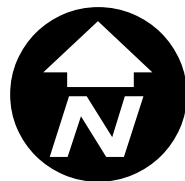


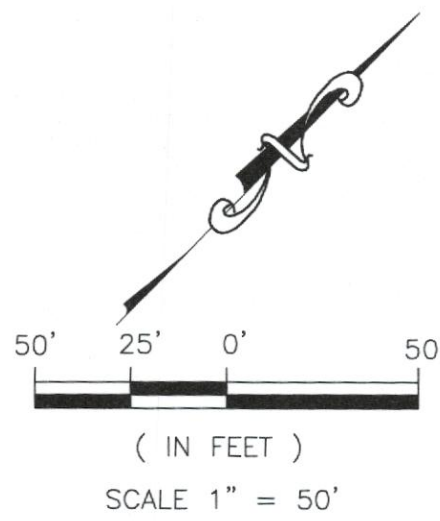


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE NOTE:

- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
- SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
- ALL PARKING STALLS SHALL BE 9'x18' AND HANDICAP STALLS SHALL BE 11'x18'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 18'.
- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING
- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- A TURNING RADIUS OF 30- FEET FOR BUILDING 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT. A MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET.

NOTE:

LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

SITE PLAN NOTE:

- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD PECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.

- LEGEND**
- PROPOSED WTR. LINE
 - PROPOSED S.S. LINE
 - PROPERTY LINE
 - EASEMENT LINE
 - STROM SEWER LINE
 - 1/2" IRS/IRF IRON ROD
 - MH. PROPOSED SANITARY MANHOLE
 - EX. MH. EXISTING SANITARY MANHOLE
 - EX. FH. EXISTING FIRE HYDRANT
 - FH. PROPOSED FIRE HYDRANT
 - ⊖ PROPOSED SITE LIGHTING 20' HT. MAX.
 - ① INDICATE PARKING NO.
 - ▭ INDICATE GRATE INLET
 - ▭ INDICATE CURB INLET
 - RF REBAR FOUND
 - CRS CAPPED REBAR SET
 - IRF. IRON ROD FOUND
 - IRS. IRON ROD SET
 - UTIL. UTILITY
 - ESMT. EASEMENT
 - EX. EXISTING
 - WTR. WATER LINE
 - EX. MH. EXISTING SANITARY SEWER MANHOLE
 - B.L. BUILDING SETBACK LINE
 - R.O.B. RIGHT OF WAY

LOT INFORMATION

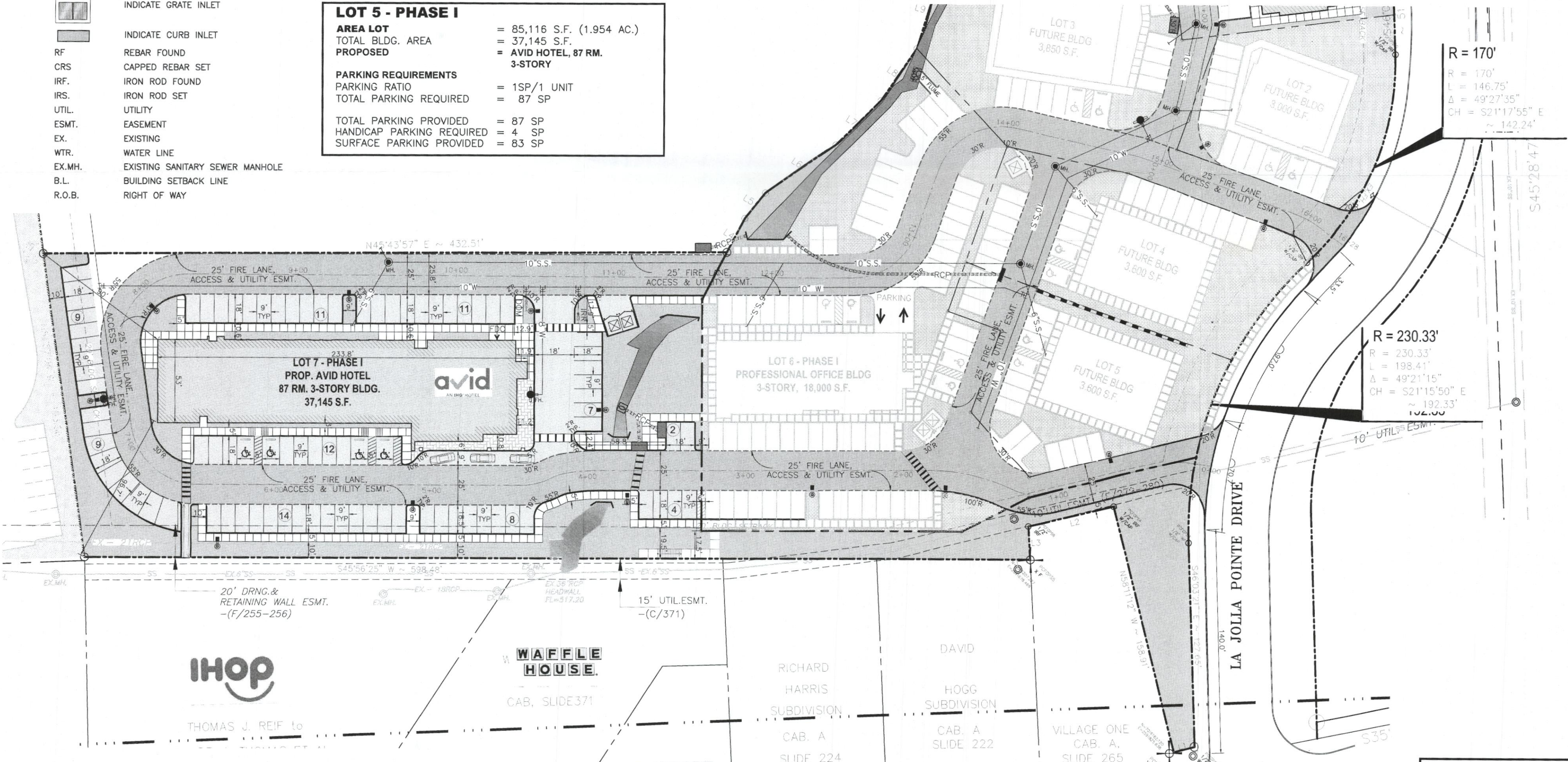
LOT 5 - PHASE I

AREA LOT = 85,116 S.F. (1.954 AC.)
 TOTAL BLDG. AREA = 37,145 S.F.
 PROPOSED = AVID HOTEL, 87 RM. 3-STORY

PARKING REQUIREMENTS

PARKING RATIO = 1SP/1 UNIT
 TOTAL PARKING REQUIRED = 87 SP

TOTAL PARKING PROVIDED = 87 SP
 HANDICAP PARKING REQUIRED = 4 SP
 SURFACE PARKING PROVIDED = 83 SP



R = 170'
 L = 146.75'
 Δ = 49°27'35"
 CH = S21°17'55" E
 ≈ 142.24'

R = 230.33'
 L = 198.41'
 Δ = 49°21'15"
 CH = S21°15'50" E
 ≈ 192.33'

REVISION

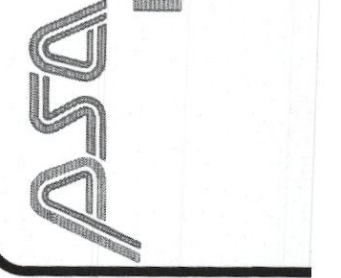
NO.	DATE	BY
O	Y-M-D	PS

REMARK:
 REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

SITE PLAN
 FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
 17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9651
 TX T.B.P.E. REGISTRATION # F-006974

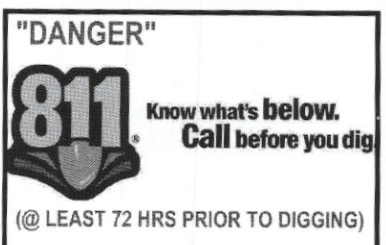


SCALE: AS SHOWN
 DESIGNED: _____
 DRAWN: _____
 CHECKED: _____

PROJECT NO. 21737
 DATE: JULY 16, 20____
 SHEET: C-0____

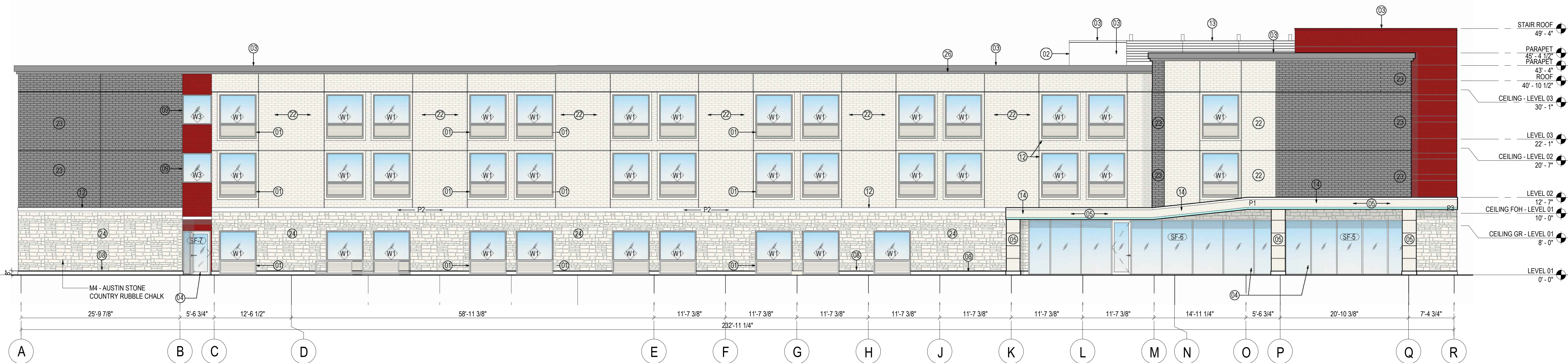
FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008



REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



1 FRONT ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-midscale market segment. The proposed building shall be @ 86 keys, and scope shall include all work related to the documentation of one new mid-scale IHG's brands @ 95 keys, fully sprinklered - NFPA 13, hotel that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	12,771 SF
LEVEL 02	12,187 SF
LEVEL 03	12,187 SF
Grand total	37,145 SF

SHEET NOTES

- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 EXTERIOR CLADDING WITH WATERPROOFING SYSTEM
- 03 METAL COPING COLOR TO MATCH BRICK WALL 'DARK GREY' OR 'RED' CLADDING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 EXTERIOR INSULATION FINISH SYSTEM
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 4" STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 FROSTED FILM ON THIS WINDOW ONLY FOR PRIVACY
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 ROOF ACCESS DOOR ON SCREENWALL
- 20 AVADEK CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 22 BRICK WALL: ACME BRICK COLOR 'WHITE' WITH WATERPROOFING SYSTEM
- 23 BRICK WALL: ACME BRICK COLOR 'DARK GREY' WITH WATERPROOFING SYSTEM
- 24 STONE WALL: AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 PARAPET STUCCO BAND COLOR TO MATCH BRICK WALL COLOR 'DARK GREY'

MATERIAL LEGEND

- 3 COAT STUCCO ; COLOR (P1) : MAUVE
- 3 COAT STUCCO ; COLOR (P2) : WHITE
- 3 COAT STUCCO ; COLOR (P3) : AQUA
- EXTERIOR ACME BRICK ; COLOR : WESTCHESTER
- EXTERIOR ACME BRICK ; COLOR : GLACIER WHITE
- AUSTIN STONE ; COLOR : COUNTRY RUBBLE CHALK
- ALUMINUM CLADDING

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET G021
- D. TPO ROOF SYSTEM, CARLISLE'S SYNTEC INCORPORATED: TPO SHEET THICKNESS 60MILS, NOMINAL, COMPLETE WITH TREATED WD BLKG, VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.



2 SIDE ELEVATION (EAST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS											
ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	8,125	100%	2,220	100%	8,088	100%	2,324	100%	20,757	100%
2	GLAZING DOORS & WINDOWS	1,429	17.59	482	21.71	1,153	14.26	275	11.83	3,339	16.09
3	NON-GLAZING DOORS&WINDOWS	6,696	82	1,738	78	6,935	86	2,049	88	17,418	84
	3.1 TOTAL WALL AREA	6,012	N/A	1,624	N/A	6,312	N/A	1,795	N/A	15,743	N/A
	3.2 HM DOOR & WINDOW	684	N/A	114	N/A	623	N/A	254	N/A	1,675	N/A
	3.1 ALUM. CLADDING	341	5.67	334	20.57	568	9.00	181	10.08	1,424	9.05
	3.1 ACME BRICK (#22 & #23)*	4,018	66.83	598	36.82	3205	50.78	832	46.35	8,653	54.96
	3.1 AUSTIN STONE*	1,195	19.88	347	21.37	2331	36.93	493	27.47	4,366	27.73
	3.1 8" CAST STONE*	68	1.13	22	1.35	97	1.54	28	1.56	215	1.37
	3-COAT STUCCO*	714	11.88	261	16.07	735	11.64	171	10	1,881	11.95
	MASONRY WALL NET AREA (*)	5,995	51.46	1,228	57.87	6,368	52.33	1,524	53.16	15,115	52.47
	NON-MASONRY WALL NET AREA	5,654	48.54	894	42.13	5,800	47.67	1,343	46.84	13,691	47.53
	TOTAL WALL AREA	11,649	100%	2,122	100%	12,168	100%	2,867	100%	28,806	100%

BUILDING ELEVATIONS (SOUTH & EAST)
FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER



DFW HOSPITALITY OF RICHARDSON

2402 PATHWAY, EL DORADO, AR 71730

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD., SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

R. T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMILL LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 13, 2018

SHEET: A4.10

REVISION		
NO.	DATE	BY
0	Y-M-D	PSA

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS (NORTH & WEST)

FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

avid
AN IHG® HOTEL
ROCKWALL, TEXAS

DFW HOSPITALITY OF RICHARDSON

2402 PATHWAY,
EL DORADO, AR 71730

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

R. T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMIER LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

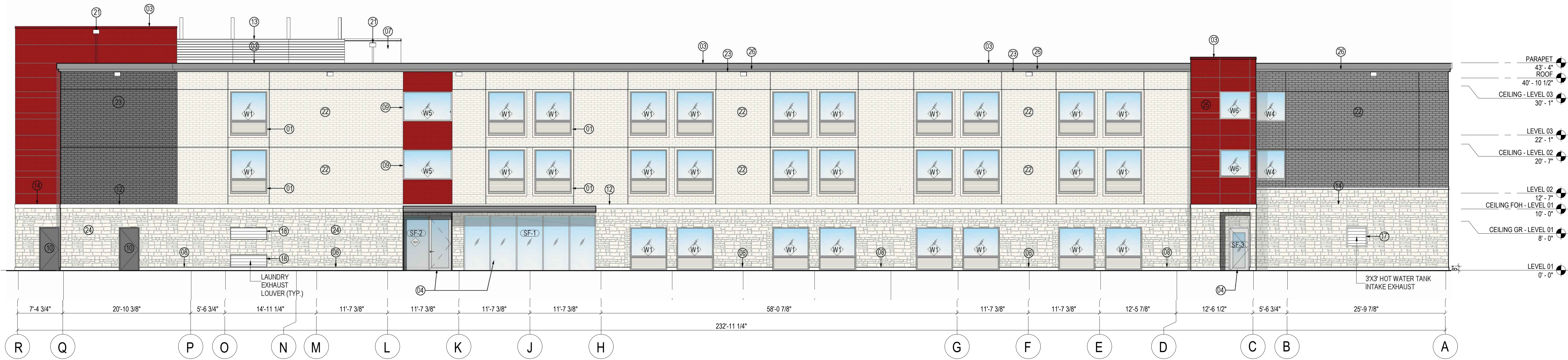
DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 13, 2018

SHEET: **A4.20**



1 FRONT ELEVATION (NORTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be @ 86 keys, and scope shall include all work related to the documentation of one new mid-scale IHG's brands @ 95 keys, fully sprinklered - NFPA 13, hotel that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	12,771 SF
LEVEL 02	12,187 SF
LEVEL 03	12,187 SF
Grand total	37,145 SF

SHEET NOTES

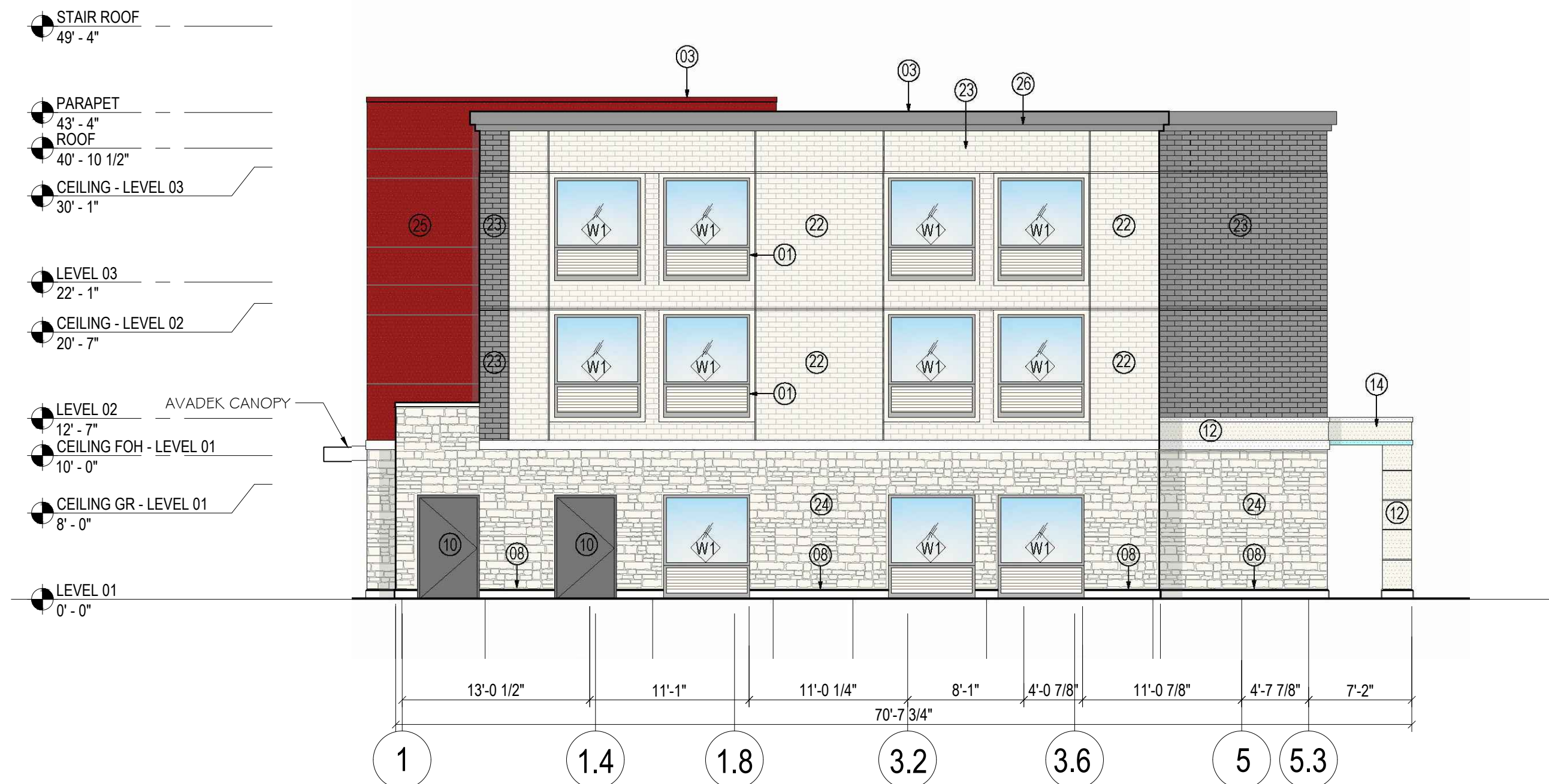
- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 EXTERIOR CLADDING WITH WATERPROOFING SYSTEM
- 03 METAL COPING COLOR TO MATCH BRICK WALL 'DARK GREY' OR 'RED' CLADDING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 EXTERIOR INSULATION FINISH SYSTEM
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 4" STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 FROSTED FILM ON THIS WINDOW ONLY FOR PRIVACY
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 ROOF ACCESS DOOR ON SCREENWALL
- 20 AVADEK CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 22 BRICK WALL: ACME BRICK COLOR 'WHITE' WITH WATERPROOFING SYSTEM
- 23 BRICK WALL: ACME BRICK COLOR 'DARK GREY' WITH WATERPROOFING SYSTEM
- 24 STONE WALL: AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 PARAPET STUCCO BAND COLOR TO MATCH BRICK WALL COLOR 'DARK GREY'

MATERIAL LEGEND

- 3 COAT STUCCO ; COLOR (P1) : MAUVE
- 3 COAT STUCCO ; COLOR (P2) : WHITE
- 3 COAT STUCCO ; COLOR (P3) : AQUA
- EXTERIOR ACME BRICK ; COLOR : WESTCHESTER
- EXTERIOR ACME BRICK ; COLOR : GLACIER WHITE
- AUSTIN STONE ; COLOR : COUNTRY RUBBLE CHALK
- ALUMINUM CLADDING

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET G0.21
- D. TPO ROOF SYSTEM, CARLISLE'S SYNTAC INCORPORATED; TPO SHEET THICKNESS 80MILS, NOMINAL, COMPLETE WITH TREATED WD BLKG, VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.



2 SIDE ELEVATION (WEST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	8,125	100%	2,220	100%	8,088	100%	2,324	100%	20,757	100%
2	GLAZING DOORS & WINDOWS	1,429	17.59	482	21.71	1,153	14.26	275	11.83	3,339	16.09
3	NON-GLAZING DOORS&WINDOWS	6,696	82	1,738	78	6,935	86	2,049	88	17,418	84
	3.1 TOTAL WALL AREA	6,012	N/A	1,624	N/A	6,312	N/A	1,795	N/A	15,743	N/A
	3.2 HM DOOR & WINDOW	684	N/A	114	N/A	623	N/A	254	N/A	1,675	N/A
	ALUM. CLADDING	341	5.67	334	20.57	568	9.00	181	10.08	1,424	9.05
	ACME BRICK (#22 & #23)*	4,018	66.83	598	36.82	3205	50.78	832	46.35	8,653	54.96
	AUSTIN STONE*	1,195	19.88	347	21.37	2331	36.93	493	27.47	4,366	27.73
	8" CAST STONE*	68	1.13	22	1.35	97	1.54	28	1.56	215	1.37
	3-COAT STUCCO*	714	11.88	261	16.07	735	11.64	171	10	1,881	11.95
	MASONRY WALL NET AREA (*)	5,995	51.46	1,228	57.87	6,368	52.33	1,524	53.16	15,115	52.47
	NON-MASONRY WALL NET AREA	5,654	48.54	894	42.13	5,800	47.67	1,343	46.84	13,691	47.53
	TOTAL WALL AREA	11,649	100%	2,122	100%	12,168	100%	2,867	100%	28,806	100%
			100		100		100		100		100

AVID HOTEL



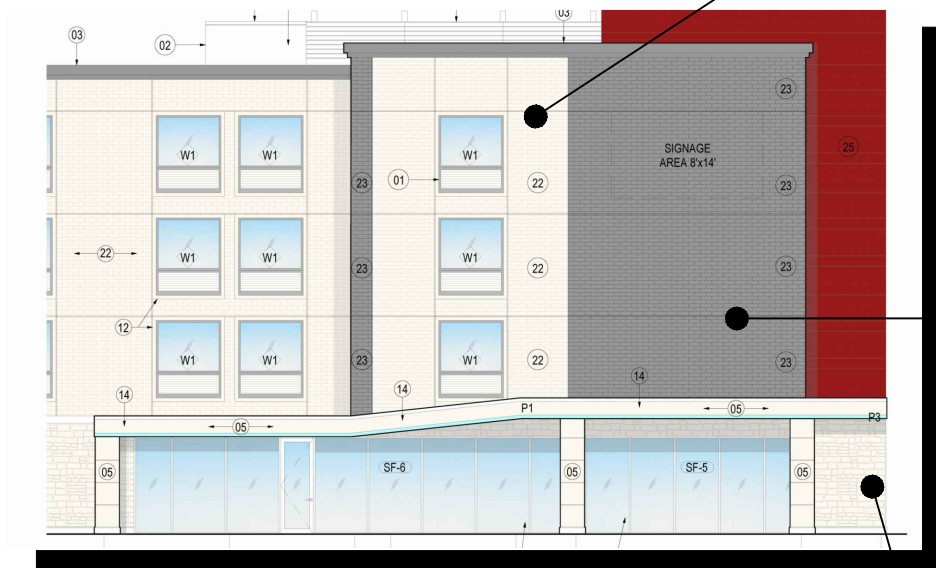
FOR VORA PROPERTY AT ROCKWALL, TEXAS



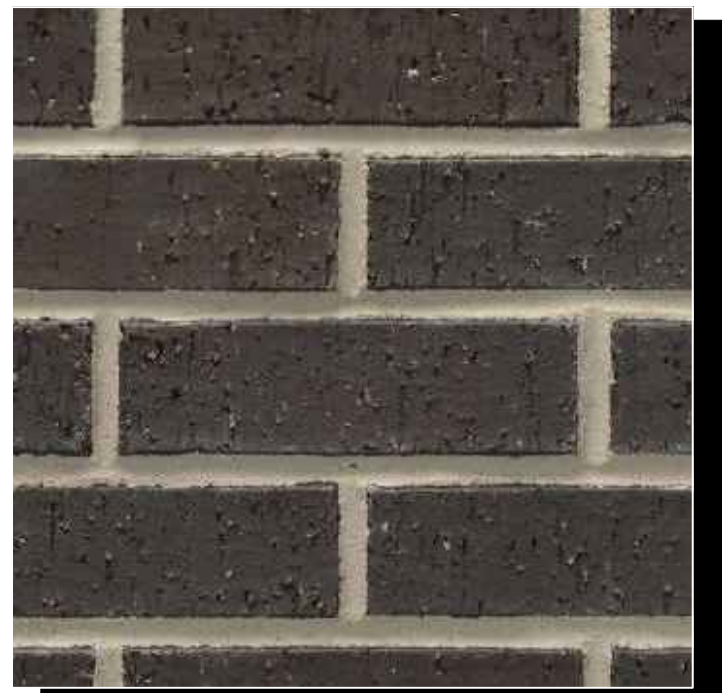
03. COPING
SHERWIN - WILLIAMS COLOR: SW 7048 - URBANE BRONZE



22. LG - LIGHT GREY WALL
ACME BRICK: MODEL 'GLACIER WHITE - SMOOTH TEXTURE'
PERLA EAST GATE PLANT - PEO050,105822



BUILDING ELEVATION @ FRONT ENTRY



23. DK - DARK GREY WALL
ACME BRICK: MODEL 'WESTCHESTER - VELOUR TEXTURE'
DENTON PLANT - DTP158,764719



P3 CANOPY CLADDING - AQUA
SHERWIN - WILLIAMS COLOR: SW 7048 - URBANE BRONZE
(OR IHG TO PROVIDE AND APPROVE COLOR)



24. DK - DARK GREY WALL
CORONADO STONE: MODEL 'COUNTRY RUBBLE'
COLOR 'CHALK'



25. METAL CLADDING - RED
SHERWIN - WILLIAMS COLOR: SW 6594 - POINSETTIA
(OR IHG TO PROVIDE AND APPROVE COLOR)