
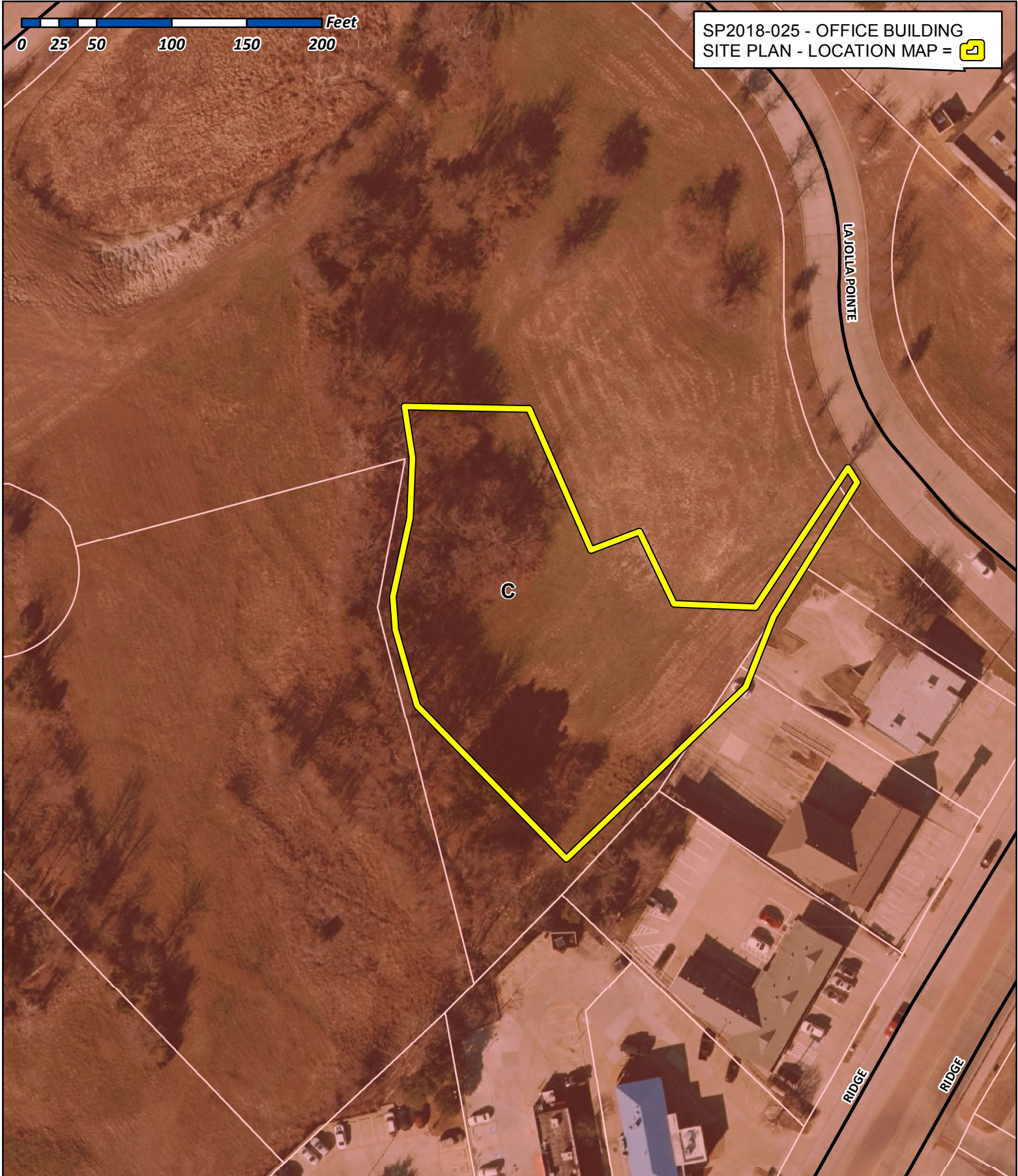


SP2018-025 - OFFICE BUILDING
SITE PLAN - LOCATION MAP = 

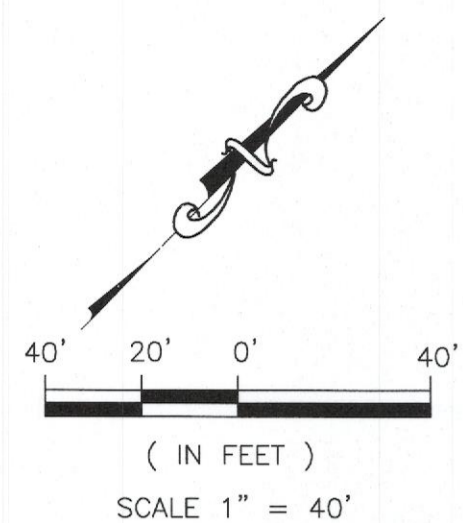
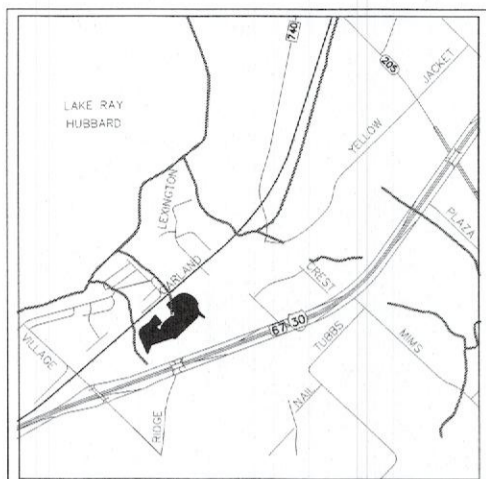


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE NOTE:

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- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING
- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- A TURNING RADIUS OF 30- FEET FOR BUILDING 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT. A MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET.

LEGEND

- PROPOSED WTR. LINE
- PROPOSED S.S. LINE
- PROPERTY LINE
- EASEMENT LINE
- STORM SEWER LINE
-
- PROPOSED SANITARY MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED SITE LIGHTING 20' HT. MAX.
- INDICATE PARKING NO.
- INDICATE GRATE INLET
- INDICATE CURB INLET
- RF REBAR FOUND
- CRS CAPPED REBAR SET
- IRF IRON ROD FOUND
- IRS IRON ROD SET
- UTIL. UTILITY
- ESMT. EASEMENT
- EX. EXISTING
- WTR. WATER LINE
- EX.MH. EXISTING SANITARY SEWER MANHOLE
- B.L. BUILDING SETBACK LINE
- R.O.B. RIGHT OF WAY

LOT INFORMATION

LOT 6 - PHASE I

AREA LOT = 47,027 S.F. (1.080 AC.)

TOTAL BLDG. AREA = 18,000 S.F.

PROPOSED = PROFESSIONAL BLDG. 3-STORY

PARKING REQUIREMENTS

PARKING RATIO = 1/200 S.F.

TOTAL PARKING REQUIRED = 90 SP

TOTAL PARKING PROVIDED = 90 SP

HANDICAP PARKING REQUIRED = 4 SP

SURFACE PARKING PROVIDED = 86 SP

GARAGE PARKING PROVIDED = 27 SP

NOTE:

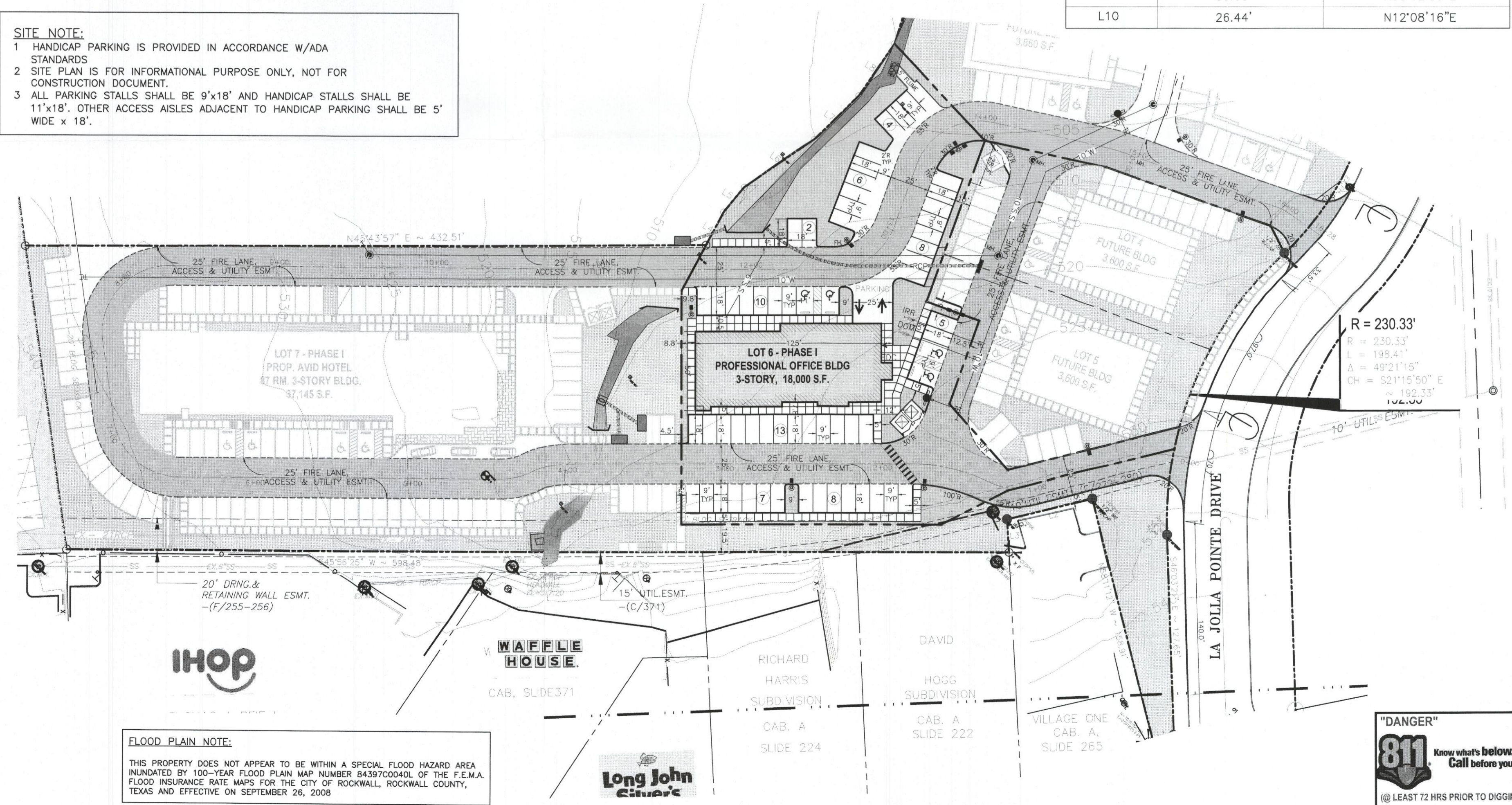
LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

SITE NOTE:

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SITE PLAN

FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



ASA ENGINEERING

17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651
TX T.B.P.E. REGISTRATION # F-008974
T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN

DESIGNED: PSS

DRAWN: PSA

CHECKED: PSS

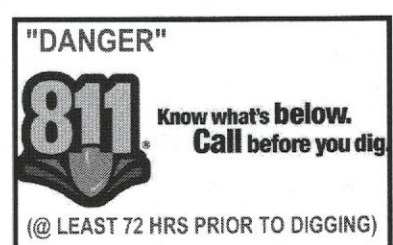
PROJECT NO. 21737.VPR

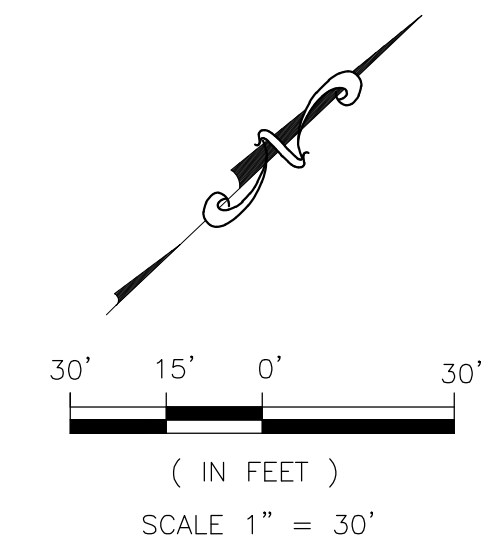
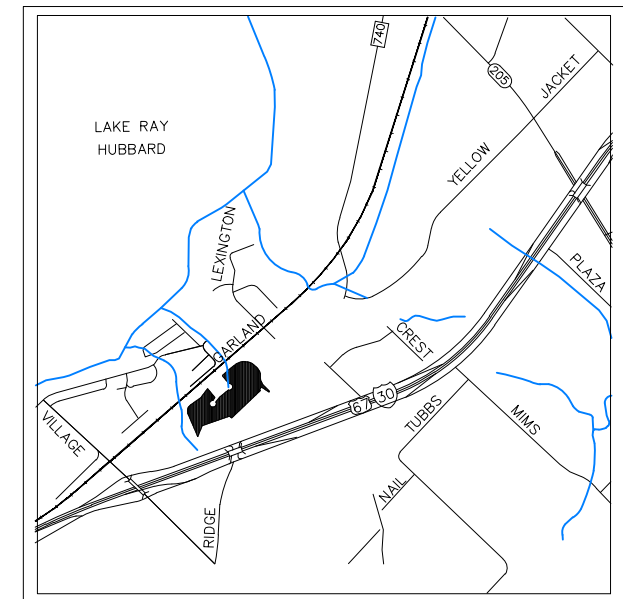
DATE: JULY 16, 2018

SHEET: C-01

FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008





LEGEND			
	PROPOSED WTR. LINE	RF	REBAR FOUND
	PROPOSED S.S. LINE	CRS	CAPPED REBAR SET
	PROPERTY LINE	IRF.	IRON ROD FOUND
	EASEMENT LINE	IRS.	IRON ROD SET
	STROM SEWER LINE	UTIL.	UTILITY
	IRON ROD	ESMT.	EASEMENT
	PROPOSED SANITARY MANHOLE	EX.	EXISTING
	EXISTING SANITARY MANHOLE	WTR.	WATER LINE
	EXISTING FIRE HYDRANT	EX.MH.	EXISTING SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT	B.L.	BUILDING SETBACK LINE
	PROPOSED SITE LIGHTING 20' HT. MAX.	R.O.B.	RIGHT OF WAY
	INDICATE PARKING NO.		
	INDICATE GRATE INLET		
	INDICATE CURB INLET		

LINE TABLE-TRACT 1		
LINE	LENGTH	BEARING
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SITE NOTE:

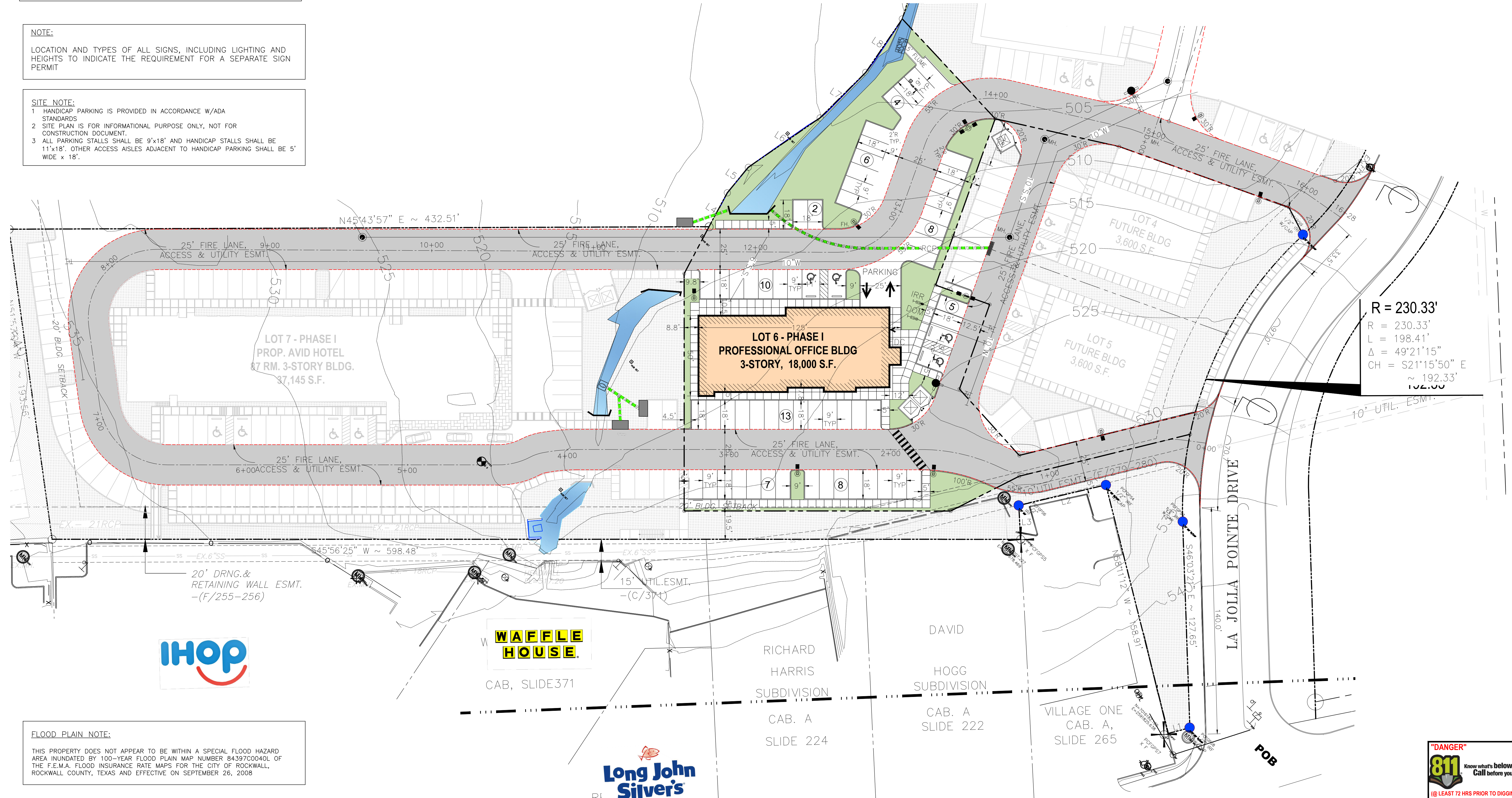
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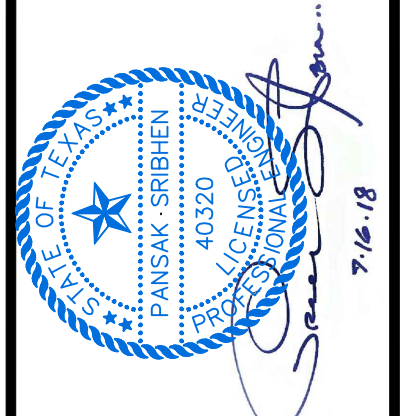


R = 230.33'
 R = 230.33'
 L = 198.41'
 Δ = 49°21'15"
 CH = S21°15'50" E
 192.33'

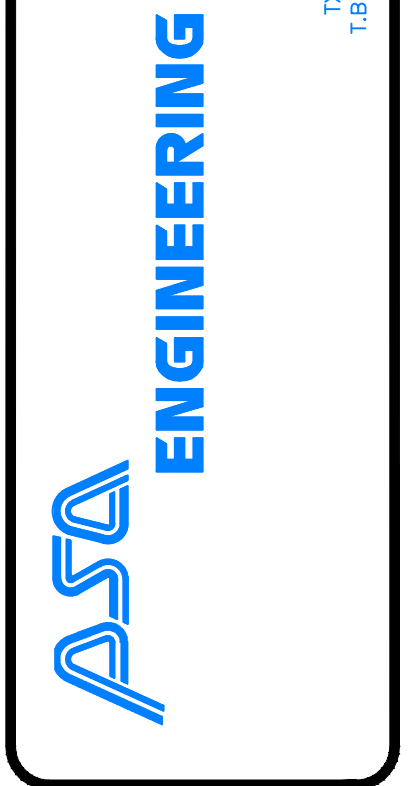


REVISION		
NO.	DATE	BY
0	Y-M-D	P55

SITE PLAN FOR DFW HOSPITALITY OF ROCKWALL LLC CITY OF ROCKWALL, TEXAS



17819 DANFORTH ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9651
 TX T.B.P.E. REGISTRATION # F-006974
 T.B.P.L.S. FIRM REGISTRATION # 100433

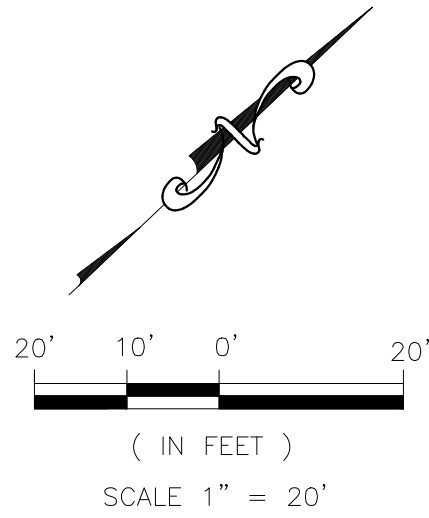
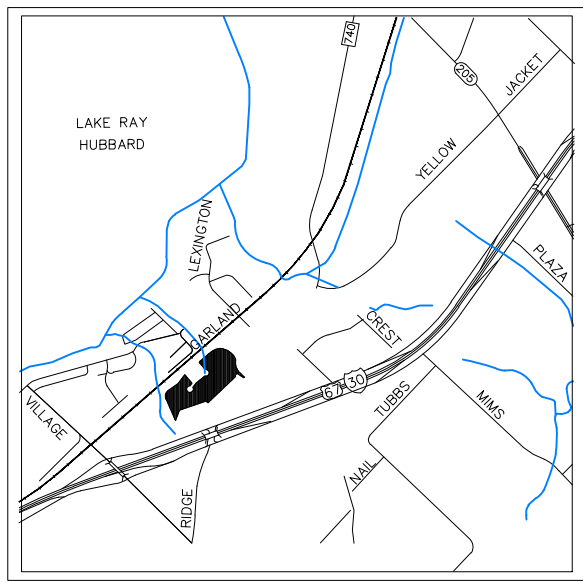


SCALE:	AS SHOWN
DESIGNED:	P55
DRAWN:	P5A
CHECKED:	P55
PROJECT NO.	21737.VPR
DATE:	JULY 16, 2018
SHEET:	C-01



REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



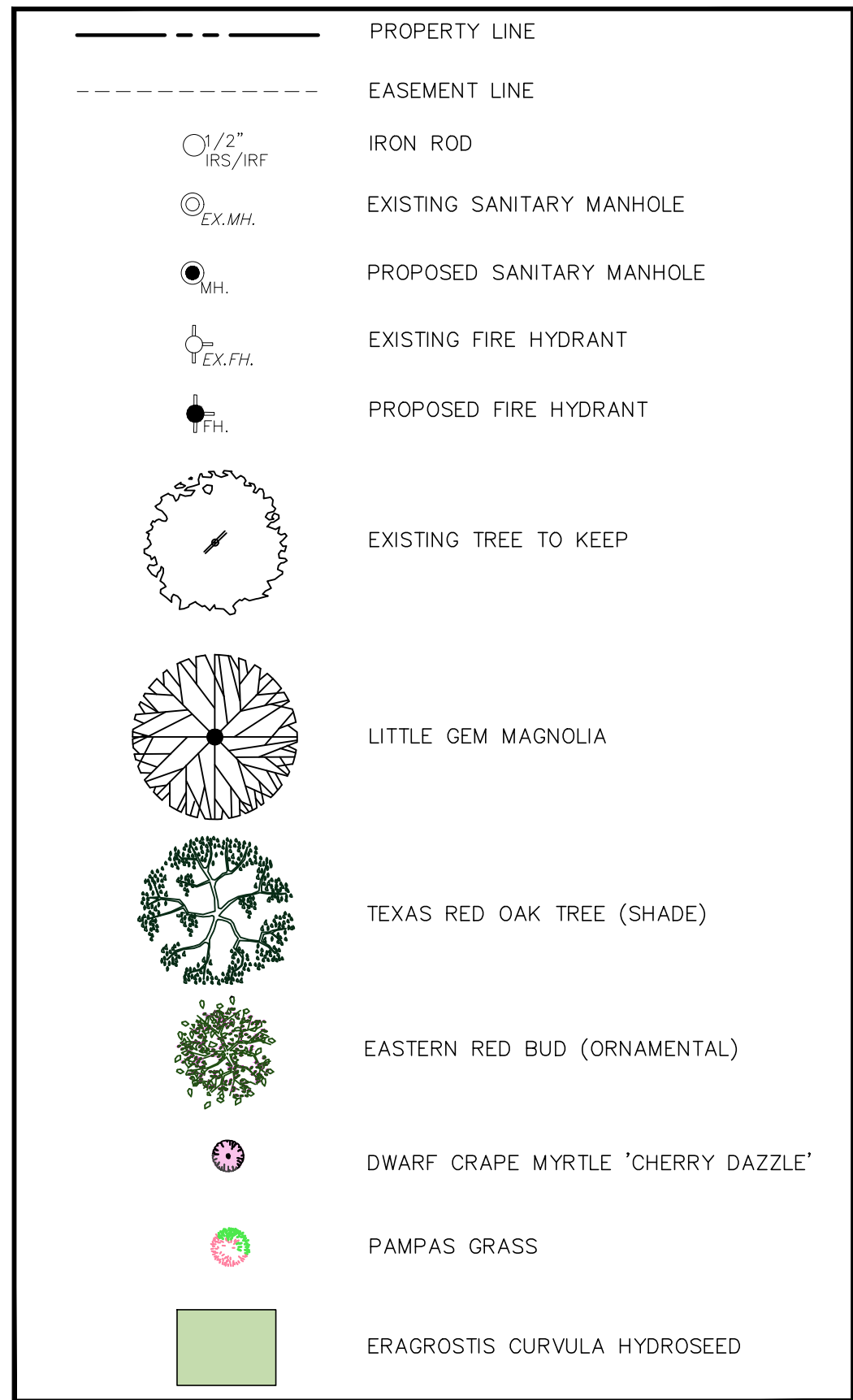
PLANT MATERIAL SCHEDULE :

QTY.	COMMON NAME	BOTANICAL NAME	SIZE
02	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
07	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
01	EASTERN RED BUD	CERCIS CANADENSIS	2.5" CAL.
22	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
18	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
6,998 SF.	WEeping LOVE GRASS HYDROSEED	ERAGROSTIS CURVULA	

LANDSCAPE NOTE:

- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUB AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUAL.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN OR LOCAL (TEXAS ASSOCIATION OF NURSEYMEN STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- ALL LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARRY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDED HARDWOOD MULCH, OR APPROVED EQUAL, STAKE AND OR GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTOILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURERS RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.

LEGENDS:



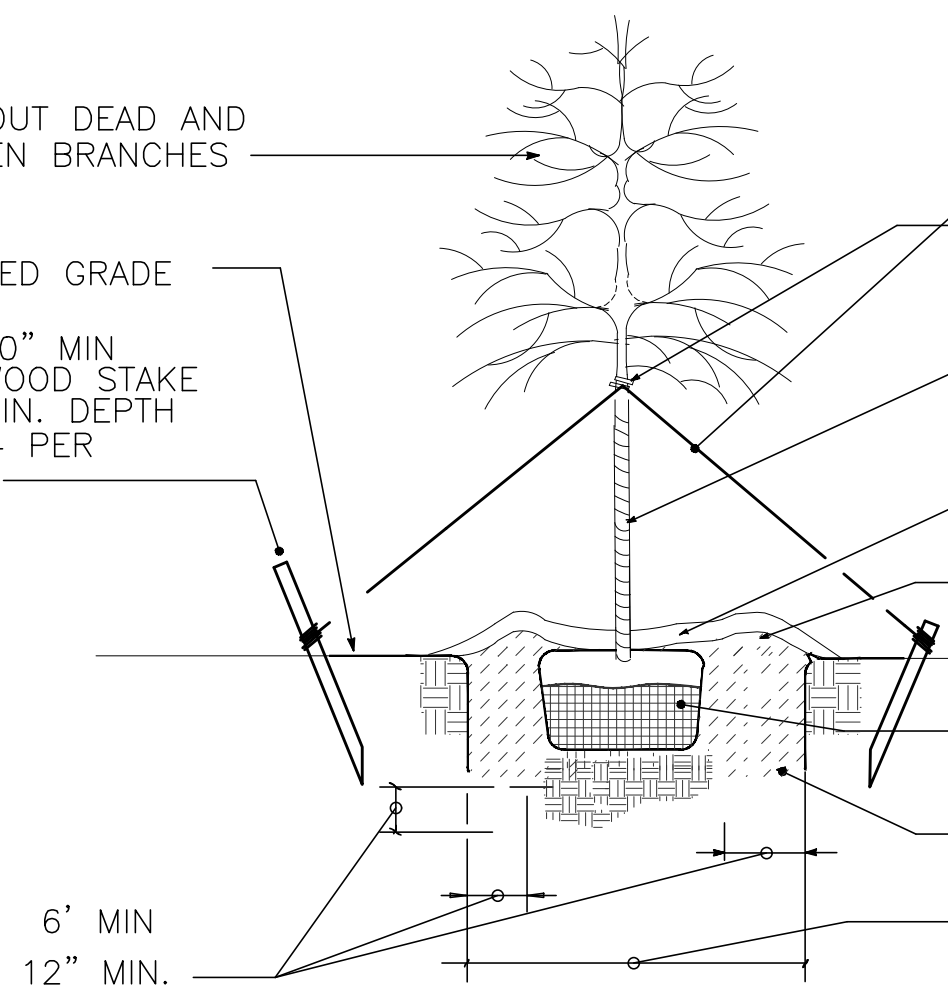
LANDSCAPE TABULATIONS:

	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP 1 TREE PER 50 FT. OF STREET FRONTAGE (N/A FT.)	N/A	N/A
PARKING SPACE (67 SP) 1 TREE PER 10 REQ. PARKING SPACES (60 REQ. SPACES)	7 TREES	10 TREES
AMOUNT OF LANDSCAPING (TOTAL LOT AREA = 47,027 SF.) COMMERCIAL/ GENERAL RETAIL	6,536 SF.	8,336 SF.
	15% OF LOT AREA	

THIN OUT DEAD AND BROKEN BRANCHES

FINISHED GRADE

2x2x40" MIN
MIN WOOD STAKE
30" MIN. DEPTH
USE 4 PER
TREE



DOUBLE STRAND OF 12 GAUGE WIRE

2 PLY REINFORCED RUBBER HOSE

WRAP TREE TRUNK AS SPECIFIED

2" MULCH OF SHREDED HARDWOOD TREE BARK OR PINE BARK

SAUCER, 4" HEIGHT

REMOVE BURLAP FROM TOP 1/3 OF TREE

PREPARED PLANTING SOIL MIXTURE, SEE SPECS.

DIAMETER OF BALL PLUS 24" 4'-6" MIN.

LARGE TREE STAKING DETAIL

NOT TO SCALE FOR TREES UNDER 3 1/2" CALIPER

BALL DEPTH PLUS 4" 18" MIN.

PREPARED PLANTING SOIL MIXTURE, SEE SPECIFICATION

4" MIN 6" MIN.

SHRUB PLANTING DETAIL

NOT TO SCALE

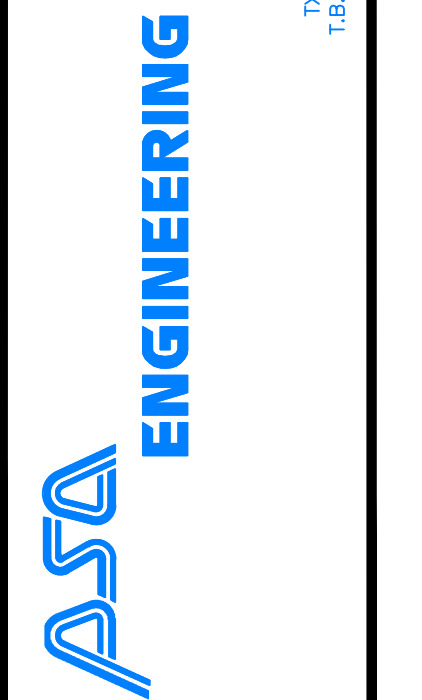


LA JOLLA POINTE DRIVE

LANDSCAPE PLAN FOR DFW HOSPITALITY OF ROCKWALL LLC CITY OF ROCKWALL, TEXAS



17818 DAWSONPORT ROAD, SUITE 215
DALLAS, TEXAS 75248
(972) 248-8651
TX T.B.S.F. REGISTRATION # F-006974
T.B.P.L.S. FIRM REGISTRATION # 109433



SCALE: AS SHOWN

DESIGNED: PSS

DRAWN: PSA

CHECKED: PSS

PROJECT NO. 21737-VPR

DATE: JULY 16, 2018

SHEET: L-01

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



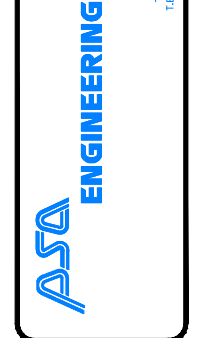
REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

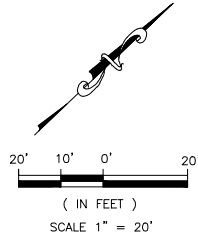
TREE PRESERVATION PLAN
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 215
DALLAS, TX 75244
TX T.B.P.E. REGISTRATION # F-000874
T.B.P.L.S. FIRM REGISTRATION # 100443



SCALE:	AS SHOWN
DESIGNED:	PSS
DRAWN:	PSA
CHECKED:	PSS
PROJECT NO.	21737.VPR
DATE:	JULY 16, 2018
SHEET:	L-02



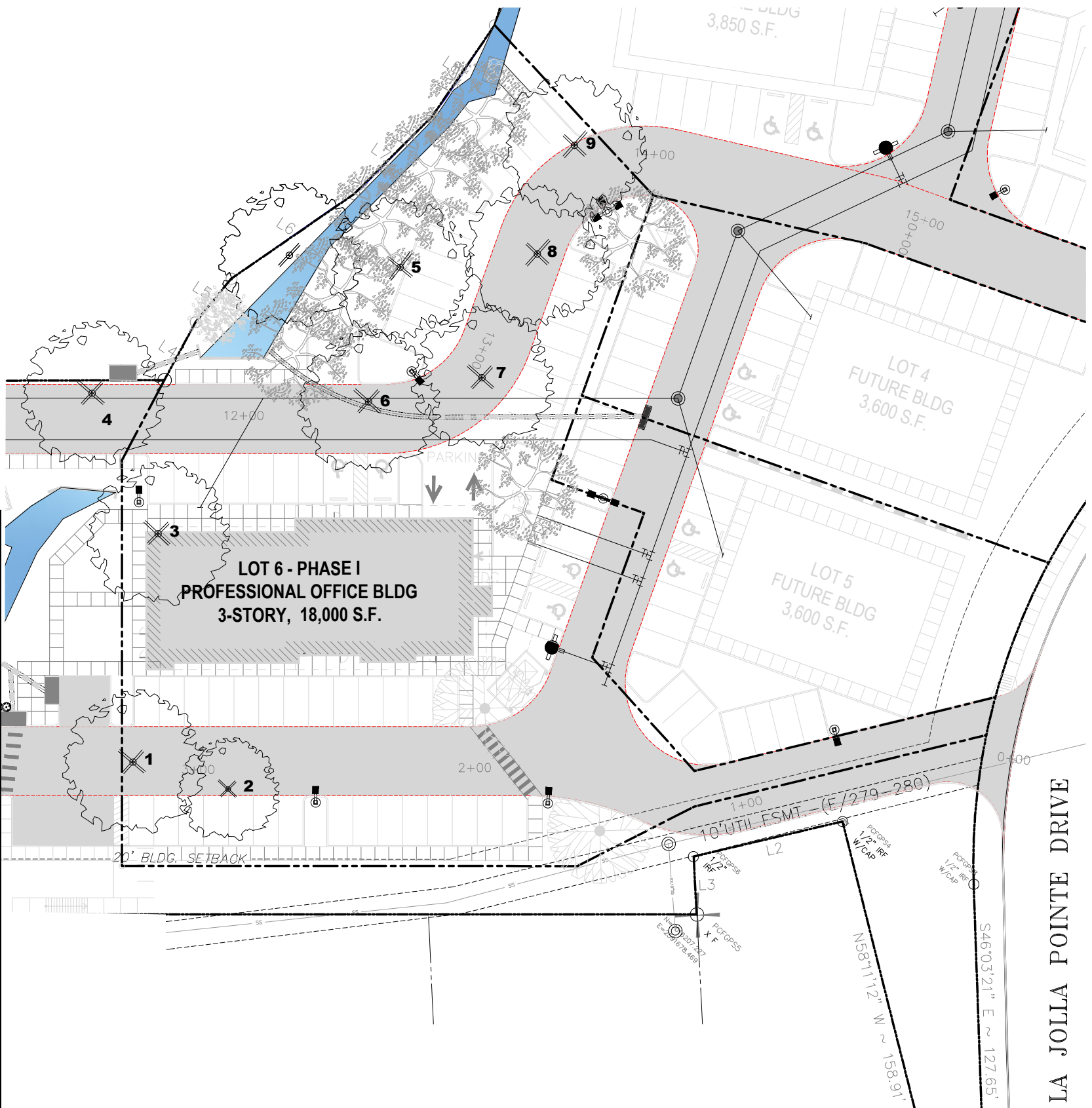
PROTECTED TREE SURVEY

TAG	DBH	COMMON NAME	BOTANICAL NAME
1	9"	WHITE OAK	QUERCUS ALBA
2	8"	WHITE OAK	QUERCUS ALBA
3	11"	WHITE OAK	QUERCUS ALBA
4	9"	WHITE OAK	QUERCUS ALBA
5	6"	LIVE OAK	QUERCUS VIRGINIANA
6	14"	LIVE OAK	QUERCUS VIRGINIANA
7	11"	WHITE OAK	QUERCUS ALBA
8	14"	WHITE OAK	QUERCUS ALBA
9	12"	WHITE OAK	QUERCUS ALBA
94"	TOTAL INCHES OF TREE REMOVED-100% REPLACEMENT RATIO		
94"	TOTAL INCHES OF TREE REPLACEMENT REQUIRED		
57"	TOTAL INCHES OF TREE REPLACEMENT PROVIDED		
-37"	PURCHASE OF CREDIT		

LEGENDS:

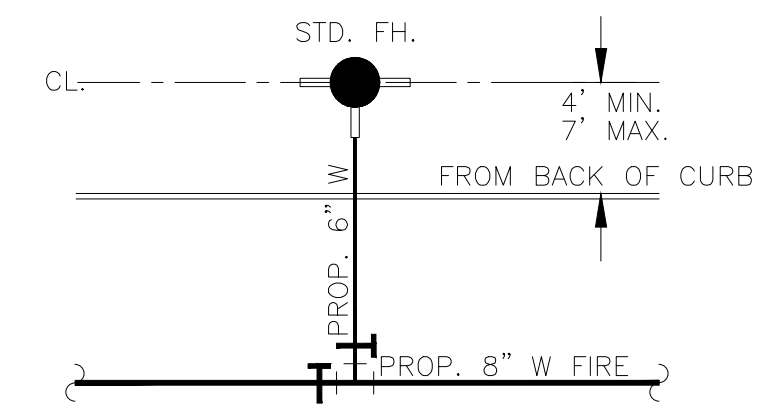
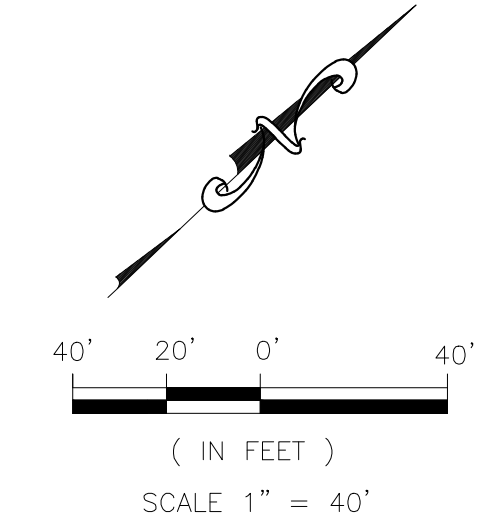
EXISTING TREE					
	PROPERTY LINE		EXISTING TREE TO KEEP		
	EASEMENT LINE		EXISTING TREE TO BE REMOVED		
	IRON ROD				
	EXISTING SANITARY MANHOLE				
	PROPOSED SANITARY MANHOLE				
	EXISTING FIRE HYDRANT				
	PROPOSED FIRE HYDRANT				

TREE REPLACEMENT					
SIZE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING/REMARKS
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	1	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.	AS SHOWN

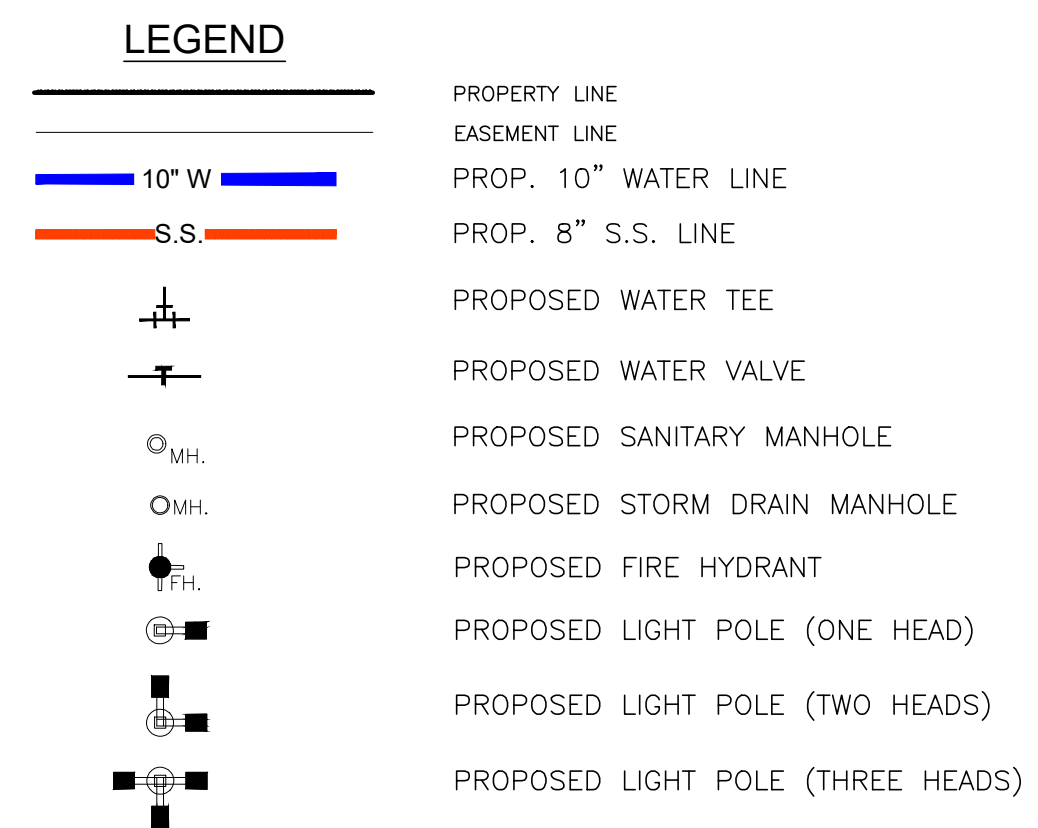


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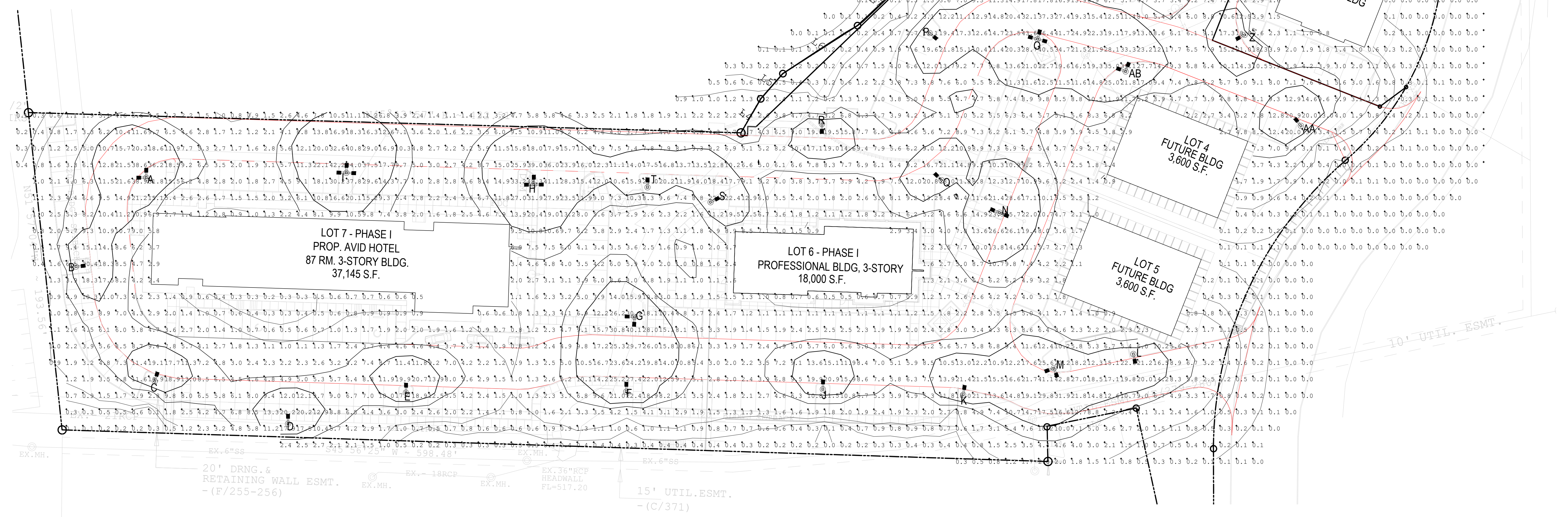
TYP. FIRE HYDRANT DETAIL
NTS



Luminaire Tag Summary		Qty
90 DOUBLE HEAD		5
90 TRIPLE HEAD		3
B2B		1
SINGLE HEAD		19

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	ILLUMINANCE	Fc	4.21	56.4	0.0	N.A.	N.A.

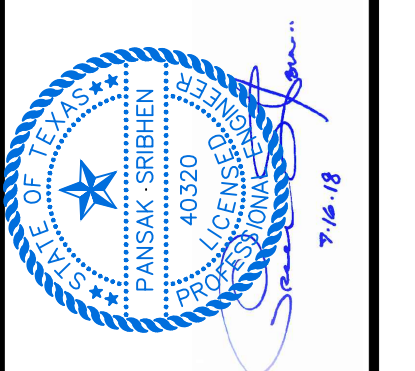
Expanded Luminaire Location Summary										
LumNo	Label	X	Y	Z	Orient	Tilt	X-Aimpt	Y-Aimpt	Z-Aimpt	TCF
A	EALP01 L2AN750	2591258	7016270	20	90	0	2591258	7016270	0	1
B	EALP01 L2AN750	2591215	7016216	20	6.365	0	2591215	7016216	0	1
C	EALP01 L2AN750	2591263	7016146	20	72.791	0	2591263	7016146	0	1
D	EALP01 L2AN750	2591344	7016120	20	90	0	2591344	7016120	0	1
E	EALP01 L2AN750	2591416	7016140	20	90.25	0	2591416	7016140	0	1
F	EALP01 L2AN750	2591548	7016140	20	91.848	0	2591548	7016140	0	1
G	EALP01 L2AN750	2591554	7016185	20	177.09	0	2591554	7016185	0	1
H	EALP01 L2AN750	2591493	7016265	20	90.464	0	2591493	7016265	0	1
I	EALP01 L2AN750	2591378	7016275	20	0.805	0	2591378	7016275	0	1
J	EALP01 L2AN750	2591667	7016143	20	89.597	0	2591667	7016143	0	1
K	EALP01 L2AN750	2591751	7016140	20	79.595	0	2591751	7016140	0	1
L	EALP01 L2AN750	2591857	7016162	20	281.912	0	2591857	7016162	0	1
M	EALP01 L2AN750	2591809	7016154	20	290.556	0	2591809	7016154	0	1
N	EALP01 L2AN750	2591776	7016248	20	158.478	0	2591776	7016248	0	1
O	EALP01 L2AN750	2591797	7016353	20	341.607	0	2591797	7016353	0	1
P	EALP01 L2AN750	2591740	7016268	20	132.274	0	2591740	7016268	0	1
Q	EALP01 L2AN750	2591733	7016357	20	320.194	0	2591733	7016357	0	1
R	EALP01 L2AN750	2591668	7016302	20	270	0	2591668	7016302	0	1
S	EALP01 L2AN750	2591600	7016255	20	28.95	0	2591600	7016255	0	1
T	EALP01 L2AN750	2591562	7016264	20	90	0	2591562	7016264	0	1
U	EALP01 L2AN750	2591936	7016431	20	175.278	0	2591936	7016431	0	1
V	EALP01 L2AN750	2591879	7016479	20	3.991	0	2591879	7016479	0	1
W	EALP01 L2AN750	2591945	7016529	20	64.515	0	2591945	7016529	0	1
X	EALP01 L2AN750	2591996	7016569	20	202.557	0	2591996	7016569	0	1
Y	EALP01 L2AN750	2591949	7016658	20	227.726	0	2591949	7016658	0	1
Z	EALP01 L2AN750	2591924	7016356	20	207.613	0	2591924	7016356	0	1
AA	EALP01 L2AN750	2591958	7016301	20	128.418	0	2591958	7016301	0	1
AB	EALP01 L2AN750	2591852	7016334	20	70.017	0	2591852	7016334	0	1



REVISION		
NO.	DATE	BY
0	Y-M-D	P55

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

FOR
OVERALL PHOTOMETRIC
 FOR
DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
 17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9851
 TX. T.B.E. REGISTRATION # F-008974
 I.B.P.L.S. FIRM REGISTRATION # 100423

SCALE: AS SHOWN
 DESIGNED: P55
 DRAWN: PSA
 CHECKED: P55

PROJECT NO. 21737.VPR
 DATE: JULY 13, 2018
 SHEET: C-05

Z:\2017\21737.VPR\CURRENT\SHEET\18-07-14 SITE PLAN SET\PLANS SET - MEDICAL OFFICE\04-07.dwg, C:05, 7/16/2018 11:42:22 PM.
 DWG TO PDF PLOT: ACR (Expanded) 12x18 (8.5x11.69)

REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS
FOR
TRACT 1 - PROFESSIONAL OFFICE @
DFW HOSPITALITY OF ROCKWALL, LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER
PSA ENGINEERING
17819 DAVENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

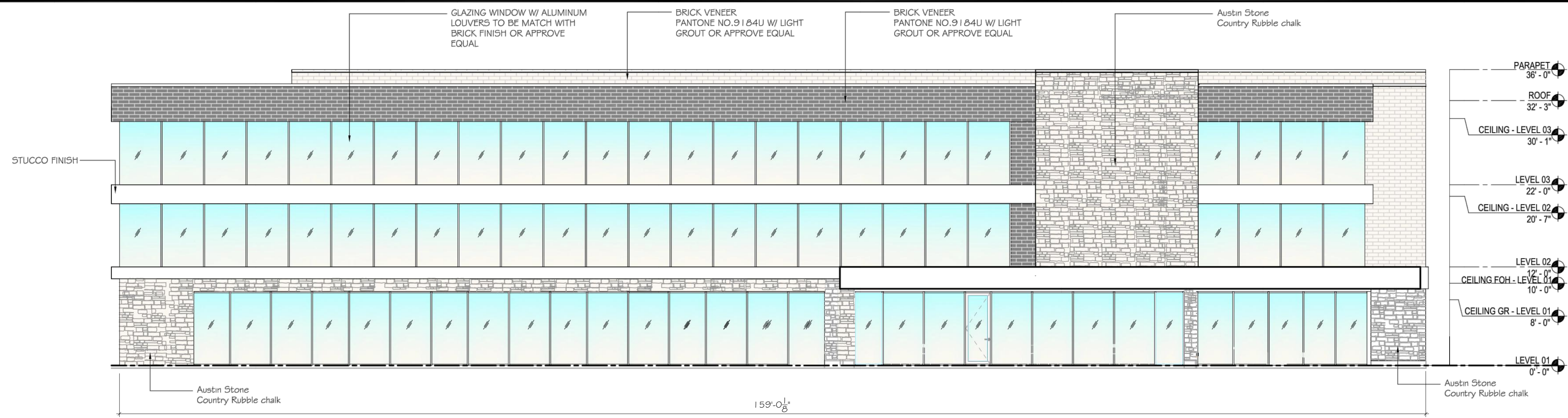
R.T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMIER LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED: RC
DRAWN: PSA
CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 13, 2018

SHEET: A2.0



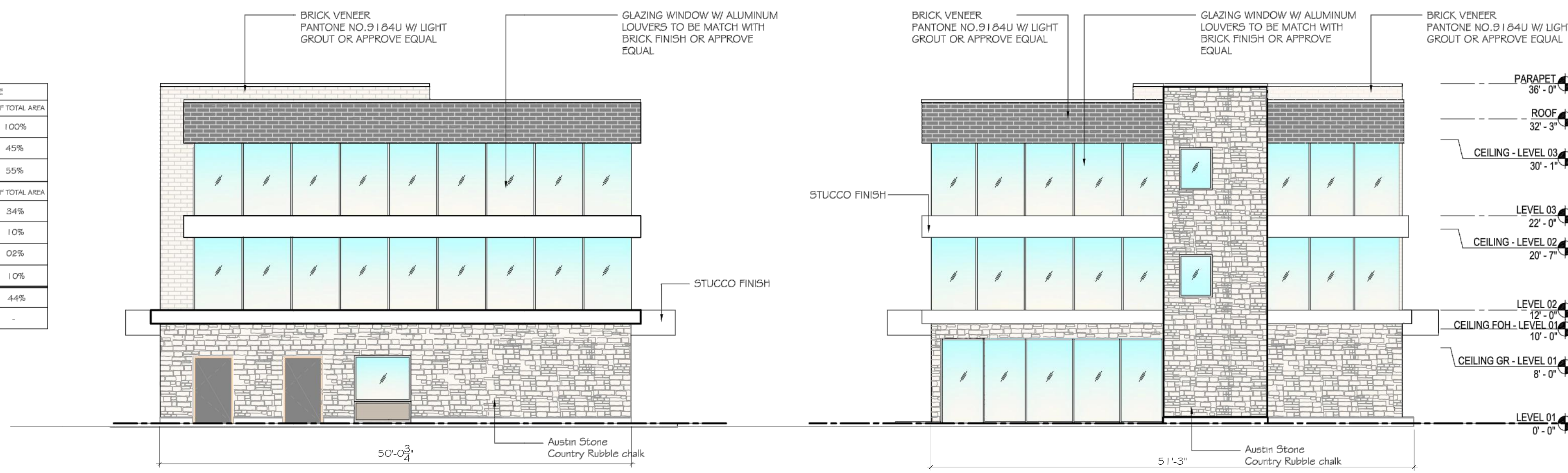
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

MATERIALS CALCULATION TABLE:

DESCRIPTION	FRONT SIDE		REAR SIDE		LEFT SIDE		RIGHT SIDE	
	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA
TOTAL OF ELEVATION AREA	5,215 S.F.	100%	5,402 S.F.	100%	1,620 S.F.	100%	1,727 S.F.	100%
GLAZING DOORS & WINDOWS	3,063 S.F.	59%	2,922 S.F.	54%	759 S.F.	45%	775 S.F.	45%
NET AREA (EXCLUSIVE OF W/D)	2,152 S.F.	41%	2,480 S.F.	46%	861 S.F.	55%	952 S.F.	55%
DESCRIPTION	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA
M1 - AUSTIN STONE VENEER	594 S.F.	11%	916 S.F.	17%	396 S.F.	24%	577 S.F.	34%
M2 - BRICK VENEER	616 S.F.	12%	663 S.F.	12%	207 S.F.	12%	172 S.F.	10%
M3 - BRICK VENEER	317 S.F.	6%	319 S.F.	6%	109 S.F.	6%	29 S.F.	2%
M4 - STUCCO	623 S.F.	12%	560 S.F.	11%	207 S.F.	12%	174 S.F.	10%
GLAZING DOOR & WINDOW	3,063 S.F.	59%	2,922 S.F.	54%	717 S.F.	43%	775 S.F.	44%
DOOR	-	-	-	-	42 S.F.	3%	-	-

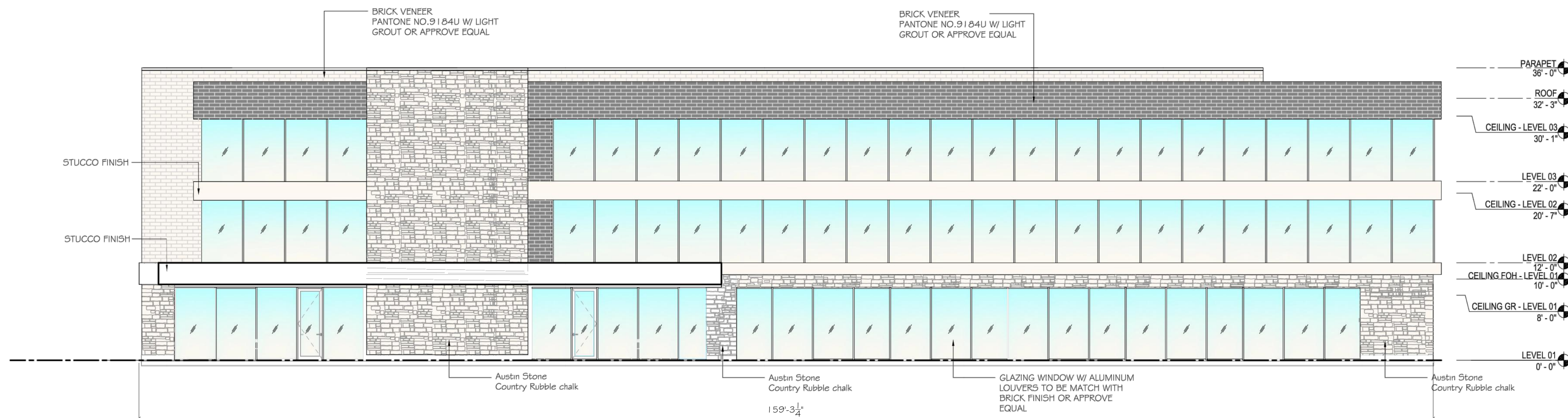
FINISH SCHEDULE

- AUSTIN STONE VENEER COUNTRY RUBBLE CHALK
- STUCCO WALL
- BRICK VENEER
- BRICK VENEER
- GLAZING



2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

3 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



4 REAR ELEVATION
SCALE: 1/8" = 1'-0"