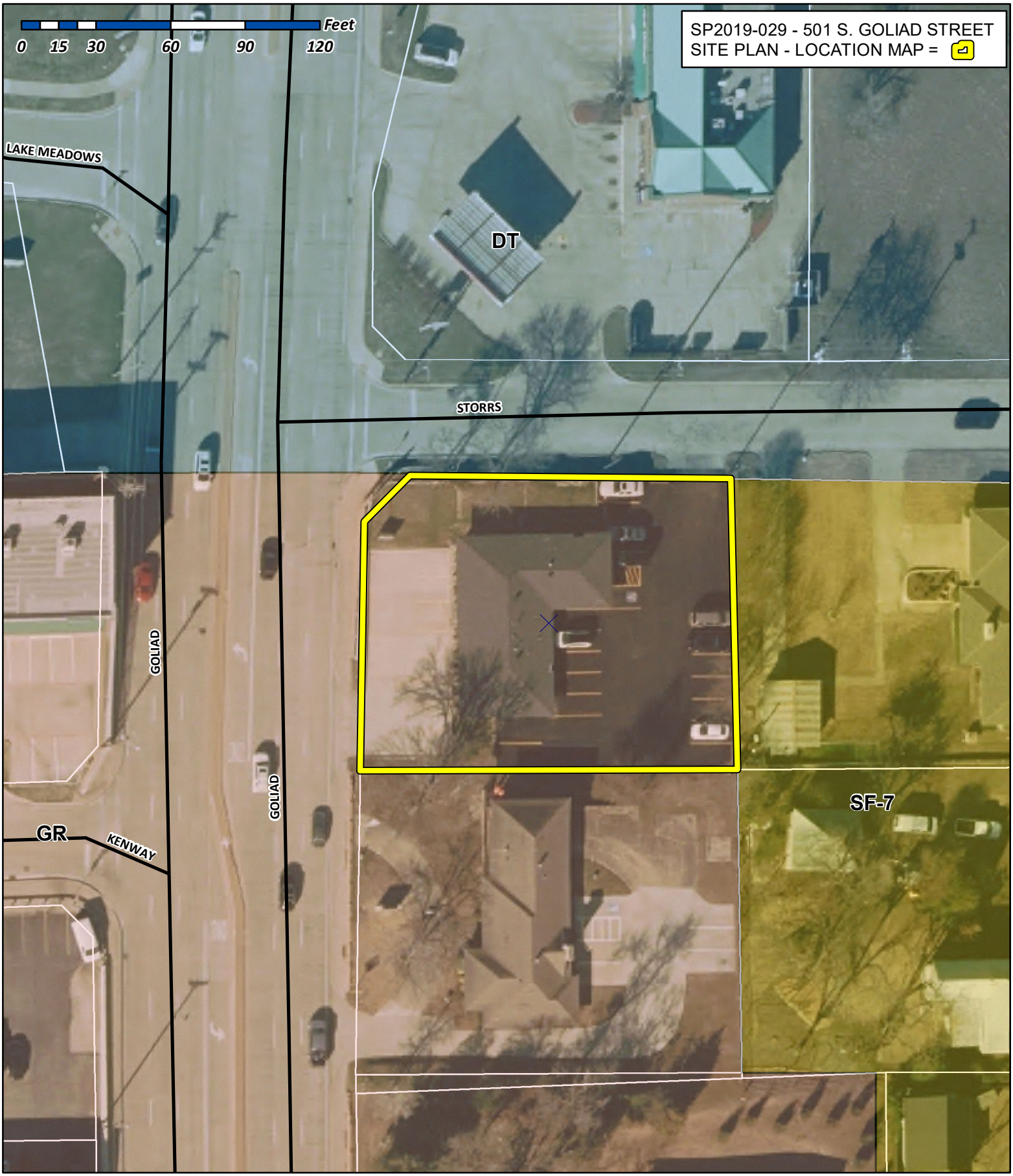
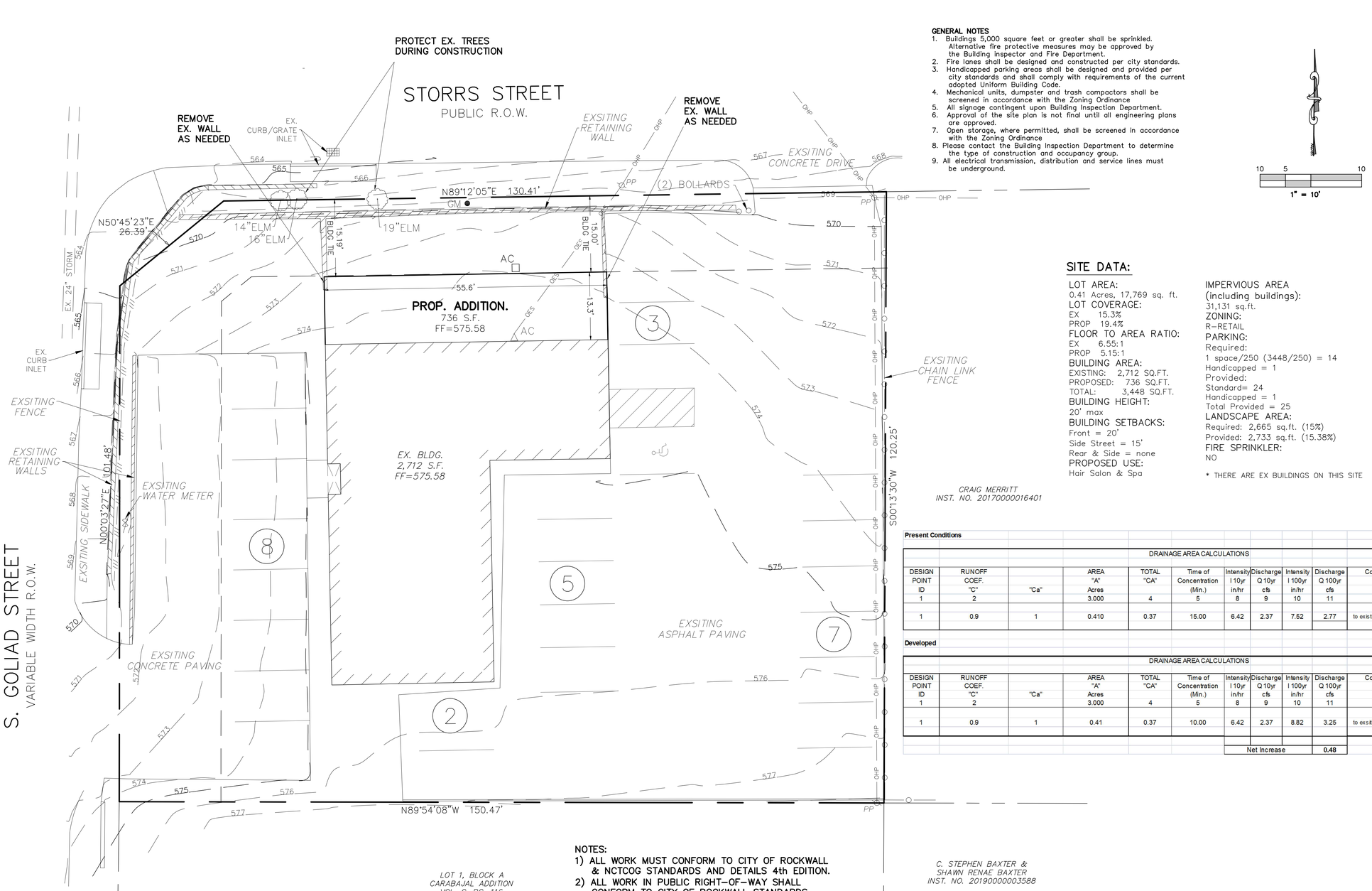


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

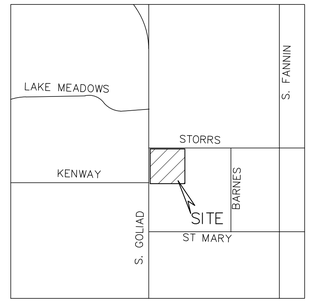


GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

10 5 10

1" = 10'



LOCATION MAP
(NOT TO SCALE)

SITE DATA:

LOT AREA:
0.41 Acres, 17,769 sq. ft.
LOT COVERAGE:
EX 15.3%
PROP 19.4%
FLOOR TO AREA RATIO:
EX 6.55:1
PROP 5.15:1
BUILDING AREA:
EXISTING: 2,712 SQ.FT.
PROPOSED: 736 SQ.FT.
TOTAL: 3,448 SQ.FT.
BUILDING HEIGHT:
20' max
BUILDING SETBACKS:
Front = 20'
Side Street = 15'
Rear & Side = none
PROPOSED USE:
Hair Salon & Spa

IMPERVIOUS AREA (including buildings):
31,131 sq.ft.
ZONING:
R-RETAIL
PARKING:
Required:
1 space/250 (3448/250) = 14
Handicapped = 1
Provided:
Standard= 24
Handicapped = 1
Total Provided = 25
LANDSCAPE AREA:
Required: 2,665 sq.ft. (15%)
Provided: 2,733 sq.ft. (15.38%)
FIRE SPRINKLER:
NO

* THERE ARE EX BUILDINGS ON THIS SITE

LEGEND

———	= PROPERTY LINE
EX. W	= EX. WATER LINE
EX. SS	= EX. SANITARY SEWER LINE
(S)	= EX. SS MANHOLE
WV	= EX. WATER VALVE
PP	= EX. POWER POLE
	= EX. TELEPHONE BOX
	= EX. STORM MANHOLE
FH	= EX. FIRE HYDRANT
	= PROPOSED FIRE HYDRANT
EXIST. or EX.	= EXISTING
ESMNT.	= EASEMENT
LS	= LANDSCAPE
BC	= BACK OF CURB
B-B	= BACK OF CURB TO BACK OF CURB

Present Conditions

DRAINAGE AREA CALCULATIONS

DESIGN POINT ID	RUNOFF COEF. "C"	"Ca"	AREA "A" Acres	TOTAL "CA"	Time of Concentration (Min.)	Intensity I 10yr in/hr	Discharge Q 10yr cfs	Intensity I 100yr in/hr	Discharge Q 100yr cfs	Comments
1	2		3.000	4	5	8	9	10	11	12
1	0.9	1	0.410	0.37	15.00	6.42	2.37	7.52	2.77	to existing storm inlets

Developed

DRAINAGE AREA CALCULATIONS

DESIGN POINT ID	RUNOFF COEF. "C"	"Ca"	AREA "A" Acres	TOTAL "CA"	Time of Concentration (Min.)	Intensity I 10yr in/hr	Discharge Q 10yr cfs	Intensity I 100yr in/hr	Discharge Q 100yr cfs	Comments
1	2		3.000	4	5	8	9	10	11	12
1	0.9	1	0.41	0.37	10.00	6.42	2.37	8.82	3.25	to existing storm inlets
							Net Increase		0.48	

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

NOTES:
1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
3) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

** NOTICE TO CONTRACTORS **

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **CBG SURVEYING TEXAS, INC.** OF DALLAS, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

CASE #:

SITE PLAN

THE JOUR SALON & SPA ADDITION

501 S. GOLIAD ST
Tract of land situated in the
N.M. BALLARD SURVEY, Abstract 48
0.41 ACRES
City of Rockwall, Rockwall County, Texas

owner
SHANNON RIDDEL
972 979-0866
Shannon@littletipsyboutique.com

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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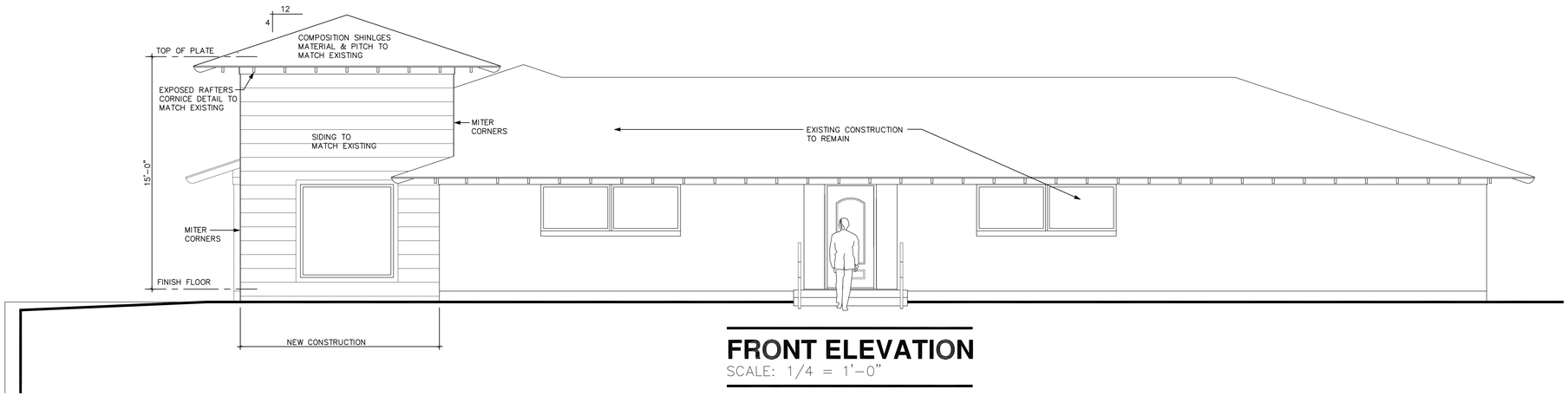
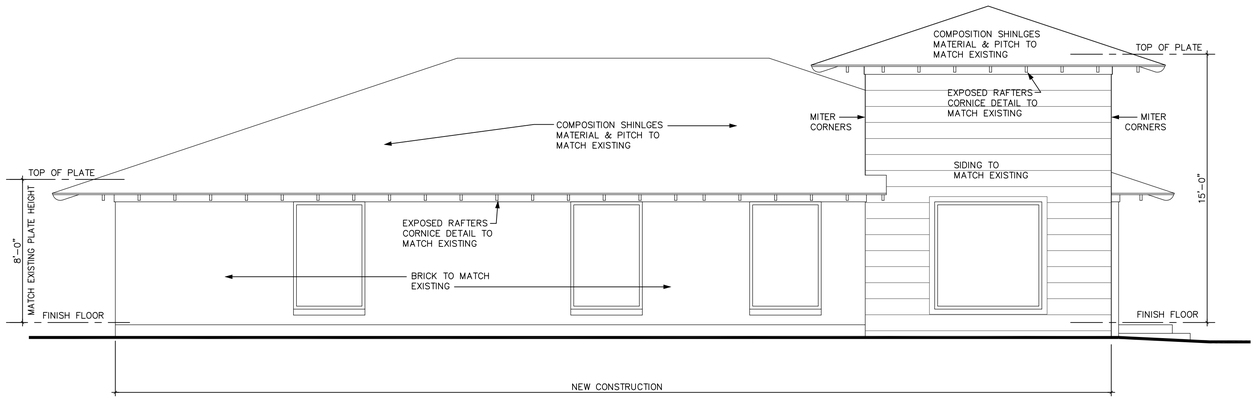
PROJECT NO.: 2019-09 REG. NO.: F-2567

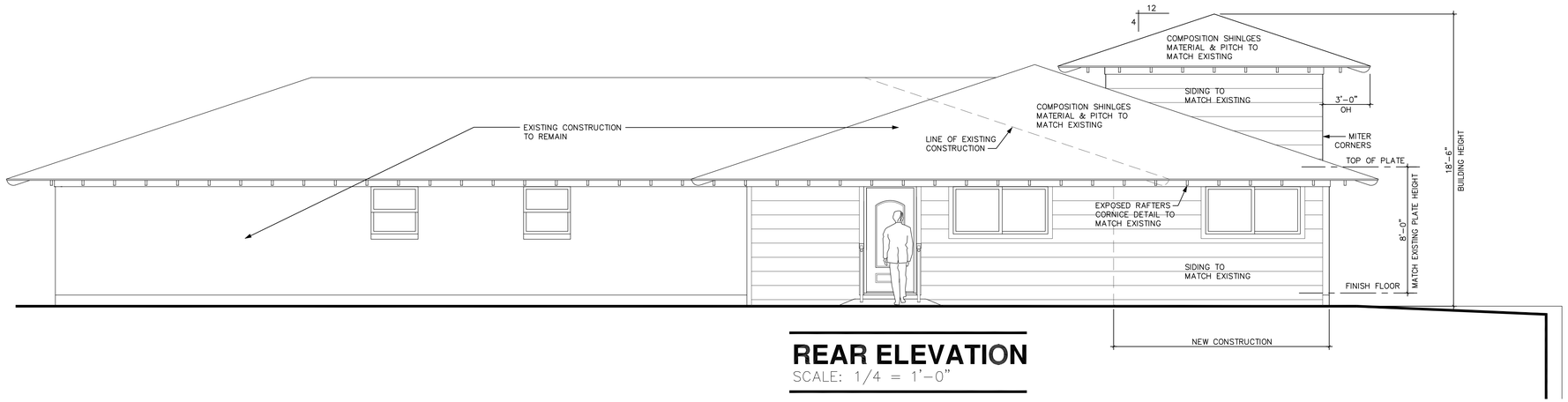
date:	scale:	sheet:
7/9/19	1"=10'	C101



FRONT ELEVATION
SCALE: 1/4 = 1'-0"



SIDE ELEVATION
SCALE: 1/4 = 1'-0"



REAR ELEVATION
SCALE: 1/4 = 1'-0"

MICHAEL BAUSCH
ARCHITECTS

4318 ROSSER SQUARE
DALLAS, TEXAS 75244

214.395.7688

AN ADDITION & RENOVATIONS TO THE JOUR SALON & SPA

501 S. GOLIAD STREET
ROCKWALL, TEXAS 75087

Tract of land situated in the
N. M. BALLARD SURVEY
ABSTRACT 48

CASE #:

BUILDING ELEVATIONS

THE JOUR SALON & SPA ADDITION

501 S. GOLIAD ST
Tract of land situated in the
N.M. BALLARD SURVEY, Abstract 48
0.41 ACRES
City of Rockwall, Rockwall County, Texas

owner
SHANNON RIDDEL
972 979-0866
Shannon@littletipsyboutique.com

prepared by

MICHAEL BAUSCH ARCHITECT
4318 Rosser Square, Dallas, Texas 75244
214 395-7688

date:	scale:	sheet:
7/10/19	1/4"=1'-0"	A101