



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2930 Ridge Road

Subdivision Lake Ridge Estates

Lot

26

Block

General Location Northwest Corner Ridge Road and Cemetary Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-032

Current Use Residential

Proposed Zoning Same - No change

Proposed Use Retail/Restaurant

Acreage 1.162

Lots [Current]

1

Lots [Proposed]

1

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Retail Partners, LLC

Applicant Carrillo Engineering, LLC

Contact Person Eddie Martin

Contact Person Anna C. Blackwell

Address 550 Bailey Avenue

Address 301 Commerce St.

Suite 550

Suite 1410

City, State & Zip Fort Worth TX

City, State & Zip Fort Worth, TX 76102

Phone 8178709147

Phone 8176974996

E-Mail jrm@retailpartnersllc.com

E-Mail anna.blackwell@carrilloeng.com

NOTARY VERIFICATION [REQUIRED]

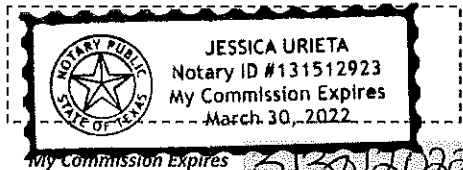
Before me, the undersigned authority, on this day personally appeared John Russell Martin [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 210.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 12 day of September, 2019. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."


Given under my hand and seal of office on this the 11th day of September, 2019.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas



0 25 50 100 150 200 Feet

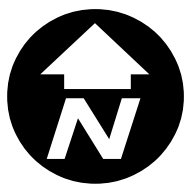
SP2019-037 - RIDGE ROAD RETAIL CENTER
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

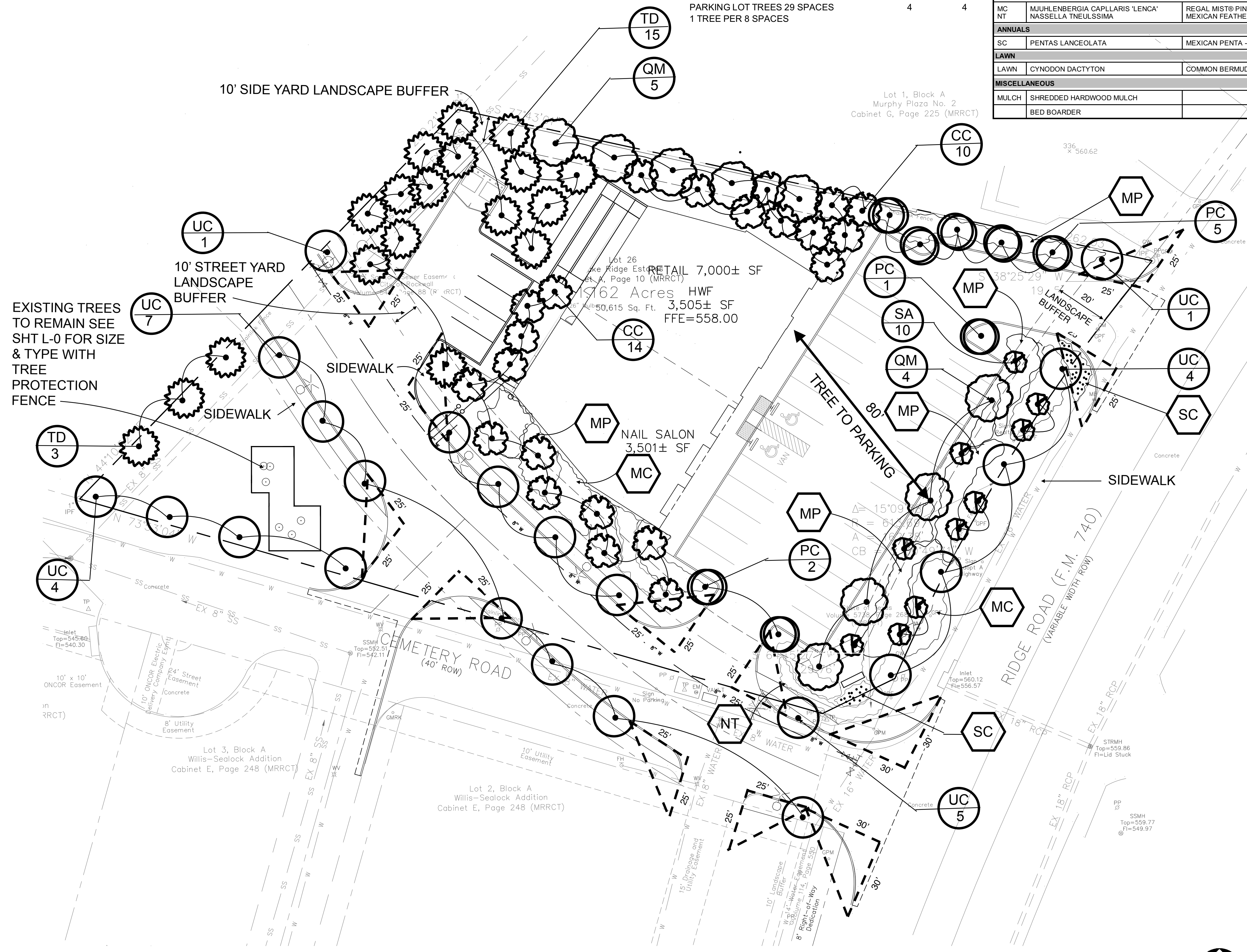


LANDSCAPE REQUIREMENTS

STREETScape 10 - LANDSCAPE BUFFER	REQUIRED TREES	PROPOSED TREES
CEMETERY ROAD STREET TREES 1 PER 30 LF	11	11
RIDGE ROAD STREET TREES 1 PER 50 LF 165 LF CANOPY TREE ORNAMENTAL TREE	4	4
PARKING LOT TREES 29 SPACES 1 TREE PER 8 SPACES	4	4

PLANT LIST (IN SECTION 6)

SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	HEIGHT	SPREAD	ROOT BALL	REMARKS
LARGE SIZE TREE								
QM	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	9	4" CAL.	12' - 14'	6' - 8'	CONTAINER	SINGLE TRUNK AND FULL
TD	TAXODIUM DISTICUM	BALD CYPRESS	18	4" CAL.	12' - 14'	6' - 8'	CONTAINER	SINGLE TRUNK AND FULL
UC	ULMUS CRASSIFOLIA	CEDAR ELM	22	4" CAL.	10' - 12'	6' - 8'	CONTAINER	SINGLE TRUNK - BRANCHED TO GROUND
MEDIUM SIZE TREE								
CC	CERCIS CANADENSIS 'TEXENSIS'	TEXAS REDBUD	24	3" CAL.	8' - 10'	4' - 6'	CONTAINER	MULTI-TRUNKED AND FULL
PC	PISTACHE CHINENSIS	CHINESE PISTACHE	8	3" CAL.	8' - 10'	4' - 6'	CONTAINER	MULTI-TRUNKED AND FULL
SA	STYPHNOLOBIUM AFFINE	EVE'S NECLACE	10	3" CAL.	8' - 10'	4' - 6'	CONTAINER	MULTI-TRUNKED AND FULL
SHRUBS								
MP	MYRICA PUSILLA	DWARF WAX MYRTLE	230	N/A	18"	18"	3 GALLON	PLACED AS SHOWN ON PLAN
ORNAMENTAL GRASSES								
MC	MJUHLENBERGIA CAPILLARIS 'LENCA'	REGAL MIST® PINK MUHLY GRASS	175	N/A	12" - 18"	12" - 18"	3 GALLON	FULL MATCHED 6" O.C. TRIA. SPACED
NT	NASSELLA TNEULSSIMA	MEXICAN FEATHER GRASS	150	N/A	6" - 8"	6" - 8"	1 GALLON	FULL MATCHED 6" O.C. TRIA. SPACED
ANNUALS								
SC	PENTAS LANCEOLATA	MEXICAN PENTA - SOLID COLOR	235	N/A	6" - 8"	6" - 8"	4" POT	FULL MATCHED 6" O.C. TRIA. SPACED
LAWN								
LAWN	CYNODON DACTYTON	COMMON BERMUDA GRASS						SOLID SOD STAGGARED JOINTS
MISCELLANEOUS								
MULCH	SHREDDED HARDWOOD MULCH							3 INCH DEPTH PLACE OVER FILTER FABRIC
BED BOARDER								SEE BOARDER MATERIAL SHEET L-1

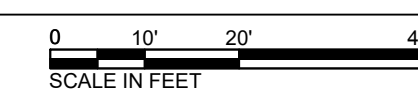
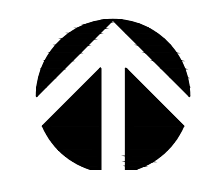


GENERAL PLANTING NOTES

- CONTRACTOR SHALL ADHERE TO CITY CONSTRUCTION REQUIREMENTS INCLUDING BUT NOT LIMITED TO ANY PERMITS, INSPECTIONS, AND METHODS OF MATERIAL INSTALLATION.
- CONTRACTOR SHALL ADHERE TO ALL AGENCY REQUIREMENTS MEANS AND METHODS OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES ABOVE AND BELOW GRADE, AS WELL AS FINDING OUT EACH COMPANY'S RESTRICTIONS ON WORKING WITHIN THEIR EASEMENTS AND UTILITY LINES PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING IMPROVEMENTS AND TO NOT DISTURB THOSE THAT ARE OUTSIDE OF THE SCOPE OF WORK. ANY STRUCTURES THAT ARE TO REMAIN WITHIN THE SCOPE OF WORK AREA SHALL NOT BE DAMAGED. PHOTOGRAPHS AND NOTES SHOULD BE MADE FOR ANY EXISTING DAMAGED CONDITIONS PRIOR TO COMMENCING CONSTRUCTION AND DISTRIBUTED TO OWNERS REPRESENTATIVE.
- A LANDSCAPE IRRIGATION PLAN SHALL BE PREPARED PRIOR TO LANDSCAPE CONSTRUCTION AND WILL BE DESIGNED BY A TEXAS LICENSED IRRIGATION DESIGNER. ALL PLANTING AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE AND RAIN SENSOR. THE SYSTEM SHALL BE DESIGNED TO MEET THE CITY AND THE STATE OF TEXAS IRRIGATION REQUIREMENTS. THE IRRIGATION INSTALLER SHALL BE A STATE OF TEXAS LICENSED IRRIGATION DESIGNER.
- CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE IF THERE ARE ANY WATER RESTRICTIONS AND WHAT IF ANY IMPACT THIS MAY HAVE ON THE INSTALLATION OF PLANT MATERIAL.
- QUANTITIES SHOWN IN PLANT LIST FOR PLANT MATERIAL AREA PROVIDED AS A COURTESY FOR THE CONTRACTOR. CONTRACTOR SHALL VERIFY PRIOR TO BIDDING THAT THE QUANTITY WILL COVER THE SPECIFIED AREAS AT THE SPACING STATED IN THE PLANT LIST UNDER THE REMARKS COLUMN. IF THERE IS A DIFFERENCE, THE CONTRACTOR SHALL MAKE NOTE ON THEIR BID AND SHOW THE ADDED OR REDUCED COST.
- CONTRACTOR SHALL ESTABLISH SOURCES FOR ALL PLANT MATERIAL ON PLANT LIST WHEN BIDDING PROJECT. NO PLANTS SUBSTITUTIONS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS FOR THIS PROJECT PRIOR TO INSTALLATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL NEW PLANTING BEDS SHALL HAVE A MINIMUM SIX (6") INCHES OF BED PREPARATION.
- LAWN AREA SHALL HAVE FERTILE AND CLEAN TOP SOIL TILLED 4" DEEP.
- GRADING IN PLANTING BEDS SHALL BE SMOOTH AND PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL STAKE OUT LOCATION OF ALL TREES, AND SHRUBS FOR APPROVAL BY OWNERS REPRESENTATIVE PRIOR TO PLANTING.
- MULCHING OF SHRUB AND ANY GROUND COVER AREAS SHALL HAVE 3 INCHES OF SHREDDED HARDWOOD MULCH.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING.
- THE PROPERTY OWNER, TENANT AND ANY AGENT THEREOF SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING MATERIALS IN GOOD CONDITION AT ALL TIMES SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE. ANY LANDSCAPING MATERIAL THAT DIES SHALL BE REPLACED WITH HEALTHY MATERIAL WITHIN A REASONABLE TIME. ALL LANDSCAPED AREAS SHALL BE CONTINUOUSLY MAINTAINED FREE OF WEEDS, DEBRIS AND LITTER. WEEDS AND NATURAL UNCULTIVATED GRASS SHALL NOT BE CONSIDERED LANDSCAPING.

LANDSCAPE LEGEND

- LARGE CANOPY TREE
- LARGE NON-CANOPY TREE
- ORNAMENTAL TREE
- SHRUB MASSING
- LAWN AND IRRIGATED AREAS
- STEEL EDGING



1 LANDSCAPE PLAN
 1"=20'-0"



PRELIMINARY
 THIS DRAWING IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF REGISTERED LANDSCAPE ARCHITECT STEPHEN C BERKENBILE, LIC. #1783 ON 10-16-2019. IT IS NOT INTENDED FOR BIDDING, PERMITTING, OR CONSTRUCTION PURPOSES.

ROCKWALL RETAIL
2930 SOUTH RIDGE ROAD
LAKERIDGE ESTATES, LOT 26
ROCKWALL, TEXAS

Issue Dates:
 10-16-2019

Date	Revisions


Scale:
 Drawn By:
 Checked By:

Sheet
L-1

BERKENBILE
LANDSCAPE ARCHITECTS
 DALLAS OFFICE
 2001 N Lamar Suite 290 (214) 922-9946
 Dallas, TX 75202
 SOUTHLAKE OFFICE
 2355 Johnson Rd (817) 379-9853
 Southlake, TX 76092

FILE NAME AND PATH: C:\Users\Steve\Dropbox (BLA, Inc)\Team Folder\Cre Carrillo Engineering\Cre-190801 Rockwall Retail\04-CD DD\Sheet Files\CD\re-190801 Rockwall Retail Planting.dwg
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 Printed by: Steve Pitt Date: 10/16/2019 8:03 PM

BERKENBILE
 LANDSCAPE ARCHITECTS
 DALLAS OFFICE
 2001 N Lamar Suite 290
 Dallas, TX 75202 (214) 922-9946
 SOUTHLAKE OFFICE
 2355 Johnson Rd
 Southlake, TX 76092 (817) 379-9853

Carrillo Engineering, LLC
 301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102
 Phone 817-697-4996 - Firm Registration #1-15893


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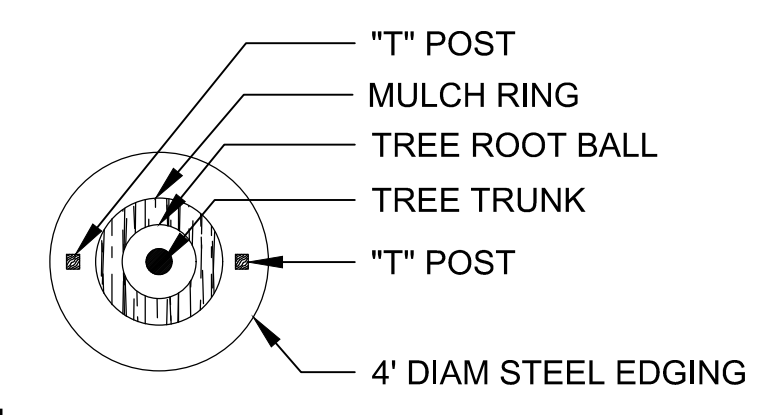
ROCKWALL RETAIL
 2930 SOUTH RIDGE ROAD
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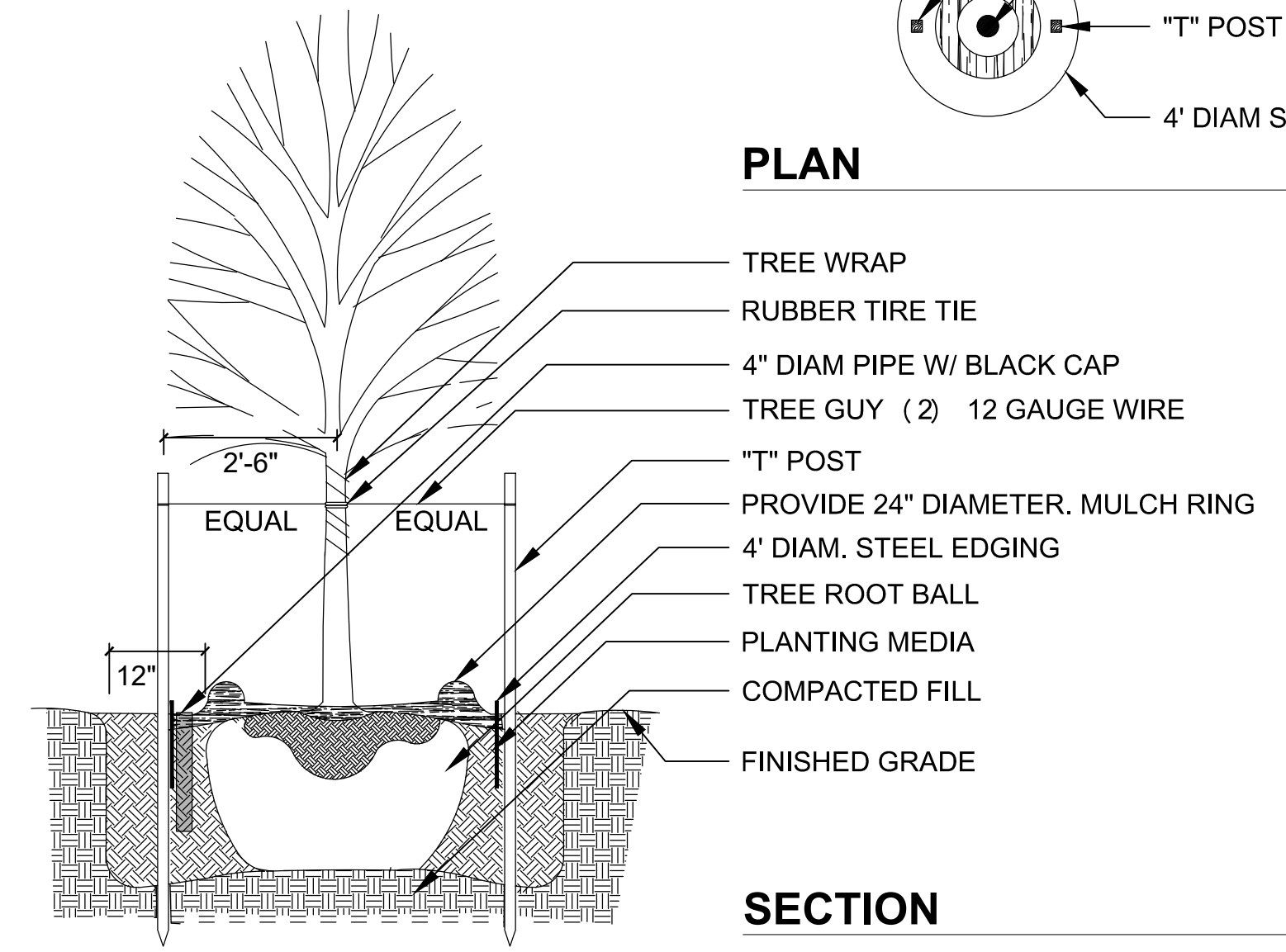
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 Checked By:

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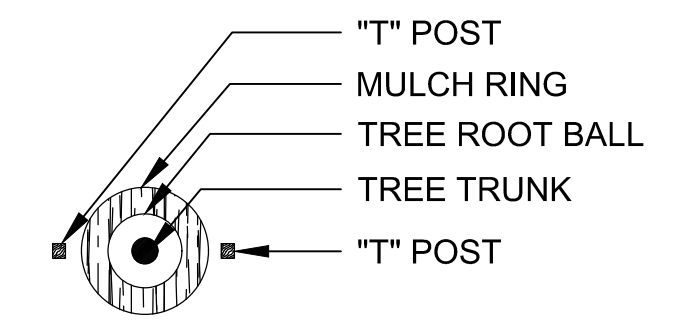


PLAN

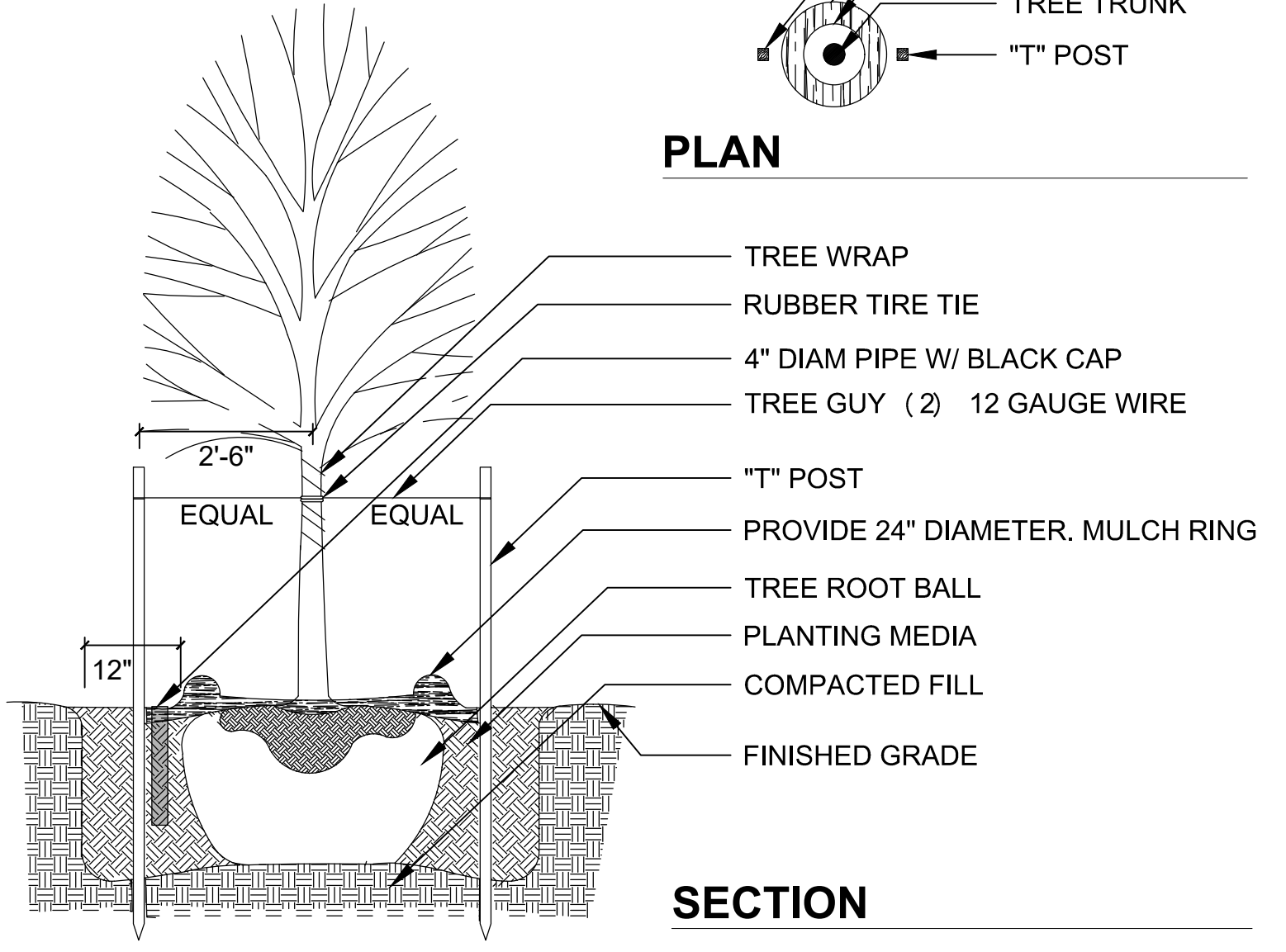


SECTION

1 TREE PLANTING IN LAWN WITH 4' DIAMETER STEEL EDGING
 NOT TO SCALE

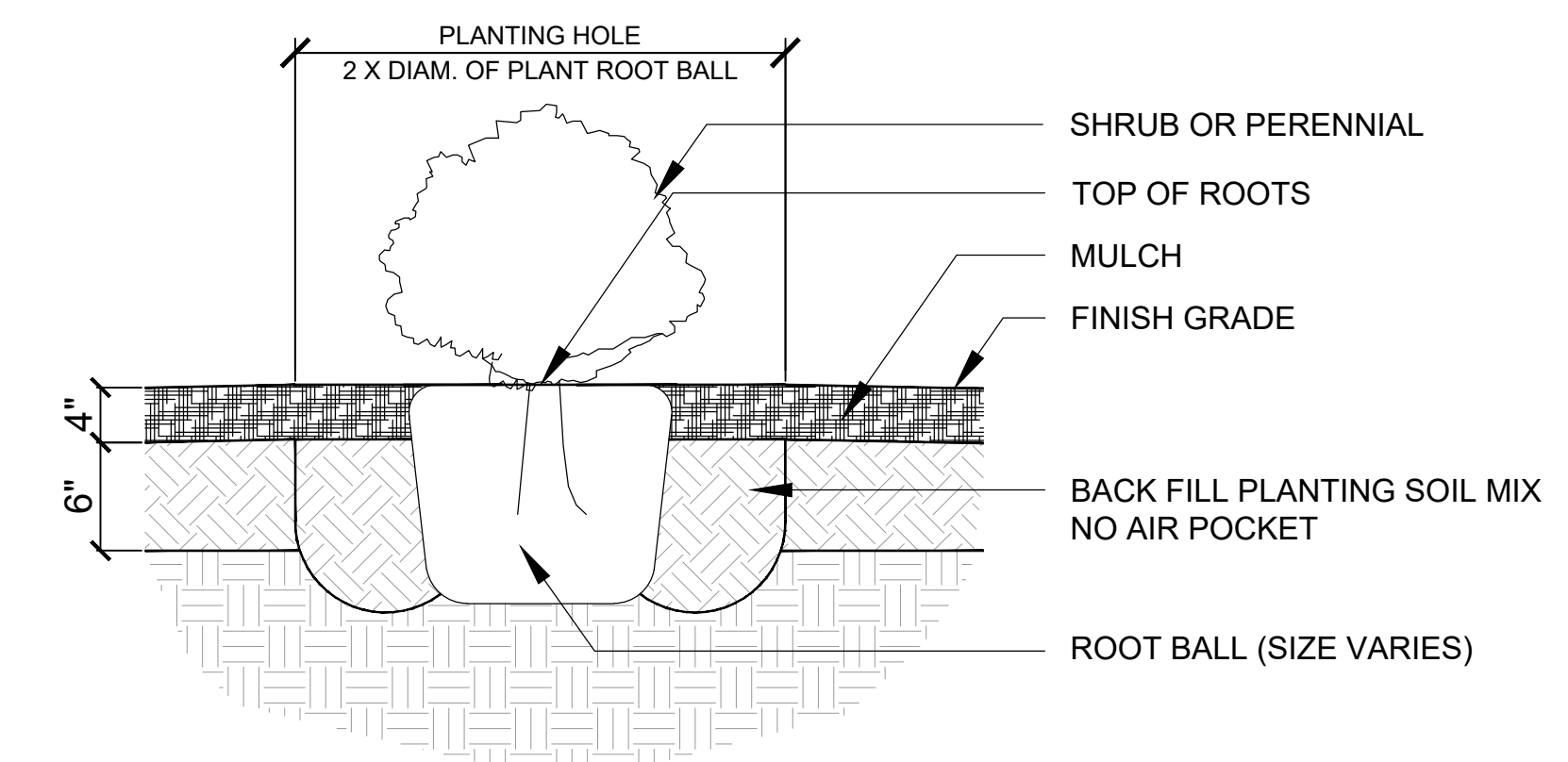


PLAN

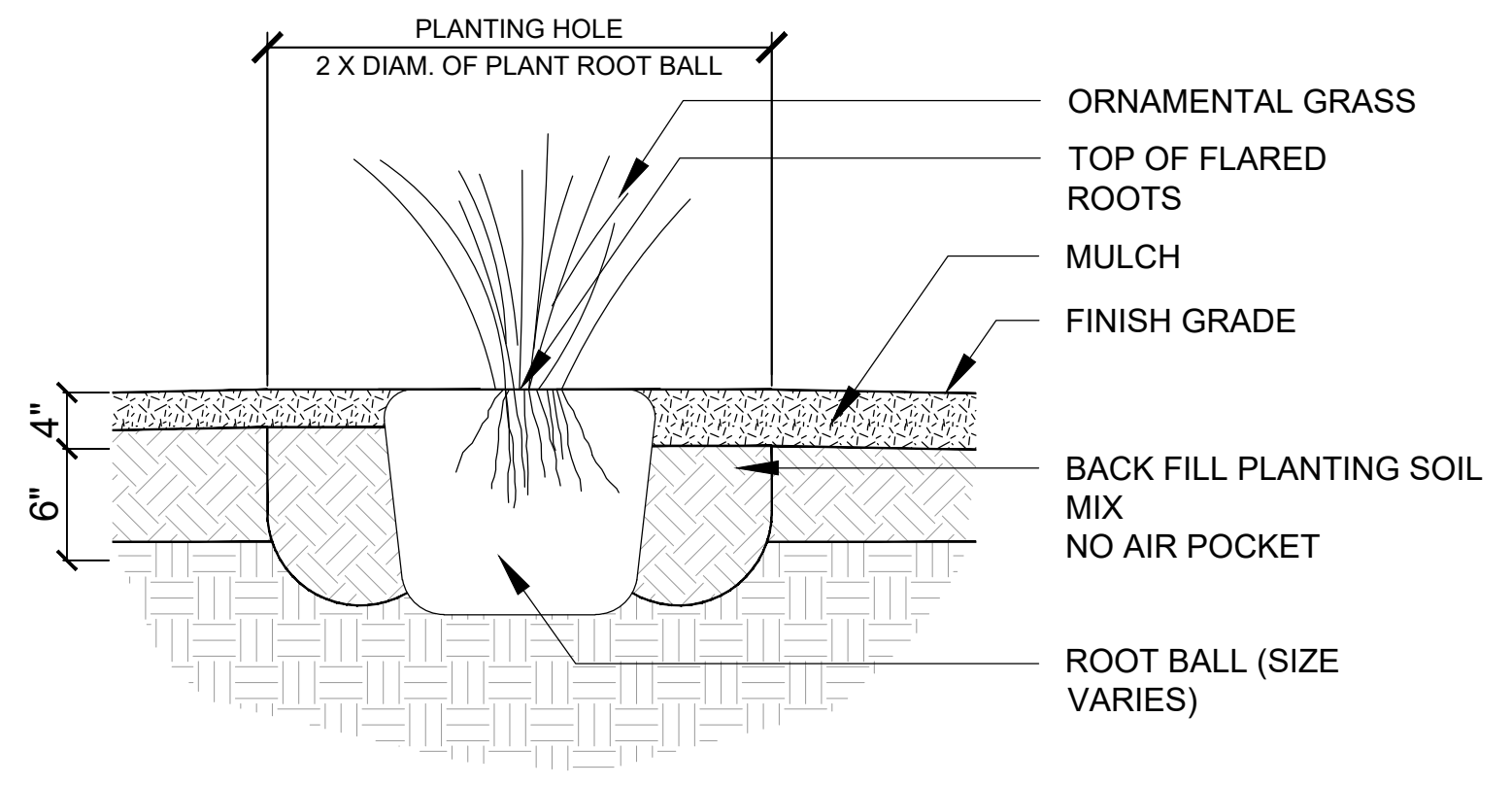


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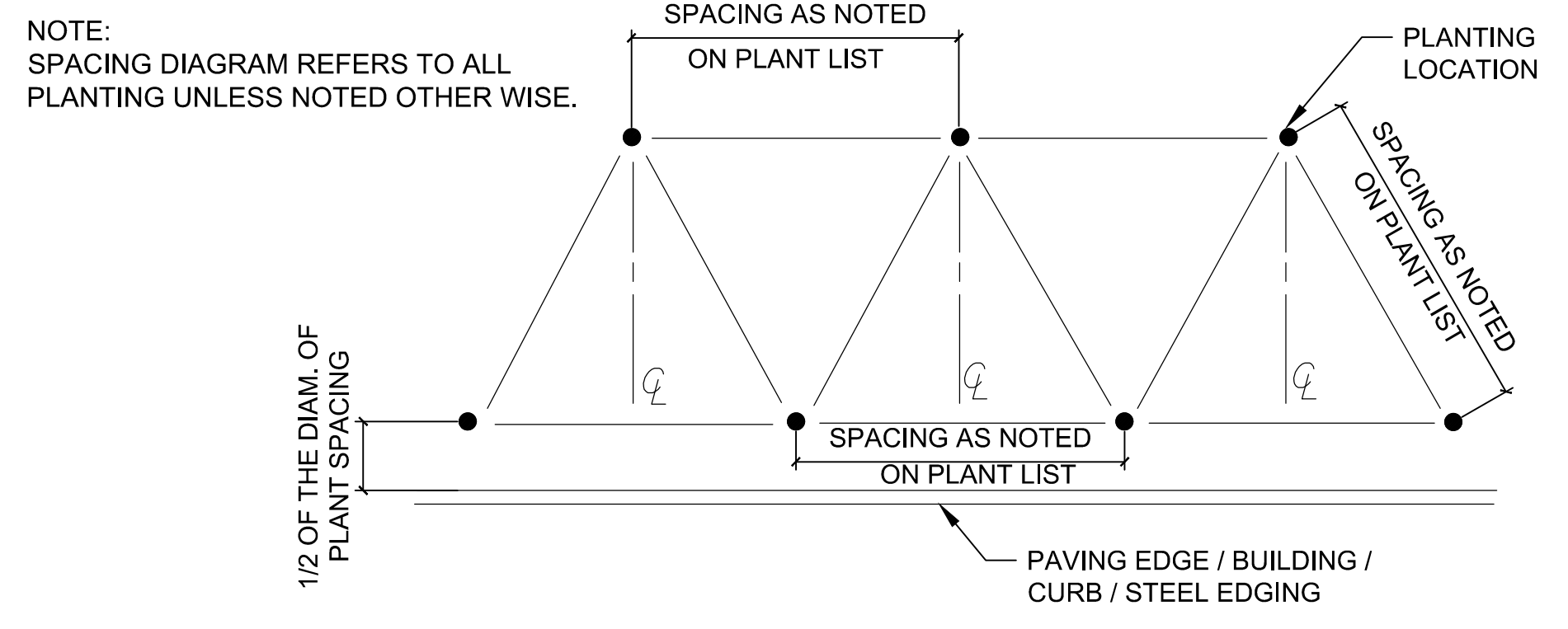
2 TREE PLANTING IN MULCH
 NOT TO SCALE



3 SHRUB PLANTING DETAIL
 NOT TO SCALE

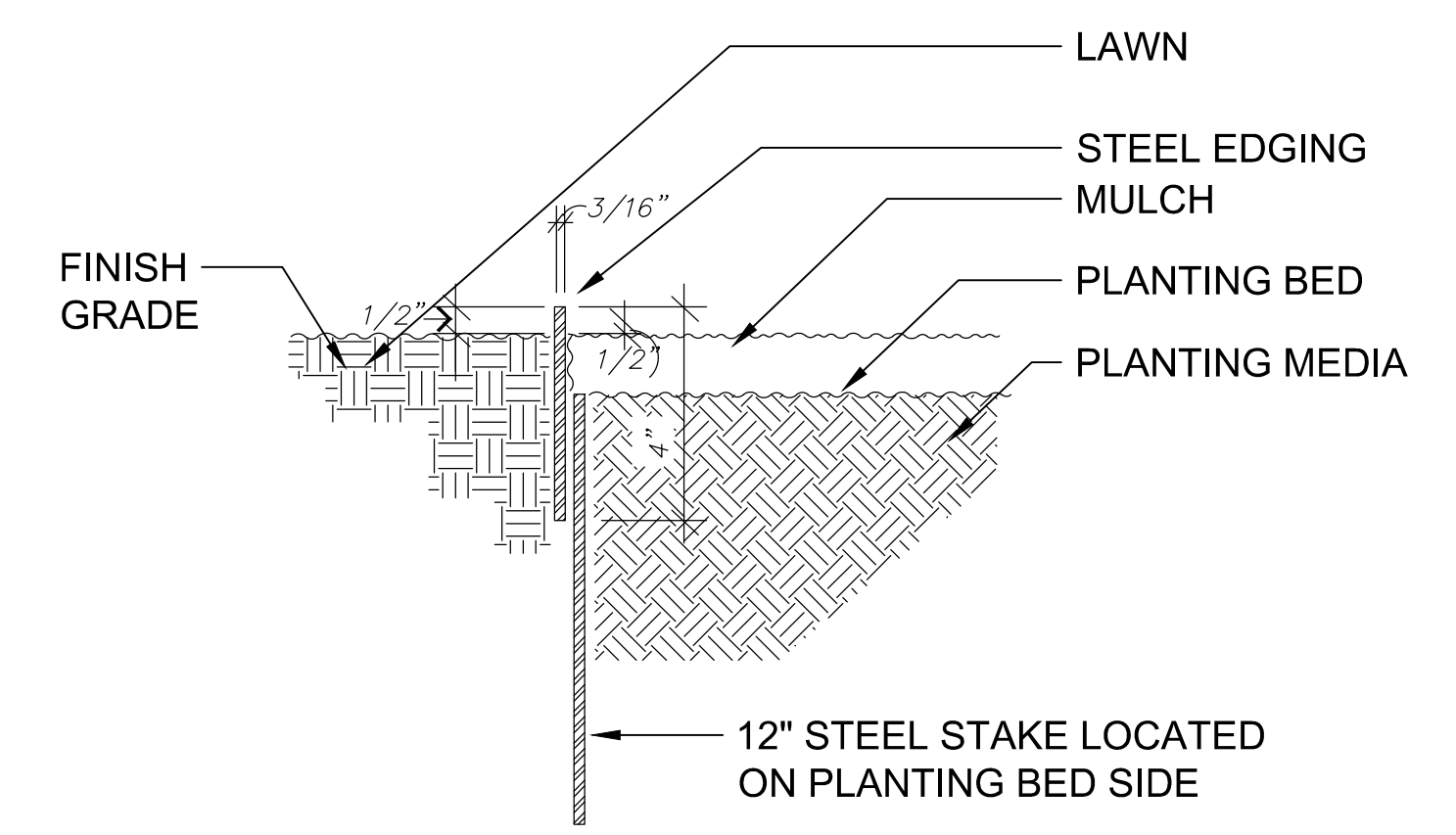


4 GRASS PLANTING DETAIL
 NOT TO SCALE

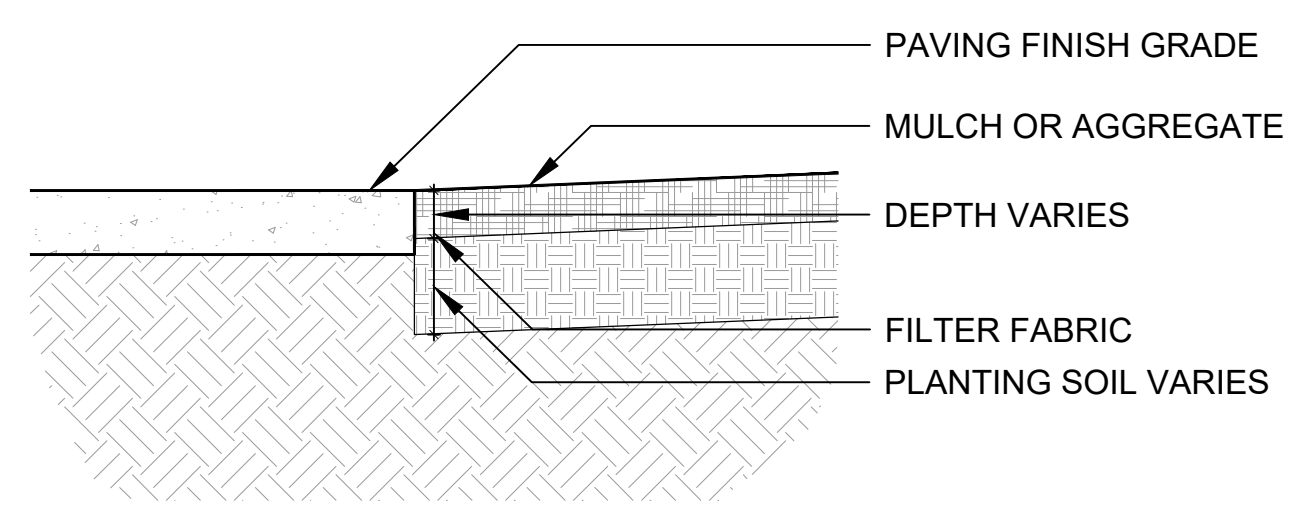


NOTE:
 SPACING DIAGRAM REFERS TO ALL PLANTING UNLESS NOTED OTHERWISE.

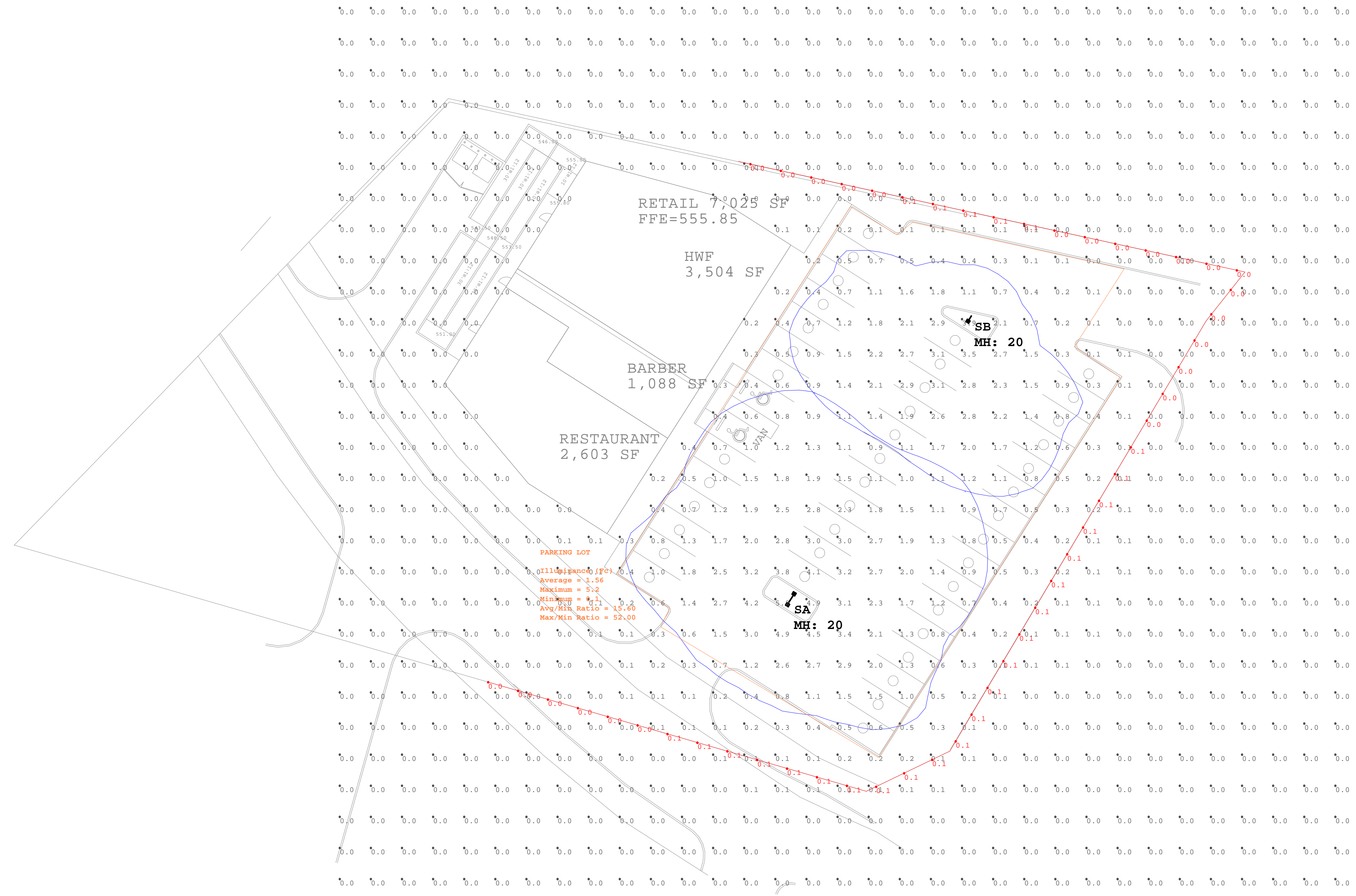
5 TRIANGULAR SPACING
 NOT TO SCALE



6 STEEL EDGING DETAIL
 NOT TO SCALE



7 BED AT EDGE OF PAVING
 NOT TO SCALE



Luminaire Schedule						
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Lost Factor
SB	SB	1	LITHONIA DSX1 LED P4 40K TFTM + (1)DSX1 LED P4 40K T1S DM28AS RFD 20' MOUNTING HEIGHT	21443	179	0.850
SA	SA	1	LITHONIA DSX1 LED P4 40K TFTM MVOLT HS DM19AS 20' MOUNTING HEIGHT	11312	125	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (FT.)	Units	Avg	Max	Min	Avg/Min
CalcPnts@Property Line	N.A	Fc	0.05	0.1	0.0	N.A.
PARKING LOT	N.A	Fc	1.56	5.2	0.1	15.60

Notes:
 1. Surface reflectances: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH."
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

**NOT FOR
CONSTRUCTION
REVIEW ONLY
JIM HERCKT
TX ARCH
19007**

**STUDIO HERCKT, LLC.
1716 VIRGINIA PLACE
FORT WORTH, TX 76107
817.919.6574
JHERCKT@GMAIL.COM**

**CONCEPTUAL
ARCHITECTURAL
ELEVATIONS**

**RIDGE ROAD
RETAIL CENTER
CORE AND SHELL
2930 RIDGE ROAD
ROCKWALL, TX 75032**

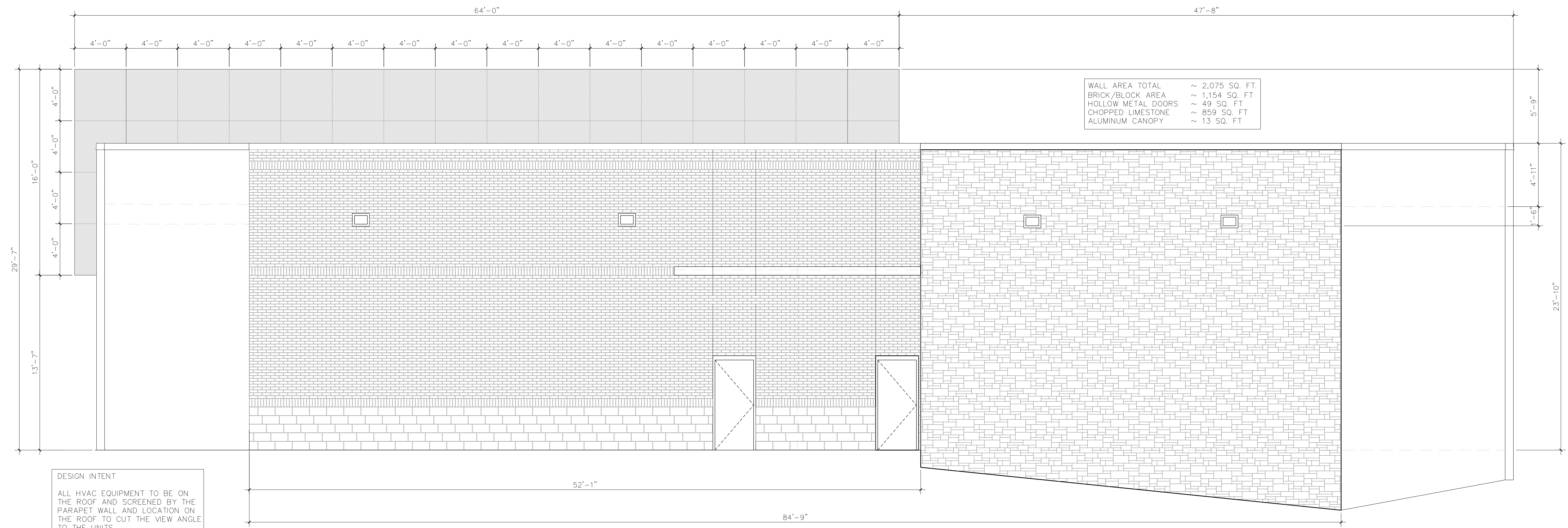
**DEVELOPMENT
SUBMITTAL**

2019.10.18

ISSUE DATE

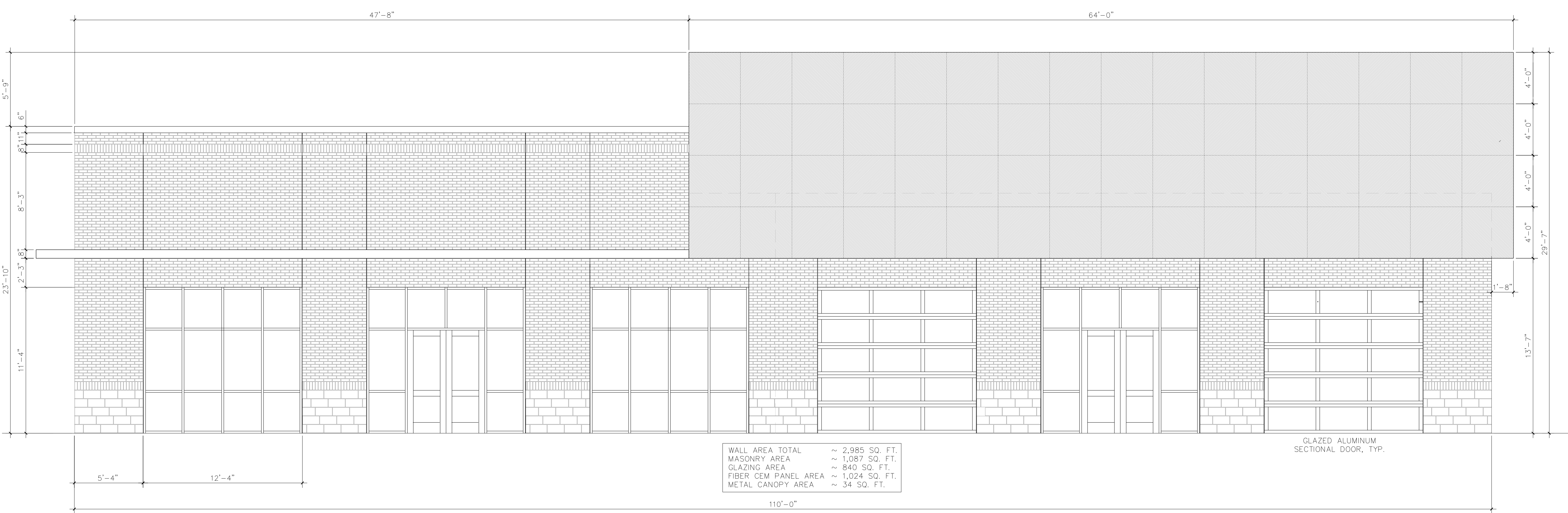
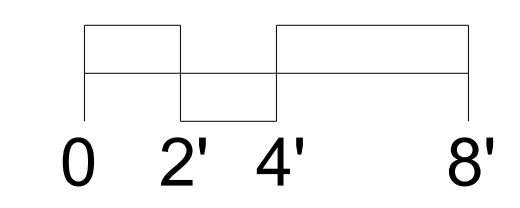
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A3.0

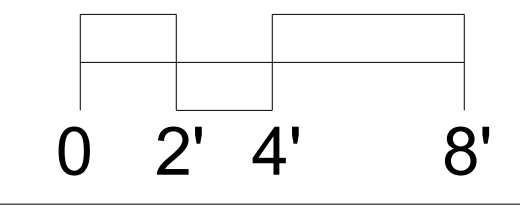


DESIGN INTENT
ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER

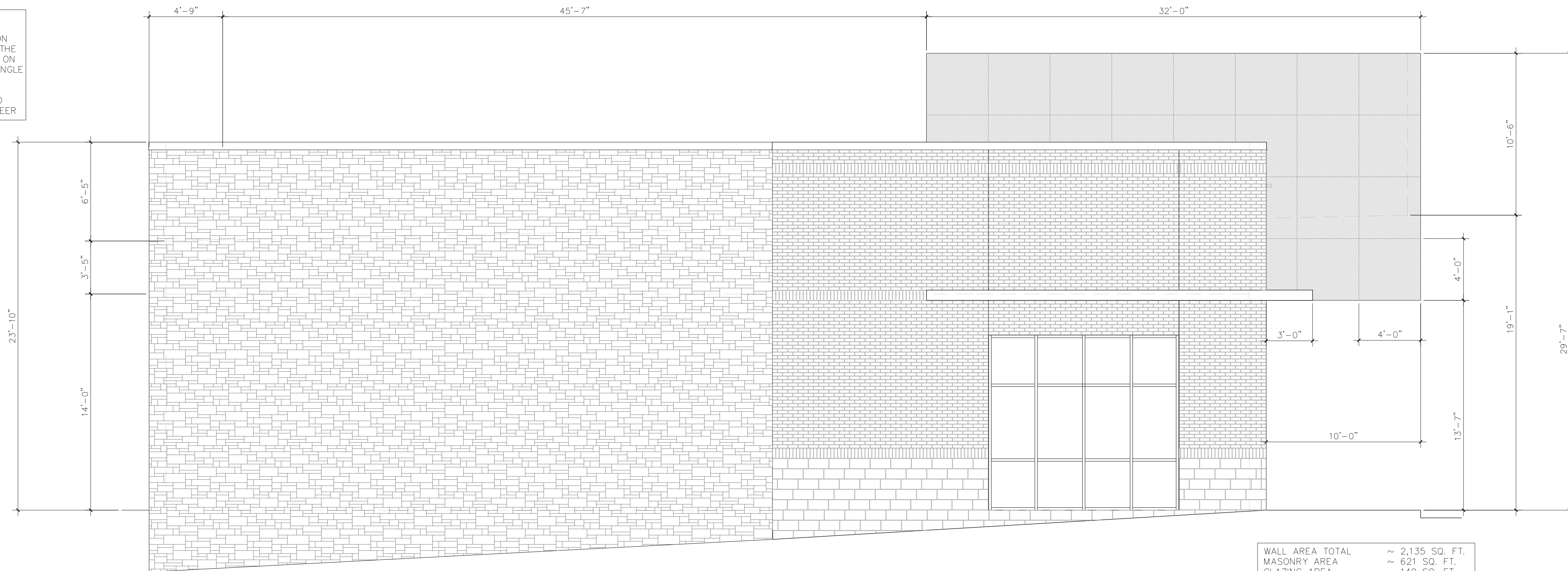
2 BACK ELEVATION
SCALE: 1/4"=1'-0"



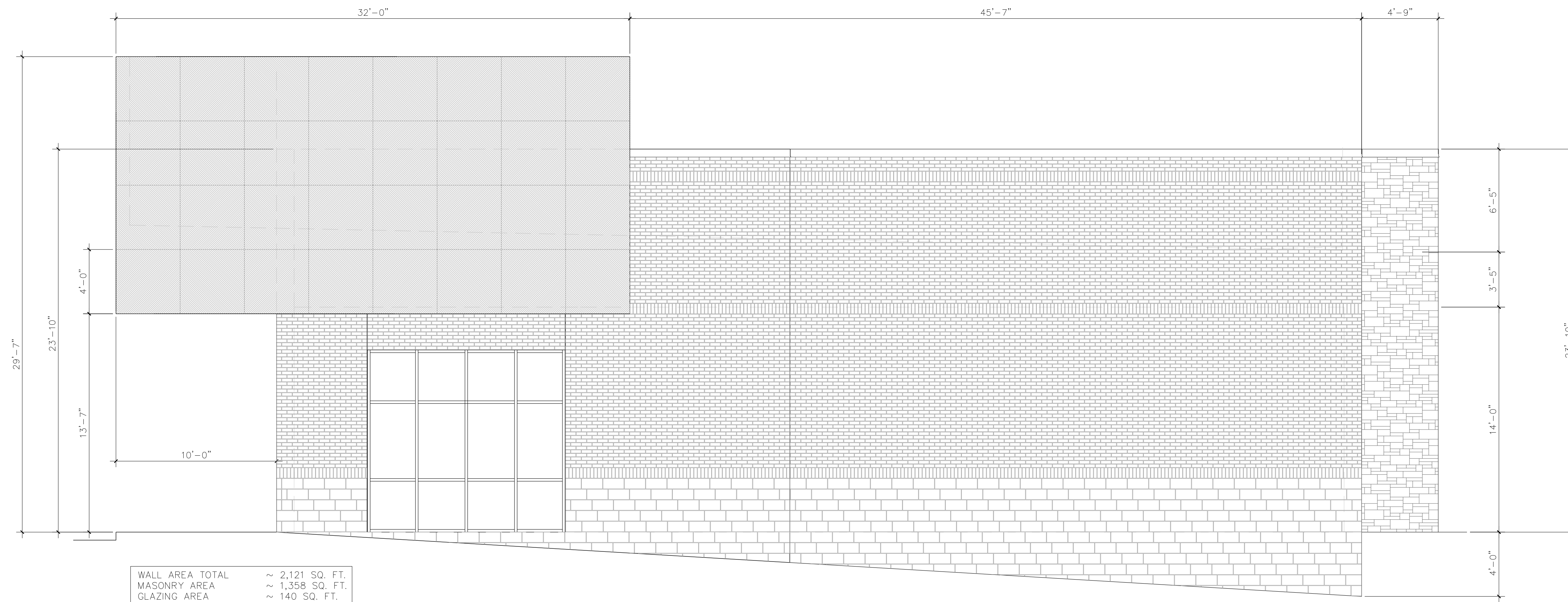
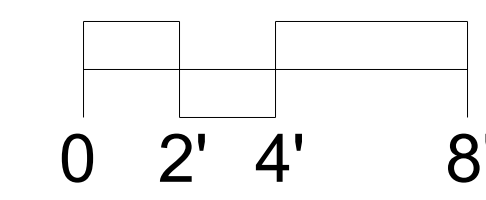
1 FRONT ELEVATION
SCALE: 1/8"=1'-0"



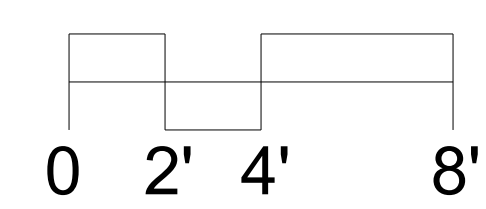
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 RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER



2 SIDE ELEVATION
 A3.1 SCALE: 1/4"=1'-0"



1 SIDE ELEVATION
 A3.1 SCALE: 1/4"=1'-0"



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CONCEPTUAL ARCHITECTURAL ELEVATIONS

RIDGE ROAD RETAIL CENTER CORE AND SHELL
 2930 RIDGE ROAD
 ROCKWALL, TX 75032

DEVELOPMENT SUBMITTAL

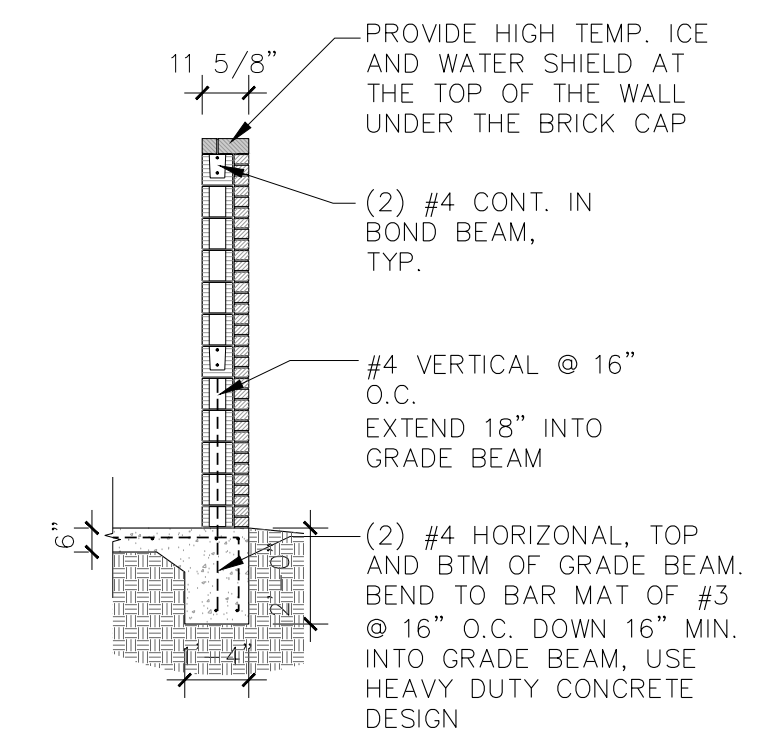
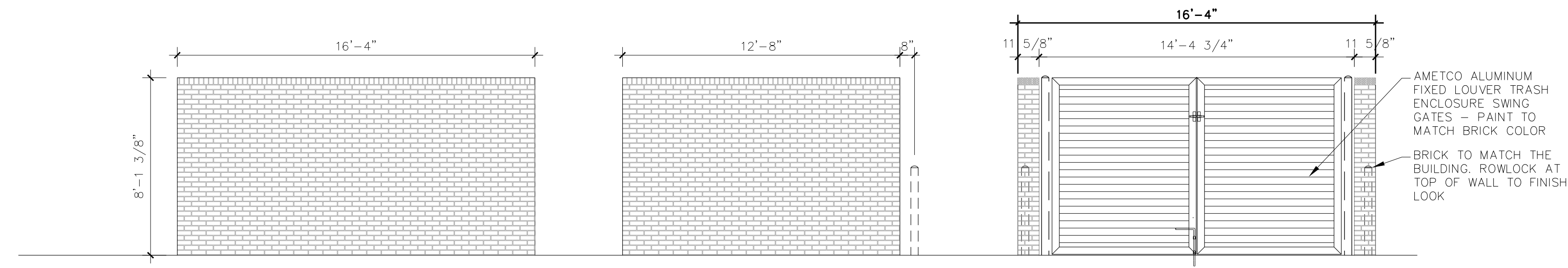
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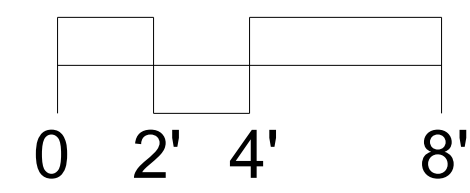
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A3.1

DESIGN INTENT
 ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
 RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER



1
 A3.2 **TRASH ENCLOSURE**
 SCALE: 1/4"=1'-0"



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CONCEPTUAL ARCHITECTURAL ELEVATIONS

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2930 RIDGE ROAD
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DEVELOPMENT SUBMITTAL

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SHEET

A3.2