
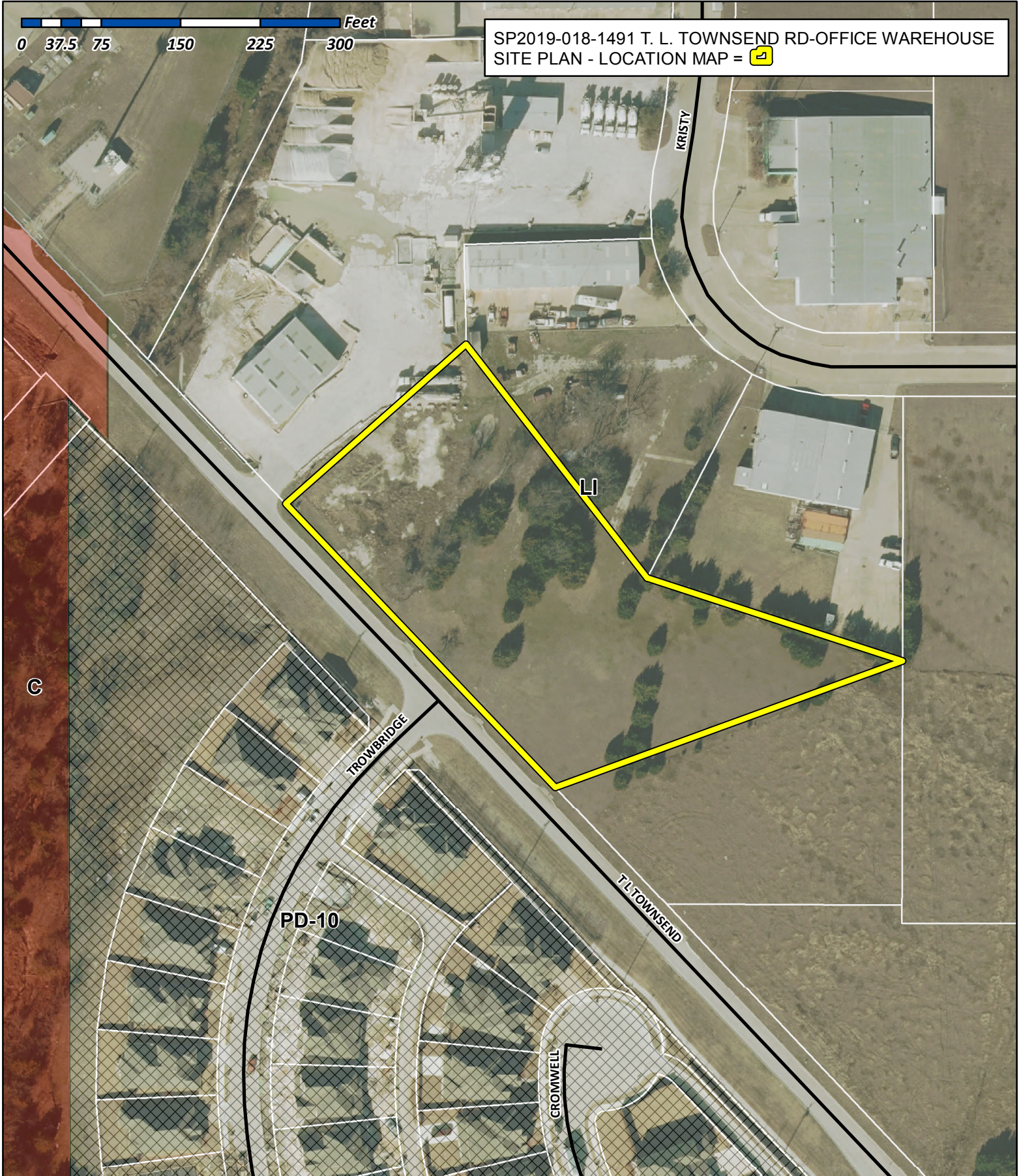


0 37.5 75 150 225 300 Feet

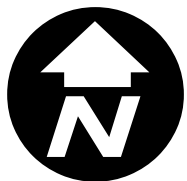
SP2019-018-1491 T. L. TOWNSEND RD-OFFICE WAREHOUSE  
SITE PLAN - LOCATION MAP = 

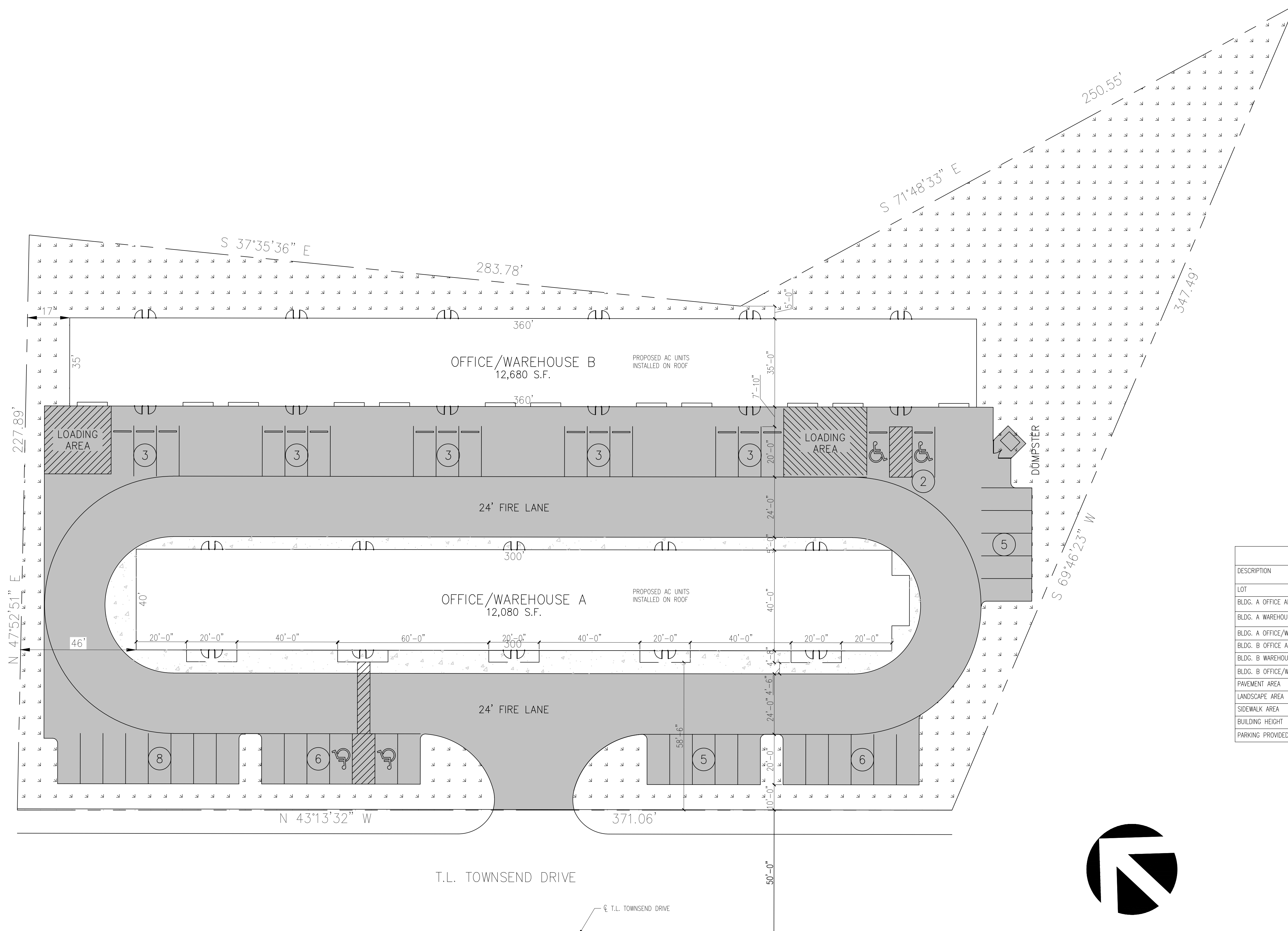


## City of Rockwall

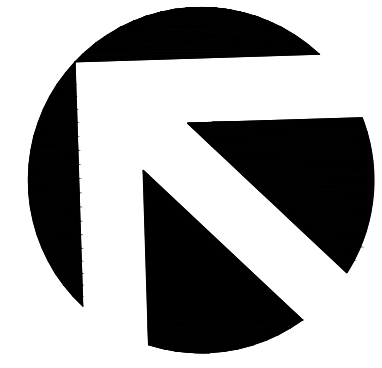
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE SUMMARY		
DESCRIPTION		LOT PERCENTAGE
LOT	2.21 S.F.	100 %
BLDG. A OFFICE AREA		-
BLDG. A WAREHOUSE AREA		-
BLDG. A OFFICE/WAREHOUSE TOTAL AREA	12,080 S.F.	12.5 %
BLDG. B OFFICE AREA		
BLDG. B WAREHOUSE AREA		
BLDG. B OFFICE/WAREHOUSE TOTAL AREA	12,680 S.F.	13.1 %
PAVEMENT AREA	38,137 S.F.	39.5 %
LANDSCAPE AREA	28,762 S.F.	29.8 %
SIDEWALK AREA	4,770 S.F.	4.9 %
BUILDING HEIGHT	24 FT.	
PARKING PROVIDED (4 H.G. INCLUDED)	46 SPACES	



**SITE PLAN**  
SCALE: 1" = 20'

**RAMSAY & REYES**  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

No.	Revisions	Date

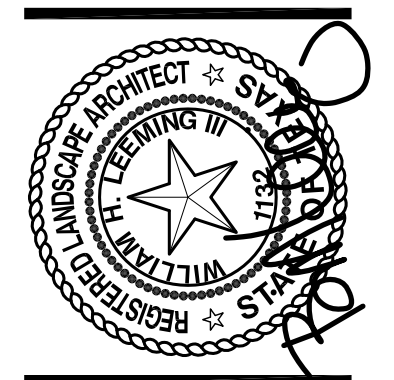
Project Name and Location:  
**PLATINUM BUSINESS PARK II**  
1491 S T.L. TOWNSEND DR.  
BODIN INDUSTRIAL SUBDIVISION  
2.21 ACRES  
LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	1" = 20'
Sheet No.	1 of 7

Drawing Name:  
**SITE PLAN**

apr. by:  
 drawn by:  
 date: 05-16-19

revisions



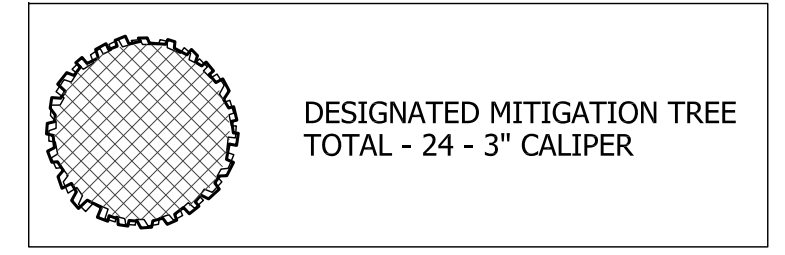
Learning Design Group  
 Landscape Architecture  
 4013 Bullis Snow Drive, Suite 101-38  
 North Richland Hills, Texas 76180  
 (817) 577-8089 Fax: (817) 577-8086

LANDSCAPE PLAN

BODIN TRACT  
 T.L. TOWNSEND DRIVE  
 ROCKWALL, TEXAS

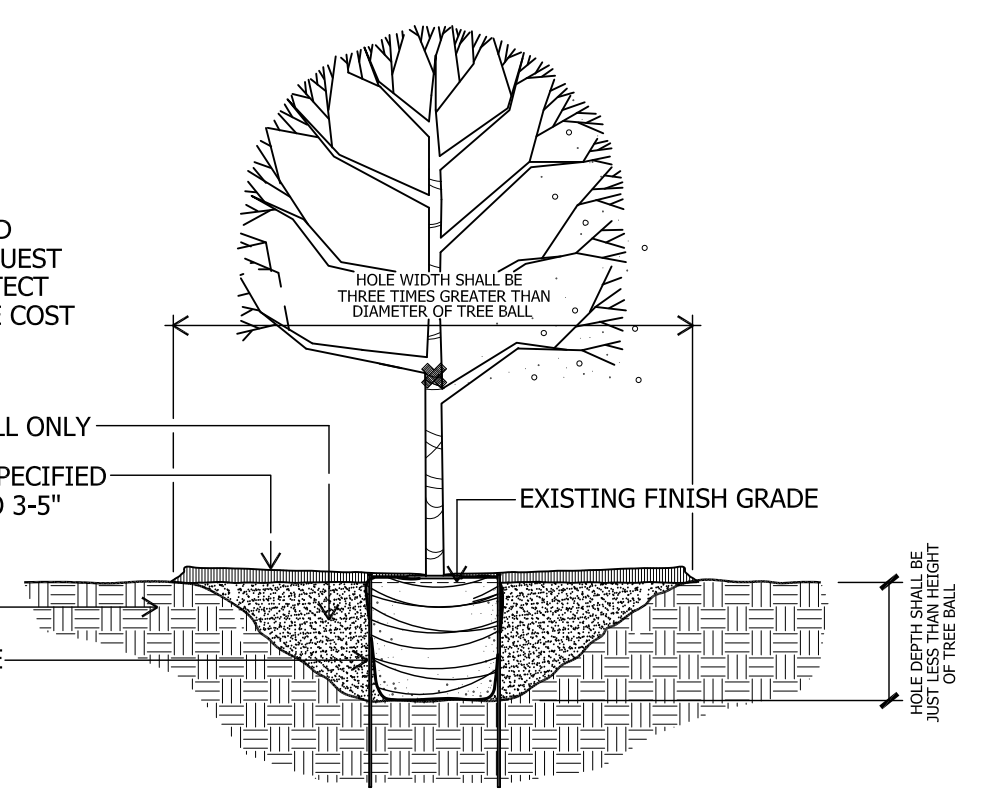
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 c:\Rockwall-Bodin Tract\ldg-base\_Bodin.dwg  
 sheet  
 1-1

EXISTING TREE MITIGATION



DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION  
 TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

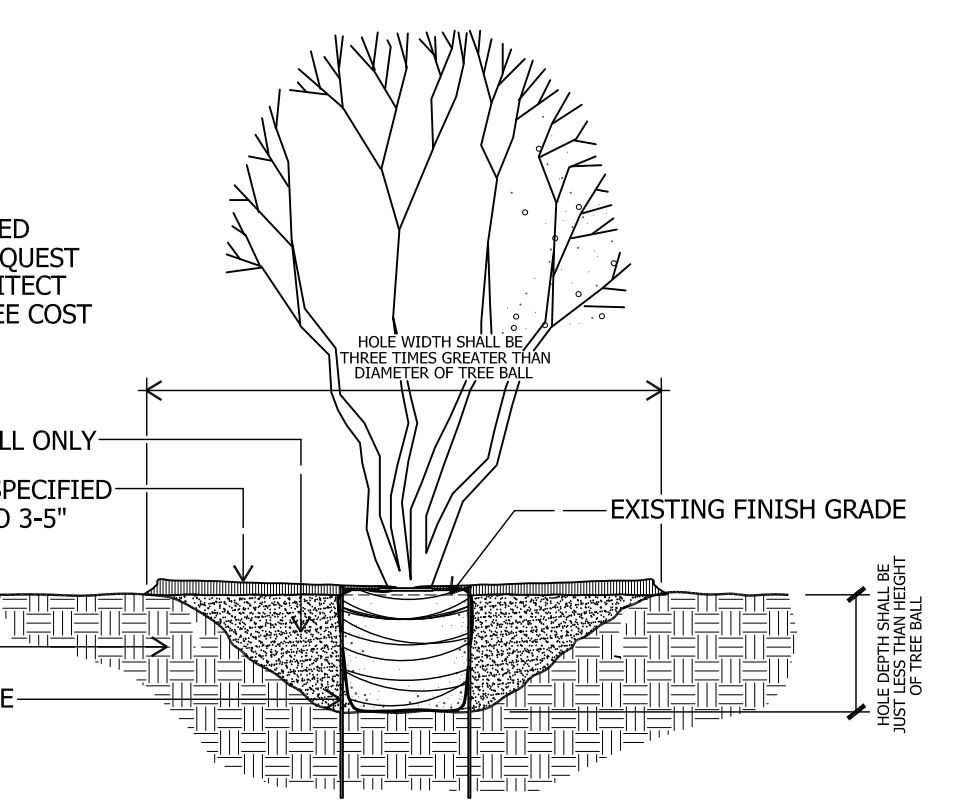
EXISTING NATIVE SOIL BACKFILL ONLY  
 SHREDDED CEDAR MULCH AS SPECIFIED TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE  
 UNDISTURBED SUBGRADE  
 MODEL 65BG-NS BELOW-GRADE TREE STAKING AS MNFG. BY "TREE STAKE SOLUTIONS" (www.treestakesolutions.com)



TREE PLANTING  
 SHADE TREE - 3" CAL. and smaller not to scale

DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION  
 TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY  
 SHREDDED CEDAR MULCH AS SPECIFIED TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE  
 UNDISTURBED SUBGRADE  
 MODEL 65BG-NS BELOW-GRADE TREE STAKING AS MNFG. BY "TREE STAKE SOLUTIONS" (www.treestakesolutions.com)



TREE PLANTING  
 TYPICAL MULTI-TRUNK TREE not to scale

CITY REQUIREMENTS

**STREET FRONTAGE**  
 10' LANDSCAPE BUFFER REQUIRED  
 10' LANDSCAPE BUFFER PROVIDED

**STREET TREES**  
 1 PER 50 LF STREET FRONTAGE  
 T.L. TOWNSEND  
 $\frac{371.06'}{50} = 7.42 = 8$  TREES REQUIRED  
 8 TREES PROVIDED

**PARKING LOT LANDSCAPING**  
 5% INTERIOR LANDSCAPE REQUIRED  
 45,948 SF x 5% = 2,298 SF REQUIRED  
 3,232 SF PROVIDED (7.03%)

1 TREE PER 10 SPACES  
 $\frac{46 \text{ SPACES}}{10} = 4.6 = 5$  TREES REQUIRED  
 5 TREES PROVIDED

**TOTAL LANDSCAPE AREA**  
 20% TOTAL LANDSCAPE REQUIRED  
 TOTAL SITE  
 96,490 SF x 20% = 19,298 SF REQUIRED  
 28,712 SF PROVIDED (29.76%)

LANDSCAPE NOTES

- PLANT LIST FOR THIS SHEET ONLY.
- PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
- ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
- APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:  
 VITAL EARTH COMPOST  
 BACK-TO-EARTH SOIL CONDITIONER  
 LIVING EARTH COMPOST  
 SOIL BUILDING SYSTEMS COMPOST  
 SILVER CREEK MATERIALS COMPOST
- TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
- ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON THIS SHEET.
- ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCs (LICENSED IRRIGATORS ACT), S.B. NO. 259.

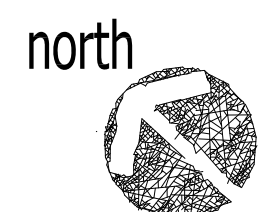
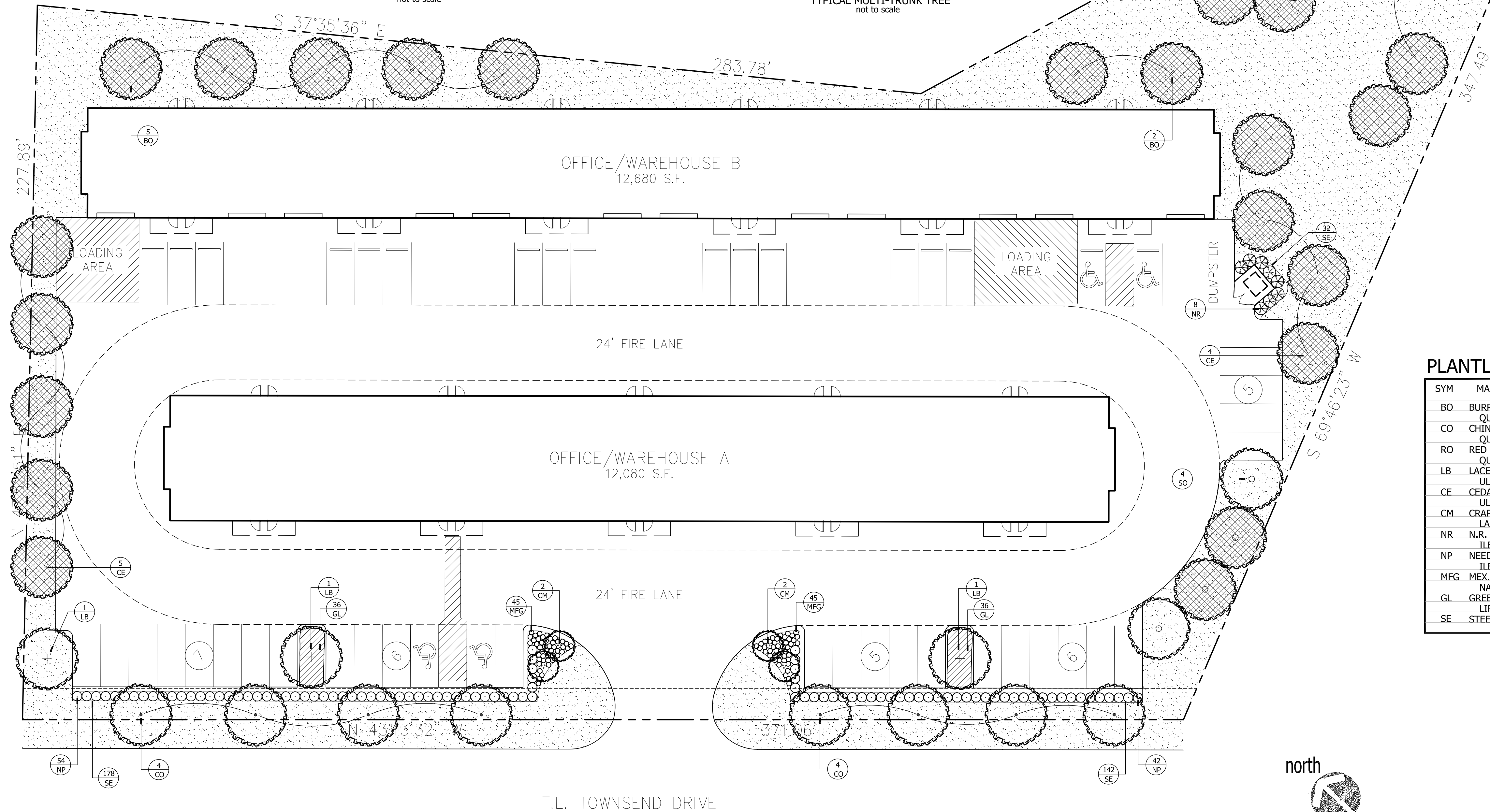
PLANTLIST

SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
BO	BURR OAK	7	3" CAL.	10-12'	5-6'	NURSERY GROWN	
	QUERCUS MACROCARPA						
CO	CHINKAPIN OAK	8	3" CAL.	10-12'	5-6'	NURSERY GROWN	
	QUERCUS MUHLENBERGIA						
RO	RED OAK	4	3" CAL.	10-12'	5-6'	NURSERY GROWN	
	QUERCUS SHUMARDI						
LB	LACEBARK ELM	3	3" CAL.	10-12'	6-7'	NURSERY GROWN	
	ULMUS PARVIFOLIA SEMPERVIRENS						
CE	CEDAR ELM	15	3" CAL.	10-12'	6-7'	NURSERY GROWN	
	ULMUS CRASSIFOLIA						
CM	CRAPE MYRTLE	4	30 GAL.	8-10"	4-5"	CONTAINER GROWN	
	LAGERSTROEMIA INDICA 'BASHAM PINK'						
NR	N.R. STEVENS HOLLY	8	7 GAL.	42"	24"	CONT. GROWN	4'oc
	ILEX x 'NELLIE R. STEVENS'						
NP	NEEDLEPOINT HOLLY	96	5 GAL.	26"	18"	FULL	36"oc
	ILEX CORNUTA 'NEEDLEPOINT'						
MFG	MEX. FEATHERGRASS	90	1 GAL.	12"	10"	FULL	18"oc
	NASSELLA TENUISSIMA						
GL	GREEN LIRIOPE	72	1 GAL.	10"	10"	FULL	18"oc
	LIRIOPE MUSCARI						
SE	STEEL EDGING	352	LIN. FT.			REF. DETAIL	

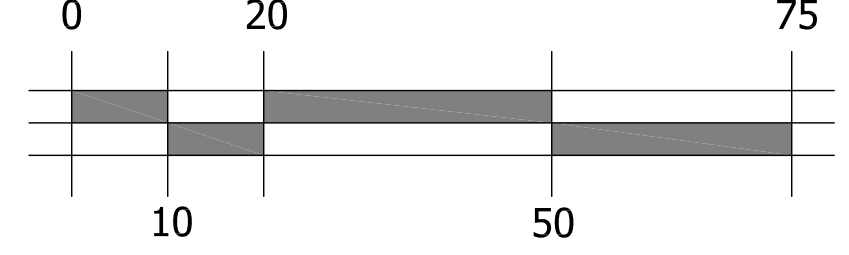
LANDSCAPE LEGEND

COMMON BERMUDA SOD (CYNODON DACTYLON)

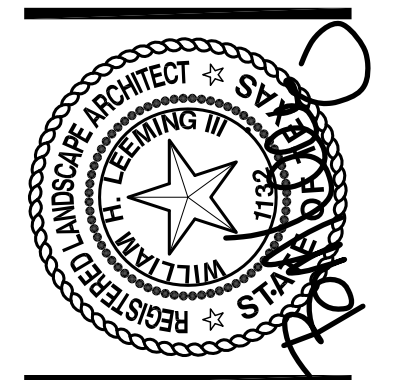
SOD INSTALLATION NOTES:  
 a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.  
 b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.  
 c. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.  
 d. SOD SHALL BE LAID WITH ALTERNATING JOINTS.  
 e. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.



scale: 1" = 20'-0"

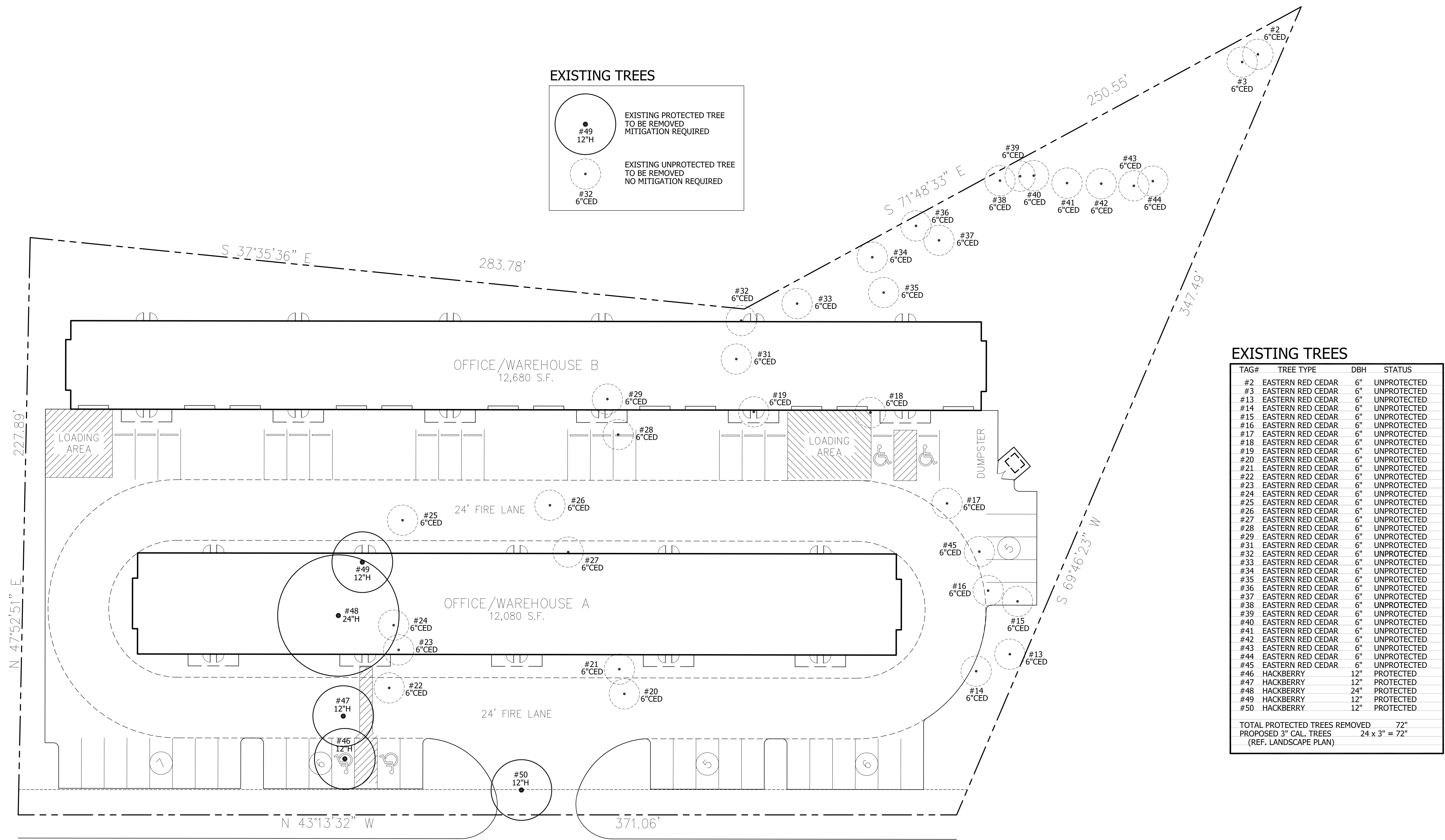


revisions

**Leeming Design Group**  
 Landscape Architecture  
 4013 Bulb Snow Drive, Suite 100-38  
 North Richland Hills, Texas 76180  
 (817) 577-4889 Fax (817) 577-4896  
 leemingdesigngroup@leemingdesign.com

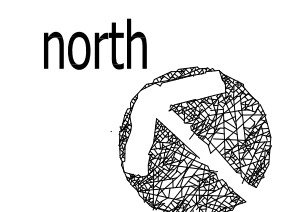
TREESCPE PLAN



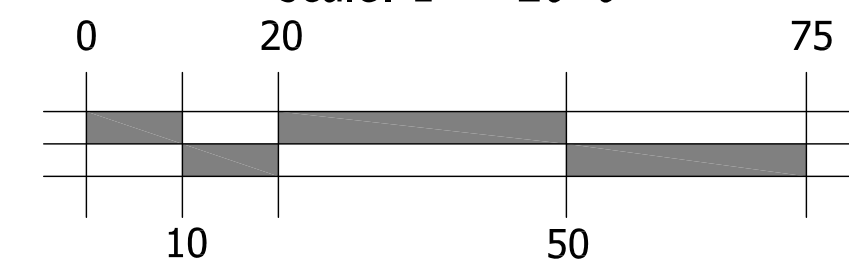
**EXISTING TREES**

TAG#	TREE TYPE	DBH	STATUS
#2	EASTERN RED CEDAR	6"	UNPROTECTED
#3	EASTERN RED CEDAR	6"	UNPROTECTED
#13	EASTERN RED CEDAR	6"	UNPROTECTED
#14	EASTERN RED CEDAR	6"	UNPROTECTED
#15	EASTERN RED CEDAR	6"	UNPROTECTED
#16	EASTERN RED CEDAR	6"	UNPROTECTED
#17	EASTERN RED CEDAR	6"	UNPROTECTED
#18	EASTERN RED CEDAR	6"	UNPROTECTED
#19	EASTERN RED CEDAR	6"	UNPROTECTED
#20	EASTERN RED CEDAR	6"	UNPROTECTED
#21	EASTERN RED CEDAR	6"	UNPROTECTED
#22	EASTERN RED CEDAR	6"	UNPROTECTED
#23	EASTERN RED CEDAR	6"	UNPROTECTED
#24	EASTERN RED CEDAR	6"	UNPROTECTED
#25	EASTERN RED CEDAR	6"	UNPROTECTED
#26	EASTERN RED CEDAR	6"	UNPROTECTED
#27	EASTERN RED CEDAR	6"	UNPROTECTED
#28	EASTERN RED CEDAR	6"	UNPROTECTED
#29	EASTERN RED CEDAR	6"	UNPROTECTED
#31	EASTERN RED CEDAR	6"	UNPROTECTED
#32	EASTERN RED CEDAR	6"	UNPROTECTED
#33	EASTERN RED CEDAR	6"	UNPROTECTED
#34	EASTERN RED CEDAR	6"	UNPROTECTED
#35	EASTERN RED CEDAR	6"	UNPROTECTED
#36	EASTERN RED CEDAR	6"	UNPROTECTED
#37	EASTERN RED CEDAR	6"	UNPROTECTED
#38	EASTERN RED CEDAR	6"	UNPROTECTED
#39	EASTERN RED CEDAR	6"	UNPROTECTED
#40	EASTERN RED CEDAR	6"	UNPROTECTED
#41	EASTERN RED CEDAR	6"	UNPROTECTED
#42	EASTERN RED CEDAR	6"	UNPROTECTED
#43	EASTERN RED CEDAR	6"	UNPROTECTED
#44	EASTERN RED CEDAR	6"	UNPROTECTED
#45	EASTERN RED CEDAR	6"	UNPROTECTED
#46	HACKBERRY	12"	PROTECTED
#47	HACKBERRY	12"	PROTECTED
#48	HACKBERRY	24"	PROTECTED
#49	HACKBERRY	12"	PROTECTED
#50	HACKBERRY	12"	PROTECTED

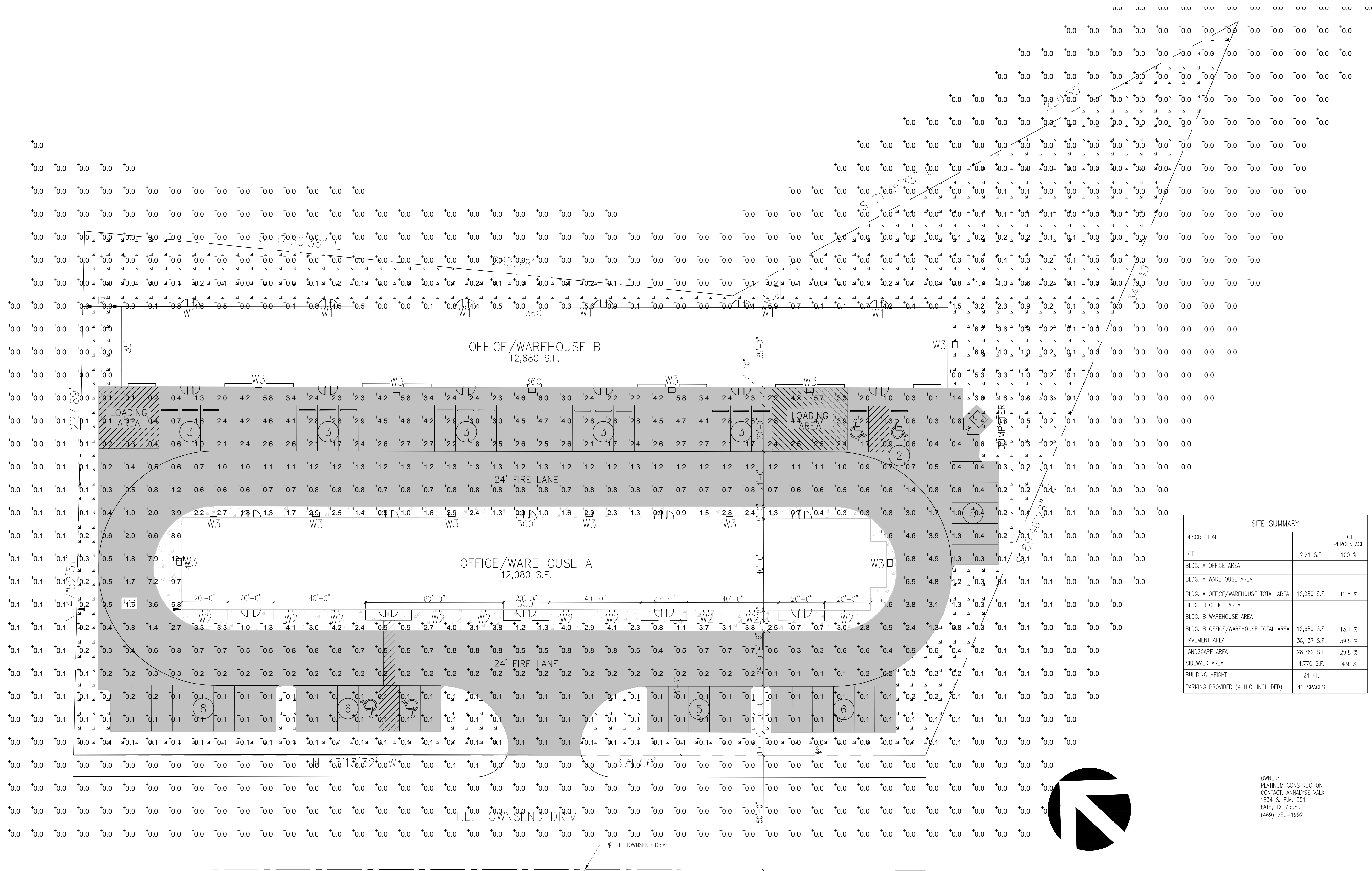
TOTAL PROTECTED TREES REMOVED 72"  
 PROPOSED 3" CAL. TREES 24 x 3" = 72"  
 (REF. LANDSCAPE PLAN)



scale: 1" = 20'-0"

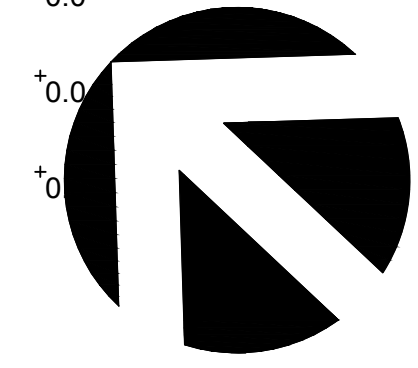


**BODIN TRACT**  
 T.L. TOWNSEND DRIVE  
 ROCKWALL, TEXAS



SITE SUMMARY		
DESCRIPTION	AREA	PERCENTAGE
LOT	2,21 S.F.	100 %
BLDG. A OFFICE AREA		-
BLDG. A WAREHOUSE AREA		-
BLDG. A OFFICE/WAREHOUSE TOTAL AREA	12,080 S.F.	12.5 %
BLDG. B OFFICE AREA		-
BLDG. B WAREHOUSE AREA		-
BLDG. B OFFICE/WAREHOUSE TOTAL AREA	12,680 S.F.	13.1 %
PAVEMENT AREA	38,137 S.F.	39.5 %
LANDSCAPE AREA	28,762 S.F.	29.8 %
SIDEWALK AREA	4,770 S.F.	4.9 %
BUILDING HEIGHT	24 FT.	
PARKING PROVIDED (4 H.C. INCLUDED)	46 SPACES	

OWNER:  
 PLATINUM CONSTRUCTION  
 CONTACT: ANNALYSE WALK  
 1834 S. F.M. 551  
 FATE, TX 75089  
 (469) 250-1992



PHOTOMETRIC SITE PLAN  
 SCALE: 1" = 20'

**RAMSAY & REYES**  
 ARCHITECTURE - MANAGEMENT  
 2235 RIDGE RD. STE. 200  
 ROCKWALL, TEXAS 75087

Revisions	Description/Issue	Date
No.		

Project Name and Location:  
**PLATINUM BUSINESS PARK II**  
 1491 S T.L. TOWNSEND DR.  
 BODIN INDUSTRIAL SUBDIVISION  
 2.21 ACRES  
 LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	1" = 20'
Sheet No.	6 of 7

Drawing Name:  
**PHOTOMETRIC SITE PLAN**

**E1.1**



### Contractor Select® LIL LED Wall Mount Lighting

The Lithonia Lighting® LIL Wall pack is just 5 inch x 5 inch in size and delivers 800 lumens using only 6 watts. It's the ideal, compact "over the door" lighting solution for commercial and residential applications.

#### FEATURES:

- Replaces up to 100W incandescent lamps, saves 90% energy
- Elegant and compact LED solution, Floodwall and battery pack options available
- Back box accessory available for conduit wiring



PROJECT: PLATINUM BUSINESS PARK II	TYPE: W1
PREPARED BY: RAMSAY & REYES ARCHITECTURE - MANAGEMENT 2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087	DATE: 5/17/2019

Color Number	
Notes	
Type	



#### FEATURES & SPECIFICATIONS

**INTENDED USE** — For hallway and work room mounting applications.

**CONSTRUCTION** — Rugged die cast, single piece aluminum housing. Die cast die for 1/8" thick lens and 3/16" lens. Die frame is fully gasketed with one piece soft silicone.

Finish: Standard finish is natural die lacquer. 20077 corrosion resistant epoxy powder finish, with color and texture as noted. Single piece die cast.

**OPTICS** — High quality reflector for superior uniformity and control. Medium throw (MT) full cutoff distribution.

**ELECTRICAL** — Compact fluorescent utilizes an electronic, high frequency ballast. Compact fluorescent socket is four pin positive locking thermoplastic, UL listed. Quick-disconnect plug easily disconnects reflector from ballast and fixture from supply wires.

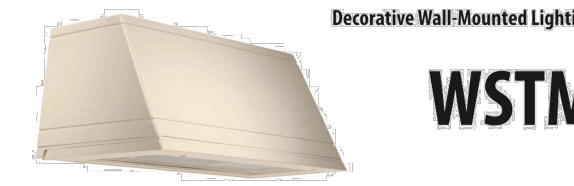
**INSTALLATION** — Easily installed using provided mounting strap. Mount to any non-combustible vertical surface using a 1/2" metal square recessed outlet box (by others). Back access through slotted gasket.

**LISTINGS** — Listed and labeled in UL Catalog. Listed and labeled to CSA standard (see Options), IEC60598 Certified (see Options), ENEC listed. See location label.

**WARRANTY** — 3 year limited warranty. Complete warranty terms located at: [www.lithonia.com/Support/Products/Parts\\_and\\_Revisions.aspx](http://www.lithonia.com/Support/Products/Parts_and_Revisions.aspx)

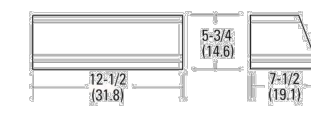
Note: Specifications subject to change without notice.

Color Number	
Notes	
Type	



Decorative Wall Mounted Lighting  
**WSTM**  
COMPACT FLUORESCENT  
260TT  
26-42TRT

Specification	
Length: 12-1/2" (318)	
Depth: 7-1/2" (191)	
Height: 5-3/8" (139)	
Weight: 16.8 lbs (7.63 kg)	

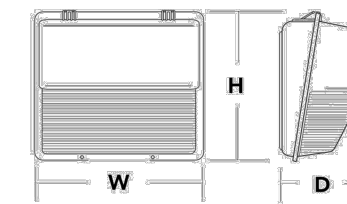


### TWH LED LED Wall Luminaire



#### Specifications

Width:	16-1/4" (413mm)
Height:	15-3/4" (399mm)
Depth:	6" (152mm)
Weight:	28 lbs (12.7 kg)



Color Number	
Notes	
Type	

#### CSA Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency

- This luminaire is A+ Certified when ordered with DTL\* controls marked by a shaded background. DTL, DLI equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability.

- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

To learn more about A+, visit [www.acuitybrands.com/a+](http://www.acuitybrands.com/a+)

1. See ordering tree for details.

2. A+ Certified Solutions for ROAM require the order of one ROAM mode per luminaire. Sold Separately.

[Link to Roaming Link to DTL, DLI.](#)



**RAMSAY & REYES**  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

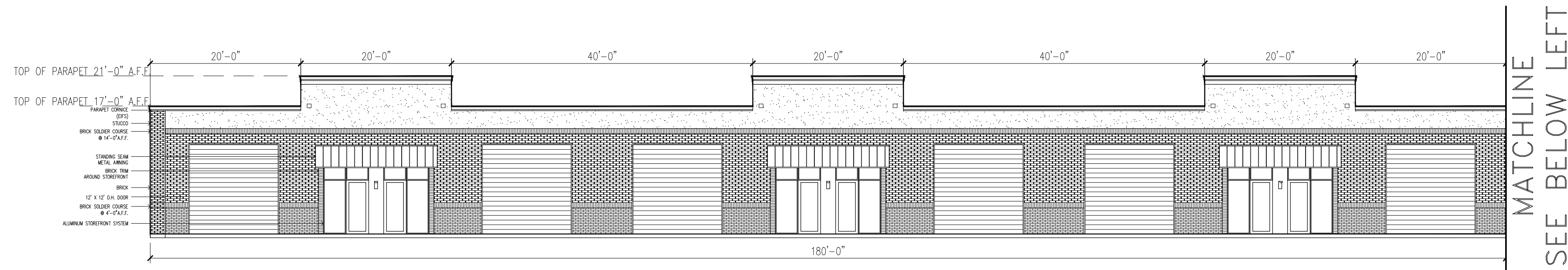
No.	Revisions	Description/Issue	Date

Project Name and Location:  
**PLATINUM BUSINESS PARK II**  
1491 S.T.L. TOWNSEND DR.  
BODIN INDUSTRIAL SUBDIVISION  
2.21 ACRES  
LIGHT INDUSTRIAL ZONING

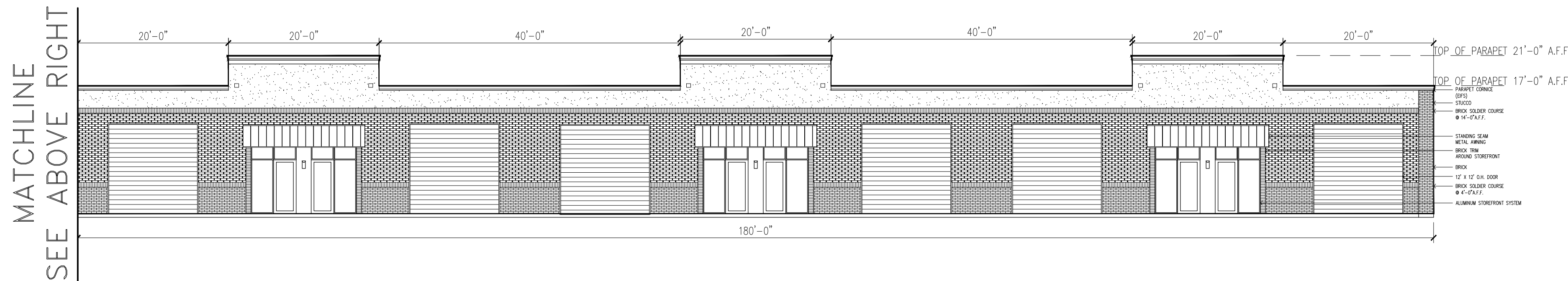
Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	1" = 20'
Sheet No.	7 of 7

Drawing Name:  
**OUTDOOR LIGHT SPECS.**

**E1.2**



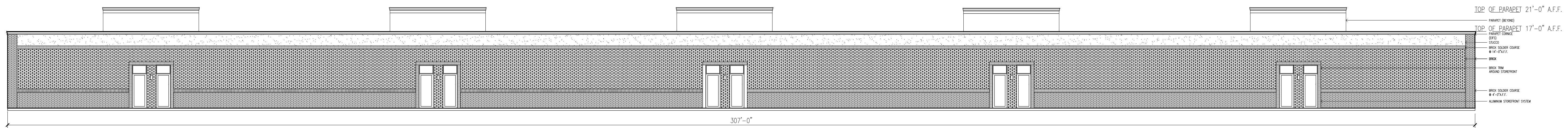
MATERIAL USAGE (%) - BLDG B WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		6,600	
DOORS & WINDOWS (DEDUCTED)		2,376	
ACCOUNTABLE AREA		4,224	100%
MASONRY (BRICK)		2,661	67%
MASONRY (3-STEP STUCCO)		1,262	27%
EIFS (MOLDING)		280	6%



BUILDING B - WEST ELEVATION

SCALE: 3/32" = 1'

MATERIAL USAGE (%) - BLDG B. EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		6,120	
DOORS & WINDOWS (DEDUCTED)		252	
ACCOUNTABLE AREA		5,868	100%
METAL		5,868	100%
		0	0%
		0	0%

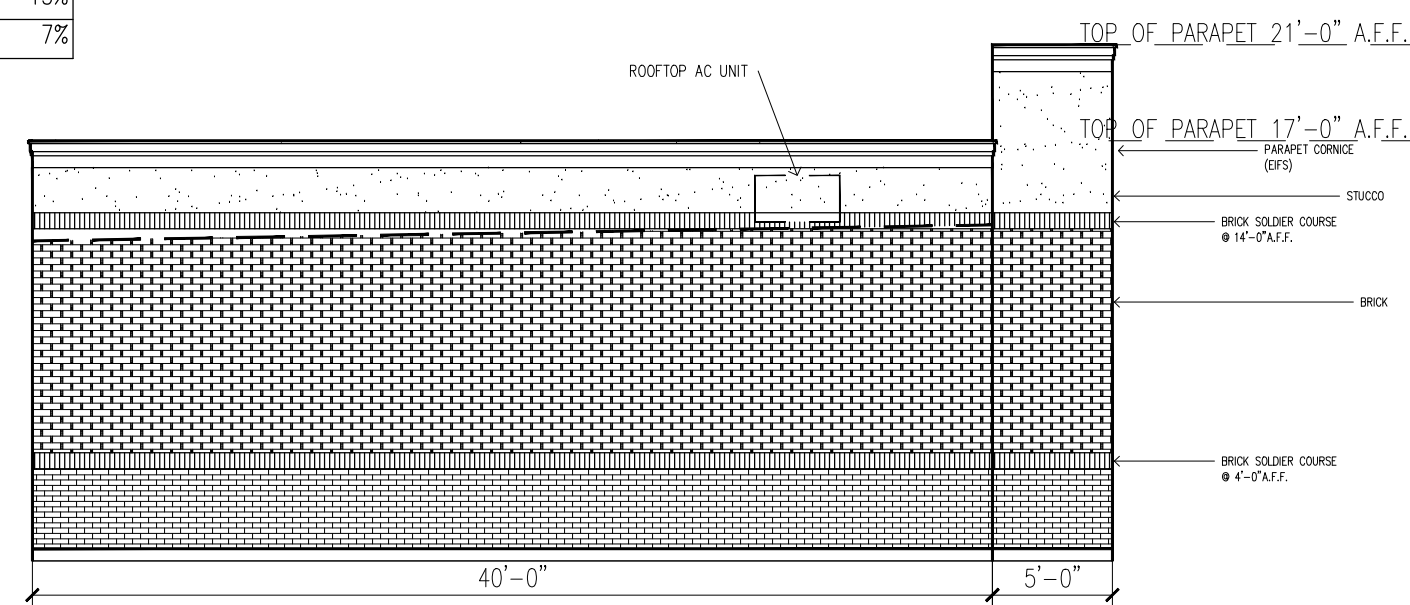


BUILDING B - EAST ELEVATION

SCALE: 3/32" = 1'

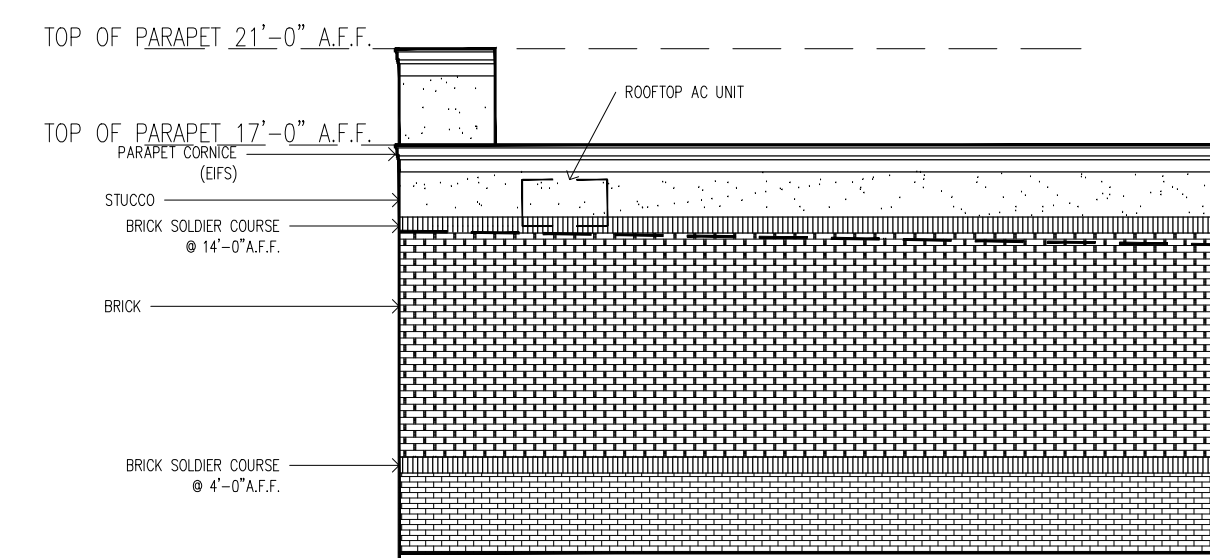
MATERIAL USAGE (%) - BLDG A SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		785	
DOORS & WINDOWS (DEDUCTED)		21	
ACCOUNTABLE AREA		764	100%
MASONRY (BRICK)		614	80%
MASONRY (3-STEP STUCCO)		100	13%
EIFS (MOLDING)		50	7%

MATERIAL USAGE (%) - BLDG A NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		765	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		765	100%
MASONRY (BRICK)		612	80%
MASONRY (3-STEP STUCCO)		103	13%
EIFS (MOLDING)		50	7%



BUILDING B - NORTH ELEVATION

SCALE: 1/8" = 1'



BUILDING B - SOUTH ELEVATION

SCALE: 1/8" = 1'

**RAMSAY & REYES**  
 ARCHITECTURE - MANAGEMENT  
 2235 RIDGE RD. STE. 200  
 ROCKWALL, TEXAS 75087

Revisions	Date
No.	
Description/Issue	

Project Name and Location:  
**PLATINUM BUSINESS PARK II**  
 1491 S T.L. TOWNSEND DR.  
 BODIN INDUSTRIAL SUBDIVISION  
 2.21 ACRES  
 LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	AS SHOWN
Sheet No.	3 of 7

Drawing Name:  
**BLDG. B ELEVATIONS**

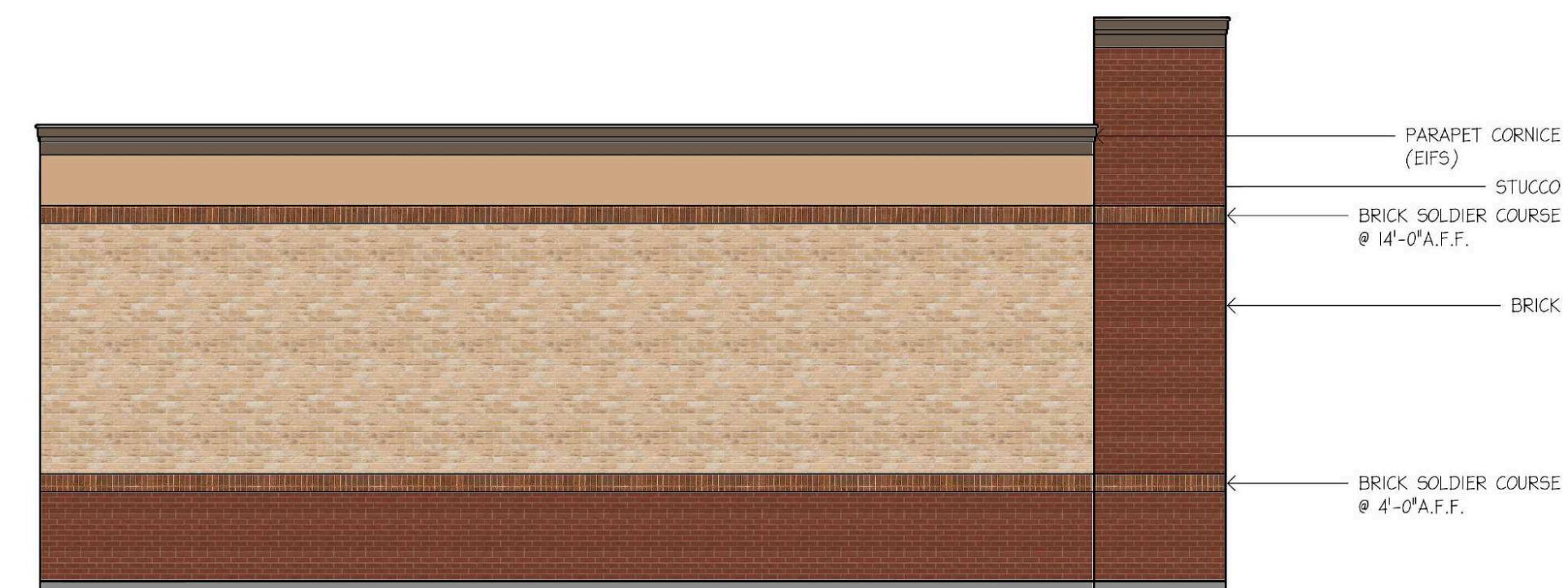


PROPOSED NEW OFFICE/ WAREHOUSE FACILITY

MAY 16, 2019

PLATINUM SELF STORAGE  
TOWNSEND DR.  
ROCKWALL, TEXAS 75087

PORTION OF BUILDING AT THE  
EAST



PROPOSED NEW OFFICE/ WAREHOUSE FACILITY

MAY 16, 2019

PLATINUM SELF STORAGE  
TOWNSEND DR.  
ROCKWALL, TEXAS 75087

NORTH ELEVATION