

SP2016-014- PLATINUM STORAGE
 SITE PLAN- LOCATION MAP = ●

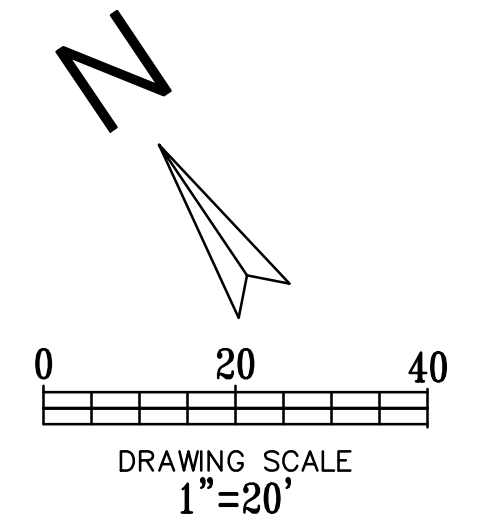
0 50 100 200 300 400 Feet

City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - PROPOSED BARRIER FREE RAMP
 - PARKING SPACES IN A ROW
 - PROPOSED LANDSCAPING
 - PROPOSED SIDEWALK 3,500 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS. (MINIMUM 5.5 SACK MIX)
 - PROPOSED PAVEMENT 4,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS. (MINIMUM 6.5 SACK MIX)
 - PROPOSED FIRE LANE

- SITE NOTES:**
1. THE PROPOSED BUILDING WILL BE FIRE SPRINKLERED.
 2. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 3. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ECT AS REQUIRED BY CODE.
 4. THERE ARE NO EXISTING TREES TO BE REMOVED FROM THE SITE FOR CONSTRUCTION.
 5. DETENTION HAS BEEN PROVIDED AS REQUIRED, PER THE CITY OF ROCKWALL'S ENGINEERING DEPARTMENT.
 6. ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS SITE PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE 2009 INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.

ZONING:	SUP NO.: S-121
LAND USE:	OFFICE/WAREHOUSE BUILDINGS
SITE ACREAGE:	2.692 ACRES (117,242 SQ FT)
BUILDING FOOTPRINT:	20,480 SQUARE FEET
BUILDING AREA:	20,480 SQUARE FEET
OPEN SPACE:	41,587/117,242 : 35%
PAVED SURFACE AREA:	55,175/117,242 : 47%
BUILDING HEIGHT:	1 STORY (20' 00" HEIGHT)
PARKING REQUIRED:	34 PARKING SPACES
PARKING PROVIDED:	59 PARKING SPACES (4 ACCESSIBLE PARKING SPACES INCLUDED)

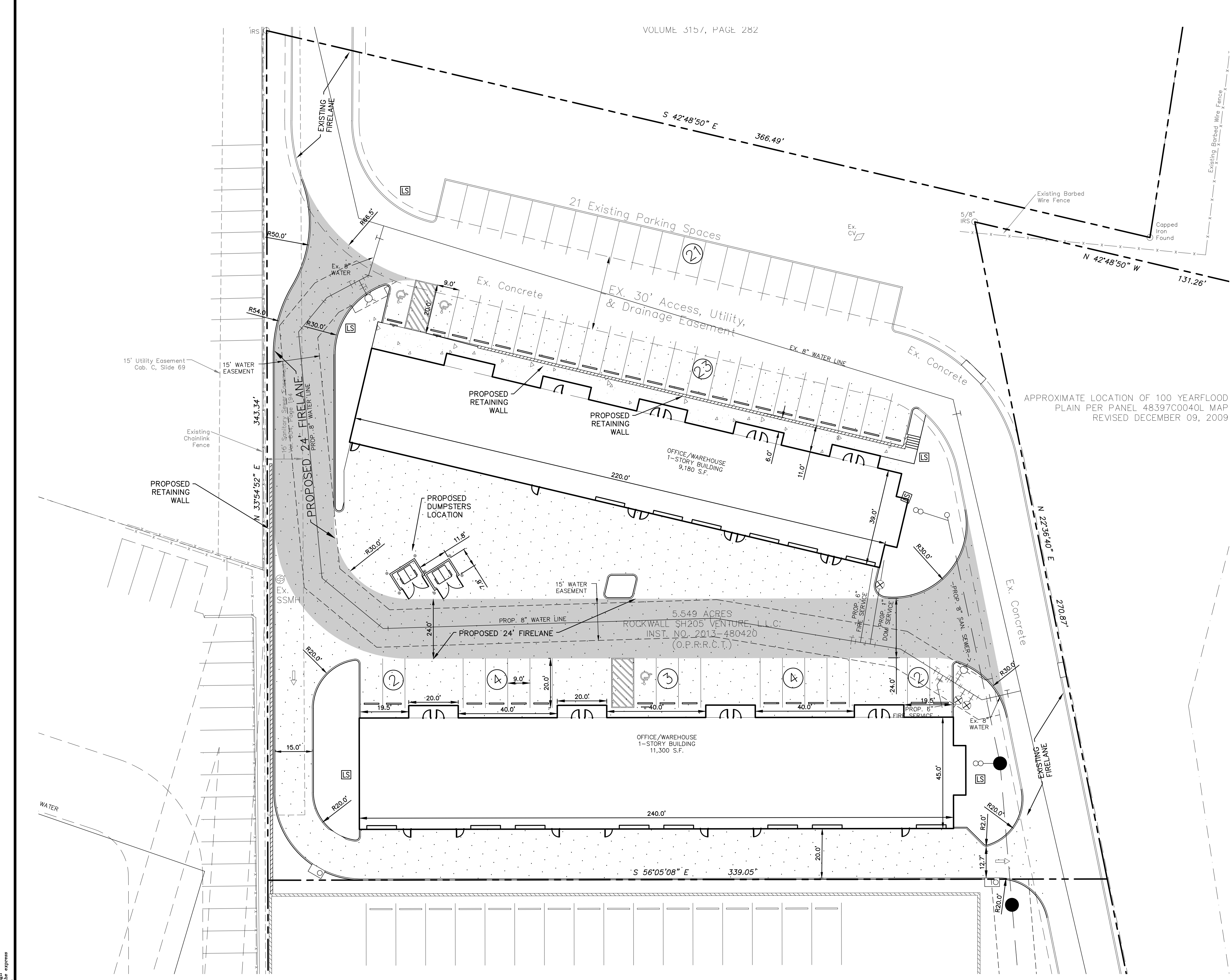
CASE #: _____

BENCHMARK
NE CORNER OF THE CONCRETE CURB INLET LOCATED ON THE NE CORNER OF "COSTCO" WAREHOUSE ALONG THE EASTERN DRIVE.
ELEVATION= 539.71

NORTHERN CORNER OF EXISTING CURB INLET ALONG TOWNSEND ROAD, APPROXIMATELY 630 FEET SOUTH EAST OF THE INTERSECTION OF THE I30 EB SERVICE ROAD AND TOWNSEND ROAD.
ELEVATION= 537.64

CITY OF ROCKWALL CONTROL MONUMENT #19
ELEVATION= 600.68

REV NO.	DATE	DESCRIPTION



III CAUTION III UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: TEXAS ONE CALL • 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

ENGINEER:
CUMULUS DESIGN, INC.
P.O. BOX 2119
EULESS, TEXAS 76039
PH: 214-235-0367
CONTACT: PAUL CRAGUN
EMAIL: PAUL@CUMULUSDESIGN.NET

OWNER:
RON WALK
1834 S FM 551
FATE, TX 75189

CUMULUS DESIGN
Firm #14810
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214-235-0367

FOR REVIEW, NOT FOR CONSTRUCTION
THIS DOCUMENT IS FOR SITE INFORMATION ONLY. IT IS RELEASED UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 05/12/16.

SITE PLAN
OFFICE PARK ON TOWNSEND DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

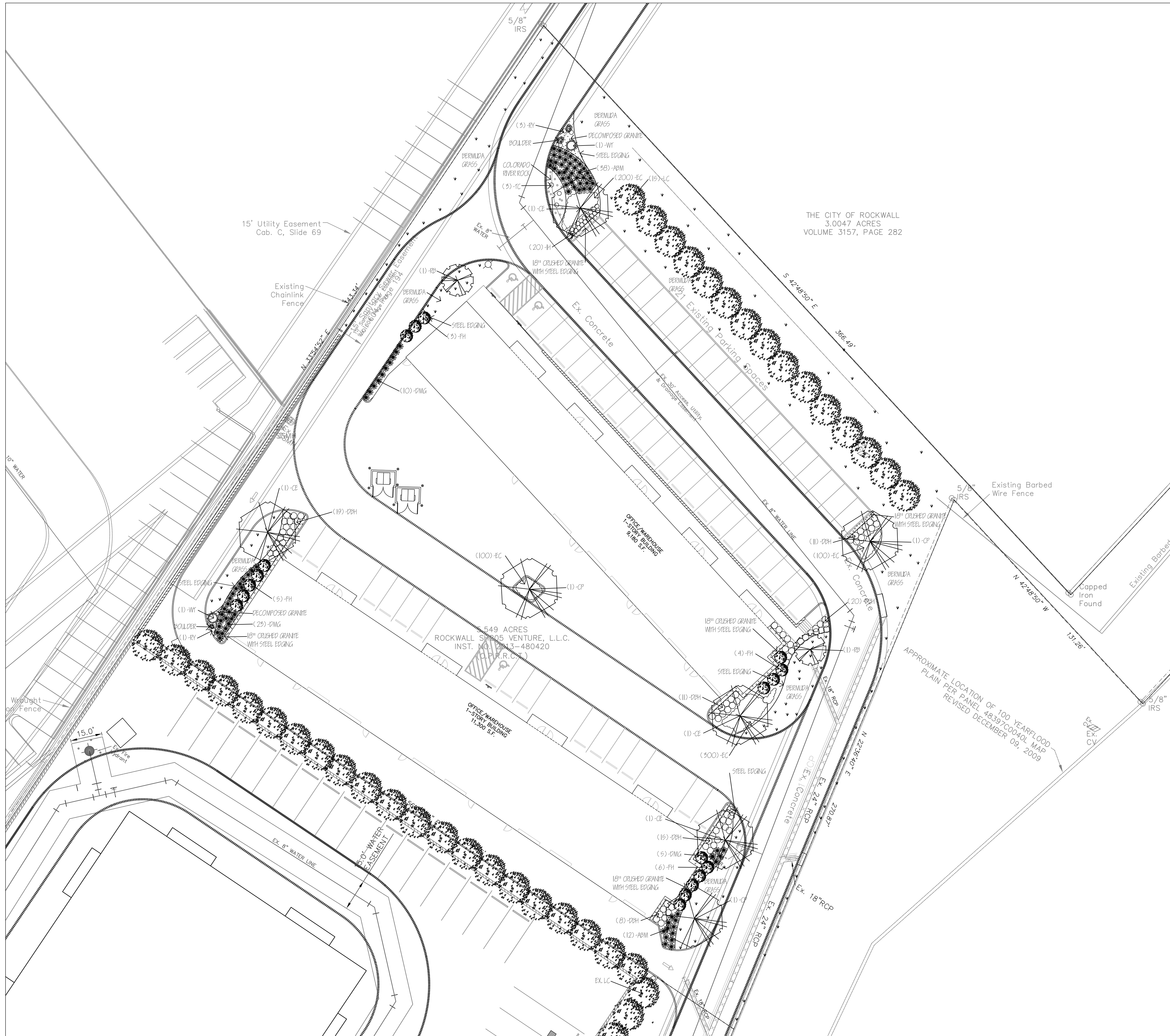
PLOT DATE
05/12/16

DRAWING SCALE
1" = 20'

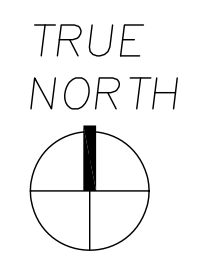
PROJECT NUMBER
CD15034

SHEET NUMBER
SP

Cumulus Design, Inc. is not responsible for any errors or omissions in this drawing or any other drawings or specifications prepared by or for the owner or any other party. The engineer does not assume the responsibility for the utility locations shown. It shall be the sole responsibility of the contractor(s) to verify the horizontally and vertically location of all utilities and underground facilities prior to construction, to take precautions in order to protect all facilities encountered and notify the engineer of all conflicts of the work with existing facilities. The contractor shall protect and maintain all utilities from damage during construction. Any damage by the contractor to utilities shall be repaired or replaced by the contractor at their own expense.



01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

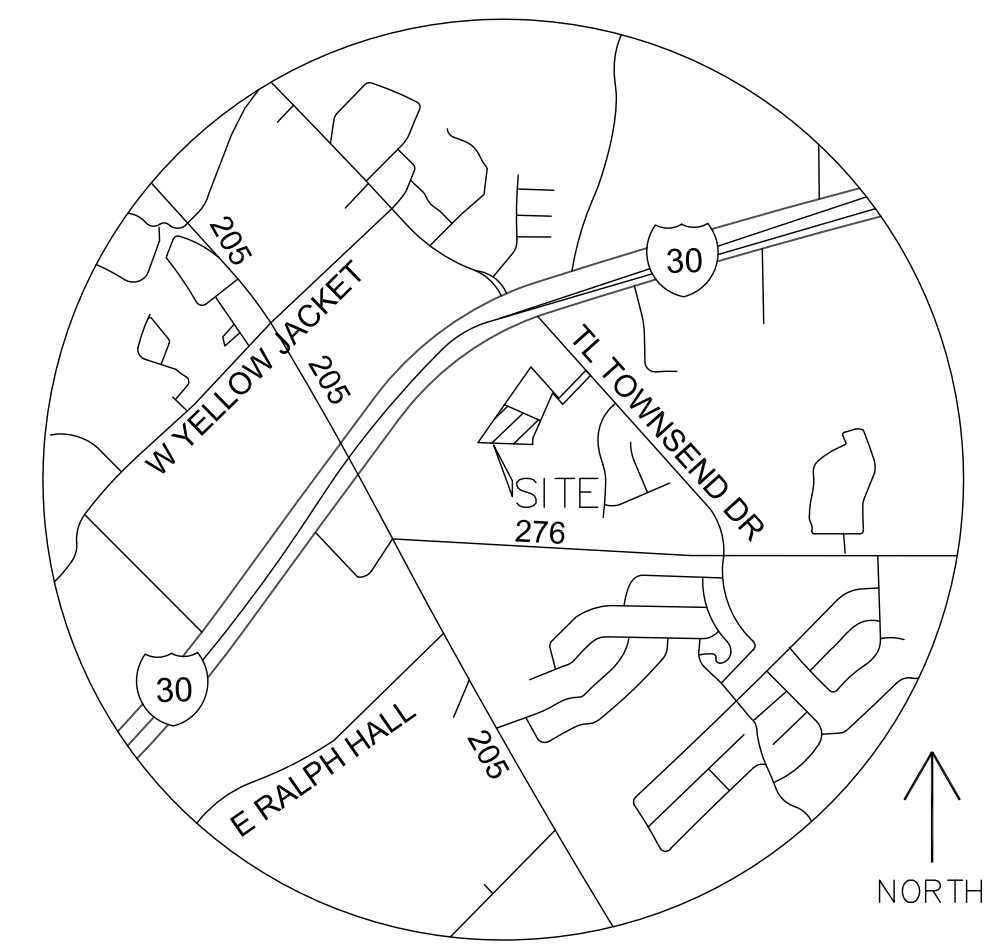


PLANT MATERIAL LIST

TREES			
KEY	QUANTITY	DESCRIPTION	SIZE
CE	4	ULMUS CRASSIFOLIA	3" CAL. MIN. 4' SPREAD, MIN. 10 FT.
CP	3	PISTACHIA CHINENSE	3" CAL. MIN. 4' SPREAD, MIN. 10 FT.
LC	15	CUPRESSOCYPARIS LEYLANDII	30 GAL., 5 FT. HT., 3 FT. SPREAD
RB	2	CERCIS CANADENSIS VAR. TEXENSIS	2" CAL., 8' HT., 3' SPREAD
		TEXAS REDBUD	3' SPREAD
SHRUBS			SIZE
DBH	84	ILEX BURFORDII 'NANA'	5 GAL., MIN. 24" HT., 24" O.C.
		DF. BURFORD HOLLY	5 GAL., MIN. 24" HT., 24" O.C.
IH	20	RAPHIOLEPIS INDICA 'PINK LADY'	5 GAL., MIN. 24" HT., 24" O.C.
		INDIAN HAWTHORN	5 GAL., MIN. 24" HT., 24" O.C.
FH	18	ILEX X ATTENUATA 'FOSTERI'	30 GAL., MIN. 5' HT., 3' SPREAD, FULL TO GD.
		FOSTER HOLLY	
WT	2	AGAVE OVATIFOLIA	5 GAL., MIN. 15" HT.
		WHALE'S TONGUE	
RY	4	HESPERALOE PARVIFOLIA	5 GAL., MIN. 15" HT.
		RED YUCCA	
GROUND COVER			SIZE
KEY	QUANTITY	DESCRIPTION	SIZE
EC	700	EUCHONIMUS COLORATUS 'FORTUNEI'	4" POT, FULL PLANT
		PURPLE WINTERCREEPER	10" O.C.
BLOOMING COLOR			SIZE
KEY	QUANTITY	DESCRIPTION	SIZE
TC	3	MALVAISCUS ARBOREUS V. DRUMMONDII	1 GAL., FULL PLANT
		TURKS CAP	16" O.C.
ORNAMENTAL GRASSES			SIZE
KEY	QUANTITY	DESCRIPTION	SIZE
ABM	50	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GAL., FULL PLANT
		AUTUMN BLUSH MUHLY	15" O.C.
DMG	38	MISCANTHUS SINENSIS 'ADAGIO'	1 GAL., FULL PLANT
		DF. MAIDEN GRASS	16" O.C.

LANDSCAPE ORDINANCE FOR CITY OF ROCKWALL

REQUIREMENTS	PROVIDED
MINIMUM SQUARE FOOTAGE REQUIREMENTS FOR LANDSCAPING SHALL BE PROVIDED AND MINIMUM IN THE ZONING DISTRICTS SET FORTH AS FOLLOWS: COMMERCIAL - 15% @ 107,242 SF. = 17,586 SF. REQUIRED	59,758 SF. LANDSCAPE AREA PROVIDED
ANY PARKING LOT WITH MORE THAN 2 ROWS SHALL HAVE A MINIMUM OF 5% OR 200 SF. WHICHEVER IS GREATER IN THE INTERIOR OF THE PARKING LOT IN LANDSCAPING, SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL LANDSCAPING. = 17,586 SF. @ 5% = 879 SF.	1,644 SF. LANDSCAPE AREA PROVIDED
PARKING AND MANEUVERING SPACE EXCEEDS 20,000 SF., ONE TREE FOR EVERY 10 PARKING SPACES. 95,119 SF. @ 59 SPACES = 6 TREES	(6) TREES PROVIDED
NO PARKING SPACE SHALL BE FURTHER THAN 80 FEET FROM AT LEAST ONE TREE.	ALL PARKING SPACES ARE WITHIN 80 FT. OF AT LEAST ONE TREE.
TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.	TREES ARE LOCATED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.
NO LESS THAN 50% OF THE TOTAL LANDSCAPE REQUIREMENT SHALL BE LOCATED IN FRONT OF THE BUILDING LANDSCAPE REQUIREMENTS - 17,586 SF. @ 50% = 8,793 SF.	LANDSCAPE PROVIDED = 12,250 SF.
ONE ROW OF LEYLAND CYPRESS TO BE INSTALLED ALONG NORTHERN PROPERTY LINE IN ACCORDANCE WITH SUP #5-121	(15) LEYLAND CYPRESS PROVIDED
IRREGATION TO BE AN UNDERGROUND AUTOMATIC SYSTEM	AUTOMATIC SYSTEM PROVIDED



VICINITY MAP

Cumulus Design
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2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367

LANDSCAPE PLAN
OFFICE PARK ON TOWNSEND DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

JCL
J. CAMILLE LA FOY
LANDSCAPE ARCHITECTURE CONSULTING
1010 NORTH GREENVILLE AVENUE, SUITE 200
ALLEN, TEXAS 75002
214.235.0367

PLOT DATE	05/12/16
DRAWING SCALE	1" = 20'
PROJECT NUMBER	CD15034
SHEET NUMBER	L1.01

SUP2014-033

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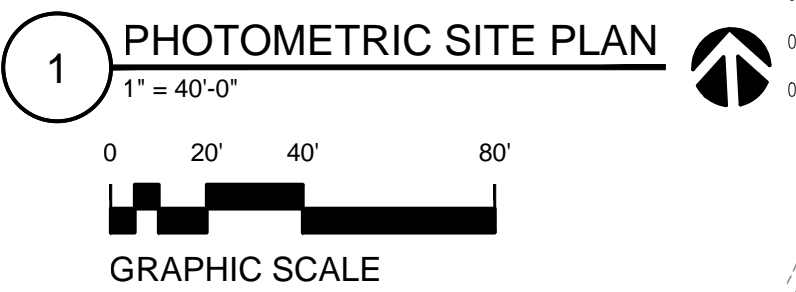
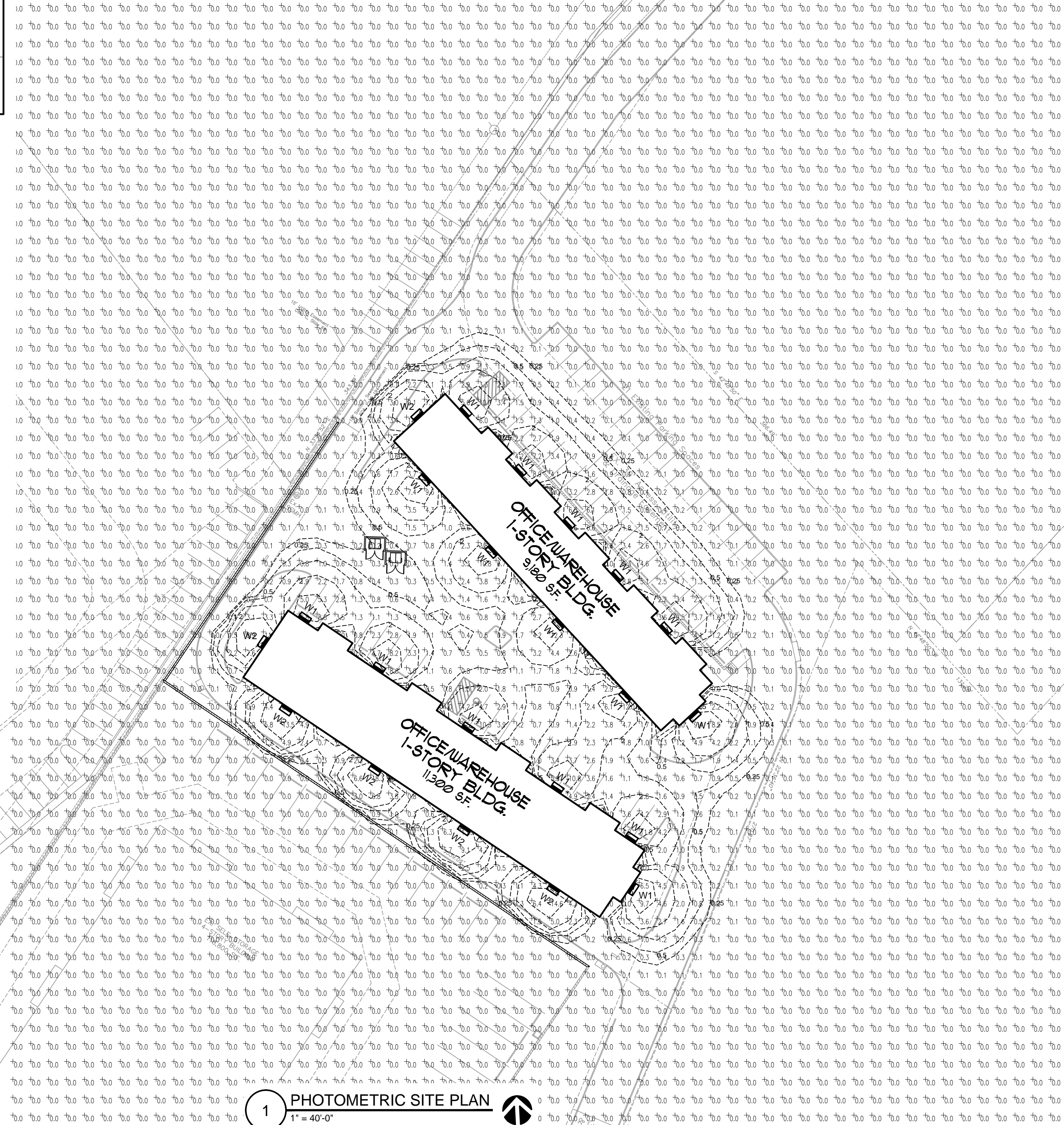
- NOTES:
1. OUTDOOR LIGHTING CIRCUITS SHALL BE PROVIDED WITH PROGRAMMABLE TIME CLOCK AND PHOTOCELL CONTROLLERS PER INTERNATIONAL ENERGY CONSERVATION CODE.
 2. NUMBERS AND CONTOURS SHOWN ON PLAN ARE FOOT-CANDLE UNITS.
 3. ELECTRICAL CONTRACTOR SHALL VERIFY ILLUMINATION LEVELS AFTER INSTALLATION AND SHALL ADJUST LUMINAIRES AS NECESSARY.

OUTDOOR LIGHTING SCHEDULE						
SYMBOL	LABEL	QTY	MANUF. CAT #	DESCRIPTION	LAMP	HEIGHT
	W1	16	'RAB LIGHTING' ALED4T50 (TYPE IV)	WALL PACK METAL HOUSING, CLEAR FLAT GLASS LENS, CUTOFF TYPE.	SIX WHITE MULTI-CHIP LED'S, 52 WATT, 100 - 277 MULTI-VOLT	HORZ. 12'-0"
	W2	6	'RAB LIGHTING' ALED4T50 (TYPE IV)	WALL PACK METAL HOUSING, CLEAR FLAT GLASS LENS, CUTOFF TYPE.	SIX WHITE MULTI-CHIP LED'S, 52 WATT, 100 - 277 MULTI-VOLT	15' DOWN 12'-0"

OUTDOOR ILLUMINATION SUMMARY	
TOTAL LUMINAIRES	22
TOTAL KW LOAD	1.1
# POINTS	2,703
AVERAGE F.C.	0.4
MAXIMUM F.C.	12.3



LUMINAIRE TYPE 'W1'



TOWNSEND DRIVE
(VARIABLE WIDTH R.O.W.)

Drainage Easement
Volume 2118, Page 46

NO.	REVISION

PROPOSED NEW FACILITY:
OFFICE/WAREHOUSE
TOWNSEND ROAD
ROCKWALL, TEXAS 75087

4700Kemble St.
Fort Worth, TX 76103
TEL: 817-386-5365
FAX: 817-386-5365
WWW.JLBSYSTEMS.COM



PHOTOMETRIC
SITE PLAN

Date 05-12-2016

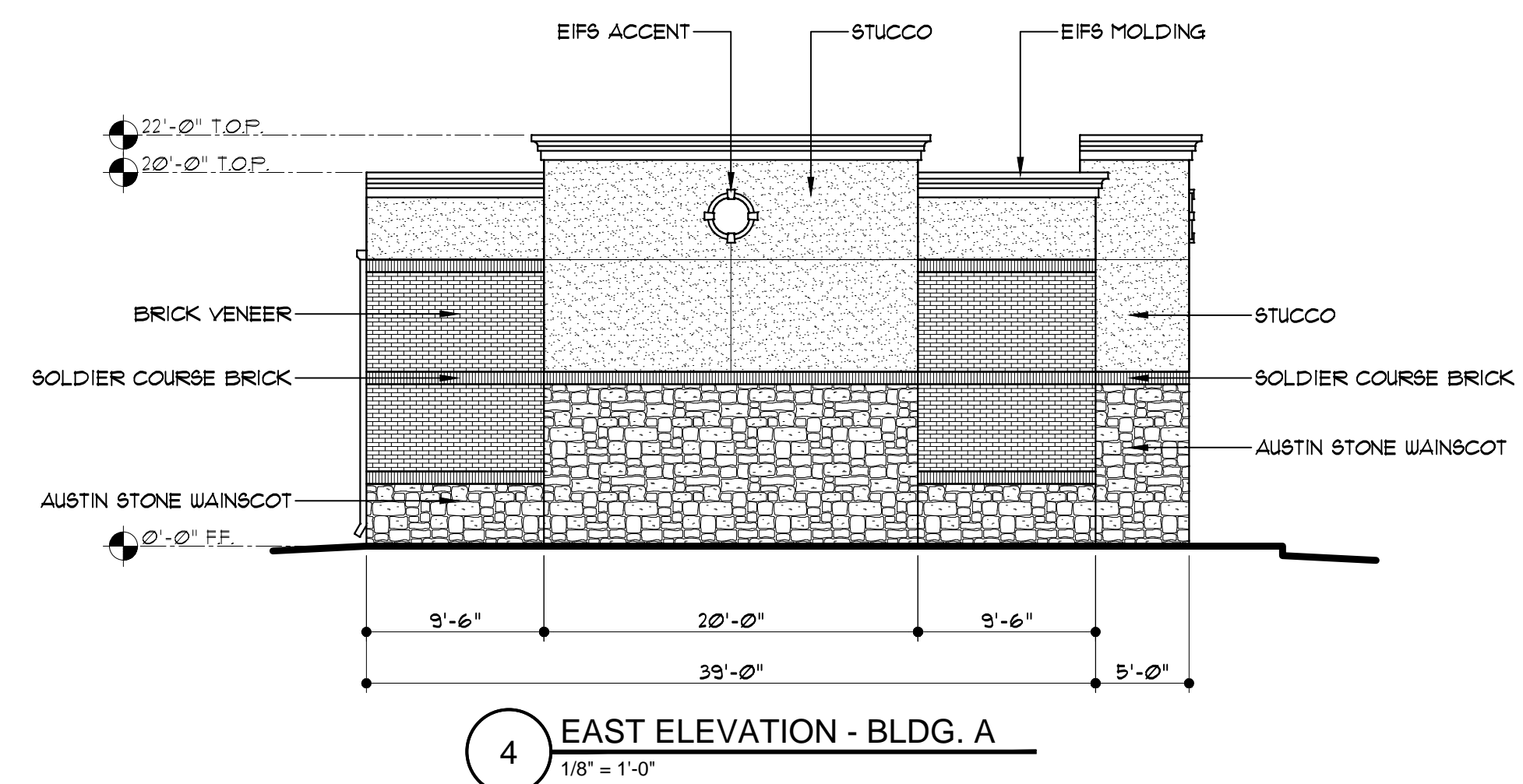
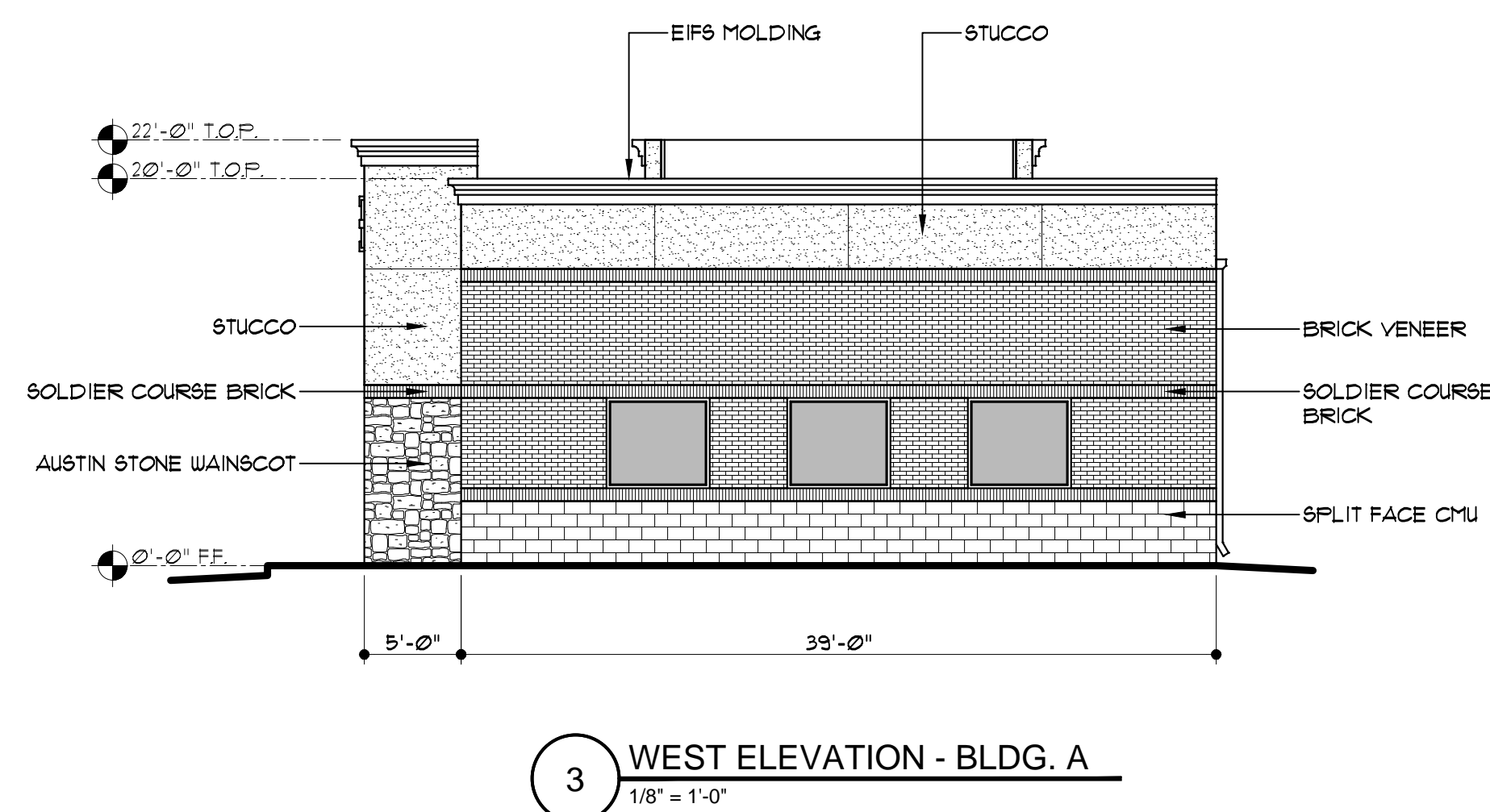
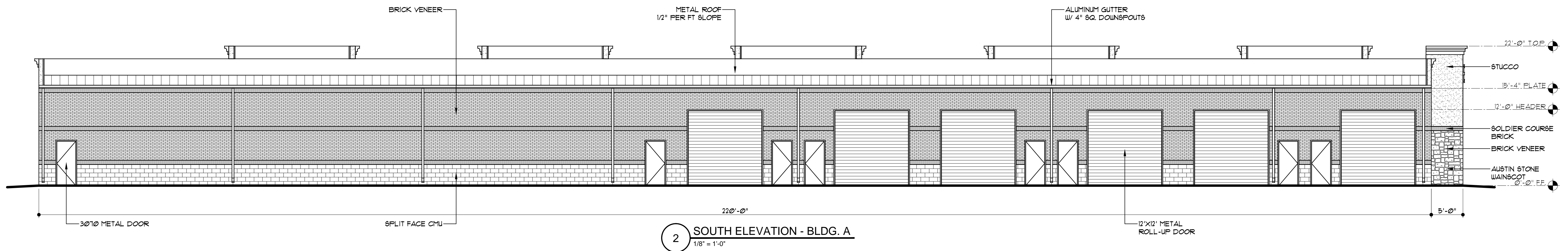
Scale As Noted

Drawn JLL

Job 15037

Sheet

PS



NO.	REVISION	NO.	REVISION

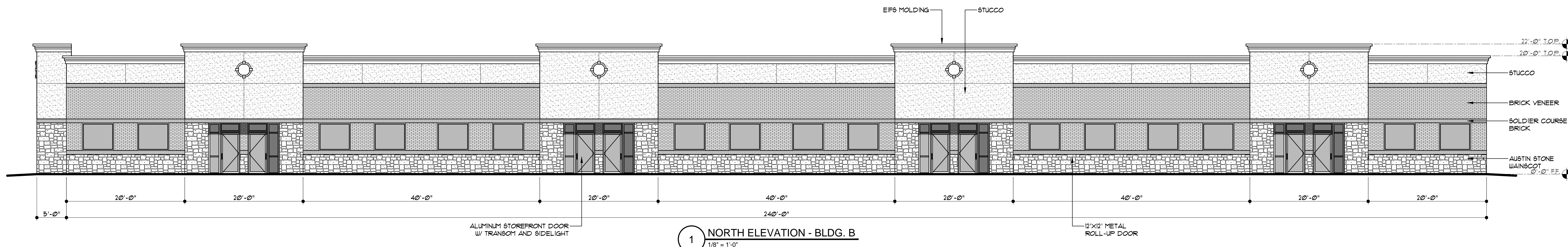


4700Kemble St.
Fort Worth, TX 76103
Ph: 817-534-6579
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WWW.JLBUILDINGSYS.COM

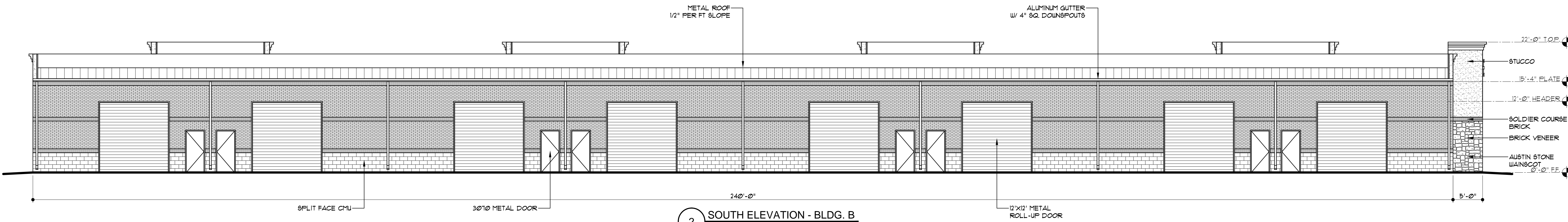
PROPOSED NEW OFFICE/WAREHOUSE FACILITY FOR:
PLANTINUM CONSTRUCTION
TOWNSEND RD.
ROCKWALL, TEXAS

Date	05-10-2016
Scale	As Noted
Drawn	JLL
Job	15037

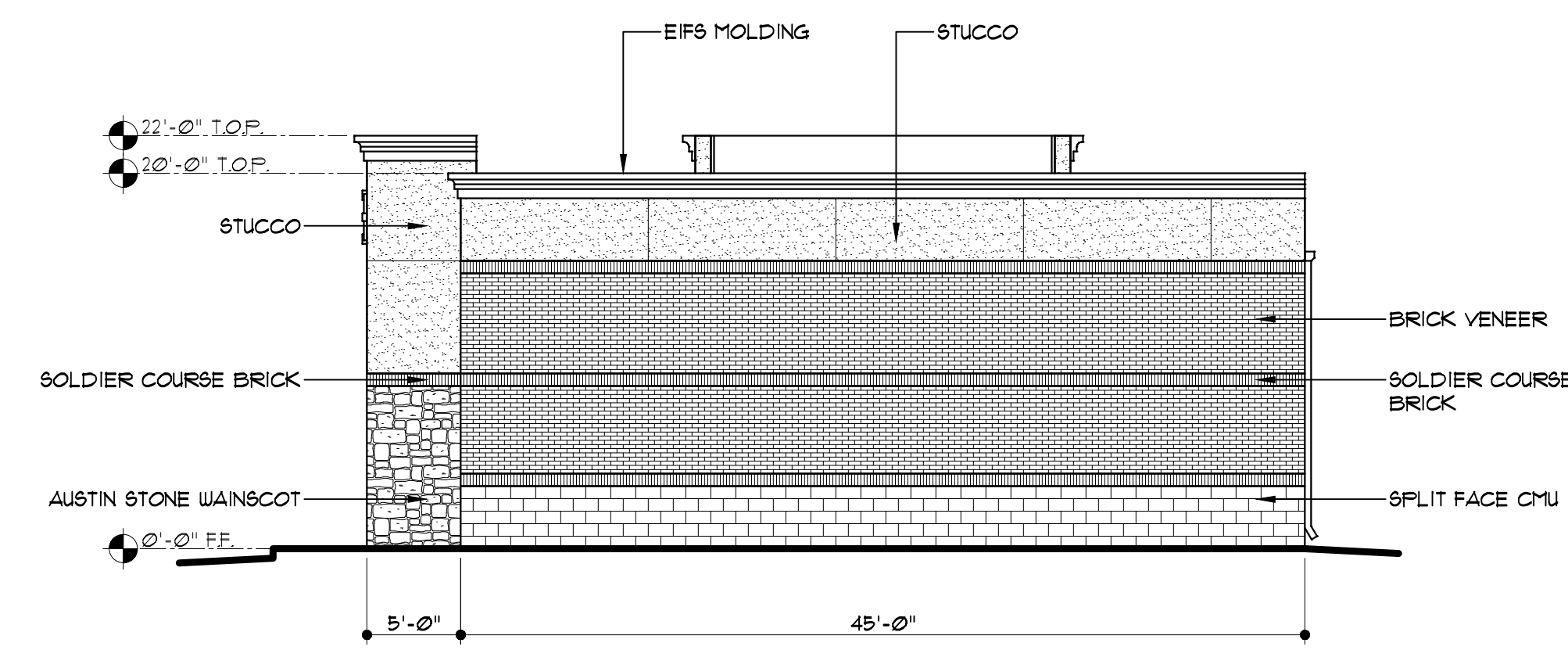
ELEVATIONS
BUILDING A
Sheet:
A2.1



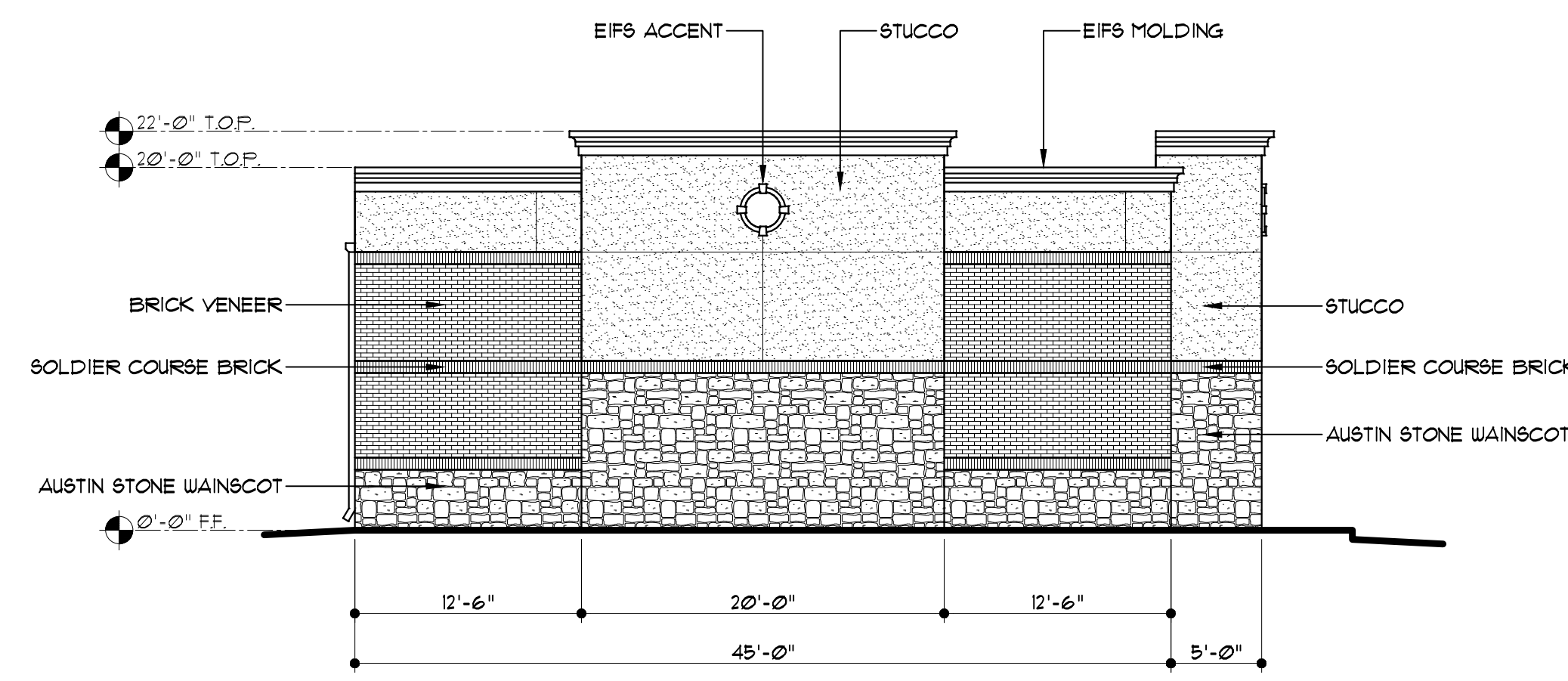
1 NORTH ELEVATION - BLDG. B
1/8" = 1'-0"



2 SOUTH ELEVATION - BLDG. B
1/8" = 1'-0"



3 WEST ELEVATION - BLDG. B
1/8" = 1'-0"



4 EAST ELEVATION - BLDG. B
1/8" = 1'-0"

NO.	REVISION	NO.	REVISION



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PROPOSED NEW OFFICE/WAREHOUSE FACILITY FOR:
PLANTINUM CONSTRUCTION
TOWNSEND RD.
ROCKWALL, TEXAS

Date	05-10-2016	ELEVATIONS BUILDING B
Scale	As Noted	
Drawn	JLL	
Job	15037	
		Sheet: A2.2



1 NE PERSPECTIVE VIEW
NOT TO SCALE

NO.	REVISION	NO.	REVISION



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www.jlbldsys.com

PROPOSED NEW OFFICE/WAREHOUSE FACILITY FOR:
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TOWNSEND RD.
ROCKWALL, TEXAS

Date	05-10-2016
Scale	As Noted
Drawn	JLL
Job	15037

PERSPECTIVE VIEW
Sheet:
A2.3