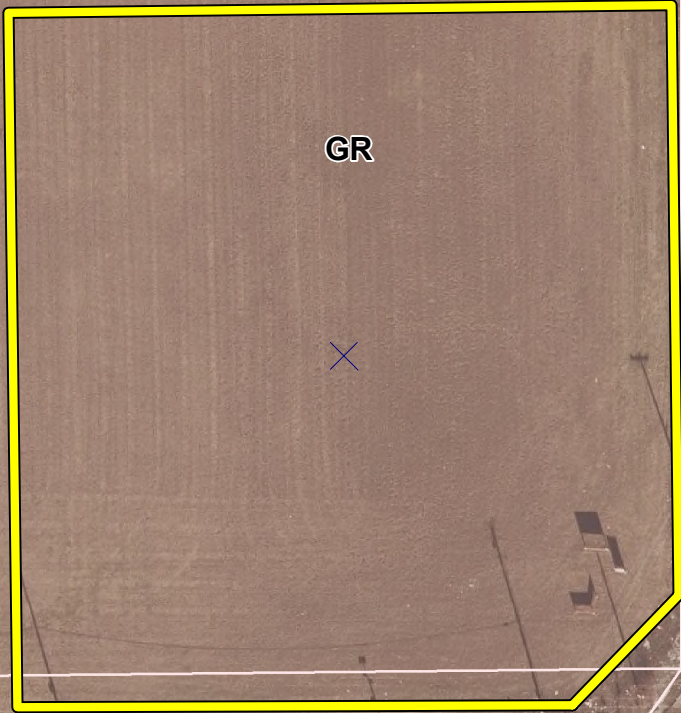


0 25 50 100 150 200 Feet

SP2016-007- ALDI FOOD STORE
SITE PLAN - LOCATION MAP = 



DALTON

FM 552



SF-16



PD-70

GOLIAD

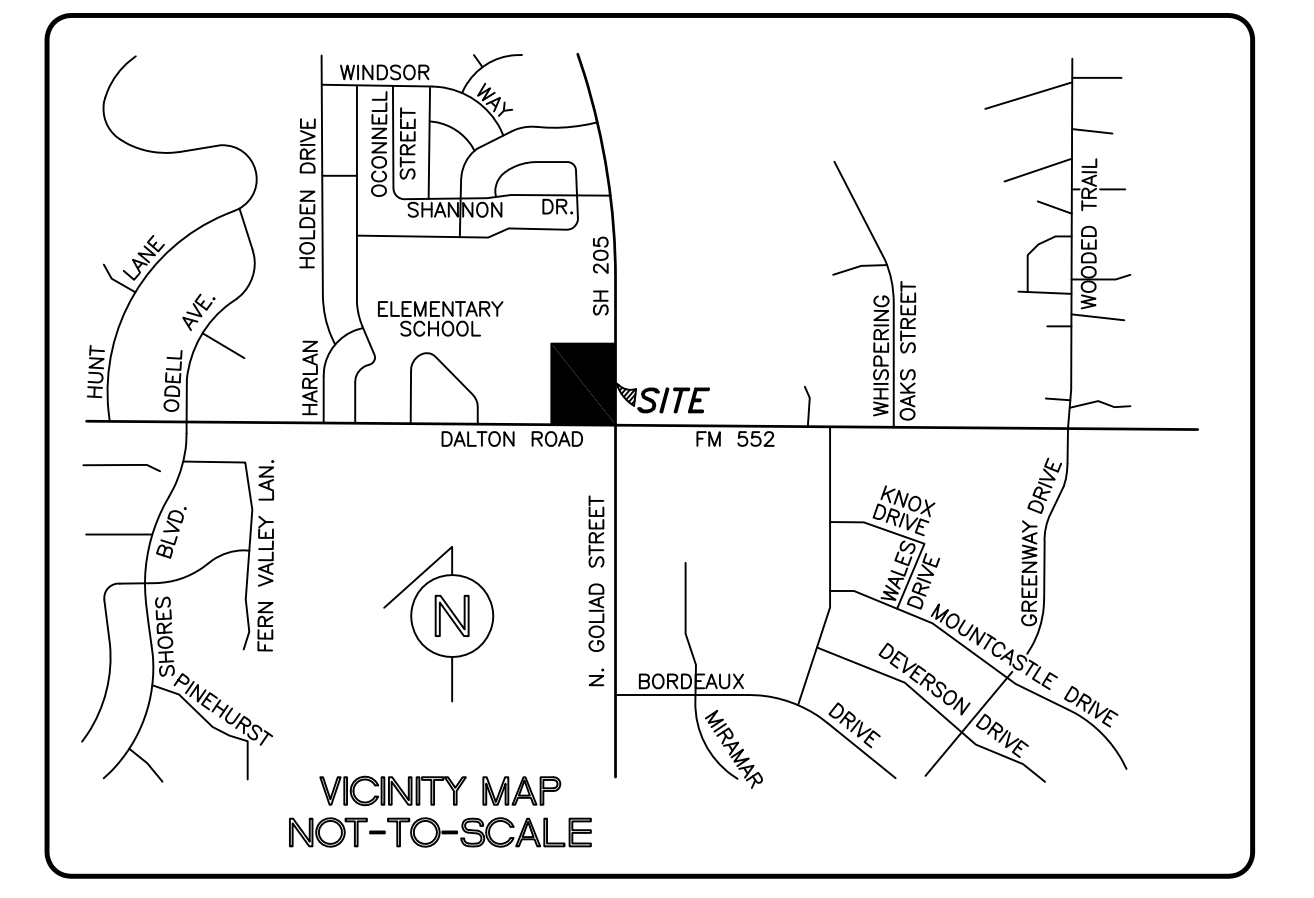
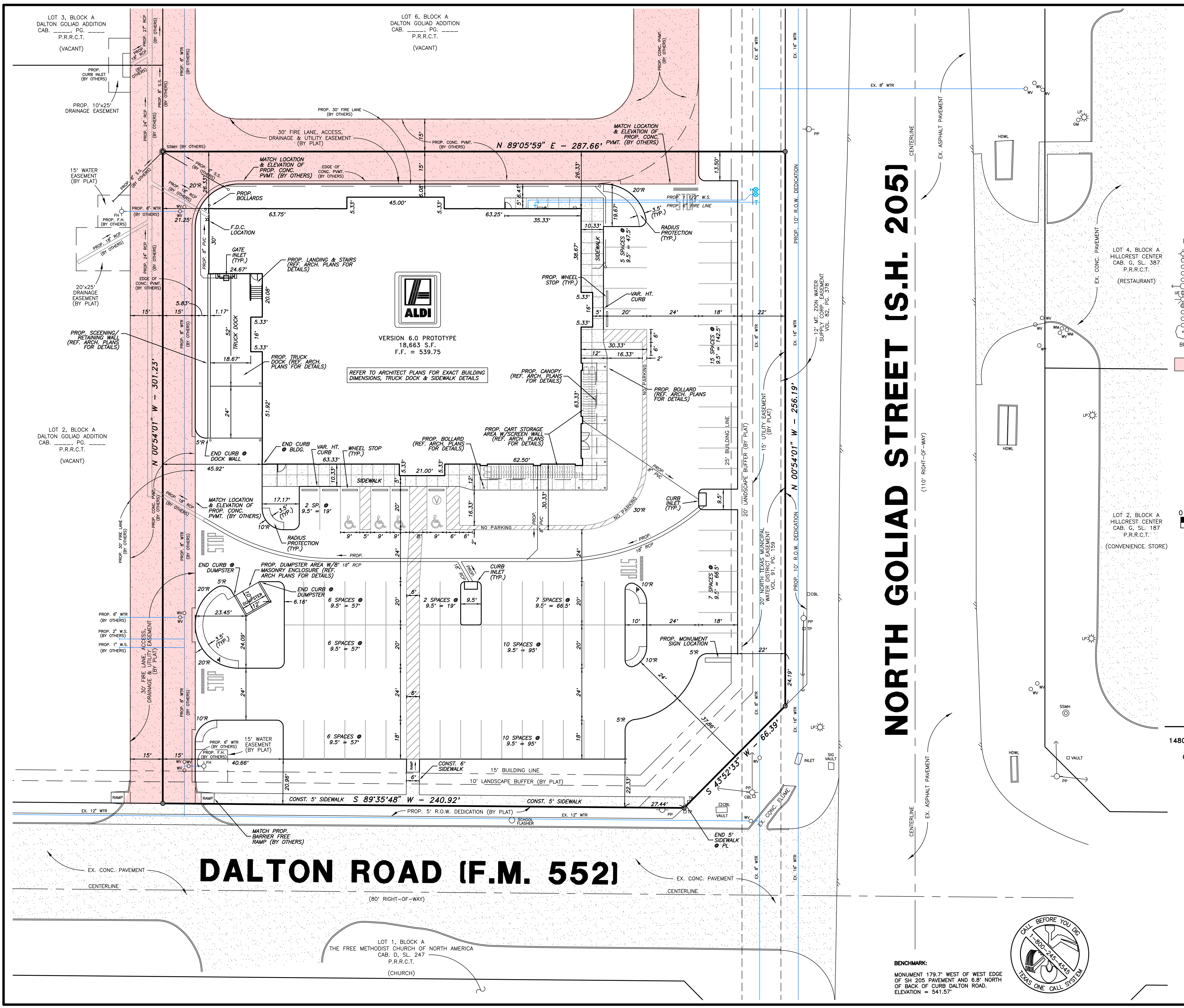


City of Rockwall

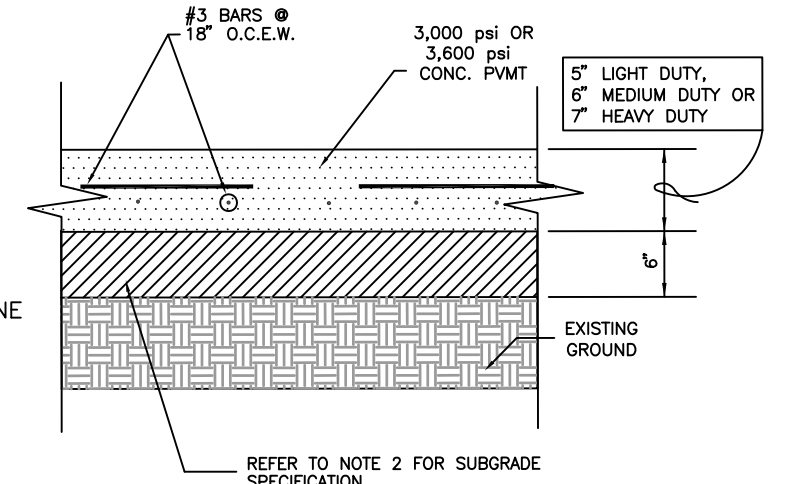
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



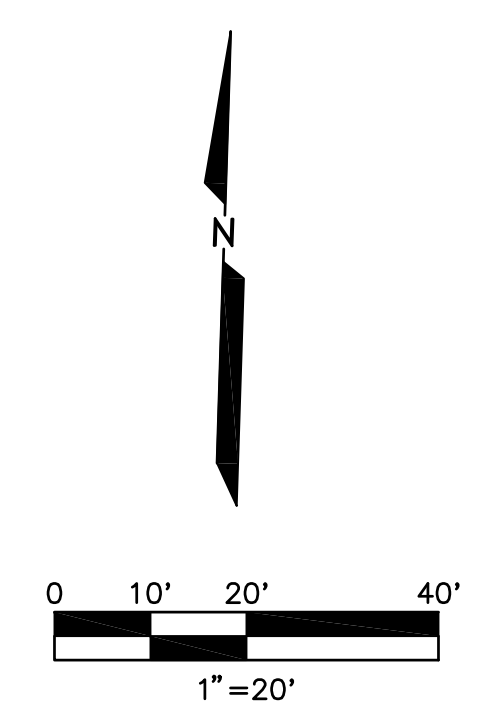


- LEGEND**
- F.H. FIRE HYDRANT
 - CHISELED "X" SET
 - CHISELED "X" FOUND
 - IRON ROD FOUND (SIZE AS NOTED)
 - IRON ROD SET (SIZE AS NOTED)
 - OVERHEAD UTILITY POLE W/ GUY
 - UNDERGROUND ELECTRIC OR TELEPHONE
 - LIGHT POLE
 - SANITARY SEWER MANHOLE
 - SAN. SWR. CLEAN OUT
 - GAS VALVE
 - WATER VALVE
 - TREE
 - BFR BARRIER FREE RAMP



LIGHT/MEDIUM/HEAVY DUTY CONCRETE PAVEMENT SECTION
N.T.S.

- PROJECT NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINE, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY:
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, SIDEWALK & RAMPING BETWEEN CURB & BUILDING.
 - ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
 - COORDINATE & CONFIRM ALL BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
 - REFERENCE FINAL PLAT FOR ALL PROPERTY LINE INFORMATION.



SITE DATA	
SITE AREA:	1.972 ACRES (85,901 S.F.)
ZONING DISTRICT:	GR (GENERAL RETAIL W/NORTH SH 205 OVERLAY DISTRICT)
PROPOSED USE:	GROCERY / RELATED PRODUCTS
BUILDING AREA:	18,663 S.F.
F.A.R.:	0.217
BUILDING HEIGHT:	22.5' (1 STORY)
PARKING:	REQUIRED: 1 SPACE/250 SF OF BUILDING AREA PROVIDED: 75 (4 ACCESSIBLE) / 80 (4 ACCESSIBLE)
OFF-STREET LOADING:	REQUIRED: 1 PROVIDED: 1
LANDSCAPE (PERVIOUS) AREA REQUIRED:	12,885 S.F. (15%)
LANDSCAPE (PERVIOUS) AREA PROVIDED:	16,779 S.F. (19.53%)
IMPERVIOUS AREA PROVIDED:	69,122 S.F. (80.47%)

OWNER:
ROCKWALL 205-552, LLC
14801 QUORUM DRIVE, SUITE 160
DALLAS, TEXAS 75254
CONTACT: DON SILVERMAN

APPLICANT:
ALDI, INC.
2500 WESTCOURT ROAD
DENTON, TEXAS 76207
CONTACT: HEATHER RIMMER

ENGINEER:
BURGER ENGINEERING, LLC
TEXAS REGISTERED ENGINEERING FIRM F-12997
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
(972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.

CASE NUMBER: _____

REV	DATE	REMARKS

CITY SITE PLAN

ALDI FOOD STORE

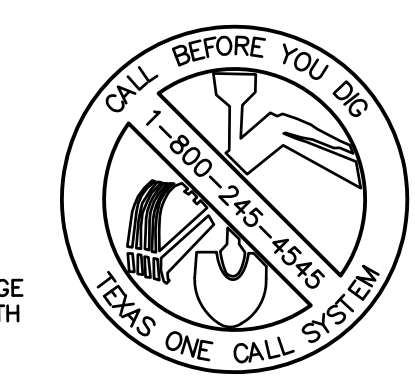
LOT 1, BLOCK A - DALTON GOLIAD ADDITION
THE CITY OF ROCKWALL, TEXAS

BURGER ENGINEERING
Civil Consultants
17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997

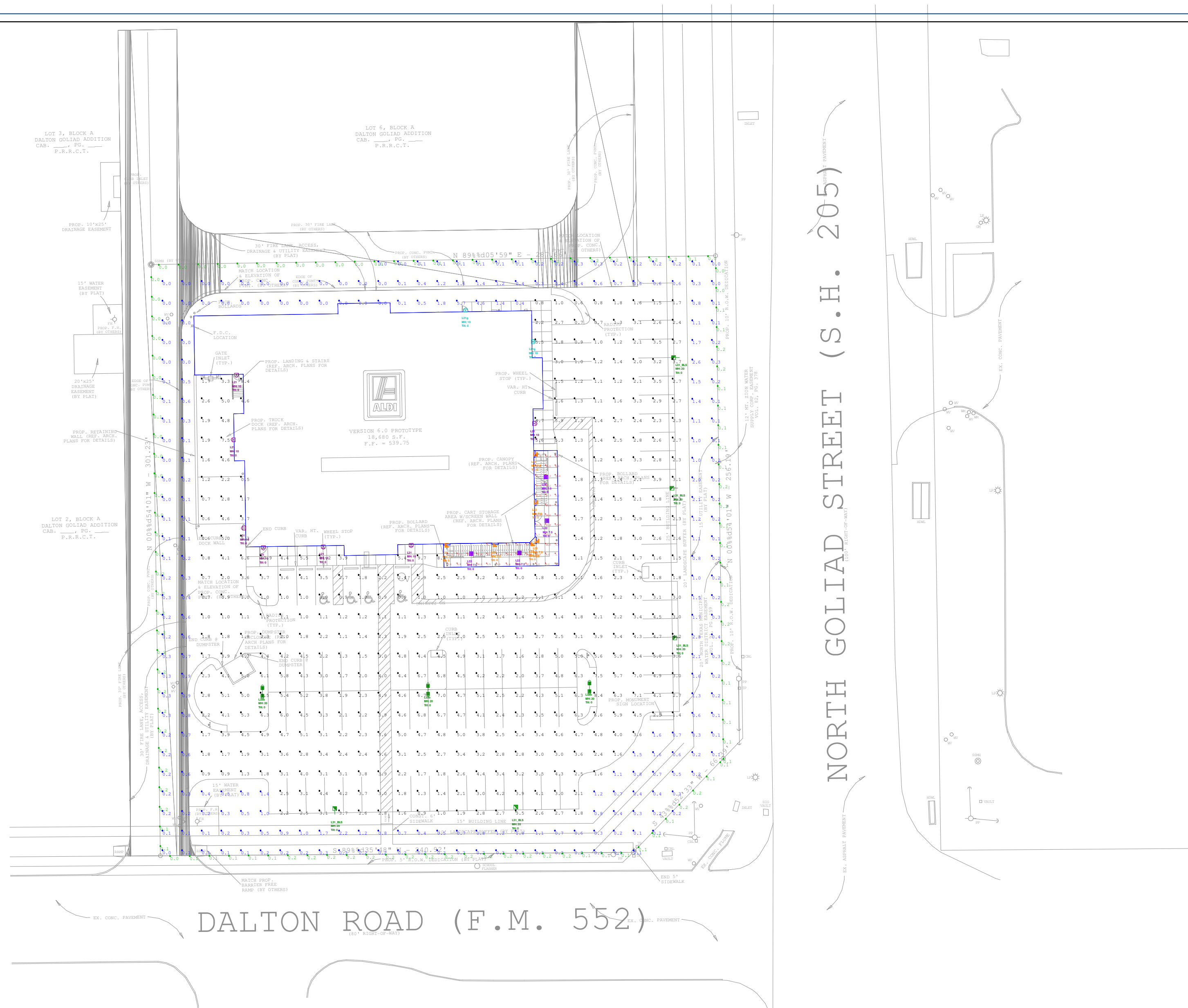
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BMB	JAC	3/16	1"=20'	D.P.	007-082 SITE PLAN	C-3

NORTH GOLIAD STREET (S.H. 205)

DALTON ROAD (F.M. 552)



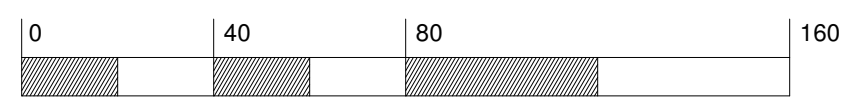
BENCHMARK:
MONUMENT 179.7' WEST OF WEST EDGE OF SH 205 PAVEMENT AND 6.8' NORTH OF BACK OF CURB DALTON ROAD.
ELEVATION = 541.57'



Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Lum. Watts	Description
	3	L32b	BACK-BACK	11412	1.000	112	OSQ-A-NM-4ME-A-57K-UL-CS W/ OSQ-DACS
	6	L23	SINGLE	N.A.	1.000	43.07	AL-42WLED-JD-CG-120
	4	L22	SINGLE	4620	1.000	43	CPY250-A-DM-F-C-UL-CS
	7	L21	SINGLE	4109	1.000	42	XSPWA03MC-UCSP
	2	L21g	SINGLE	2722	1.000	25	XSPWA03MG-UCSP
	5	L31_BLS	SINGLE	9747	1.000	112	OSQ-A-NM-4ME-A-57K-UL-CS W/ OSQ-DACS

Calculation Summary; LMF = 1.00					
Label	Avg	Max	Min	Avg/Min	Max/Min
Cart Canopy	12.85	31.3	1.1	11.68	28.45
Pavement	2.98	11.2	0.5	5.96	22.40
Property Line	0.11	0.2	0.0	N.A.	N.A.
Site	0.49	5.7	0.0	N.A.	N.A.

FIXTURE MOUNTING HEIGHTS AS SHOWN
 NOTE: 18' POLE + 2' BASE = 20' MH
 ADDITIONAL EQUIPMENT REQUIRED:
 (3) CL-SSP-4011-18-D2-CS (18' x 4" STEEL SQUARE POLE, 2@180 MOUNT)
 (5) CL-SSP-4011-18-D1-CS (18' x 4" STEEL SQUARE POLE, SINGLE MOUNT)
 (11) OSQ-DACS DIRECT ARM MOUNT
 (5) OSQ-BLSMF BACKLIGHT SHIELD ACCESSORY
 PROPOSED POLES MEET 120MPH SUSTAINED WIND LOADS

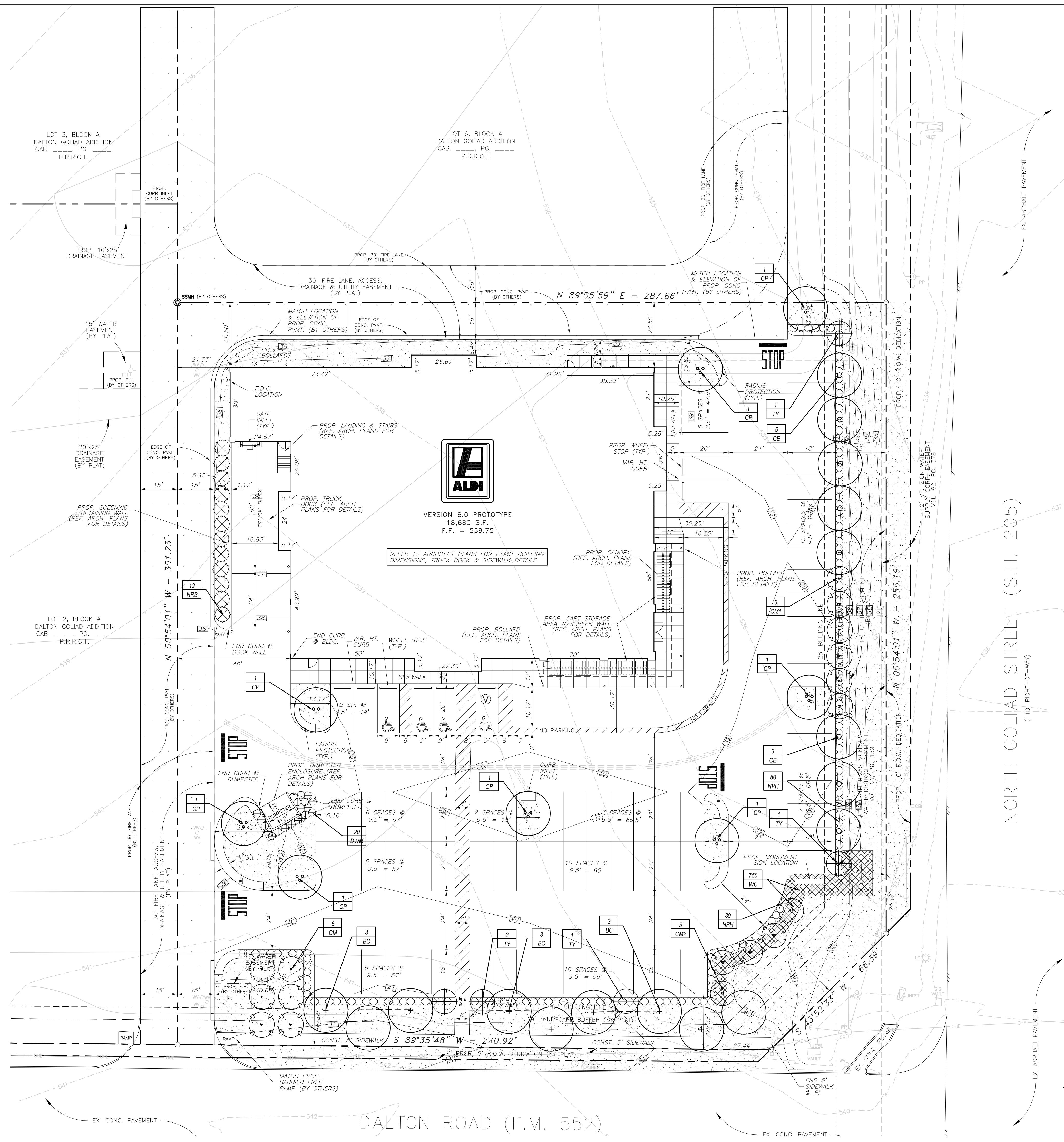


CREE

1200 92nd Street - Sturtevant, WI 53177
www.cree.com - (800) 236-6800

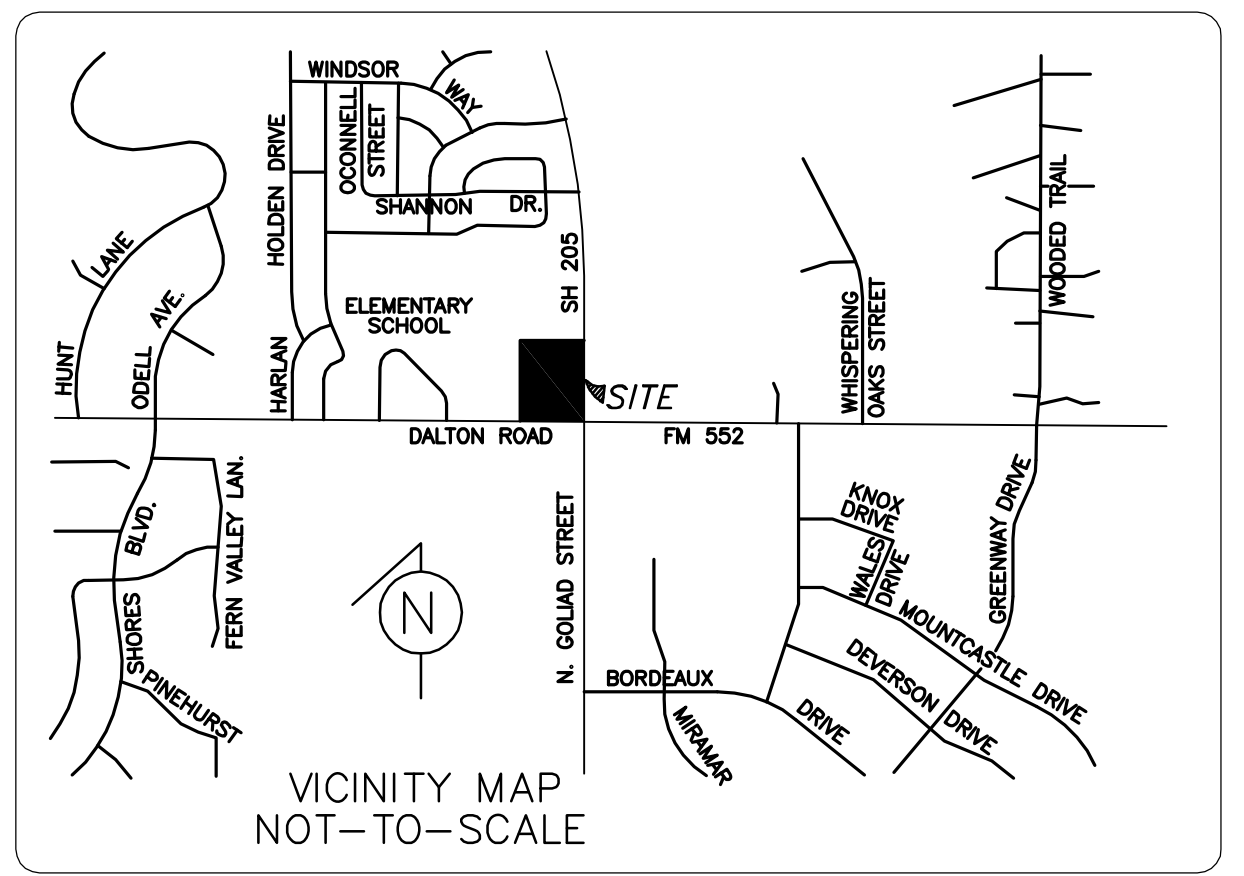
Project Name: ALDI SITE LIGHTING - ROCKWALL, TX SR No. 13286
 Date: 3/23/2016 Scale: 1"=40' Footcandles calculated at grade
 Filename: ALD-160323RKTJEE.AGI Layout by: JACOB EDLER

Illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.



LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.



PLANT LIST

TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	9	BC	Bald Cypress	<i>Taxodium distichum</i>	4" cal.	container grown, 15" ht. 5' spread min.
	8	CE	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	container grown, 15" ht. 5' spread min.
	8	CP	Chinese Pistache	<i>Pistacia chinensis</i>	4" cal.	container grown, 15" ht. 5' spread min.
	5	TY	Tree Yaupon Holly	<i>Ilex vomitoria</i>	6" ht.	B&B, 3 cane, tree form, no cross caning
	12	CM1	Creepe Myrtle 'Catawba'	<i>Lagerstroemia indica 'Catawba'</i>	6" ht.	container grown, 3-5 cane, no cross caning
	5	CM2	Creepe Myrtle 'Hop'	<i>Lagerstroemia indica 'Hop'</i>	5" ht.	container grown, 3-5 cane, no cross caning

SHRUBS

QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
169	NPH	Needlepoint Holly	<i>Ilex cornuta 'Needlepoint'</i>	5 gal.	container, full plant, 36" o.c.
12	NRS	Nellie R. Stevens Holly	<i>Ilex sp. 'Nellie R. Stevens'</i>	5" ht.	container, full to base, 6" o.c.
20	DWM	Dwarf Wax Myrtle 'Dons Dwarf'	<i>Myrica pusilla</i>	5 gal.	container, full plant, 36" o.c.

GROUNDCOVERS

QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
750	WC	Winterreaper	<i>Eunymus fortunei coloratus</i>	4" pots	container, (3) 12" runners min. 12" o.c.
		Common Bermudagrass	<i>Cynodon dactylon</i>	roll sod	solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spalls, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

LANDSCAPE TABULATIONS

REQUIREMENTS	PROVIDED
SITE REQUIREMENTS (site area 85,901 s.f.) Requirements: 15% site area to be landscaped	Required: 12,885 s.f. (15%) Provided: 16,889 s.f. (19.66%)
FRONT YARD REQUIREMENTS Requirements: 50% of required landscape must be located in front yard	Required: 6,442 s.f. (50%) Provided: 6,442 s.f.
STREET REQUIREMENTS: SH 205 OVERLAY Requirements: (3) canopy tree 4" cal. and (4) accent trees, 4" ht. per 100 LI. of frontage	Required: (9) trees, 4" cal. (12) trees, 4" ht.
DALTON ROAD (307.31 LI.)	Required: (9) trees, 4" cal. (12) trees, 4" ht.
NORTH GOLIAD STREET (256.19 LI.)	Required: (8) trees, 4" cal. (10) trees, 4" ht.
PARKING LOT (80 spaces; 39,124 s.f.) Requirements: 5% of total parking lot area and (1) tree, 4" cal. per 10 REQUIRED parking spaces (75 REQUIRED)	Required: (8) trees, 3" cal. 1,956 s.f. (5%)
ALL TREES TO BE LOCATED 5' FROM WATER, SEWER AND STORM SEWER LINES	Provided: (8) trees, 4" cal. 2,483 s.f. 6.3%
ALL TREES AND SHRUBS TO BE SETBACK 4' FROM ALL HEAD-IN PARKING	

APPLICANT:
ALDI, INC.
2500 WESTCOURT ROAD
DENTON, TEXAS 76207
CONTACT: HEATHER RIMMER

ENGINEER:
BURGER ENGINEERING, LLC
TEXAS REGISTERED ENGINEERING FIRM F-12997
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
(972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.



01 LANDSCAPE PLAN

SCALE: 1" = 20'-0"
0 10 20 40

REV.	DATE	REMARKS

LANDSCAPE PLAN
ALDI FOOD STORE
LOT 1, BLOCK A - DALTON GOLIAD ADDITION
THE CITY OF ROCKWALL, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BDA	BDA	3/28/16	1"=20'	D.P.	007-092 SITE PLAN	L-1

smr
landscape architects, inc.
1708 N. Gryn Street
Dallas, Texas 75248
Tel 214.871.0083
Fax 214.871.0545
Email smr@smr-ls.com

SP2016-0

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- Texas Association of Nurserymen, Grades and Standards.
- Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3) inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1) inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 - Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

- Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dalmanella or Nutsgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.

PART 2 - PRODUCTS

2.1 PLANTS

- General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, or objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10) inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Nomenclature conforms to the customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

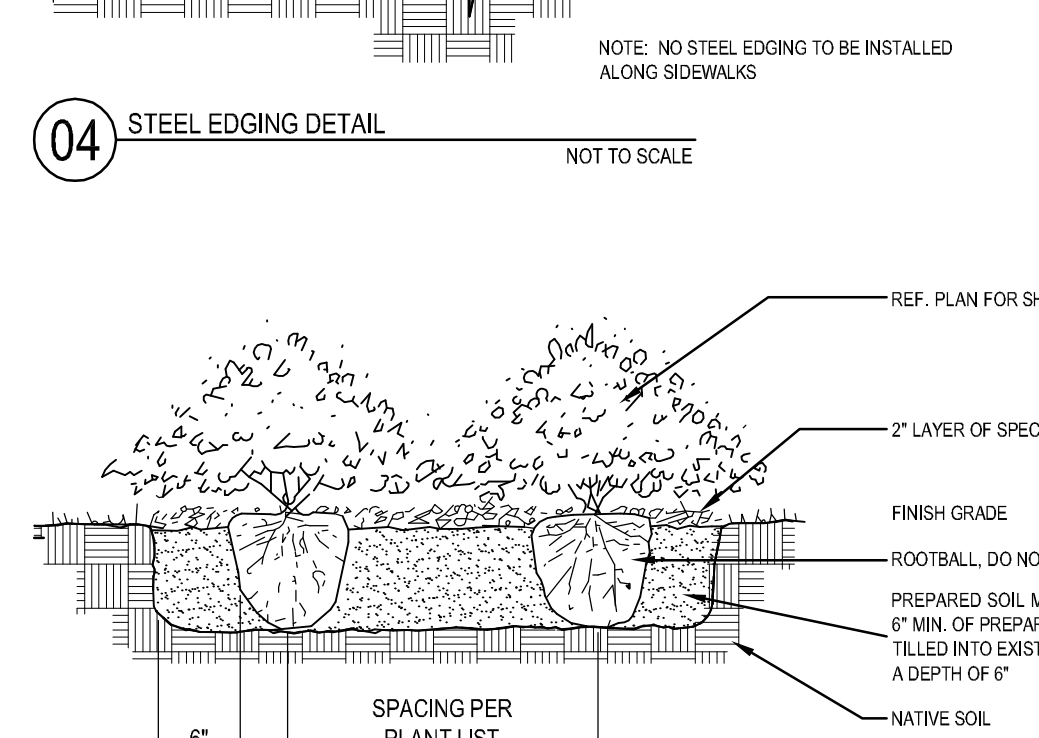
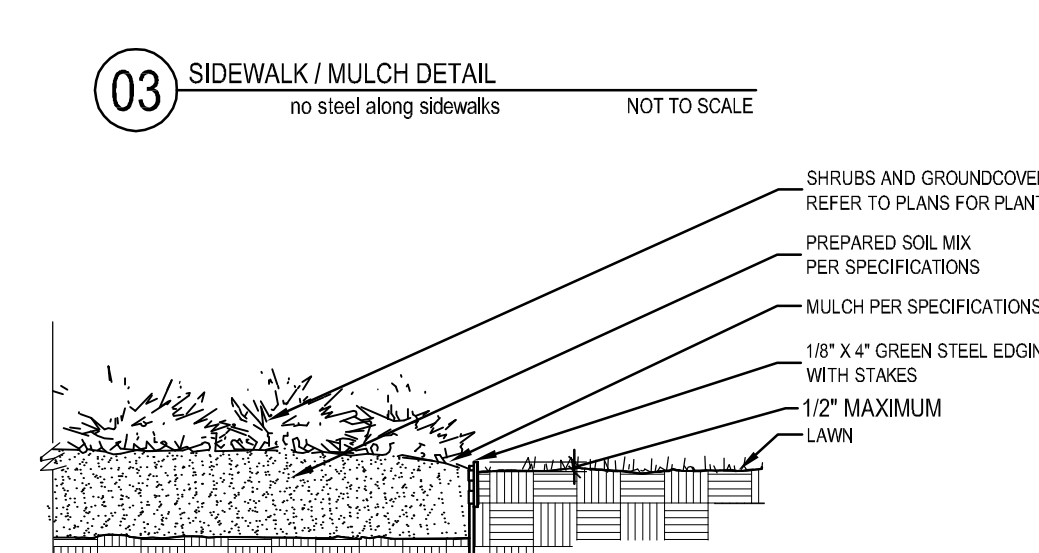
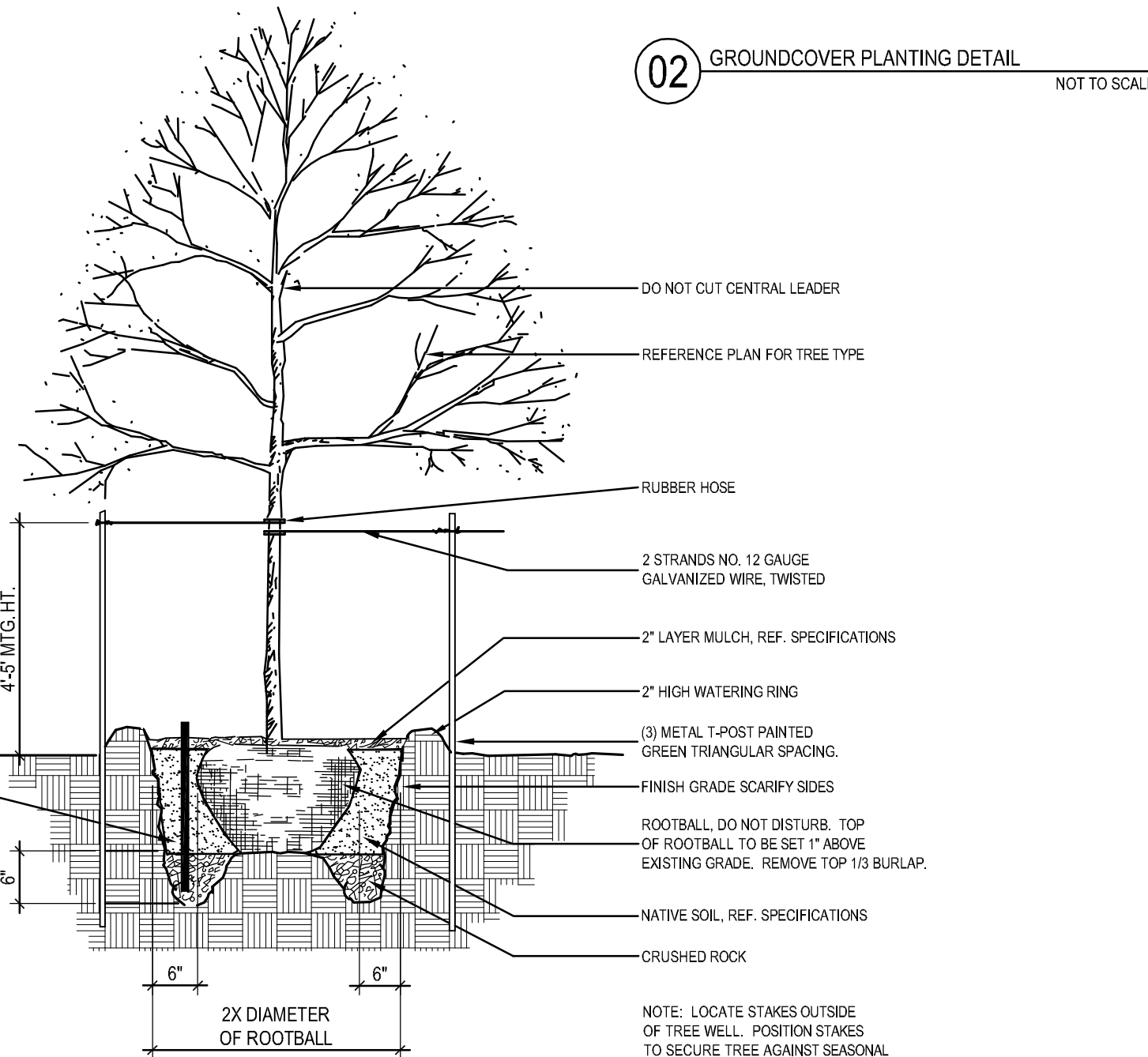
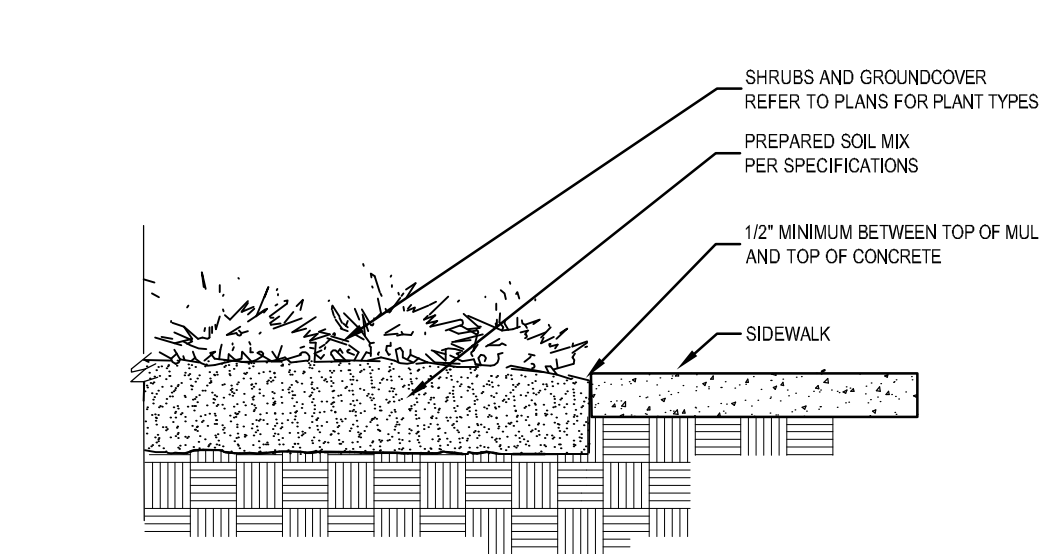
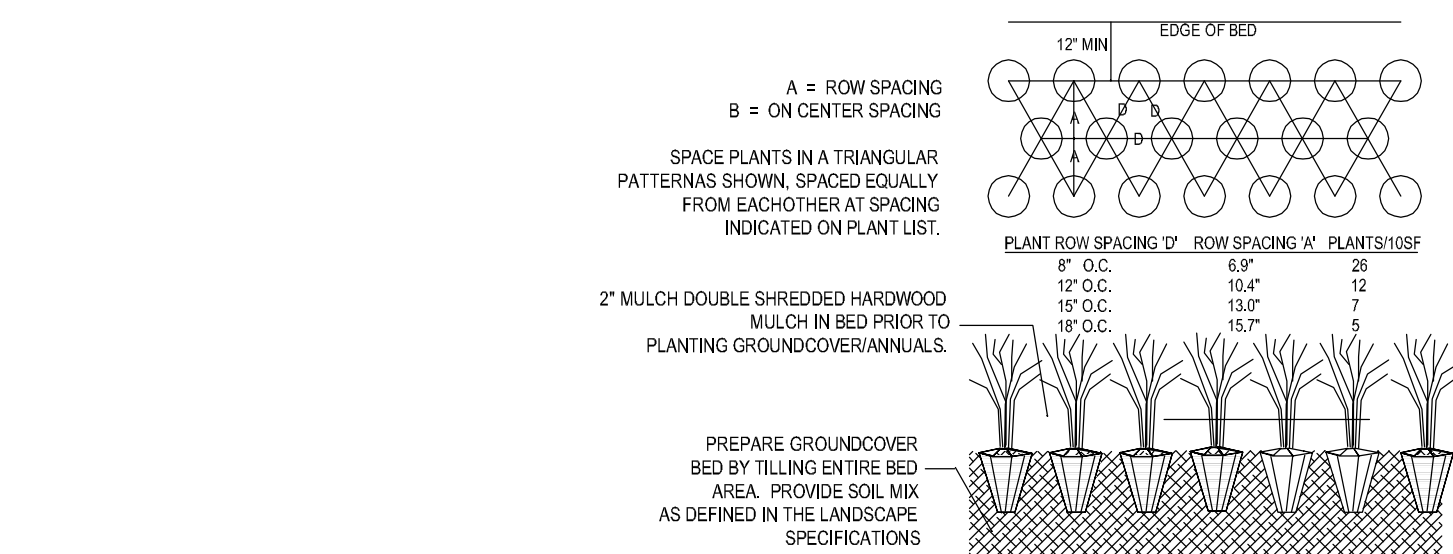
3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

3.3 CLEANUP AND ACCEPTANCE

- Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

END OF SECTION



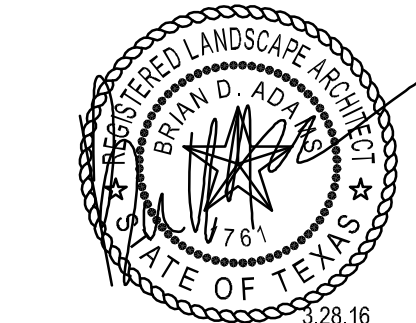
SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

APPLICANT:
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2500 WESTCOURT ROAD
DENTON, TEXAS 76207
CONTACT: HEATHER RIMMER

ENGINEER:
BURGER ENGINEERING, LLC
TEXAS REGISTERED ENGINEERING FIRM F-12997
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
(972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.

REV.	DATE	REMARKS
LANDSCAPE SPECIFICATIONS		
ALDI FOOD STORE		
LOT 1, BLOCK A - DALTON GOLIAD ADDITION		
THE CITY OF ROCKWALL, TEXAS		
BURGER ENGINEERING Civil Consultants		17103 Preston Road, Suite 180N Dallas, Texas 75248 Office: 972.630.3360 Fax: 972.630.3380 TBPE F-12997
DESIGN	DRAWN	DATE
BDA	BDA	3/28/16
SCALE	NOTES	FILE
NONE	D.P.	007-092 SITE PLAN
NO.	NO.	
	L-2	



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