

SP2018-030 - SITE PLAN FOR BRAKES PLUS
SITE PLAN - LOCATION MAP =

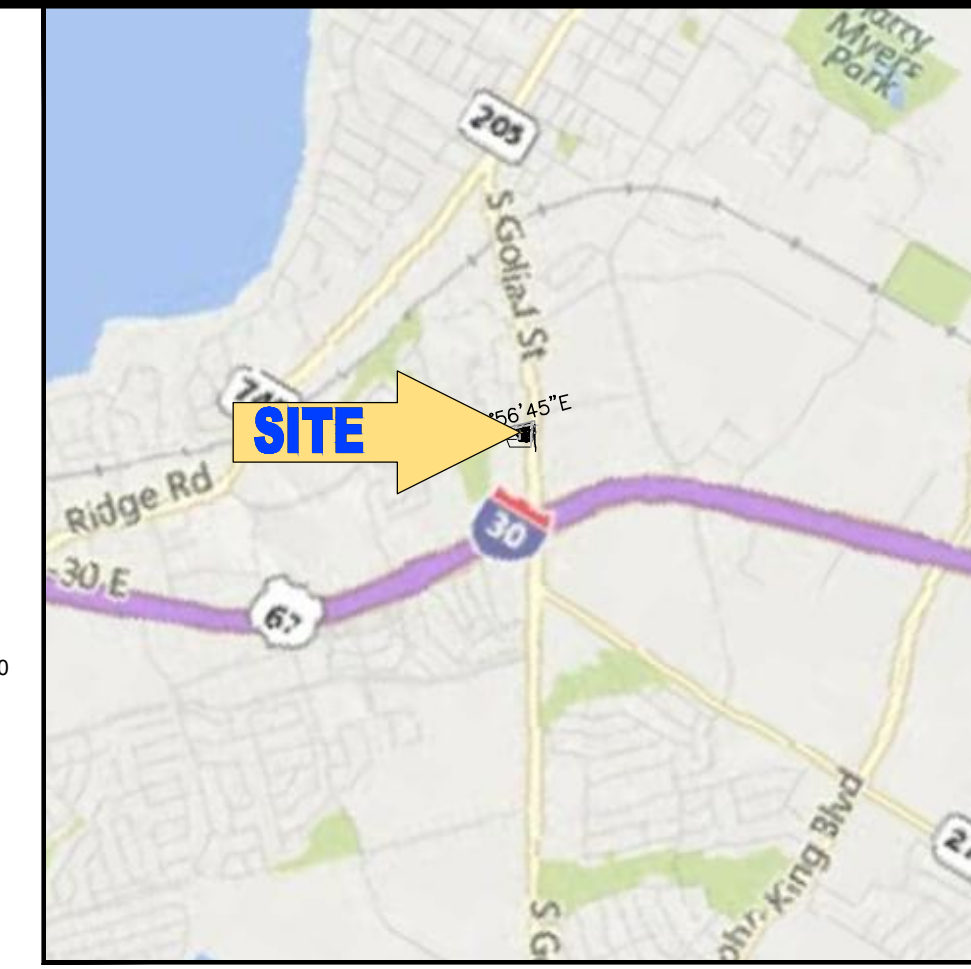
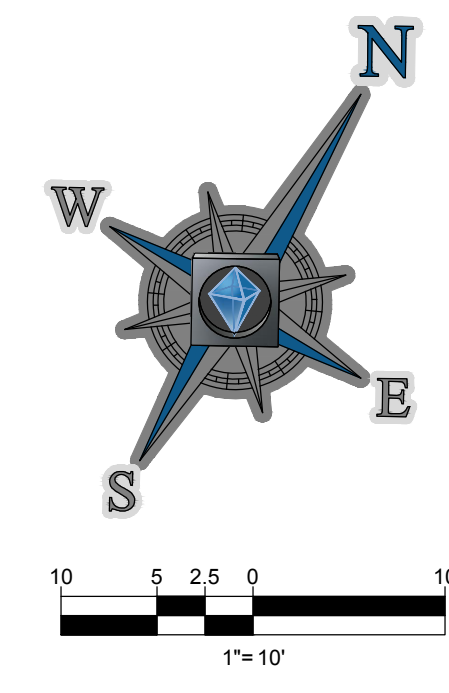
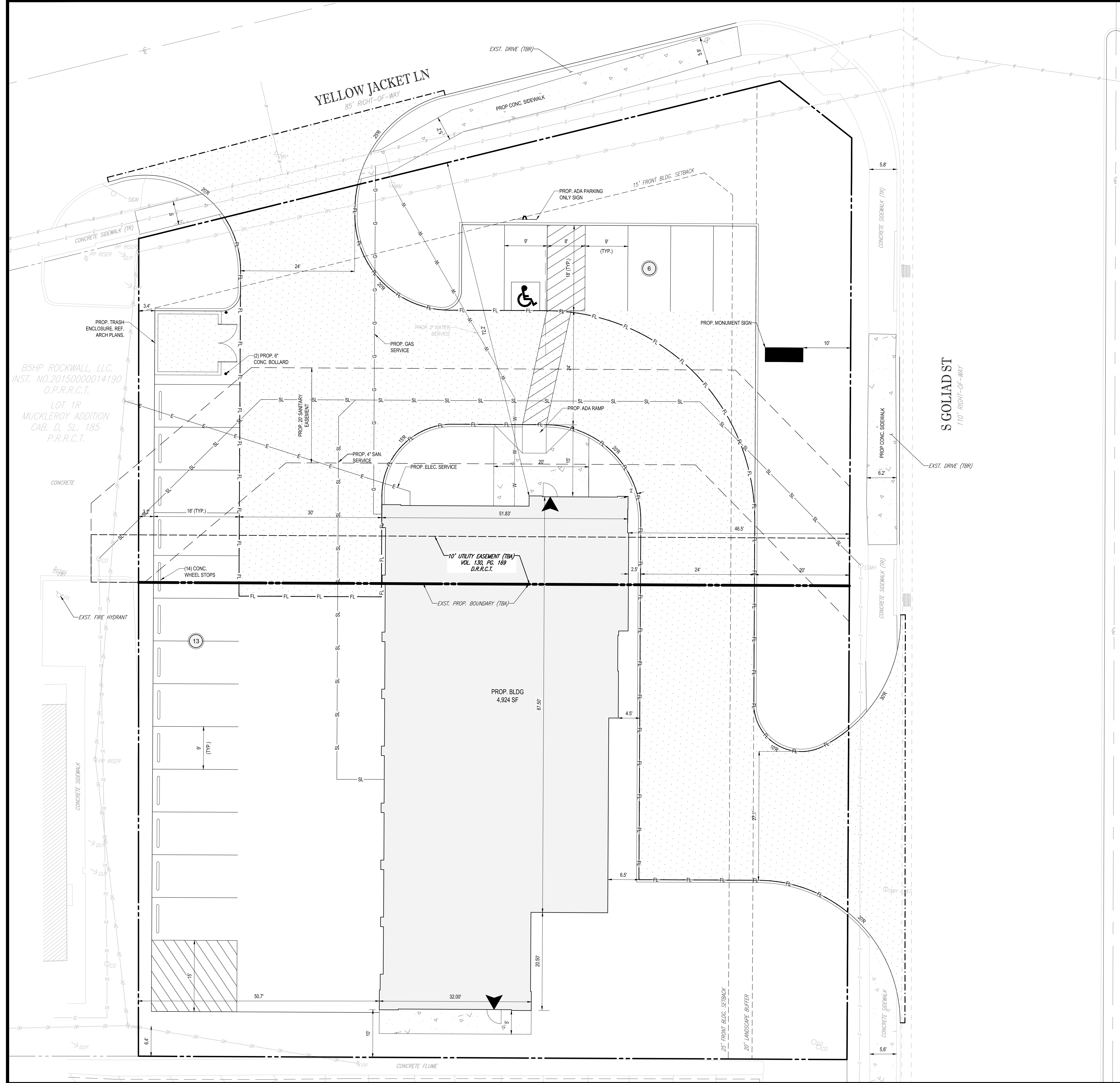


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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LOCATION MAP
SCALE: N.T.S.

SITE DATA	
TOTAL SITE AREA	0.653 AC (28,452 SF)
TOTAL BUILDING SIZE	4,924 SF
SITE ZONING DISTRICT	GR - GENERAL RETAIL
SITE OVERLAY DISTRICT	SH-205 OVERLAY DISTRICT
PROPOSED LAND USE	COMMERCIAL (AUTO REPAIR GARAGE, MINOR)
FRONT BUILDING SETBACK (S. GOLIAD)	25 FT
FRONT BUILDING SETBACK (YELLOW JACKET)	15 FT
SIDE BUILDING SETBACK	0 FT (PROVIDED BLDG IS FIRE RETARDANT)
TYPICAL PARKING SPACE	9' x 18'
CODE REQUIRED PARKING SPACES	2 SPACES PER SERVICE BAY = 16 SPACES
CODE REQUIRED ADA SPACES	1 SPACE
PROVIDED PARKING SPACES	20 SPACES
PROVIDED ADA SPACES	1 SPACE
EXISTING IMPERVIOUS AREA	26,234 SF (92.20%)
PROPOSED IMPERVIOUS AREA	19,933 SF (70.06%)
NET IMPERVIOUS AREA	-6,301 SF (-22.14%)

LEGEND

	PROP. HEAVY DUTY PAVEMENT
	PROP. SIDEWALK
	PROP. FIRE LANE
	PROPERTY BOUNDARY
	PROPERTY BOUNDARY TO BE REMOVED VIA PLAT
	BUILDING SETBACK
	STREET CENTERLINE
	EXST. WATER
	PROP. WATER
	EXST. SANITARY MAIN
	EXST. SANITARY LATERAL
	PROP. SANITARY LATERAL
	EXST. FIRE HYDRANT
	EXST. POWER POLE
TR	TO REMAIN
TBR	TO BE REMOVED
TBA	TO BE ABANDONED

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADI ARE 4' UNLESS OTHERWISE NOTED.
- ALL PROPOSED SIDEWALKS, LANDINGS, AND BARRIER-FREE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
- HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES IMMEDIATELY PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.
- ON-SITE DETENTION IS NOT REQUIRED BASED ON PRE-DEVELOPMENT PERVIOUS/IMPERVIOUS COVER AREAS COMPARED TO POST-DEVELOPMENT COVER AREAS. PROPOSED IMPROVEMENTS INCREASE THE AMOUNT OF PERVIOUS AREA COVER.
- ALL PAVED AREAS SHALL BE CONCRETE. HEAVY DUTY PAVED AREAS SHALL BE 6" CONCRETE OVER 6" LIME STABILIZED CLAY. ALL PAVED AREAS NOT INDICATED AS HEAVY DUTY SHALL BE STANDARD DUTY CONCRETE. STANDARD DUTY CONCRETE SHALL BE 5" CONCRETE OVER 6" LIME STABILIZED CLAY.

SURVEYOR:
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FRISCO, TX 76107
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CONTACT: BILLY LOGSDON
DATE: JULY 2018

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1800 SOUTHPARK DR
BIRMINGHAM, AL 35244
PHONE: (205) 387-1164
CONTACT: JOHN DAVIS

OWNER:
DYNAMIC DEVELOPMENT
1725 21ST ST
SANTA MONICA, CA 90404
PHONE: (310) 662-5167
CONTACT: DANIEL J. PORTER

ENGINEER:
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CONTACT: MATHIAS HAUBERT

BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING DESIGN ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

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REVISIONS			
REV	DATE	COMMENT	BY

811

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NOT APPROVED FOR CONSTRUCTION

PROJECT No.: TD180033
DRAWN BY: MJH
CHECKED BY: JGR
DATE: 10/12/18
SCALE: 1"=30'
CAD I.D.: SPO

PROPOSED SITE PLAN

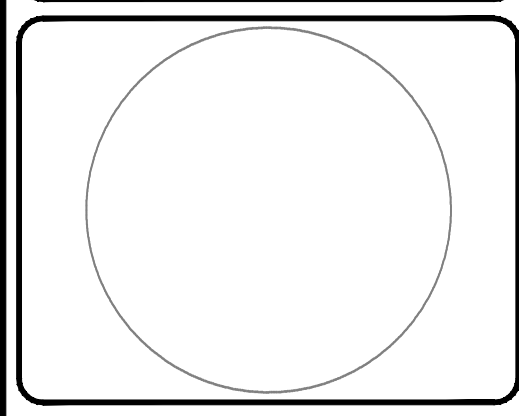
FOR

BRAKES PLUS

LOCATION OF SITE
SW CORNER OF S. GOLIAD ST AND YELLOW JACKET LN
LOTS 1 & 2, BLOCK A, BILLY PEOPLES ADDITION NO. 1
ROCKWALL, TX 75087
ROCKWALL COUNTY

BOHLER ENGINEERING

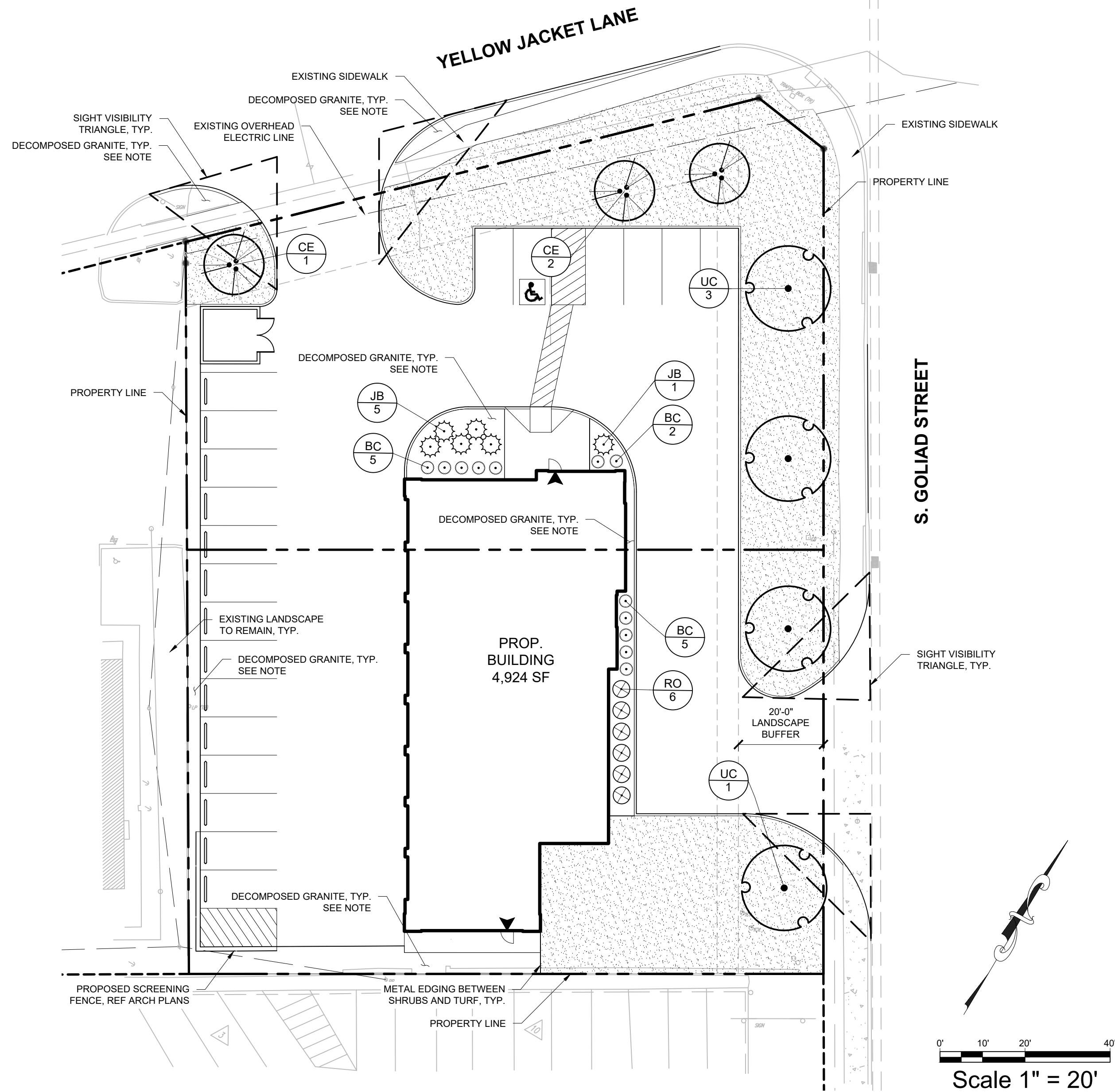
6017 MAIN STREET
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com



SHEET TITLE:
SITE PLAN

SHEET NUMBER:
-

CASE NUMBER: TBD



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	CE	3	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	CONT.	3-5 CANES, 3" OVERALL	6'-8" HT
	UC	4	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	3" CAL.	10'-12" HT
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	BC	12	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	3 GAL	SEE PLAN	
	JB	6	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	3 GAL	5' OC	
	RO	6	ROSMARINUS OFFICINALIS	ROSEMARY	3 GAL	SEE PLAN	
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.		
	CD	8,195 SF	CYNODON DACTYLON	BERMUDA GRASS	HYDROMULCH		

LANDSCAPE CALCULATIONS

CURRENT ZONING:	GR (GENERAL RETAIL)
TOTAL SITE AREA:	28,452 SF
LANDSCAPE AREA REQUIRED:	4,268 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	8,808 SF (31% OF SITE AREA)
TOTAL IMPERVIOUS AREA (EXCLUDING BUILDING):	14,720 SF
BUILDING AREA:	4,924 SF
LANDSCAPE BUFFER STRIP	
LANDSCAPE BUFFER STRIP REQUIRED @ GOLIAD ST.:	20'
LANDSCAPE BUFFER STRIP PROVIDED @ GOLIAD ST.:	20'
STREET LANDSCAPING	
YELLOW JACKET LN. TREES REQUIRED (1 PER 50 LF):	3 (109 LF / 50 = 3)
YELLOW JACKET LN. TREES PROVIDED:	3 (3" CAL.) *
GOLIAD ST. TREES REQUIRED (1 PER 50 LF):	4 (154 LF / 50 = 4)
GOLIAD ST. TREES PROVIDED (1 PER 50 LF):	4 (3" CAL.)
RIGHT-OF-WAY LANDSCAPING	
R/W LANDSCAPE REQUIRED (GRASS OR GROUNDCOVER)	PROVIDED
PARKING LOT LANDSCAPING	
TOTAL PARKING SPACES REQUIRED:	16 SPACES
TOTAL PARKING SPACES PROVIDED:	20 SPACES
PARKING LOT LANDSCAPING REQUIRED:	N/A (LESS THAN 20,000 SF / 2 ROWS)
IRRIGATION	
PROPOSED IRRIGATION DESIGN WILL MEET THE REQUIREMENTS OF THE UDC.	

* UNDERSTORY TREES PROVIDED ADJACENT TO EXISTING OVERHEAD UTILITIES.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

DECOMPOSED GRANITE MULCH

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF DECOMPOSED GRANITE MULCH (3/4" SCREENED, TAN COLOR TO MATCH BUILDING TONES) OVER LANDSCAPE FABRIC IN ALL PLANTING AND LANDSCAPE AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN TURF AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (D&WITT "PRO-5" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- INSTALL 14G, GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



REVISIONS

REV.	DATE	COMMENT	BY

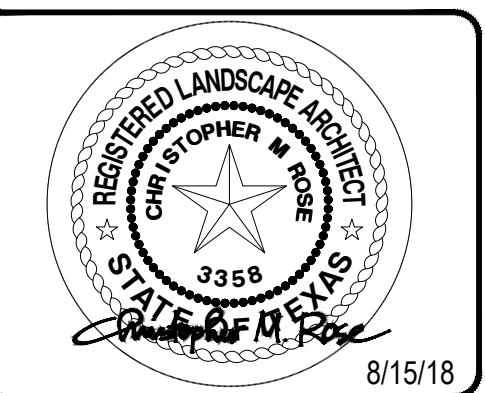
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PROJECT No.:	TD180033
DRAWN BY:	MJH
CHECKED BY:	JGR
DATE:	8/17/18
SCALE:	
CAD I.D.:	

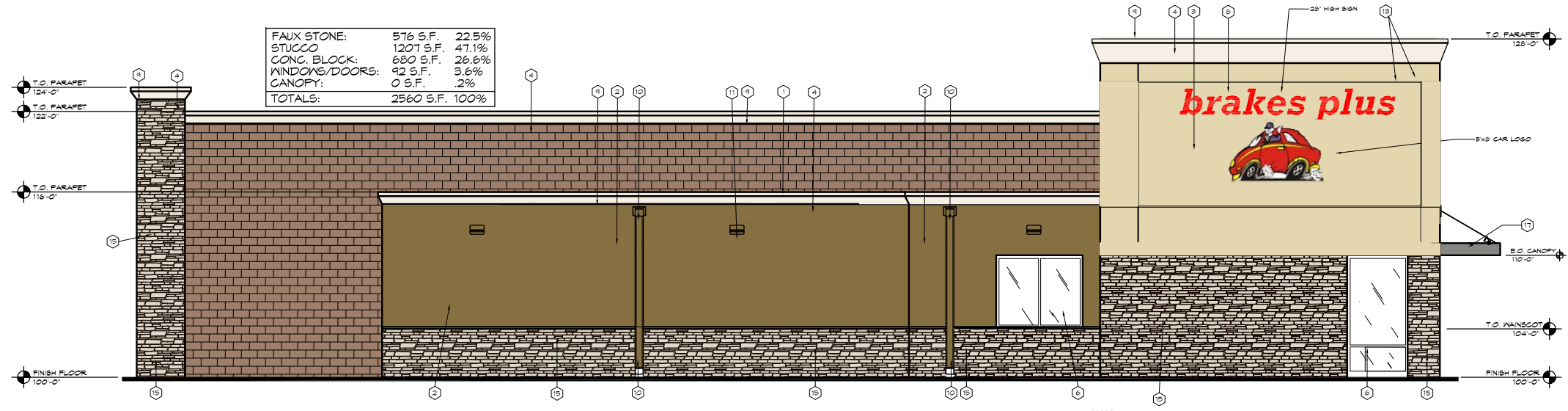
PROJECT:
PROP. SITE PLAN DOCUMENTS
FOR

BRAKES PLUS

LOCATION OF SITE
SW CORNER OF S. GOLIAD ST AND YELLOW JACKET LN LOTS 1 & 2, BLOCK A, BILLY PEOPLES ADDITION NO. 1 ROCKWALL, TX 75087 ROCKWALL COUNTY



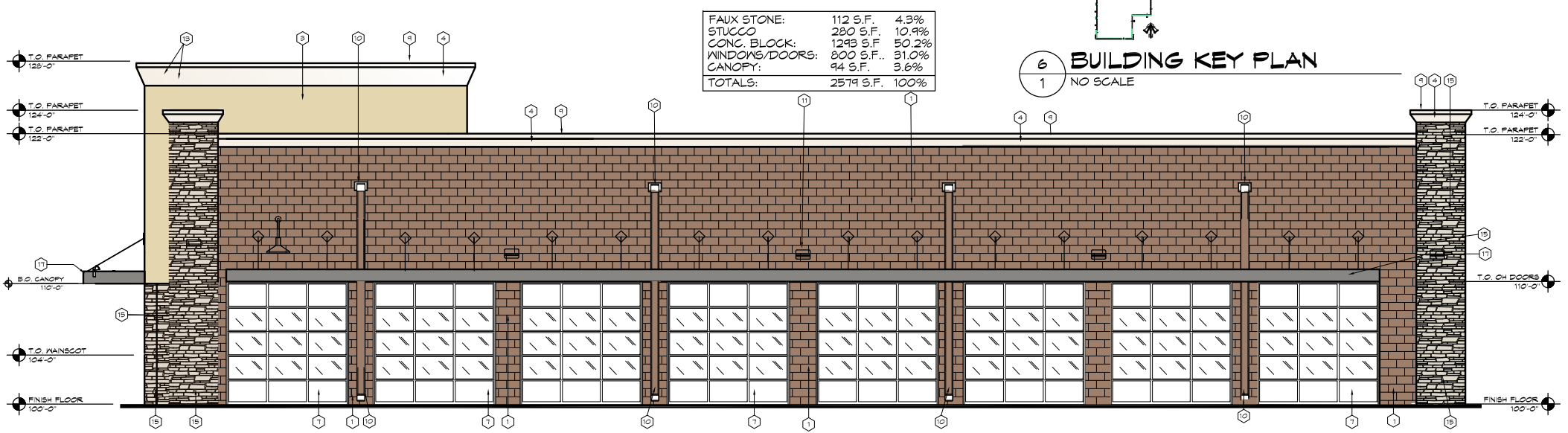
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SHEET NUMBER:	L-1.0
CASE NUMBER:	



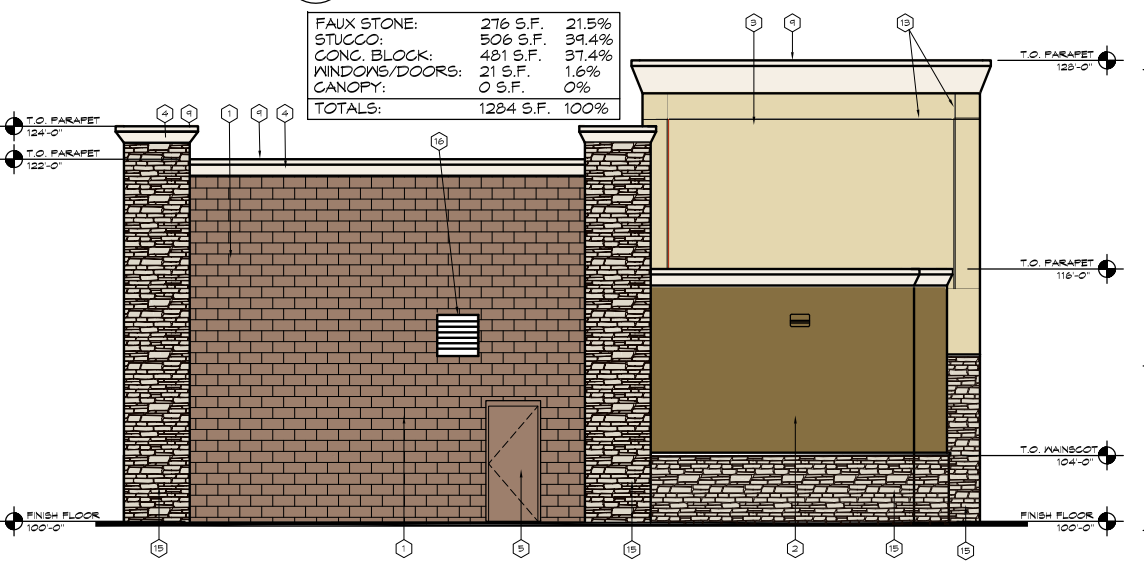
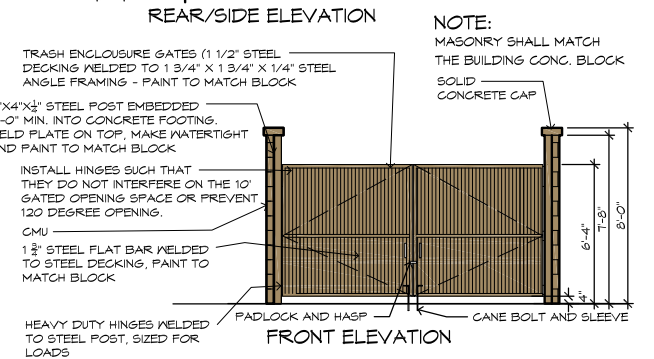
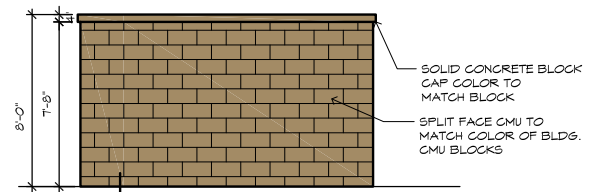
1 EAST ELEVATION
1 3/16"=1'-0"

- KEYNOTES**
- SPLIT FACE CONCRETE BLOCK - MAHOGANEY
 - 3 PART STUCCO - INTEGRAL COLOR TO MATCH SHERWIN WILLIAMS #2835 CRAFTSMAN BROWN
 - 3 PART STUCCO - INTEGRAL COLOR TO MATCH SHERWIN WILLIAMS #2834 BIRDBEYE MAPLE
 - 3 PART STUCCO - INTEGRAL COLOR TO MATCH SHERWIN WILLIAMS #6105 DIVINE WHITE
 - MTL. MAN DOOR. PAINT TO MATCH ADJACENT MATERIAL COLOR
 - ALUMINUM/GLASS STOREFRONT CLEAR ANODIZED ALUMINUM
 - ALUMINUM SECTIONAL OVERHEAD DOORS CLEAR ANODIZED ALUMINUM
 - INTERNALLY-ILLUMINATED "BRAKES PLUS" SIGNAGE
 - PRE-FINISHED METAL CAP FLASHING PREFINISHED TO MATCH FINISH #4
 - DOWNSPOUT AND OVERFLOW SCUPPER - PAINT TO MATCH MATCH ADJACENT MATERIAL.
 - DECORATIVE LIGHT FIXTURE AT 12'-0" AFF.
 - KEY DROP BOX
 - 1 1/2" X 3/4" EIFS REVEAL
 - NOT USED.
 - FAUX STONE VENEER - CULTURED STONE - WHITE OAK COUNTRY LEDGESTONE WITH GROUT (PROVIDE MATCHING WATER SILL AT MAINSCOAT AREAS)
 - MECH. GRILLE - PAINT TO MATCH ADJACENT MATERIAL
 - METAL AWNING - BERRIDGE "ZINC-COTE"

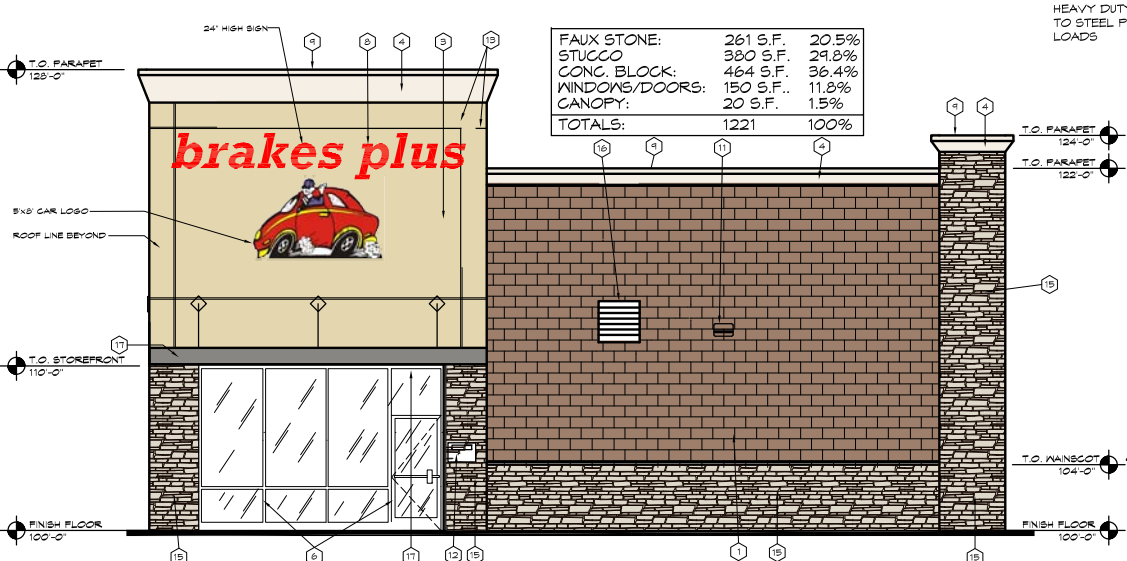
NOTE:
ROOF IS NOT VISIBLE IN ELEVATION VIEW AS ROOF IS FLAT BEHIND THE PARAPET BUT WILL BE A WHITE TPO SINGLE MEMBRANE ROOF.



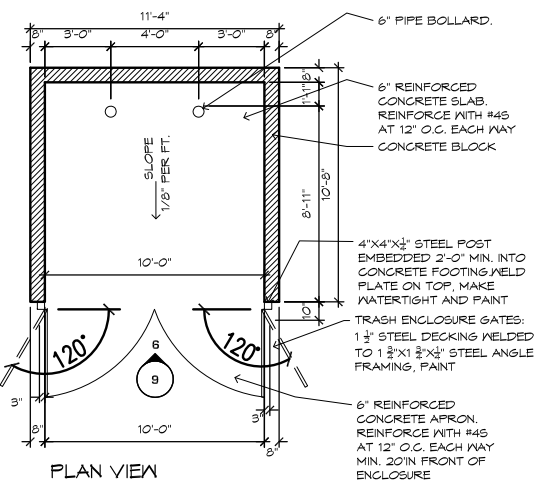
2 WEST ELEVATION
1 3/16"=1'-0"



3 SOUTH ELEVATION
1 3/16"=1'-0"



4 NORTH ELEVATION
1 3/16"=1'-0"



5 TRASH ENCLOSURE DETAIL
1 3/16"=1'-0"

BRAKES PLUS
YELLOW JACKET LN. & S. GOLIAD ST.
ROCKWALL, TEXAS

ARCHITECT OF RECORD

REVISION	DATE	COMMENTS

ARCODEV JOB #:
CLIENT JOB #:
DRAWN BY: NLH
CHECKED BY: NLH
DATE OF ISSUE: 10.09.18

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SHEET
1
EXTERIOR ELEVATIONS