Notary Public in and for the State of Texas

DEVELOPME J APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY . PLANNING & ZO' 7 CASE NO. **NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE

CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

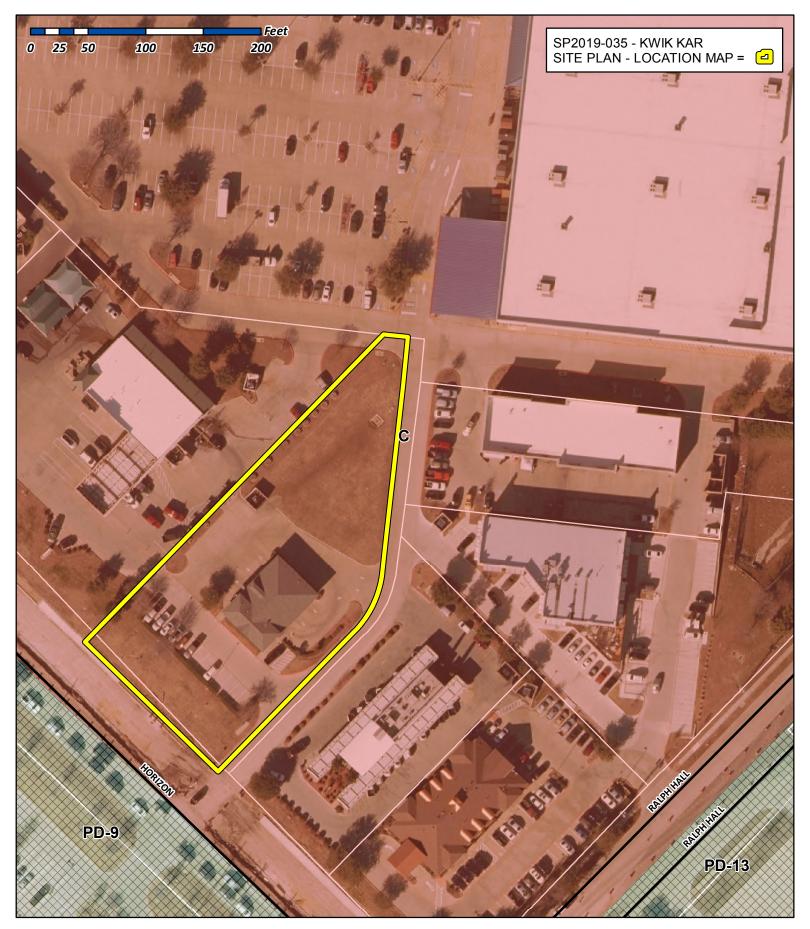
DIRECTOR OF PLANNING:

CITY ENGINEER:

MATTHEW MERSHAWN

M. Commission Expires

					Color		Process (INC.)
Please check the ap	propriate box below to indicat	te the type of deve	lopment request (Resolution No. 0.	5-22) [SELECT	ONLYON	VE BOX]:
Platting Application Fees: [] Master Plat (\$100.00 + \$15.00 Acre) 1 [] Preliminary Plat (\$200.00 + \$15.00 Acre) 1 [] Final Plat (\$300.00 + \$20.00 Acre) 1 [] Replat (\$300.00 + \$20.00 Acre) 1 [] Amending or Minor Plat (\$150.00) [] Plat Reinstatement Request (\$100.00) Site Plan Application Fees: [Site Plan (\$250.00 + \$20.00 Acre) 1 [] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)			Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) 1 [] Specific Use Permit (\$200.00 + \$15.00 Acre) 1 [] PD Development Plans (\$200.00 + \$15.00 Acre) 1 Other Application Fees: [] Tree Removal (\$75.00) Notes: 1: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.				
PROPERTY INFO	RMATION [PLEASE PRINT]						
Address	2581 HO	RIZON !	RP.				
Subdivision	HORIZON V	MULAGI	5	Lot	283	Block	ĺ
General Location							
ZONING, SITE PL	AN AND PLATTING INFO	RMATION [PLEAS	SE PRINT]				
Current Zoning	COMMERCIA	L SUP	Current Use	MINOR	AUTO	REP	AIR
Proposed Zoning	SAME		Proposed Use		AME		
Acreage	1.11	Lots [Current]	263	F8 (8) (8)	[Proposed]	28	3
	ats: By checking the box at the left. Cocal Government Code.	t you agree to waive	the statutory time l	limit for plat appro	val in accordai	nce with Se	ection
OWNER/APPLIC	ANT/AGENT INFORMATI	ON [PLEASE PRINT/C	HECK THE PRIMARY C	ONTACT/ORIGINAL	SIGNATURES AR	E REQUIRE	D]
[] Owner			[🎉] Applicant	MERSH	NWAH	AG	H.
Contact Person			Contact Person	GREG	WALL	119	
Address			Address	1520 E			
				ROCKU	UALL	TX	
City, State & Zip			City, State & Zip	79	087		
Phone			Phone	469-74	15-89	195	
E-Mail			E-Mail	469-74 mersha	unarc	heg	maile
	CATION [REQUIRED] ned authority, on this day personally a cation to be true and certified the foll	appeared GREG lowing:	a WALUIS				
the application fee of \$	the owner, or duly authorized agen to cover the cost of his application I agree that the City of also authorized and permitted to repi to a request for public information."	of this application, has b FRockwall (i.e. "City") is	peen paid to the City of authorized and permi	f Rockwall on this the itted to provide infor	day of mation containe	d within this	s application to
Given under my hand and	d seal of office on this the 12	day of 09	, 20 19 .		Aarch 3, 2023	v 6	12)
Owner	r's/Applicant's Signature	and lie		sə.	sscessimmo		MAC N

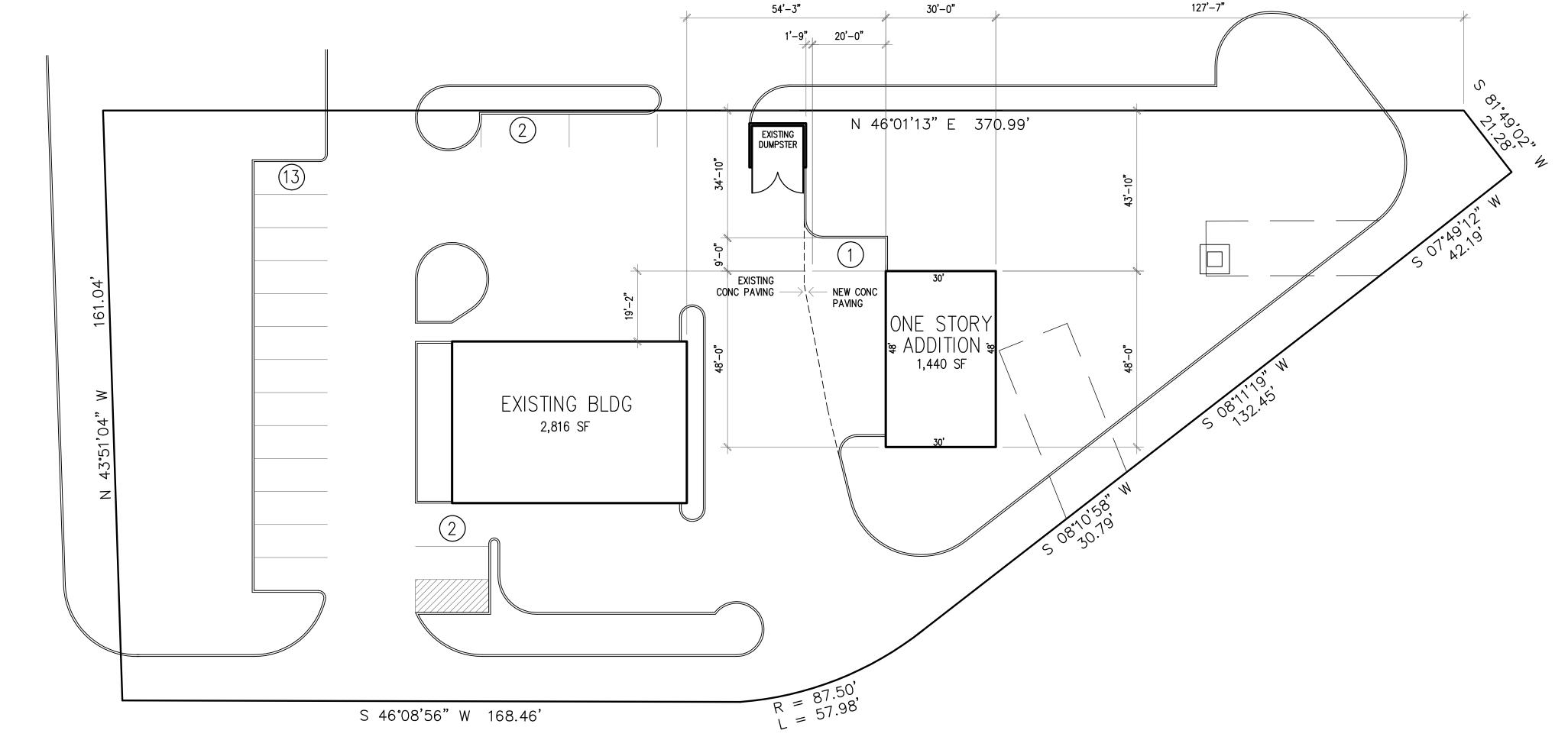


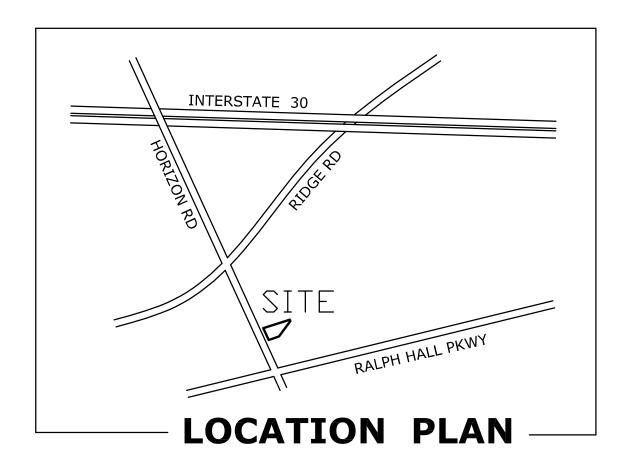


City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

I. ZONING: C

2. PROPOSED USE: OIL CHANGE
3. PROPERTY AREA (GROSS): 48,383 SF 1.11 AC

4. BUILDING AREA: 1,440 SF

5. BUILDING HEIGHT: ONE STORY - 20'-6"

6. LOT COVERAGE : 8.8% F.A.R. = 0.009:1 7. PARKING REQUIRED: 2 PER EACH BAY = 18 SPACES REQUIRED

8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED

9. TOTAL PARKING PROVIDED: 18 SPACES

10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 28,566 SF

HORIZON VILLAGE

BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1

IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER IYM AUTOMOTIVE INC.

2581 HORIZON ROAD ROCKWALL, TEXAS 75032 CASE #SP2019-000

LOT 4

5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.

6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

SCALE IN FEET

PRICING & CONSTRUCTION

THESE DRAWINGS ARE DIAGRAMMATIC IN
NATURE AND ARE NOT INTENDED TO
INDICATE EACH AND EVERY FITTING, OFFSET,
OR OTHER APPURTENANCE NECESSARY TO
COMPLETE THE SYSTEM.

2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.

ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN

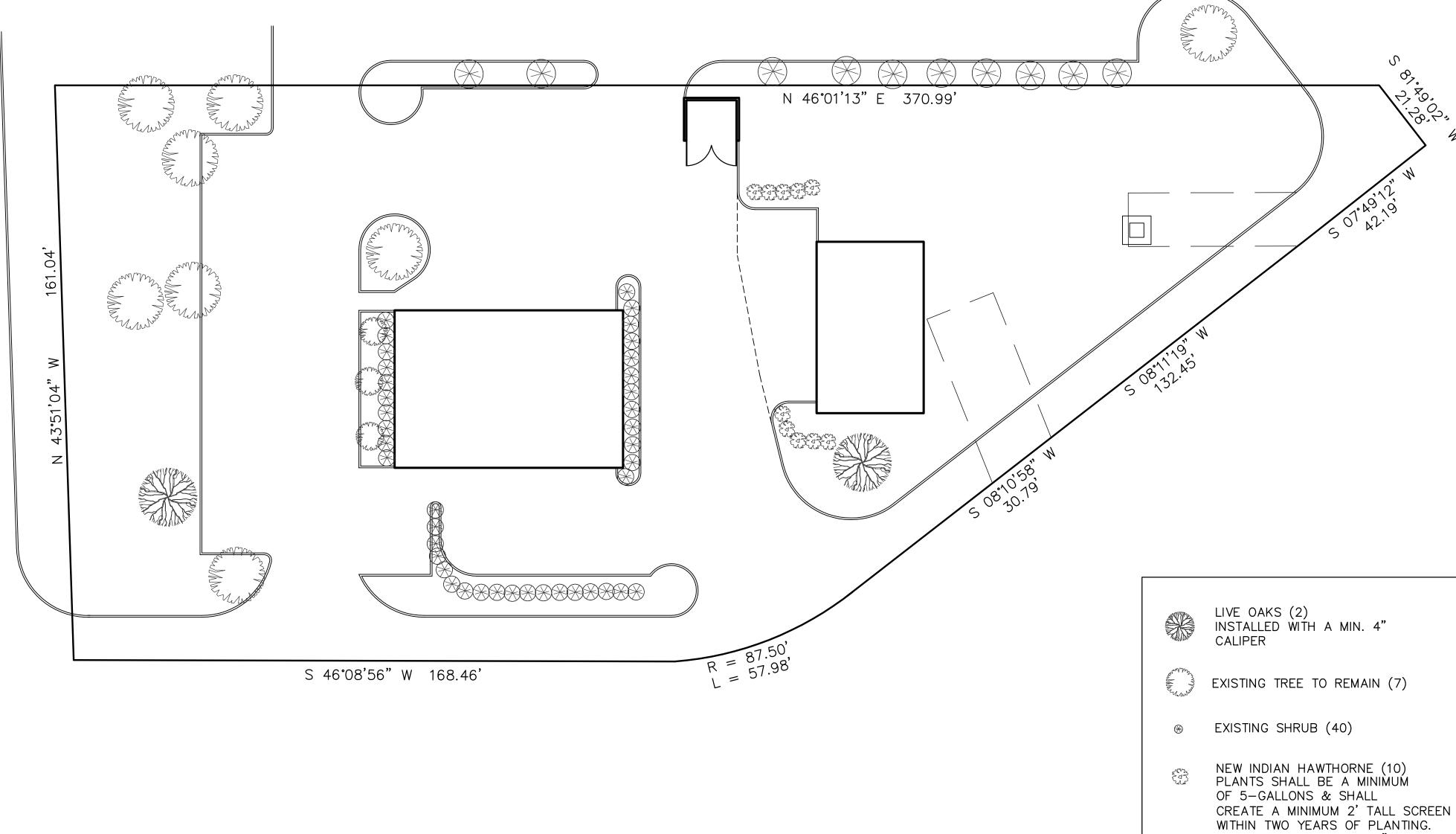
AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.

WRITING) BEFORE BIDDING THIS PROJECT.

GENERAL NOTES:

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KWIK KAR ROCKWALL, TEXAS Scale: 1'' = 20' - 0''MM/DD/YEAR Project No.: AAAAAA Designed: GW Drawn: GW Checked: WM SHEET



EXISTING PROVIDED NEWREQUIRED STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W. LANDSCAPE BUFFER 7,257 SF 19,817 SF TOTAL LANDSCAPE AREA 15% REQUIRED



SHALL BE HYDROMULCHED, BERMUDA. IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL

PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

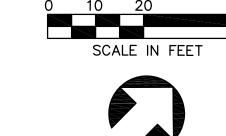
HORIZON VILLAGE

BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1 LOT 4

IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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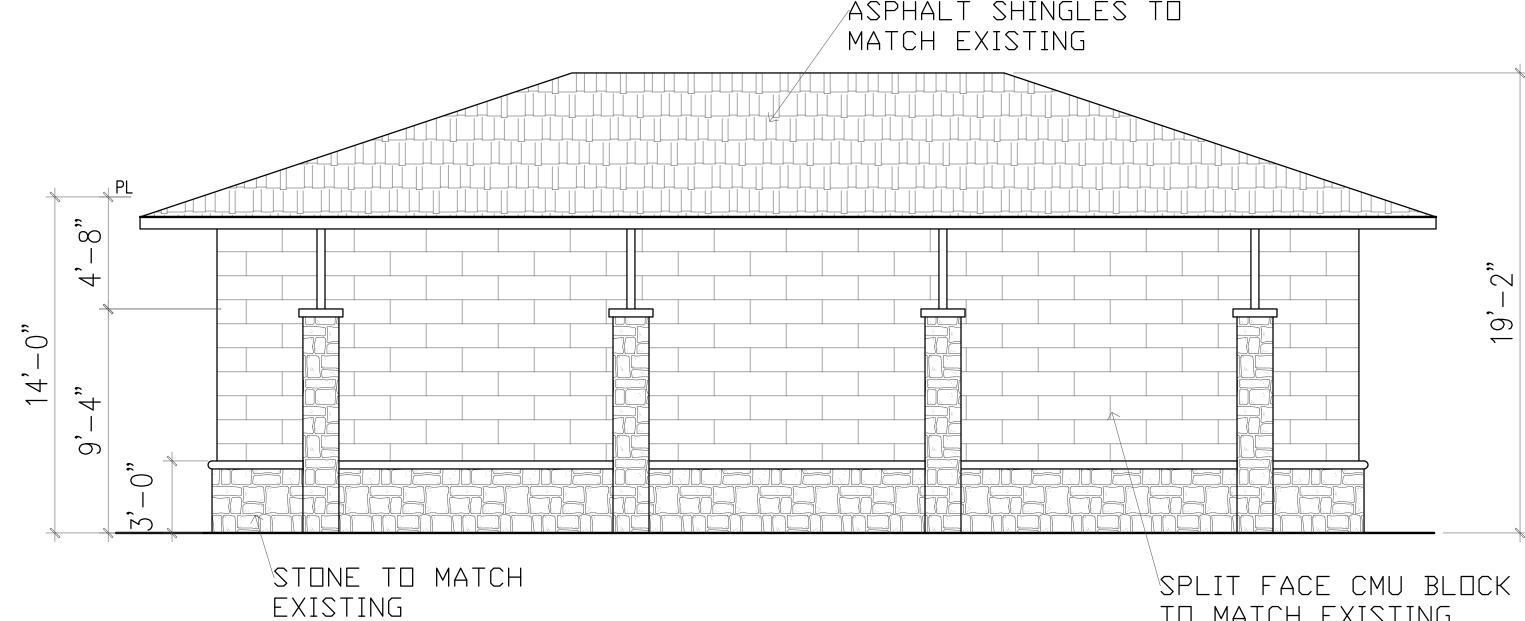
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Scale: 1'' = 20'-0''MM/DD/YEAR Project No.: AAAAAA

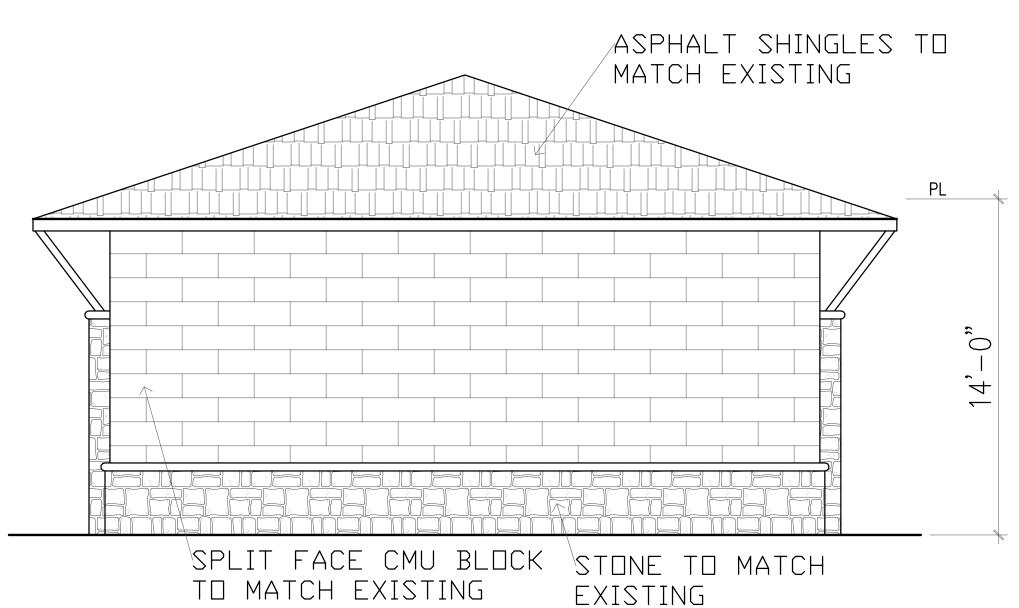
Designed: GW Drawn: GW Checked: WM

SHEET

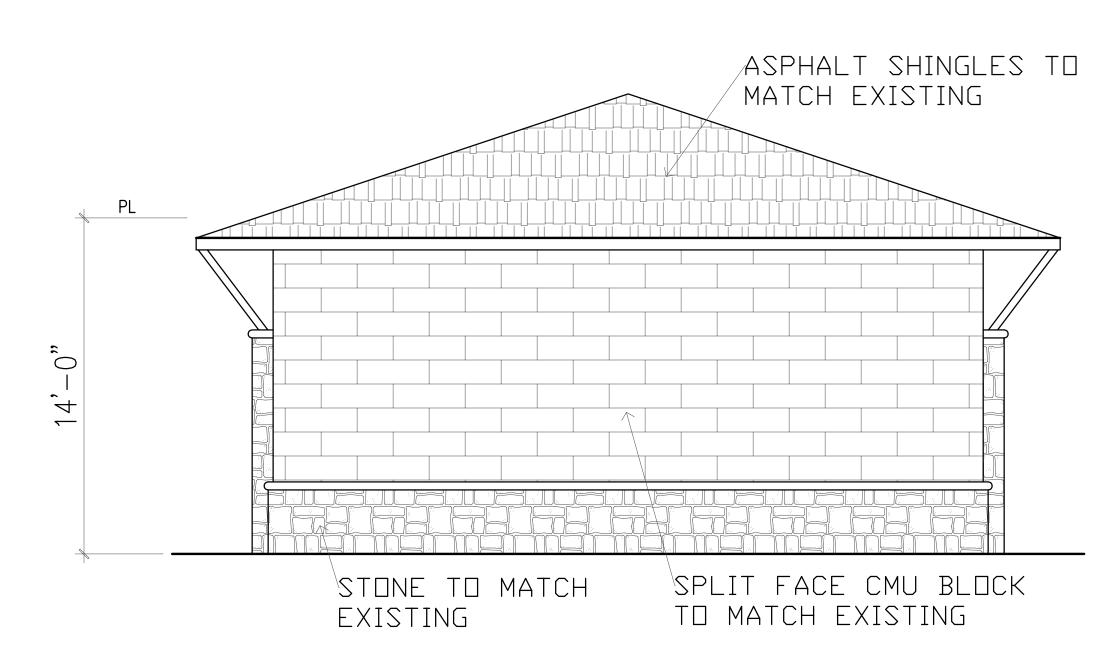


TO MATCH EXISTING

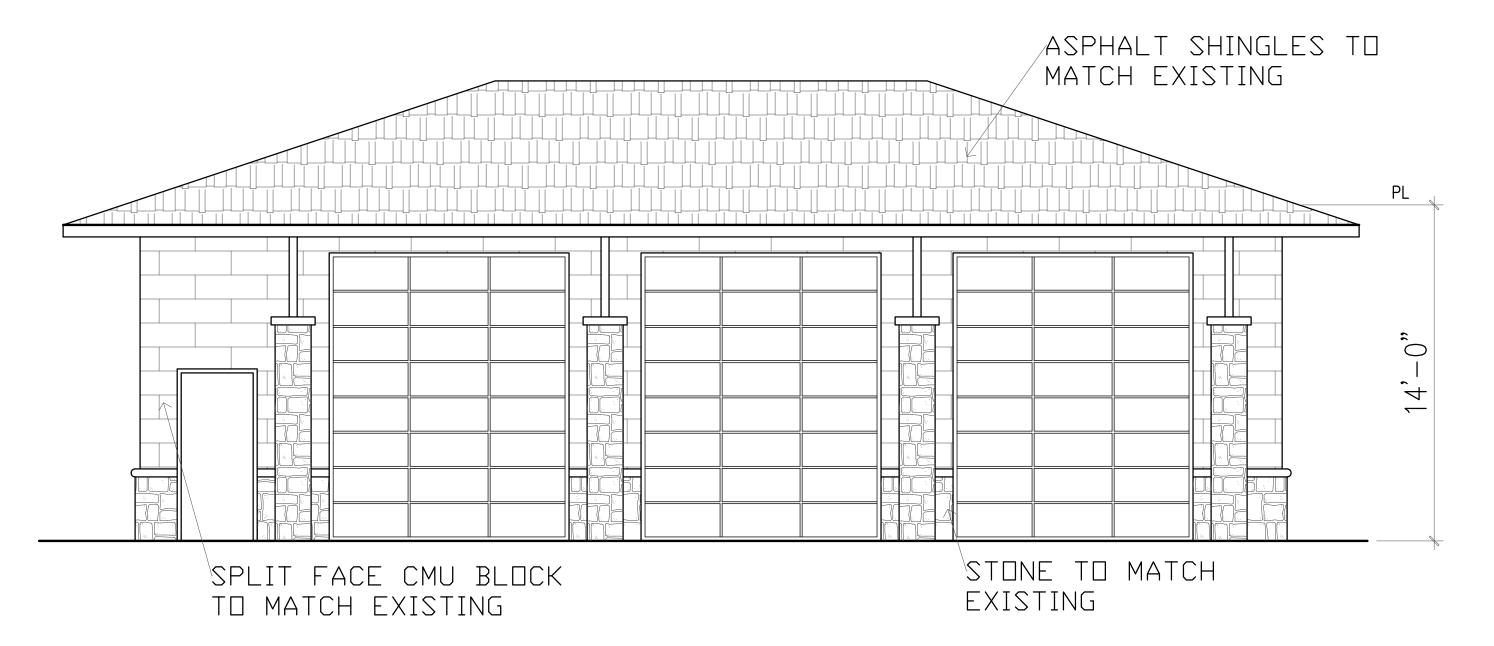
NORTH ELEVATION **100% MASONRY 30% STONE 70% BLOCK**



EAST ELEVATION **100% MASONRY 24% STONE 76% BLOCK**



WEST ELEVATION **100% MASONRY 24% STONE 76% BLOCK**



SOUTH ELEVATION 100% MASONRY 38% STONE 62% BLOCK

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'ATION XTE Scale: 1/4" = 1'-0"

Project No.:

Designed: GW

Drawn: GW

Checked: WM

SHEET

