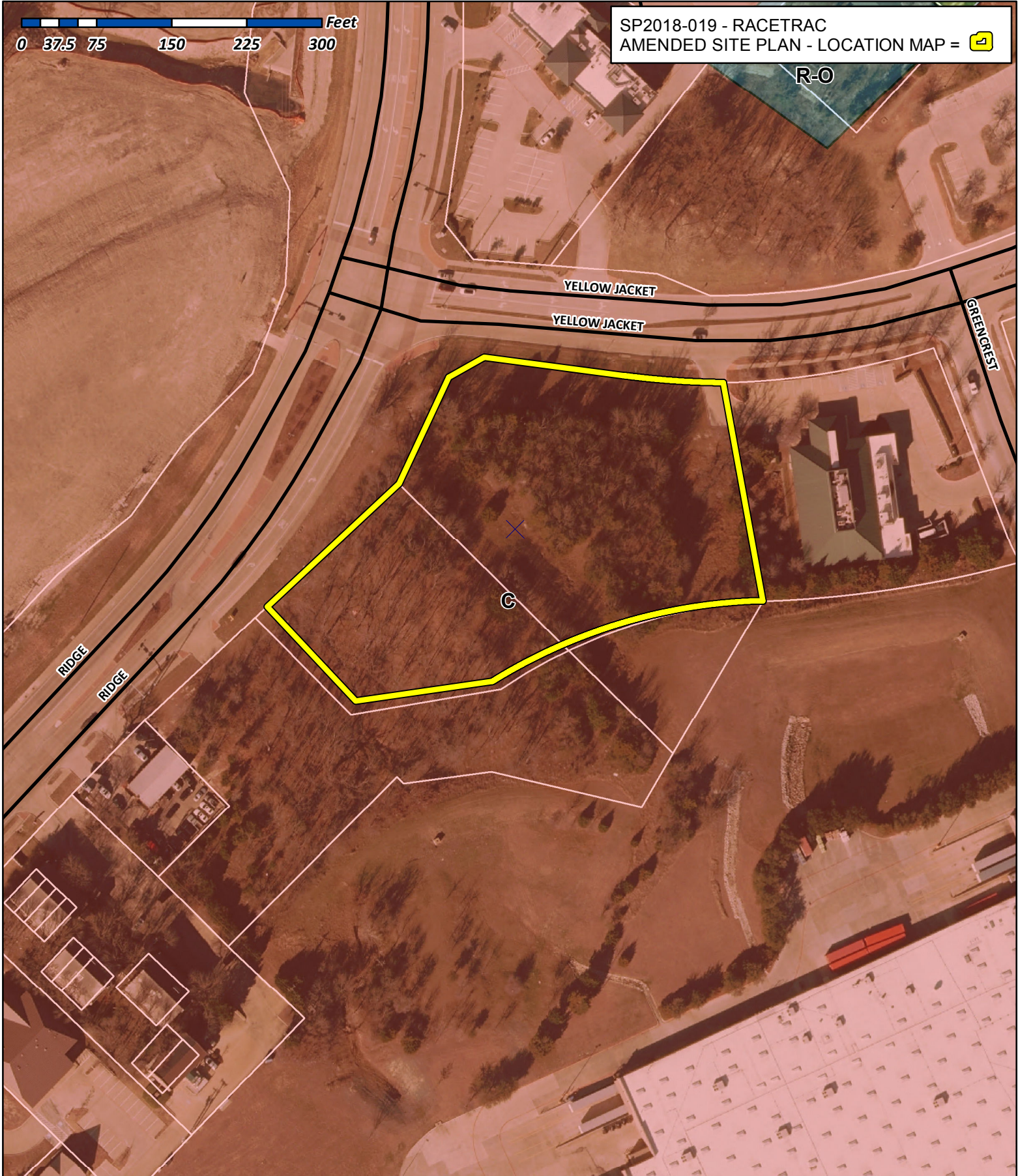




SP2018-019 - RACETRAC  
AMENDED SITE PLAN - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





2728 N. Harwood Street  
Suite 500  
Dallas, Texas 75201

214.745.5400 OFFICE  
214.745.5390 FAX  
winstead.com

July 3, 2018

Brad R. Williams  
direct 214.745.5264  
email [bwilliams@winstead.com](mailto:bwilliams@winstead.com)

**VIA FEDEX**

David Gonzales, AICP  
Senior Planner  
Rockwall City Hall  
385 S. Goliad Street  
Rockwall, Texas 75087

Re: RaceTrac Petroleum, Inc., Ridge Rd. & Yellow Jacket Ln. (the "Project")

David,

Please see enclosed for a revised site plan application for the Project, including 4 copies of the following full-size plans:

- Site Plan
- Landscape Plan
- Photometric Plan
- Elevations (Color)

Also enclosed is an 11 x 17 rendering illustrating the revised elevations, along with a completed Development Application, check made payable to the City of Rockwall in the amount of \$100.00 to cover the application fee, elevation material calculations, and a CD containing digital copies of the submission materials.

Please let me know if you have any further questions. As always, we look forward to working with you toward completion of the Project.

Sincerely,



Brad Williams

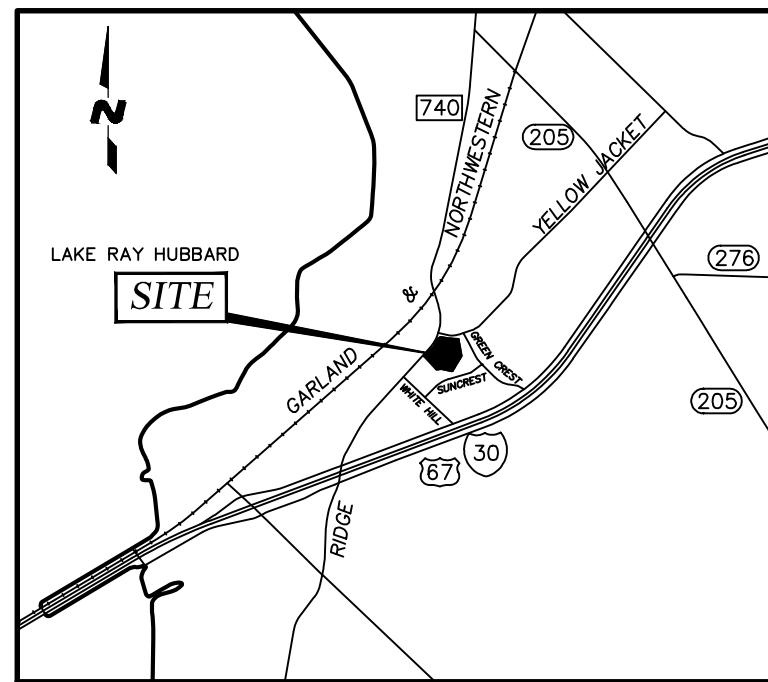
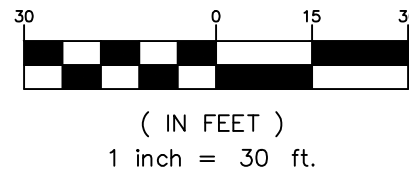
Encls.





**TOCS**  
1-800-245-4545  
bticket@1-call.com

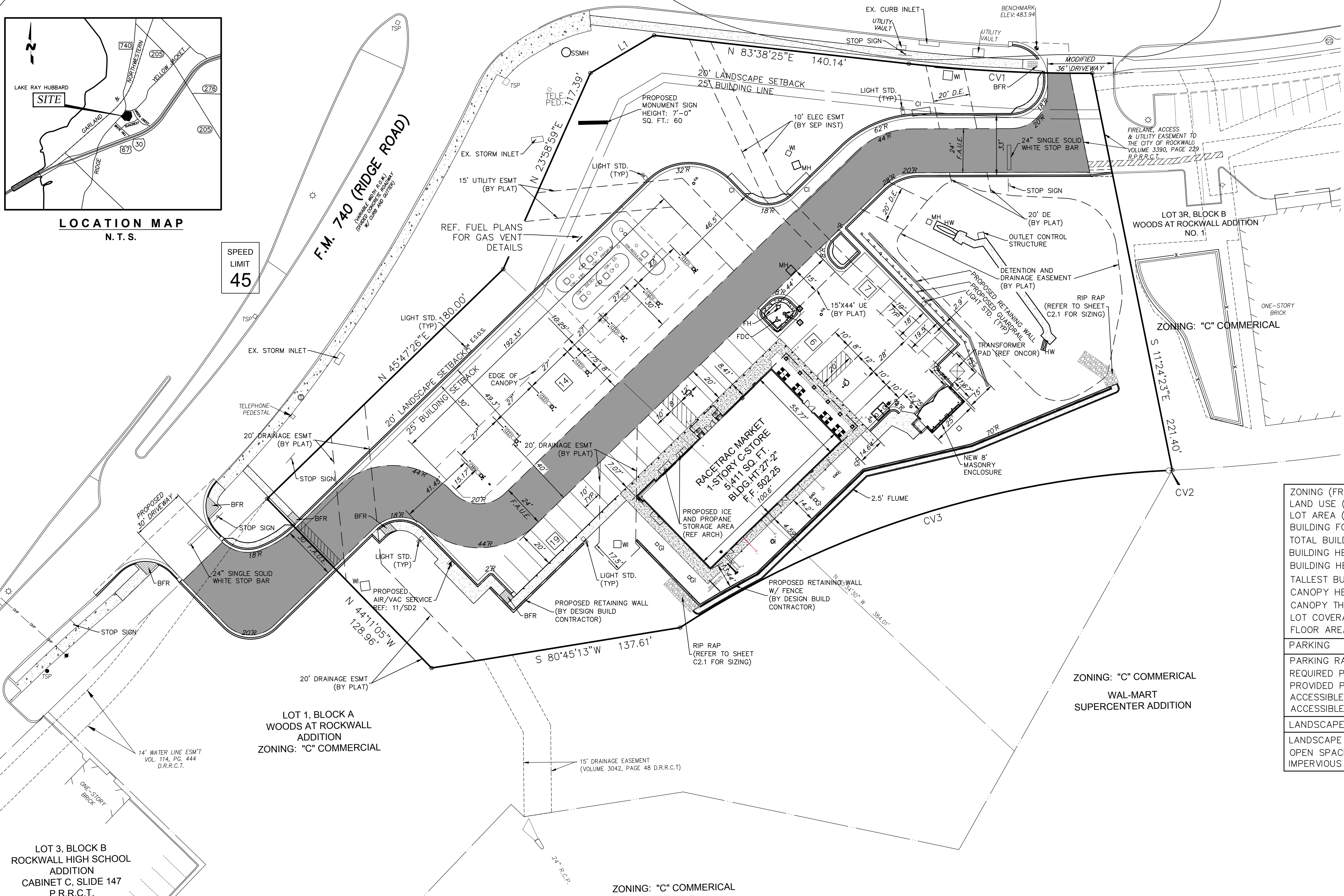
GRAPHIC SCALE



**LOCATION MAP**  
N. T. S.

SPEED LIMIT  
**45**

SPEED LIMIT  
**35**



**SITE NOTES**

1. ALL SIGNS WILL REQUIRE SEPARATE SIGN PERMIT. NO SIGN ALLOWED IN AN EASEMENT OR RIGHT-OF-WAYS.
2. BUILDING TO BE CONSTRUCTED WITH SPRINKLER SYSTEM.
3. ALL PROPOSED OFF-SITE UTILITIES WILL BE CONSTRUCTED AS NEEDED PER SCHEDULE OF DEVELOPMENT OF ADJACENT PROPERTY.
4. NO OVERHANG OF CANOPY IN ANY EASEMENTS OR FIRELANE.

EASEMENT LEGEND	
W.E.	WATER EASEMENT
D.E.	DRAINAGE EASEMENT
D.D.E.	DRAINAGE AND DETENTION EASEMENT
F.A.U.E	FIRE LANE, PUBLIC UTILITY & ACCESS EASEMENT

BOUNDARY LINE DATA TABLE	
L1	N 60°26'48" W 40.41'

BOUNDARY LINE CURVE DATA TABLE					
CV	DELTA	RADIUS	LENGTH	CHORD	BEARING
C1	06°48'23"	845.00'	100.38'	100.32'	S87°02'38" E
C2	00°07'47"	772.78'	1.75'	1.75'	S87°16'29" W
C3	30°19'13"	536.81'	284.07'	280.77'	S72°10'40" W

**SITE DATA SUMMARY TABLE**

ZONING (FROM ZONING MAP)	"C" COMMERCIAL
LAND USE (FROM ZONING ORDINANCE)	CONVENIENCE STORE W/GAS PUMPS
LOT AREA (SQUARE FEET & ACRES)	107,210 S.F. or 2.46 ACRES
BUILDING FOOTPRINT AREA (SQUARE FEET)	5,411 S.F.
TOTAL BUILDING AREA (SQUARE FEET)	5,411 S.F.
BUILDING HEIGHT (# STORIES)	1 STORY
BUILDING HEIGHT (FEET-DISTANCE TO TALLEST BUILDING ELEMENT)	27'-2" (TOP OF PITCHED ROOF)
CANOPY HEIGHT	22 FEET
CANOPY THICKNESS	4 FEET
LOT COVERAGE (PERCENT)	5.05% [5,411 / 107,210]
FLOOR AREA RATIO (RATIO)	0.05:1 [5,411 / 107,210]
PARKING	
PARKING RATIO (FROM ZONING ORDINANCE)	RETAIL USE (1/250 S.F.)
REQUIRED PARKING (# SPACES)	22 SPACES [5,488 / 250]
PROVIDED PARKING (# SPACES)	46 TOTAL (14 PUMP PARKING SPACES)
ACCESSIBLE PARKING REQUIRED (# SPACES)	1 SPACES
ACCESSIBLE PARKING PROVIDED (# SPACES)	2 SPACES
LANDSCAPE AREA	
LANDSCAPE AREA PROVIDED	51,948 S.F. (48%)
OPEN SPACE PROVIDED	51,948 S.F. (48%)
IMPERVIOUS AREA	55,262 S.F. (52%)

**WATER METER SCHEDULE**

ID	TYPE	SIZE	REMARK
1	DOMESTIC	1.5"	PROPOSED
2	IRRIGATION	1"	PROPOSED

**DEVELOPER**  
RACE TRAC  
URBAN STRUCTURE  
3225 CUMBERLAND BLVD.,  
SUITE 100  
ATLANTA, GA 30339  
CONTACT: DREW CUNNINGHAM  
TEL: (770) 431-7600  
EXT.1133

**APPLICANT/ENGINEER**  
URBAN STRUCTURE  
TBPE FIRM # F-13165  
8140 WALNUT HILL LANE, STE 905  
DALLAS, TEXAS 75231  
CONTACT: DOUGLAS BARRILLEAUX, P.E.  
TEL: (214) 295-5775

**SURVEYOR**  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: GARY E. JOHNSON, R.P.L.S.  
TEL: (214) 340-9700

**SITE PLAN**  
**WOODS AT ROCKWALL ADDITION**  
**LOT 1 & 2, BLOCK A**  
**IN THE CITY OF ROCKWALL,**  
**ROCKWALL COUNTY, TEXAS**

TEL: 214-295-5775

**URBAN STRUCTURE**  
8140 Walnut Hill Lane, Suite 905  
Dallas, Texas 75231  
Firm Registration #F53355

**PRELIMINARY**  
NOT FOR CONSTRUCTION,  
BIDDING, OR PERMIT  
PURPOSE.  
PREPARED UNDER THE  
SUPERVISION OF  
DOUGLAS E. BARRILLEAUX  
P.E. # 97518  
ON 06/20/2018

THESE PLANS ARE  
SUBJECT TO FEDERAL  
COPYRIGHT LAWS. ANY  
USE OF SAME WITHOUT  
THE EXPRESSED WRITTEN  
PERMISSION OF  
RACETRAC PETROLEUM,  
INC. IS PROHIBITED.

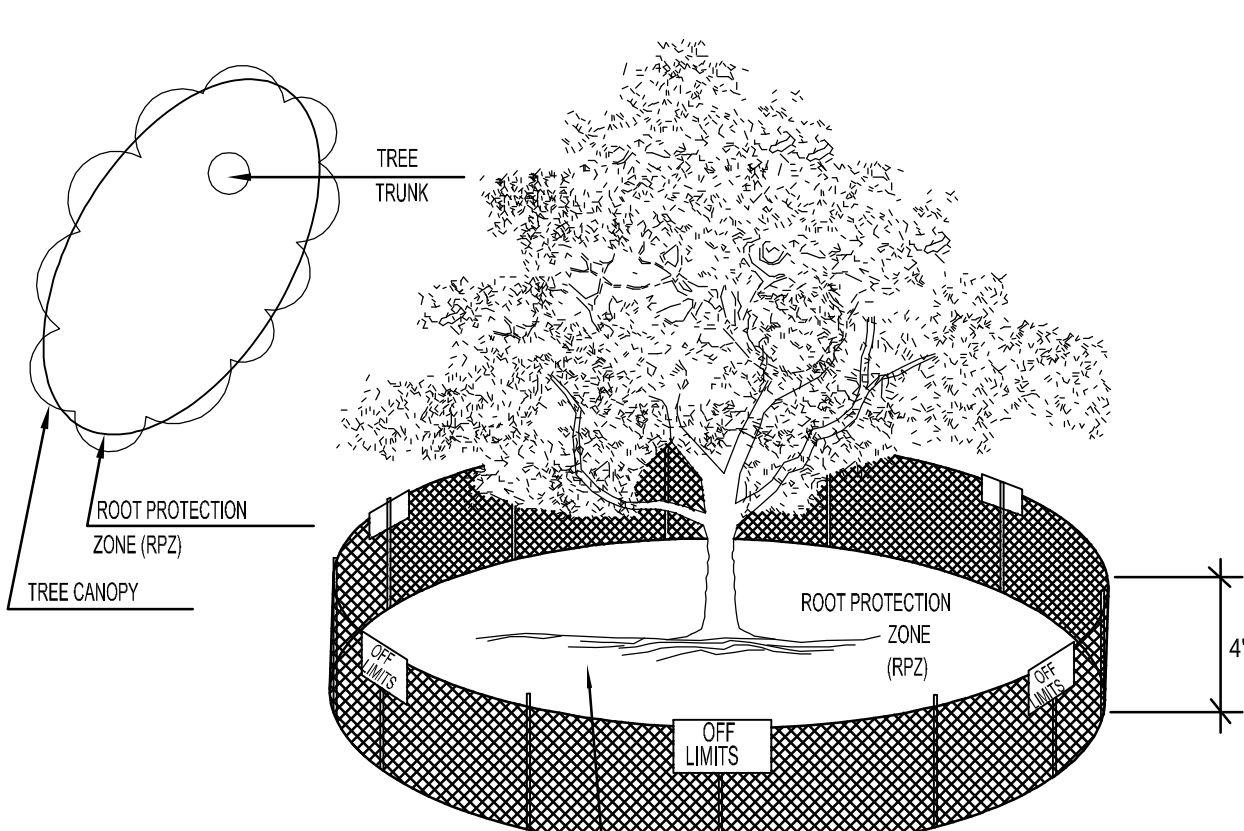
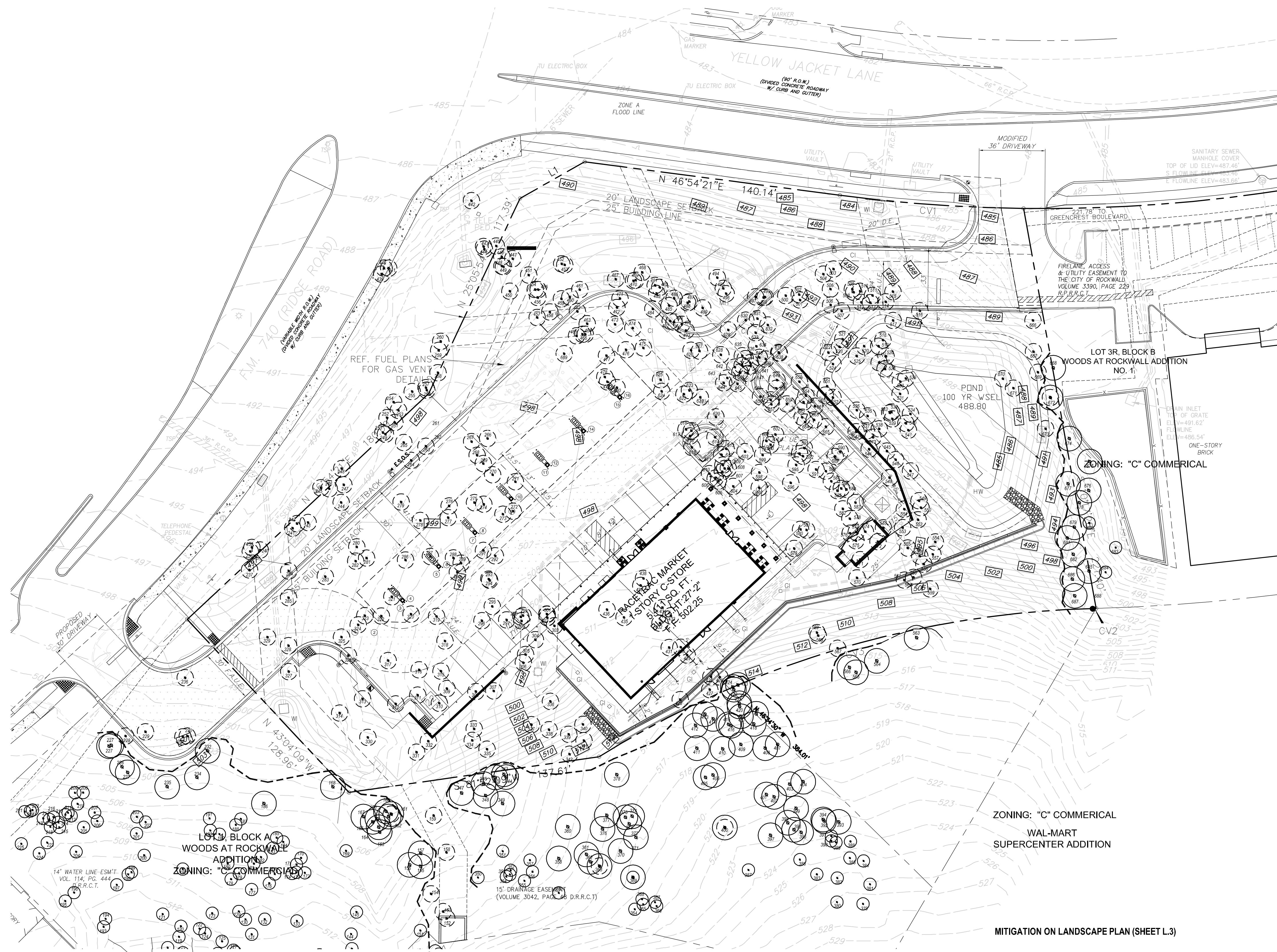
**Racetrac**  
RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

**SITE PLAN**  
RACETRAC MARKET #2345  
2205 RIDGE ROAD  
LOT 1R & 2R, BLOCK A  
ROCKWALL, ROCKWALL COUNTY, TEXAS

DRAWN BY	BTD
DATE	03/28/2018
SCALE	AS SHOWN
DRAWING NAME	C-SITE.dwg
<b>C3</b>	
SHEET NO.	VERSION

Lot 1, Modified, Jan. 28, 2018, 11:44 AM  
Drawing: M:\Civil\Projects\2017\75238 Rockwall RaceTrac\Map\Working Files\C-SITE.dwg  
C-SITE 6/20/2018 11:44 AM



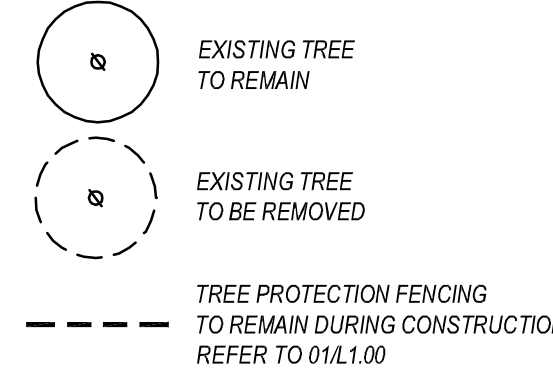


01 TREE PROTECTION FENCE A  
NOT TO SCALE

EXISTING TREE NOTES

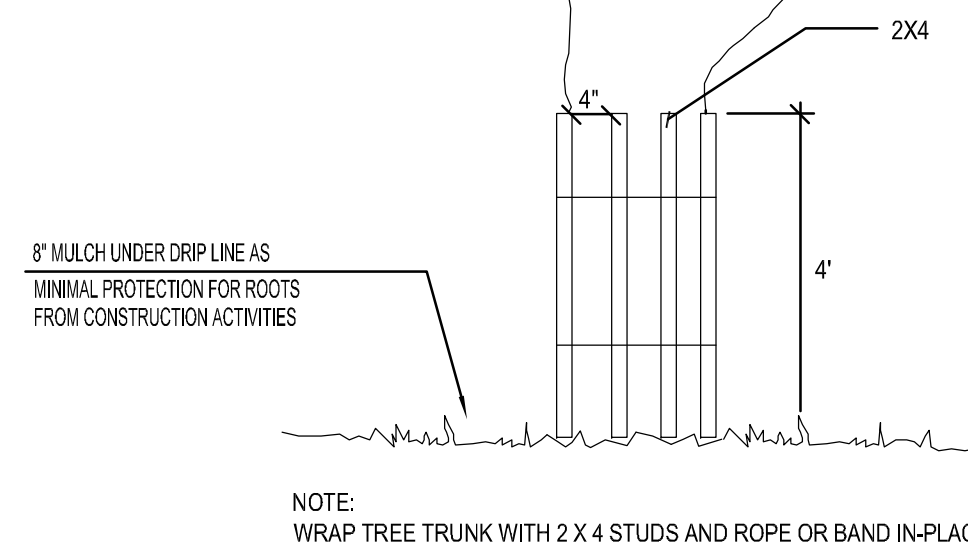
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around drip line (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48) inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encased with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

EXISTING TREE LEGEND

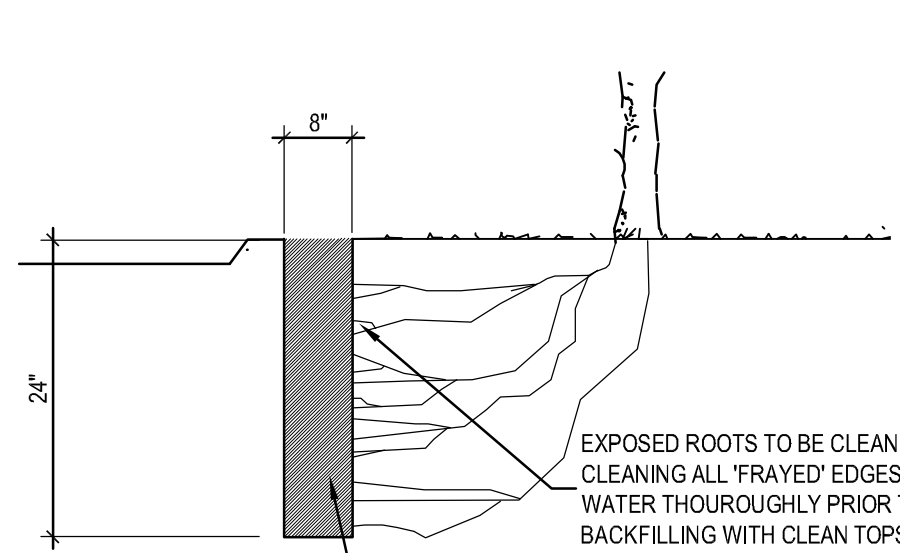


**SITE PLAN**  
WOODS AT ROCKWALL ADDITION  
LOT 1 & 2, BLOCK A  
IN THE CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

01 EXISTING TREE PLAN  
SCALE: 1" = 30'-0"



02 TREE PROTECTION FENCE B  
NOT TO SCALE



03 ROOT PRUNING DETAIL  
N.T.S.

(15) 5" CALIPER TREES	75 CALIPER INCHES
(23) 6" CALIPER TREES	136 CALIPER INCHES
(22) TREES REQUIRED TO BE 4" CALIPER THAT ARE PROPOSED AS 6" CALIPER (22X2" OVER REQ.)	44 CALIPER INCHES
CREDIT FOR ON SITE MITIGATION=	
(210) NEEDLEPOINT HOLLY (210 / 5) =	80 CALIPER INCHES
(422) 3 GALLON SHRUBS (422 / 10) =	42.2 CALIPER INCHES
(668) PURPLE WINTERCREEPER (668 / 10) =	86.8 CALIPER INCHES
TOTAL CALIPER INCHES PROVIDED	464
TOTAL MITIGATION	3,013
TOTAL MITIGATION REMAINING	2,549
AMOUNT DUE PER INCH (\$125.00)	\$ 318,625

- TREE MITIGATION-  
Tree mitigation on this project is provided by:
- Increasing the size of required canopy trees from 4" caliper to 6" caliper providing 2" of mitigation for each tree.
  - Providing additional shrubs, 5 gallon in size providing 1" of mitigation for each 5 additional shrubs.
  - Providing additional shrubs 3 gallon in size providing 1" of mitigation for each 10 shrubs.
  - Providing additional ground cover 1 gallon in size providing 1" of mitigation for each 10 ground cover plants

DATE	6.21.18
SCALE	AS SHOWN
DRAWN-BY	BDA
DRAWING NAME:	
<b>L.O</b>	
SHEET NO.	VERSION

smr  
landscape architects, inc.  
1708 N. Griffin Street  
Dallas, Texas 75202  
Tel 214.871.0083  
Fax 214.871.0545  
Email smr@smr-lb.com

REGISTERED LANDSCAPE ARCHITECT  
STATE OF TEXAS  
6-21-18

THESE PLANS ARE  
SUBJECT TO FEDERAL  
COPYRIGHT LAWS. ANY  
USE OF SAME WITHOUT  
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3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

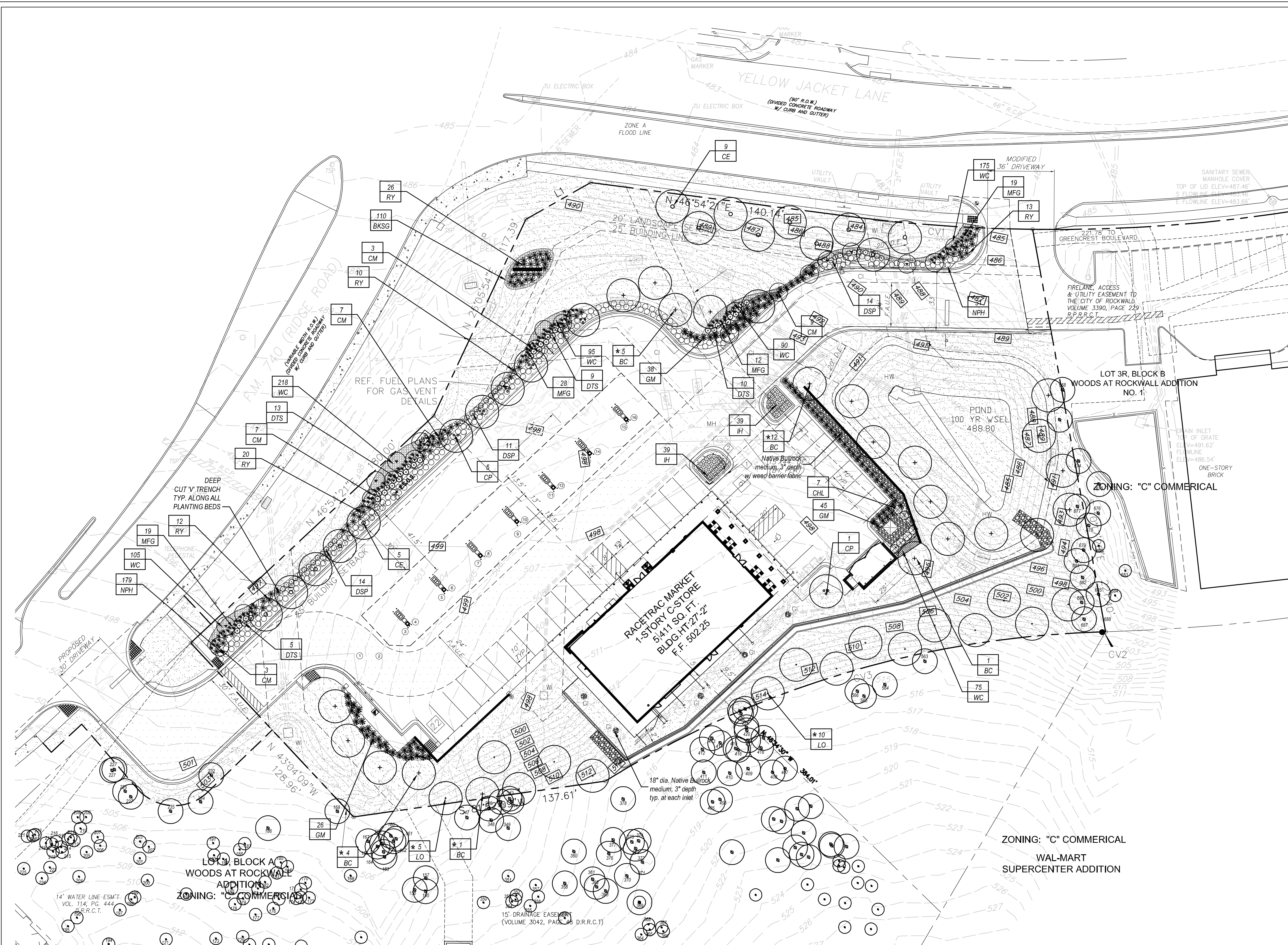
DEVELOPER  
RACE TRAC  
3225 CUMBERLAND BLVD., SUITE 100  
ATLANTA, GA 30339  
CONTACT: DREW CUNNINGHAM  
TEL: (770) 431-7600 EXT. 1133

SURVEYOR  
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EXISTING TREE PLAN  
RACETRAC MARKET #2345  
2205 RIDGE ROAD  
LOT 1R & 2R, BLOCK A  
ROCKWALL, ROCKWALL COUNTY, TEXAS





**LANDSCAPE NOTES**

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by "V" TRENCH. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

**MAINTENANCE NOTES**

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

**GENERAL LAWN NOTES**

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom soil, free from lumps, clay, toxic substances, rocks, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

**LANDSCAPE TABULATIONS: 740 SCENIC OVERLAY**

**SITE REQUIREMENTS** (site area 107,210 s.f.)  
 Requirements: 15% site area to be landscaped

Required	Provided
16,082 s.f. (15%)	47,309 s.f. (44%)

**FRONT YARD REQUIREMENTS**  
 Requirements: 50% of required landscape must be located in front yard

Required	Provided
8,041 s.f. (50%)	8,041 s.f.

**STREET REQUIREMENTS:**  
 Requirements: (1) canopy trees 3" cal. per 30 l.f. of frontage

Required	Provided
(10) canopy trees, 3" cal.	(10) canopy trees, 3" cal.

**RIDGE ROAD (297.39 l.f.)**  
 Requirements: (1) canopy trees, 3" cal.

Required	Provided
(9) canopy trees, 3" cal.	(9) canopy trees, 3" cal.

**YELLOW JACKET LANE (280.91 l.f.)**  
 Requirements: (1) canopy trees, 3" cal.

Required	Provided
(9) canopy trees, 3" cal.	(9) canopy trees, 3" cal.

**PARKING LOT (35 spaces; 10,322 s.f.)**  
 Requirements: 5% of total parking lot area and (1) tree, 3" cal. per 10 REQUIRED parking spaces (22 REQUIRED)

Required	Provided
(2) trees, 3" cal.	(2) trees, 4" cal.
516 s.f. (5%)	617 s.f. (5.9%)

**ALL TREES TO BE LOCATED 5' FROM WATER, SEWER AND STORM SEWER LINES**

**ALL TREES AND SHRUBS TO BE SETBACK 4' FROM ALL HEAD-IN PARKING**

**SOLID SOD NOTES**

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

**HYDROMULCH NOTES**

- All lawn areas to be Hydromulch Bermudagrass, unless noted otherwise on drawings.
- Contractor shall scarify, rip, loosen all areas to be hydromulched to a minimum depth of 4" prior to topsoil and hydromulch installation.
- Bermudagrass seed shall be extra hulled and treated lawn type and shall be delivered to the site in its original unopened container, and shall meet Texas State Law requirements.
- Fiber: Shall be one hundred (100%) percent Wood Cellulose Fiber, delivered to the site in its original unopened container, "Comweb" or equal.
- Fiber Tack: Shall be delivered to the site in its original unopened container, and shall be "Terra-Tack one", as manufactured by Growers, Inc. or equal.
- Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1000) square foot.
- Use a 4/8" batter board against all beds areas.
- If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass, at a rate of four (4) pounds per one thousand (1000) square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
- In the event ryegrass is necessary due to time of year installation, it shall be the responsibility of the contractor to scalp existing grass, bag clippings, and scarify soil to a depth of 1" prior to permanent lawn grass installation.
- All lawn areas to be hydromulched, shall have one hundred (100%) percent coverage prior to final acceptance.
- Contractor shall maintain all lawn areas until final acceptance. This shall include but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply as necessary.

**DRAINFIELD MIX LAWN NOTES**

- Installation of Drainfield Mix to be performed by hydro-seeding.
- Final grades to be smooth and level free of debris, rocks over 1" and shall have no ruts or depressions, grading per civil plans.
- Install the following mix at the specified rate of 80 pounds per acre or per manufacturer's recommendations.
- Seed mix available from Native American Seed: 1 800 728 4993.

**SITE DATA SUMMARY TABLE**

ZONING (FROM ZONING MAP)	"C" COMMERCIAL
LAND USE (FROM ZONING ORDINANCE)	CONVENIENCE STORE WIGAS PUMPS
LOT AREA (SQUARE FEET & ACRES)	107,210 S.F. / 2.46 ACRES
BUILDING FOOTPRINT AREA (SQUARE FEET)	5,488 S.F.
TOTAL BUILDING AREA (SQUARE FEET)	5,488 S.F.
BUILDING HEIGHT (# STORES)	1 STORY
BUILDING HEIGHT (FEET-DISTANCE TO TALLEST BUILDING ELEMENT)	27'-2" (TOP OF PITCHED ROOF)
CANOPY HEIGHT	22 FEET
CANOPY THICKNESS	4 FEET
LOT COVERAGE (PERCENT)	5.12% (5,488 / 107,210)
FLOOR AREA RATIO (RATIO)	0.051 (5,488 / 107,210)
PARKING	RETAIL USE (1250 S.F.)
PARKING RATIO (FROM ZONING ORDINANCE)	22 SPACES (5,488 / 250)
REQUIRED PARKING (# SPACES)	35 TOTAL
PROVIDED PARKING (# SPACES)	1 SPACES
ACCESSIBLE PARKING PROVIDED (# SPACES)	2 SPACES
LANDSCAPE AREA	
LANDSCAPE AREA PROVIDED	47,309 S.F. (44%)
OPEN SPACE PROVIDED	47,309 S.F. (44%)
IMPERVIOUS AREA	59,901 S.F. (56%)

**WATER METER SCHEDULE**

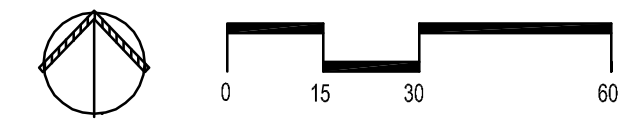
ID	TYPE	SIZE	REMARK
1	DOMESTIC	2"	PROPOSED
2	IRRIGATION	1"	PROPOSED

**DEVELOPER**  
 RACE TRAC  
 3225 CUMBERLAND BLVD., SUITE 100  
 ATLANTA, GA 30339  
 CONTACT: DREW CUNNINGHAM  
 TEL: (770) 431-7600 EXT.1133

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 DALLAS, TEXAS 75231  
 CONTACT: DOUGLAS BARRILLEAUX, P.E.  
 TEL: (214) 296-5775



**01 LANDSCAPE PLAN**  
 SCALE: 1" = 30'-0"



**PLANT LIST**

TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
23	BC	Bald Cypress	<i>Taxodium distichum</i>	6" cal.	container grown, 15' ht., 5' spread min.	
14	CE	Cedar Elm	<i>Ulmus crassifolia</i>	6" cal.	container grown, 15' ht., 5' spread min.	
6	CP	Chinese Pistache	<i>Pistachia chinensis</i>	6" cal.	container grown, 15' ht., 5' spread min.	
15	LO	Live Oak	<i>Quercus virginiana</i>	5" cal.	B&B, 14' ht., 5' spread min.	
29	DM	Crepe Myrtle 'Dallas Red'	<i>Lagerstroemia indica</i> 'Dallas Red'	2" cal.	container, 3-6 canes, no cross caning	

SHRUBS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
210	NPH	Needlepoint Holly	<i>Ilex cornuta</i> 'Needlepoint'	5 gal.	container, full plant, 4" o.c. / 2'-3" row spacing staggered	
7	CHL	Cherry Laurel	<i>Prunus caroliniana</i>	5" ht.	container, full to base, 5" o.c.	
109	GM	Gulf Muhly	<i>Muhlenbergia capillaris</i>	3 gal.	container, full plant, 36" o.c.	
78	HH	Indian Hawthorne 'Clara'	<i>Raphiolepis indica</i> 'Clara'	3 gal.	container, full plant, 24" o.c.	
81	RY	Red Yucca	<i>Hesperaloe parviflora</i>	3 gal.	container, full plant, 36" o.c.	
39	DSP	Dwarf Spirea 'Super Gold'	<i>Spirea sp.</i> 'SuperGold'	3 gal.	container, full plant, 36" o.c.	
78	MFG	Mexican Feathergrass	<i>Nassella tenuissima</i>	3 gal.	container, full plant, 24" o.c.	
37	DTS	Dwarf Sage 'Lynn's Lowery'	<i>Leucophyllum 'Lynn's Lowery'</i>	5 gal.	container, full plant, 36" o.c.	

GROUNDCOVERS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
110	BKSG	Berkeley Sedge	<i>Carex divisa</i>	1 gal.	container, full top of container, 12" o.c.	
758	WC	Wintercreeper	<i>Euonymus fortunei</i> coloratus	1 gal.	container, (6) 18" runners min. 12" o.c.	
		Common Bermudagrass	<i>Cynodon dactylon</i>	roll sod	solid sod, refer to notes	

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

**BOUNDARY LINE DATA TABLE**

L1	N 60°26'48" W	40.41'
----	---------------	--------

**BOUNDARY LINE CURVE DATA TABLE**

CV	DELTA	RADIUS	LENGTH	CHORD	BEARING
C1	06°48'23"	845.00'	100.38'	100.32'	S85°55'43" E
C2	00°07'47"	772.78'	1.75'	1.75'	S88°23'25" W
C3	30°19'13"	536.81'	284.07'	280.77'	S73°17'35" W

DATE	6.21.18
SCALE	AS SHOWN
DRAWN-BY	BDA
DRAWING NAME:	
<b>L.2</b>	
SHEET NO.	VERSION

**smr**  
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**Racetrac**  
 RACETRAC PETROLEUM, INC.  
 3225 CUMBERLAND BOULEVARD SUITE 100  
 ATLANTA, GA 30339  
 (770) 431-7600

**LANDSCAPE PLAN**  
 RACETRAC MARKET #2345  
 2205 RIDGE ROAD  
 LOT 1R & 2R, BLOCK A  
 ROCKWALL, ROCKWALL COUNTY, TEXAS

**STATE OF TEXAS**  
 LANDSCAPE ARCHITECT  
 BRUCE B. DAVIS  
 LICENSE NO. 176  
 6.21.18



**SECTION 02900 - LANDSCAPE**

**PART 1 - GENERAL**

**1.1 REFERENCED DOCUMENTS**

Refer to bidding requirements, special provisions, and schedules for additional requirements.

**1.2 DESCRIPTION OF WORK**

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

**1.3 REFERENCE STANDARDS**

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z80.1) - plant material.
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Hortis Third, 1976 - Cornell University

**1.4 NOTIFICATION OF SOURCES AND SUBMITTALS**

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

**JOB CONDITIONS**

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

**1.6 MAINTENANCE AND GUARANTEE**

- A. Maintenance:
  1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
  2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
  3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
  4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
  1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
    - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
    - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
    - c. When plant replacements are made, plants, soil, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

**1.7 QUALITY ASSURANCE**

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
  1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
  2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
  3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
  4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
  5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

**1.8 PRODUCT DELIVERY, STORAGE AND HANDLING**

- A. Preparation:
  1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and fibre development.
  2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

**2.2 SOIL PREPARATION MATERIALS**

- A. Sandy Loam:
  1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
  2. Physical properties as follows:
    - Clay - between 7-27 percent
    - Silt - between 15-25 percent
    - Sand - less than 52 percent
  3. Organic matter shall be 3%-10% of total dry weight.
  4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertlaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
  - A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
  - B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

**2.3 MISCELLANEOUS MATERIALS**

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4" on center.
- B. Staking Material for Shade Trees:
  1. Post: Studded T-Post, #1 Armoac with anchor plate, 6'-0" length, paint green.
  2. Wire: 12 gauge, single strand, galvanized wire.
  3. Rubber hose: 2 ply, fiber reinforced hose, minimum 3/4 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Miraf 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

**PART 3 - EXECUTION**

**3.1 BED PREPARATION & FERTILIZATION**

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
  1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
  2. All planting areas shall receive a two (2") inch layer of specified mulch.
  3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, cobbles, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
  1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
  2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

**3.2 INSTALLATION**

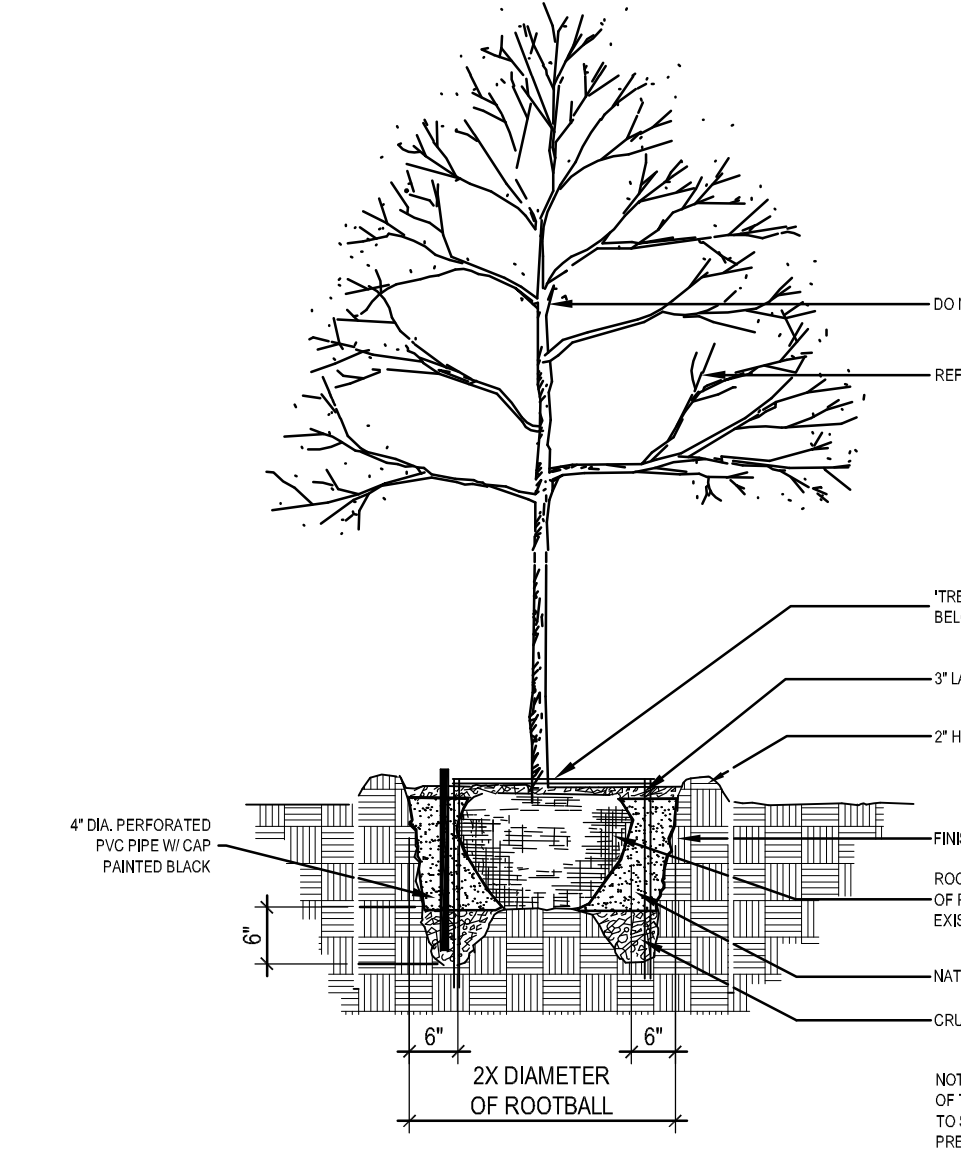
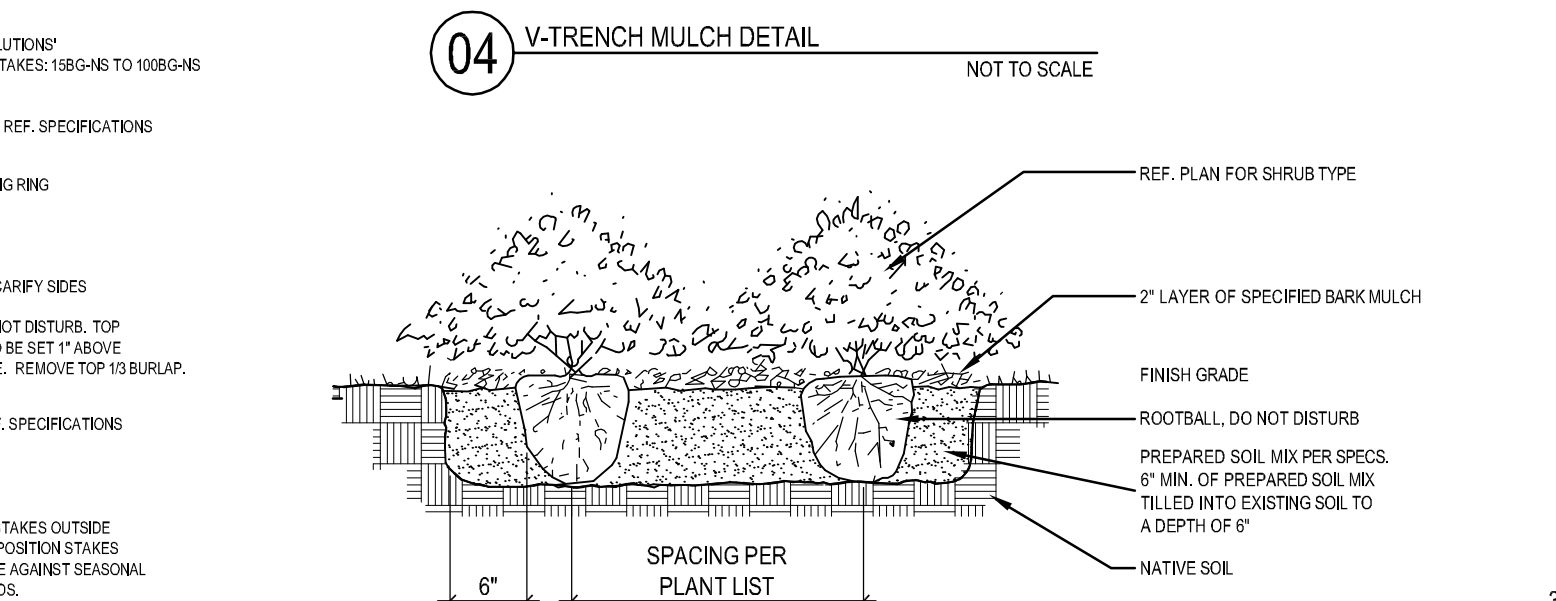
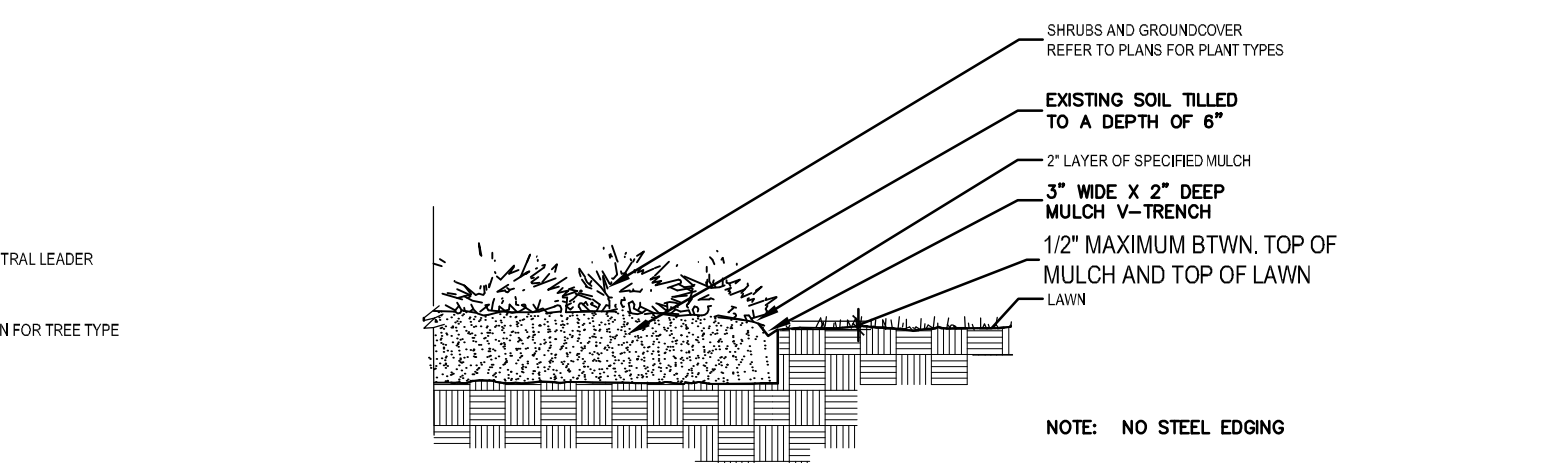
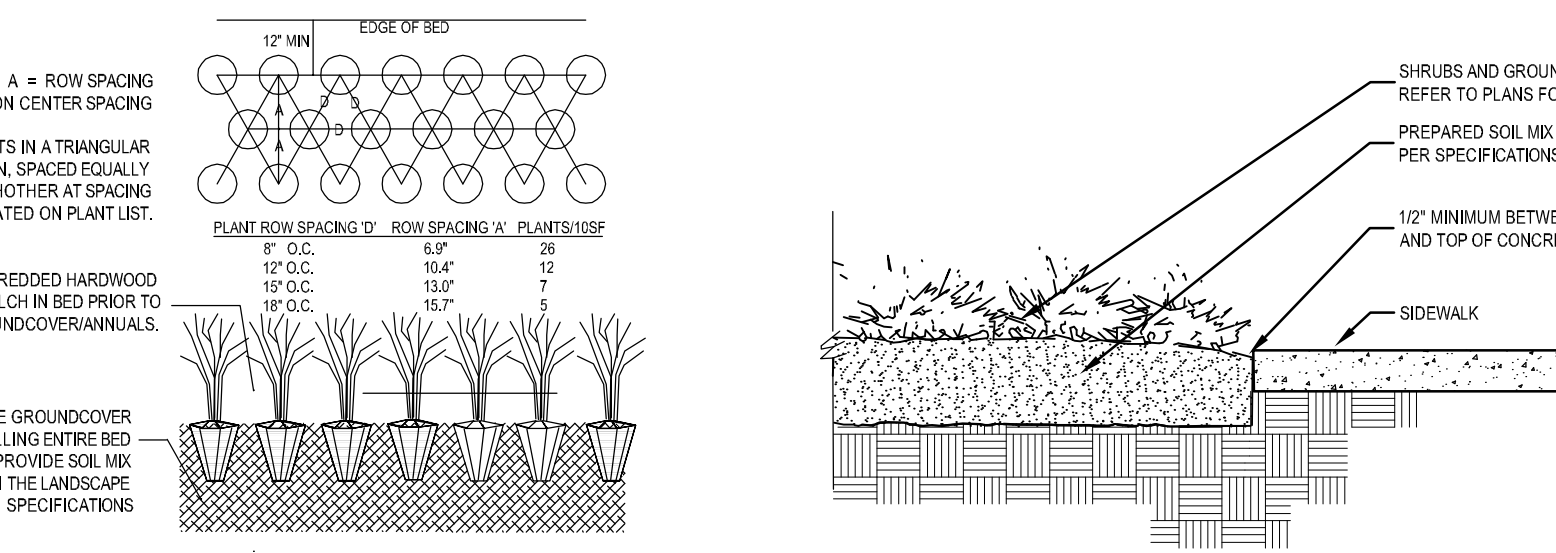
- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

**3.3 CLEANUP AND ACCEPTANCE**

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.
- B. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- C. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.
  1. Dead wood or suckers and broken badly bruised branches shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.
  2. Pruning shall be done with clean, sharp tools.
  3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2) inches in depth. This limit of the organic material Steel Curbing Installation:
    1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
    2. All steel curbing shall be free of kinks and abrupt bends.
    3. Top of curbing shall be 3/4" maximum height above grade.
- D. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
  1. Do not install steel edging along sidewalks.
  2. Cut steel edging at 45 degree angle where edging meets sidewalk.

**1.8 PRODUCT DELIVERY, STORAGE AND HANDLING**

- A. Preparation:
  1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and fibre development.
  2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.



**DEVELOPER**  
 RACE TRAC  
 3225 CUMBERLAND BLVD., SUITE 100  
 ATLANTA, GA 30339  
 CONTACT: DREW CUNNINGHAM  
 TEL: (770) 431-7600 EXT. 1133

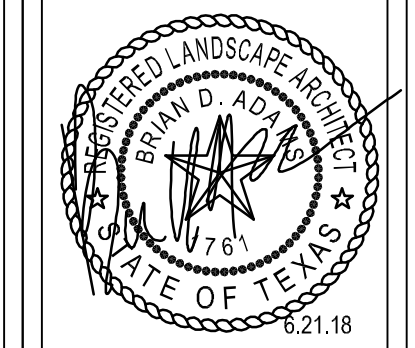
**APPLICANT/ENGINEER**  
 URBAN STRUCTURE  
 TBPE FIRM # F-13165  
 8140 WALNUT HILL LANE, STE 905  
 DALLAS, TEXAS 75231  
 CONTACT: DOUGLAS BARRILLEAUX, P.E.  
 TEL: (214) 295-5775

**SURVEYOR**  
 TEXAS HERITAGE SURVEYING LLC.  
 10610 METRIC DRIVE  
 SUITE 124  
 DALLAS, TEXAS 75243  
 CONTACT: GARY E. JOHNSON, R.P.L.S.  
 TEL: (214) 340-9700

**LANDSCAPE SPECIFICATIONS**  
**RACETRAC MARKET #2345**  
 2205 RIDGE ROAD  
 LOT 1R & 2R, BLOCK A  
 ROCKWALL, ROCKWALL COUNTY, TEXAS

DATE	6.21.18
SCALE	AS SHOWN
DRAWN-BY	BDA
DRAWING NAME:	
<b>L.3</b>	
SHEET NO.	VERSION

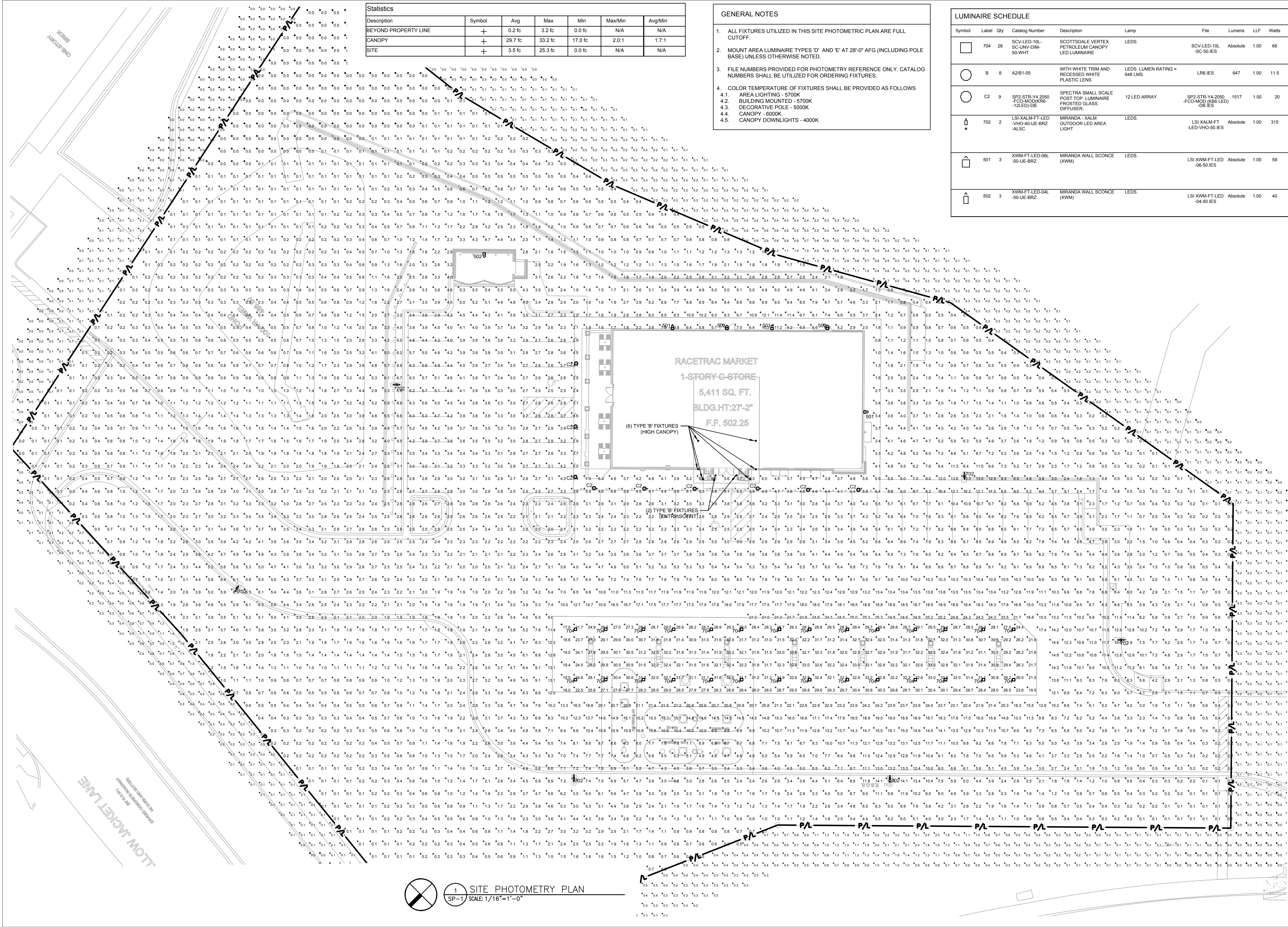
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**Racetrac**  
 RACETRAC PETROLEUM, INC.  
 3225 CUMBERLAND BOULEVARD SUITE 100  
 ATLANTA, GA 30339  
 (770) 431-7600

**SITE PLAN**  
**WOODS AT ROCKWALL ADDITION**  
**LOT 1 & 2, BLOCK A**  
**IN THE CITY OF ROCKWALL,**  
**ROCKWALL COUNTY, TEXAS**



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BEYOND PROPERTY LINE	+	0.2 fc	3.2 fc	0.0 fc	N/A	N/A
CANOPY	+	29.7 fc	33.2 fc	17.0 fc	2.0:1	1.7:1
SITE	+	3.5 fc	25.3 fc	0.0 fc	N/A	N/A

- GENERAL NOTES**
- ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC PLAN ARE FULL CUTOFF.
  - MOUNT AREA LUMINAIRE TYPES 'D' AND 'E' AT 28'-0" AFG (INCLUDING POLE BASE) UNLESS OTHERWISE NOTED.
  - FILE NUMBERS PROVIDED FOR PHOTOMETRY REFERENCE ONLY. CATALOG NUMBERS SHALL BE UTILIZED FOR ORDERING FIXTURES.
  - COLOR TEMPERATURE OF FIXTURES SHALL BE PROVIDED AS FOLLOWS
    - AREA LIGHTING - 5700K
    - BUILDING MOUNTED - 5700K
    - DECORATIVE POLE - 5000K
    - CANOPY - 6000K
    - CANOPY DOWNLIGHTS - 4000K

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	704	28	SCV-LED-10L-SC-UNV-DIM-50-WHT	SCOTTSDALE VERTEX PETROLEUM CANOPY LED LUMINAIRE	LEDS.	SCV-LED-10L-SC-50-IES	Absolute	1.00	66
○	B	8	A2/B1-05	WITH WHITE TRIM AND RECESSED WHITE PLASTIC LENS	LEDS. LUMEN RATING = 648 LMS.	LR6/IES	647	1.00	11.5
○	C2	9	SP2-STR-Y4-2050-FCO-MOD-KR6-12LED/DB	SPECTRA SMALL SCALE POST TOP LUMINAIRE FROSTED GLASS DIFFUSER	12 LED ARRAY	SP2-STR-Y4-2050-FCO-MOD-KR6(LED)-DB/IES	1517	1.00	20
□	702	2	LSI-XALM-FT-LED-VHO-40-UE-BRZ-ALSC	MIRANDA - XALM OUTDOOR LED AREA LIGHT	LEDS.	LSI XALM-FT-LED-VHO-50-IES	Absolute	1.00	315
□	501	3	XWM-FT-LED-06L-50-UE-BRZ	MIRANDA WALL SCONCE (XWM)	LEDS.	LSI XWM-FT-LED-06-50-IES	Absolute	1.00	59
□	502	3	XWM-FT-LED-04L-50-UE-BRZ	MIRANDA WALL SCONCE (XWM)	LEDS.	LSI XWM-FT-LED-04-50-IES	Absolute	1.00	40

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**DESIGN PROFESSIONALS**

**GPD GROUP, INC.**  
 520 South Main St., Suite 2531  
 Akron, OH 44311  
 330.572.2100 330.572.2101

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
10/09/15	PRELIMINARY PACKAGE
12/07/15	PRELIMINARY REVISIONS
3/21/16	PERMIT SET
12/01/16	FRESH TO 2016 1101.12
02/15/18	REFRESH TO 2017.0808
06/21/18	PHOTOMETRIC REVISION

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 SUITE 100  
 ATLANTA, GEORGIA 30339  
 (770) 431-7600

**PROJECT NAME**  
**ROCKWALL**

**ROCKWALL TEXAS 75087**  
 2205 RIDGE ROAD

**RACETRAC STORE NUMBER**  
**#1090**

**PROTOTYPE SERIES 5.5K**  
**2016 BR-LH-MO(-) 0301**

**PLAN MODIFICATION NOTICE**  
 SPB NO. 000 DATE 03.01.16

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

**PROFESSIONAL SEAL**

**PROJECT NUMBER**  
 2015157.03

**SHEET TITLE**  
**SITE PHOTOMETRY PLAN**

**SHEET NUMBER**  
**SP-1**

1 SITE PHOTOMETRY PLAN  
 SP-1 SCALE: 1/16"=1'-0"



ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/24/16	PERMIT SET
12/01/16	REFRESH TO 2016 1101.01.02
05/05/17	REV. 1 - BLDG DEPT COMMENTS
02/16/18	REFRESH TO 2017.0808
05/30/18	ELEVATION UPDATES

PROJECT NAME  
**ROCKWALL**

ROCKWALL  
 TX 75087  
 2205 RIDGE ROAD

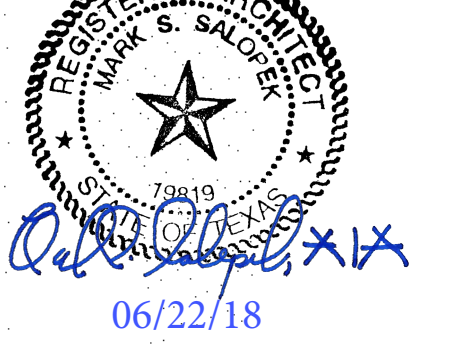
RACETRAC STORE NUMBER  
**#1090**

PROTOTYPE SERIES 5.5K  
 2016 BR-LH-MO-ALT 0301

PLAN MODIFICATION NOTICE  
 SPB NO. XXXX DATE 03.01.16

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PROFESSIONAL SEAL



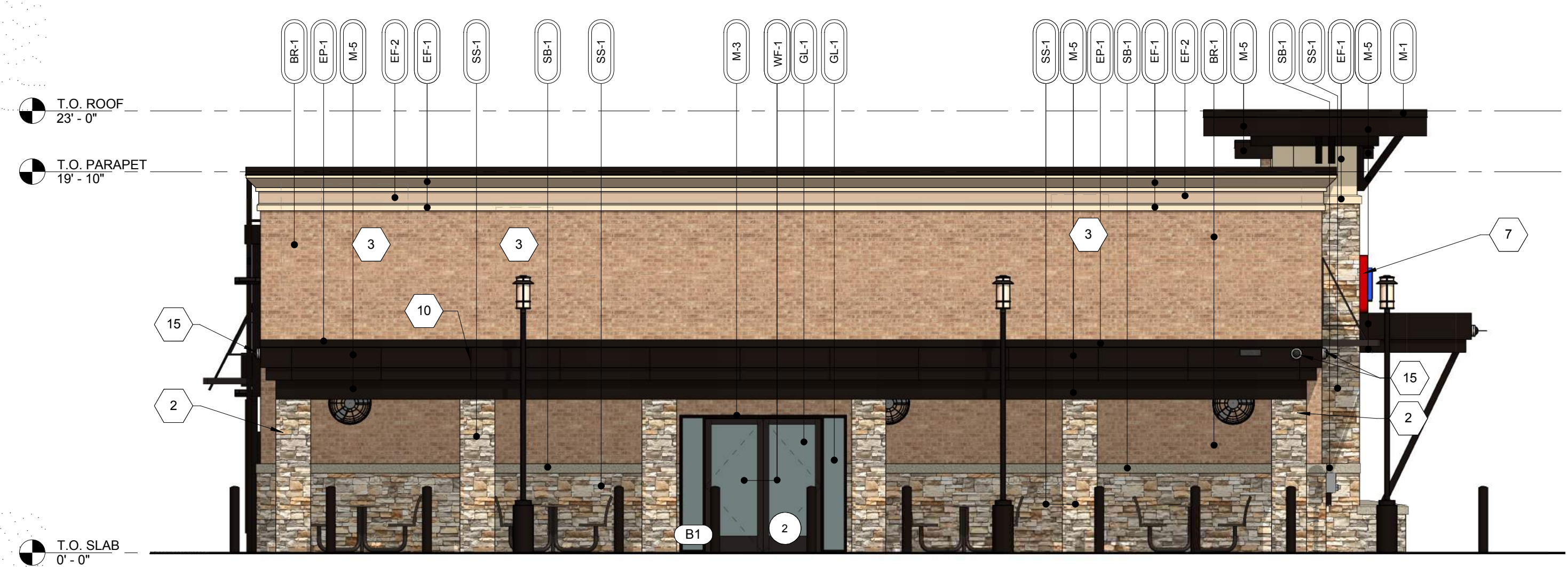
PROJECT NUMBER  
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SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

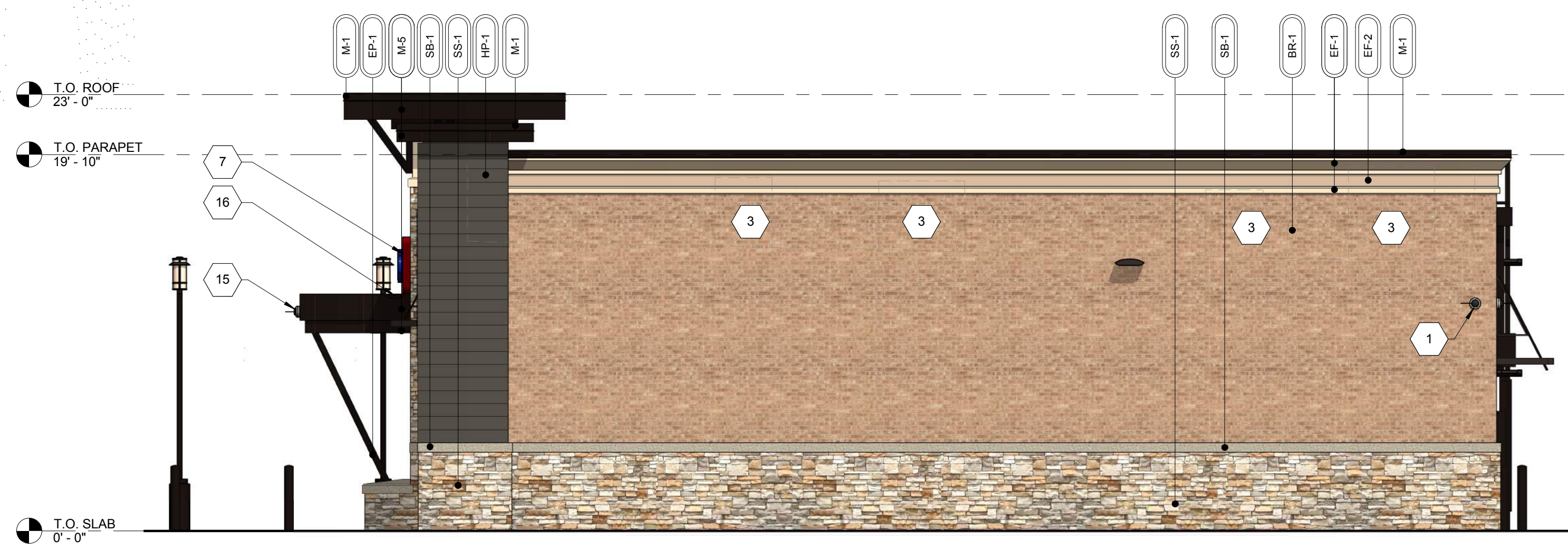
**A300B**



**4 LEFT ELEVATION**  
 3/16" = 1'-0"

**LEFT ELEVATION (NON-ENTRY)** 1,203 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	277	23%
BRICK	688	57%
EIFS	99	8%
GLAZING	0	0%
METAL	64	5%
WOOD	75	7%



**3 RIGHT ELEVATION**  
 3/16" = 1'-0"

**RIGHT ELEVATION (ENTRY)** 1,200 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	299	25%
BRICK	497	41%
EIFS	112	9%
GLAZING	62	6%
METAL	230	19%
WOOD	0	0%

GENERAL NOTES

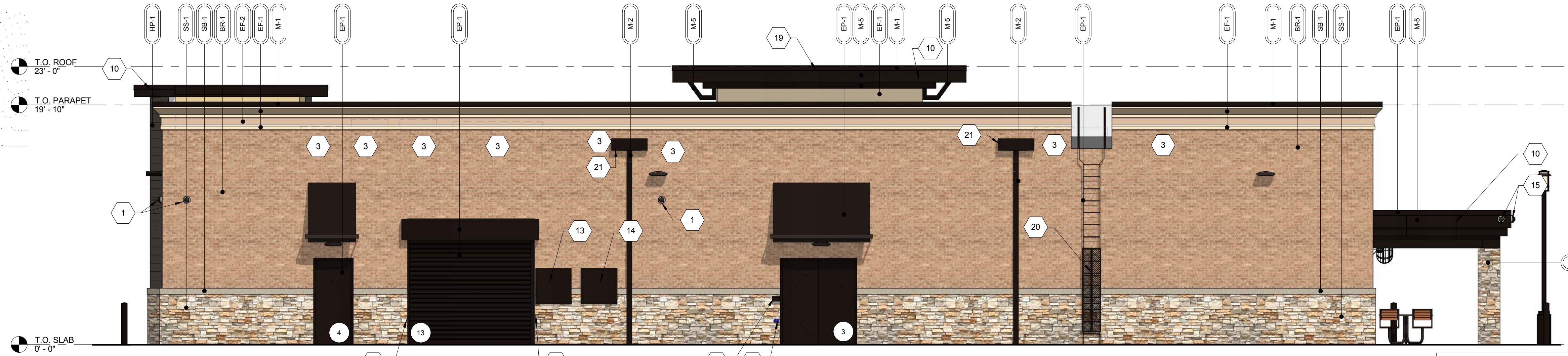
- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- PROVIDE EXPANSION JOINTS (EJ) AT ALL LOCATIONS WHERE EIFS ABUTS A DISSIMILAR MATERIAL OR WHERE OTHERWISE REQUIRED BY MANUFACTURER.
- PROVIDE EXPANSION JOINTS (EJ) AS LOCATED ON EXTERIOR ELEVATIONS. SPECIFICATION FOR JOINT SEALANT SHALL BE 'ADOBE TAN' SL-2 BY TREMCO.
- MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C.
- REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE LOCATION AND SCHEDULE.
- REFER TO STRUCTURAL DRAWINGS FOR JOIST AND BEAM BEARINGS AND FOR FOUNDATIONS.
- REFER TO REFLECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACM JOINT LOCATIONS.

ELEVATION KEY NOTES

- REFER TO SHEET A301 FOR KEYNOTES NOT SHOWN ON THIS SHEET.
- WALL MOUNTED SECURITY CAMERA.
  - 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
  - MECHANICAL EQUIPMENT BEYOND.
  - REFER TO DETAILS FOR CAST STONE SHAPES.
  - HOSE BIBB; REFER TO PLUMBING DRAWINGS.
  - CEILING FAN; REFER TO SPECIFICATIONS.
  - ILLUMINATED SIGN PANEL BY OWNER; PAINT SUPPORT STRUCTURE EP-1.
  - BRONZE BREAK METAL WRAP AT WINDOW JAMB, TYPICAL.
  - ROOFING MEMBRANE TO BE RUN UP CLERESTORY TO UNDERSIDE OF WINDOW. REFER TO WALL SECTION.
  - ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
  - INTERCOM AND SPEAKER.
  - EMERGENCY FUEL SHUT OFF SWITCH. MOUNT TOP OF SIGN AT 50" A.F.F.
  - LOCATION OF ELECTRICAL SERVICE C/T AND METER.
  - GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
  - SECURITY CAMERA MOUNTED TO FASCIA.
  - OVERFLOW SPILL SCUPPER.
  - PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
  - SPILL SCUPPER. REFER TO DETAIL.
  - PROVIDE METAL GUARD GATE AT LADDER TO 8' AFF WITH LOCKING HASP.
  - 4'-0" WIDE X 1'-7" HIGH SCUPPER. REFER TO DETAILS ON SHEET A201.
  - STOP STONE 6" BEFORE ROUGH OPENING.

EXTERIOR MATERIAL SCHEDULE

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
BRICK	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
CAST STONE	MATCH BORAL TUSCAN CAST STONE OR APPROVED OTHER	COLOR 1102 NATURAL STONE; MORTAR COLOR "LIGHT BUFF". SEAL WITH (SL-5) SEALANT.
CEMENT BOARD	ARTISAN V-GROOVE SIDING	PAINT SHERWIN WILLIAMS SEALSINK #7675
EIFS	STO THERM CI	"FINE FINISH" APPLICATION; COLOR TO MATCH SW #6113 "INTERACTIVE CREAM"
EIFS	STO THERM CI	"FINE FINISH" APPLICATION; COLOR TO MATCH SW #6094 "SENSATIONAL SAND"
GLAZING	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGU AT STOREFRONT 0.28 U-FACTOR, SHGC PF=0.25=0.27 (1/4" PPG SOLARBAN 70-XL LOW-E #2 +1/2" AIR +1/4" CLEAR) OR APPROVED ALTERNATE.
GLAZING	1" NON-IMPACT RATED ACID ETCHED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGU AT STOREFRONT 0.28 U-FACTOR, SHGC PF=0.25=0.27 (1/4" PPG SOLARBAN 70-XL LOW-E #2 +1/2" AIR +1/4" CLEAR SATIN ETCH #3) OR APPROVED ALTERNATE.
METAL	PREFINISHED* 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-2	COLOR DARK BRONZE	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VISTAWALL (OR APPROVED ALTERNATE)	FG-3000 STOREFRONT SYSTEM (OR APPROVED ALTERNATE)
M-5	REYNOBOND	PREFINISHED DARK BRONZE ANODIZED ALUMINUM AA-M2C22A44
M-7	VERSATEX	WP4 TONGUE AND GROOVE
PAINT	SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH DARK BRONZE
ROOFING	DUROLAST	50 MIL MEMBRANE ROOFING SYSTEM
STACKED STONE	GRAY GRANBURY QUARRY STONE CHOPPED	DIMENSIONAL LIMESTONE 3"-5" BED DEPTH, WET STACK APPLICATION. MORTAR COLOR "LIGHT BUFF"
STONE BAND	GRAY GRANBURY QUARRY STONE CHOPPED	DIMENSIONAL LIMESTONE CUT TO SIZE PER DETAILS. MORTAR COLOR "LIGHT BUFF"
WINDOW FILM	WF-1	WINDOW FILM; 3M PRESTIGE 70 SOLAR FILM
WINDOW FILM	WF-2	WINDOW FILM; OPAQUE



**2 REAR ELEVATION**  
 3/16" = 1'-0"

**REAR ELEVATION** 2,118 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	489	23%
BRICK	1,087	51%
EIFS	182	9%
GLAZING	0	0%
METAL	345	16%
WOOD	15	1%



**1 FRONT ELEVATION**  
 3/16" = 1'-0"

**FRONT ELEVATION** 2,170 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	536	25%
BRICK	732	34%
EIFS	181	8%
GLAZING	331	15%
METAL	179	8%
WOOD	211	10%

SIGNAGE CONTENT IS CONCEPTUAL ONLY

ELEVATION	SIGNAGE	DIMENSIONS	
FRONT	RT PARALLELOGRAM	13'-5/8" x 3'-0"	40 SF
	BANNER	7'-8" x 5'-6"	42 SF



## RaceTrac Elevation Calculations (July 2018)

### Front Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	536	32%	
Brick	732	44%	
EIFS	181	11%	11%
Fiber Cement	211	13%	
Total	1660	100%	11%

### Rear Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	489	28%	
Brick	1087	61%	
EIFS	182	10%	10%
Fiber Cement	15	1%	
Total	1773	100%	10%

### Right Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	277	24%	
Brick	688	60%	
EIFS	99	9%	9%
Fiber Cement	75	7%	
Total	1139	100%	9%

### Left Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	299	33%	
Brick	497	55%	
EIFS	112	12%	12%
Fiber Cement	0	0%	
Total	908	100%	12%





**RACETRAC**  
Rockwall, TX

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF MATERIAL SAMPLES PROVIDED.

