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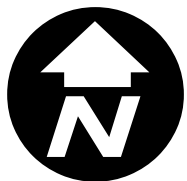
SP2019-030 - SITE PLAN, AMENDMENT FOR SPR PACKAGING
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SPR OFFICE ADDITION SITE PLAN SUBMITTAL
REQUESTED VARIANCES

On behalf of SPR Packaging, the following is a list of variances to the City of Rockwall Development Codes that we wish to submit to your office for the Site Plan Submittal.

SPR Packaging, located at 1480 Justin Rd., proposes a two-story 22,564 square foot Office Addition to the southwest corner of their current Office / Warehouse facility. In connection with this project, we request the following variances:

A. Off-Street Parking Requirements

1. Article VI, section 2.3 indicates that when a building is expanded, the provisions for parking and loading shall be provided for the portion of land use and/or building that has been added. By this calculation, the proposed addition would require 75 spaces. Due to site constraints, only a total of 57 new parking spaces can be provided with this addition. However, a small project that will be completed in advance of this project will add 17 spaces while only requiring 9 spaces. Together, these two projects require 84 spaces and provide 74. The Owner feels that the total parking provided on-site (158 spaces) is adequate for their actual needs.

The Owner wishes to be granted a variance to reduce the required parking amount.

B. Construction Materials:

1. In order to achieve the desired architectural aesthetic, the Owner wishes to be granted a variance to eliminate requirements for stone and masonry on the building facades and the 10% maximum of secondary materials based on Article V, Section 4.01.A.2 Exception.

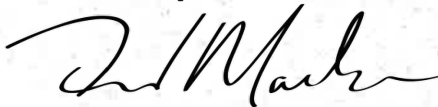
C. Building Articulation:

1. In order to achieve the desired architectural aesthetic, the Owner wishes to be granted a variance to the requirements for Horizontal and Vertical Articulation of Facades.

SPR Office Addition
Requested Variances
08/14/19
Page 2

Although the Owner has requested these variances, it is their intent to provide a unique and aesthetically pleasing architectural design constructed of high-quality materials. Additionally, as a compensatory measure for not having the required parking amount, two (2) additional trees will be added to the landscaping fronting Justin Rd.

Sincerely,

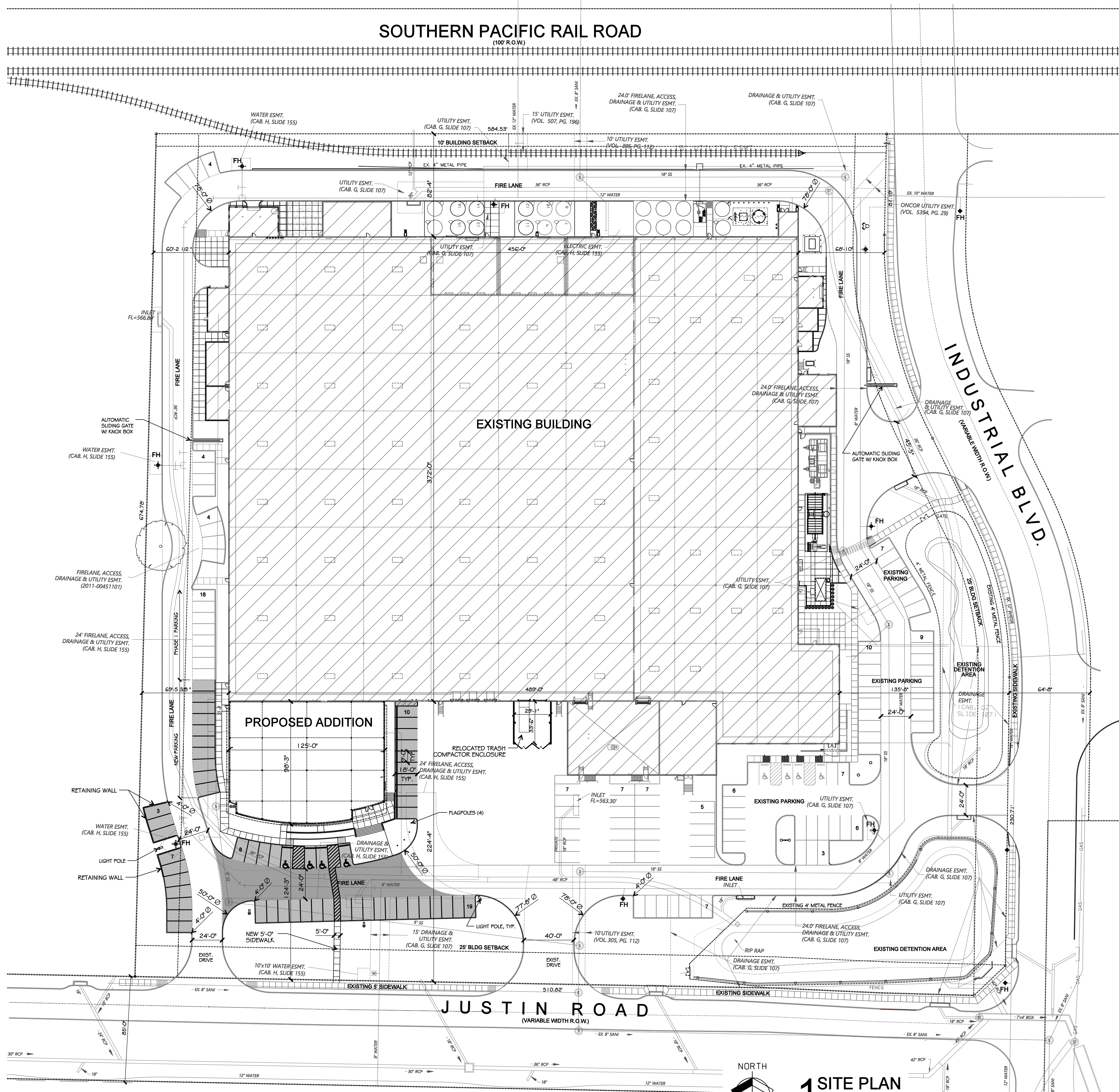
A handwritten signature in black ink, appearing to read "David A. Morales". The signature is fluid and cursive, with a large initial "D" and "M".

David A. Morales
Project Architect

DAM/cs

Attachments:

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PROJECT DATA

ZONING:	LIGHT INDUSTRIAL	
PROPOSED LAND USE:	WAREHOUSE, MANUF., OFFICE	
SITE AREA:	10.18 AC	443,480.8 SF
BUILDING AREA:	EXISTING BUILDING: 188,516 SF	
	ADDITION FIRST FLOOR: 11,528 SF	
	ADDITION SECOND FLOOR: 10,936 SF	

PARKING DATA SUMMARY

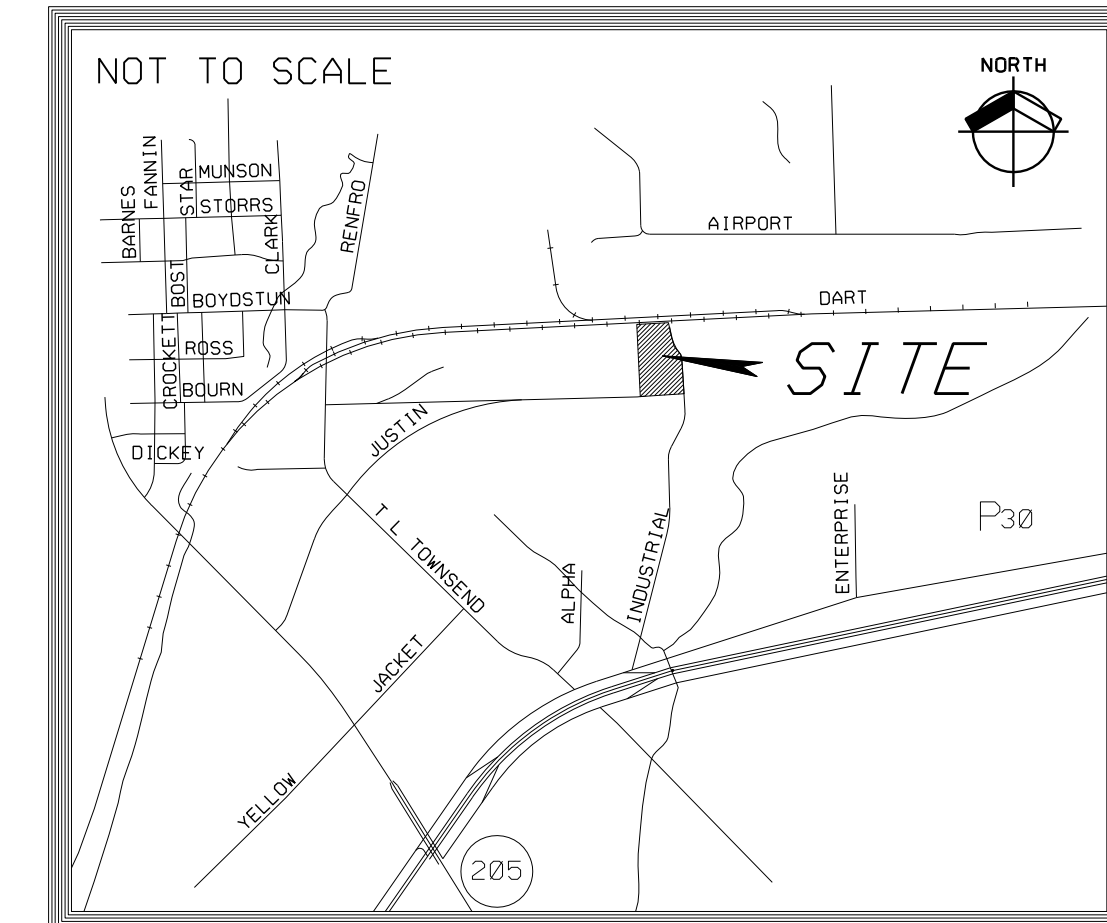
PROPOSED USE	AREA	FACTOR	REQ. SPACES
EXISTING BUILDING			
OFFICE	26,038 SF	EXISTING	-
MANUFACTURING	18,805 SF	EXISTING	-
WAREHOUSE	143,673 SF	EXISTING	-
PROPOSED ADDITION			
OFFICE (2-STORIES)	22,564 SF	1:300	75
TOTALS			
- REQUIRED FOR ADDITION			75
- PROVIDED WITH ADDITION (NEW ONLY)			57
TOTAL PARKING VARIANCE REQUESTED			18
ACCESSIBLE PARKING REQUIREMENTS			
- REQUIRED FOR ADDITION			*4
- PROVIDED FOR ADDITION			4

*BASED ON NEW PLUS EXISTING PARKING THAT WILL BE ASSOCIATED WITH THE PARKING LOT SERVING THIS ADDITION

LEGEND

- 5" THICK 3600 PSI CONCRETE PAVEMENT
W/ #3 BARS AT 18" O.C.E.W. OVER
SUBGRADE PER GEOTECHNICAL
RECOMMENDATIONS
- 7" THICK 3600 PSI CONCRETE PAVEMENT
W/ #3 BARS AT 18" O.C.E.W. OVER
SUBGRADE PER GEOTECHNICAL
RECOMMENDATIONS

LOCATION MAP



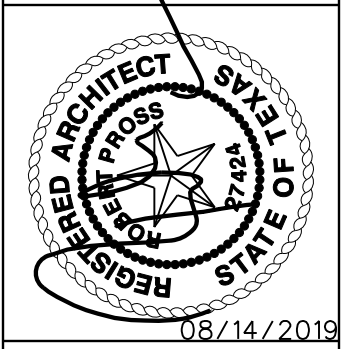
OWNER: ALVAPLAST US, INC. / SPR PACKAGING
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469-402-1232

ARCHITECT: PROSS DESIGN GROUP, INC.
CONTACT: BOBBY PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972-759-1400

1 SITE PLAN
SCALE: 1" = 40'-0"

Drawn:
DAN GASKED
ROBERT PROSS
CIT: e
08/14/19

#	DATE	DESCRIPTION



SPR
PACKAGING
pross design group, incorporated
5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230

SPR
PACKAGING
OFFICE ADDITION
1480 JUSTIN RD., ROCKWALL, TEXAS

job no
1854
sheet
A1.0

CASE NO: SP2019-000

SOUTHERN PACIFIC RAIL ROAD
(100' R.O.W.)

LOT 2, BLOCK A
SPR PACKAGING ADDITION
(CAB. H. SLIDE 155)
10.1893 ACRES
(443,847 SF)

PROJECT DATA

ZONING:	LIGHT INDUSTRIAL
PROPOSED LAND USE:	WAREHOUSE, MANUF., OFFICE
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LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES**
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC**

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOOLS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

STREET LANDSCAPING

- 10' wide landscape buffer with one tree per 50 l.f.

INDUSTRIAL BLVD.: 684 l.f.
Required (14) trees, 3" cal. Provided (14) existing trees, 4" cal. +

JUSTIN RD.: 671 l.f.
Required (14) trees, 3" cal. Provided (2) trees, 3" cal. (12) existing trees, 4" cal. +

PARKING LOT LANDSCAPING

- 5% of the interior parking lot shall be landscape.
- One (1) tree for every ten (10) parking spaces.
- All parking spaces shall be a minimum eighty (80) feet from a tree.

Total interior parking lot area: 42,134 s.f.
Total parking spaces: 105 spaces

Required	2,107 s.f. (5%)	Provided	6,346 s.f. (15%)
	(11) trees		(3) trees, 3" cal. (11) existing trees

SITE LANDSCAPING

- 10% of the total site shall be landscaped for LIGHT INDUSTRIAL.
- 100% of the total requirements shall be located in the front of and along side buildings for LIGHT INDUSTRIAL.

Total site: 10.18 AC; 443,480 s.f.

Required	44,348 s.f. (10%)	Provided	115,268 s.f. (26%)
	44,348 s.f. (100%)		77,707 s.f.

DETENTION BASIN REQUIREMENTS

- A minimum of one (1) tree for every 750 s.f. of dry land area.

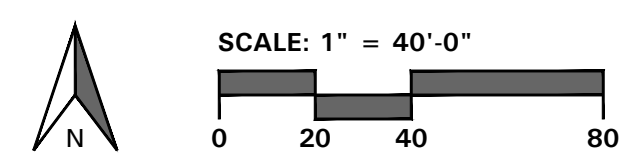
Dry Land Area: 26,232 s.f.

Required	(35) trees	Provided	(35) existing trees
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PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
CE	<i>Ulmus crassifolia</i>	Cedar Elm	2	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
LE	<i>Ulmus parviflora</i> 'Sempervirens'	Lacebark Elm	3	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
SHRUBS/GROUNDCOVER					
AB	<i>Abelia grandiflora</i> 'Edward Goucher'	Dwarf Abelia 'Edward Goucher'	39	5 gal.	container full, 24" spread, 36" o.c.
AN	<i>Juniperus tobinia</i> 'Andorra'	Andorra Juniper	50	5 gal.	container full, 20" spread, 24" o.c.
IH	<i>Raphiolepis indica</i> 'Clara'	Indian Hawthorne 'Clara'	32	5 gal.	container full, 20" spread, 36" o.c.
MFG	<i>Nassella tenuissima</i>	Mexican Feathergrass	145	1 gal.	container full, 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

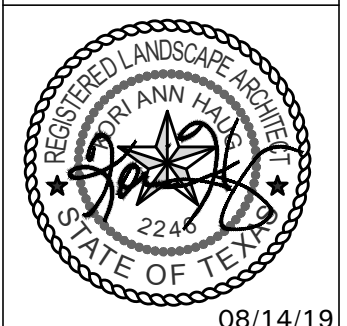


LANDSCAPE PLAN

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

Drawn: NAY
Checked: Cate
Date: 08/14/19

#	DATE	DESCRIPTION



08/14/19

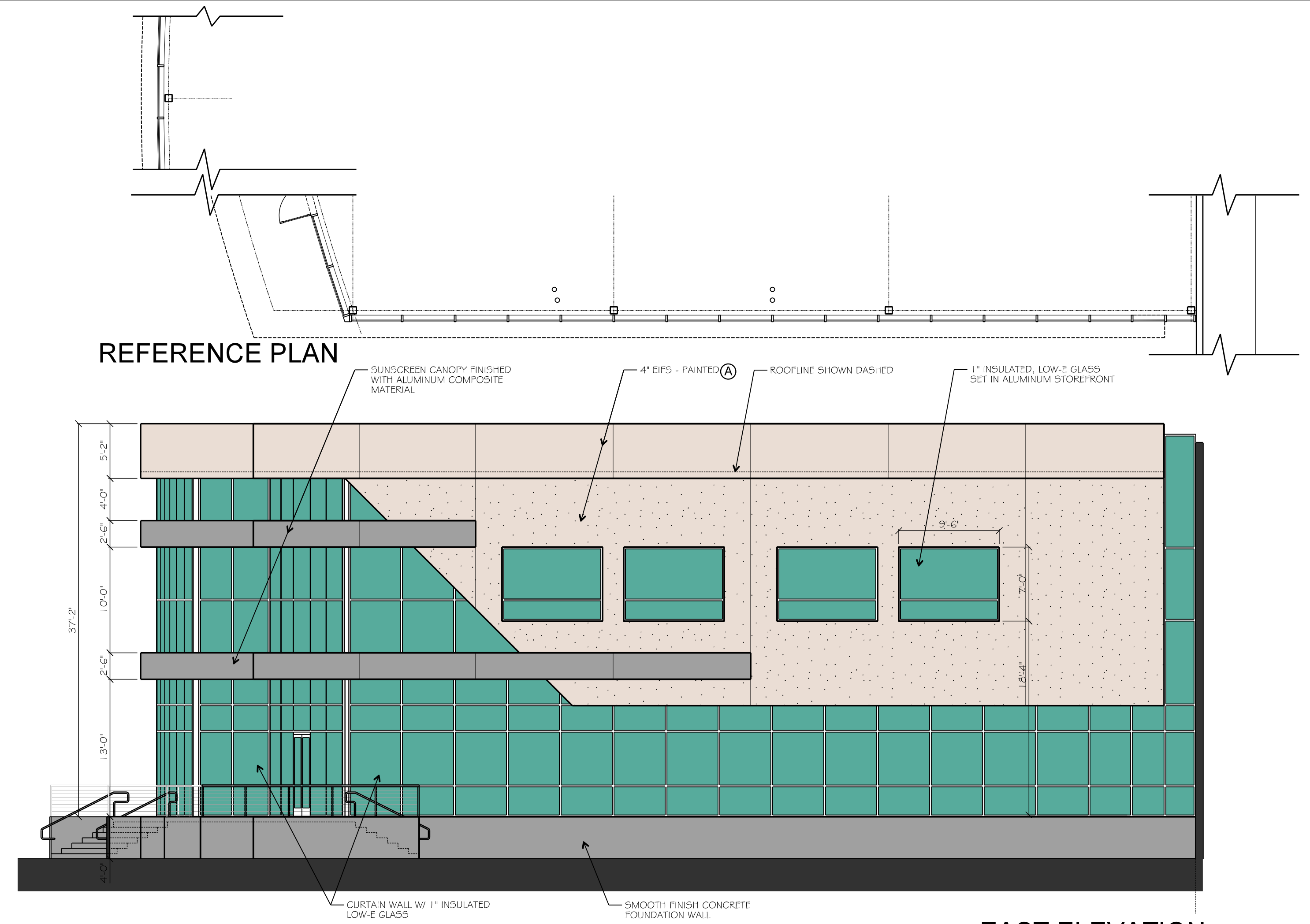
pross design group, incorporated
5810 Harvest Hill Road, Suite 100, Dallas, Texas 75230-1400

SPR PACKAGING
OFFICE ADDITION
1480 JUSTIN RD., ROCKWALL, TEXAS

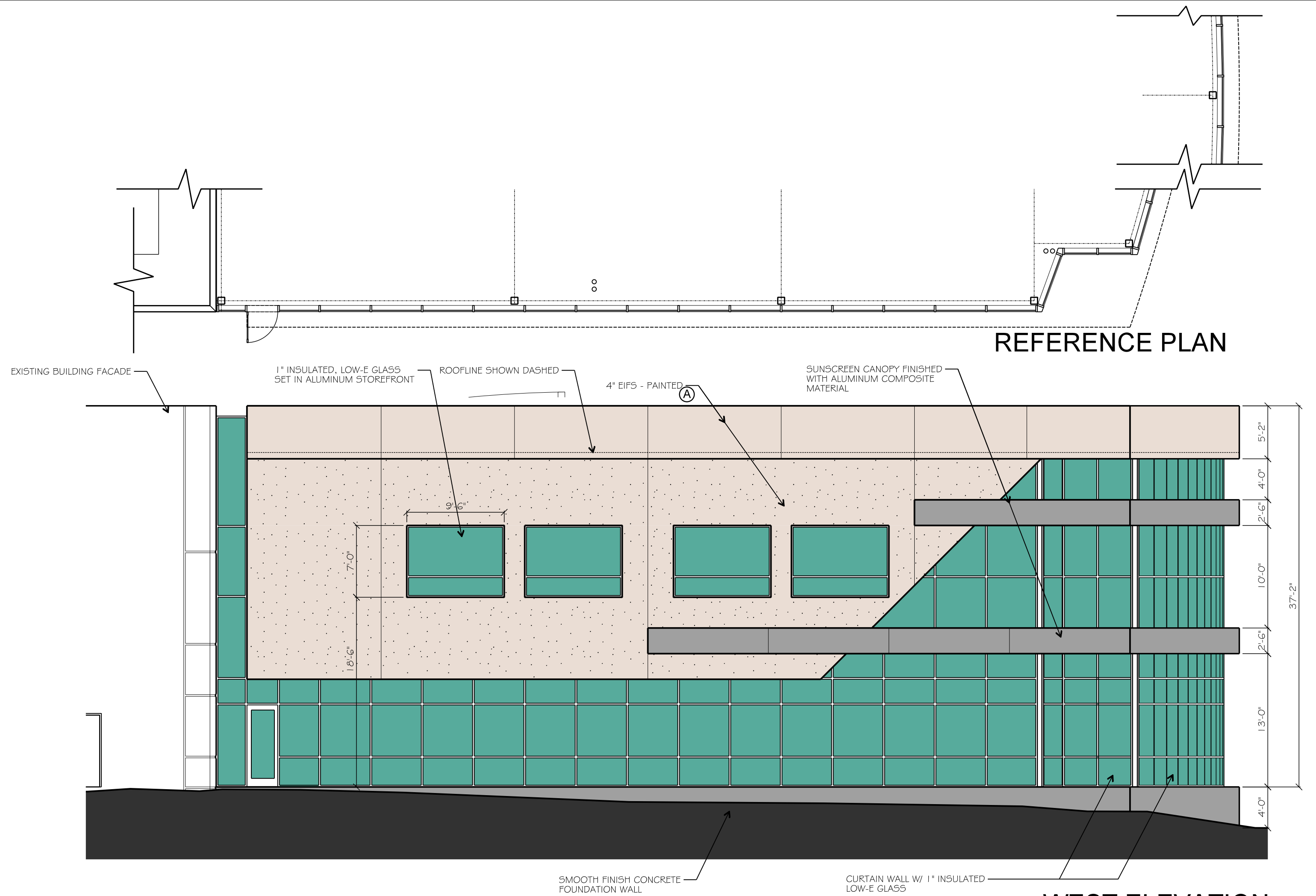
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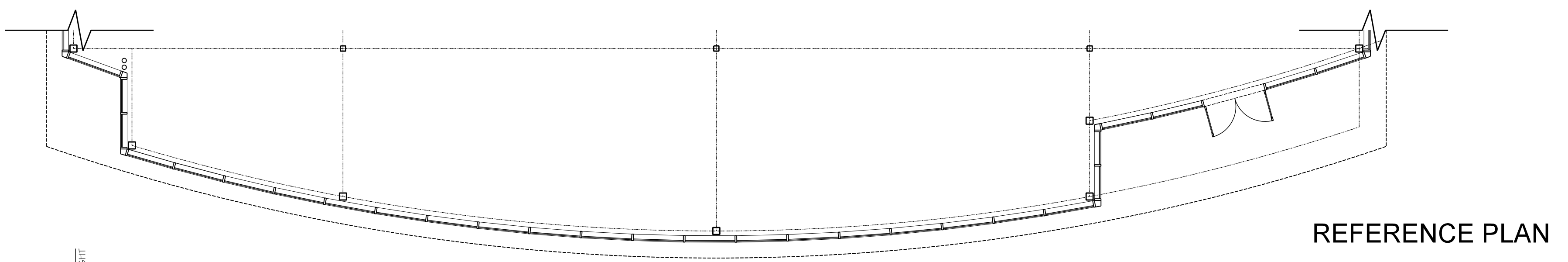
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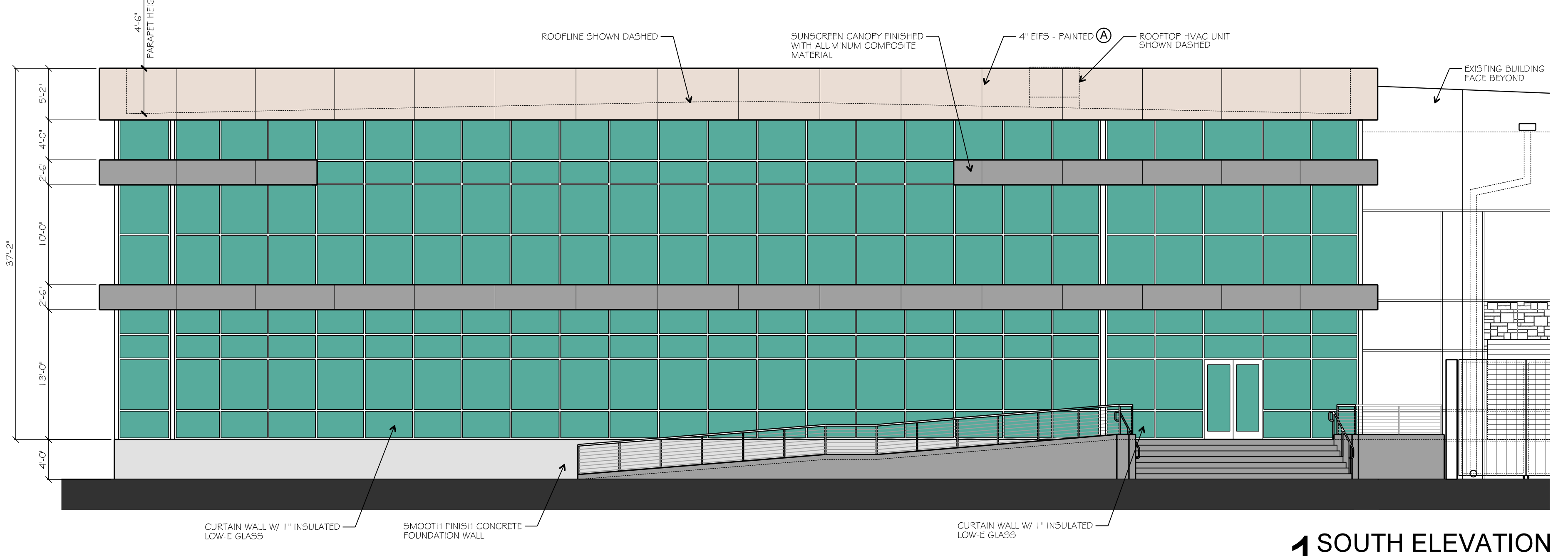
3 EAST ELEVATION
SCALE: 1/8"=1'-0"



2 WEST ELEVATION
SCALE: 1/8"=1'-0"



REFERENCE PLAN



1 SOUTH ELEVATION
SCALE: 1/8"=1'-0" FACES JUSTIN RD.

PAINT SCHEDULE					
A BASE PAINT COLOR - SW9085 TOUCH OF SAND					
FACADE MATERIAL CALCULATIONS					
		SOUTH	%	EAST	%
1.	CURTAIN WALL	3,534.3 FT ²	75.6	1,842.3 FT ²	50.3
2.	ALUMINUM COMPOSITE METAL PANELS	480.7 FT ²	10.3	223.3 FT ²	6.1
3.	EIFS	661.3 FT ²	14.1	1,598.4 FT ²	43.6
4.	TOTAL FACADE AREA	4,676.3 FT ²	100	3,664 FT ²	100

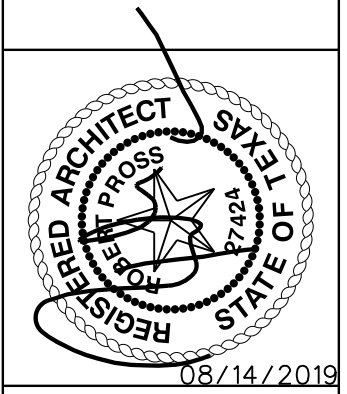
OWNER: ALVAPLAST US, INC. / SPR PACKAGING
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469-402-1232

ARCHITECT: PROSS DESIGN GROUP, INC.
CONTACT: BOBBY PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972-758-1400

CASE NO: SP2019-000

drawn:
checked:
ROBERT PROSS
DATE:
08/14/19

#	DATE	DESCRIPTION



pross design group, incorporated
5310 HARVEST HILL ROAD, SUITE 180, DALLAS, TEXAS 75230 972-758-1400

SPR PACKAGING
OFFICE ADDITION
1480 JUSTIN RD., ROCKWALL, TEXAS

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