


0 10 20 40 60 80 Feet

SP2019-001 - SITE PLAN FOR T3 CHIROPRACTIC
SITE PLAN - LOCATION MAP = 

SF-7

PD-50

GOLIAD

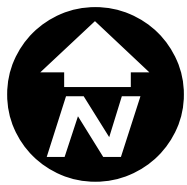
HEATH



City of Rockwall

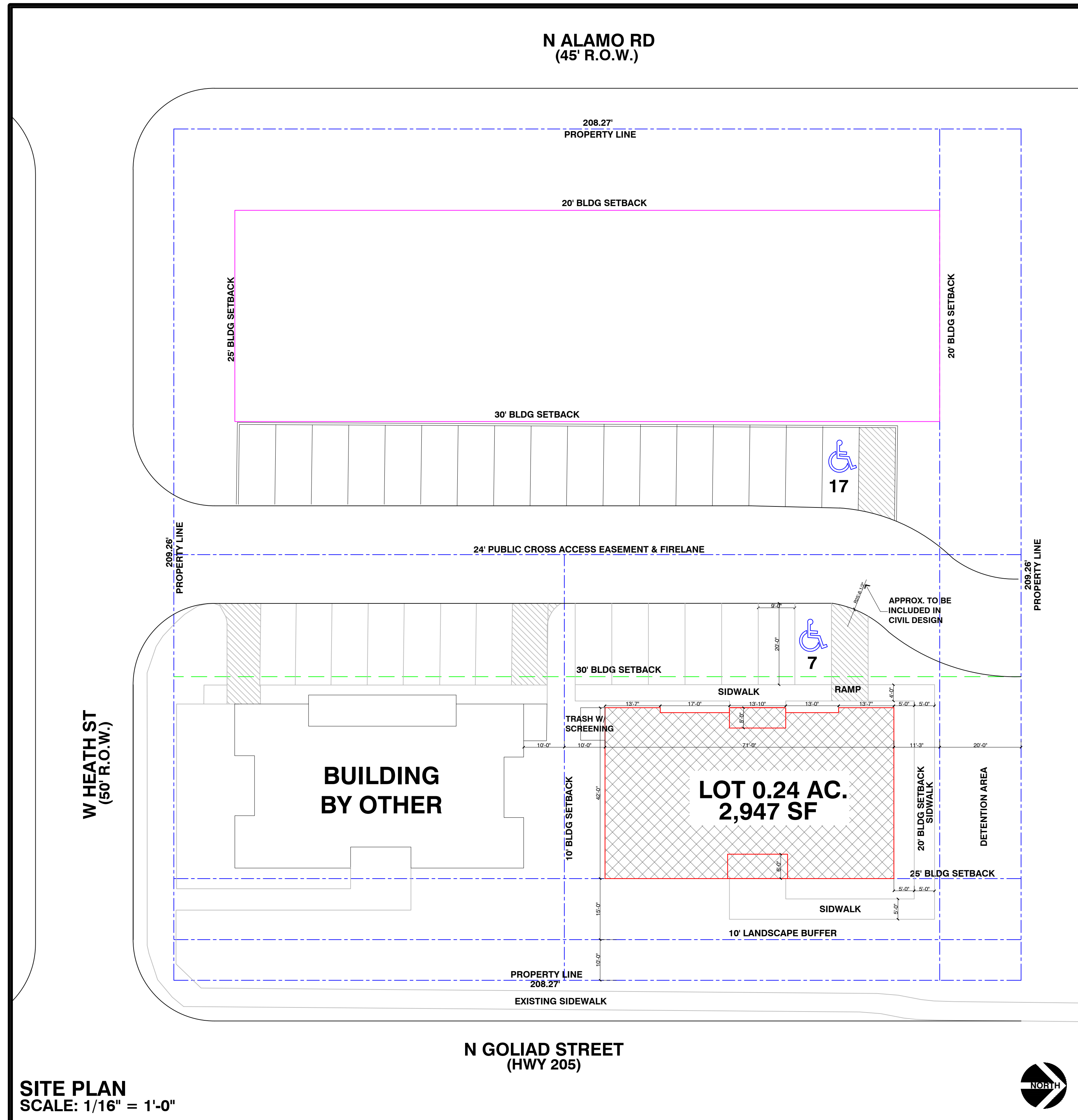
Planning & Zoning Department
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Rockwall, Texas 75032
(P): (972) 771-7745
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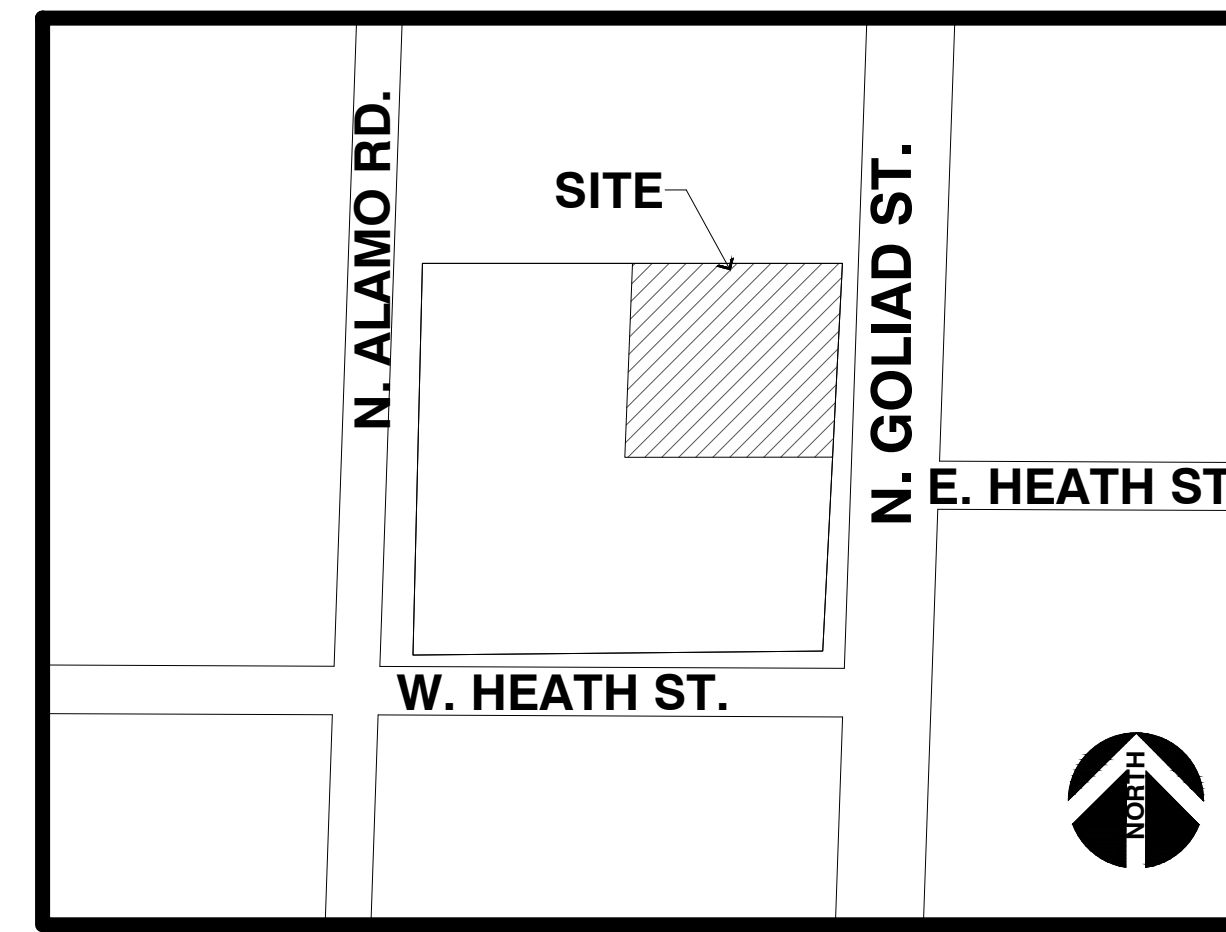


T³ Chiropractic

Office Building



SITE PLAN
SCALE: 1/16" = 1'-0"



VICINITY MAP

**DEVELOPMENT PLANS
NOT FOR CONSTRUCTION**

- ### GENERAL NOTES
- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
 - ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER.
 - ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE 2003 INTERNATIONAL RESIDENTIAL CODE. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPEC'S ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR RESPECTIVE CODES.
 - ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE.
 - THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
 - ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2" NOMINAL.
 - ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
 - FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPEC'S. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
 - DRIVEWAY FINISH TO BE SPECIFIED BY CIVIL AND/OR STRUCTURAL ENGINEER.
 - PLANT MATERIALS, INCLUDING SEED/SOD ARE NOT SPEC'D.
 - ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
 - ALL LUMBER SHALL BE S4S UNO.
 - FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS.
 - GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY CODE.
 - PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM, INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
 - PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR.
 - THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPEC'S. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE REQUIREMENTS.
 - CONTRACTOR TO VERIFY BUILDING/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

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LIABILITY

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- CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:
 - DESIGN, SIZE, AND REINFORCEMENT LOADS.
 - ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
- FOUNDATION DESIGN

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ABBREVIATIONS

AB	ANCHOR BOLT	H	HIGH
ADJ	ADJUSTABLE	LC	LAUNDRY CHUTE
AFF	ABOVE FINISH FLOOR	LG	LONG
BLDG	BUILDING	ML	MICROLAM
BLK	BLOCK	MTL	METAL
BM	BEAM	OC	ON CENTER
CAB	CABINET	PT	PRESSURE TREATED
CLG	CEILING	PTB	PARTICLE BOARD
CLR	CLEAR	R	RADIUS
CONC	CONCRETE	R&S	ROD & SHELF
DBL	DOUBLE	SH	SHELF(S)
DIA	DIAMETER	SHWR	SHOWER
DN	DOWN	SIMR	SIMILAR
DWG	DRAWING	SQ	SQUARE
EA	EACH	STL	STEEL
EQ	EQUAL	TBD	TO BE DETERMINED
FD	FLOOR DRAIN	TOJ	TOP OF JOIST
FDN	FOUNDATION	TOS	TOP OF SLAB
FF	FINISH FLOOR	TR	TRANSOM
FLR	FLOOR	TYP	TYPICAL
FT	FEET	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	V	VERTICAL
GL	GLASS	WD	WOOD

DRAWING/SHEET INDEX

A1	SITE PLAN
A2	-----
A3.1	LANDSCAPE PLAN
A3.2	LANDSCAPE PLAN
A4	PHOTOMETRIC PLAN
A5	FLOOR PLAN
A6	WEST & NORTH ELEVATIONS
A7	EAST & SOUTH ELEVATIONS

PROPERTY DESCRIPTION

PROPERTY ID	16663
GEOGRAPHIC ID	3730-0026-0ALL-00-0R
ADDRESS	GOLIAD/W.HEATH/ALAMO
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	29'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	

LATIMER DESIGNS INC.
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PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE

LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087

DATE:
01.13.2019

REVISIONS:

DRAWING:
SITE PLAN

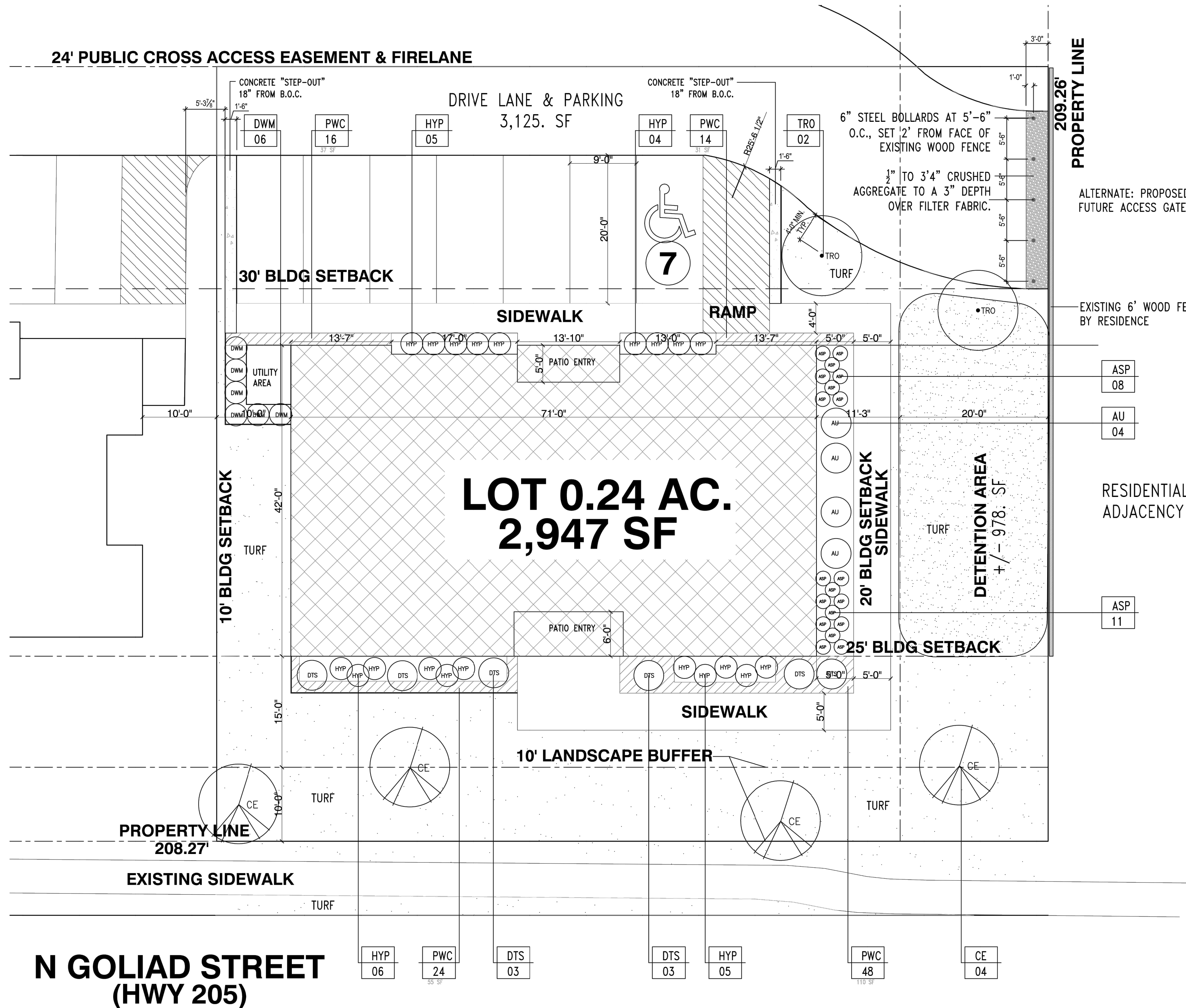
SCALE:
1/16" = 1'-0"

SHEET SIZE:
24 X 36

SHEET NO.
A1 OF

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

24' PUBLIC CROSS ACCESS EASEMENT & FIRELANE

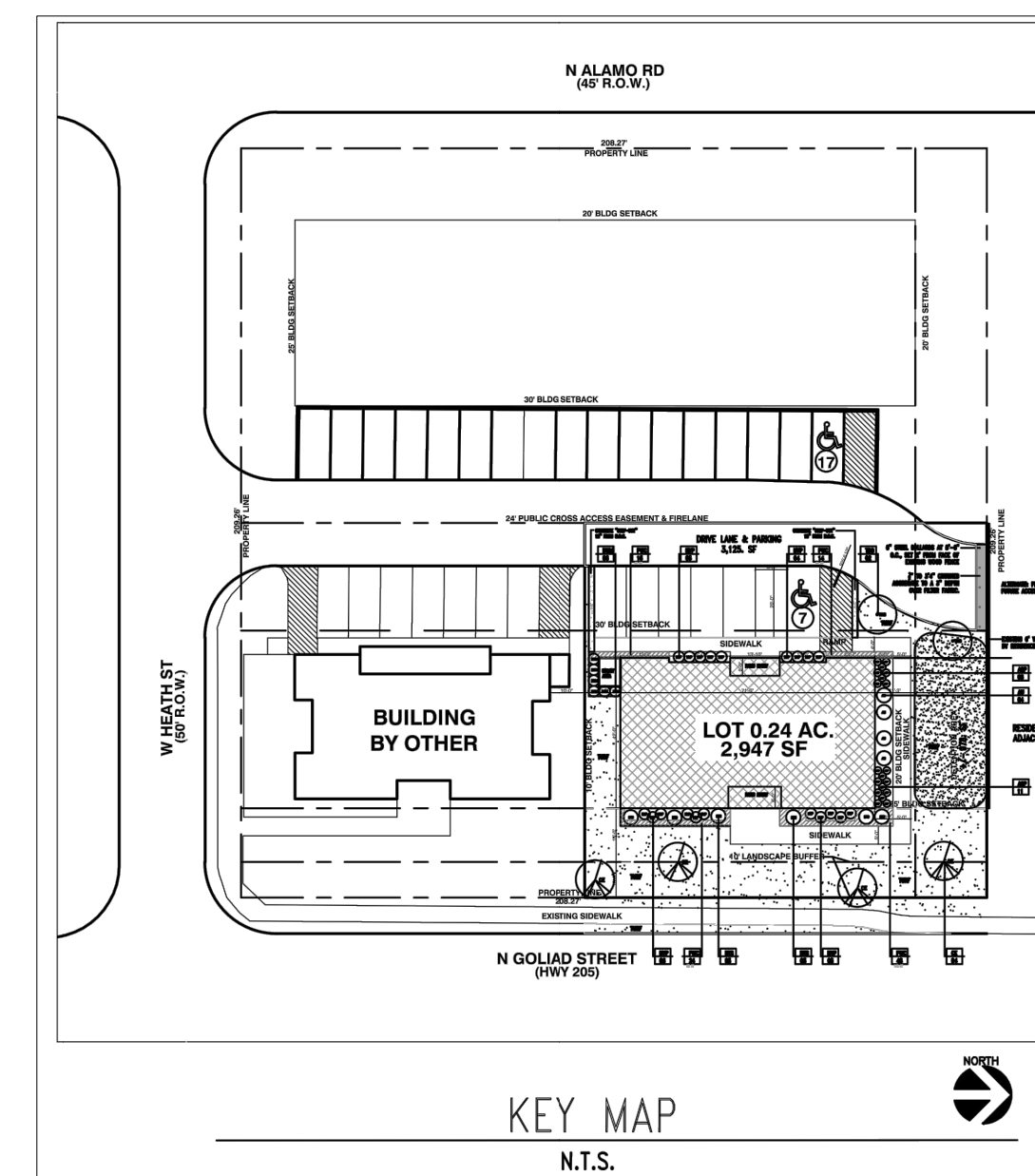
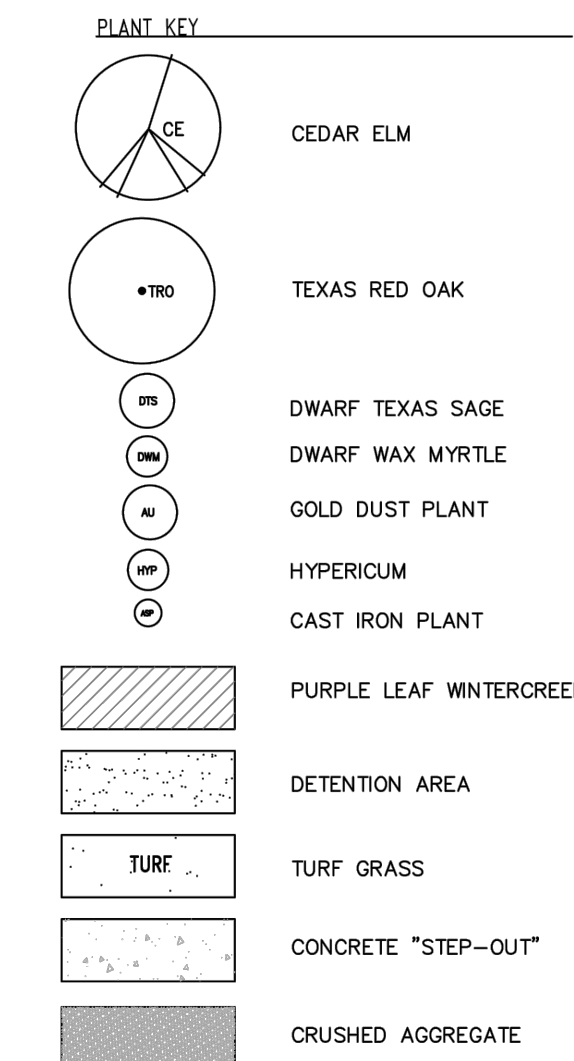


**LOT 0.24 AC.
2,947 SF**

**N GOLIAD STREET
(HWY 205)**

LANDSCAPE PLAN
SCALE: 1/8" = 1' - 0"

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	04	CEDAR ELM	<i>Ulmus crassifolia</i>	3.5'-4" CAL.	PLANT WHERE INDICATED
TR0	02	TEXAS RED OAK	<i>Acer saccharum 'caddo'</i>	3.5'-4" CAL.	PLANT WHERE INDICATED
DTS	06	DWARF TEXAS SAGE	<i>Leucophyllum candidum 'Thunder Cloud'</i>	7 GAL.	PLANT 42" O.C. MIN.
HYP	20	HYPERICUM	<i>Hypericum berryi</i>	5 GAL.	PLANT 36" O.C. MIN.
DWM	12	DWARF WAX MYRTLE	<i>Myrica pusilla</i>	7 GAL.	PLANT 36" O.C. MIN.
ASP	19	ASPIDISTRA	<i>Aspidistra elatior</i>	3 GAL.	PLANT 24" O.C. MIN. EVENLY SPACED IN LANDSCAPE AREA
AU	04	AUCUBA	<i>Aucuba japonica</i>	5 GAL.	PLANT EVENLY SPACED WHERE INDICATED, UNIFORM SIZE
PWC	102	COLORADO WINTER CREEPER	<i>Euonymus fortunei 'Coloratus'</i>	1 GAL.	PLANT 18" O.C.
TURF	-	COMMON BERMUEDA GRASS	<i>Cynodon dactylon</i>	SOD	LEVEL SUB GRADE AND ROLL INTO PLACE.



LANDSCAPE TABULATION
LOT: .26 AC (11,746.81 SF)
BUILDING: 2,947 SF
ZONED: RESIDENTIAL-OFFICE / PD-50

5.1 LANDSCAPE BUFFER-STRIP
10' REQUIRED
10' PROVIDED

5.2 SCREENING OF OFF-STREET LOADING DOCKS
N/A

5.3 ACCEPTABLE LANDSCAPE MATERIALS
ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE
ALL TREES PLANTED WILL BE A MINIMUM OF 3" CALIPER
ALL PLANT MATERIAL WILL OF CONTAINER GROWN QUALITY AND INSTALLED PER INDUSTRY STANDARDS.

5.4 PROTECTION OF LANDSCAPE AREAS:
ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED BY 6" CONCRETE CURBS OR WHEEL STOPS.

5.5 IRRIGATION:
AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FREEZE/THAW SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.

5.6 SCREENING FROM RESIDENTIAL USES:
NORTH SIDE - RESIDENTIAL ADJACENCY
A 6' HT. MASONRY FENCE IS REQUIRED
A 6' HT. WOOD FENCE IS PROVIDED AND EXISTING

ALL AREAS ADJACENT TO THE REQUIRED SCREENING WALL, SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND TRASH IN ACCORDANCE WITH THE APPLICABLE CODES OF THE CITY.

5.7 STREET LANDSCAPING:
1 3" (MIN. CAL.) CANOPY TREE REQUIRED PER 50 LF OF FRONTAGE REQUIRED
1 3" (MIN. CAL.) CANOPY TREE PROVIDED PER 50 LF OF FRONTAGE PROVIDED
N. GOLIAD STREET (HWY 205) = 208.27 LF
4 CANOPY TREES REQUIRED
4 CANOPY TREE PROVIDED

5.8 RIGHT-OF-WAY LANDSCAPING:
GRASS OR GROUNDCOVER REQUIRED
GRASS PROVIDED

THE PROPOSED IRRIGATION SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PLANT MATERIAL PROPOSED FOR THE PARKWAY TO B.O.C. ALONG N. GOLIAD STREET.

5.9 PARKING LOT LANDSCAPING:
PARKING AND MANUEVERING = 3,125 SF
1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE REQUIRED.
1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE PROVIDED.

5.10 - (DELETED):

5.11 DIMENSIONING OF LANDSCAPE AREA:
ALL LANDSCAPING REQUIRED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
ALL LANDSCAPING PROVIDED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.

5.12 REQUIRED LANDSCAPING:
ZONED: RESIDENTIAL-OFFICE
A. AMOUNT OF LANDSCAPING
2,936.45 SF = 25% OF SITE REQUIRED TO BE LANDSCAPED.
5,678.81 SF = 48% OF SITE PROPOSED TO BE LANDSCAPED.

B. LOCATION OF LANDSCAPING
50% REQUIRED IN FRONT YARD
1,468.22 SF = 50% OF THE REQUIRED LANDSCAPE REQUIRED IN FRONT YARD.
2,797.00 SF = 95% OF THE REQUIRED LANDSCAPE PROVIDED IN FRONT YARD.

C. DETENTION BASIN = +/- 978. SF
LANDSCAPE REQUIRED
LANDSCAPE PROVIDED
1 TREE / 750 SF REQUIRED
1.50 TREES REQUIRED
2.00 TREES PROVIDED

9.1 MAINTENANCE REQUIREMENT:
ALL REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE FOR THE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, OR OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLIES WITH THE APPROVED LANDSCAPE PLAN WITHIN 6 MONTHS AFTER NOTIFICATION BY THE CITY.
A REQUIRED TREE THAT DIES AFTER ITS ORIGINAL PLANTING MUST BE REPLACED BY ANOTHER LIVING TREE HAVING A MINIMUM HEIGHT OF 14' AND A MINIMUM TRUNK CALIPER OF 4" MEASURED AT 12 INCHES ABOVE THE ROOT BALL.

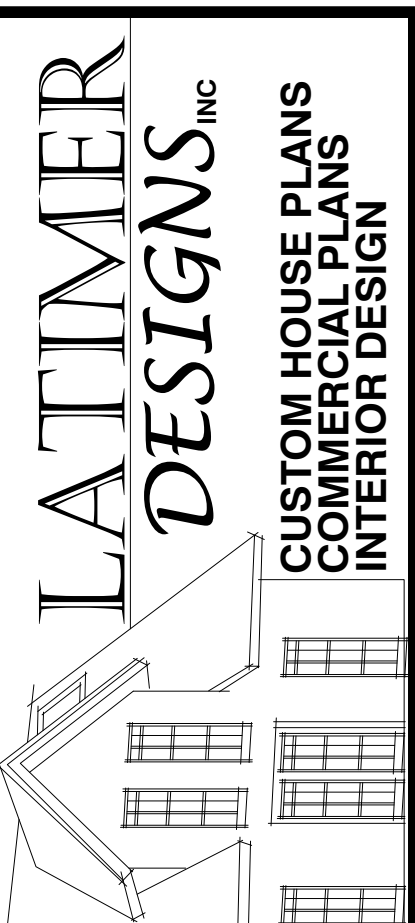
9.2 UTILITY LINES AND RIGHTS-OF-WAY:
ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLANT MATERIAL.

TREESCAPE - PROTECTED TREE MITIGATION
THERE ARE NO PROTECTED TREES EXISTING ON SITE
THERE ARE PROTECTED TREES EXISTING IN THE PARKWAY



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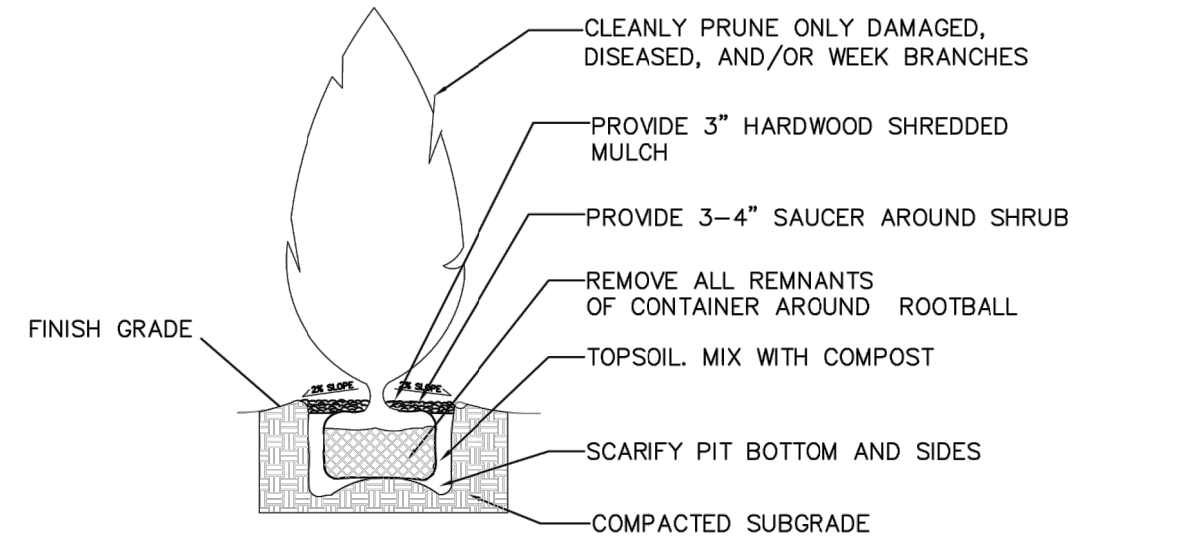
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PRELIMINARY PLANS - NOT FOR CONSTRUCTION

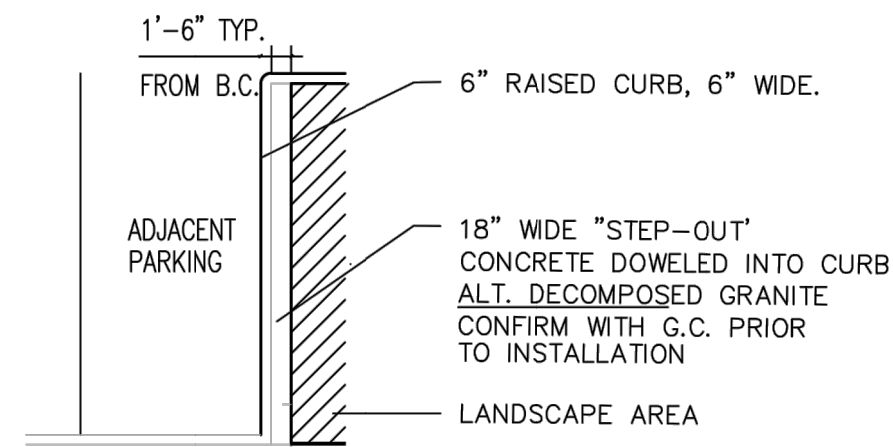


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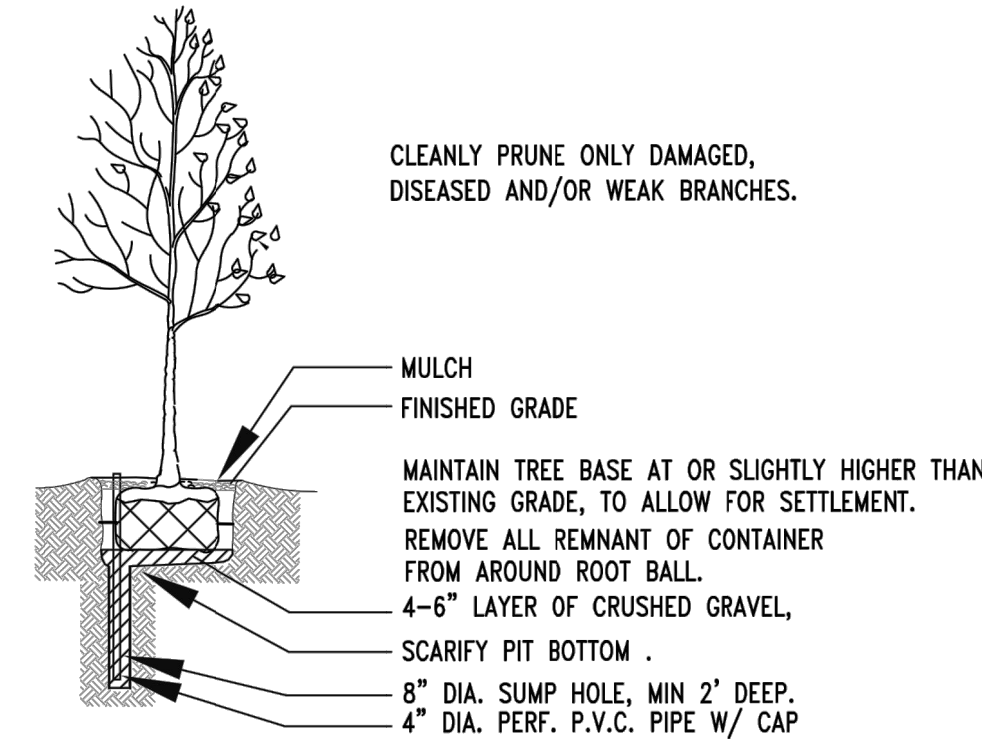
LARGE SHRUB-SECTION

N.T.S.



TYPICAL PARKING ISLAND-PLAN

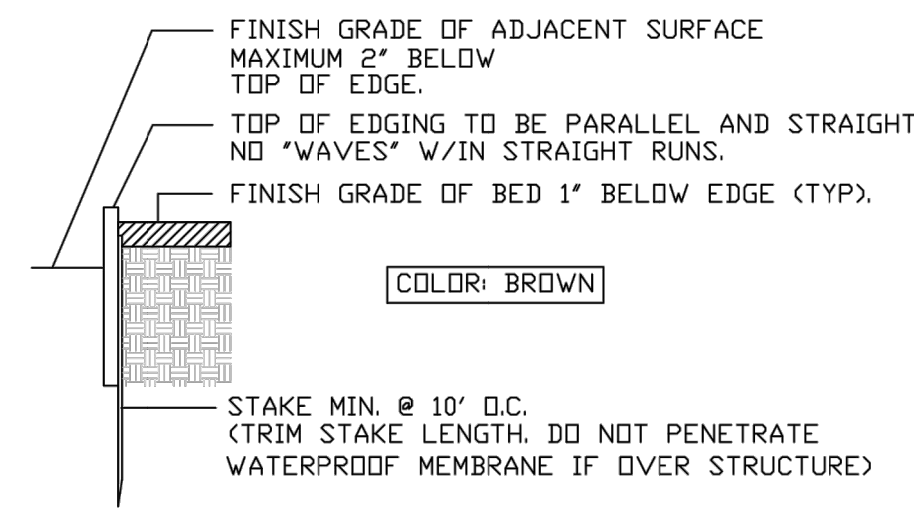
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- SPECIFICATIONS:
- USE 4" DIA. PERF., PVC PIPE WITH SUMP.
 - LINE BOTTOM OF PIT WITH 4-6" LAYER OF CRUSHED GRAVEL, 1/2" CRUSHED AGGREGATE, FREE OF FINES.
 - DRILL 8" SUMP HOLE AT LOW SIDE OF PIT, SLOPE PIT BASE TO HOLE. FILL HOLE WITH 1/2" CRUSHED AGGREGATE, FREE OF FINES.

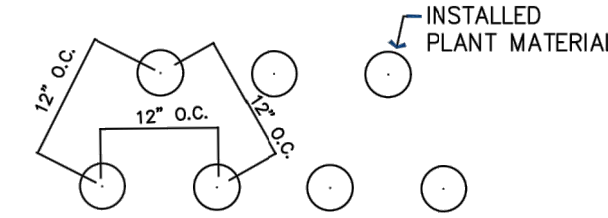
LARGE CANOPY TREE-SECTION

MUST INSTALL SUMP N.T.S.



STEEL EDGE-SECTION

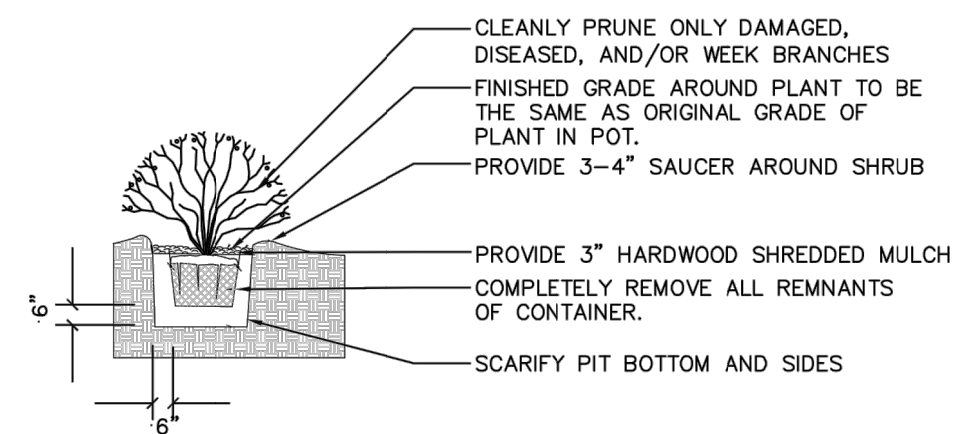
N.T.S.



- NOTE:
- THE "ON CENTER" MAY VARY PER PLANT TYPE. REFER TO PLANT SCHEDULE, FOR VARIOUS "ON CENTERS".

GROUNDCOVER PLANTING-PLAN

N.T.S.



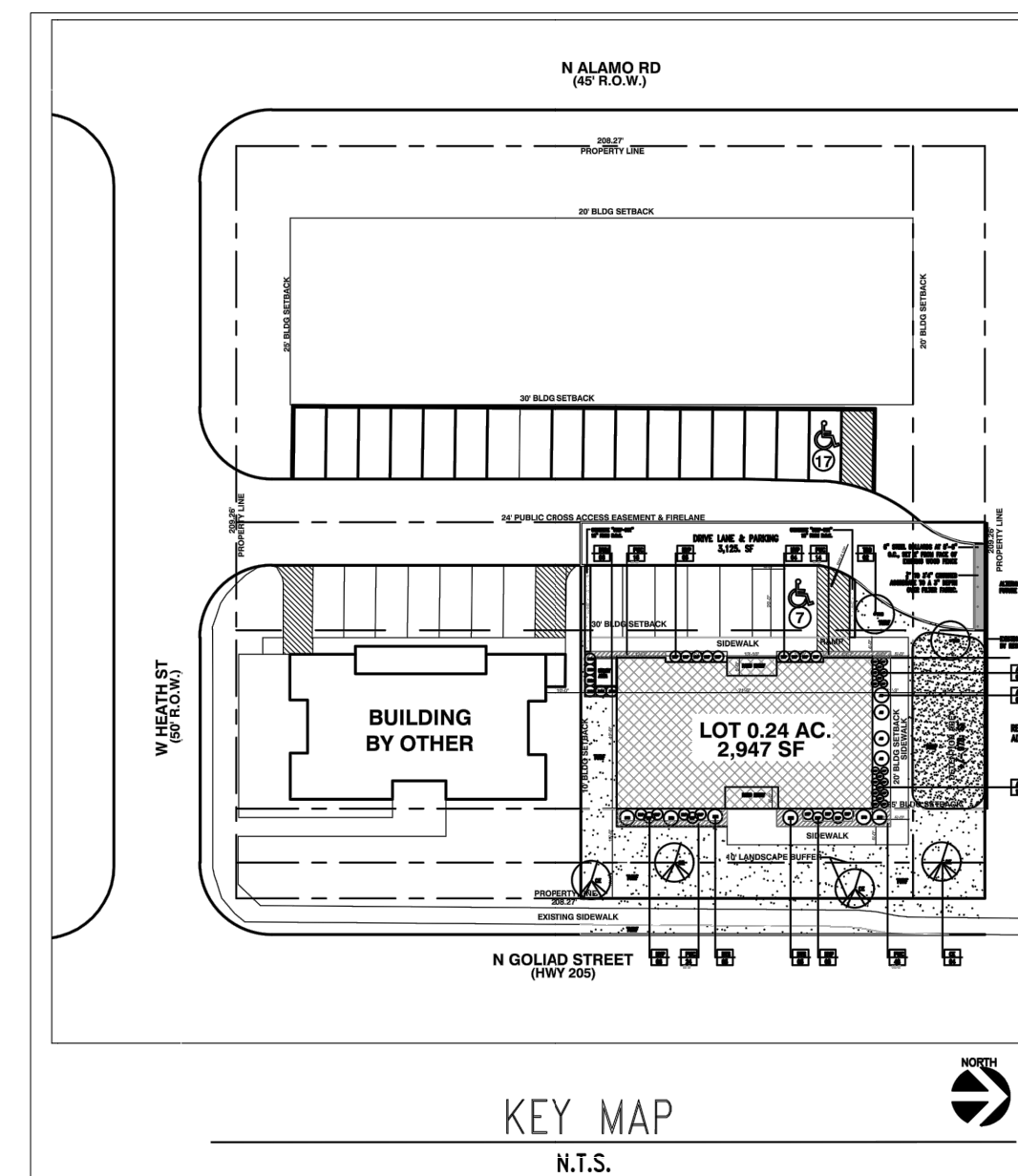
- NOTE:
- USE MIXED COMPOST TO BACKFILL.
 - FERTILIZE AND WATER THOROUGHLY AFTER INSTALLATION.
 - EXCAVATE ENTIRE SHRUB BED, AS SHOWN.
 - NO SHRUB, EDGER OF ROOTBALL, SHALL BE PLANTED CLOSER THAN 2'-0" FROM FOUNDATION OF BUILDING.

SHRUB PLANTING-SECTION

N.T.S.

GENERAL PLANTING NOTES:

- QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF ANY OF THESE IS NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
- SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. INSTALL 5" OF TOPSOIL WITHIN ALL PLANTING AREAS. REMOVE EXISTING SOIL AND REPLACE WITH TOPSOIL TO GRADE.
- TREE HOLES TO BE EXCAVATED 2' GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- MULCH TOP DRESSING FOR ALL PLANTING BEDS UNLESS OTHERWISE NOTED SHALL BE A MINI. 3" DEPTH LAYER, DECOMPOSED GRANITE UNIFORMLY SPREAD ON ALL SHRUB AND GROUND COVER BEDS.
- BED EDGING TO BE STEEL EDGING 12G, X 5.5" AS MANUFACTURED BY COL-MET, COLOR: BLACK OR APPROVED EQUAL. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AND ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS.
- ALL PLANTING (TREES, SHRUBS, GROUND COVER, AND/OR GRASS APPLICABLE) SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL PROPOSED PLANT MATERIAL SHALL BE CONTAINER GROWN.
- ANY LARGE OR SMALL TREE SHALL BE PLANTED AT LEAST 48" MIN. FROM THE EDGE OF ANY PAVED SURFACE.
- GENERAL MAINTENANCE: REQUIRED PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES SHALL BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPARABLE TO THE EXISTING PLANT MATERIALS SPECIFIED IN THE APPROVED LANDSCAPE PLAN
- LANDSCAPES AREAS WILL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR "WATER EFFICIENT LANDSCAPE" WITHIN NINETY (90) DAYS AFTER NOTIFICATION BY THE CITY.
- THE LOCATION OF ALL UTILITIES, INDICATED ON THESE PLANS, WERE PROVIDED BY OTHERS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHOULD BE DETERMINED BY THE LANDSCAPE CONTRACTOR PRIOR TO HIS COMMENCEMENT OF WORK.
- LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING INDICATED IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS, PRIOR TO CONSTRUCTION. PROTECT ALL SITE UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
- GROUNDCOVER / SEASONAL COLOR BEDS WILL RECEIVE 3" OF "MIXED SOIL WITH COMPOST" TILLED INTO PLACE TO A 6" DEPTH.



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LATIMER DESIGNS INC.
CUSTOM HOUSE PLANS
COMMERCIAL PLANS
INTERIOR DESIGN

PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE

LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087

DATE:
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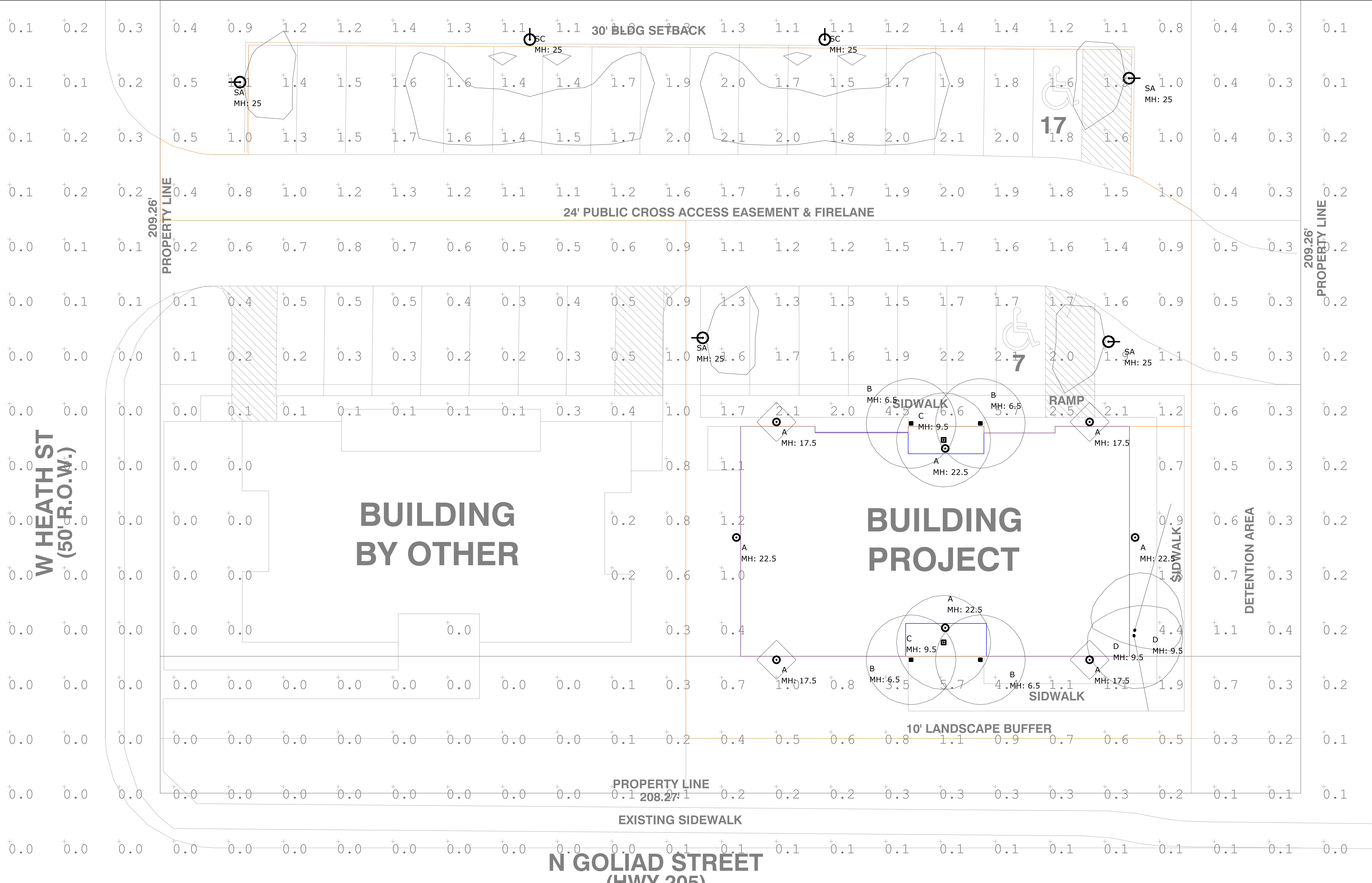
REVISIONS:

DRAWING:
LANDSCAPE

SCALE:
1/4" = 1'-0"

SHEET SIZE:
24 x 36

SHEET NO.
A3.2 OF



PRELIMINARY PLANS - NOT FOR CONSTRUCTION

Luminaire Schedule				Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	A	8	HI LITE_H-15316-B	404	60	1.000	2.261	2.800
□	B	4	FEISS_OL180130RB MODIFIED FROM BRUCK DAZZLE 1	404	60	1.000	2.261	2.800
■	C	2	FEISS_F2959/10RB MODIFIED FROM BRUCK DAZZLE 1	404	75	1.000	2.261	2.800
⊙	SA	4	ANTIQUE STREET LAMP_EML25 ST 49LED525 4K GCF MVOLT R3 FINISH MODIFIED FROM AS1 LED 1 63B530	8224	72.7	1.000	0.460	0.570
⊙	SC	2	ANTIQUE STREET LAMP_EML25 ST 49LED525 4K GCF MVOLT R2 FINISH MODIFIED FROM AS1 LED 1 63B530	8422	72.9	1.000	0.460	1.000
⊙	D	2	LITHONIA_OLF 2RH 40K 120 FINISH	2275	24.5	1.000	0.404	0.500

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.27	6.6	0.0	N.A.
PARKING LOT & DRIVE WAY		Fc	1.67	6.6	0.4	4.18

PARKING LOT & DRIVE WAY
 Illuminance (Fc)
 Average = 1.67
 Maximum = 6.6
 Minimum = 0.4
 Avg/Min Ratio = 4.18
 Max/Min Ratio = 16.50

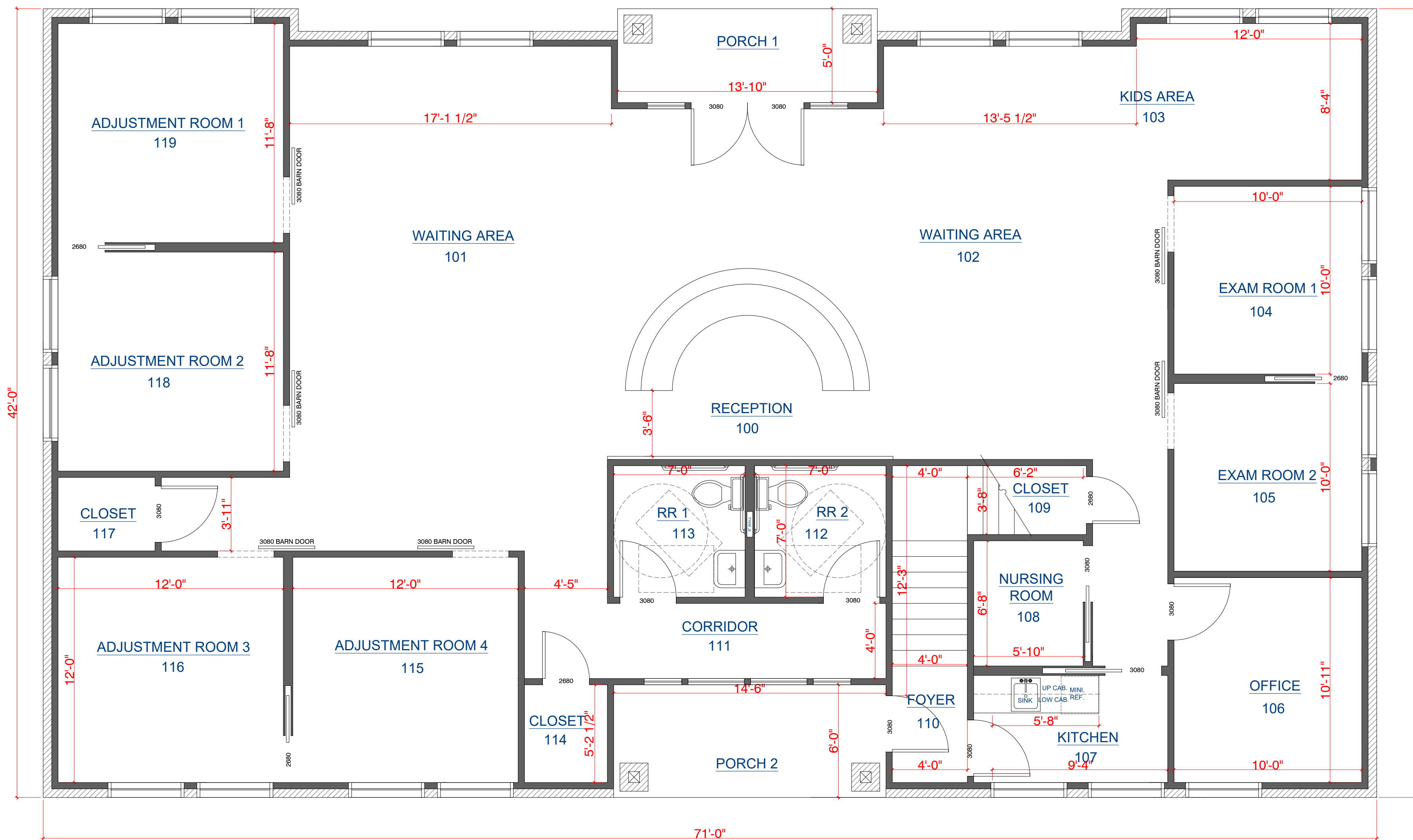
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 ROCKWALL, TEXAS 75087
 PHONE: 469.264.7415
 EMAIL: latimerdesigngroup@gmail.com

LATIMER DESIGNS INC
 CUSTOM HOUSE PLANS
 COMMERCIAL PLANS
 INTERIOR DESIGN

PROJECT/CLIENT:
 T3 CHIROPRACTIC OFFICE
 LOCATION:
 205 & W.HEATH • ROCKWALL • TX • 75087
 DATE:
 01.13.2019

REVISIONS:

DRAWING:
PHOTOMETRIC
 SCALE:
1/8" = 1'-0"
 SHEET SIZE:
24 x 36
 SHEET NO.
A4 OF



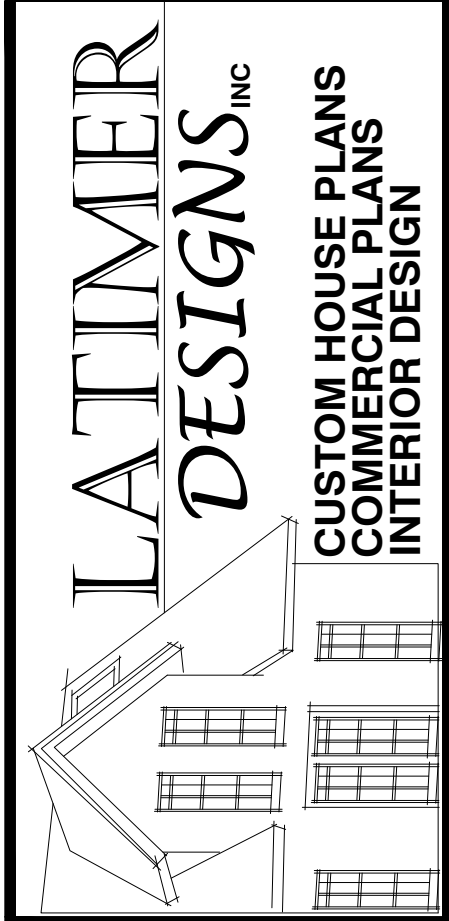
N. GOLIAD STREET

501 FLOOR PLAN
SCALE: 1/4" = 1' - 0"

SQUARE FOOTAGE	
1ST FLOOR	2788
PORCH 1	70
PORCH 2	89
2ND FLOOR	1891



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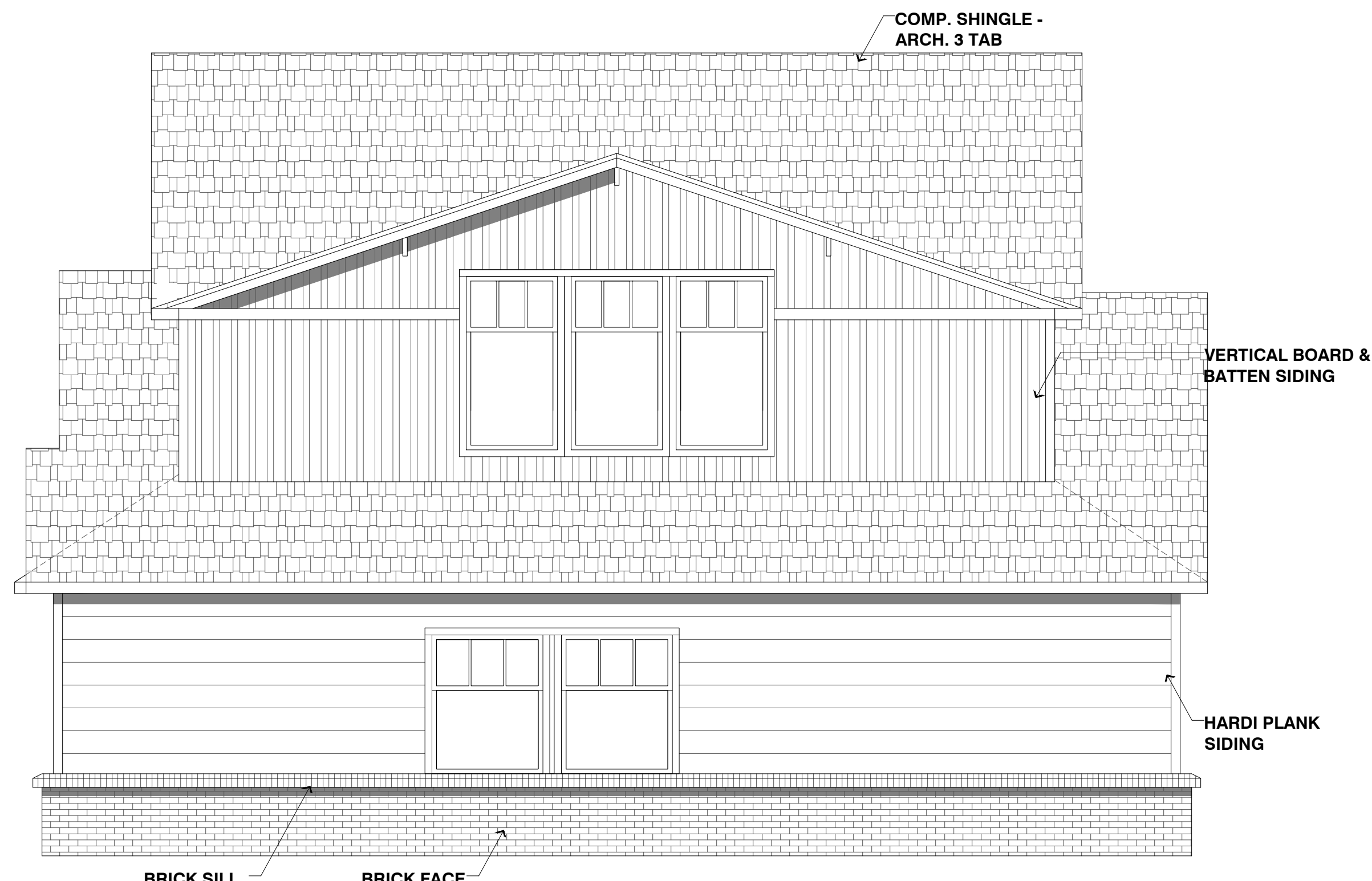
PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087
DATE:
01.13.2019

REVISIONS:

DRAWING:
FLOOR PLAN
SCALE:
1/4" = 1'-0"
SHEET SIZE:
24 x 36
SHEET NO.
A5 OF



601 EAST ELEVATION: GOLIAD FRONTAGE
 SCALE: 1/4" = 1' - 0"



602 SOUTH ELEVATION
 SCALE: 1/4" = 1' - 0"

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 LOCATION:
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 DATE:
01.13.2019

REVISIONS:

DRAWING:
ELEVATIONS
 SCALE:
1/4" = 1'-0"
 SHEET SIZE:
24 X 36
 SHEET NO.
A6 OF 7



701 WEST ELEVATION: PARKING LOT
SCALE: 1/4" = 1' - 0"



702 NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

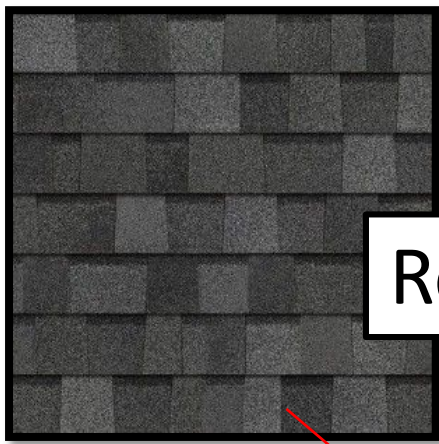
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REVISIONS:

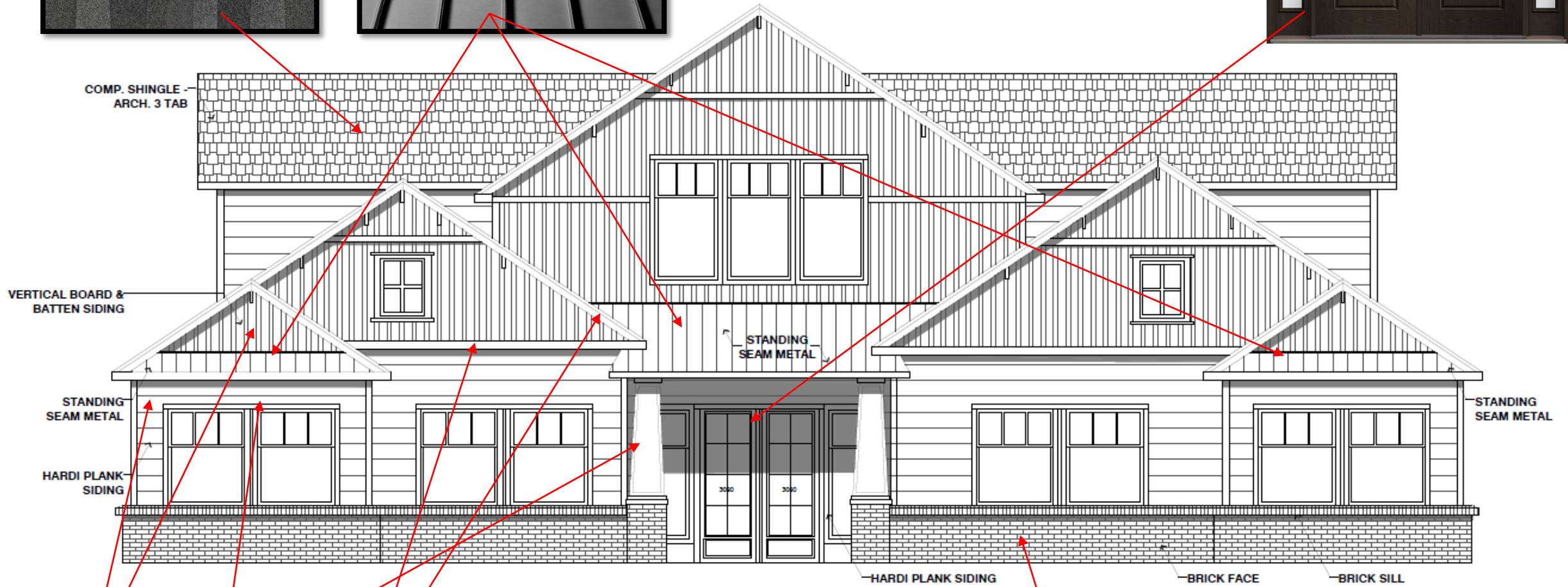
DRAWING: ELEVATIONS
SCALE: 1/4" = 1'-0"
SHEET SIZE: 24 X 36
SHEET NO. A7 OF



Roof



Doors & Sidelights



Paint Colors

Brick

