



SP2018-016 - THE SHIPMAN BUILDING
SITE PLAN - LOCATION MAP =



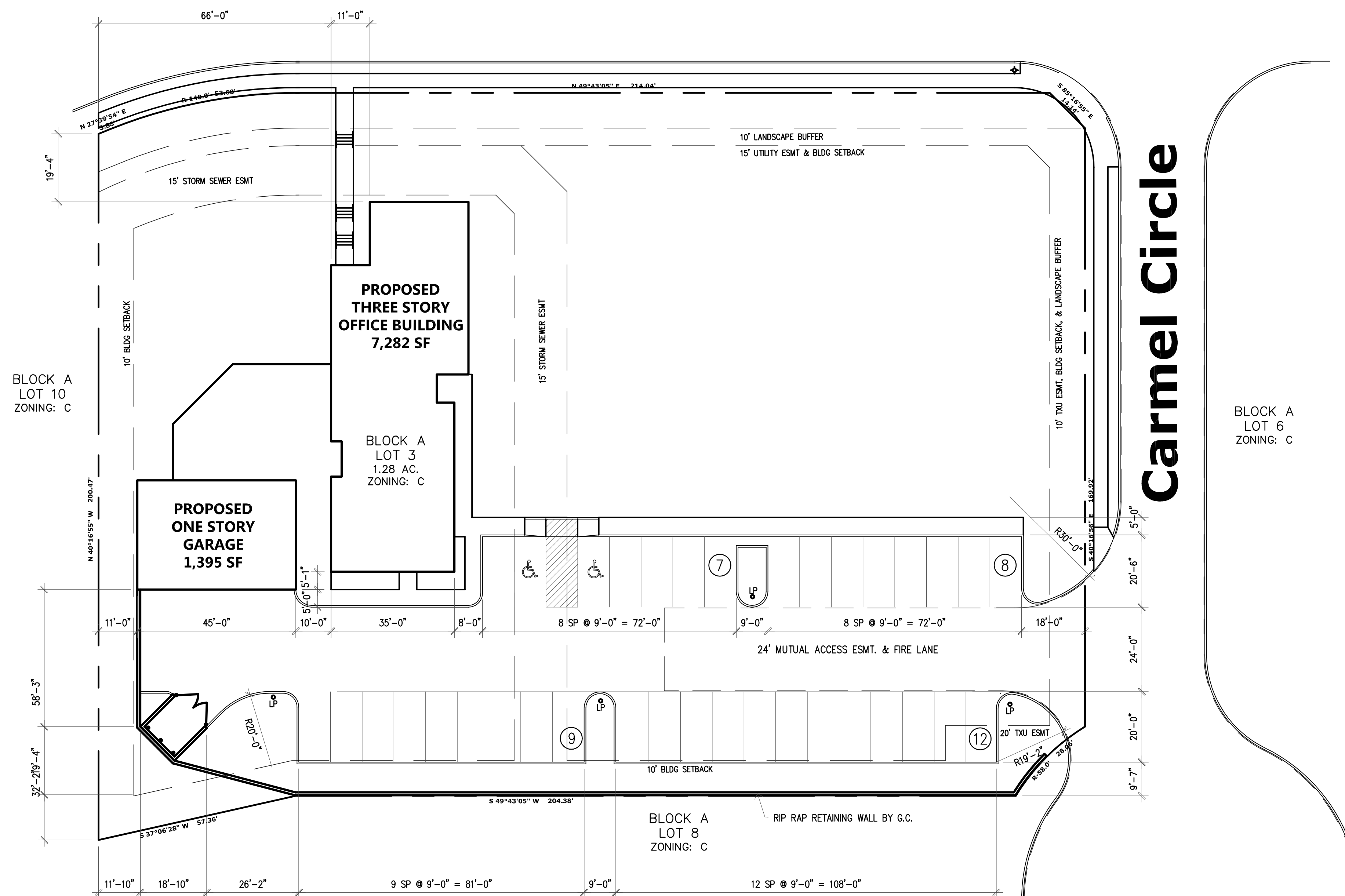
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

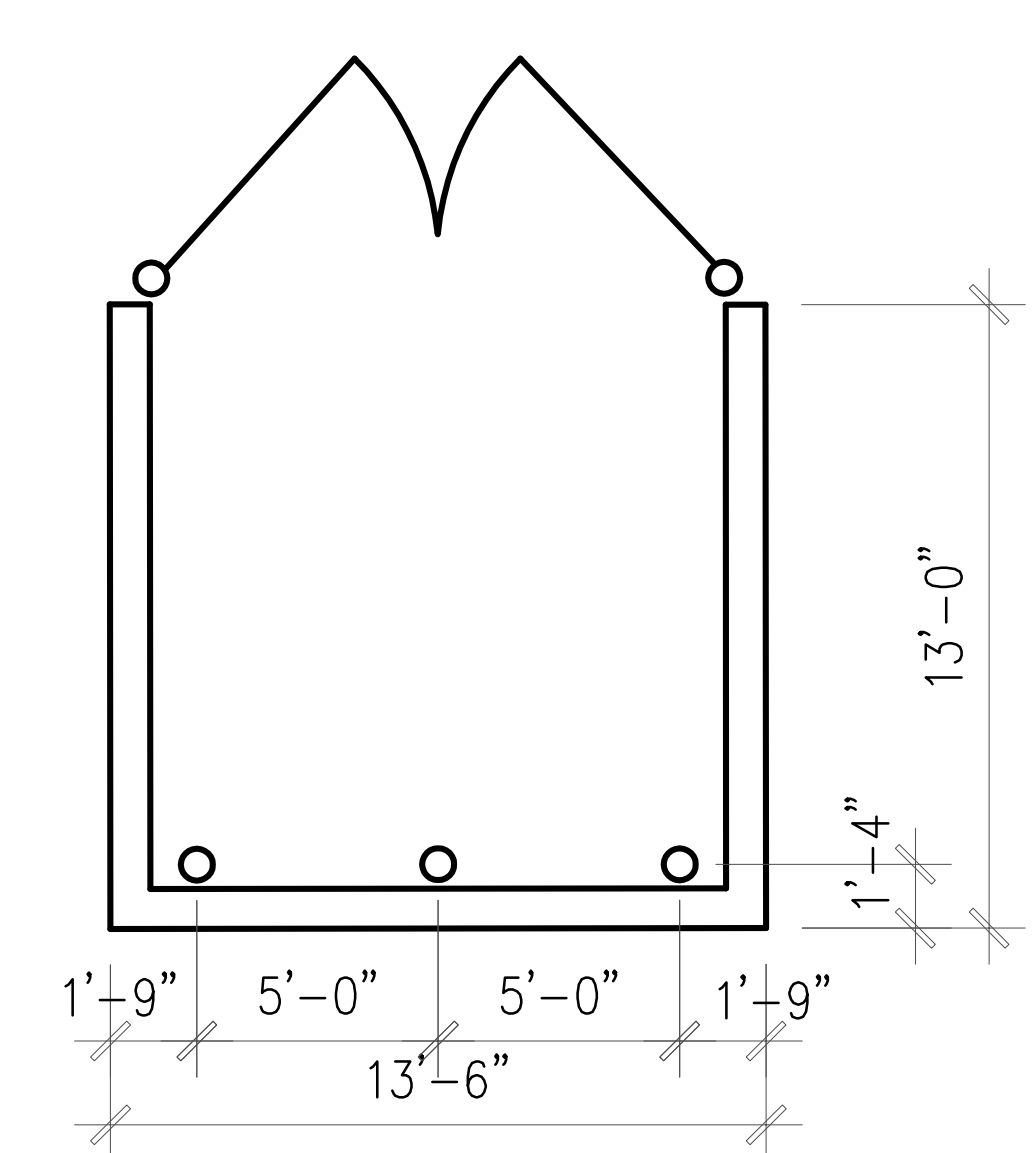
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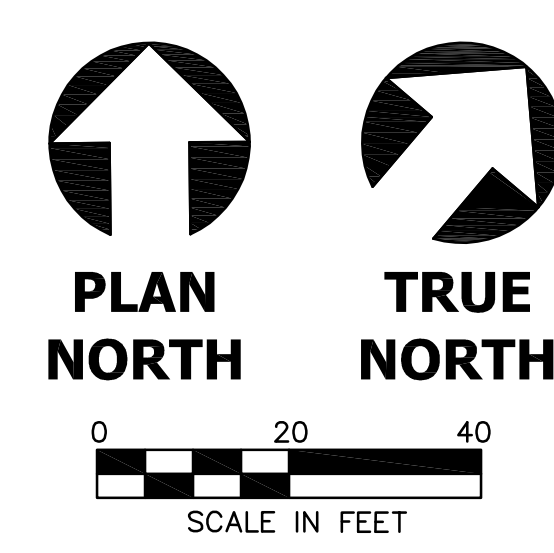
La Jolla Pointe Drive



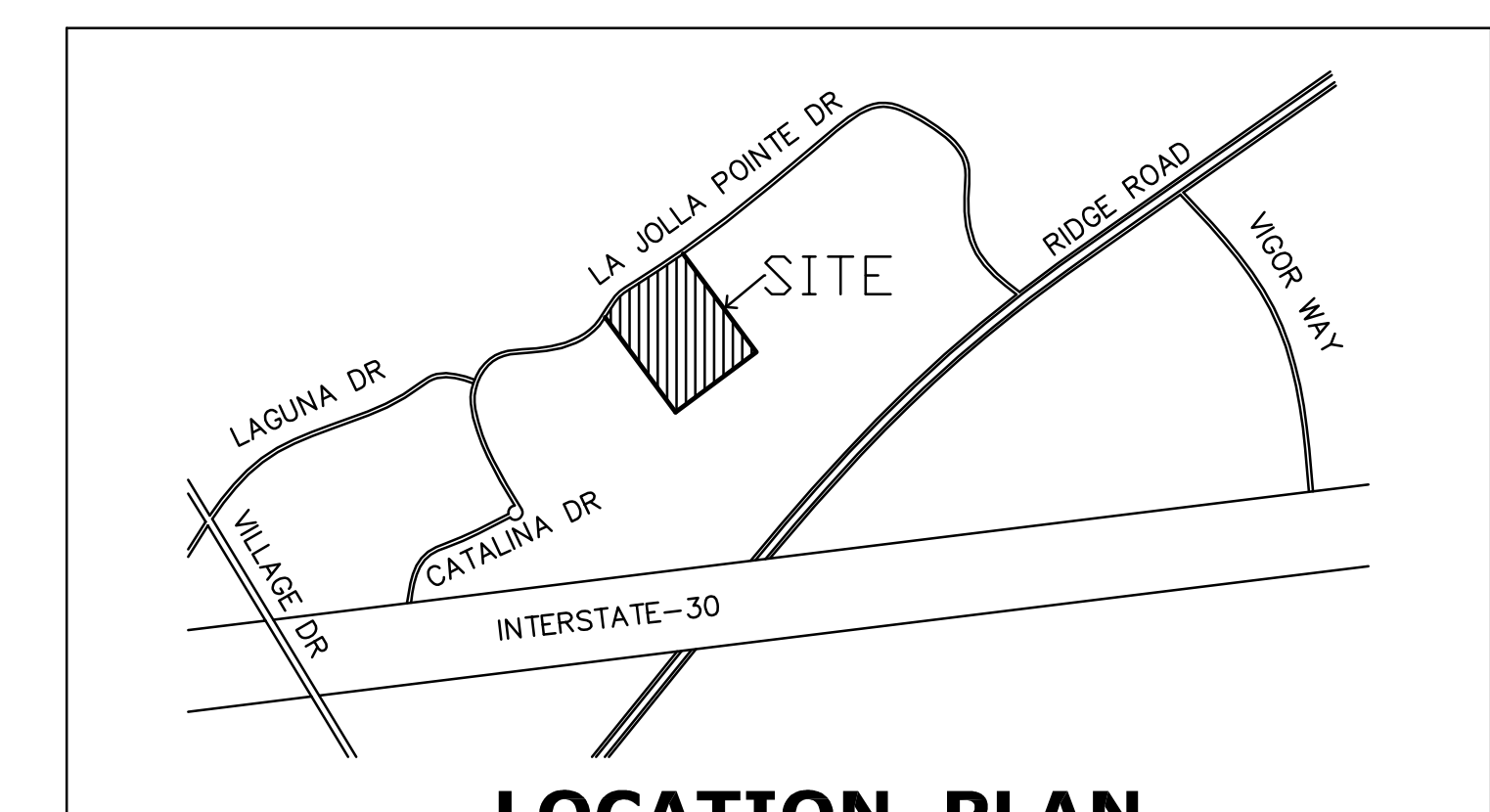
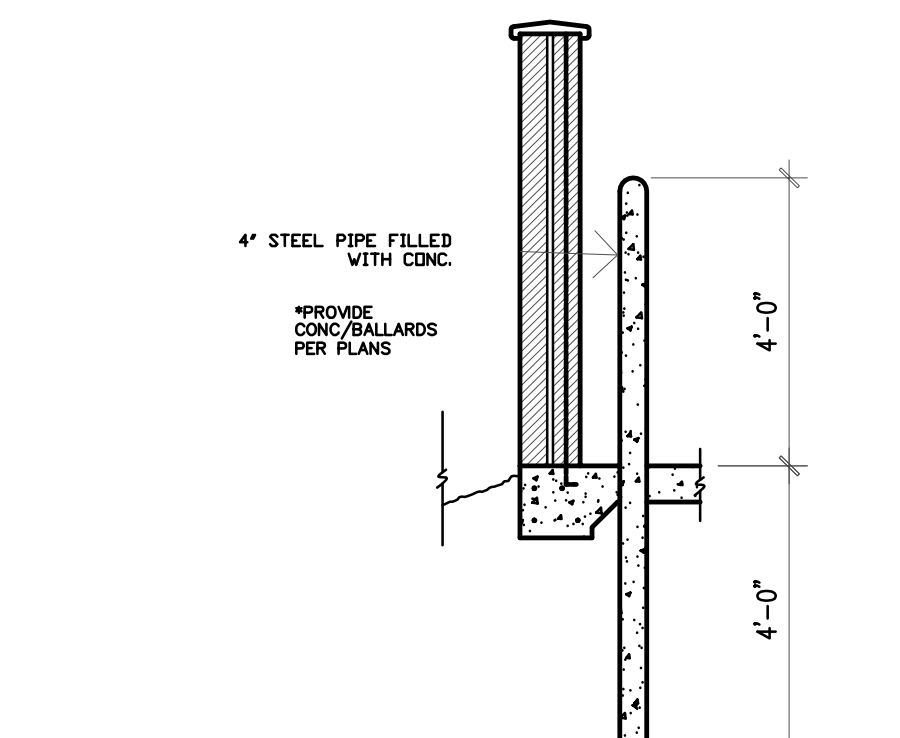
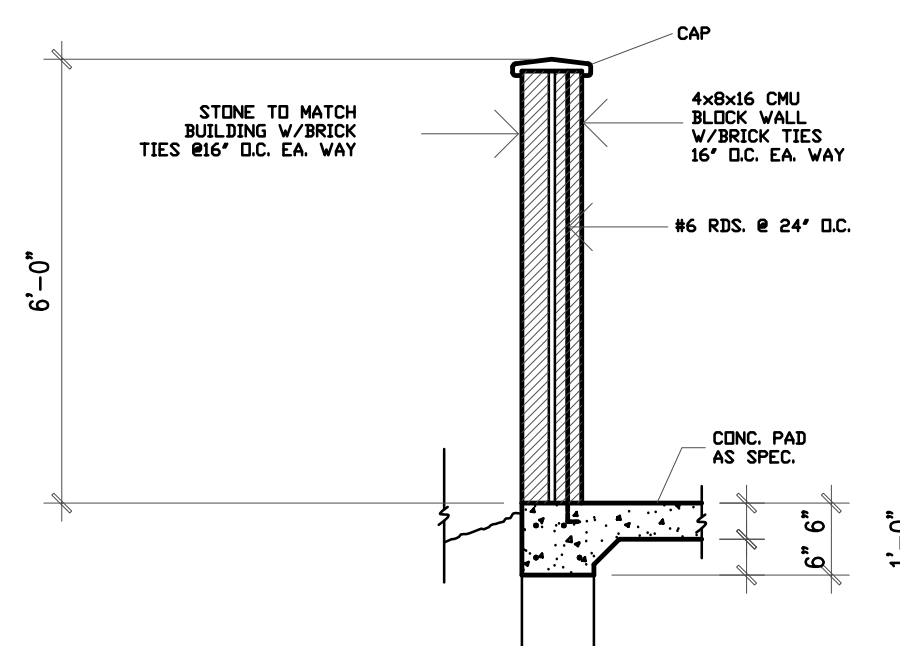
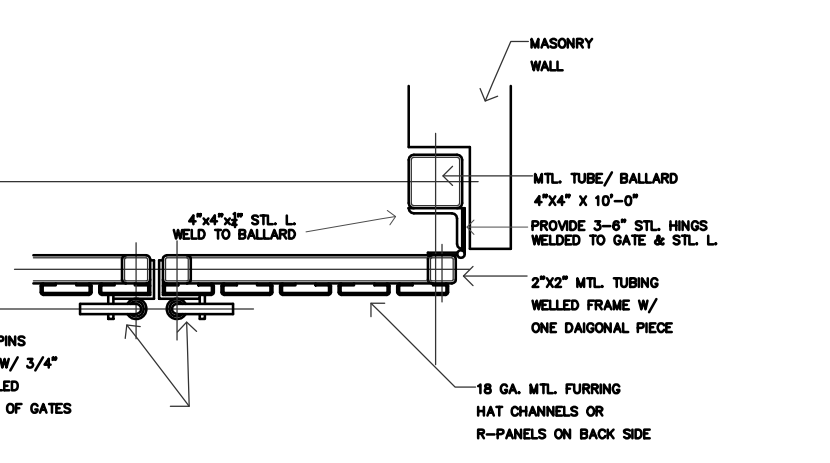
Carmel Circle



BLOCK A LOT 6
ZONING: C



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NOTE: ALL DIMENSIONS ARE TO FACE OF CURB
ALL SIDEWALKS SHALL BE 3,000 PSI CONC
MIN 5.5 SACK MIX.
ALL RADII ARE 4'-6" U.N.O.

ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

- ZONING: C - COMERCIAL
- PROPOSED USE: OFFICE
- PROPERTY AREA (GROSS): 55,757.0 SF 1.28 AC
- BUILDING AREA: 8,677 SF
- BUILDING HEIGHT: THREE STORY - 39'-0"
- LOT COVERAGE: 8.5% F.A.R. = 0.009:1
- PARKING REQUIRED: 1 SPACE/300 = 24 SPACES REQUIRED
- HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
- TOTAL PARKING PROVIDED: 40 SPACES
- TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 21,963 SF

LA JOLLA POINTE ADDITION PHASE 2
BEING A 1.28 AC. TRACT OF LAND SITUATED IN THE WILLIAM BLEVINS SURVEY, ABST. NO. 9, LOT 3, BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
SHIPMAN GROUP, INC.
10000 EL PASO DRIVE
DALLAS, TEXAS 75268
CASE #

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RESIDENTIAL RESTAURANTS ARCHITECTS
INSTITUTIONAL ARCHITECTS

MEDICAL COMMERCIAL CHURCHES
MERSHAWN ARCHITECTS

2313 RIDGE ROAD #103
ROCKWALL, TEXAS 75087
PHONE: 972-722-9302
FAX: 972-249-2051

No.	Date	Revision	By


SHIPMAN OFFICE BUILDING
ROCKWALL, TEXAS


SITE PLAN


Scale: 1" = 20'-0"
Date: 04/16/2018
Project No.: 180402
Designed: GW
Drawn: GW
Checked: WM

SHEET **A1** OF **31**


 EXISTING TREE TO REMAIN
REFER TO TREE MITIGATION PLAN

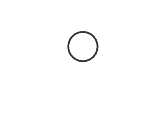
 BURR OAKS (17)
INSTALLED WITH A MIN. 3"
CALIPER

 LIVE OAKS (39)
INSTALLED WITH A MIN. 3"
CALIPER

 RED BUD (5)
4' HIGH @ INSTALLATION

 MEXICAN PLUM (3)
4' HIGH @ INSTALLATION

 INDIAN HAWTHORNE (8)
PLANTS SHALL BE A MINIMUM
OF 3-GALLONS & SHALL
CREATE A MINIMUM 2' TALL SCREEN
WITHIN TWO YEARS OF PLANTING.
SHALL BE PLANTED @ 36" O.C.

 BOXWOOD BUSH (3)
PLANTS SHALL BE A MINIMUM
OF 3-GALLONS & SHALL
CREATE A MINIMUM 2' TALL SCREEN
WITHIN TWO YEARS OF PLANTING.
SHALL BE PLANTED @ 36" O.C.

NOTE: 56 TREES PROVIDED TOWARDS
MITIGATION TOTALING 168" CALIPER
226" REMAINING.

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL
SHALL BE HYDROMULCHED, BERMUDA.

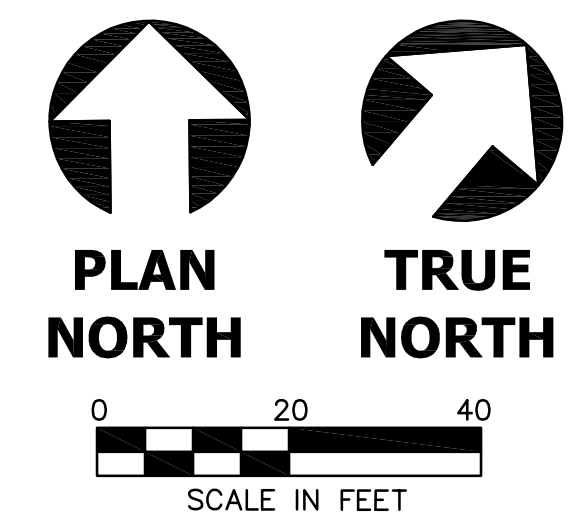
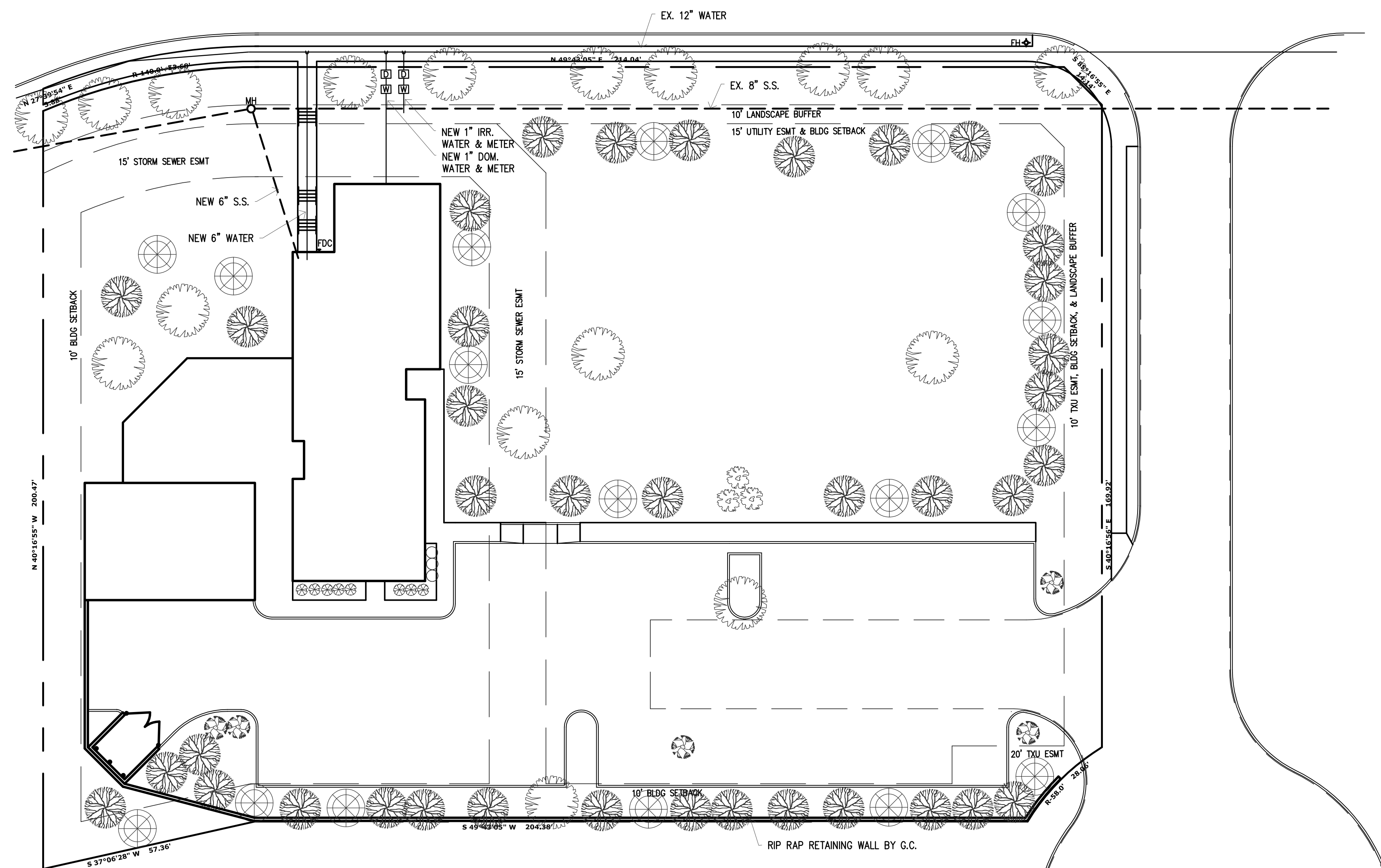
IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE
USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL
PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN
AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES
AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN
WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER
THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

La Jolla Pointe Drive



		REQUIRED	PROVIDED
1.	STREET TREES 1 CANOPY PER 50'	6	6
2.	SITE TREES - ONE TREE W/ A CALIPER OF AT LEAST 2" FOR EACH 20,000 SF OF PARKING. 1 PER EVERY TEN REQ. PARKING SPACES	3	3
3.	LANDSCAPE BUFFER	15'	15'
4.	SCREENING OF OFF STREET PARKING	YES	YES
5.	TOTAL LANDSCAPE AREA 20% REQUIRED	55,757 SF	8,363 SF

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10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 21,963 SF

LA JOLLA POINTE ADDITION PHASE 2

BEING A 1.28 AC. TRACT OF LAND SITUATED IN THE
WILLIAM BLEVINS SURVEY, ABST. NO. 9, LOT 3, BLOCK 4
IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
SHIPMAN GROUP, INC.
10000 EL PASO DRIVE
DALLAS, TEXAS 75260
CASE #

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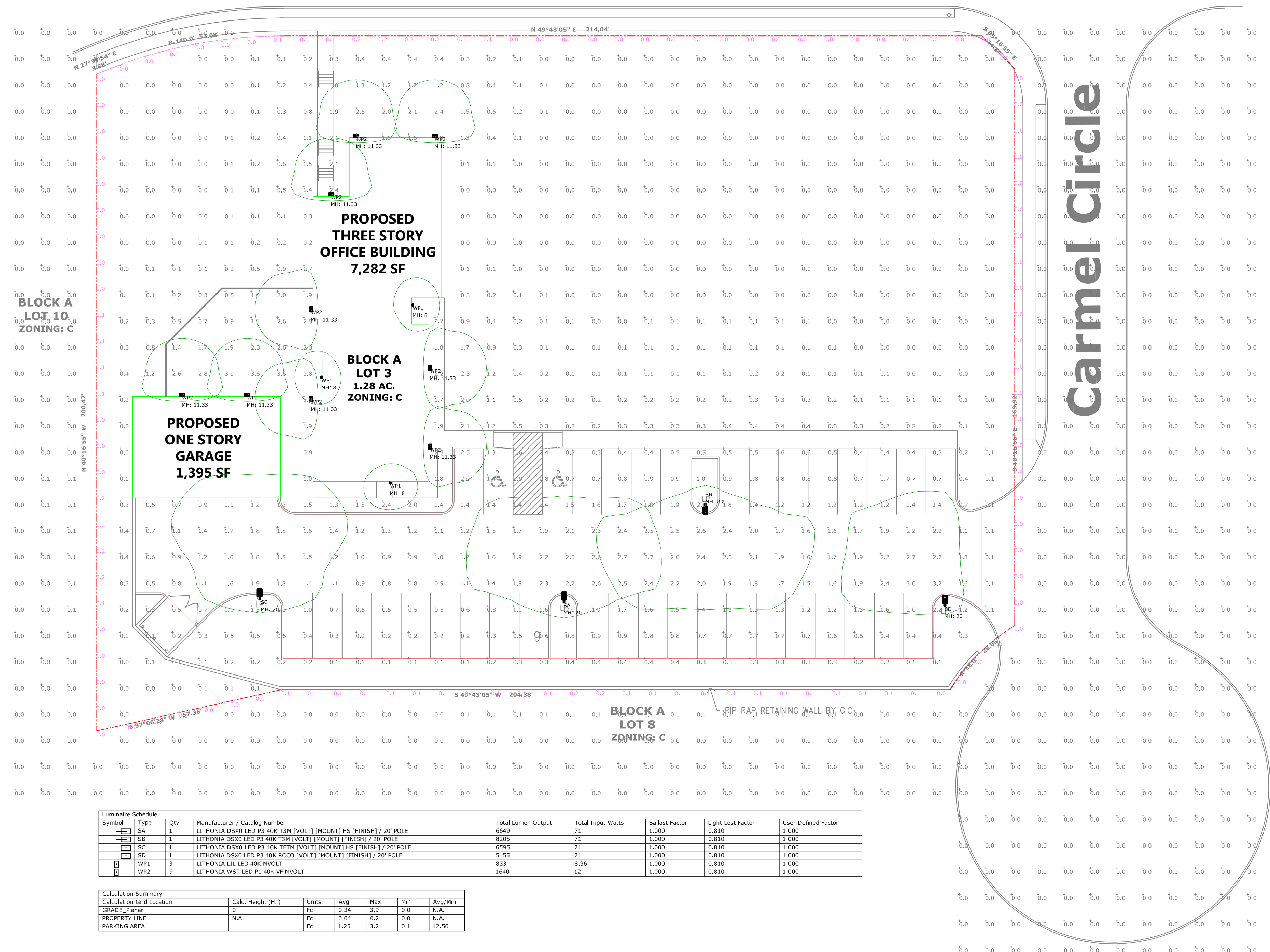
No.	Date	Revision	By

SHIPMAN OFFICE BUILDING
ROCKWALL, TEXAS
LANDSCAPE PLAN

Scale: 1" = 20'-0"
Date: 04/16/2018
Project No.: 180402
Designed: GW
Drawn: GW
Checked: WM

SHEET
L1 OF
2

La Jolla Pointe Drive

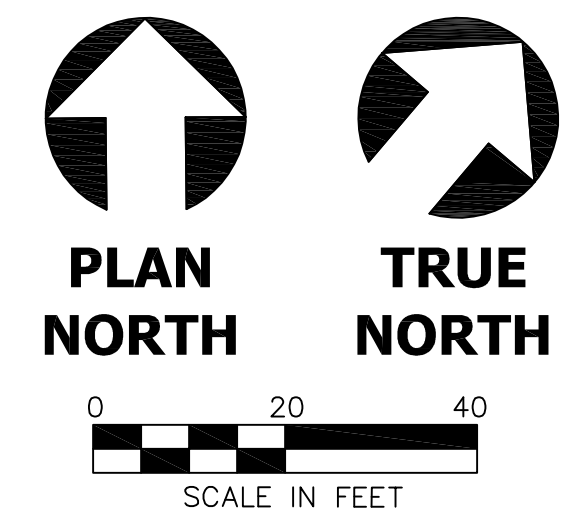


Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Loss Factor	User Defined Factor
SA	1	1	LITHONIA DSKO LED P3 40K T3M [VOLT] [MOUNT] HS [FINISH] / 20' POLE	6649	71	1.000	0.810	1.000
SB	1	1	LITHONIA DSKO LED P3 40K T3M [VOLT] [MOUNT] [FINISH] / 20' POLE	8205	71	1.000	0.810	1.000
SC	1	1	LITHONIA DSKO LED P3 40K T3M [VOLT] [MOUNT] HS [FINISH] / 20' POLE	6595	71	1.000	0.810	1.000
SD	1	1	LITHONIA DSKO LED P3 40K RCCO [VOLT] [MOUNT] [FINISH] / 20' POLE	5155	71	1.000	0.810	1.000
WP1	3	3	LITHONIA LLL LED 40K MVOLT	833	8.36	1.000	0.810	1.000
WP2	9	9	LITHONIA WST LED P3 40K VF FVOLT	1640	12	1.000	0.810	1.000

Calculation Summary							
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	
GRADE: FINER	0	Fc	0.36	3.9	0.0	N.A.	
PROPERTY LINE	N.A.	Fc	0.04	0.2	0.0	N.A.	
PARKING AREA		Fc	1.25	3.2	0.1	12.50	

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PHASE 2

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OWNER
SHIPMAN GROUP, INC.
2020 GULFWIND DRIVE
DALLAS, TEXAS 75260
CASE #

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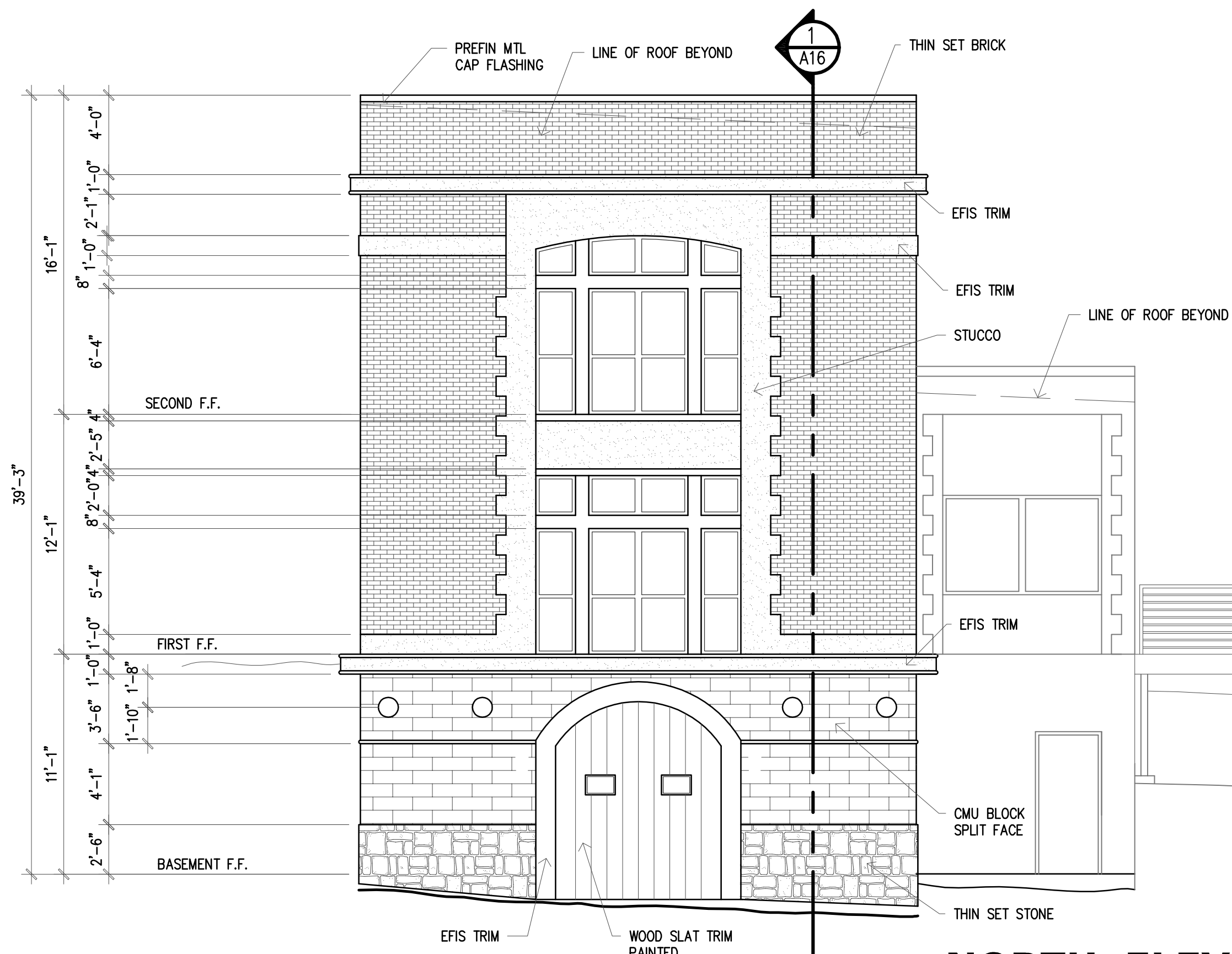
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ROCKWALL, TEXAS

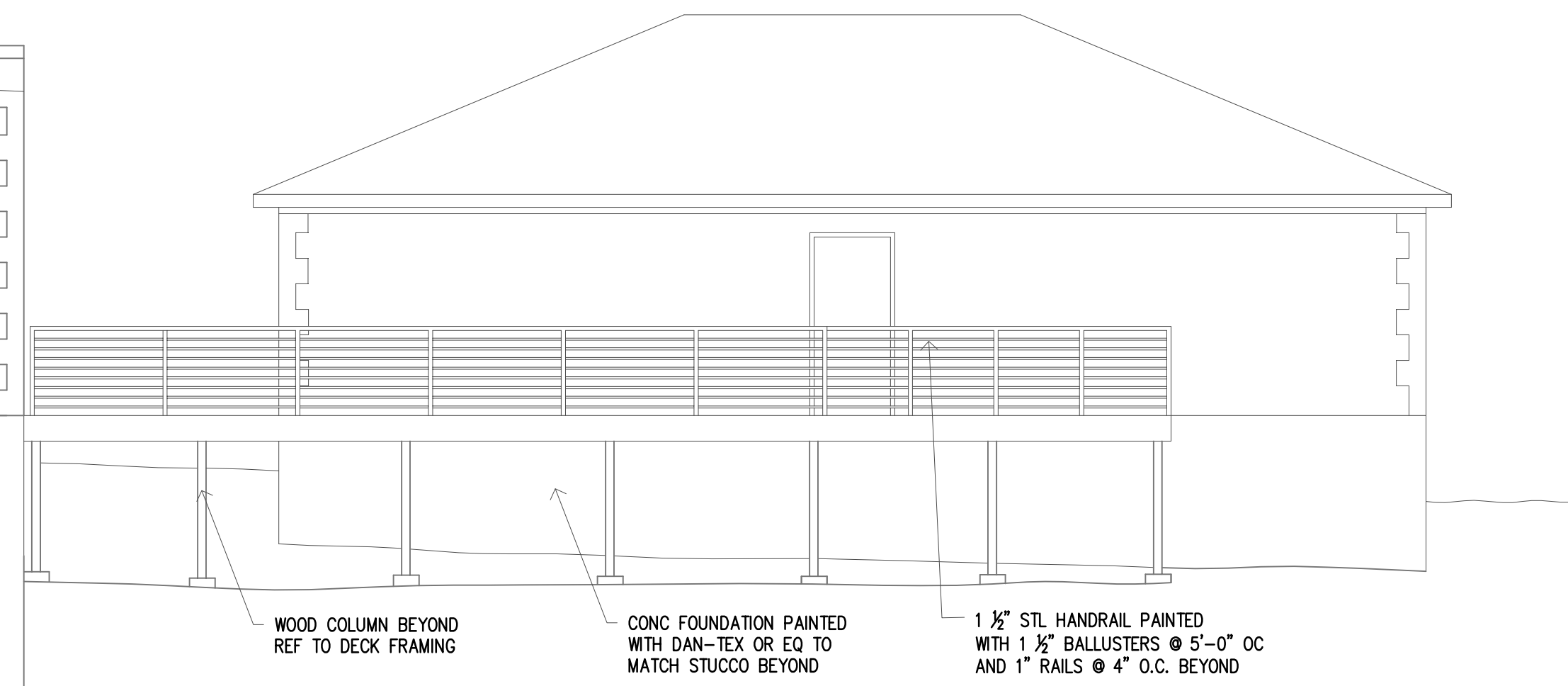
PHOTOMETRIC
SITE PLAN

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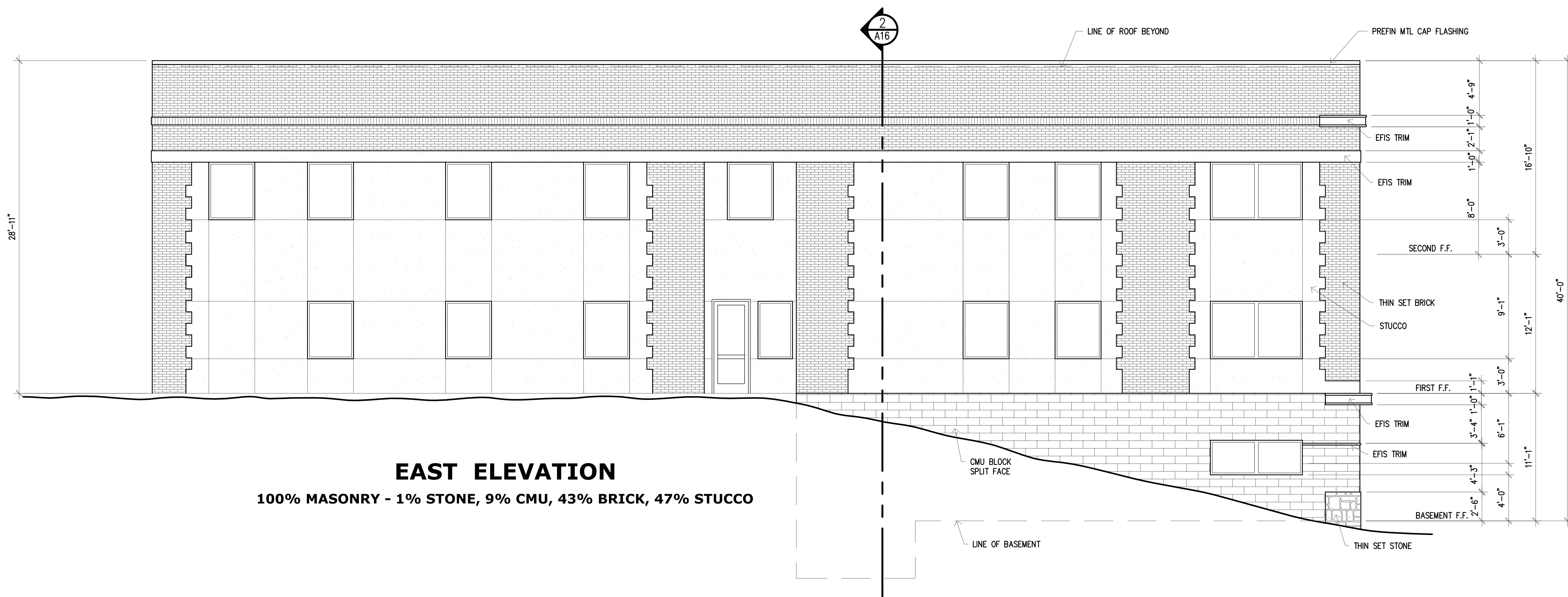
CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



NORTH ELEVATION (STREET FACING)
 100% MASONRY - 6% STONE, 19% CMU, 33% STUCCO, 42% BRICK



WEST ELEVATION



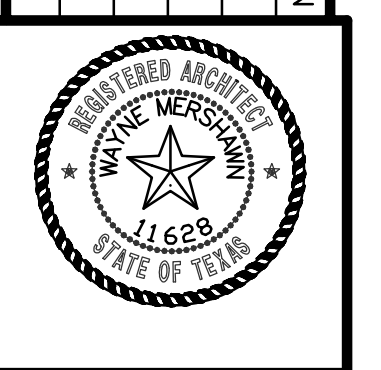
EAST ELEVATION
 100% MASONRY - 1% STONE, 9% CMU, 43% BRICK, 47% STUCCO

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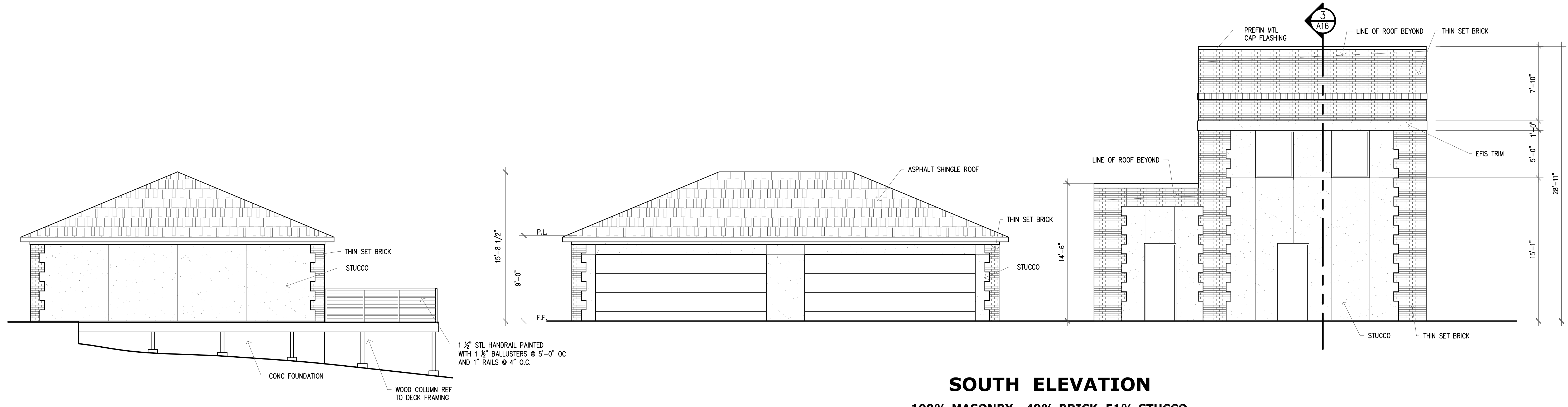


SHIPMAN OFFICE BUILDING
 ROCKWALL, TEXAS

EXTERIOR ELEVATIONS

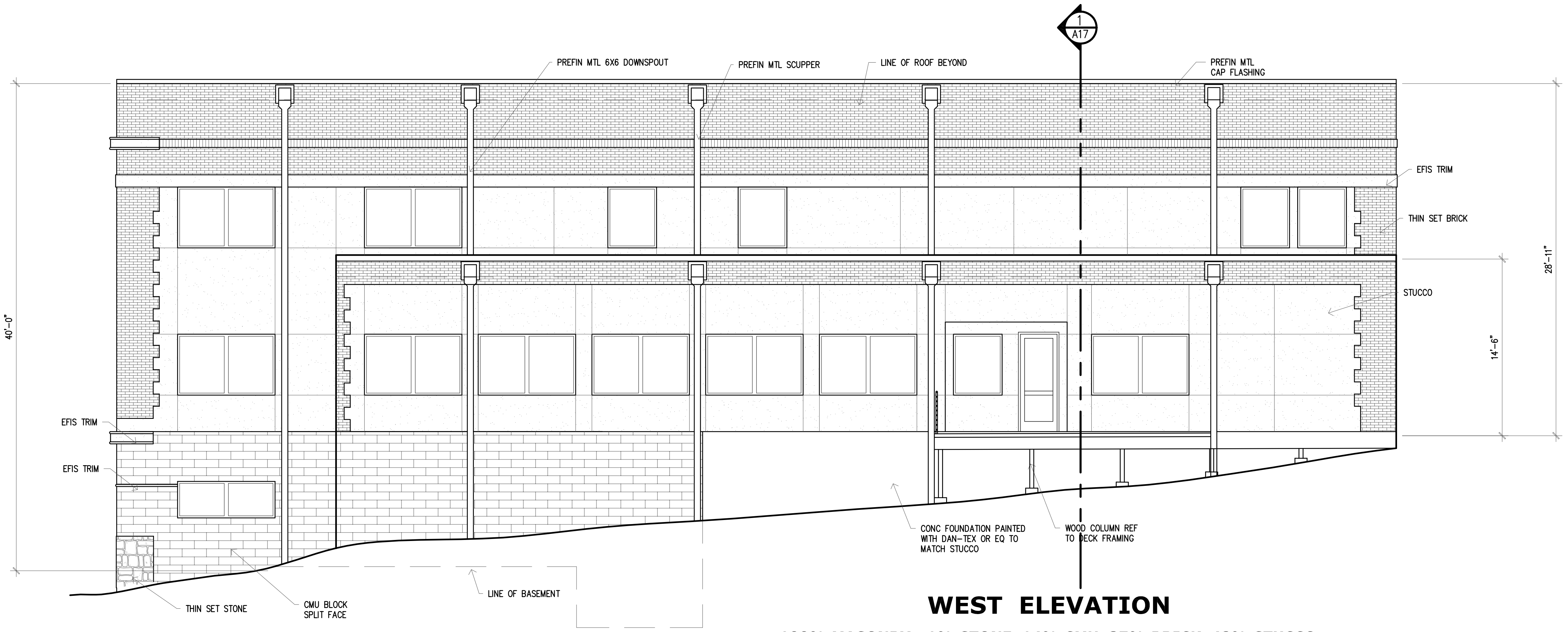
Scale:	3/16" = 1'-0"
Date:	04/16/2018
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Designed:	GW
Drawn:	W
Checked:	WM

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SOUTH ELEVATION
100% MASONRY - 49% BRICK, 51% STUCCO

EAST ELEVATION



WEST ELEVATION
100% MASONRY - 1% STONE, 14% CMU, 37% BRICK, 48% STUCCO

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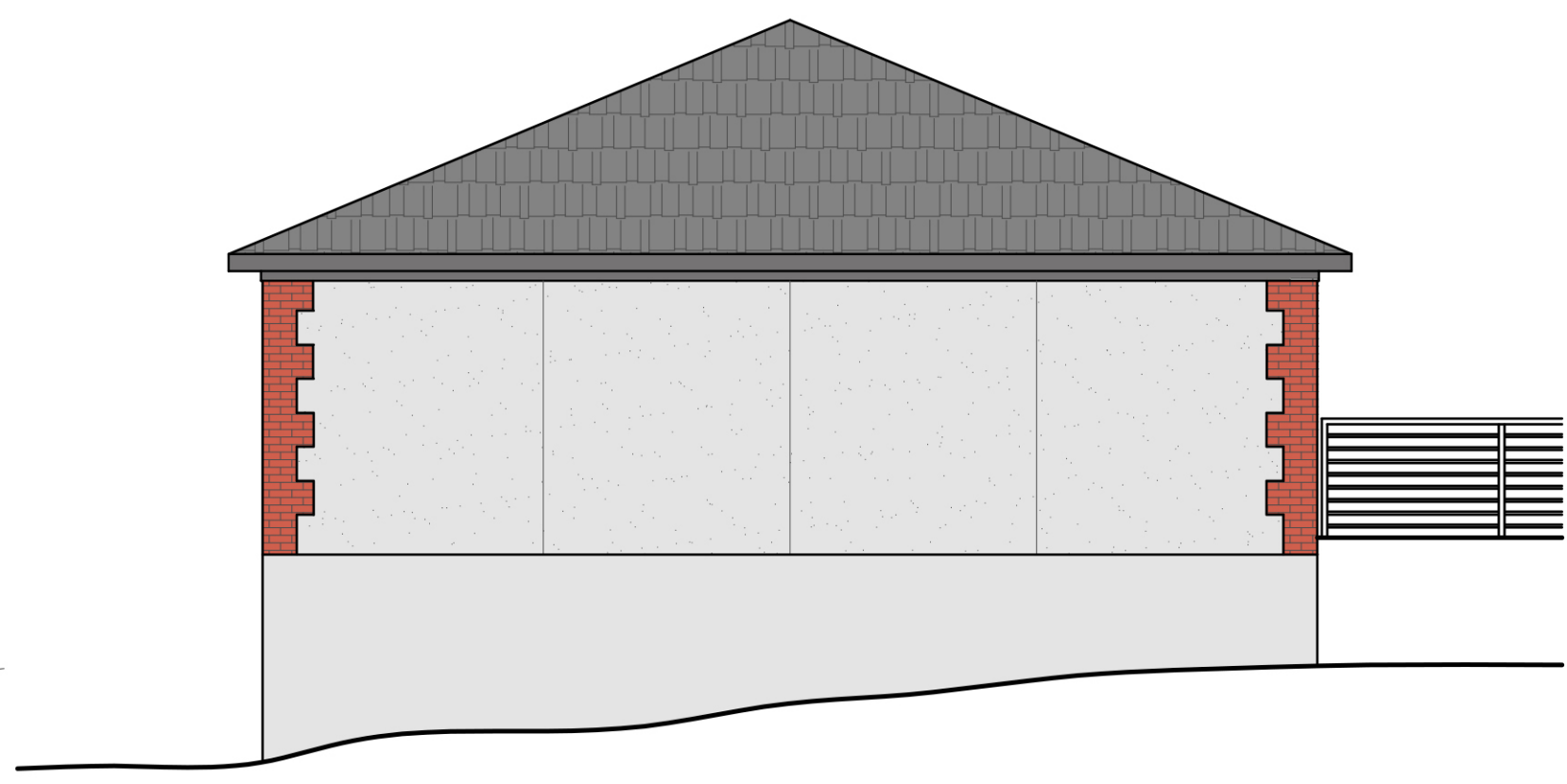
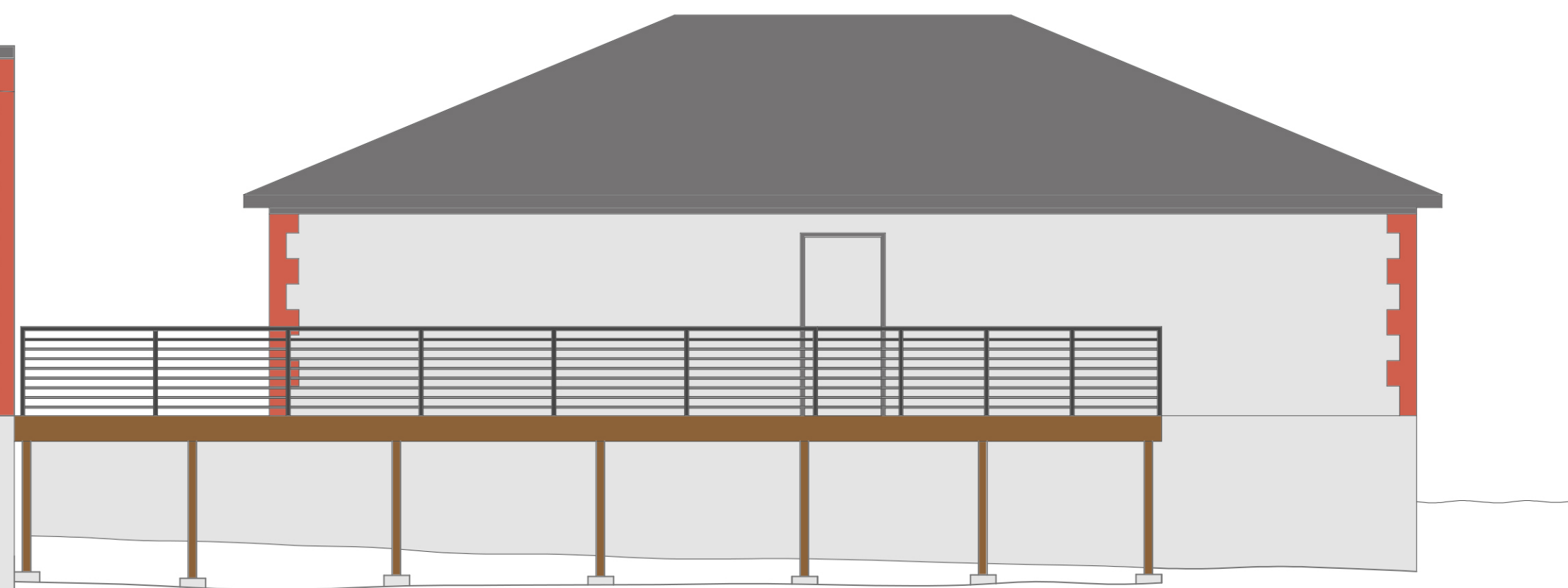
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SHEET **A7** OF **31**

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NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

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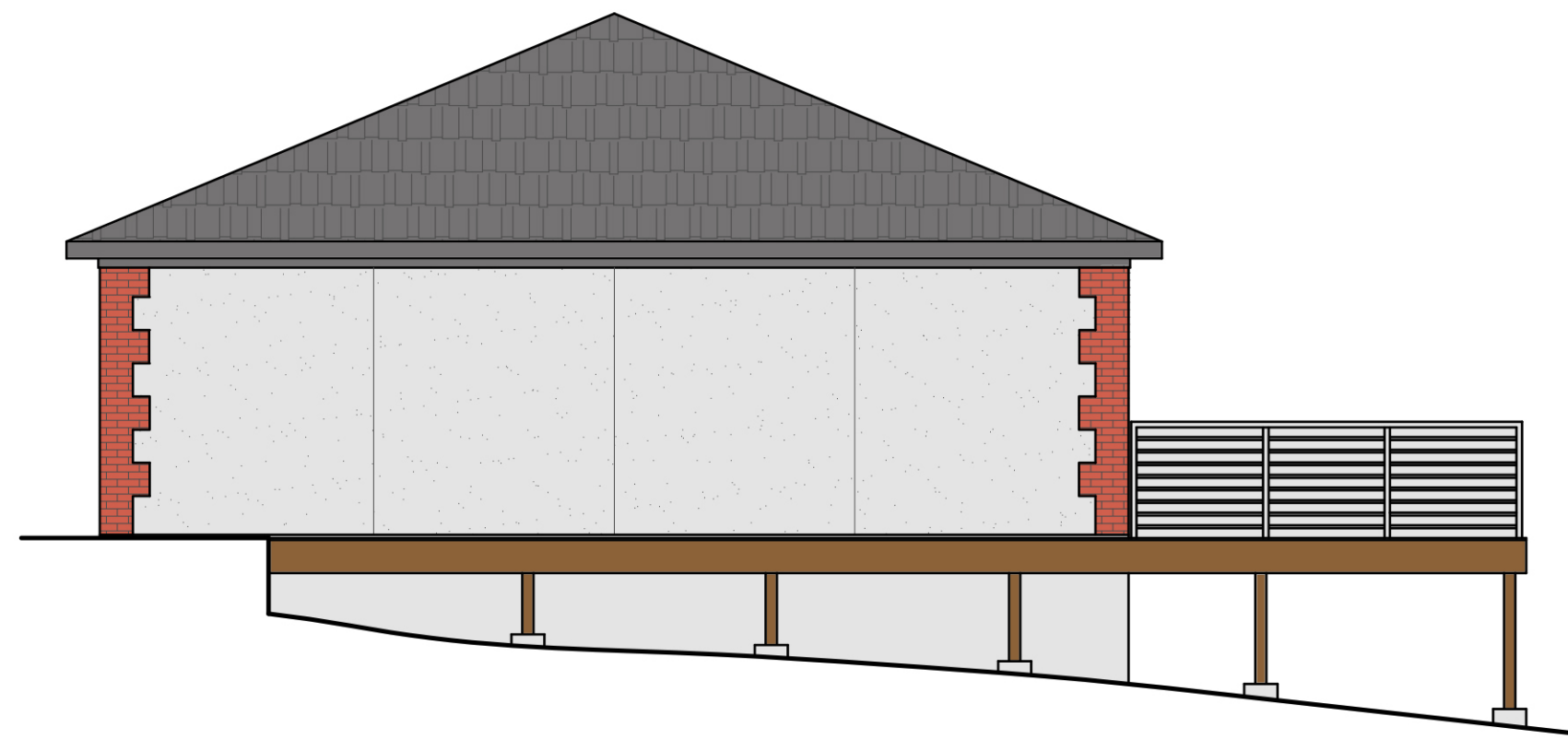


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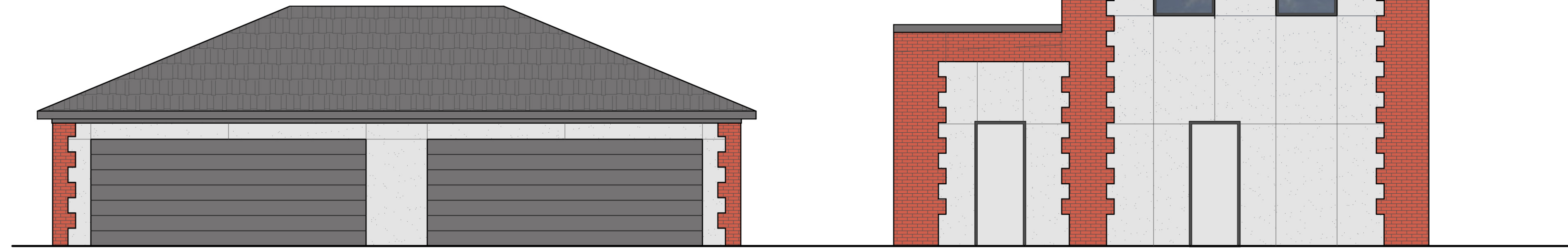
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EAST ELEVATION



SOUTH ELEVATION



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