
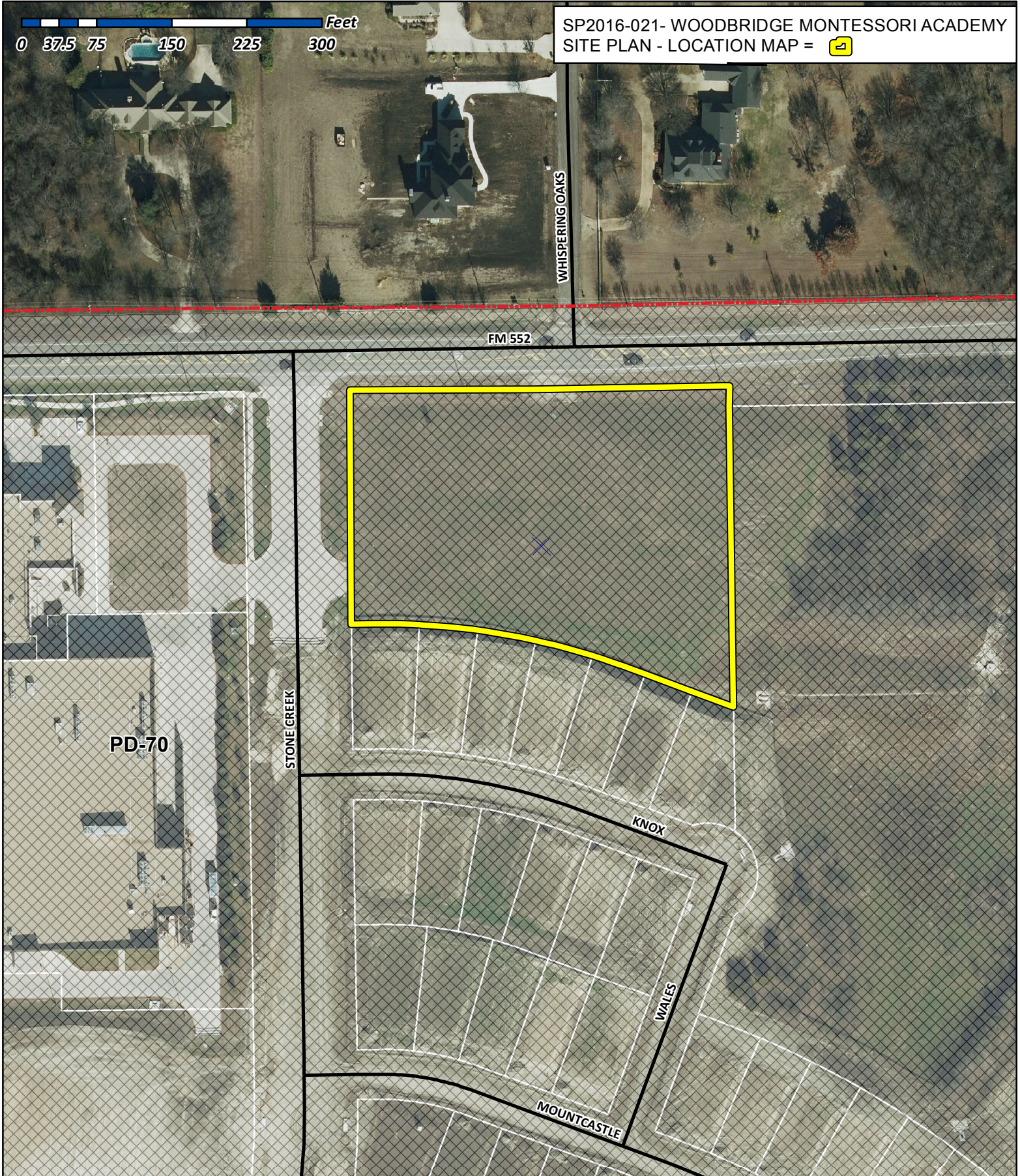


0 37.5 75 150 225 300 Feet

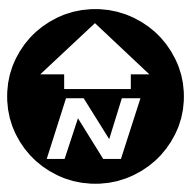
SP2016-021- WOODBRIDGE MONTESSORI ACADEMY
SITE PLAN - LOCATION MAP = 

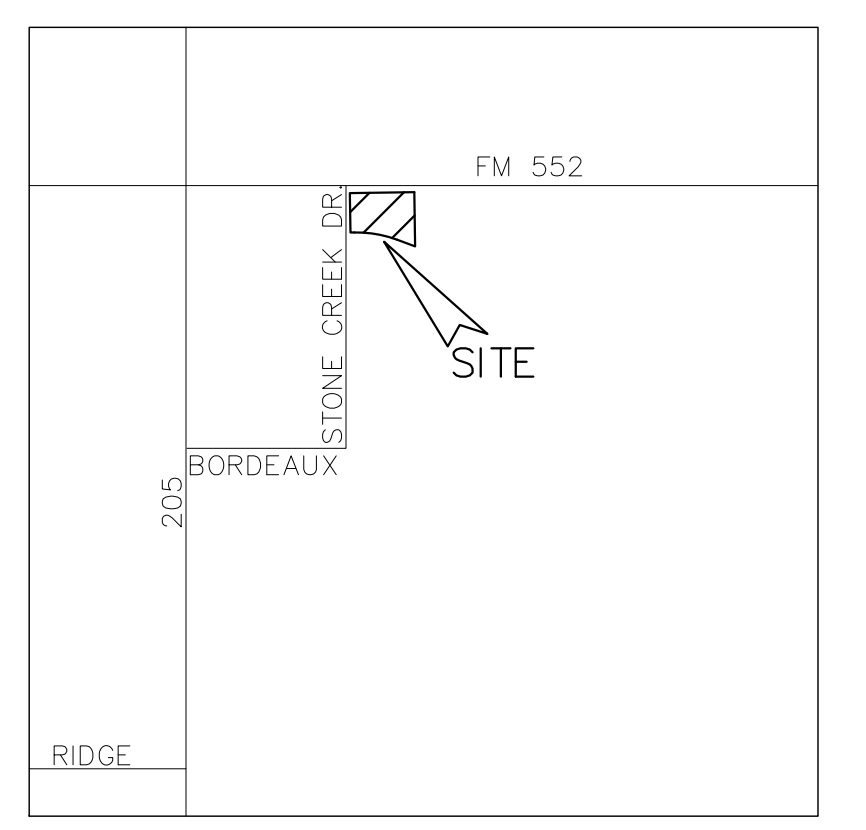
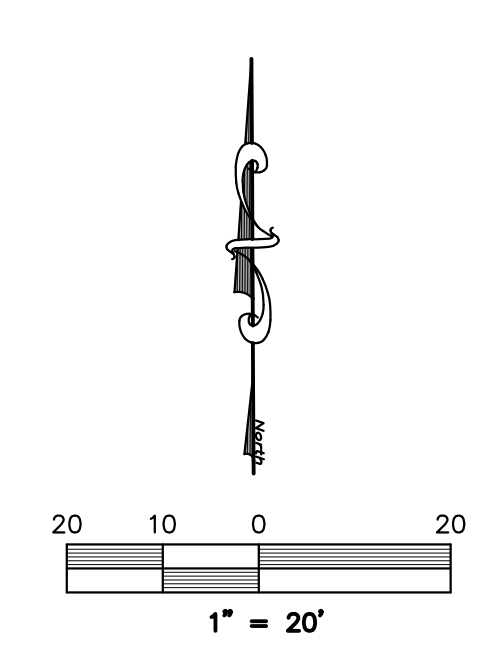
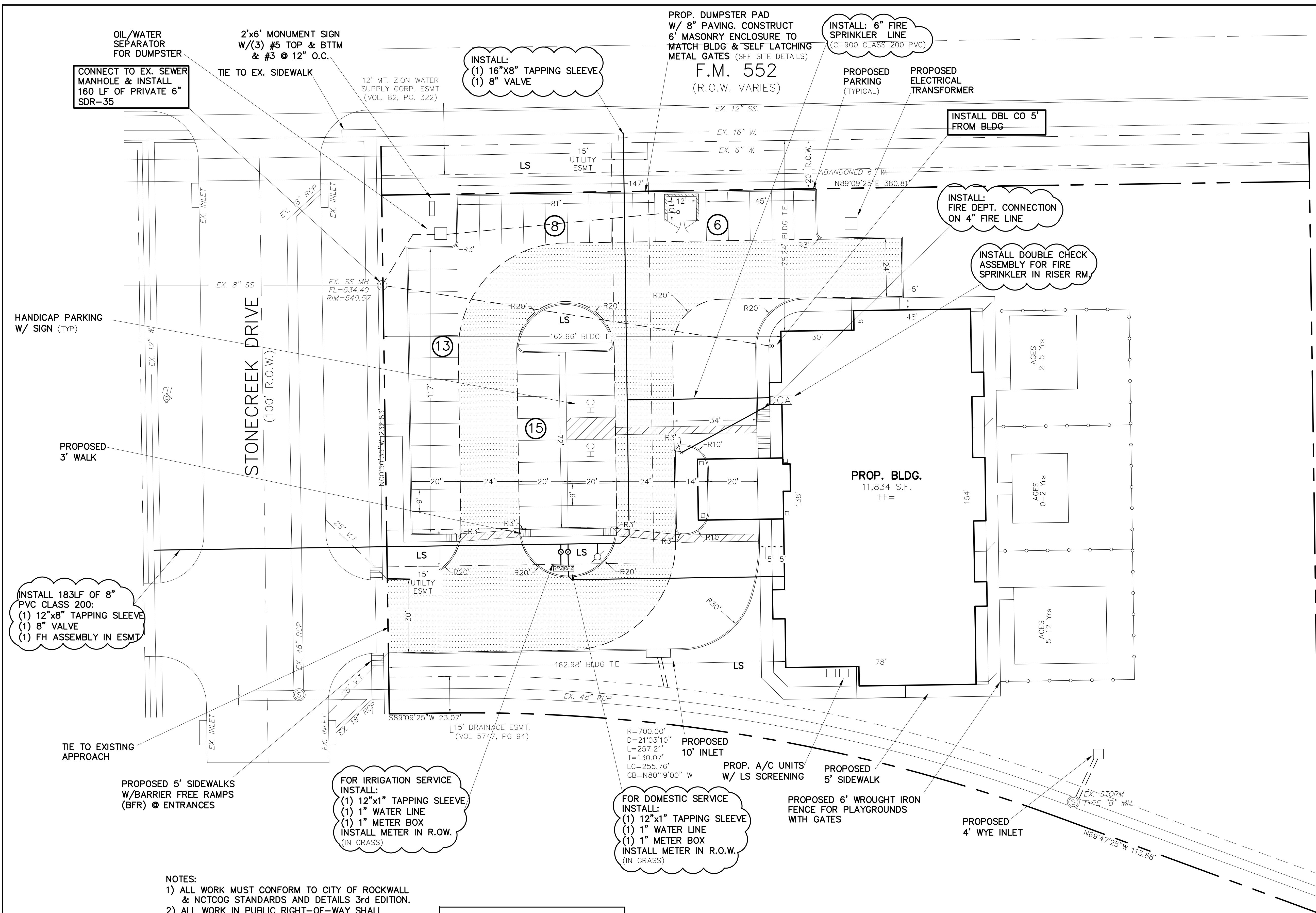


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOCATION MAP
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LEGEND

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- (WV) = EX. WATER VALVE
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- (TB) = EX. TELEPHONE BOX
- (SM) = EX. STORM MANHOLE
- (FH) = EX. FIRE HYDRANT
- (FH) = PROPOSED FIRE HYDRANT
- [---] = PROPOSED FIRELANE
- [---] = PROPOSED SIDEWALK

SITE DATA:

LOT AREA:
2.29 Acres, 99,669 sq. ft.
LOT COVERAGE:
11.9%
FLOOR TO AREA RATIO:
8.4:1
BUILDING AREA:
11,834 sq.ft.
CONSTRUCTION TYPE:
V-N
BUILDING HEIGHT:
PROPOSED USE:
Day School
IMPERVIOUS AREA
(including buildings):
42,837 sq.ft.
ZONING:
PARKING:
Required: (1 space/300) = 40
Handicap = 2
Provided:
Standard = 40
Handicapped = 2
Total Provided = 42
LANDSCAPE AREA:
Required: (10%) sq.ft.
Provided: 56,832 sq.ft.
FIRESPRINKLER:
YES
* THERE ARE NO BUILDINGS ON THIS SITE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS

PROJECT #:
CONCEPT SITE PLAN
WOODBIDGE MONTESSORI ACADEMY OF ROCKWALL

Stonecreek Dr.
Lot , Block , 2.29 Acres
City of Rockwall, Rockwall County, Texas
developer
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007
prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

PROJECT NO.: 2016-12 REG NO.: F-2567

date:	scale:	sheet:
9/13/16	1" = 20'	C101

- NOTES:**
- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 3rd EDITION.
 - ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - NO SAND UNDER PAVING.

FIRE SPRINKLER LINE IS SEPARATE PERMIT FROM THE FIRE DEPARTMENT

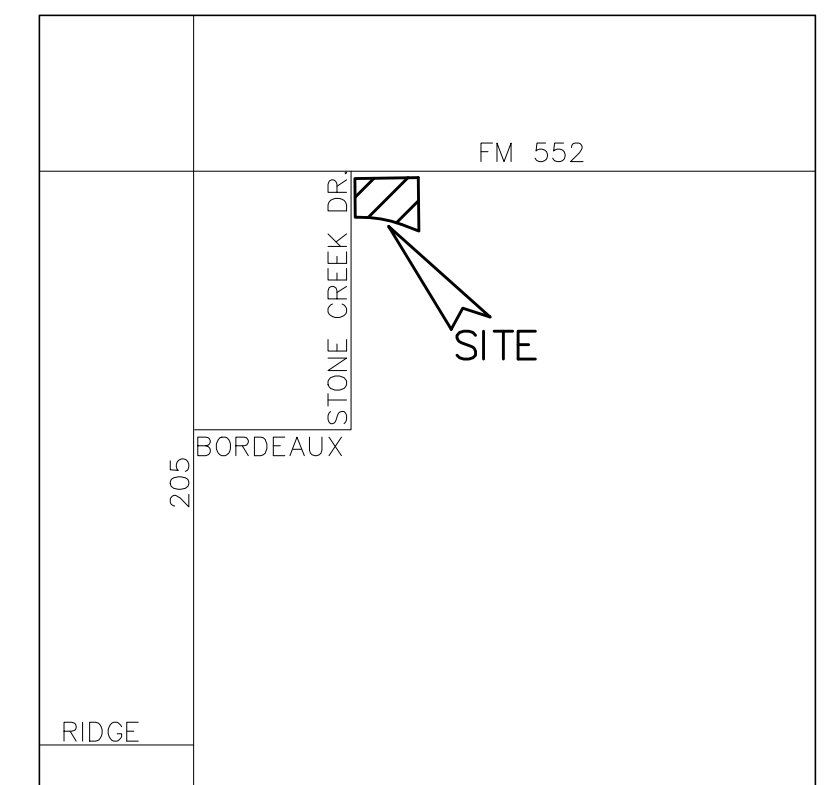
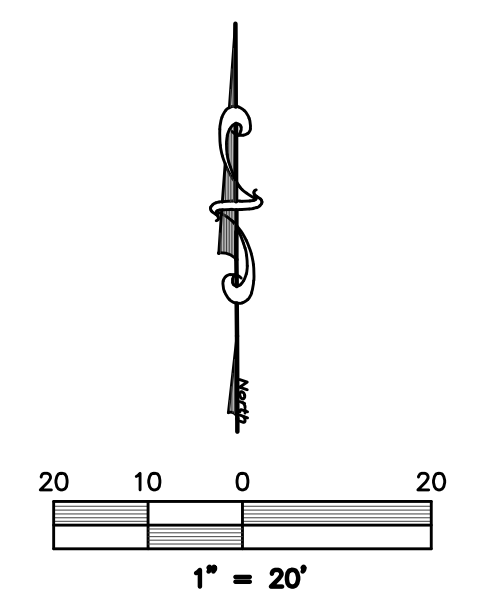
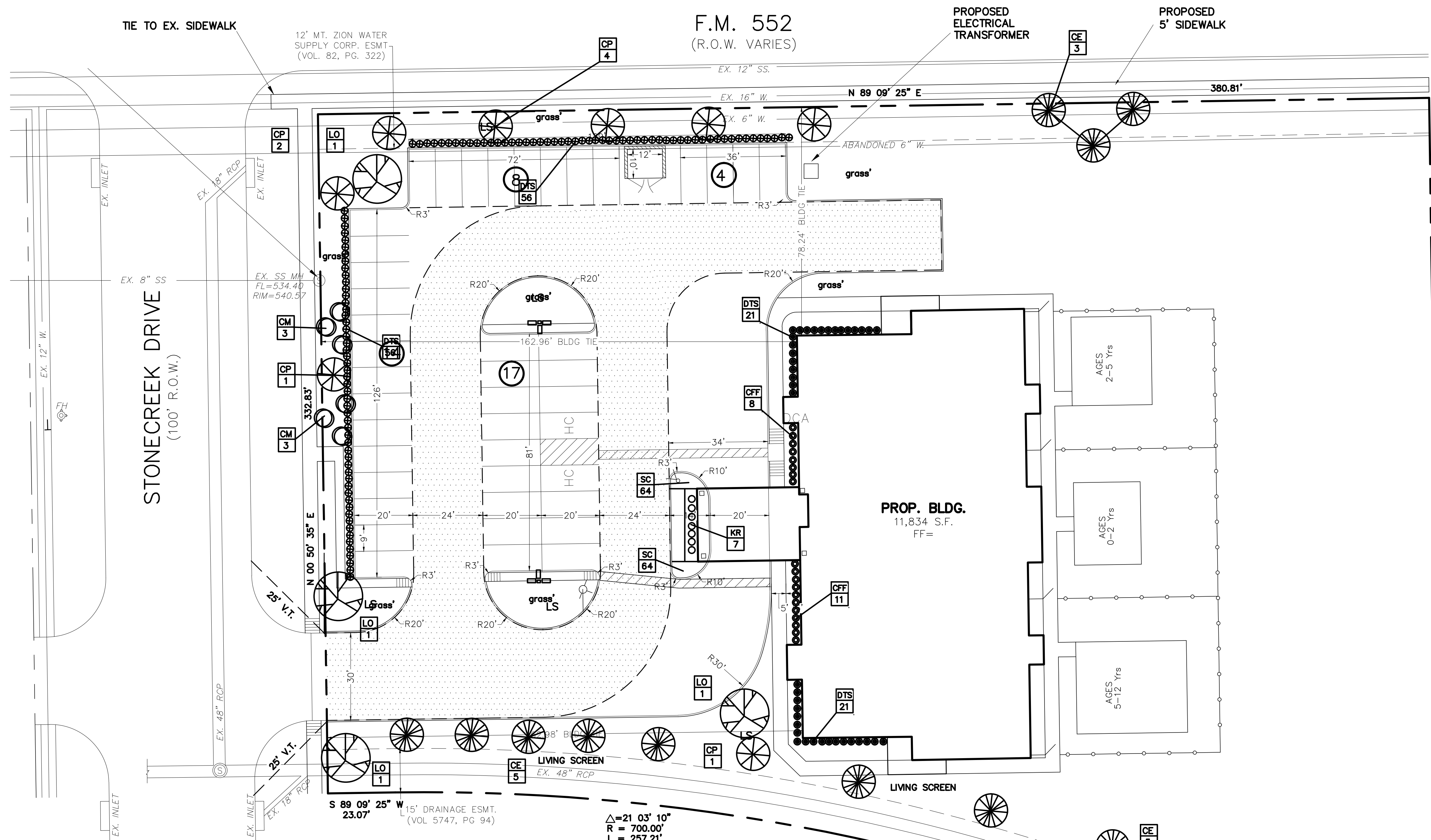
WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 - Fire lanes shall be designed and constructed per city standards.
 - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 - Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance
 - All signage contingent upon Building Inspection Department.
 - Approval of the site plan is not final until all engineering plans are approved.
 - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance
 - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 - All electrical transmission, distribution and service lines must be underground.

!!!! CAUTION !!!!
CALL 811 TO LOCATE UNDERGROUND LINES 48 HRS PRIOR TO CONSTRUCTION



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SITE DATA:

LOT AREA:
2.29 Acres, 99,669 sq. ft.
LOT COVERAGE:
11.9%
FLOOR TO AREA RATIO:
8.4:1
BUILDING AREA:
11,834 sq. ft.
CONSTRUCTION TYPE:
V-N
BUILDING HEIGHT:
3
BUILDING SETBACKS:
S 00 50' 35" E 320.47'
S 00 50' 35" E
PROPOSED USE:
Day School
IMPERVIOUS AREA
(including buildings):
42,837 sq. ft.
ZONING:
PARKING:
Required: (1 space/300) = 40
Handicap = 2
Provided:
Standard = 41
Handicapped = 2
Total Provided = 43
LANDSCAPE AREA:
Required: (10%) sq. ft.
Provided: 56,832 sq. ft.
FIRESPRINKLER:
YES

* THERE ARE NO BUILDINGS ON THIS SITE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

REVISIONS

LANDSCAPE NOTES:

- 1) With the exception of drainage area, all grass areas are to be hydromulched Bermuda (2# per 1000 sf) for awrm season application or hydromulched mixture of rye grass (5# per 1000 sf) and hulled Bermuda (1# per 1000 sf) for cool season application.
2. Grass and bed areas are to be separated by 1"x6" plastic-wood edging.
3. All trees & shrubs are to be planted minimum of 5' from impermeable surface & utility lines.
4. Contractor to verify plant material quantities and notify owner of any conflicts.
5. Bed preparation shall consist of incorporating and one 4 cubic foot bale of spagnum peat moss and one 3 cubic foot bag of landscape mix per 75 sq. ft. into the top six inches of existing soil.
6. All landscape areas shall be watered by a fully automatic irrigation system meeting the minimum standards of the American Society of Irrigation Consultants, and the current building codes of Rockwall, Texas.
7. all plant material to shall meet American Nursery Standards for height and width in each container size. With the exception of ground cover beds, all plants material shall be mulched with 2" of Cedar mulch.(min)
8. Trees shall have a root ball of a minimum 10 inch of diameter for each inch of caliper.
9. Contractor shall be responsible for location all utilities and obtaining permits as required by City.
10. Trees and shrubs are to be a minimum of 2.5 feet from all impermeable surfaces and 5' from utility lines.

Streetcape ((380 LF. FM. 522, 235 LF. STONECREEK DR.)

Required: 1 Tree per 50 LF. 380/50=8, 235/50 = 5	13 Trees
Provides:	13 Trees
Area Landscape:	
Required: 10% of Site (99,669 sf x 10%)	9,967 S.F.
Provides:	
Required: 50% of required landscape in front)	4,984 S.F.
Provides:	9,634 S.F.
Parking Lot Landscape:	
Required: 5% 27,550 S.F. x .05 = 1,378 S.F.	1,378 S.F.
Provides:	2,020 S.F.
Trees-No required parking space further than 80' from tree.	
Required: 1 tree per 10 required parking spaces 42/10=4.2	5 Trees
Provides:	5 Trees

PROVIDED LIVING SCREEN ALONG RESIDENTIAL SIDE.

△=21 03' 10"
R = 700.00'
L = 257.21'
T = 130.07'
CB = N 80 79' 00" W
CO = 255.76'

PLANT	PLANT NAME	SIZE	SPACING	HEIGHT	WIDTH	QUANTITY
LO	Live Oak(Quercus Virginiana)	3" CAL	A/I	12'	4'	4
CE	Cedar Elm(Ulmus Crassifolia)	3" CAL	A/I	12'	4'	13
CP	Chinese Pistachio(Pistacia Chinenais)	3" CAL	A/I	12'	4'	7
CM	Crap Myrtle (Lagerstroemia Fauriei Tuscarora)	30gal	A/I	8'	4'	6
DTS	Dwarf Texas Sage (Leucophyllum Frutescens Compacta)	5gal	36"	20"	18"	154
KR	Knock Out Roses (Rosa "Knock-out")	3gal	36"	16"	14"	7
CFF	Chinese Fringeflower (Loropetalum "Purple Diamond")	3gal	36"	14"	14"	19
SC	Seasonal Color	4" potal	12"	na	na	128

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48 HRS PRIOR TO CONSTRUCTION

PROJECT #:

LANDSCAPE PLAN

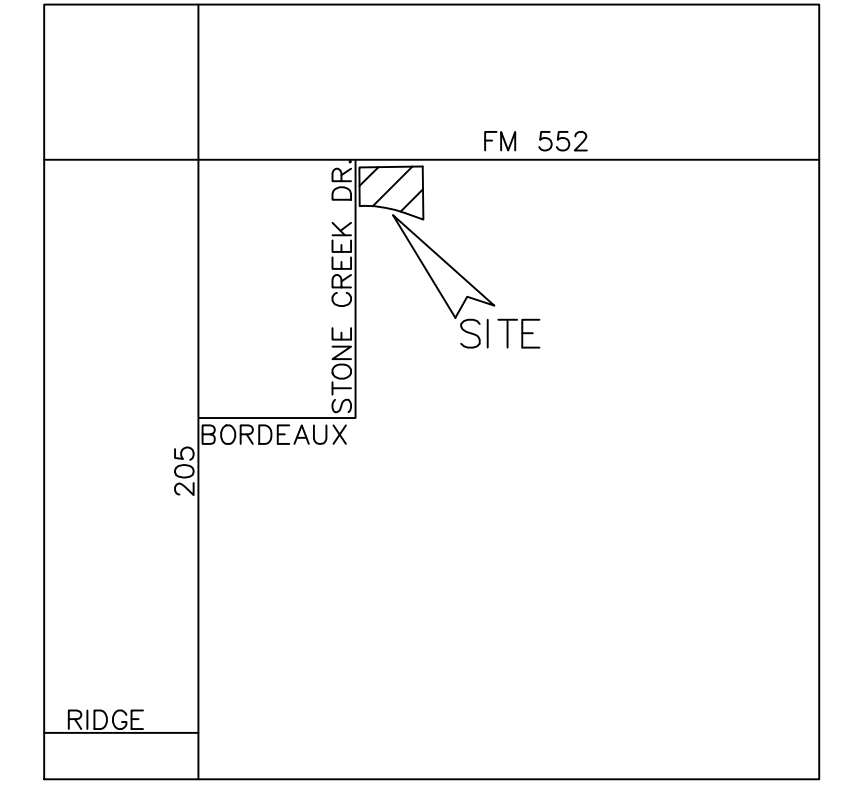
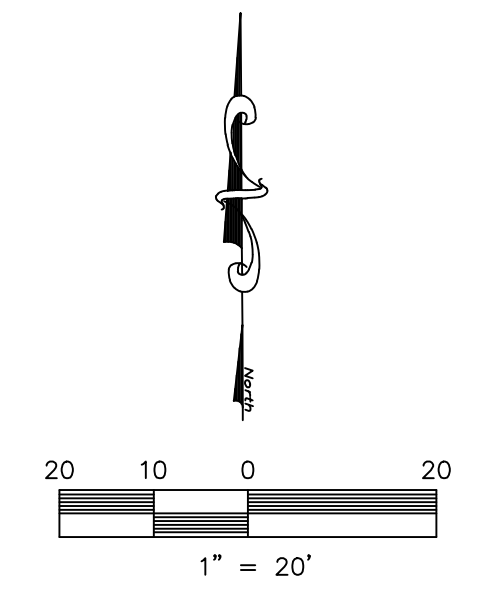
ROCKWALL MONTESSORI ACADEMY

STONECREEK DR.
Lot , Block , 2.29 Acres
City of Rockwall, Rockwall County, Texas

developer
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007

prepared by
SMV, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

PROJECT NO.: 2016-12
date: 9/9/16 scale: 1" = 20' sheet: L101



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BUILDING HEIGHT:

BUILDING SETBACKS:

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IMPERVIOUS AREA
(including buildings):
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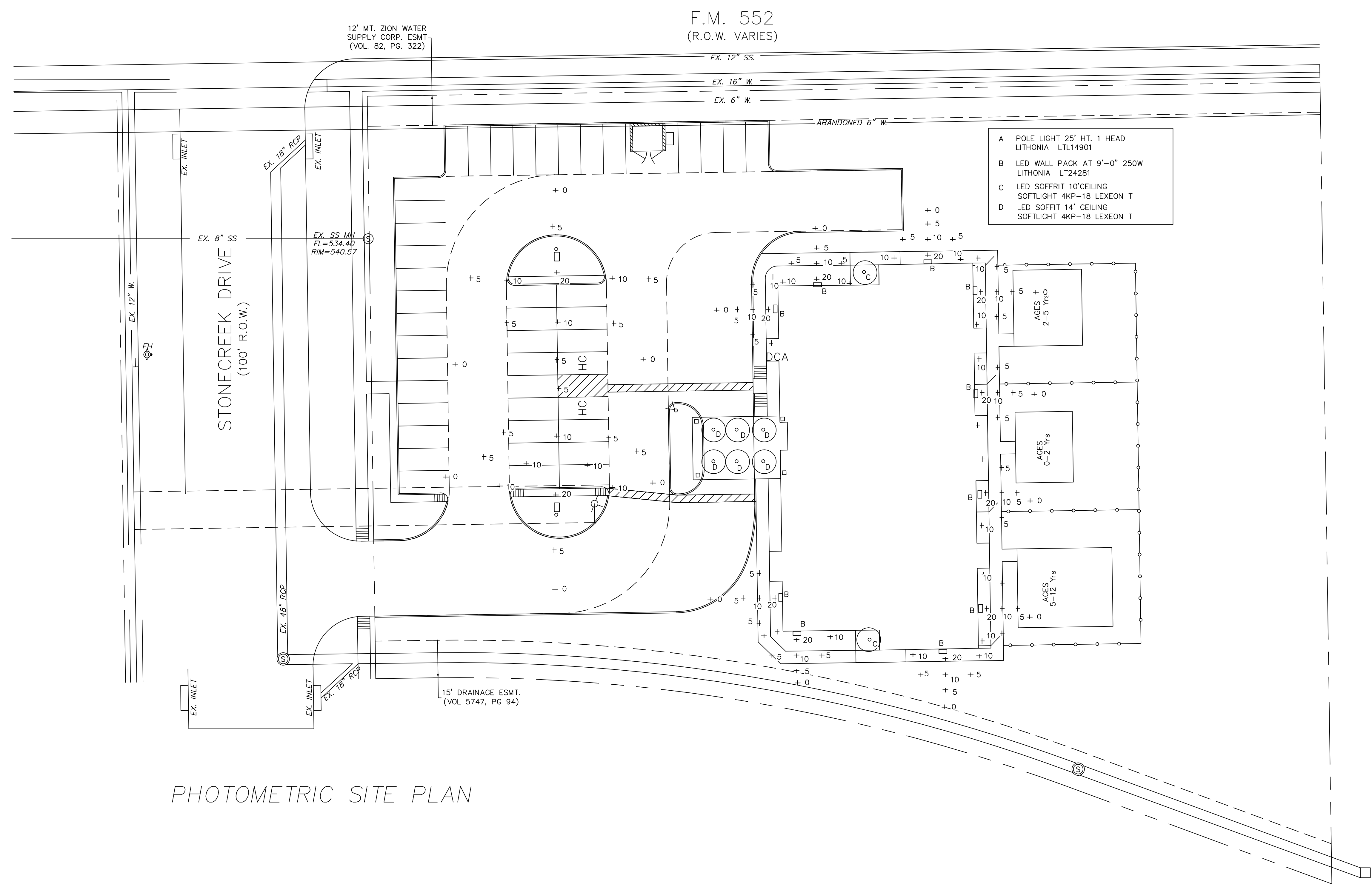
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Handicap = 2

Provided:
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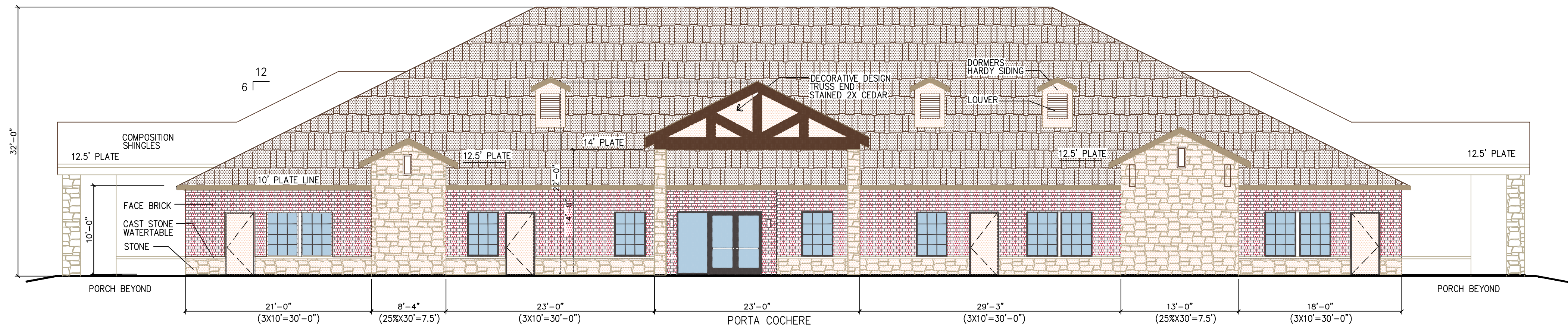
REVISIONS



PHOTOMETRIC SITE PLAN

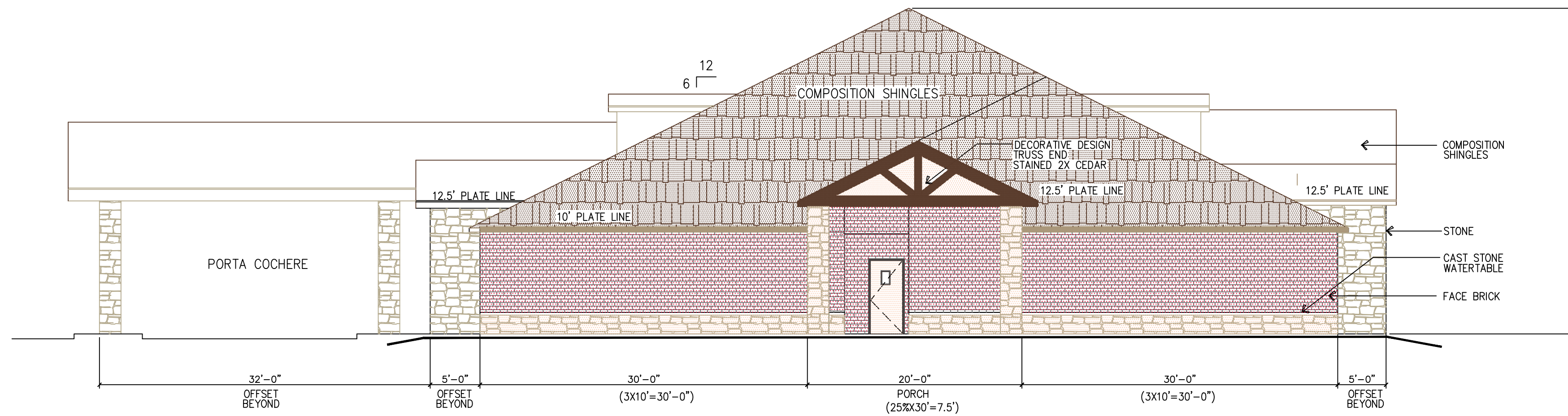
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UNDERGROUND LINES
48 HRS PRIOR TO CONSTRUCTION

PHOTOMETRIC PLAN		
ROCKWALL MONTESSORI ACADEMY		
STONECREEK DR. Lot , Block , 2.29 Acres City of Rockwall, Rockwall County, Texas		
<i>developer</i>		
VINOD SHARMA 436 Quail Creek Drive, Murphy Texas 75094 510 364-3007		
<i>prepared by</i>		
SMV, INC. 1200 W. State Street, Garland Texas 75040 972 272-1763 Fax 972 272-8761		
PROJECT NO.: 2016-12		
date:	scale:	sheet:
9/9/16	1" = 20'	E101



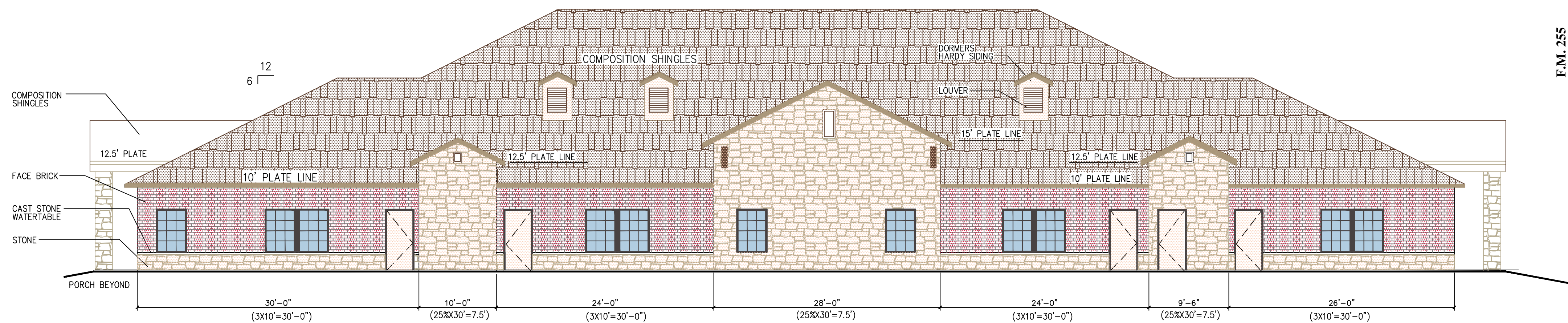
1 SOUTH ELEVATION (SPRINGCREEK DRIVE)

SCALE 1/8" = 1'-0"



2 WEST AND EAST ELEVATIONS

SCALE 1/8" = 1'-0"



3 NORTH ELEVATION

SCALE 1/8" = 1'-0"

6.1 Building Elevations: Non Industrial

6.1.1 Exterior Elevations Provided (All)
 6.1.2 Indicated Exterior Elevations adjacent to Public Right-of-Way.

Front Elevation (South) faces Spring Creek
 Side Elevation (West) faces S. H. 255

6.1.3 90% Masonry Requirement
 (Building less than 25,000 sf)
 All Elevations are 100% masonry

6.1.4 Indicate the surface area on each facade.

Front Elevation (South) Spring Creek		
Brick Area	1,712 s.f.	66%
Cast Stone Area	46 s.f.	2%
Stone Area	675 s.f.	26%
Total	2,433 s.f.	94%
Hardy Dormers (3x14 s.f.)	42 s.f.	1.6%
Decorative Truss(Hardy/Cedar)	109 s.f.	4.4%
Total	2,584 s.f.	

Side Elevations (West/East) S.H. 255		
Brick Area	640 s.f.	74%
Cast Stone Area	40 s.f.	5%
Stone Area	120 s.f.	14%
Total	800 s.f.	93%
Hardy Dormers (1x8 s.f.)	8 s.f.	.9%
Decorative Truss(Hardy/Cedar)	62 s.f.	6.1%
Total	870 s.f.	

North Elevations		
Brick Area	640 s.f.	74%
Cast Stone Area	40 s.f.	5%
Stone Area	120 s.f.	14%
Total	800 s.f.	93%
Hardy Dormers (1x8 s.f.)	8 s.f.	.9%
Decorative Truss(Hardy/Cedar)	62 s.f.	6.1%
Total	870 s.f.	

6.1.5 Indicate all roof mounted equipment. (NONE)

6.1.6 Indicate any additional design elements proposed.

- Covered Porches on East and West elevations.
Decorative Truss Element with Stone Columns.
- Proto Cochere Element at Front (South Elevation)
Decorative Truss Element with Stone Columns.

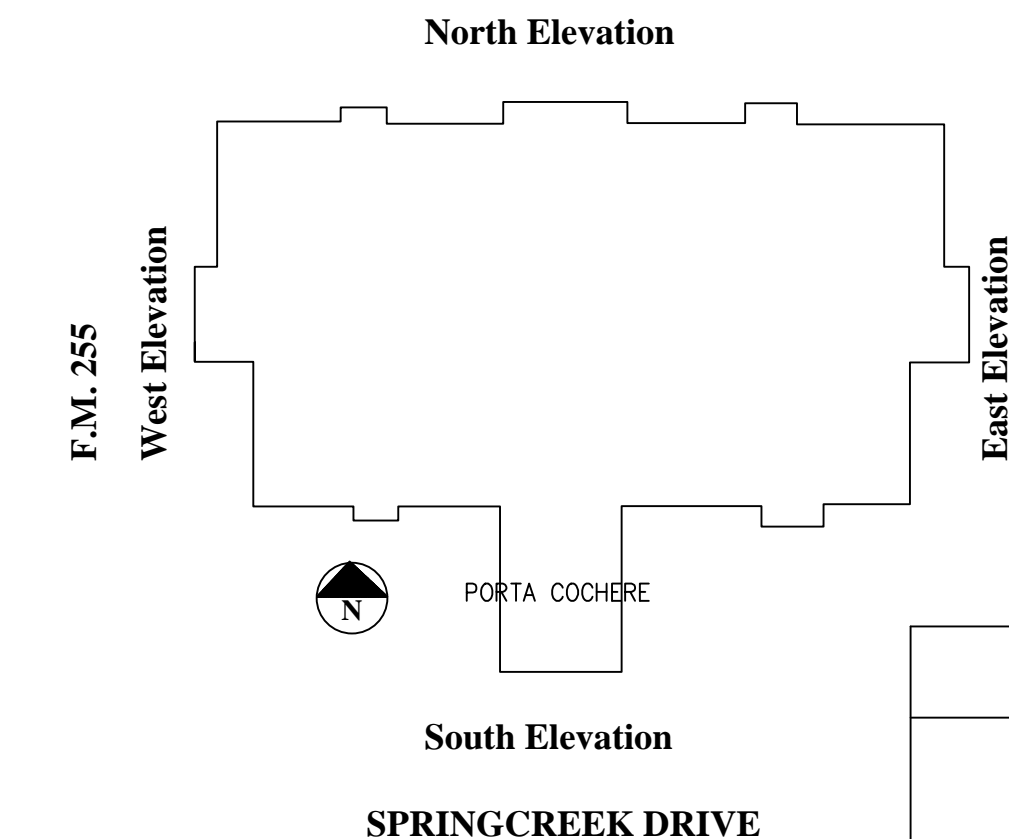
6.1.7 Indicate Building Height

- Building Height 32'-0" at Ridge.
- Porta Cochere 22'-0" at Ridge

6.1.8 Minimum Standard for Articulation.

- Horizontal Articulation of Facades
Building Height 10' x 3 = 30'-0" max. w/o offset.
New plane 30' x .25 = 7.5' min.
Shown on Exterior Elevations
- Vertical Articulation of Facades
Min. wall vertical offset 10' x .25 = 30"
Shown on Exterior Elevations

KEY PLAN



EXTERIOR ELEVATIONS

ROCKWALL
 MONTESSORI ACADEMY

STONECREEK DR.
 Lot , Block , 2.29 Acres
 City of Rockwall, Rockwall County, Texas

developer
 VINOD SHARMA
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PROJECT NO: 2016-12	date: 9/9/16	scale: 1/8" = 1'-0"	sheet: A101
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