

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

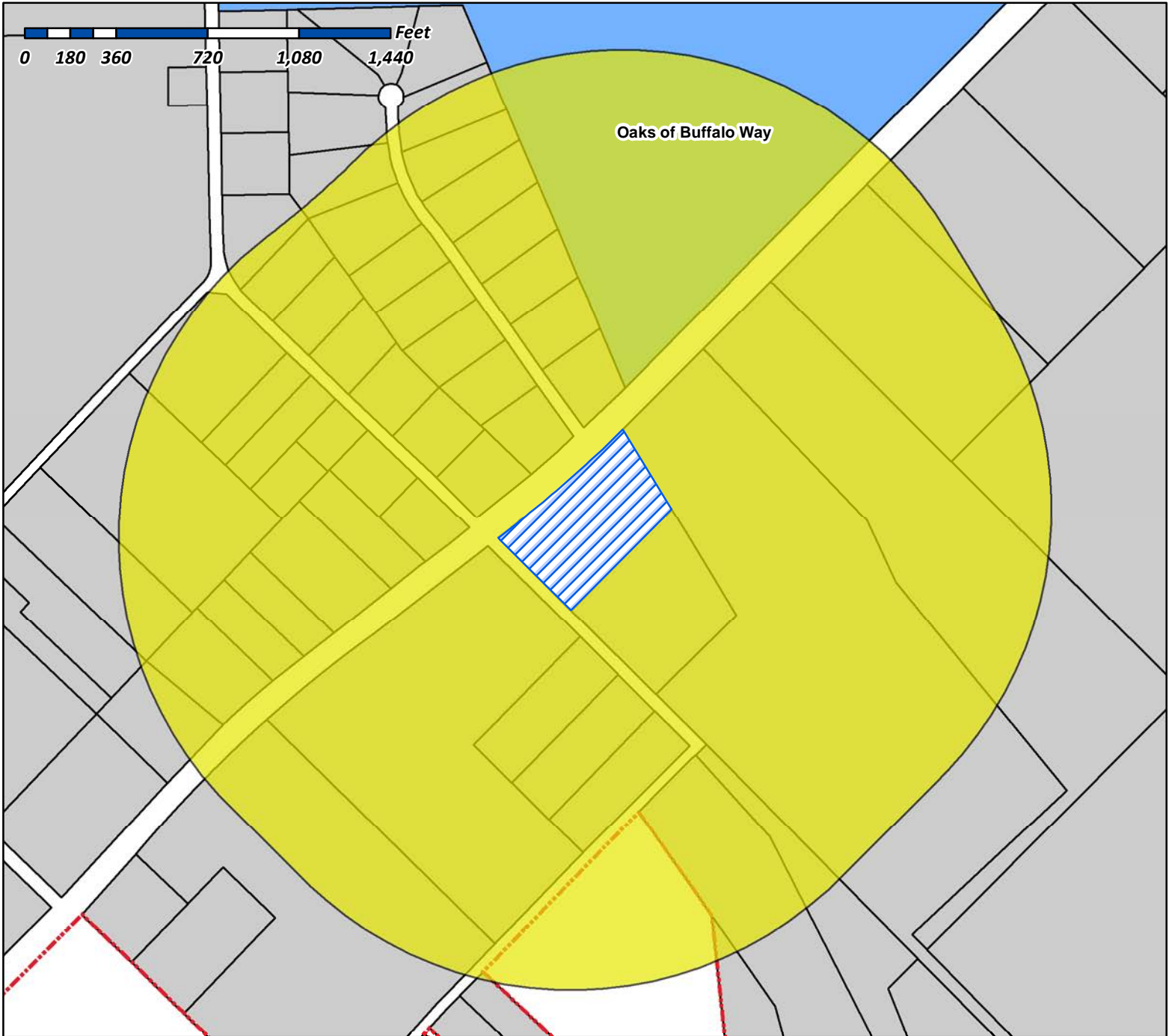
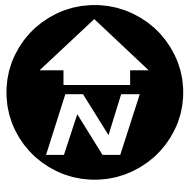




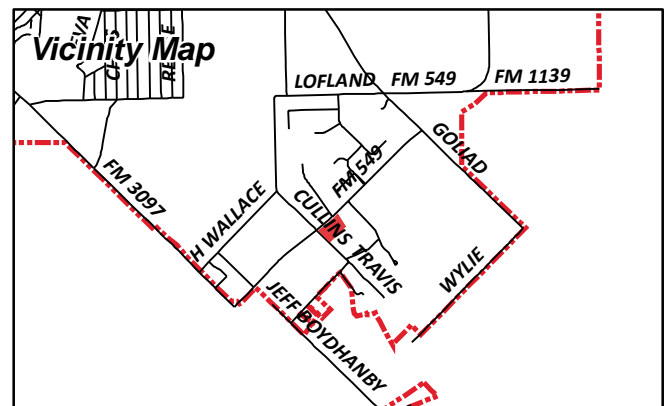
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Case Number: Z2016-002
Case Name: 453 Cullins Rd.
Case Type: Specific Use Permit
Zoning: SFE-2.0
Case Address: 453 Cullins Rd.



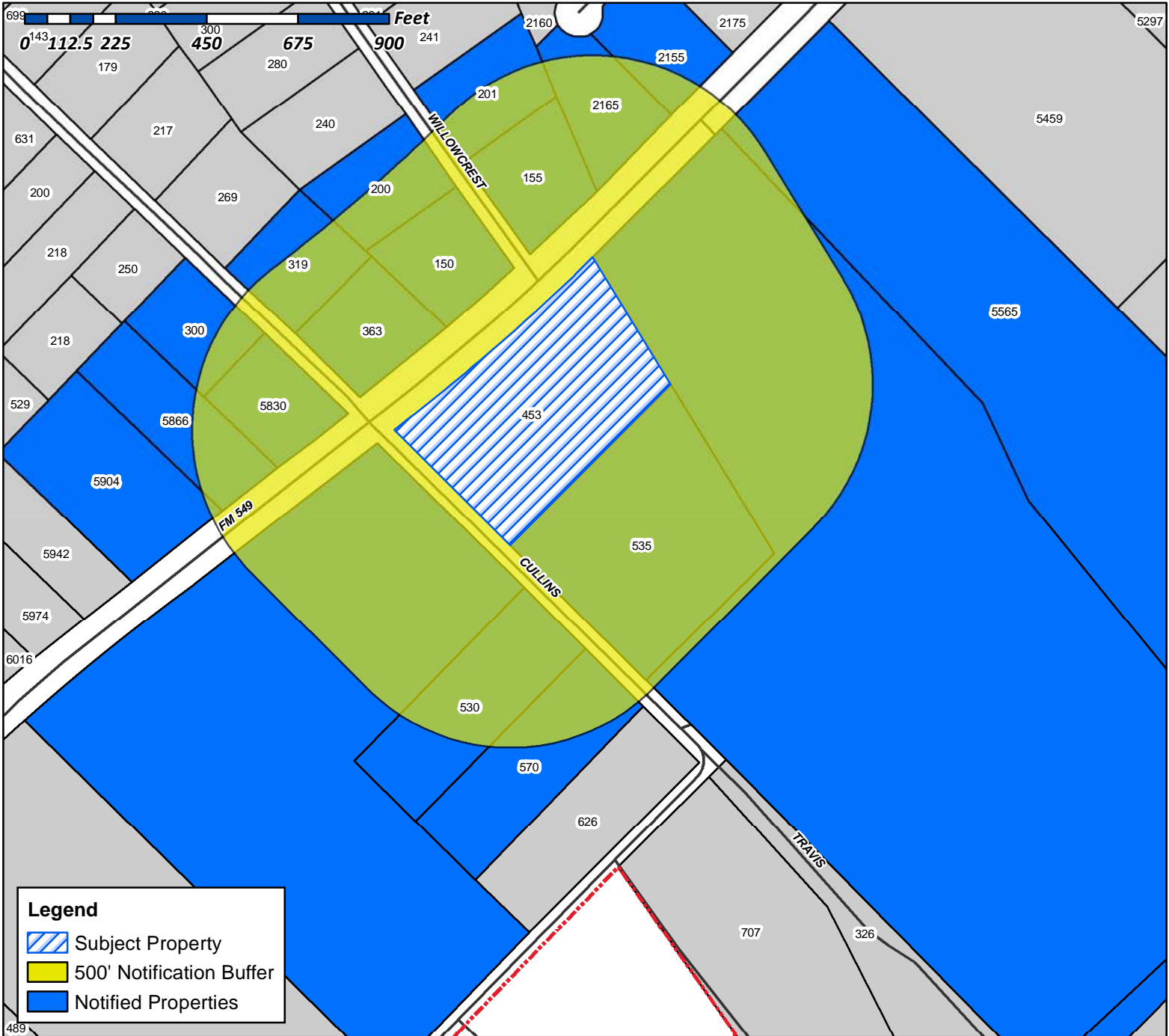
Date Created: 01/15/2016
For Questions on this Case Call (972) 771-7745



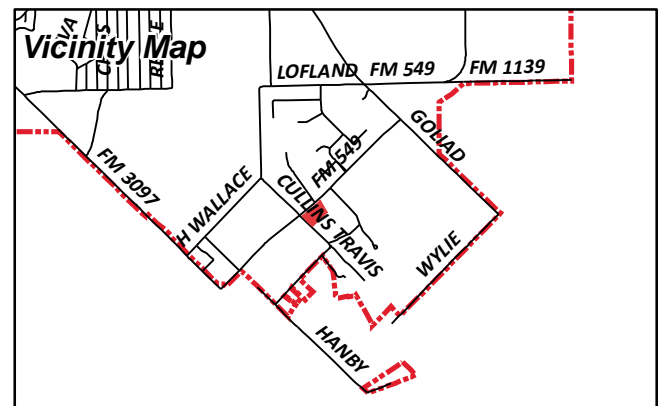
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JOHNSON LEWIS & JULIE
150 WILLOWCREST
ROCKWALL, TX 75032

HADDOCK HOWARD J & JOAN W TRUSTEES
HADDOCK FAMILY LIVING TRUST
155 WILLOWCREST
ROCKWALL, TX 75032

CONFIDENTIAL
200 WILLOWCREST
ROCKWALL, TX 75032

MUELLER JOHN H
201 WWILLOWCREST LN
ROCKWALL, TX 75032

EVERETT MATTHEW & AIMEE
2155 ARROWHEAD COURT
ROCKWALL, TX 75032

FLEMING KATHI
2165 ARROWHEAD CT
ROCKWALL, TX 75032

STREETT RICHARD A & LYNN F
300 CULLINS RD
ROCKWALL, TX 75032

HUME BOBBY G SR & GLENDA J
319 CULLINS RD
ROCKWALL, TX 75032

LEE SHERRIE
363 CULLINS RD
ROCKWALL, TX 75032

PRICE BOBBY DALE & BRETТА JEAN
453 CULLINS RD
ROCKWALL, TX 75032

SHOCKLEY GREGORY AND
AYAKA MATSUNO
530 CULLINS ROAD
ROCKWALL, TX 75032

WILSON BRET A & LESLIE
535 CULLINS RD
ROCKWALL, TX 75032

CURRENT RESIDENT
5565 S FM549
ROCKWALL, TX 75032

WESTRUP CAROLE LYNN AND
MICAHEL EDGAR
570 CULLINS ROAD
ROCKWALL, TX 75032

HUGHES ERNEST W & SUSAN
5830 S FM 549
ROCKWALL, TX 75032

BRINKLEY JAMES & BRENDA
5866 SOUTH FM 549
ROCKWALL, TX 75032

MOODY KELLY E & KIMBERLY MOODY
5904 S FM 549
ROCKWALL, TX 75032

ROCKWALL HIGHGATE LTD
C/O SCOTT ASBURY
6210 PRESTON CREEK DR
DALLAS, TX 75240

POPE TONY W & KARREN L
626 E CULLINS ROAD
ROCKWALL, TX 75032

January 5, 2016

Mr. David Gonzales
Senior Planner
Planning and Zoning Division
City of Rockwall
385 S. Goliad St
Rockwall TX 75087

Dear Mr. Gonzales:

This letter is to request a specific use permit for our current residence at 453 Cullins Rd., Rockwall TX 75032. The specific use will be for a new structure to be built on the existing site (5.5 acres) which contains approximately 648 square feet for a mother-in-law suite and a garage space of approximately 1,793 square feet. The proposed building is a one story building.

The garage area of the building will be used for storage of tractors and implements. The mother-in-law suite will be used for housing my ailing mother-in-law.

Please let me know if you require additional information.

Thank you.



Bretta Price
453 Cullins Rd.
Rockwall TX 75032
bprice@bpcap.net
214-476-4745

EXHIBIT "A"

BEING a 5.500 acre tract of land out of the W.W. FORD SURVEY, Abstract No. 80, Rockwall County, Texas, and further being part of a 317.449 acre tract of land conveyed by deed to Mark Lanning as recorded in Volume 903, Page 114, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at the intersection of the southwest line of F.M. Road 549 with the centerline of East Cullins Road, said point being the most westerly corner of said 317.449 acre tract;

THENCE, N52°23'36"E, 56.98 feet along the southeasterly right-of-way line of said F.M. 549 to right-of-way marker, said marker being the beginning of a curve to the left having a radius of 5796.43 feet and a central angle of 06°06'08";

THENCE along said curve and right-of-way line of said F.M. Road 549 for an arc length of 617.09 feet to a 1/2 inch iron rod set;

THENCE S31°25'14"E, 371.06 feet leaving the southeasterly right-of-way line of said F.M. Road 549 and along a fence line to a 1/2 inch iron rod set for corner;

THENCE, S44°58'51"W, 583.28 feet to a 1/2 inch iron rod set for corner, said iron rod being the centerline of said Cullins Road;

THENCE, N45°11'09"W, 413.56 feet along the centerline of said Cullins Road the POINT OF BEGINNING and containing 5.500 acres of land, more or less.

Bearings based on Texas State Plane Coordinate System. (North Central Zone)

LEGAL DESCRIPTION

BEING a 5.500 acre tract of land out of the W.W. FORD SURVEY, Abstract No. 80, Rockwall County, Texas, and further being part of a 317.449 acre tract of land conveyed by deed to Mark Lanning as recorded in Volume 903, Page 114, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at the intersection of the southwest line of F.M. Road 549 with the centerline of East Cullins Road, said point being the most westerly corner of said 317.449 acre tract;

THENCE, N52°23'36"E, 56.98 feet along the southeasterly right-of-way line of said F.M. 549 to right-of-way marker, said marker being the beginning of a curve to the left having a radius of 5796.43 feet and a central angle of 06°06'08";

THENCE along said curve and right-of-way line of said F.M. Road 549 for an arc length of 617.09 feet to a 1/2 inch iron rod set;

THENCE S31°25'14"E, 371.06 feet leaving the southeasterly right-of-way line of said F.M. Road 549 and along a fence line to a 1/2 inch iron rod set for corner;

THENCE, S44°58'51"W, 583.28 feet to a 1/2 inch iron rod set for corner, said iron rod being the centerline of said Cullins Road;

THENCE, N45°11'09"W, 413.56 feet along the centerline of said Cullins Road the POINT OF BEGINNING and containing 5.500 acres of land, more or less.

Bearings based on Texas State Plane Coordinate System. (North Central Zone)

TO THE BEST OF MY KNOWLEDGE THE FOLLOWING EASEMENTS DO NOT AFFECT THIS PROPERTY:

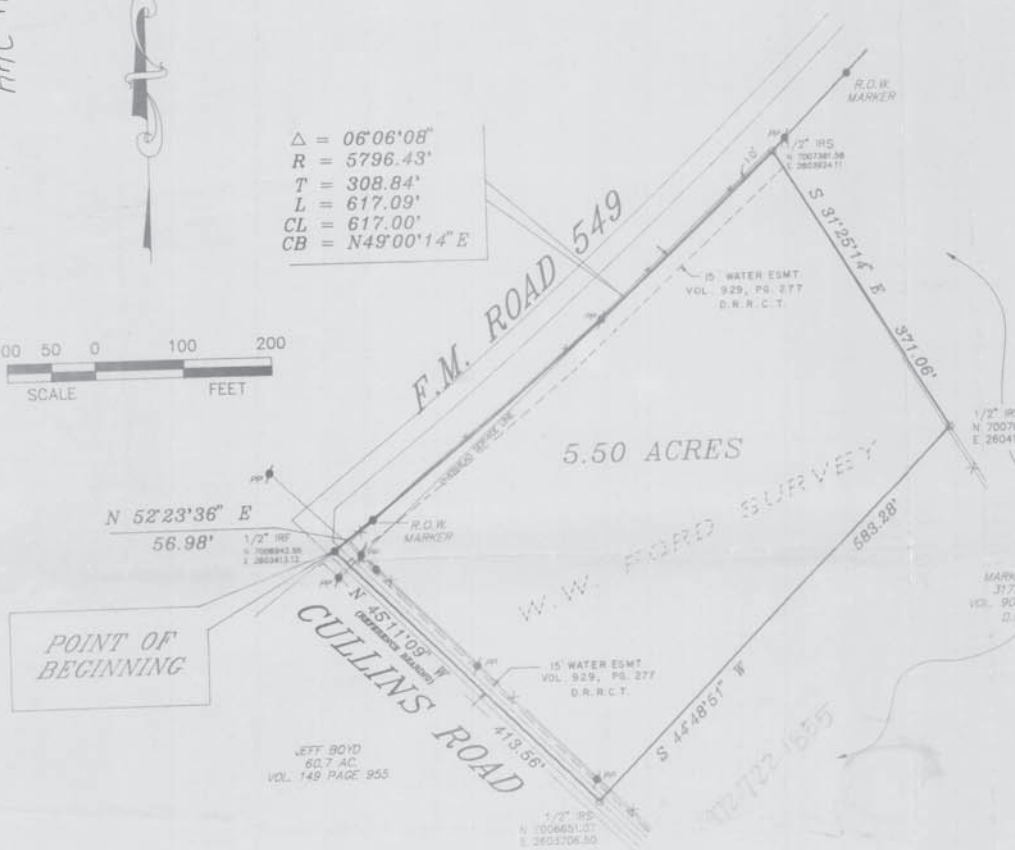
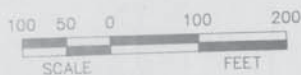
1. WATER ESMT., VOL. 64, PG. 320, D.R.R.C.T.
2. WATER ESMT., VOL. 64, PG. 323, D.R.R.C.T.
3. RIGHT-OF-WAY ESMT., VOL. 33, PG. 958, D.R.R.C.T.

**THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN ACCORDING TO THE FLOOD PLAIN MAP OF THE CITY OF ROCKWALL COMMUNITY PANEL NO. 480643 0125 H. MAP DATED 9/17/80 (ZONE "C").

DIDY-HDD



Δ = 06°06'08"
 R = 5796.43'
 T = 308.84'
 L = 617.09'
 CL = 617.00'
 CB = N49°00'14" E



POINT OF BEGINNING

JEFF BOYD
 60.7 AC.
 VOL. 149 PAGE 955

MARK LANNING
 317.449 AC.
 VOL. 903, PAGE 114
 D.R.R.C.T.

SURVEYORS CERTIFICATE

I hereby certify that this survey was made on the ground, under my direction, that this plat correctly represents the facts found at the time of survey and that all corners are marked as shown and there are no visible conflicts or encroachments other than shown and that this service conforms to the current Texas Surveyors Association Standards and Specifications for a category 1-A, condition 3 survey. This plat is for the exclusive use of HERITAGE TITLE CO. in connection with their GF# 10588 and the undersigned surveyor is not responsible to any others.

DANIEL A. SMITH
 R.P.L.S. NO. 4645

THIS SURVEY IS VALID ONLY WITH SIGNATURE IN BLACK INK.



Bearings based on Texas State Plane Coordinate System. (North Central Zone)

BOUNDARY SURVEY
 OF
 5.50 ACRES
 W.W. FORD SURVEY
 ABSTRACT NO. 80
 ROCKWALL COUNTY, TEXAS

| REVISIONS | DATE | PROJECT NO. | DATE |
|-----------|------|------------------------------|----------|
| | | 95-1146 <td> </td> | |
| | | DRAWN BY <td>E.D. </td> | E.D. |
| | | APPROVED BY <td>D.A.S. </td> | D.A.S. |
| | | | 12/16/94 |

PRECISE LAND SURVEYING, INC.
 18601 LBJ FRELWAY • SUITE 500 • MESSOURI, TEXAS 75190
 (214) 681-7072 FAX (214) 279-1508





FRONT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS:

CL 08-09-15

These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the professional engineer or architect before construction. The engineer or architect is to be brought immediately to the attention of the builder before any construction, work, or purchases are made. All local codes, ordinances and requirements take precedence over any part of these drawings which may conflict with these agencies, rules and/or regulations and be delivered to before and during all construction.

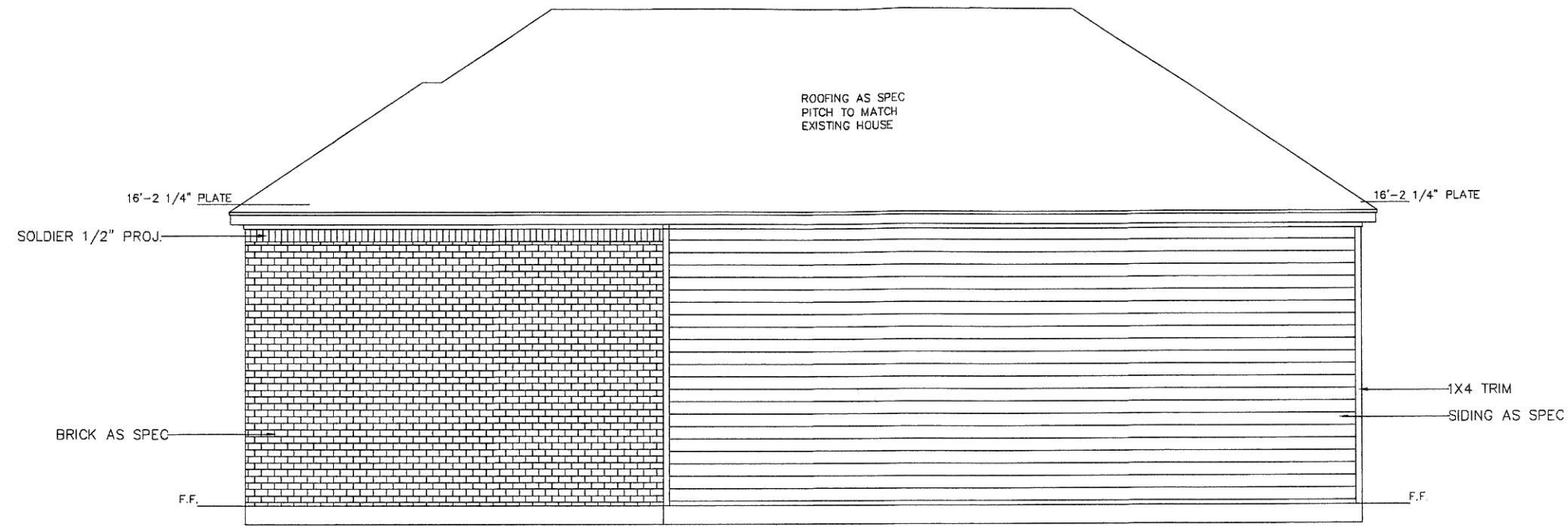
A CUSTOM RESIDENCE FOR:

PRICE

ROCKWALL, TX

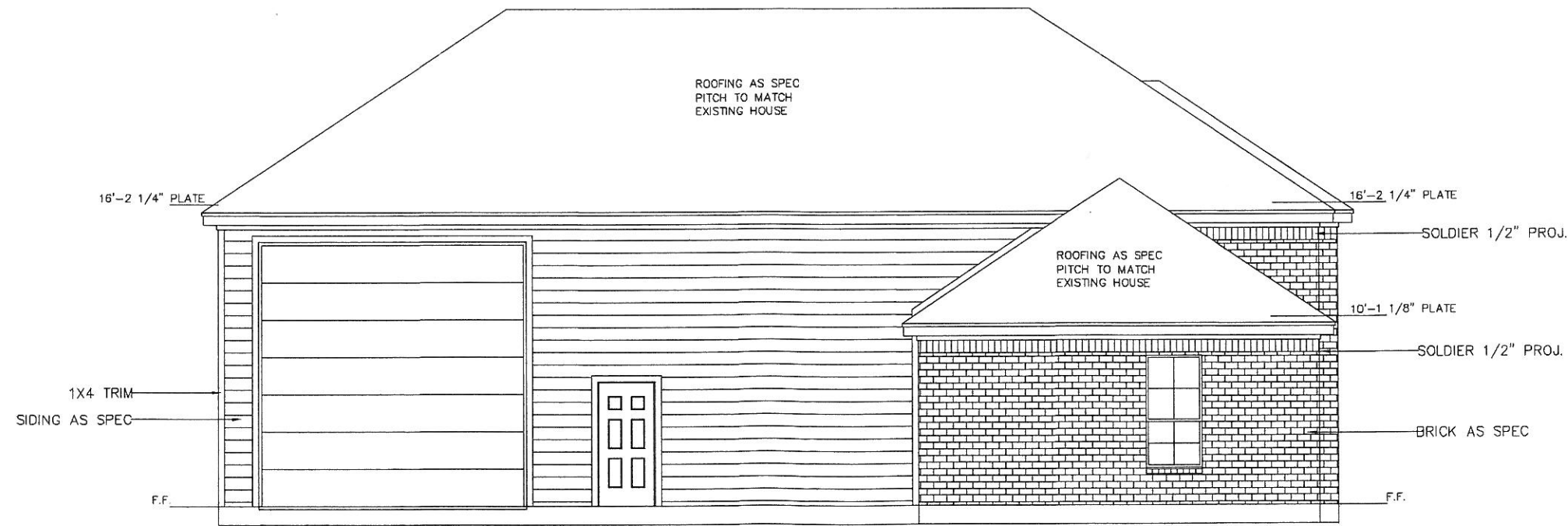
SHEET NO.

P2



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the contractor before construction begins. Any discrepancy, omission, or omission if found, is to be brought immediately to the attention of the builder before any construction, work, or purchases are made. All local codes, ordinances and requirements take precedence over any part of these drawings which may conflict with these codes, ordinances, regulations and be deleted to before and during all construction.

A CUSTOM RESIDENCE FOR:

PRICE

ROCKWALL, TX