
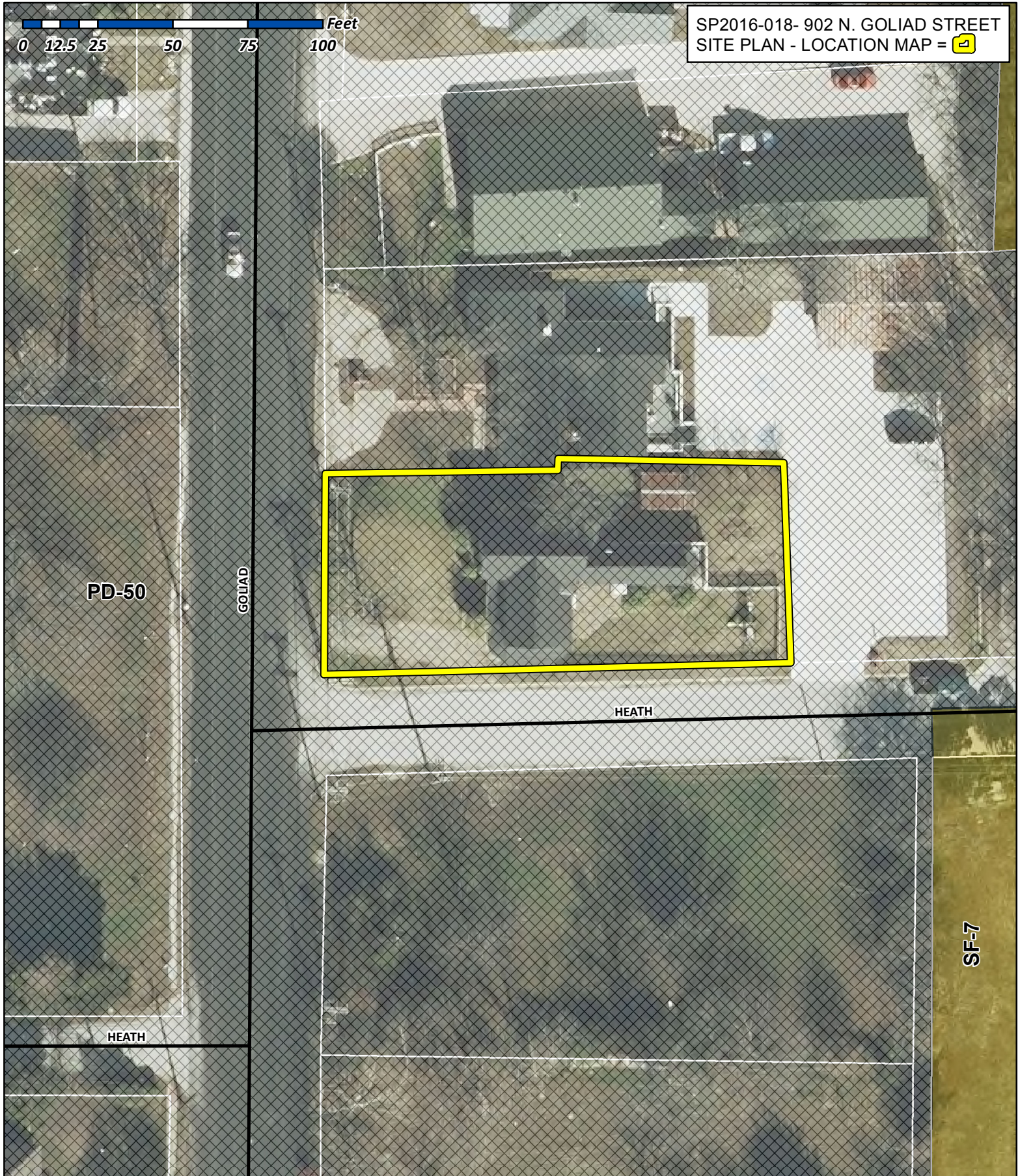


0 12.5 25 50 75 100 Feet

SP2016-018- 902 N. GOLIAD STREET
SITE PLAN - LOCATION MAP = 



PD-50

GOLIAD

HEATH

HEATH

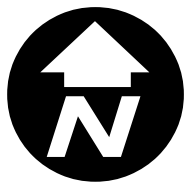
SF-7



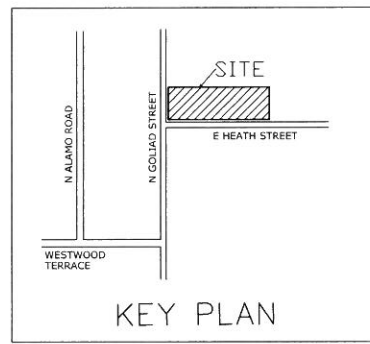
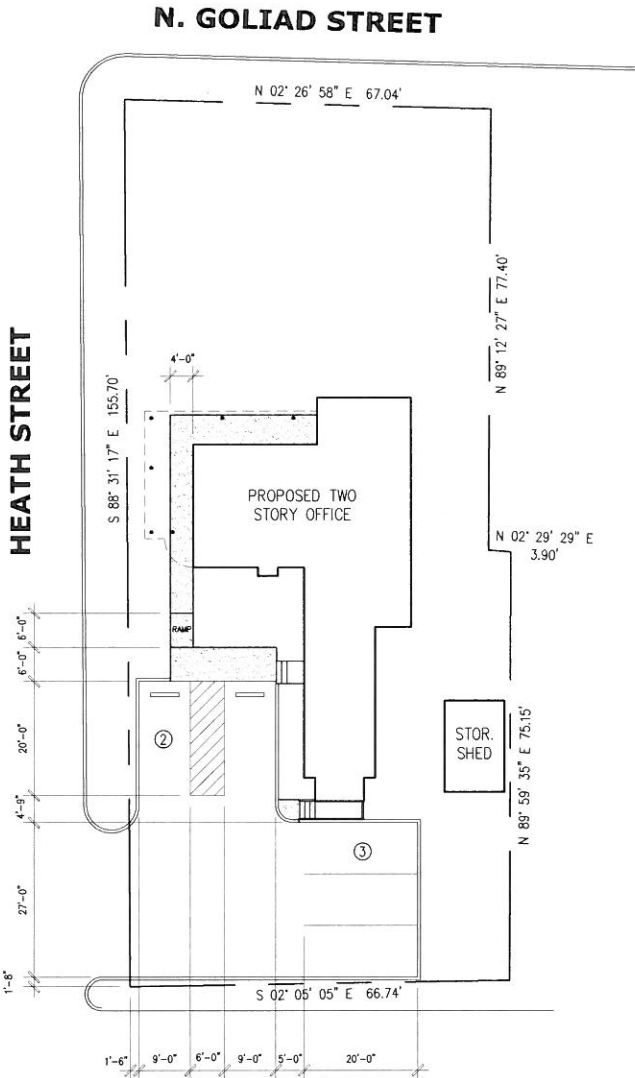
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



W.D. AUSTIN ADDITION
 BEING A 0.24 AC. TRACT OF LAND SITUATED IN THE
 S.S. MCCURRY SURVEY BEING 902 N. GOLIAD ROAD, IN
 THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PARKING REQUIREMENTS

- OFFICE 2,439 SF @ 1/500 = 5
- 5 PARKING SPACES REQUIRED
- 1 HANDICAP PARKING SPACE REQUIRED FOR 0-25
- 1 HANDICAP PARKING SPACES PROVIDED

PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DIMENSIONS AND DIMENSIONS TO BE MAINTAINED IN PLACE AND ARE NOT INTENDED TO INDICATE SIZE AND EXIST FITTING, OFFSET, OR OTHER APPROPRIATE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND PROVIDE ALL NECESSARY TIES TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY OPENINGS NOTED BY THE CONTRACTOR SHALL BE BRACKETED TO THE ATTENTION OF THE ARCHITECT ON BEING BEFORE BEING THE PROJECT.
4. AFTER BIDS ARE TAINED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEM AT HIS OWNERS RISK.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO THEIR CONTRACTS AND VERIFYING THAT ALL SUBCONTRACTORS SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHAT TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS NEEDED FOR WORKING SYSTEM AS NOTED.



OWNER
NATALEE DAVENPORT
 2105 WATERVIEW PKVY
 RICHARDSON, TEXAS 75080
 214-576-2954

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MEDICAL COMMERCIAL CHURCHES
MERSHAWN ARCHITECTS
 INSTITUTIONAL RESTAURANTS
 ARCHITECTS
 1000 W. GOLIAD ROAD, SUITE 100
 ROCKWALL, TEXAS 75087
 PHONE: 972-242-2001
 FAX: 972-242-2001

No.	Date	Revision	By

PROPOSED OFFICE
 902 N. GOLIAD ST., ROCKWALL, TEXAS
SITE PLAN

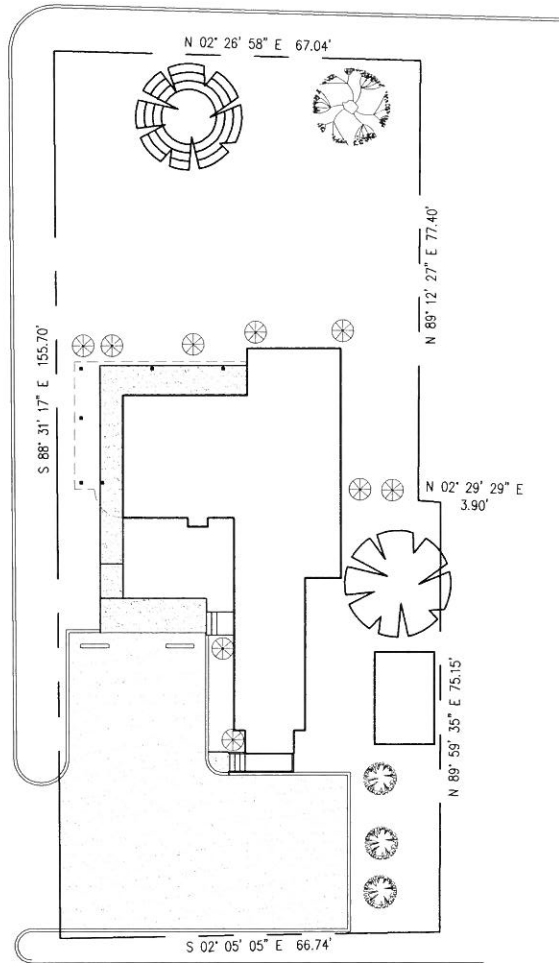
Scale:	1" = 20'-0"
Date:	06/06/16
Project No.:	160021
Designed:	AA
Drawn:	AA
Checked:	MM

A1 OF

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAW ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

HEATH STREET

N. GOLIAD STREET



GENERAL NOTES:

1. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
2. EA. SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/TESTING LAB. OWNER WILL PAY FOR TESTING LABS.
3. ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE; SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS; SEE T&S NOTES & DETAILS.
4. LANDSCAPE SUBCONTRACTOR SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
5. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
6. NO TREES SHALL BE PLANTED WITHIN 5'-0" OF ANY UTILITIES.
7. NO SHRUBS SHALL BE PLANTED CLOSER THAN 4'-0" FROM CURB @ 18" DEEP PARKING SPACES

902 N. GOLIAD OF THE W.D. AUSTIN SURVEY

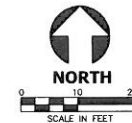
1. PROPOSED USE: - OFFICE
2. PROPERTY AREA: 10,454 SF OR 0.24 ACRES
3. BUILDING AREA: 2,439 SF
4. BUILDING HEIGHT: EXISTING TWO STORY
5. LOT COVERAGE :14.6%
F.A.R. = 0.15:1
6. PARKING REQUIRED: 2,439 @ 1 SPACE PER 500 = 5
5 SPACES REQUIRED
7. HANDICAP REQUIRED 1 ACCESSIBLE FOR 0-25 SPACES = 1 ACCESSIBLE
8. TOTAL PARKING PROVIDED: 5 SPACES
9. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 3,973 SF

-  EXISTING CRAPE MYRTLE
-  EXISTING HACKBERRY
-  EXISTING MULLBERRY
-  NEW LIVE OAK (4") CALIPER
-  EXISTING SHRUB

PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DRAWINGS ARE GUARANTEED IN VALUE AND ARE NOT INTENDED TO INSURE SUCH AND EXISTING CONDITION OR OTHER APPEARANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND PROVIDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR WRITTEN BEFORE BEGINS THE PROJECT.
4. AFTER 90% HAS BEEN TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEM AT HIS OWNERSHIP COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO MAINTAIN COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO OBTAIN AND REVIEW ALL NECESSARY PERMITS AND RETAIL BUY COMPONENTS NEEDED FOR WORKING SYSTEMS AS NEEDED.

OWNER
NATALEE DAVENPORT
2105 WATERVIEW PKWY
RICHARDSON, TEXAS 75080
214-576-2954



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RESIDENTIAL RESTAURANTS
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MERSHAW ARCHITECTS
MEDICAL COMMERCIAL CHURCHES
PHONE: 972-742-1800
FAX: 972-742-1801
3311 ROSE BOWS AVE
ROCKWALL, TEXAS 75087

No.	Date	By	Revision

PROPOSED OFFICE
902 N. GOLIAD ST. ROCKWALL, TEXAS
SITE PLAN

Scale: 1" = 20'-0"
Date: 06/06/16
Project No: 160601
Designed: AA
Drawn: AA
Checked: AA
SHEET 1 OF 1