

SP2019-002 - 108 ST. MARY STREET
 SITE PLAN - LOCATION MAP =

0 20 40 80 120 160 Feet

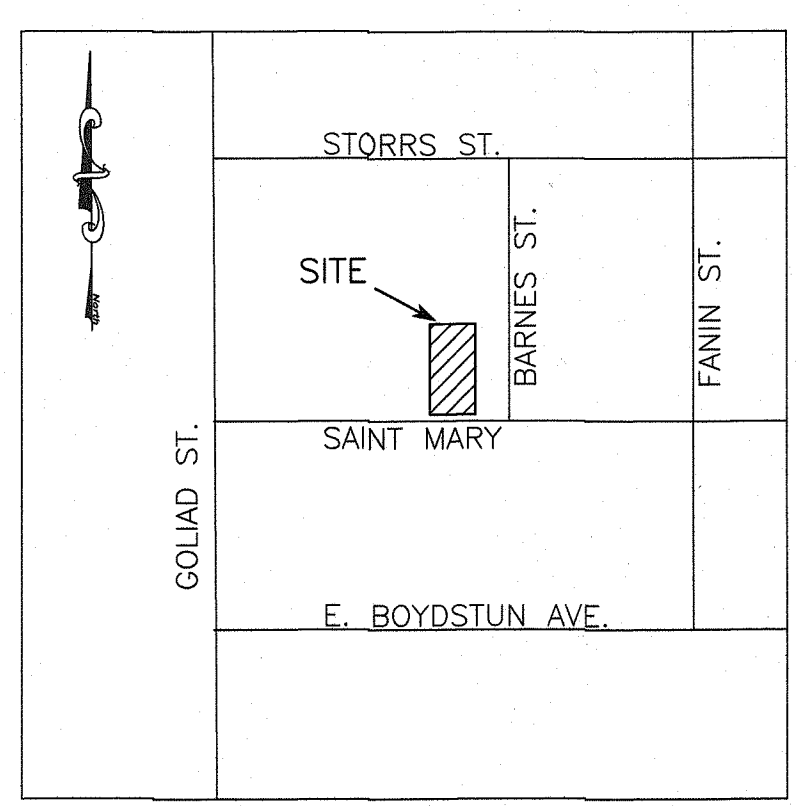
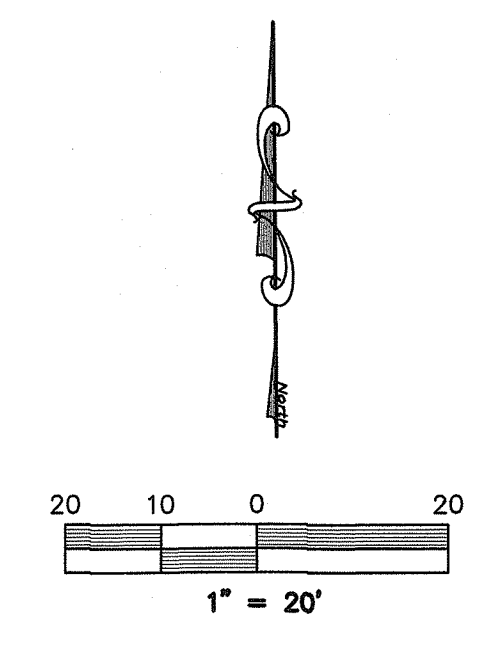
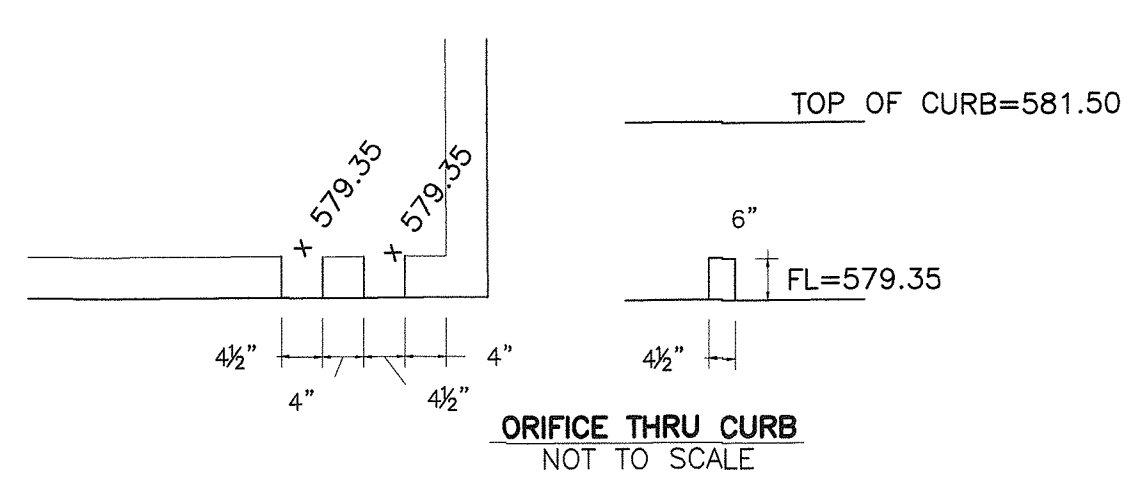
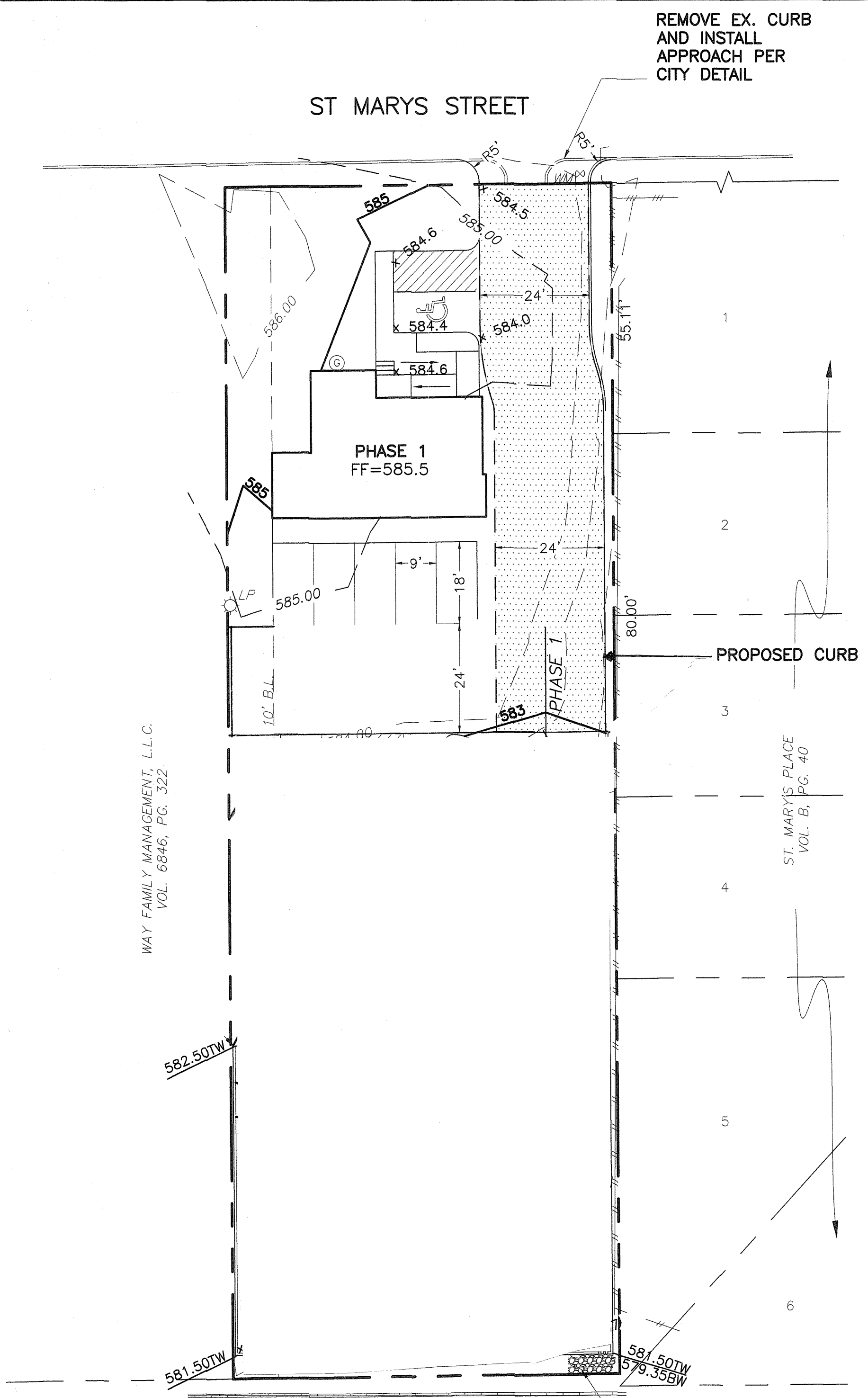


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
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LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- 460 = EXISTING CONTOURS
- 460 = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES
- tc = TOP OF CURB
- ep = EDGE OF PAVEMENT
- tw = TOP OF WALL
- bw = BOTTOM OF WALL
- (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- SMH = EXISTING STORM MANHOLE
- GM = EXISTING GAS METER
- FH = PROPOSED FIRE HYDRANT
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM

Pond Report

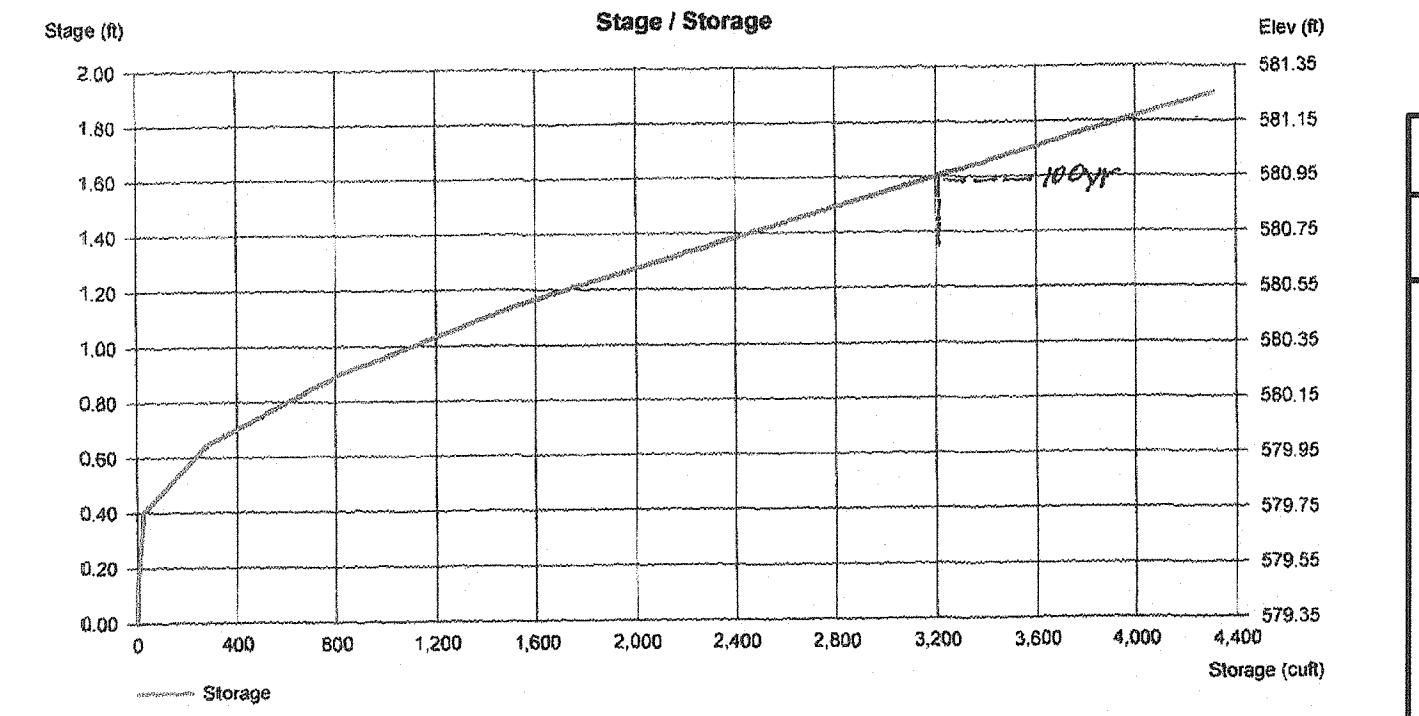
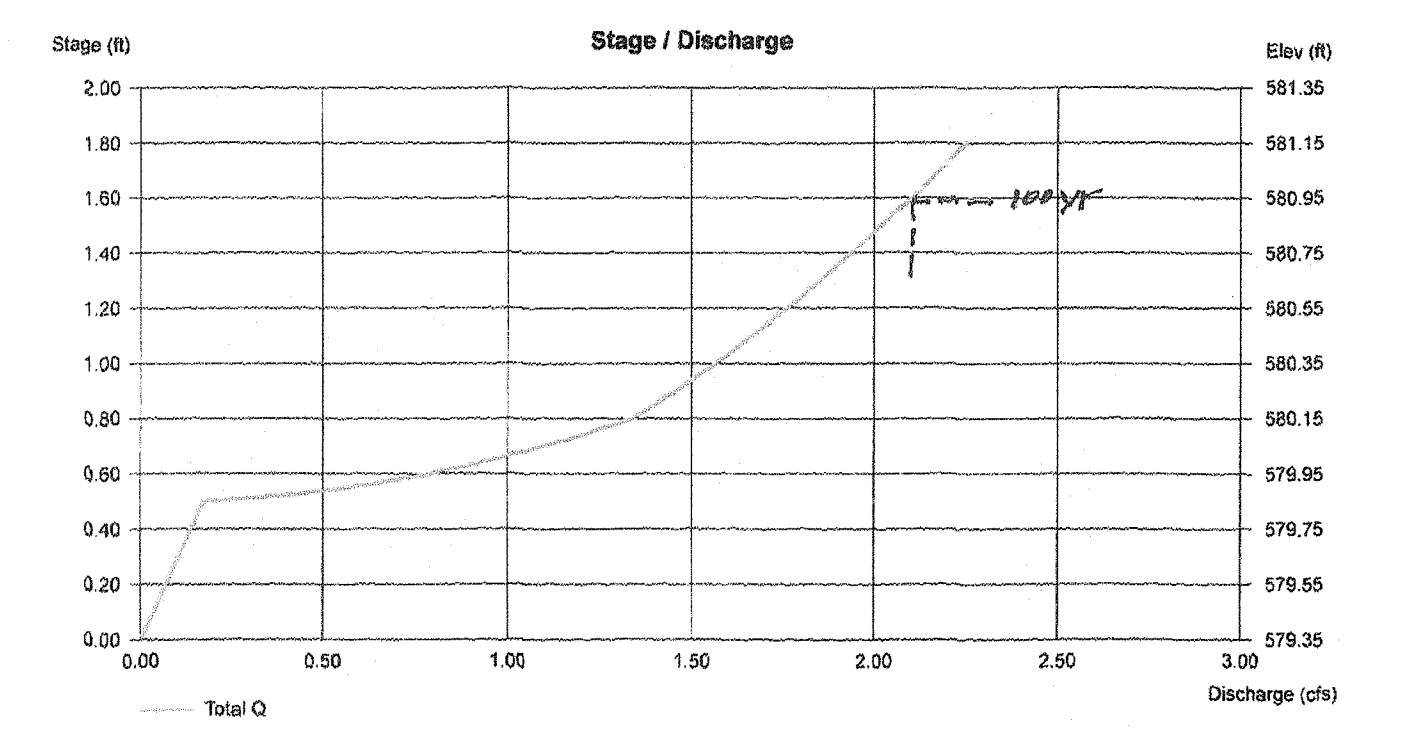
Hydraulic Hydrographs by Intellisolve v9.01 Friday, Dec 14, 2018

Pond No. 1 - St Mary Street
 Pond Data
 Contours - User-defined contour areas. Average end area method used for volume calculation. Beginning Elevation = 579.35 ft

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	579.35	00	0	0
0.15	579.50	50	4	4
0.40	579.75	125	22	26
0.65	580.00	2,000	268	281
0.90	580.25	2,200	625	816
1.15	580.50	3,600	725	1,541
1.40	580.75	3,700	913	2,454
1.65	581.00	3,700	925	3,379
1.90	581.25	3,750	931	4,310

Culvert / Orifice Structures				Weir Structures				
	[A]	[B]	[C]	[PrFrRsr]	[A]	[B]	[C]	[D]
Rise (ft)	6.00	0.00	0.00	0.00	Crest Len (ft)	0.00	0.00	0.00
Span (ft)	4.50	0.00	0.00	0.00	Crest El. (ft)	0.00	0.00	0.00
No. Barrels	2	0	0	0	Weir Coeff.	3.33	3.33	3.33
Invert El. (ft)	579.35	0.00	0.00	0.00	Weir Type	No	No	No
Length (ft)	0.50	0.00	0.00	0.00	Multi-Stage	No	No	No
Slope (%)	1.00	0.00	0.00	n/a				
N-Value	.013	.013	n/a	n/a	Extl. (in/hr)	= 0.000 (by Contour)		
Orifice Coeff.	0.60	0.60	0.60	0.60	TW Elev. (ft)	= 0.00		
Multi-Stage	n/a	No	No	No				

Stage (ft)	Storage (cuft)	Elevation (ft)	Civ A cfs	Civ B cfs	Civ C cfs	PrFrRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Extl cfs	User cfs	Total cfs
0.00	0	579.35	0.00	---	---	---	---	---	---	---	---	---	0.00
0.15	4	579.50	0.05	---	---	---	---	---	---	---	---	---	0.05
0.40	26	579.75	0.14	---	---	---	---	---	---	---	---	---	0.14
0.65	291	580.00	0.95	---	---	---	---	---	---	---	---	---	0.95
0.90	816	580.25	1.46	---	---	---	---	---	---	---	---	---	1.46
1.15	1,541	580.50	1.71	---	---	---	---	---	---	---	---	---	1.71
1.40	2,454	580.75	1.94	---	---	---	---	---	---	---	---	---	1.94
1.65	3,379	581.00	2.14	---	---	---	---	---	---	---	---	---	2.14
1.90	4,310	581.25	2.32	---	---	---	---	---	---	---	---	---	2.32



Overall Detention Pond Modified Rational Present Conditions				Present Conditions				25 Year			
Q=CIA	By-Pass Acreage	New Acreage	Q=CIA	By-Pass Acreage	New Acreage	Q=CIA	By-Pass Acreage	New Acreage	Q=CIA	By-Pass Acreage	New Acreage
A= 0.510	-	0.51	A= 0.510	-	0.510	A= 0.510	-	0.510	A= 0.510	-	0.510
C= 0.50	-	-	C= 0.50	-	-	C= 0.50	-	-	C= 0.50	-	-
Tc= 20.00	-	-	Tc= 20.00	-	-	Tc= 20.00	-	-	Tc= 20.00	-	-
I100= 8.30	-	-	I25= 5.72	-	-	I25= 5.72	-	-	I25= 5.72	-	-
Q100= 2.12	-	2.12	Q25= 1.46	-	-	Q25= 1.46	-	-	Q25= 1.46	-	-

Future Conditions				Future Conditions				10 Year			
Q=CIA	By-Pass Q cfs	New Allowable CFS	Q=CIA	By-Pass Q cfs	New Allowable CFS	Q=CIA	By-Pass Q cfs	New Allowable CFS	Q=CIA	By-Pass Q cfs	New Allowable CFS
A= 0.51	-	-	A= 0.51	-	-	A= 0.510	-	0.510	A= 0.510	-	0.510
C= 0.90	-	-	C= 0.90	-	-	C= 0.50	-	-	C= 0.50	-	-
Tc= 10.00	-	-	Tc= 10.00	-	-	Tc= 20.00	-	-	Tc= 20.00	-	-
I100= 9.80	-	-	I25= 7.59	-	-	I10= 4.92	-	-	I5= 4.34	-	-
Q100= 4.50	-	-	Q25= 3.48	-	-	Q10= 1.25	-	-	Q5= 1.11	-	-

Flow for Storm Duration				Present Conditions				5 Year			
Time	C	Q (cfs)	Q=CIA	By-Pass Acreage	New Acreage	Q=CIA	By-Pass Acreage	New Acreage	Q=CIA	By-Pass Acreage	New Acreage
10 min	9.80	0.90	4.498	-	-	A= 0.510	-	0.510	A= 0.510	-	0.510
15 min	9.00	0.90	4.131	-	-	C= 0.50	-	-	C= 0.50	-	-
20 min	8.30	0.90	3.810	-	-	Tc= 20.00	-	-	Tc= 20.00	-	-
30 min	6.90	0.90	3.167	-	-	I10= 4.92	-	-	I5= 4.34	-	-
40 min	5.80	0.90	2.662	-	-	I5= 4.34	-	-	Q5= 1.11	-	-
50 min	5.00	0.90	2.295	-	-						
60 min	4.50	0.90	2.066	-	-						
70 min	4.00	0.90	1.836	-	-						
80 min	3.70	0.90	1.698	-	-						
90 min	3.50	0.90	1.607	-	-						
100 min	3.40	0.90	1.561	-	-						
110 min	3.20	0.90	1.469	-	-						
120 min	3.00	0.90	1.377	-	-						

Storage Calculations			
Time	Inflow	Outflow	Storage (CF)
10 min	2,699	1,270	1,429
15 min	3,718	1,587	2,131
20 min	4,572	1,905	2,667
30 min	5,701	2,540	3,161
40 min	6,389	3,175	3,215
50 min	6,885	3,810	3,075
60 min	7,436	4,445	2,991
70 min	7,711	5,080	2,632
80 min	8,152	5,715	2,437
90 min	8,675	6,350	2,326
100 min	9,364	6,984	2,379
110 min	9,694	7,619	2,075
120 min	9,914	8,254	1,660

Summary Detention Pond Calculations

Existing Conditions for Pond: C= 0.50 Tc= 20.00 Area= 20,000 minutes

Proposed Conditions Discharge from Pond Basin: Q dev-100yr= 4.50 cfs, Q dev-25yr= 3.48 cfs, Q dev-10yr= 3.01 cfs, Q dev-5yr= 2.69 cfs

The Difference in discharge flows from existing to proposed conditions equals Volume to be detained on site Q Diff = Qdev - QEX

Q diff	Volume	Elevation
Q diff-100 = 2.38 cfs	3,215 cf	580.95
Q diff-25 = 2.03 cfs	800 cf	580.25
Q diff-10 = 1.76 cfs	450 cf	580.10
Q diff-5 = 1.58 cfs	300 cf	580.00

The Allowable discharge from the pond is equal to the Predeveloped Conditions

Q allow	Volume	Elevation
Q allow 100 = 2.12 cfs	3,215 cf	580.95
Q allow 25 = 1.46 cfs	800 cf	580.25
Q allow 10 = 1.25 cfs	450 cf	580.10
Q allow 5 = 1.11 cfs	300 cf	580.00

NO LOT TO LOT DRAINAGE ALLOWED WITHOUT PRIVATE DRAINAGE EASEMENT RECORDED

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY RHODES SURVEYING OF GARLAND, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

WARNING: PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF DALLAS TO BE USED FOR CONSTRUCTION.



SITE & GRADING PLAN
 108 SAINT MARY STREET

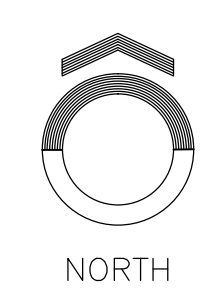
City of Rockwall, Rockwall County, Texas 75087

OWNER:
 CHUCK VICKERS
 CASENCHI@GMAIL.COM
 214-793-9794

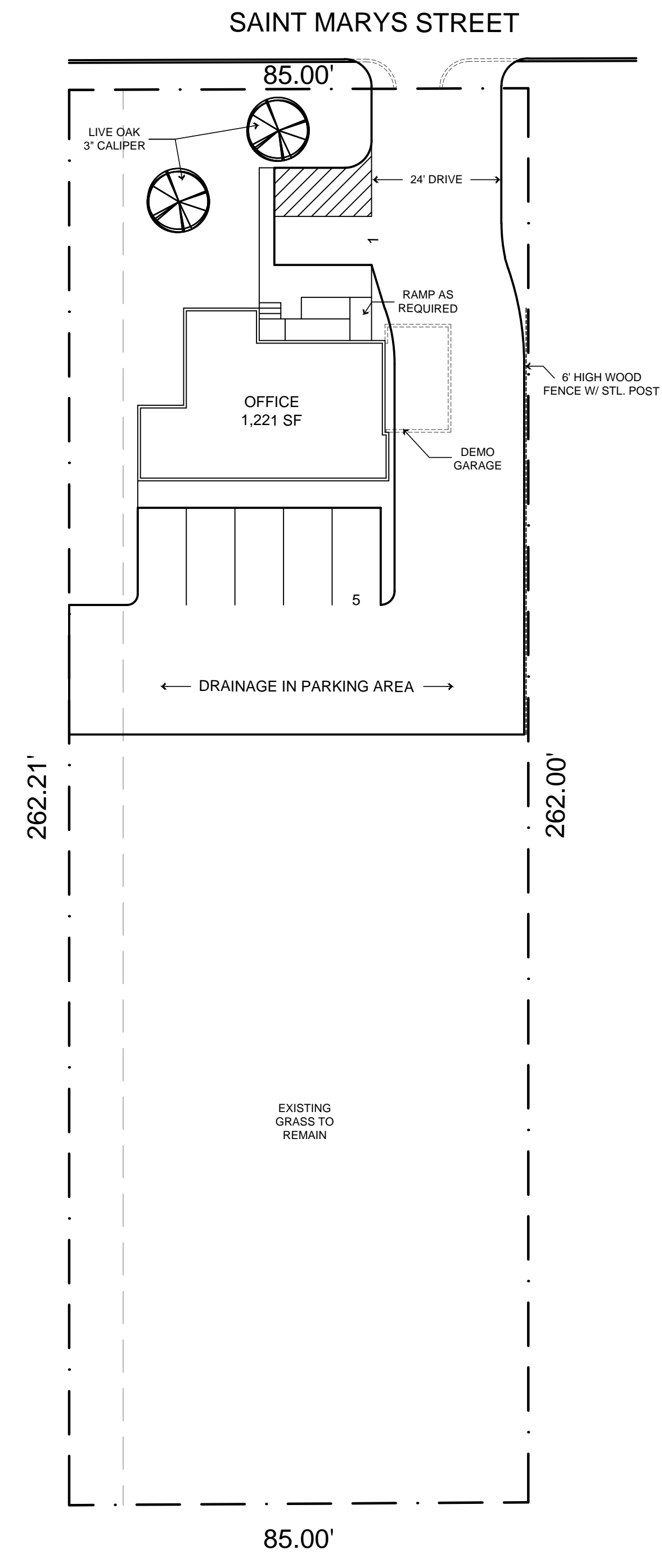
prepared by
 MONK CONSULTING ENGINEERS, INC.
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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1 SITE PLAN / LANDSCAPE PLAN
SCALE: 1:20



SITE DATA TABLE	
SITE AREA	0.51 ACRES (22,279 SF)
ZONING	COMMERCIAL OFFICE
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA-TOTAL AREA:	1,221 SF
EXISTING BUILDING AREA-TOTAL AREA:	1,423 SF
LOT COVERAGE	5.48%
FLOOR TO AREA RATIO	0.0548 : 1
BUILDING HEIGHT	30 ft. MAX

PARKING TABLE	
PROPOSED PARKING-TOTAL PARKING:	1:300 = 5 SPACES
PARKING REQUIRED	5 (1 ADA)
PARKING PROVIDED	6 (1 ADA)

108 Saint Marys Street	
<small>LEGAL DESCRIPTION AND OR ADDRESS:</small>	
H.W. Boydston Addition Rockwall, Texas Volume 3024, Page 225 of Deed Records of Rockwall County, Texas 0.51 Acres	
<u>OWNER</u>	
Chuck Vickers 2475 Riding Club Rd. Rockwall, TX 75087	
<u>APPLICANT</u>	
Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 Email: jc@carrollarch.com	
<u>CASE NUMBER</u>	
2019XXX	

ISSUE: OWNER REVIEW: 01-17-2018

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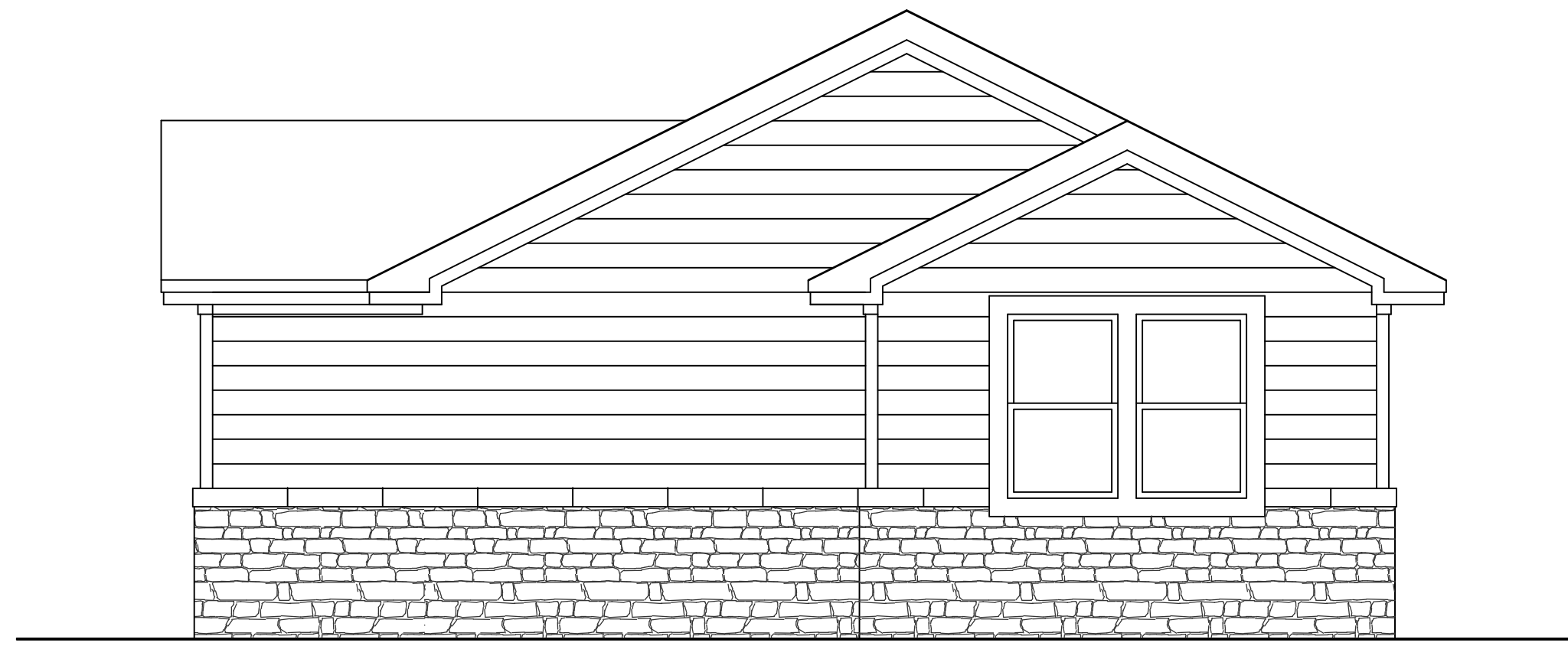
INTERIOR REMODEL FOR
PROFESSIONAL OFFICES
108 Saint Mary Street
Rockwall, Texas 75087

VICKERS
CONSTRUCTION
Chuck Vickers
214.793.9794

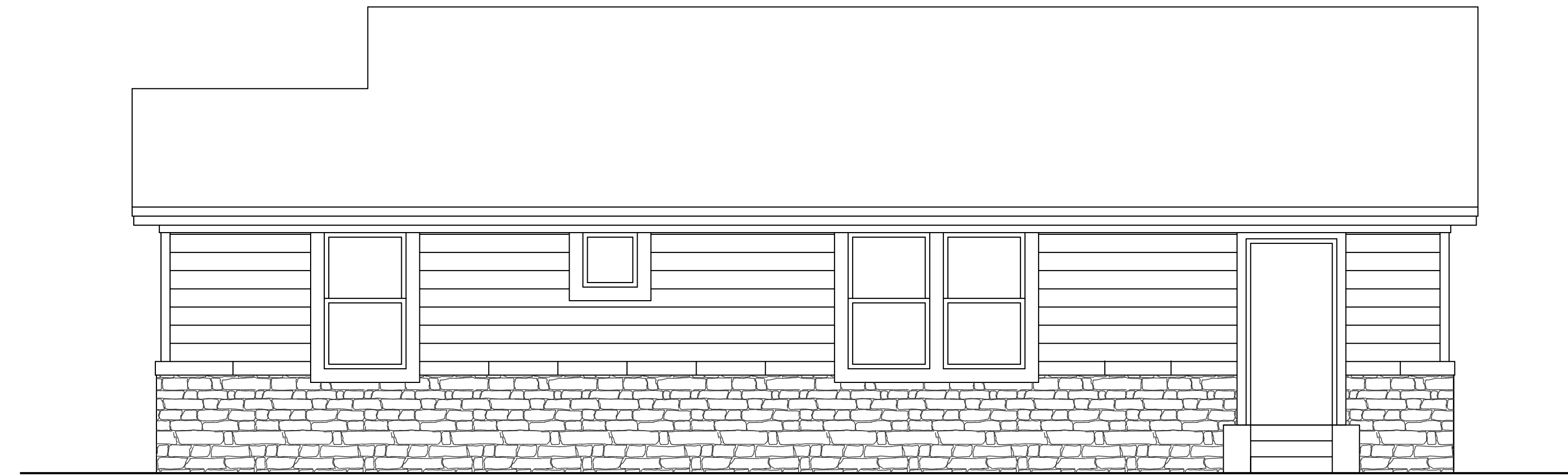
CARROLL
architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

**SITE PLAN/
LANDSCAPE
PLAN**

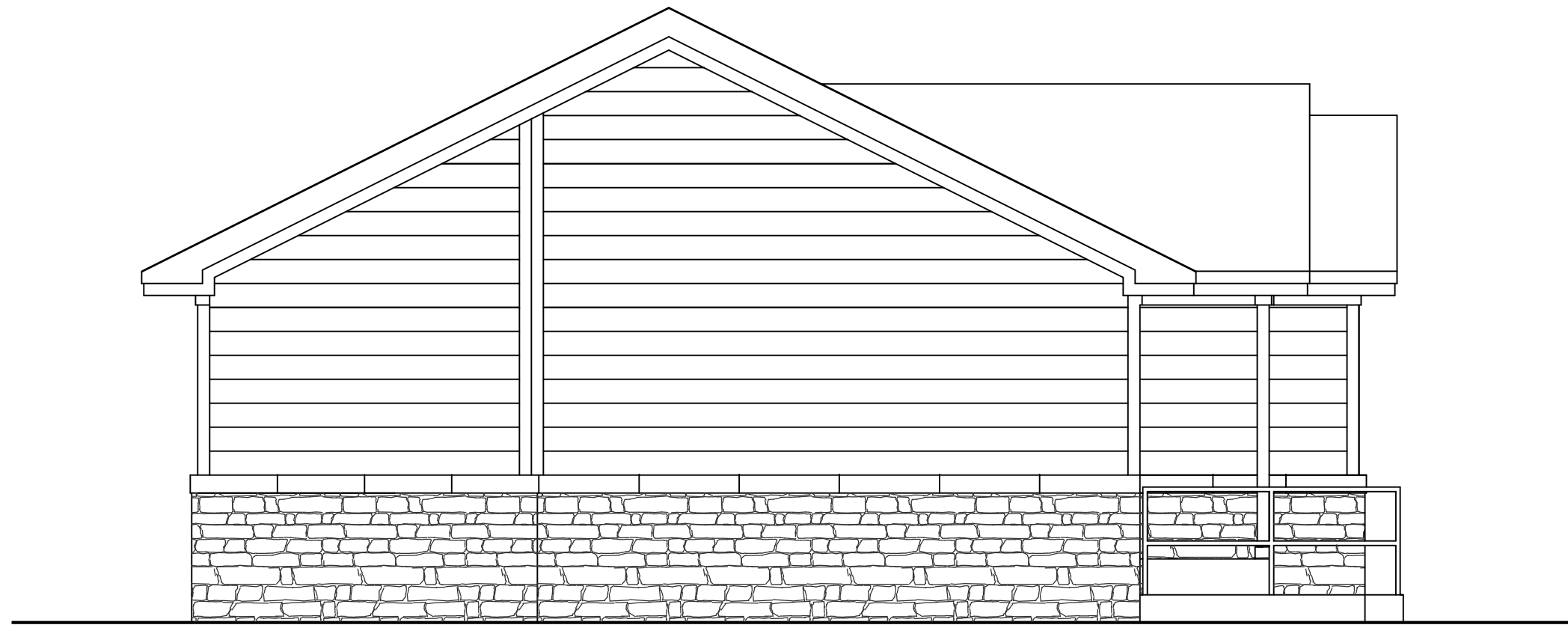
DATE: SHEET NO:
 PROJECT NO:
 DRAWN BY: **A100**
 CHECKED BY:



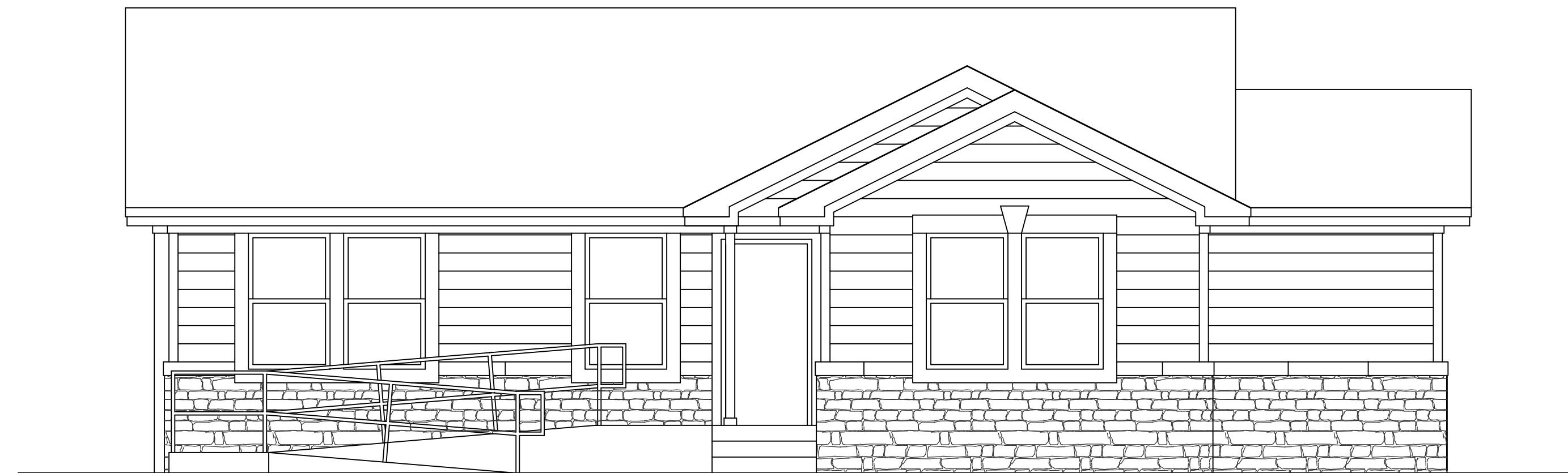
4 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 BACK ELEVATION
SCALE: 1/4"=1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



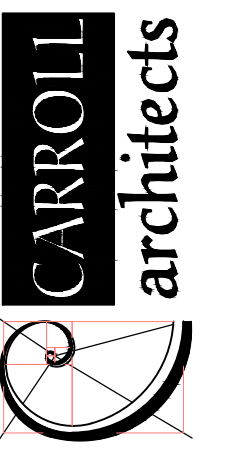
1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

ISSUE:
OWNER REVIEW 7-13-2018

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**INTERIOR REMODEL FOR
108 SAINT MARY STREET**

108 SAINT MARY STREET.
CITY, TX 75000



750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8038

ELEVATIONS

DATE: JULY 2018 SHEET NO:
PROJECT NO: 201802
DRAWN BY: _____ **A501**
CHECKED BY: _____