

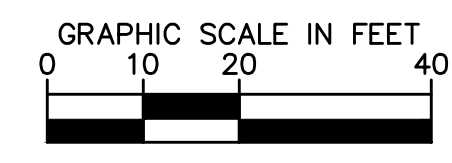
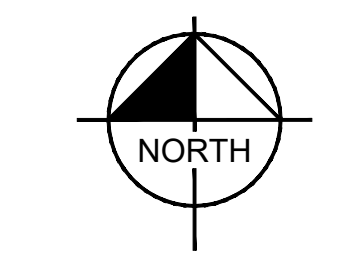
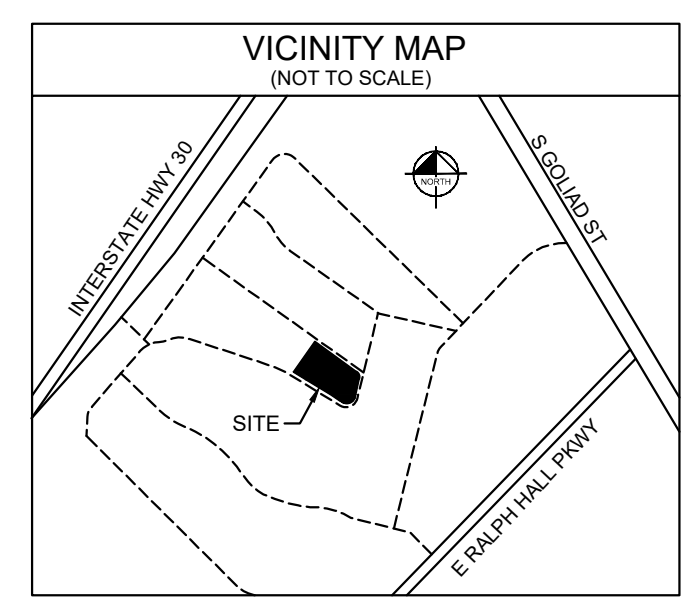
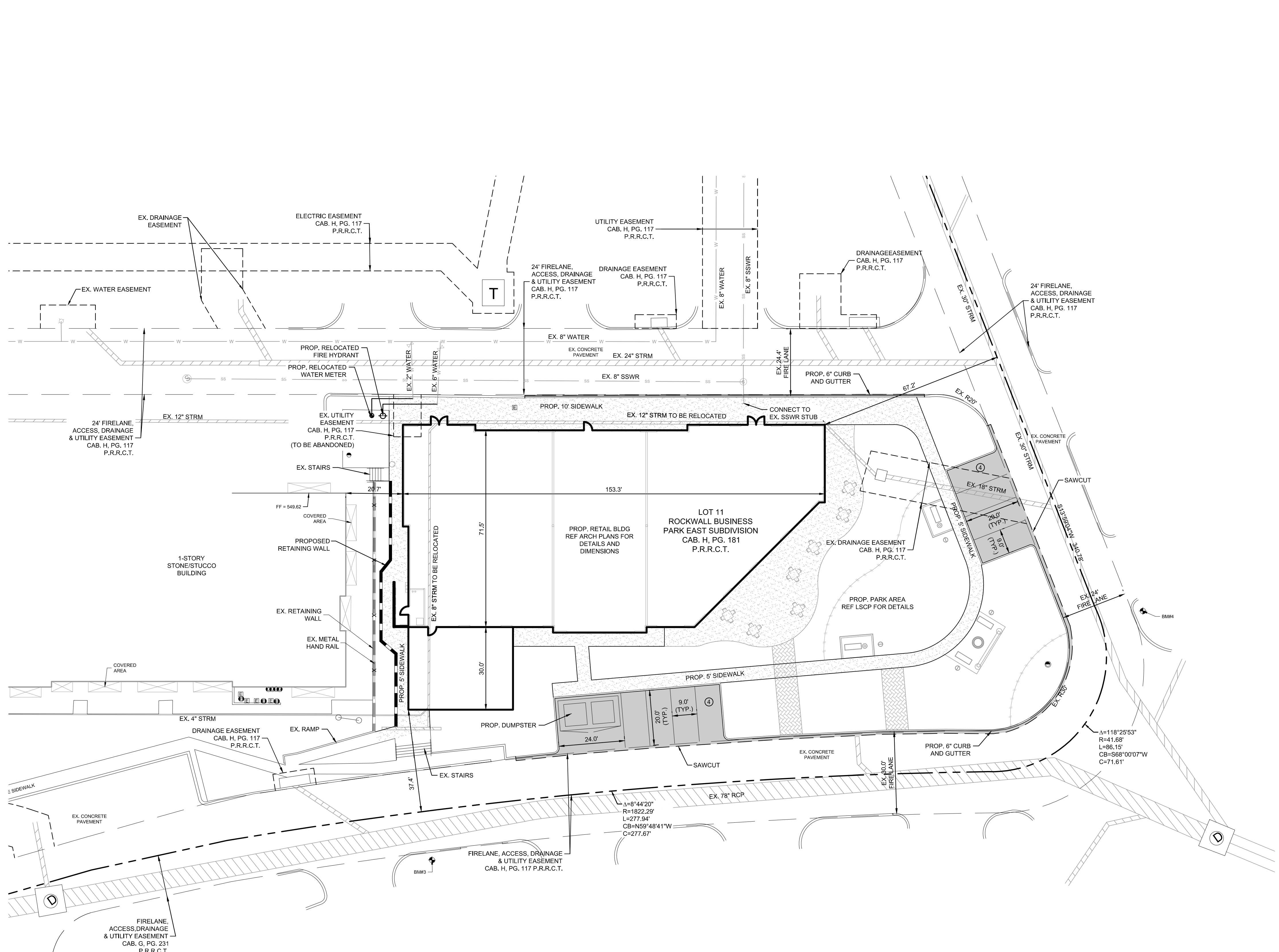
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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LEGEND

- PROPOSED SIDEWALK PAVEMENT (4" THICK / 3,000 PSI)
- PROPOSED CONCRETE PAVEMENT (6" THICK / 3,600 PSI)
- PROPOSED PAVERS REF. LSCP ARCH PLANS FOR DETAILS
- FULL DEPTH SAWCUT
- PARKING STALL COUNT
- WATER METER

SITE DATA	
CURRENT LAND USE	C - Commercial
PROPOSED LAND USE	C - Commercial
TOTAL LOT AREA	±30,200 SF
SITE PERIMETER	±0.7 AC
BUILDING SQUARE FOOTAGE	±170 LF
BUILDING HEIGHT	27.5 FT

- SITE NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. ALL CURB RADIUS DIMENSIONS ARE TO FACE OF CURB. ALL CURB RADII ARE 2' UNLESS OTHERWISE NOTED.
 - ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
 - PARKING STUDY IS NOT REQUIRED PER CITY OF ROCKWALL PER PRE-DEVELOPMENT MEETING ON 1/10/2019. ADDITIONAL PARKING IS NOT REQUIRED DUE TO SHOPPING CENTER BEING OVER PARKED.



BENCHMARKS

BM#1 (CITY OF ROCKWALL MONUMENT (RESET R005-1)) A CONCRETE MONUMENT WITH BRASS CAP FOUND IN THE CENTER MEDIAN OF SUMMIT RIDGE DRIVE AT ITS INTERSECTION WITH F.M. HWY. NO. 740.	ELEV=578.63
BM#2 SQUARE CUT WITH "X" CUT SET ON THE WEST CORNER OF A CONCRETE CURB INLET LOCATED ON THE NORTHWEST SIDE OF A PARKING LOT APPROXIMATELY 60 FEET SOUTHEAST FROM THE CENTER OF THE EAST BOUND SERVICE ROAD OF IH 30 AND 270 FEET SOUTHWEST FROM THE CENTER OF THE NORTHERNMOST ENTRANCE TO PLAZA OF ROCKWALL.	ELEV=562.98
BM#3 "X" CUT SET ON THE NORTHWEST CORNER OF A CONCRETE MEDIAN LOCATED ON THE SOUTH SIDE OF AN ACCESS DRIVE. ±610 FEET SOUTHEAST FROM THE CENTER OF ENTRANCE DRIVE FROM THE EAST BOUND SERVICE ROAD OF IH 30 AND ±800 FEET NORTHWEST FROM THE CENTER ENTRANCE DRIVE FROM RALPH HALL PARKWAY.	ELEV=543.15
BM#4 "X" CUT SET ON THE NORTHWEST CORNER OF A CONCRETE MEDIAN LOCATED ON THE EAST SIDE OF AN ACCESS DRIVE. ±875 FEET SOUTHEAST FROM THE CENTER OF ENTRANCE DRIVE FROM THE EAST BOUND SERVICE ROAD OF IH 30 AND ±600 FEET NORTHWEST FROM THE CENTER ENTRANCE DRIVE FROM RALPH HALL PARKWAY.	ELEV=539.11



DEVELOPER:
SHOPCORE PROPERTIES
 233 S. WACKER DR. SUITE 3400
 CHICAGO, IL 60606
 PH. (312) 798-5151
 CONTACT: STEVE RUSSELL

CASE NUMBER: SP2019-XXXX

NO.	REVISIONS	DATE	BY

Kimley»Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PHONE: 972.770.9000 FAX: 972.268.8850
 TEXAS REGISTERED ENGINEERS FROM 1988

FOR REVIEW ONLY
 Not for construction or permit purposes.
Kimley»Horn
 Engineer: SARAH E. SCOTT, P.E.
 P.E. No. 113285 - Date: 03/15/2019

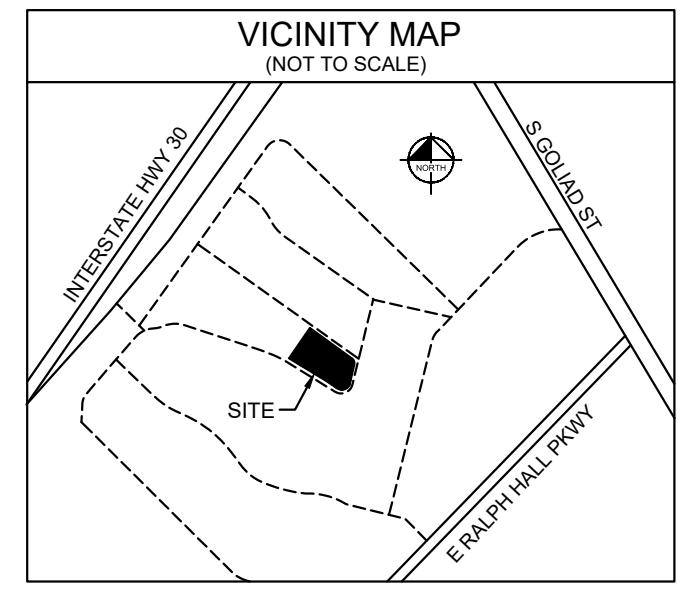
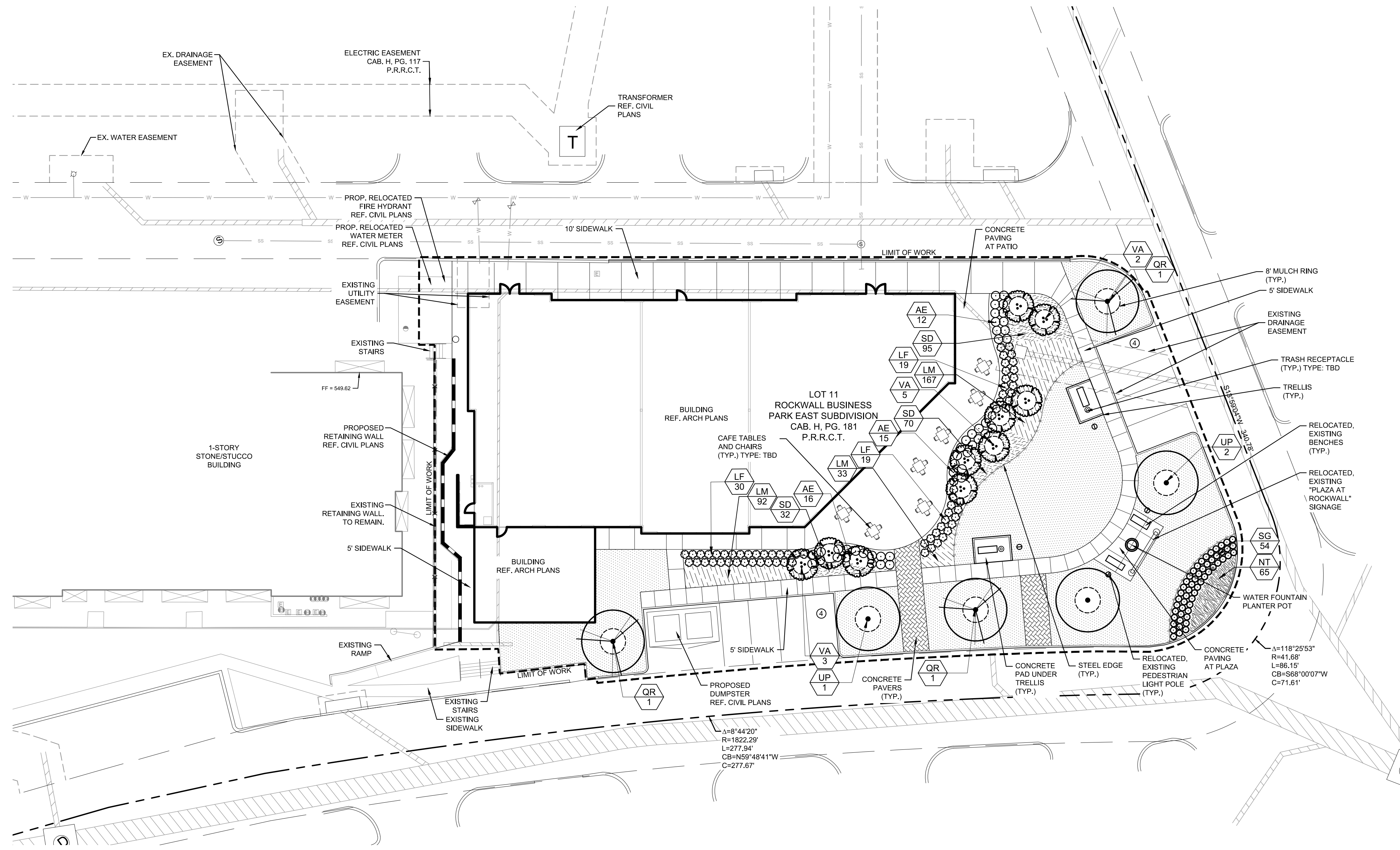
PROJECT No:	06422800
DATE:	MARCH 2019
SCALE:	AS SHOWN
DESIGNED BY:	MM
DRAWN BY:	RNI
CHECKED BY:	SES

ROCKWALL PLAZA
 LOT 11, ROCKWALL BUSINESS PARK
 EAST SUBDIVISION
 995 INTERSTATE HWY 30
 ROCKWALL, TX

SITE PLAN

SHEET NUMBER
SP

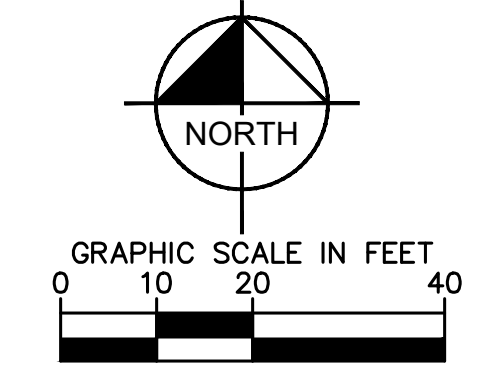
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City of Rockwall - Article VIII - Landscape Standards		
	REQUIRED	PROVIDED
TOTAL LANDSCAPE AREA REQUIREMENT		
Minimum square footage requirements for landscaping shall be provided and maintained in the zoning districts. 30,200 SF x 15% = 4,530 SF	15% (4,530 SF)	28% (8,539 SF)
LANDSCAPE BUFFER STRIP		
A minimum 10' wide landscape buffer strip must be provided along the entire length of the perimeter of any commercial or industrial lot that abuts, without an alley or drive separation, or is directly across a public street from a residential zoning district.	N/A	N/A
A street landscape buffer strip with a minimum width of 10' must be provided along the entire length of the property to the developed that is adjacent to a major arterial or collector street.	N/A	N/A
SCREENING OF OFF-STREET LOADING DOCKS		
Off-street loading docks in commercial zoning classifications must be screening from: 1. All public streets 2. Any residential district that abuts or is directly across a public street or alley from the lot.	N/A	N/A
PARKING LOT LANDSCAPING		
Any parking lot with more than two rows of spaces shall be a minimum of 5% or 200 SF in the interior of the parking lot in landscaping. Such landscaping shall be counted toward the total landscaping.	N/A	N/A
No tree shall be planted closer than 2 1/2' to the pavement.	Yes	Yes

City of Rockwall - Site Data	
Current Land Use	C-Commercial
Proposed Land Use	C-Commercial
Total Lot Area	+/- 30,200 SF
	+/- 0.7 acres
Site Perimeter	+/- 170 LF
Building Square Footage	9, 835 SF
Building Height	27.5 FT

- NOTE:
- ALL LANDSCAPE AREAS MUST BE IRRIGATE BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN/FREEZE SENSORS AND COMPLY WITH REQUIREMENTS AS NOTED BY TCEQ AND CITY OF ROCKWALL LUD.
 - ALL BED AREAS MUST BE SEPARATED FROM TURF AREAS BY STEEL EDGE
 - CONTRACTOR TO SEED ALL DISTURBED AREAS.



PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	ROOT	CAL	SIZE	REMARKS
	UP	3	ULMUS PARVIFOLIA SEMPERVIRENS 'ATHENA' / ATHENA LACEBARK ELM	B & B	3" CAL.	14'-16" HT.	STRONG CENTRAL LEADER, FULL
	VA	10	VITEA AGNUS-CASTUS / CHASTE TREE	CONT.	3-1.5" CANES	8'-10" HT.	MULTI-TRUNK (3-5 STEMS), FULL
	QR	3	QUERCUS RUBRA / RED OAK	B & B	3" CAL.	14'-16" HT.	STRONG, CENTRAL LEADER, FULL
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	ROOT	SIZE	SPACING	REMARKS
	SG	54	SALVIA GREGGII / AUTUMN SAGE	CONT.	18" HT.	24" O.C.	FULL AND MATCHING
	LF	68	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' / COMPACT TEXAS RANGER	3 GAL. MIN.	24" HT.	36" O.C.	FULL AND MATCHING
	AE	43	ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA	3 GAL. MIN.	24" HT.	36" O.C.	FULL AND MATCHING
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	ROOT	SIZE	SPACING	REMARKS
	LM	292	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILY TURF	1 GAL.	9"-12" HT.	18" O.C.	5 BIB MIN. FULL
	SO	5,972 SF	CYNODON DACTYLON / COMMON BERMUDA GRASS	N/A	N/A	N/A	SOD TO HAVE TIGHT, SAND FILLED JOINTS AND BE FREE OF WEEDS.
	NT	65	NASSELLA TENUISSIMA / MEXICAN FEATHERGRASS	1 GAL.	12" HT.	18" O.C.	FULL
	SD	197	LIRIOPE MUSCARI 'SILVER DRAGON' / SILVER DRAGON LILY TURF	1 GAL.	9"-12" HT.	18" O.C.	5 BIB MIN. FULL

DEVELOPER:
SHOPCORE PROPERTIES
 233 S. WACKER DR. SUITE 3400
 CHICAGO, IL 60606
 PH. (312) 798-5151
 CONTACT: STEVE RUSSELL

LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES
 13455 NOEL RD., TWO GALLERIA TOWER
 STE 700
 DALLAS, TX 75240
 PH. (972) 770-1300
 CONTACT: PATRICK B. HART, PLA



CASE NUMBER: SP2019-XXXX

No.	REVISIONS	DATE	BY

Kimley»Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PHONE: 972.770.1300 FAX: 972.696.8360
 TEXAS REGISTERED ENGINEERS FROM F-928

PROJECT No.	
09422800	MARCH 2019
DATE:	SCALE: AS SHOWN
DESIGNED BY: LLL	DRAWN BY: LLL
CHECKED BY: PBH	

ROCKWALL PLAZA
 LOT 11, ROCKWALL BUSINESS PARK
 EAST SUBDIVISION
 995 INTERSTATE HWY 30
 ROCKWALL, TX

LANDSCAPE PLAN

SHEET NUMBER
LP 1.01

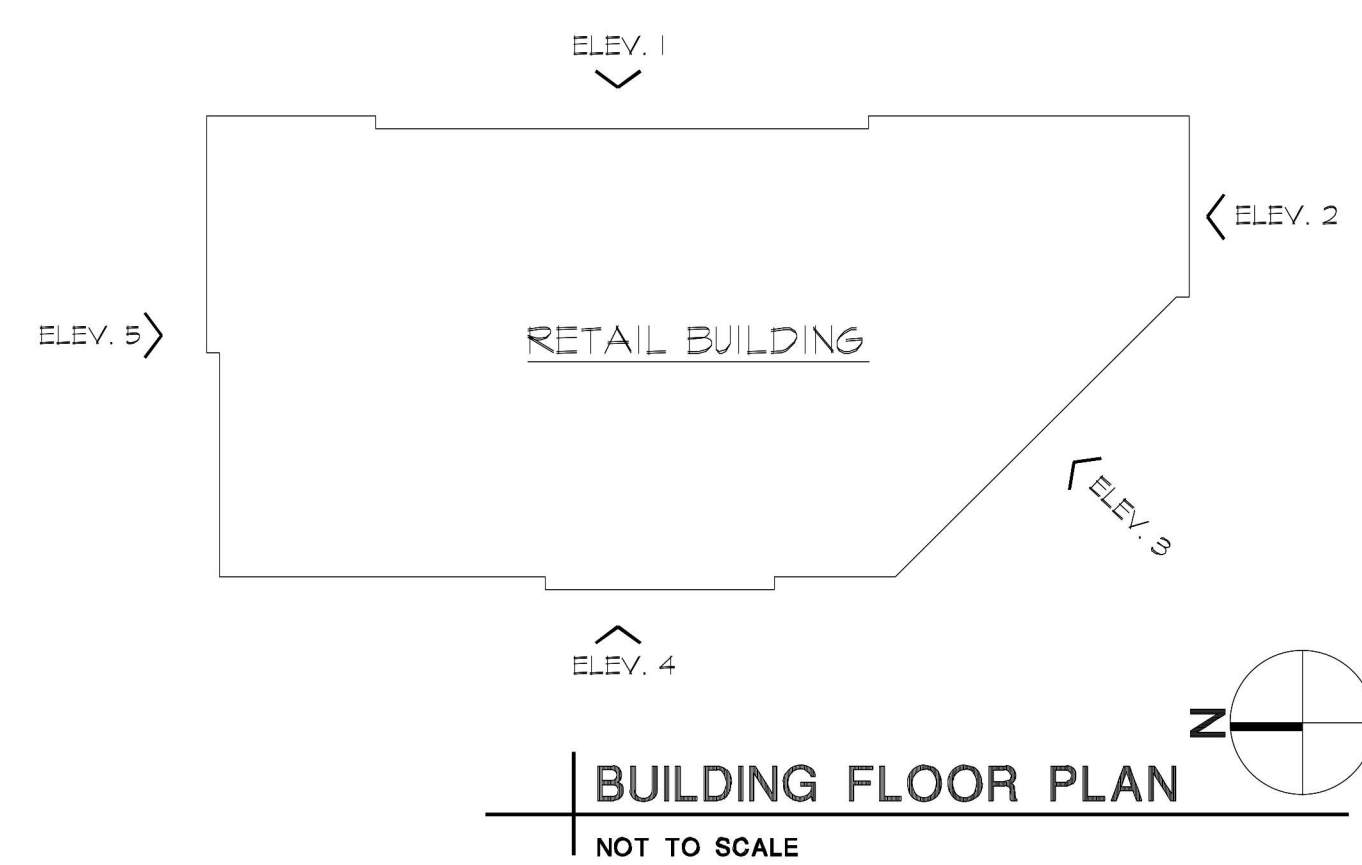
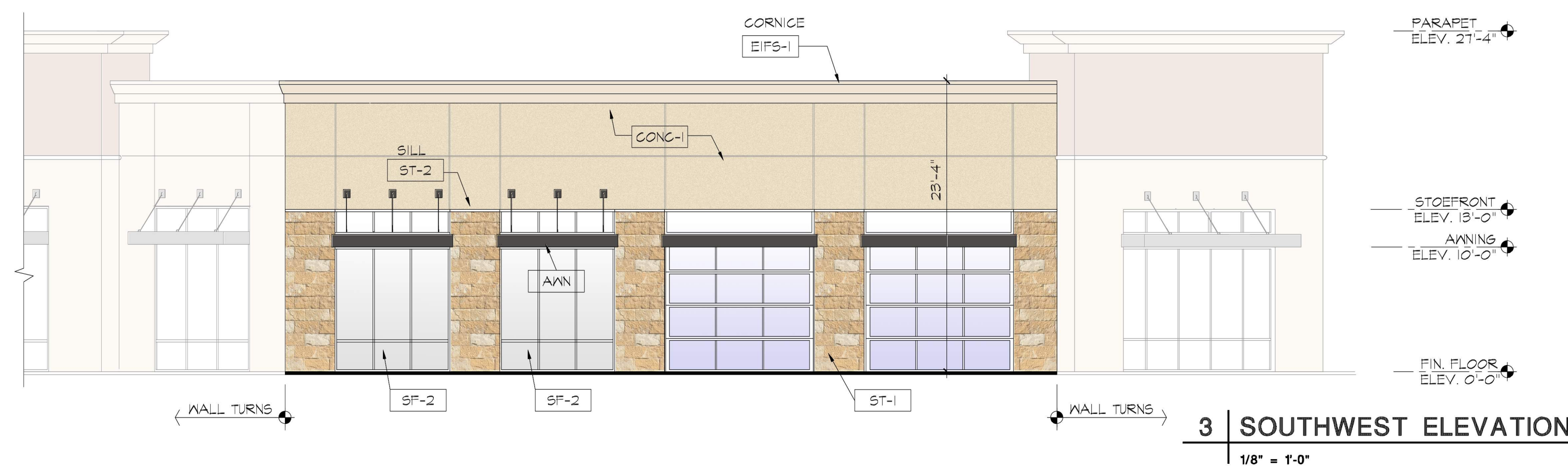
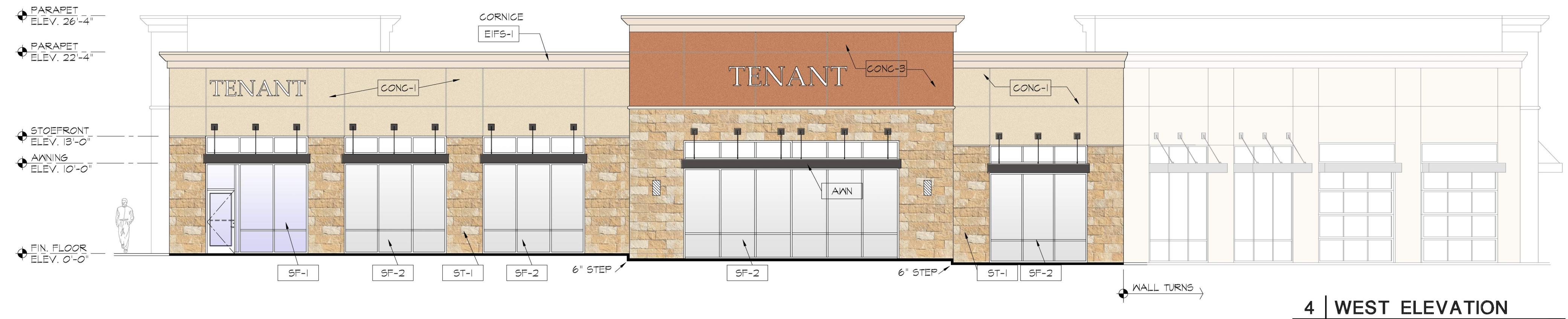
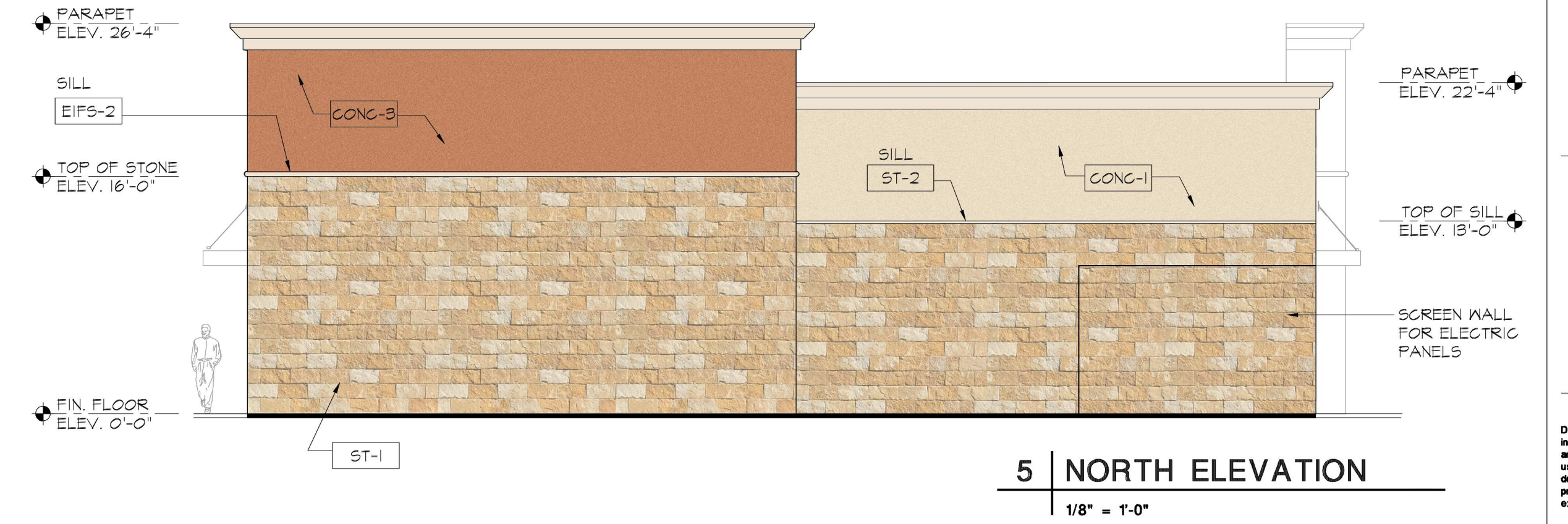
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FINISH LEGEND

MATERIAL	SYMBOL	DESCRIPTION	MODEL / COLOR
EIFS	EIFS-1	EIFS CORNICE / MOLDINGS	PAINT TO MATCH SHER. WILLIAMS #6112 BISCUIT
	EIFS-2	EIFS SILL WITH ROUNDED END, 4" HIGH	PAINT TO MATCH SHER. WILLIAMS #6112 BISCUIT
	CONG-1	ACRYLIC TEXTURED CONG. TILT WALL	SAND FINISH, COLOR TO MATCH DRYVIT #494A CHLOE
CONCRETE TILT WALL	CONG-2	ACRYLIC TEXTURED CONG. TILT WALL	SAND FINISH, DRYVIT -MATCH S.W. #0007 DECOROUS AMBER
	CONG-3	ACRYLIC TEXTURED CONG. TILT WALL	SAND FINISH, DRYVIT -MATCH S.W. #0007 DECOROUS AMBER
STONE TILE	ST-1	STONE TILE	NATURAL LIMESTONE TILE, "LUEDERS" (ROCK FACE) 12" X 24", 1/4" THICKNESS OVER MORTAR SETTING BED, MORTARED JOINTS
	ST-2	STONE WATER TABLE SILL	NATURAL LIMESTONE "LUEDERS" (ROCK FACE) WATER TABLE SILL, 2" HIGH
STOREFRONT	SF-1	1" INSULATING CLEAR GLASS IN CLEAR ANODIZED FRAMING. GLAZING SPEC: Product ID: PK, SHGG 0.41 (C)	
	SF-2	1/4" SPANDREL GLASS IN CLEAR ANODIZED FRAMING	
STEEL TUBE AWNING	AWN	12" X 4" STEEL TUBE AWNING, PAINT BARK BRONZE (SEMI-GLOSS)	

EXTERIOR MATERIAL BREAKDOWN

MATERIAL	STONE	TEXT. CONC.	EIFS	CLEAR STORY GLAZING
NORTH ELEVATION	60 %	33 %	1 %	
SOUTH ELEVATION	39 %	20 %	1 %	30 %
WEST ELEVATION	31 %	33 %	1 %	35 %
EAST ELEVATION	29 %	32 %	1 %	38 %
SOUTHWEST ELEVATION	25 %	36 %	1 %	38 %



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RETAIL BUILDING
 PLAZA AT ROCKWALL
 985 INTERSTATE HWY 30
 ROCKWALL, TEXAS.

Project No: TBA
 Drawn By: JF
 Date: 3-13-19
 Issue: CITY REVIEW

CITY OF ROCKWALL CASE #

A1

BUILDING ELEVATIONS

Job Path: \\C:\Users\jgibson\Documents\Projects\18272 Retail Building Phase at Rockwall\Rockwall TX\Working\Building Elevations\Using Elevations 3-6-19.dwg
 Date: 3/13/19