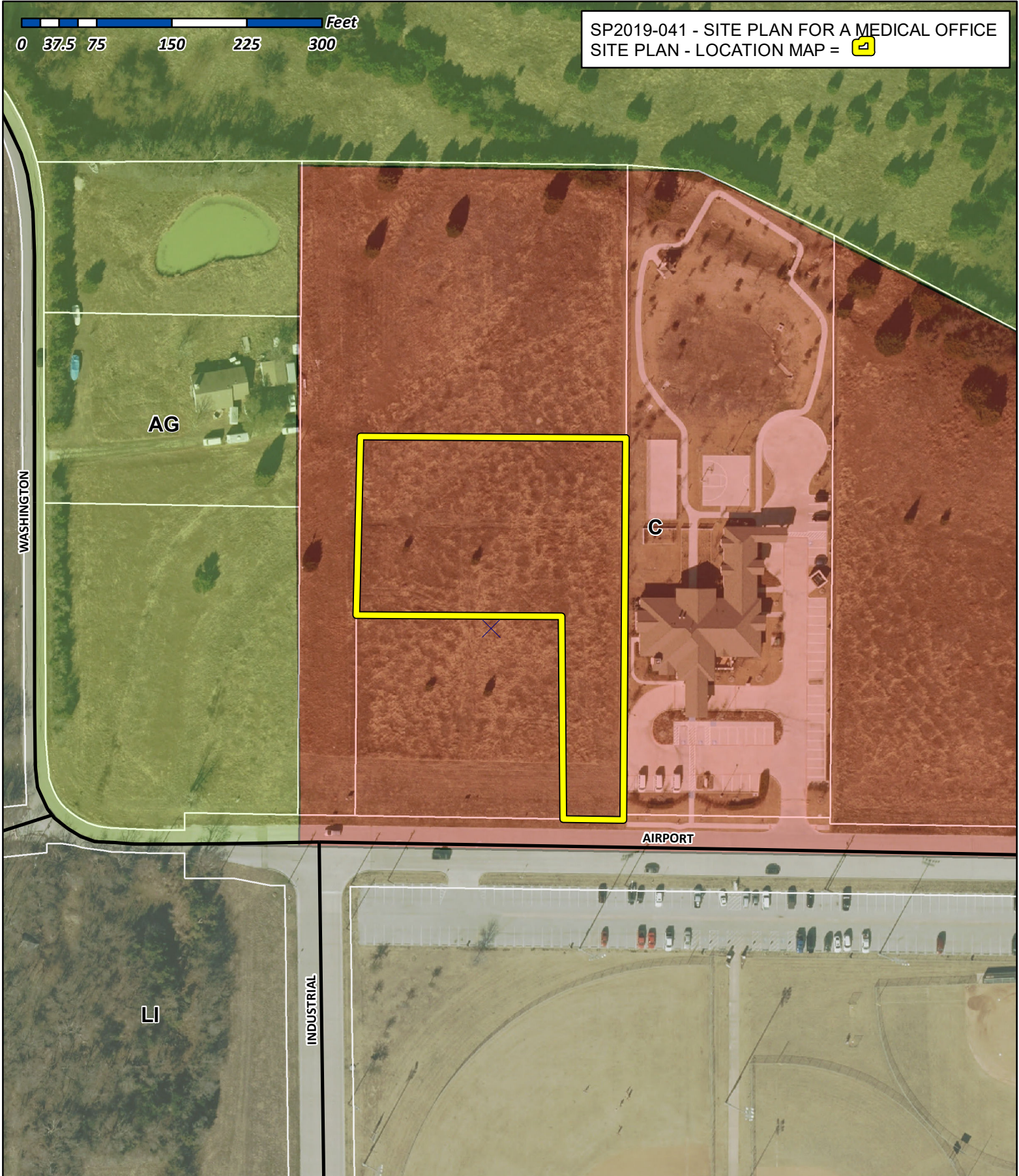


0 37.5 75 150 225 300 Feet

SP2019-041 - SITE PLAN FOR A MEDICAL OFFICE
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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DRAWN BY:
L.L.

CHECKED BY:

DATE:
10.16.2019

ISSUED FOR PRE APPROVAL:
10.18.2019

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE

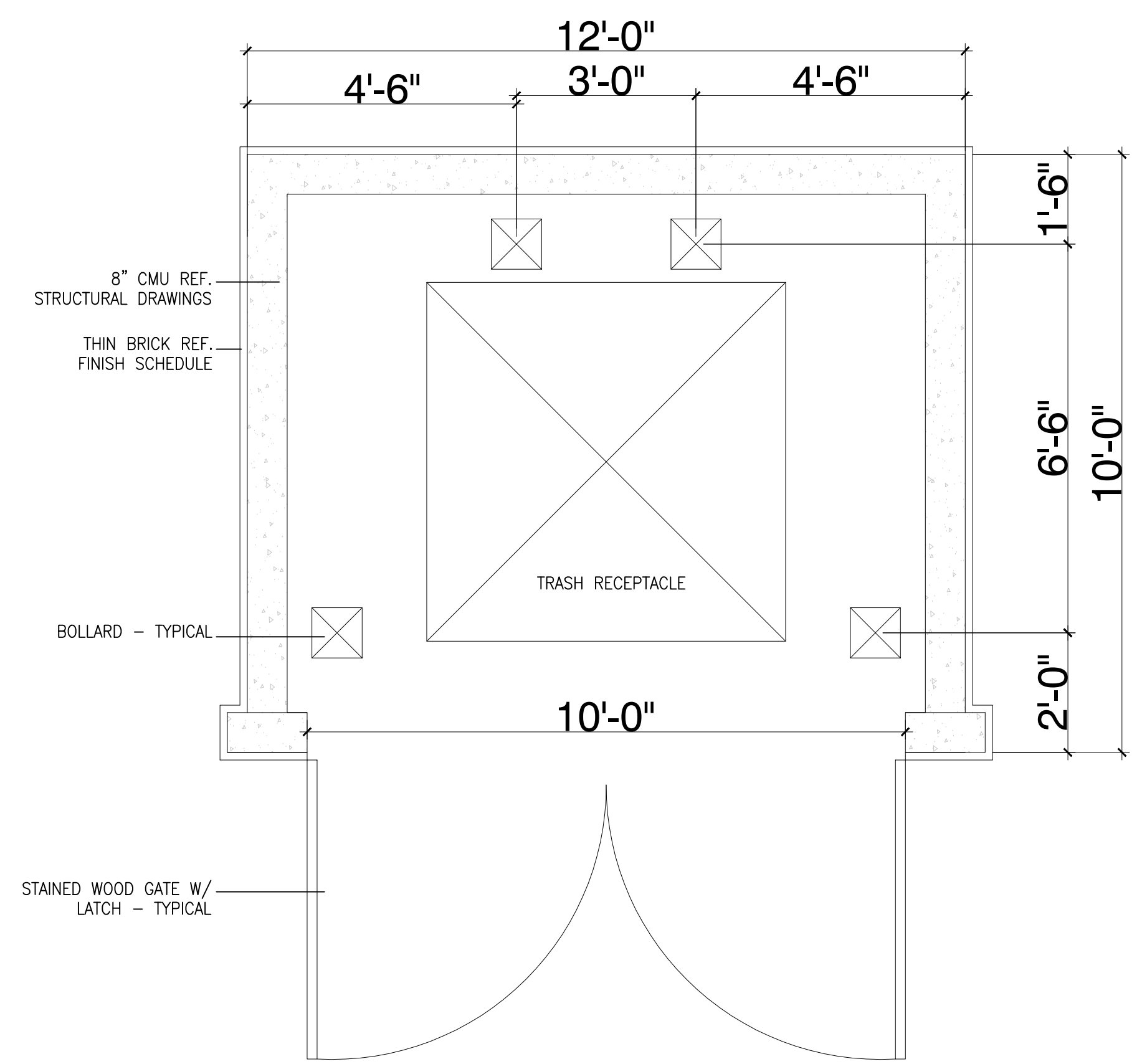
LOCATION:
AIRPORT ROAD • ROCKWALL • TX • 75087

DATE:
10.15.2019

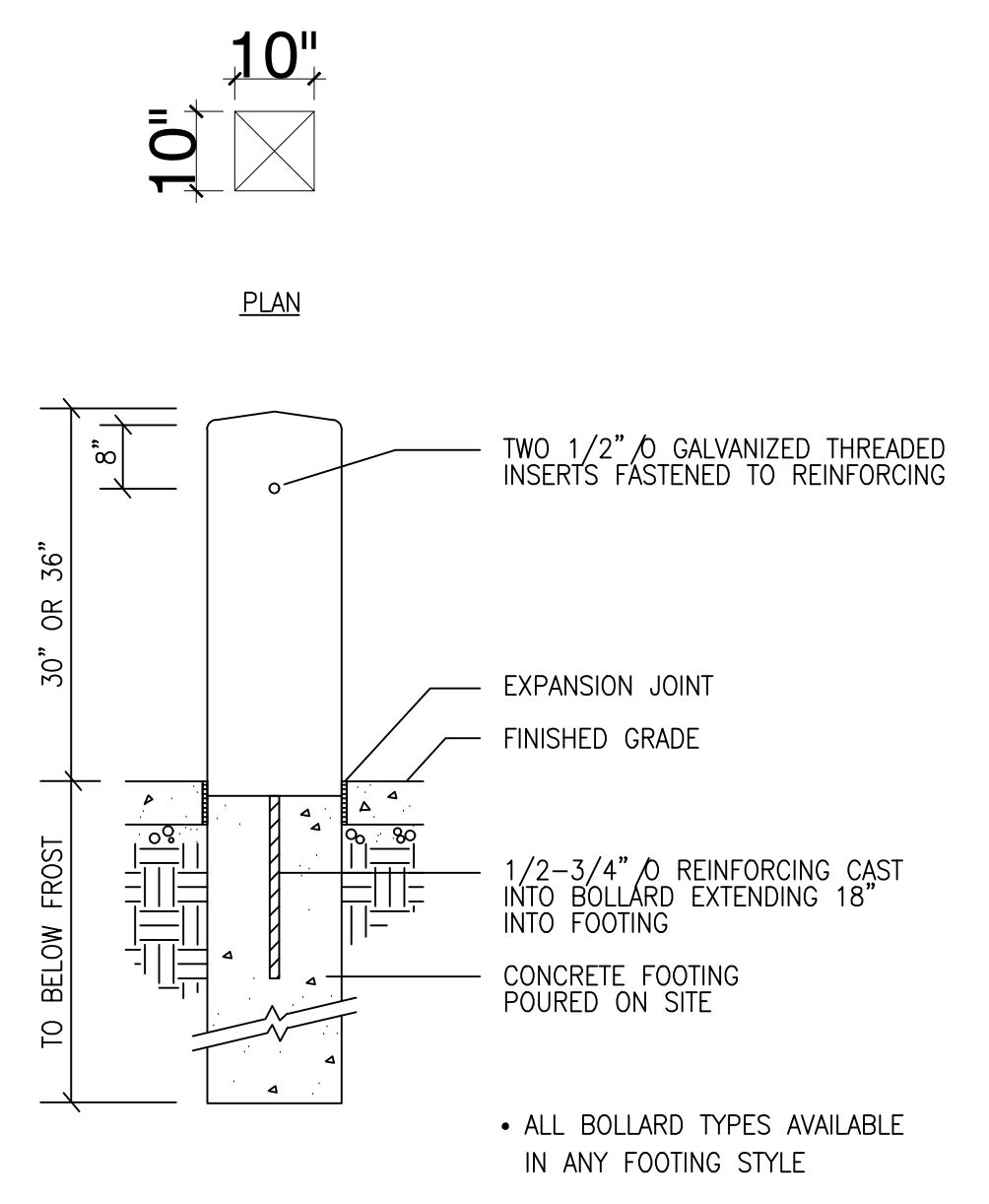
CASE # XXXX

SHEET TITLE:
SITE PLAN

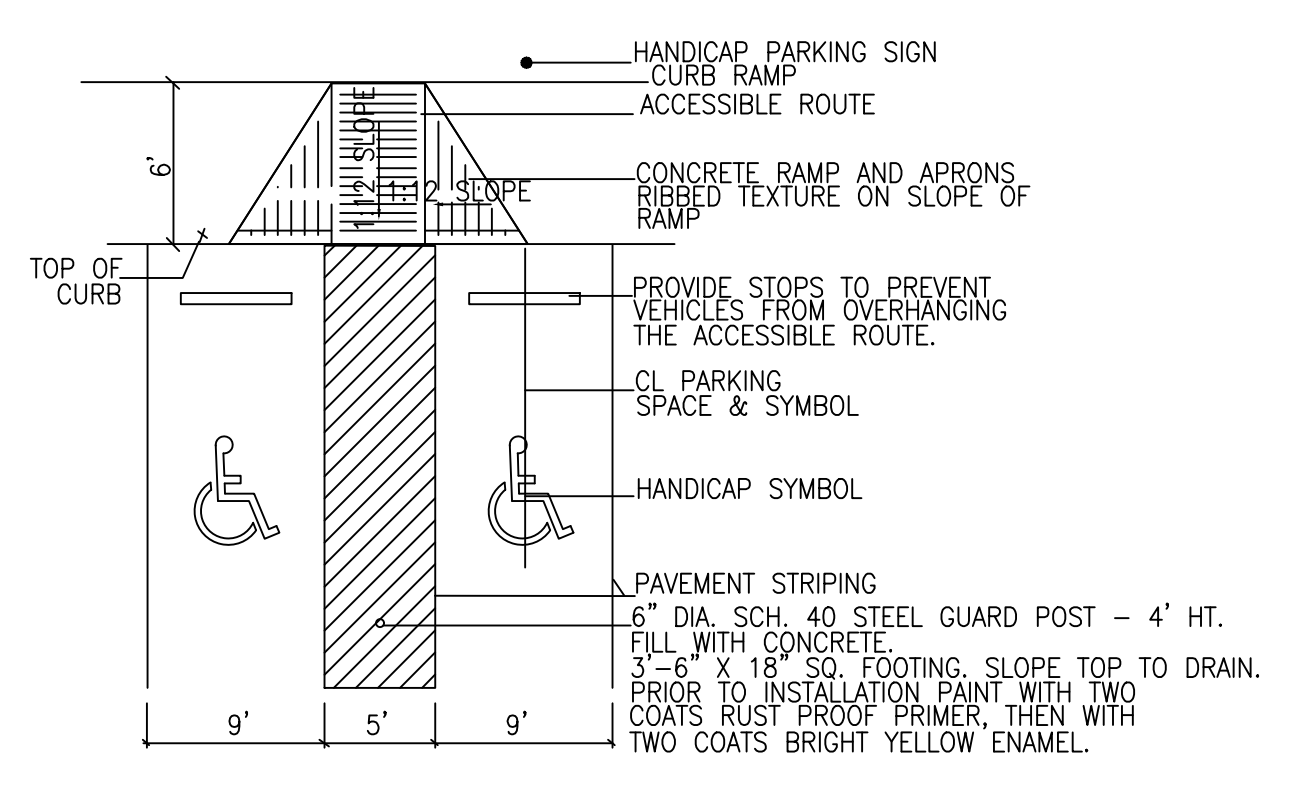
SHEET NO.:
A - 0.01



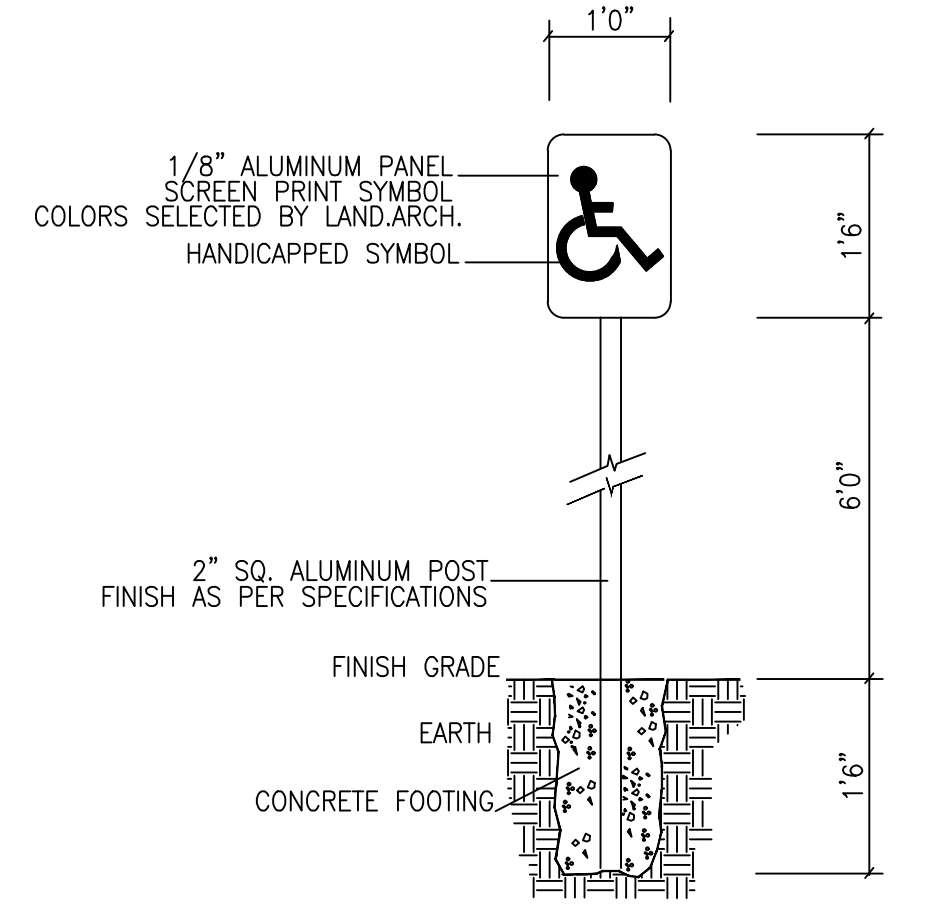
02 TRASH SCREEN
 SCALE: 1/2" = 1' - 0"



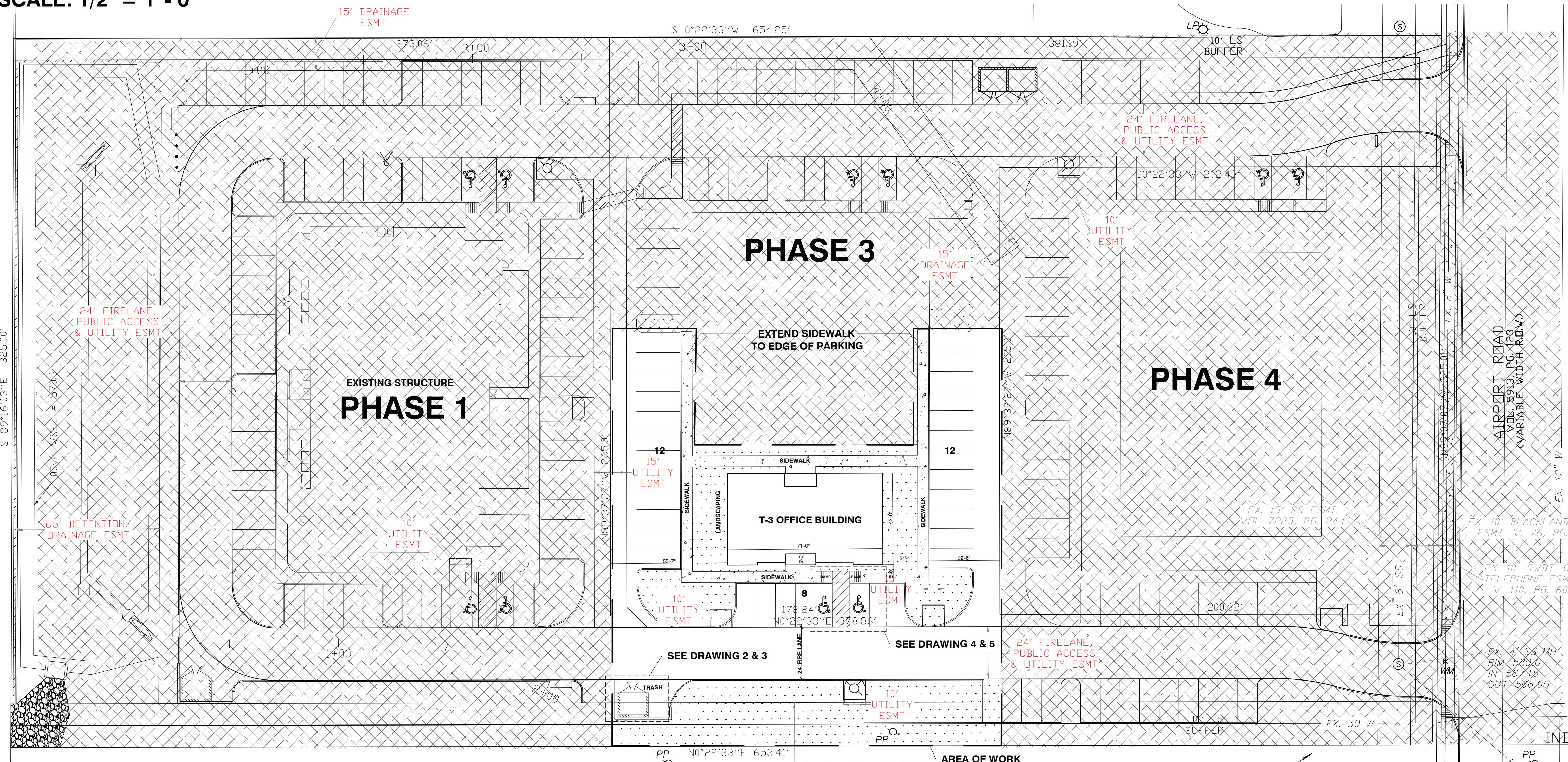
03 BOLLARD (TYP)
 SCALE: 1/2" = 1' - 0"



04 ADA RAMP (TYP)
 SCALE: 1/2" = 1' - 0"



05 ADA SIGN (TYP)
 SCALE: 1/2" = 1' - 0"

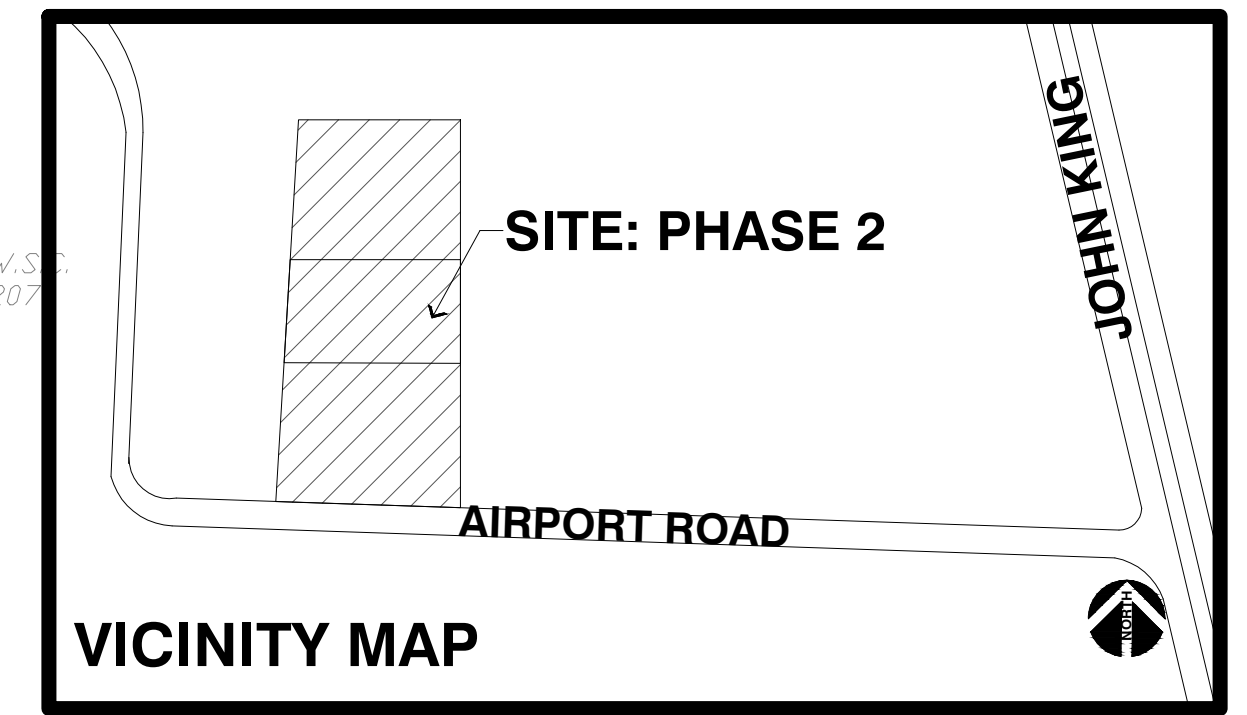


01 SITE PLAN
 SCALE: 1" = 30' - 0"

LEGEND

SITE NOTES

- TOTAL LOT SQUARE FOOTAGE: 24,570
- IMPERVIOUS AREA: 11,685
- IMPERVIOUS / LANDSCAPE: 48%
- PARKING REQUIREMENTS: 1 SPACE / 500 = 5 SPACES REQUIRED
- HANDICAP SPACES REQUIRED: 1 ACCESSIBLE IN 0-25 SPACES - 2 PROVIDED
- TOTAL PARKING SPACES PROVIDED: 32
- ALL PARKING SPACES AT 9' X 21'



VICINITY MAP

MARY HALL KEENE
 4.00 ACRES
 VOL. 172 PG. 202
 D.R.C.T.

PHASE 2

T.P.L. CO. EASEMENT
 VOL. 54, P. 75
 VOL. 198 PG. 90



COLUMBIA PARK ADDITION
 LOT 4, BLOCK A
 CABINET H, SLIDE 329
 P.R.R.C.T.

EX. CONC. DRIVE

15' DRAINAGE
 ESMT.

S 0°22'33"W 654.25'

10' LS
 BUFFER

273.86' 2+00

3+80

381.19'

24' FIRELANE,
 PUBLIC ACCESS
 & UTILITY ESMT

50°22'33"W 202.43'

10'
 UTILITY
 ESMT

15'
 DRAINAGE
 ESMT

24' FIRELANE,
 PUBLIC ACCESS
 & UTILITY ESMT

EXISTING STRUCTURE

PHASE 1

PHASE 3

PHASE 4

EXTEND
 SIDEWALK
 TO EDGE OF
 PARKING

EXTEND
 SIDEWALK
 TO EDGE OF
 PARKING

12
 15'
 UTILITY
 ESMT

12

100' MSEL = 570.6

65' DETENTION/
 DRAINAGE ESMT

10'
 UTILITY
 ESMT

T-3 OFFICE BUILDING

EX. 15' SS ESMT.
 VOL. 7225, PG. 244

10'
 UTILITY
 ESMT

UTILITY
 ESMT

24' FIRELANE,
 PUBLIC ACCESS
 & UTILITY ESMT

10'
 UTILITY
 ESMT

PP N0°22'33"E 653.41'

EX. 20' N.T.M.V.D. ESMT.
 VOL. 561, P. 252

AREA OF WORK

MARY HALL KEENE
 4.00 ACRES
 VOL. 172, PG. 202
 D.R.R.C.T.

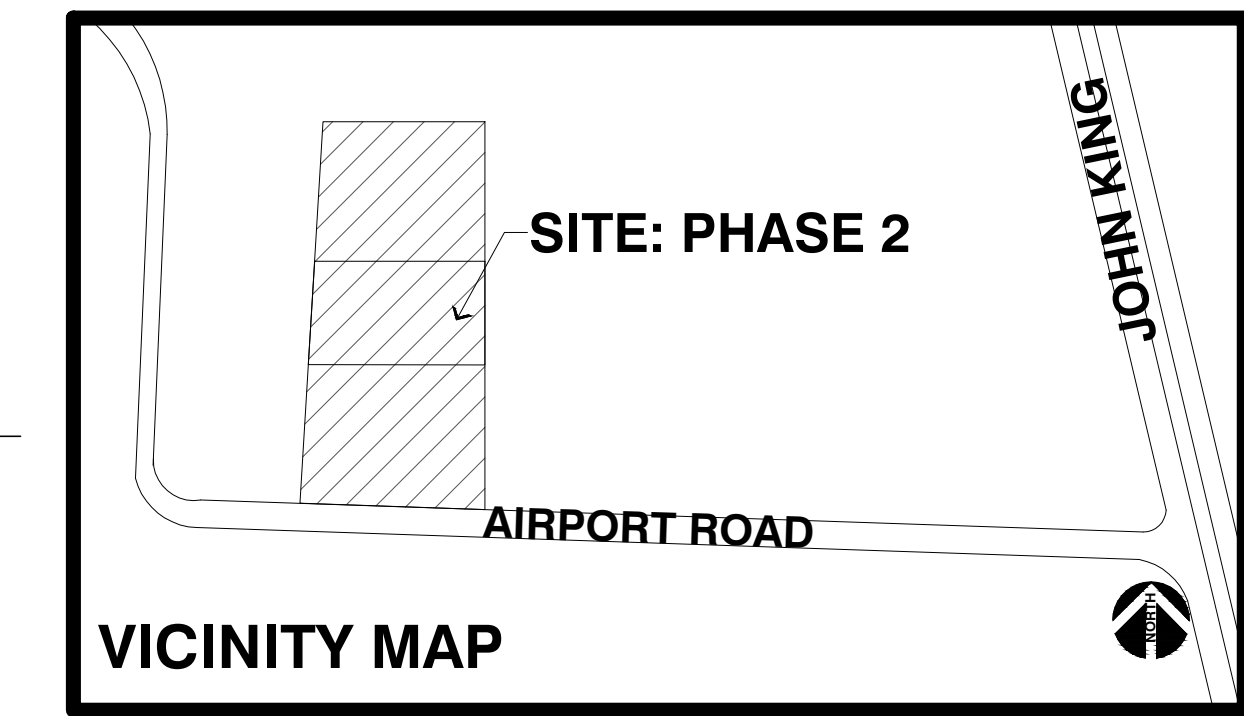
PHASE 2

T.P.L. CO. EASEMENT
 VOL. 54, P. 75
 VOL. 198 PG. 90

01 **SITE PLAN**
 SCALE: 1" = 20' - 0"

SITE NOTES

- TOTAL LOT SQUARE FOOTAGE: 24,670
- IMPERVIOUS AREA: 11,685
- IMPERVIOUS / LANDSCAPE: 48%
- PARKING REQUIREMENTS: 1 SPACE / 500 = 5 SPACES REQUIRED
- HANDICAP SPACES REQUIRED: 1 ACCESSIBLE IN 0-25 SPACES - 2 PROVIDED
- TOTAL PARKING SPACES PROVIDED: 32
- ALL PARKING SPACES AT 9' X 21'



**LATIMER
 DESIGNS** INC.
 ROCKWALL, TEXAS
 903.268.1167
 latimerdesigngroup@gmail.com

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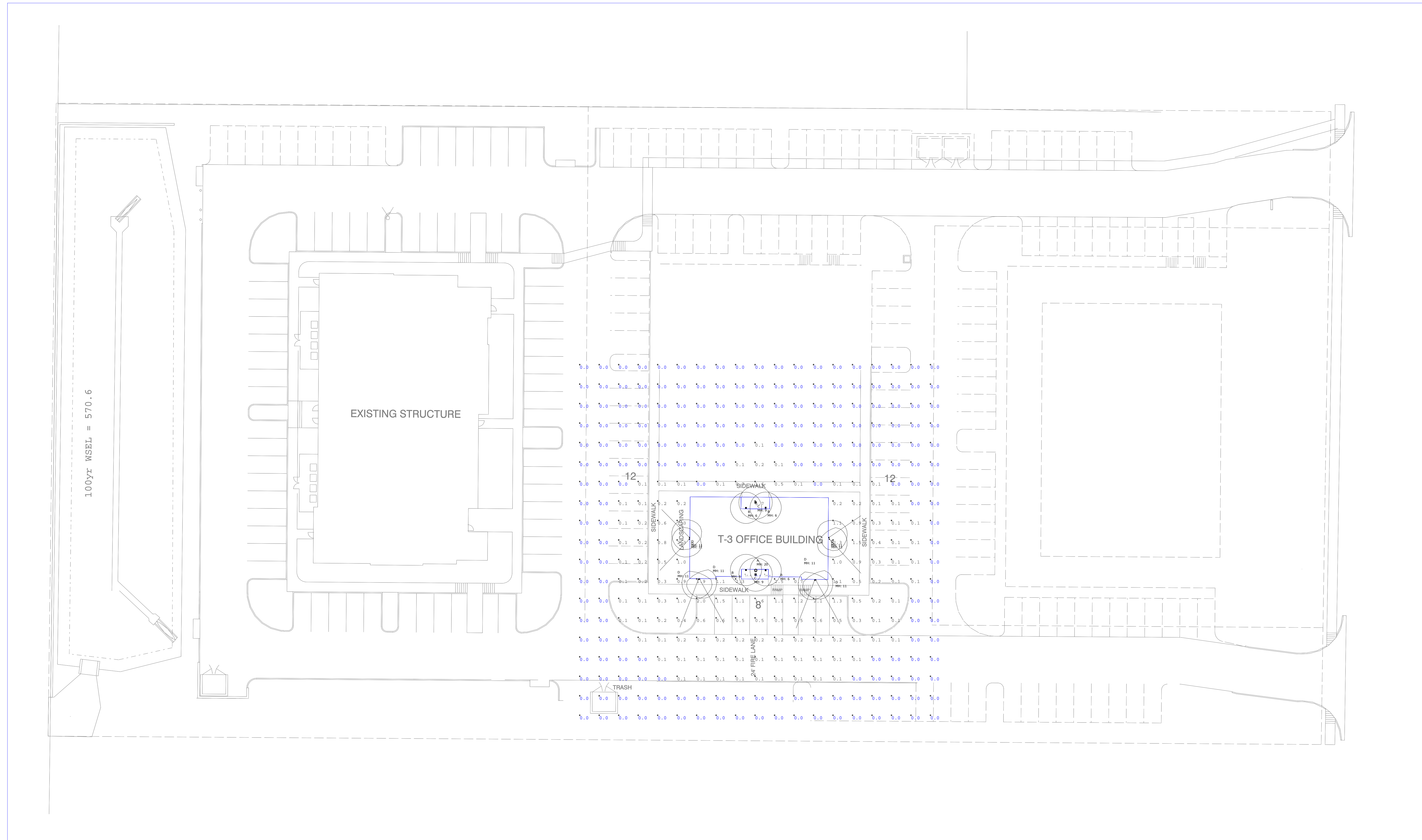
LOCATION:
 AIRPORT ROAD • ROCKWALL • TX • 75087

DATE:
 10.15.2019

CASE # XXXX

SHEET TITLE:
SITE PLAN

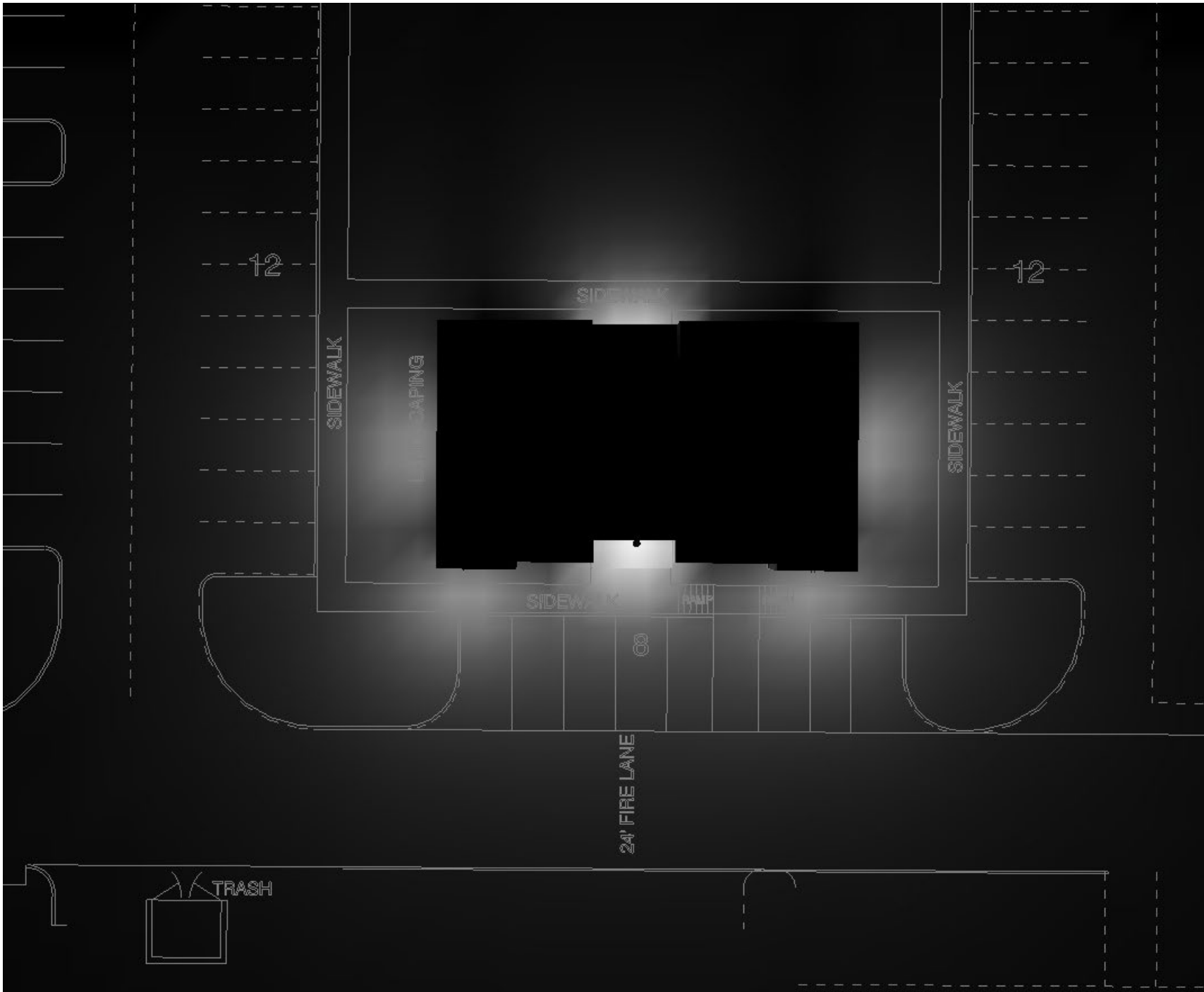
SHEET NO.:
A - 0.01



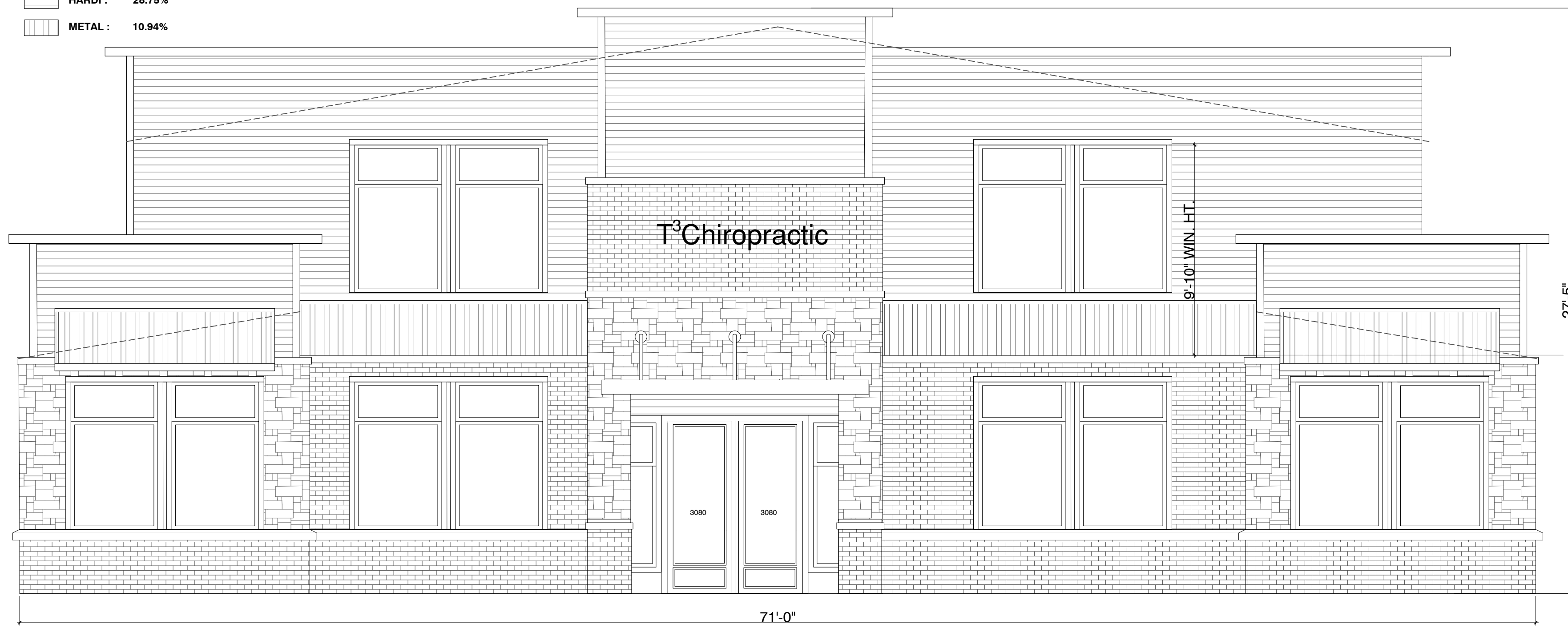
Luminaire Schedule								
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	A	1	HI LITE_H-15316-B	404	60	1.000	2.261	2.800
⊕	B	4	FEISS_OL180130RB MODIFIED FROM BRUCK DAZZLE 1	404	60	1.000	2.261	2.800
⊕	C	2	FEISS_F2959/10RB MODIFIED FROM BRUCK DAZZLE 1	404	75	1.000	2.261	2.800
⊙	D	8	LITHONIA_OLF 2RH 40K 120 FINISH	2275	24.5	1.000	0.404	0.500

Calculation Summary							
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	
CANOPY	0	Fc	13.20	14.4	11.8	1.12	
GRADE_Planar	0	Fc	0.20	6.7	0.0	N.A.	

Notes:
 1. Surface reflectances: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Dynamic lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.



- BRICK : 47.38%
- STONE : 12.96%
- HARDI : 28.75%
- METAL : 10.94%



FRONT ELEVATION
SCALE: 1/4" = 1' - 0"

- BRICK : 47.36%
- STONE : 6.32%
- HARDI : 15.86%
- METAL : 30.46%



LEFT ELEVATION
SCALE: 1/4" = 1' - 0"

- BRICK : 65.46%
- STONE : 7.16%
- HARDI : 16.68%
- METAL : 10.70%



BACK ELEVATION
SCALE: 1/4" = 1' - 0"

- BRICK : 44.42%
- STONE : 6.22%
- HARDI : 15.86%
- METAL : 33.50%

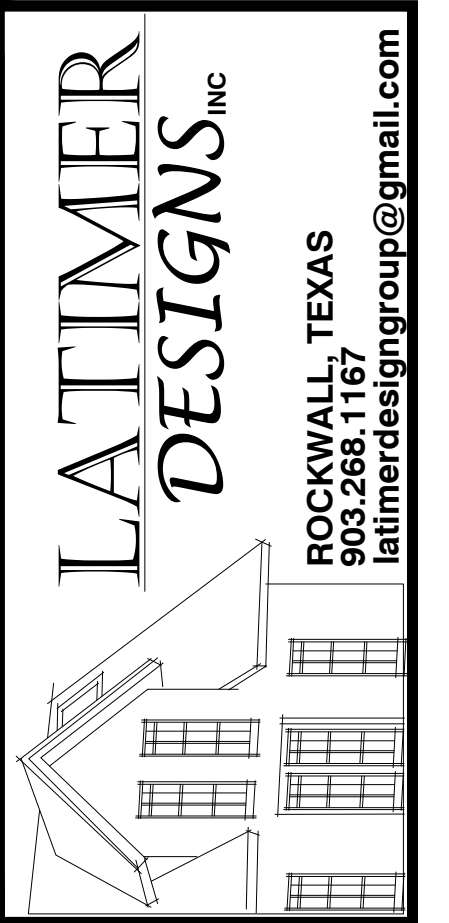


RIGHT ELEVATION
SCALE: 1/4" = 1' - 0"

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

SITE DATA TABLE	
PROPERTY ID	COLUMBIA PARK ADDITION / LOT 2 / BLOCK A
ADDRESS	AIRPORT ROAD, ROCKWALL, TX
ZONING	PD-50
PROPERTY USE / TYPE	OFFICE / B
PROPERTY AREA (GROSS)	24,570 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	27'-5"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	32 SPACES
ALL SF TOTALS ARE APPROXIMATE	

BUILDING DEVELOPMENT	
OWNER	KEVIN LEFERE 469.628.9106 KLEFERE@ZANATAS.COM
GENERAL CONTRACTOR	TRITON GENERAL CONTRACTING REESE BAEZ 214.738.8752 RBAEZ@TRITONGC.COM
DESIGN FIRM	LATIMER DESIGNS INC. LEE ANN LATIMER 903.268.1167 LATIMERDESIGNGROUP@GMAIL.COM
TENANT	T3 CHIROPRACTICS DR. CASSIDIE 214.606.3980



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PROJECT/CLIENT:	T3 CHIROPRACTIC OFFICE
LOCATION:	AIRPORT ROAD • ROCKWALL • TX • 75087
DATE:	10.15.2019

CASE #	
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SHEET TITLE:	ELEVATIONS
SHEET NO.:	A - 1.01



T³ Chiropractic