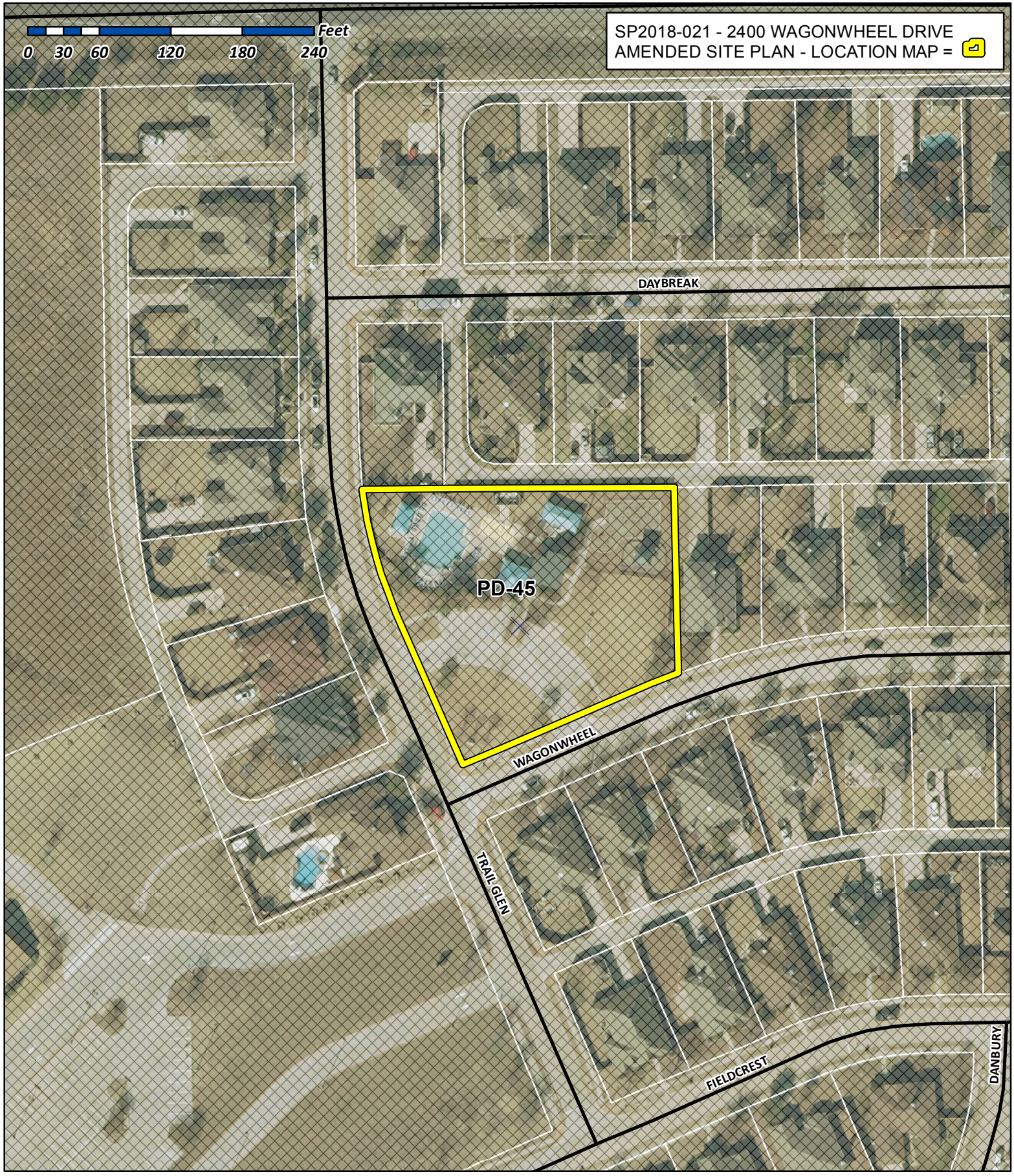


SP2018-021 - 2400 WAGONWHEEL DRIVE  
AMENDED SITE PLAN - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	10-17-17
ISSUED FOR PERMIT	12-07-17

DRAWING SCHEDULE				
SHEET	NAME	SHEET ISSUE DATE	REVISION NAME	REVISION NUMBER
A0.0	COVER	12/07/17		
A0.1	GENERAL INFORMATION	04/26/18	REV. 01	1
A0.2	GENERAL INFORMATION	12/07/17		
A0.3	SURVEY	12/07/17		
A0.4	SITE PLAN	04/26/18	REV. 01	1
A0.5	RESTROOM PLANS, ELEVS., & DETAILS	12/07/17		
A1.1	FLOOR PLAN	04/26/18	REV. 01	1
A1.2	ROOF PLAN	12/07/17		
A2.1	BUILDING ELEVATIONS	04/26/18	REV. 01	1
A3.1	BUILDING SECTIONS	04/26/18	REV. 01	1
A3.2	WALL SECTIONS	04/26/18	REV. 01	1
A3.3	WALL SECTIONS	04/26/18	REV. 01	1
A3.4	WALL SECTIONS	04/26/18	REV. 01	1
A4.1	WINDOW & DOOR SCHEDULE	04/26/18	REV. 01	1
E0.1	ELECTRICAL PLAN	04/26/18	REV. 01	1
S1	GENERAL ENGINEERING NOTES, DETAILS, & SCHEDULES	11/20/17		
S2	FOUNDATION PLAN	11/20/17		
S3	ROOF FRAMING PLAN	11/20/17		
S4	STRUCTURAL SECTIONS & DETAILS	11/20/17		

**SCOPE OF PROJECT**

THIS SET OF DOCUMENTS DESCRIBES THE CONSTRUCTION OF A NEIGHBORHOOD CLUBHOUSE AND SEPARATE, UNCONDITIONED POOL BATHROOMS.

**LEGAL DESCRIPTION**

LOT 22, BLOCK B OF LOFLAND FARMS, PHASE I, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, PAGE 285 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

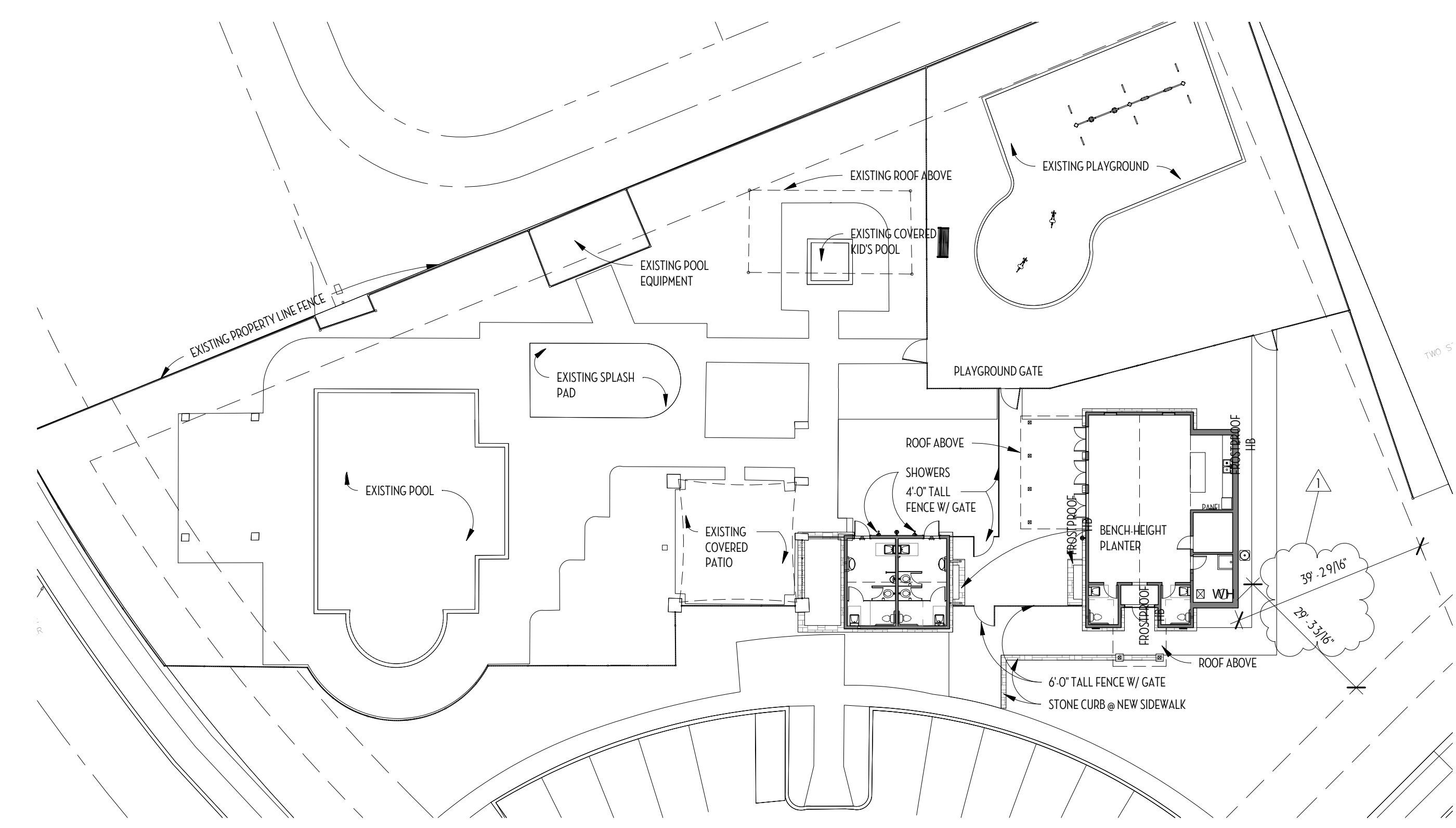
**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE DESIGN TEAM OF ANY VARIATION, PRIOR TO THE PURCHASING OF MATERIALS, STARTING FABRICATION OR BEGINNING CONSTRUCTION.
- "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- EXISTING FIELD CONDITIONS: THE CONTRACT DOCUMENTS INDICATE THE DESIGN INTENT USING AVAILABLE INFORMATION THE CONTRACTOR IS TO ADVISE THE DESIGN TEAM IF CODE OR SAFETY CONFLICTS EXIST. THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE (PRIOR TO COMMENCEMENT) TO BECOME FAMILIAR WITH CONDITIONS AND INSTALLATION DETAILS THAT WILL AFFECT HIS WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES
- THE CONTRACTOR IS TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL AND PLUMBING INSPECTIONS, ETC.
- ALL DIMENSIONS ARE GIVEN TO ROUGH FRAMING AND MASONRY UNLESS NOTED.
- EXISTING VEGETATION SHALL BE MAINTAINED DURING CONSTRUCTION. NO CLEARING SHOULD OCCUR MORE THAN 4' BEYOND THE PLANNED BUILDING FOOTPRINT.
- KEYING AT ALL NEW AND EXISTING INTERIOR DOORS TO BE COORDINATED BY CONTRACTOR WITH OWNER.
- THE GENERAL CONTRACTOR SHALL AT ALL TIMES MAINTAIN ON THE JOB SITE - A COMPLETE SET OF CONSTRUCTION DOCUMENTS, ADDENDA, SUPPLEMENTAL INSTRUCTIONS, SUPPLEMENTAL DRAWINGS, MEETING NOTES, ETC.
- SLOPE GRADE AWAY FROM THE BUILDING PERIMETER. MAINTAIN POSITIVE DRAINAGE FOR 6' OR UP TO THE P.L., WHICHEVER IS GREATER.
- PROTECT TREE ROOTS WITHIN THE TREE CANOPY FROM DAMAGE WHEN GRADING.
- SLOPE DRIVEWAY AWAY FROM STRUCTURES.
- ANY FILL OR GRADING MATERIAL IMPORTED INTO THE SITE SHALL COMPLY WITH "WHITE SAND PROTECTION ZONE" REQUIREMENTS

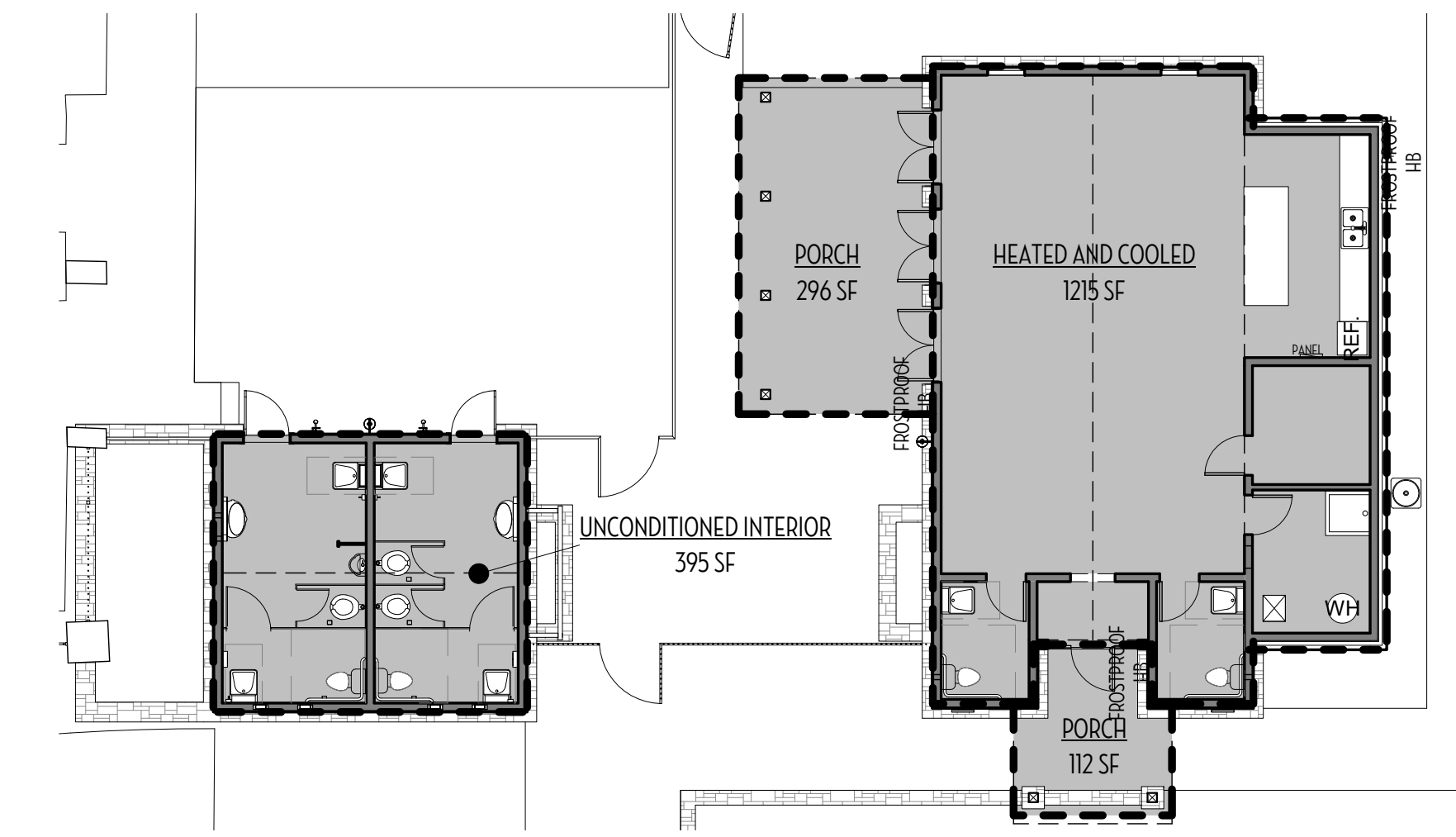
**ABBREVIATIONS**

A/C	AIR CONDITIONING	HORIZ	HORIZONTAL
AF	ABOVE FINISHED FLOOR	ISA	INT'L SYMBOL OF ACCESSIBILITY
ACT	ACOUSTICAL CEILING TILE	LAV	LAVATORY
ALUM	ALUMINUM	MAX	MAXIMUM
B/W	BETWEEN	MTL	METAL
CLG	CEILING	MIN	MINIMUM
CMT	CENTER LINE	MTD	MOUNTED
CT	CERAMIC MOSAIC TILE	NO	NUMBER
CL	CERAMIC TILE	NOM	NOMINAL
CONC	CONCRETE	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	OC	ON CENTER
CJ	CONTROL JOINT	OH	OVERHEAD
DR	DOOR	PL	PLATE
ELEV	ELEVATION	PLFIN	PREFINISHED
EW	EACH WAY	PT	PRESSURE TREATED
EWC	ELECTRIC WATER COOLER	RL	RAIN LEADER
EQ	EQUAL	REIN	REINFORCED
EXIST	EXISTING	SS	STAINLESS STEEL
EXT	EXTERIOR	THK	THICK
FIN	FINISH	THR	THRESHOLD
FF	FINISHED FLOOR	T&B	TOP AND BOTTOM
FACP	FIRE ALARM CONTROL PANEL	TYP	TYPICAL
FEX	FIRE EXTINGUISHER	VERT	VERTICAL
FEC	FIRE EXTINGUISHER CABINET	WC	WATER CLOSET
FD	FLOOR DRAIN	WD	WOOD
FRP	FIRE RETARDANT PAINT	WWF	WELDED WIRE FABRIC
GALV	GALVANIZED	W/	WITH
GC	GENERAL CONTRACTOR	XTR	EXISTING TO REMAIN
GWB	GYPSPUM WALLBOARD		
HC	HANDICAPPED		
HM	HOLLOW METAL		

THESE PLANS AND THE IDEAS AND CONCEPTS CONTAINED HEREIN INCLUDING DIGITAL INFORMATION ARE THE PROPERTY OF MCWHORTER VALLEE REESE DESIGN INC. AND ARE NOT TO BE REPRODUCED, COPIED, MODIFIED, OR CHANGED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT OF MCWHORTER VALLEE REESE DESIGN INC.

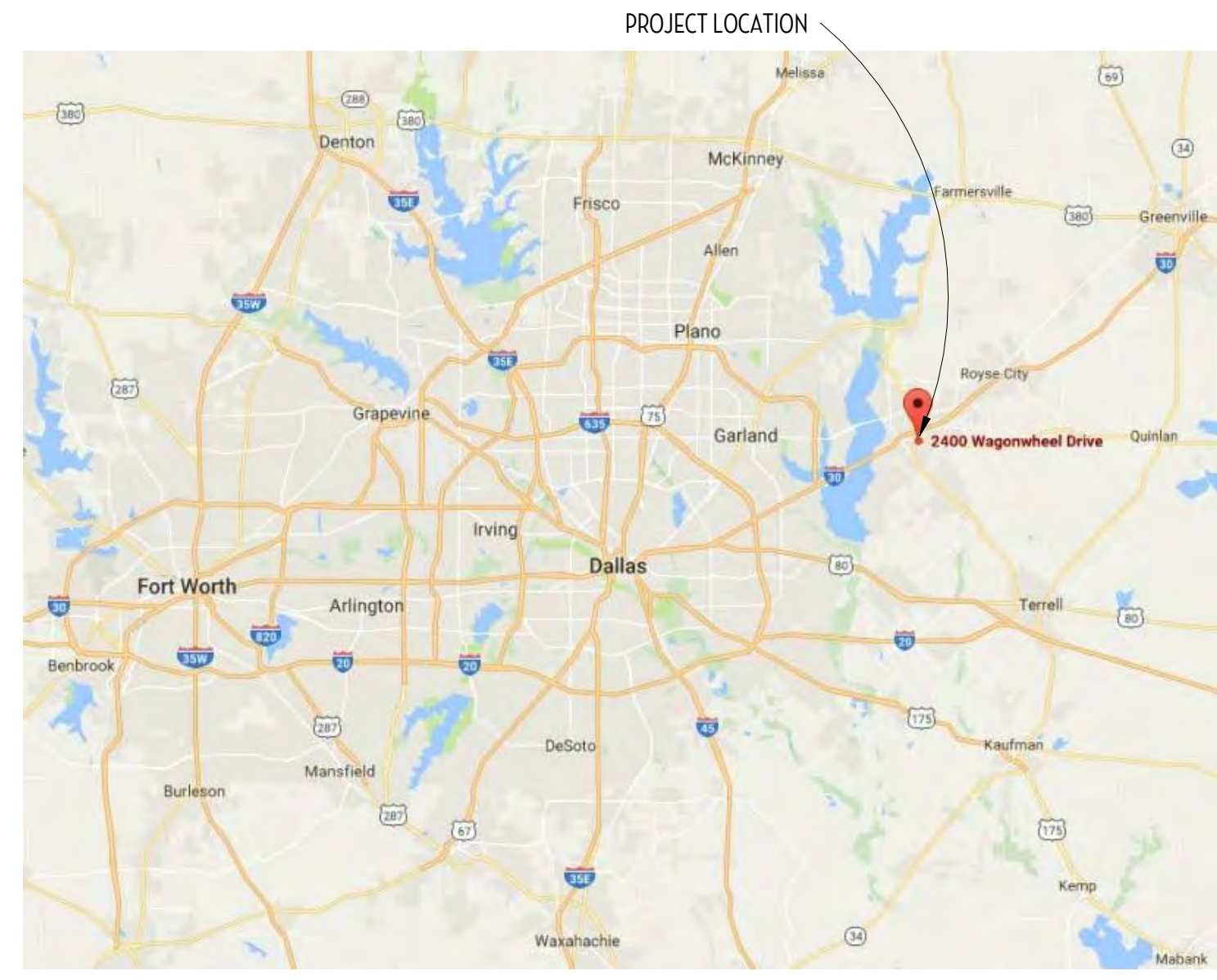
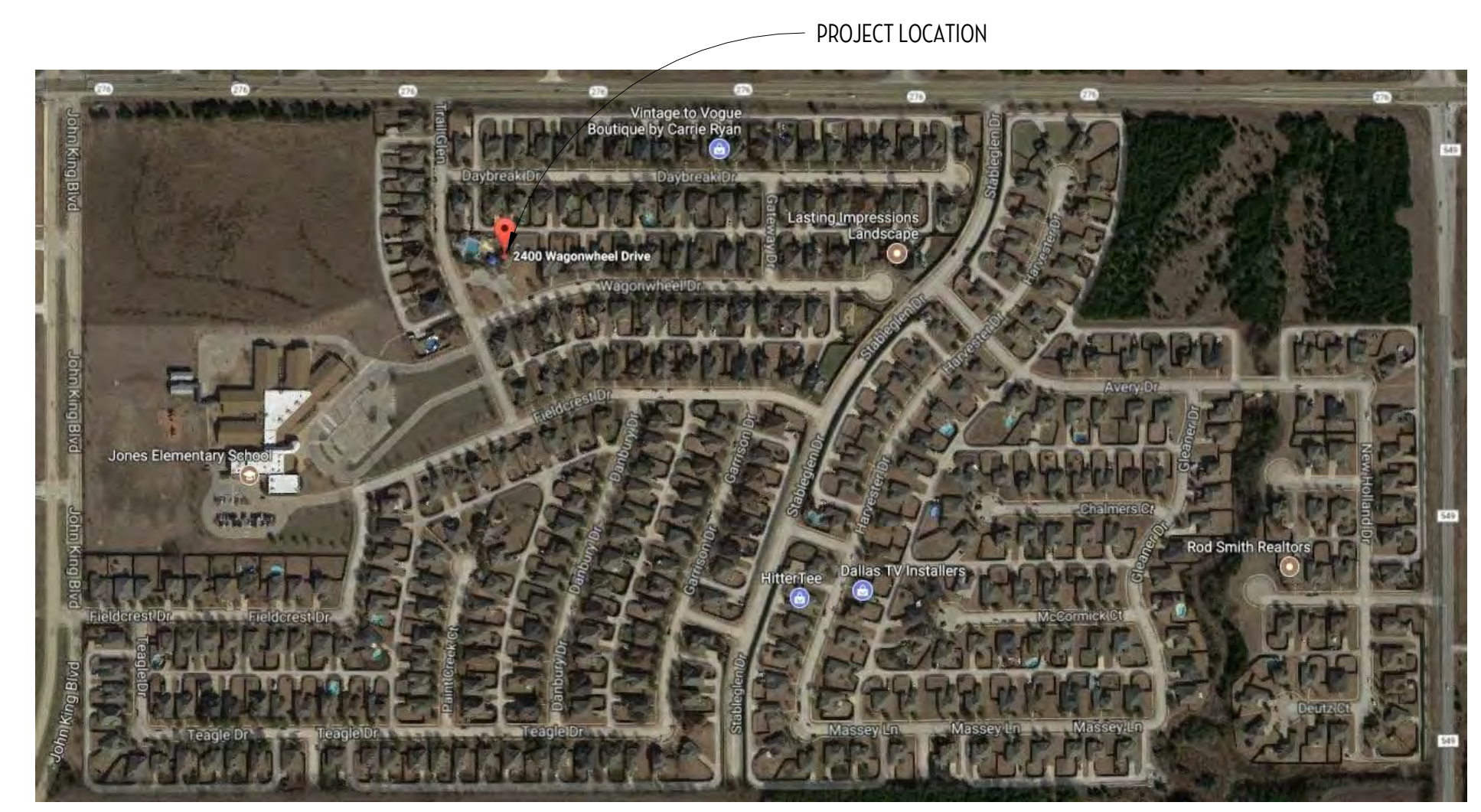


1 SITE DIAGRAM  
1" = 20'-0"



2 AREA PLAN  
3/32" = 1'-0"

AREA PLANS		
NAME	LEVEL	AREA
HEATED AND COOLED	FIRST FLOOR	1215 SF
		1215 SF
PORCH	FIRST FLOOR	408 SF
		408 SF
UNCONDITIONED INTERIOR	FIRST FLOOR	395 SF
		395 SF
TOTAL AREA		2018 SF



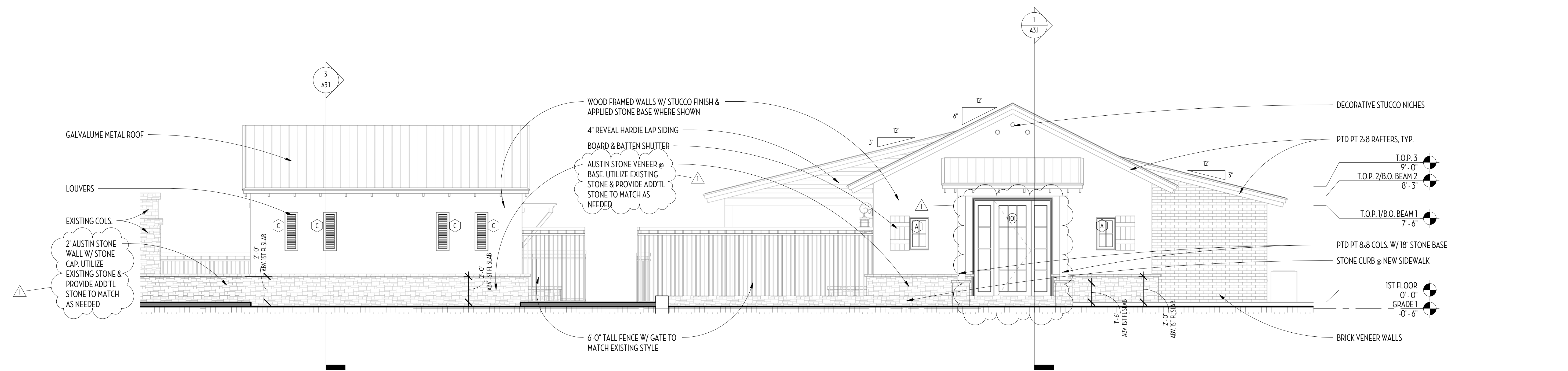


DATE	DISTRIBUTION
06-29-17	ISSUED FOR REVIEW
09-29-17	ISSUED FOR REVIEW
10-17-17	ISSUED FOR REVIEW
12-07-17	ISSUED FOR PERMIT

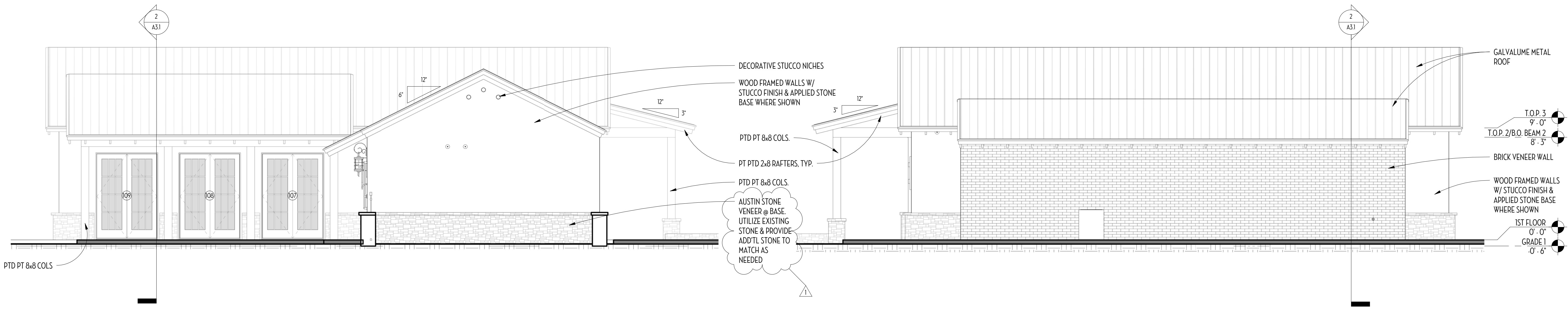
PROJECT: **LOFLAND FARMS CLUBHOUSE**  
2400 Wagonwheel Drive  
Rockwall, TX

SHEET TITLE: **BUILDING ELEVATIONS**  
SHEET SCALE: 1/4" = 1'-0"

JOB No.: 1718  
DATE: 04/26/18  
DRAWN BY: NS  
CHECKED BY: AJV

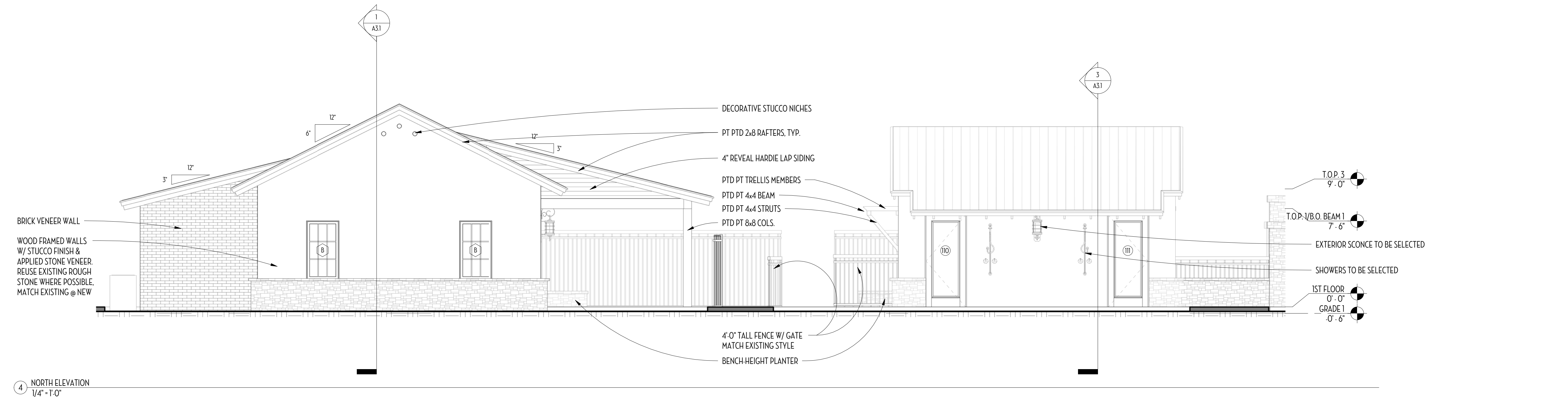


1 SOUTH ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"

3 EAST ELEVATION  
1/4" = 1'-0"

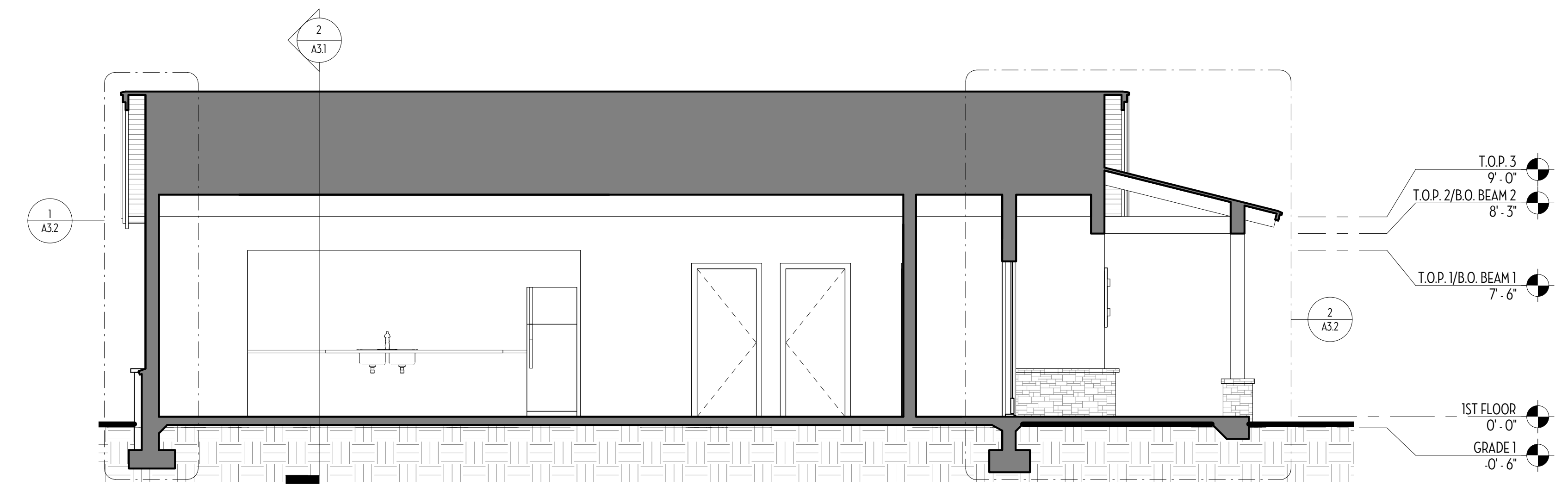


4 NORTH ELEVATION  
1/4" = 1'-0"

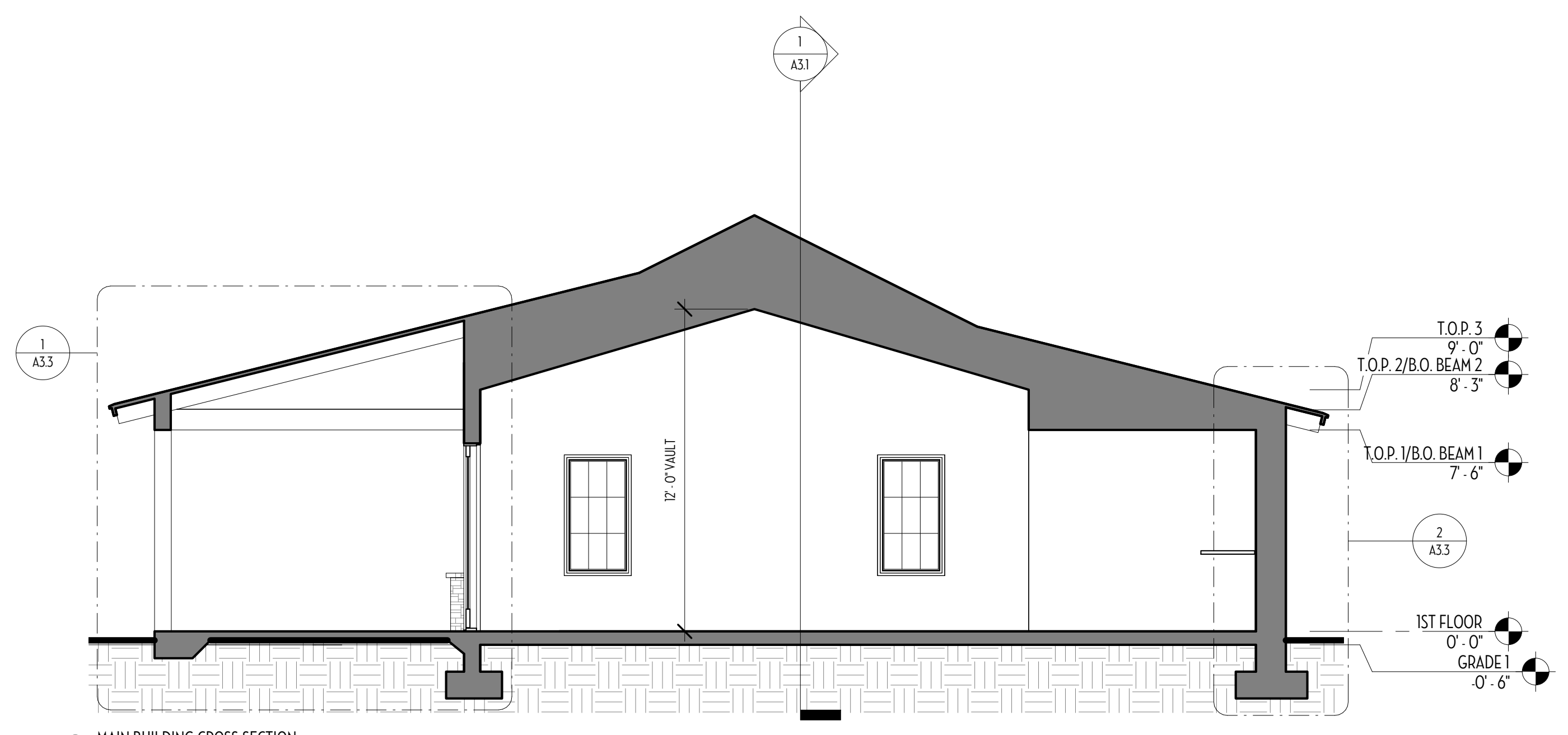
DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	10-17-17
ISSUED FOR PERMIT	12-07-17

PROJECT: **LOFLAND FARMS CLUBHOUSE**  
2400 Wagonwheel Drive  
Rockwall, TX

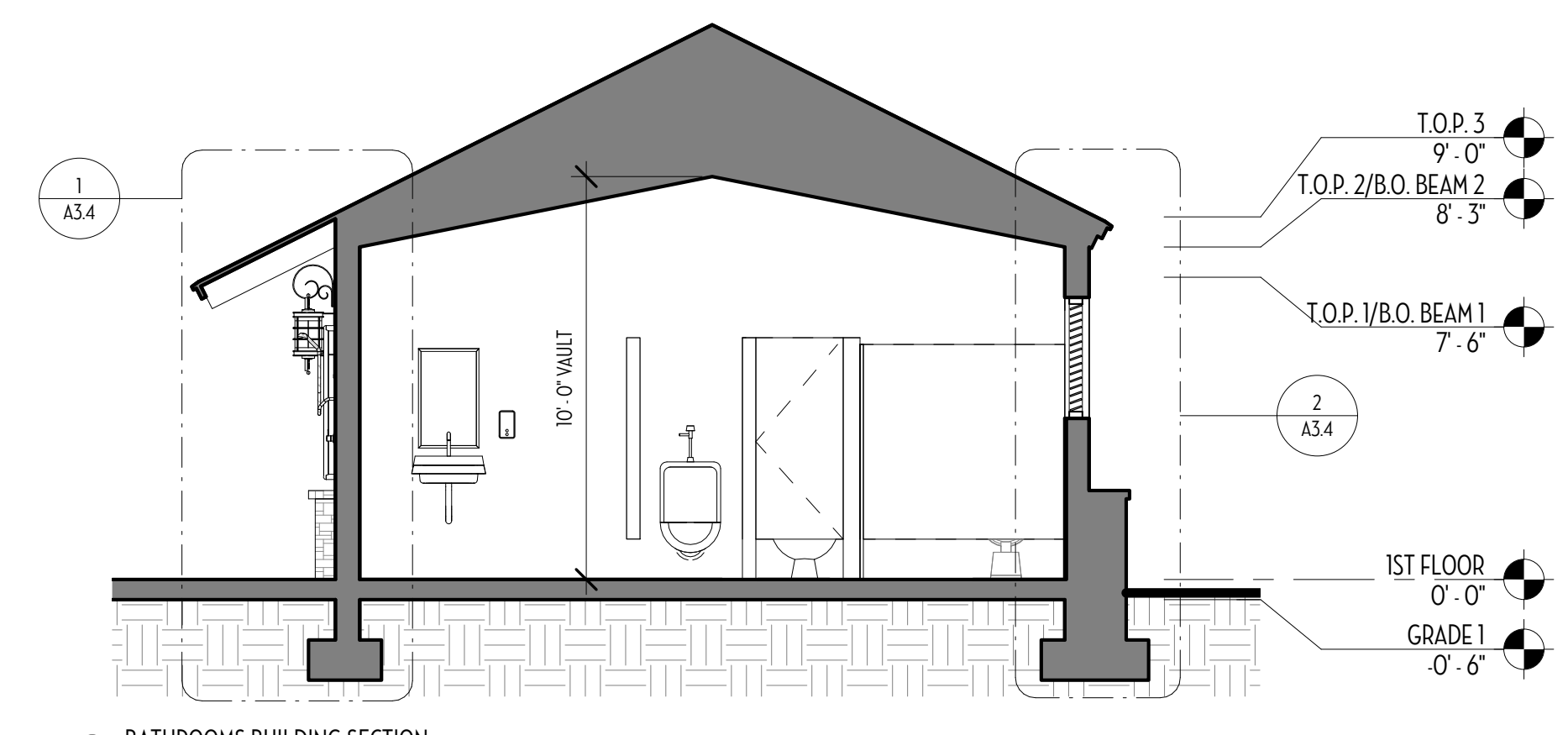
SHEET TITLE: **BUILDING SECTIONS**  
JOB No.: 1718  
DATE: 04/26/18  
DRAWN BY: NS  
CHECKED BY: AJV



1 MAIN BUILDING LONGITUDINAL SECTION  
1/4" = 1'-0"



2 MAIN BUILDING CROSS-SECTION  
1/4" = 1'-0"



3 BATHROOMS BUILDING SECTION  
1/4" = 1'-0"

**GENERAL SECTION NOTES:**

- AT STUCCO OVER WOOD FRAME CONDITIONS:  
- (3) COAT STUCCO  
- SELF-FURRING LATH  
- BENJAMIN OBDYKE SLICKER MAX  
- BENJAMIN OBDYKE FLATWRAP UV  
- INSTALL ALL COMPONENTS PER MFR. RECOMMENDATIONS FOR SYSTEM WARRANTY
- DEFER TO STRUCTURAL FOR ALL STRUCTURAL CONNECTIONS, SIZES, AND LOCATIONS.
- OPEN CELL FOAM INSULATION, R-20 MIN, TYP IN ROOFS.
- BALLOON FRAME GABLE END WALLS, TYP. 2x6 STUDS @ 16" O.C. W/ 1/2" PLYWOOD SHEATHING & 2x6 BLOCKING @ EA-SHEATHING JOINT.
- AUSTIN STONE VENEER BASE & SITE WALLS. UTILIZE EXISTING STONE & PROVIDE ADD'L STONE TO MATCH AS NEEDED

SHEET SCALE: 1/4" = 1'-0"



CD  
A

4639 Gulf Starr Drive  
Destin, Florida 32541  
Tel: 850.837.4654  
Fax: 850.654.2000

Anthony J. Vallee,  
Architect  
TX. 26308

Texas #BR2691

a complete engineering &  
construction management  
company  
TELEPHONE: (850) 837-7454 (ENGR.)  
TELEPHONE: (850) 837-7456 (NSP.)  
FAX: (850) 654-2000  
Texas Firm Number: #10948

FCM  
4639 GULF STARR DRIVE  
DESTIN, FLORIDA 32541  
E-MAIL: [edmund@fcmanet.com](mailto:edmund@fcmanet.com)  
John H. Edmund, PE  
Texas #110897

DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	10-17-17
ISSUED FOR PERMIT	12-07-17



# Lofland Farms Clubhouse

2400 Wagonwheel Drive  
Rockwall, Texas



PROJECT: **LOFLAND FARMS CLUBHOUSE**  
2400 Wagonwheel Drive  
Rockwall, TX

SHEET TITLE:  
**COVER**

JOB No.: 1718  
DATE: 12/07/17  
DRAWN BY: NS  
CHECKED BY: AJV

SHEET SCALE:  
**A0.0**