

SP2016 - 003 - ROOMS TO GO
 SITE PLAN - LOCATION MAP =

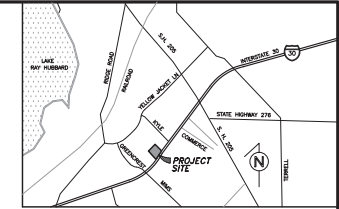


City of Rockwall

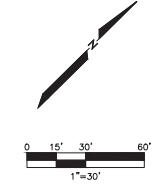
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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VICINITY MAP
NOT-TO-SCALE



SITE DATA	
LOT AREA:	3.64 ACRES (158,645 SF)
LEGAL DESCRIPTION:	UNPLATTED
ZONING:	C-COMMERCIAL W/I.H. 30 OVERLAY
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	GENERAL RETAIL
BUILDING AREA:	40,590 SQ. FT.
PARKING REQUIRED:	182 SPACES (8 HC)
PARKING PROVIDED:	182 SPACES (8 HC)
PARKING RATIO:	(1224) (4.41,000)

LAYOUT & DIMENSION CONTROL GENERAL NOTES

- BOUNDARY SURVEY:** BOUNDARY SURVEY INFORMATION IS BASED ON THE BOUNDARY SURVEY PREPARED BY ADAMS SURVEYING COMPANY, DATED DECEMBER 22, 2015.
- PROPERTY LINES AND EASEMENTS:** REFER TO THE BOUNDARY SURVEY AND PLAT TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
- DIMENSION CONTROL:** ALL PAVING DIMENSIONS AND COORDINATES SHOWN ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
- CURB RADII:** ALL CURB RADII SHALL BE 2' AT FACE OF CURB, UNLESS NOTED OTHERWISE.
- BUILDING DIMENSIONS:** THE CONTRACTOR SHALL REFER TO THE ARCHITECT PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
- BUILDING ORIENTATION:** THE BUILDING IS PARALLEL AND PERPENDICULAR TO THE EAST PROPERTY LINE - S 45°25'27" E.

CITY CASE NO. _____

REV.	DATE	REMARKS

SITE PLAN	
ROOMS TO GO	
N.E.Q. I.H. 30 & GREENCREST BOULEVARD	
THE CITY OF ROCKWALL, TEXAS	
DESIGN	14800 Quantum Drive, Suite 200 Dallas, Texas 75244 (972) 992-3521
DRAWN	
DATE	
SCALE	
NOTES	
FILE	
NO.	
CCA	CCA
01/15/16	1"=30'
ASC	112-009 SITE
C2.1	

PRELIMINARY
FOR REVIEW ONLY

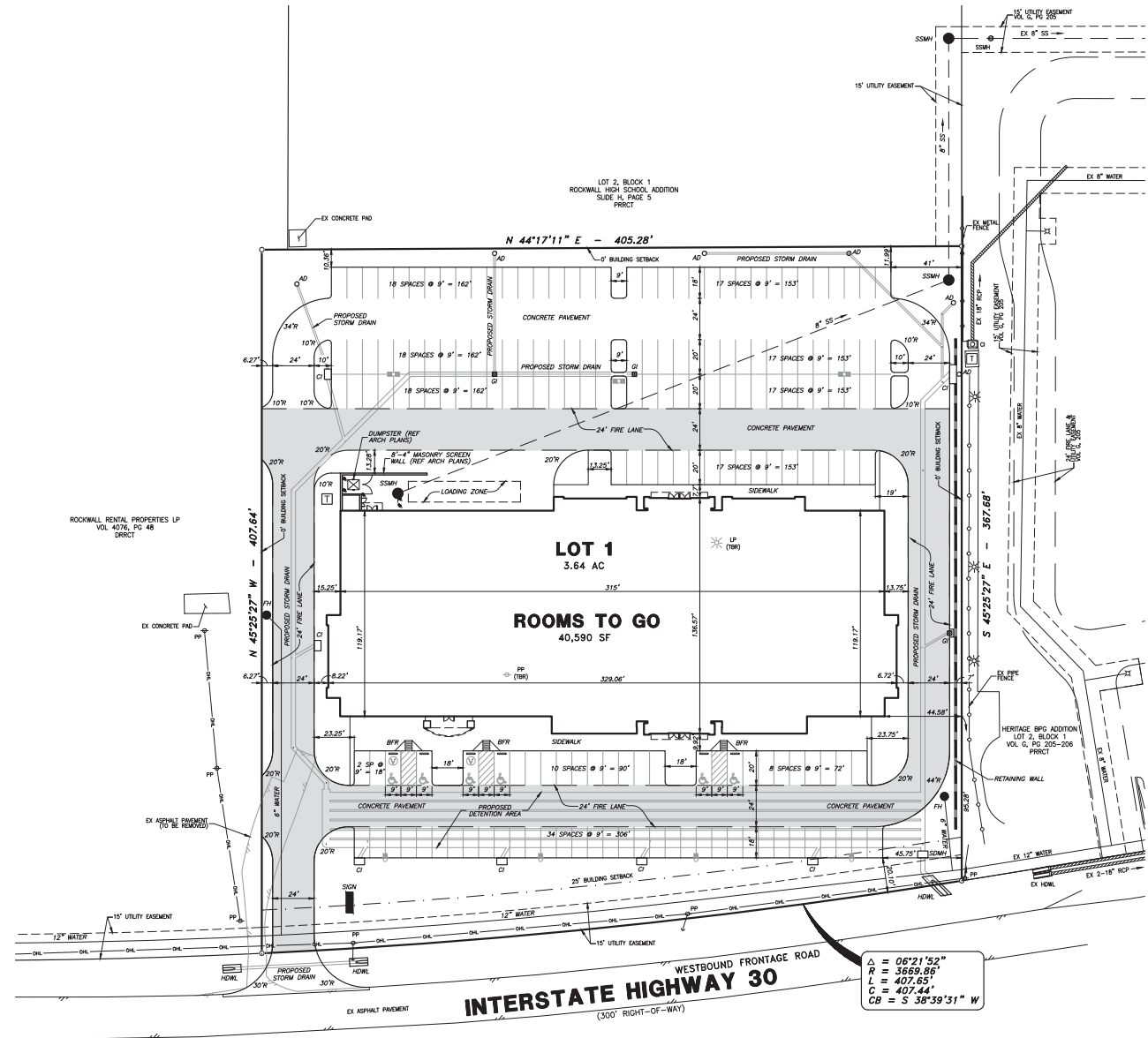
DEVELOPER
SEAMAN DEVELOPMENT CORPORATION
400 PERimeter CENTER TERRACE, SUITE 600
ATLANTA, GEORGIA 30348
(878) 336-4888
CONTACT: JEFF FINKEL

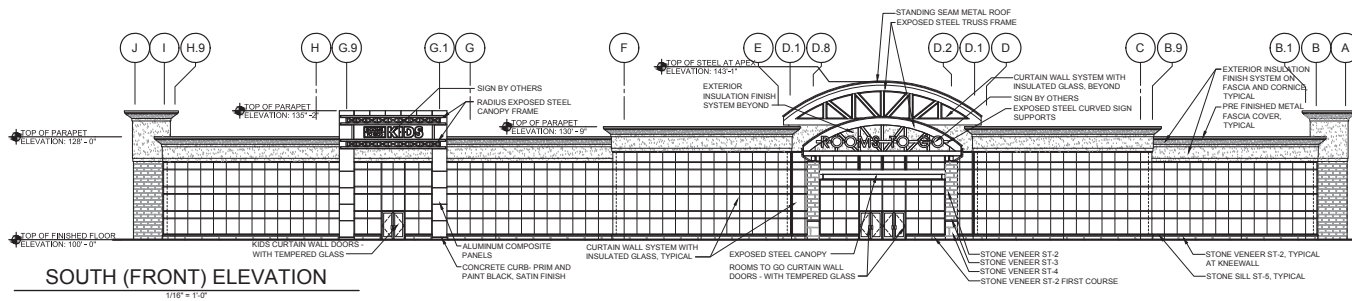
THESE DOCUMENTS ARE FOR REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMITTING. THEY HAVE BEEN PREPARED BY OR UNDER THE SUPERVISION OF DANIEL B. STEWART, P.E.

P.E. NO.: 107787
DATE: 01/15/2016

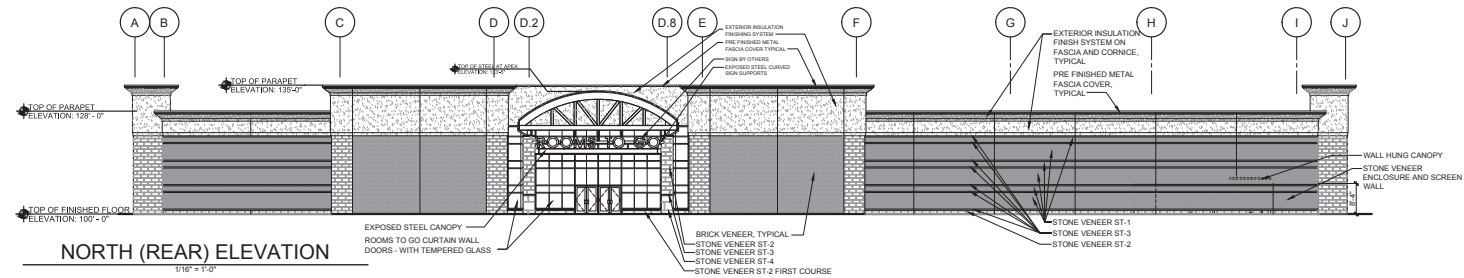
$\Delta = 06^{\circ}21'52''$
 $R = 3669.86'$
 $L = 407.44'$
 $C = 407.44'$
 $CB = S 38^{\circ}39'31'' W$

INTERSTATE HIGHWAY 30
(300' RIGHT-OF-WAY)





SOUTH (FRONT) ELEVATION
1/16" = 1'-0"



NORTH (REAR) ELEVATION
1/16" = 1'-0"

MATERIAL RATIOS

SOUTH (FRONT) ELEVATION

STONE	516 SF	14%
EIFS	1770 SF	48%
STEEL	1397 SF	38%
BRICK	0 SF	0%
SUB-TOTAL	3692 SF	100%
GLASS	6280 SF	
TOTAL	9981 SF	

NORTH (REAR) ELEVATION

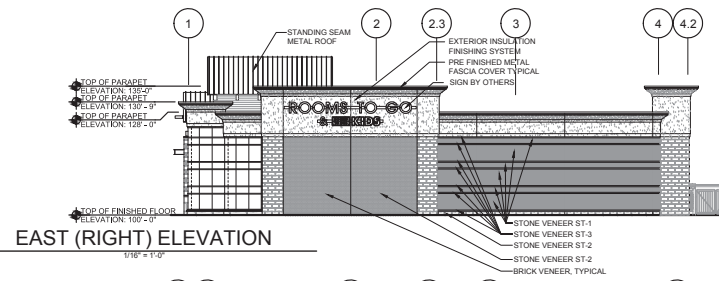
STONE	4287 SF	48%
EIFS	2736 SF	30%
STEEL	447 SF	5%
BRICK	1558 SF	17%
SUB-TOTAL	9028 SF	100%
GLASS	869 SF	
TOTAL	9897 SF	

EAST (RIGHT) ELEVATION

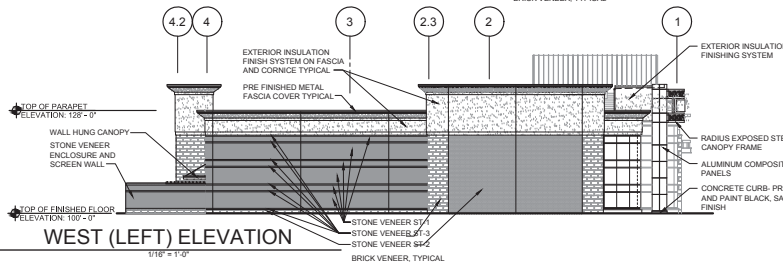
STONE	1551 SF	45%
EIFS	1162 SF	33%
STEEL	0 SF	0%
BRICK	778 SF	22%
SUB-TOTAL	3492 SF	100%
GLASS	205 SF	
TOTAL	3696 SF	

WEST (LEFT) ELEVATION

STONE	1732 SF	47%
EIFS	1162 SF	32%
STEEL	0 SF	0%
BRICK	778 SF	21%
SUB-TOTAL	3673 SF	100%
GLASS	205 SF	
TOTAL	3877 SF	



EAST (RIGHT) ELEVATION
1/16" = 1'-0"



WEST (LEFT) ELEVATION
1/16" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

MATERIAL	FINISHES
LIMESTONE VENEER AT PILASTERS, KNEE WALLS, AND DUMPSTER SCREEN WALL	LUEDERS LIMESTONE QUARRIED AND FABRICATED BY MEZGER ENTERPRISES IN LAMPASAS, TX - NO SUBSTITUTIONS. CONTACT: STEVE WALKER (512) 525-8688 S1.1 - COLOR: ROUGHBACK, TYPE: CHOPPED LENGTH, COURSE SIZE = 6" (X18" TO 30" LENGTH), BED DEPTH: 3" TO 5" S1.2 - ROUGHTEXTURED FACE - COLOR: ROUGHBACK/SPLITFACE BLEND, TYPE: SAWN 3 SIDES (TOP, BOTTOM, BACK) CHOPPED, LENGTH: COURSE SIZE = 12" (X18" TO 30" LENGTH), BED DEPTH: 1" TO 5" S1.3 - SMOOTH FACE - COLOR: BUFF, TYPE: SAWN 6 SIDES, LENGTH: COURSE SIZE = 4" (X18" TO 30" LENGTH), BED DEPTH: 4" S1.4 - ROUGHTEXTURED FACE - COLOR: ROUGHBACK/SPLITFACE BLEND, TYPE: SAWN 3 SIDES (TOP, BOTTOM, BACK) CHOPPED, LENGTH: COURSE SIZE = 24" (X18" TO 30" LENGTH), BED DEPTH: 1" TO 5" S1.5 - HONED - COLOR: BUFF, SHAPE: AS DETAILED, LENGTH: 32" MINIMUM MASONRY MORTAR TO BE 1 BAG (70 POUNDS) TYPE N WHITE MASONRY CEMENT BY LEHIGH CEMENT COMPANY; 6 QUICES TEXAS BUFF COLORANT BY LAMBERT COMPANY; 1 1/2 SHOVELS OF MORTAR SAND BY CAPITOL AGGREGATES.
BRICK VENEER	MANUFACTURER: CHEROKEE BRICK COMPANY, SIZE: MODULAR, COLOR: ALTIUM SMOKE, PATTERN: RUNNING BOND, MORTAR: COSA LIMESTONE BEIGE, APPLY WATER REPELLENT (REFER SPECIFICATION 0900).
STANDING SEAM METAL ROOF AND FLASHING	FACTORY FINISHED, MANUFACTURER PAC-CLAD, COLOR: CHAMPAGNE
EXTERIOR INSULATION FINISH SYSTEM FASCIA, CORNICE, AND CEILINGS AT MAIN ENTRIES	DRYVIT SYSTEM "SANDPEBBLE" FINE, COLOR: 101 SUPER WHITE
PRE-FINISHED METAL SIDING	FACTORY FINISH IN STANDARD, MATCH PAC-CLAD CHAMPAGNE
ROOMS TO GO - EXPOSED STEEL TRUSSES AND CANOPY	SHOP PRIME IN INVERTED POSITION AND FIELD PAINT TO MATCH PAC-CLAD BONE WHITE
KIDS - EXPOSED STEEL AT TRUSSES AND CANOPY	SHOP PRIME IN INVERTED POSITION AND FIELD PAINT YELLOW
EXPOSED STEEL CURVED SIGN SUPPORTS	SHOP PRIME IN INVERTED POSITION AND FIELD PAINT TO MATCH PAC-CLAD BONE WHITE
PRE-FINISHED METAL COPING AND FASCIA COVER	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO MATCH PAC-CLAD BONE WHITE
GUTTERS AND DOWNSPOUTS	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO MATCH PAC-CLAD CHAMPAGNE
CURTAIN WALL MULLIONS AND ROOMS TO GO ENTRY DOORS	WHITE KYNAR FINISH ON EXTERIOR AND INTERIOR
KIDS ENTRY DOORS	KYNAR FINISH RED ON EXTERIOR AND WHITE ON INTERIOR
ALUMINUM COMPOSITE PANELS	PANEL FINISH / COLOR TO BE A CUSTOM COLOR: ALPOLIC / MITSUBISHI CHEMICAL MC11-3089 (ROOMS TO GO BLUE) 70 - GLOSS
PRE-FINISHED METAL ROOF AT RECYCLE AREA	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO CPAC-CLAD BONE WHITE
WALL HUNG CANOPY	ALL EXPOSED COMPONENTS FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAC-CLAD BONE WHITE

COLOR SCHEDULE

COLOR TO MATCH BENJAMIN MOORE NUMBER

COLOR	NUMBER
WHITE	960
RED	1315
YELLOW	1326
BLUE	312
BLACK	2132



ROCKWALL, TEXAS

1/8/2016



10877 WATSON ROAD
ST. LOUIS, MO 63127
PROJECT MANAGERS



ELEVATION SOUTH (FRONT)



ELEVATION WEST (LEFT)

ELEVATION EAST (RIGHT)



ELEVATION NORTH (REAR)



ROCKWALL, TX

DECEMBER 22ND, 2015





ROCKWALL, TX
JANUARY 8TH, 2016



LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Soil Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

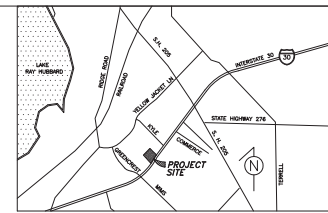
- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, weeding, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of the plan.
- All plant material shall be maintained in a healthy and growing condition as appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

GENERAL LAWN NOTES

- Fill grass areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform mounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid soil shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operators with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and back to brown in color.
- All lawn areas to be fine graded, irrigated (watches completely wetted), and finish grade approved by the Owner, Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete goals, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (*) one inch of imported topsoil on all areas to receive lawn.

SOLID SOIL NOTES

- Fill grass areas to achieve final contours indicated. Lawn areas to receive topsoil 1" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform mounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid soil shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operators with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of irrigation topsoil.
- Plant soil by hand to cover indicated area completely. Ensure edges of soil are touching. Top areas joints by hand with topsoil to 63 voids.
- Roll grass areas to achieve a smooth, even surface, free from unrotted uncultures.
- Water soil thoroughly as soil operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to, mowing, watering, weeding, cultivating, mowing and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- Installation occurs between September 1 and March 1. All soil areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.



VICINITY MAP
NOT TO SCALE

SITE DATA	
LOT AREA:	3.64 ACRES (158,645 SF)
ZONING:	C-COMMERCIAL W/LH, 30 OVERLAY
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	GENERAL RETAIL
BUILDING AREA:	40,590 SQ. FT.
PARKING REQUIRED:	183 SPACES (6 HC)
PARKING PROVIDED:	182 SPACES (6 HC)
PARKING RATIO:	(1/224) (4.41:1000)

PLANT LIST

TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SEE	REMARKS
	10	BC	Bald Cypress	Taxodium distichum	4" cal.	container grown, 10' H, 5" spread min.
	4	CE	Cedar Elm	Ulmus crassifolia	4" cal.	container grown, 10' H, 5" spread min.
	11	LO	Live Oak	Quercus virginiana	4" cal.	container grown, 10' H, 5" spread min.
	4	TY	Tree Magnolia Holly	Ilex vomitoria	8" H.	SHB, 3 cane, tree form, no cross-cane
	9	CMH	Crape Myrtle Catalpa	Lagerstrœmia indica 'Catalpa'	8" H.	container grown, 3-5 cane, no cross-cane
	12	CMZ	Crape Myrtle Hopt	Lagerstrœmia indica Hopt	8" H.	container grown, 3-5 cane, no cross-cane
SHRUBS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SEE	REMARKS
	113	DBH	Dwarf Burford Holly	Ilex cornuta 'Burford holly'	5 gal.	container, 1 1/2 plant, 30" c.c.
	56	IH	Indian Hawthorne 'Clara'	Raphanostyle indica 'Clara'	5 gal.	container, 1 1/2 plant, 20" c.c.
	24	NHS	Double Knockout Rose	Rosa sp. 'Double Knockout'	5 gal.	container, 1 1/2 plant, 20" c.c.
	56	DYH	Dwarf Yucca Holly 'Stakes'	Ilex vomitoria nana 'Stakes'	5 gal.	container, 1 1/2 plant, 20" c.c.
	6	SHY	Shrubby Jade Plant	Crassula sp. 'Shrubby'	5" H.	container, 1 1/2 plant
	16	NHS	Nipple R. Stevens Holly	Ilex sp. 'Nipple R. Stevens'	10 gal.	container, 1 1/2 plant
GROUNDCOVERS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SEE	REMARKS
	1995	WC	Whitecap	Eustoma frutescens octopus	4" pots	container, (3) 12" numbers min., 12" c.c.
	182	LG	Giant Liriodendron	Liriodendron tulipifera	4" pots	container, 1 1/2 top of container, 12" c.c.
	200	SC	Seasonal Color	Cornus canadensis	1 1/2 gal.	shrub soil, refer to notes

NOTE: Plant list is in pink to indicate order. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE TABULATIONS

SITE REQUIREMENTS (site area 158,645 s.f.)
 Requirement: 15% site area to be landscaped

Required	Provided
23,796.75 s.f. (15%)	24,236 s.f. (15.2%)

FRONT YARD REQUIREMENTS
 Requirement: 50% of required landscape must be located in front yard

Required	Provided
11,888.37 s.f. (50%)	12,274 s.f.

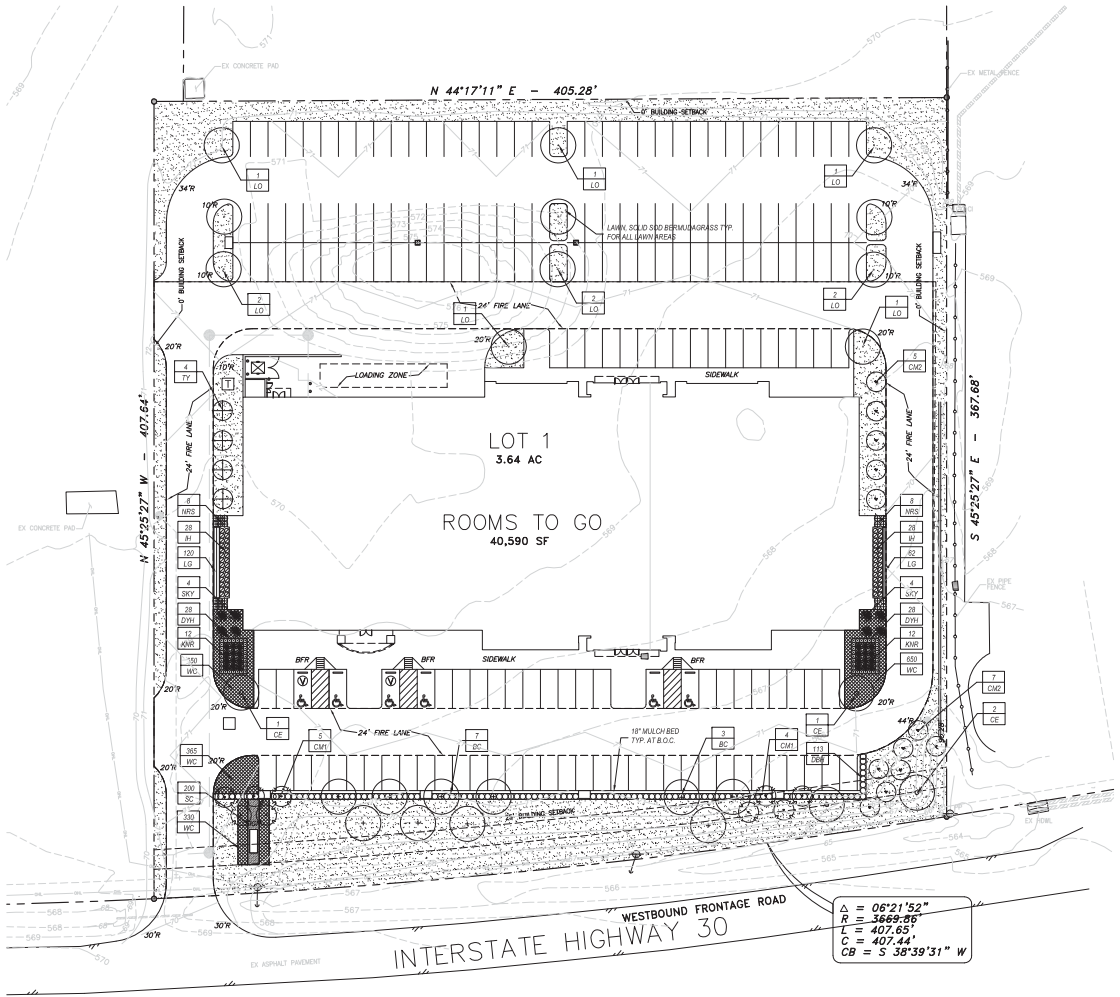
STREET REQUIREMENTS (30' OVERLAY)
 Requirements: (3) 3000' trees 4" cal. and (4) second trees, 4" cal. per 100 L.F. of frontage

Required	Provided
34 30' FRONTAGE (407,651 L.F.)	34 30' FRONTAGE (407,651 L.F.)
(18) trees, 4" cal.	(12) trees, 4" cal.
(16) trees, 4" cal.	(16) trees, 6" cal.

PARKING LOT (182 spaces: 61,000 s.f.)
 Requirements: 5% of total parking for area and (1) tree, 4" cal. per 20 parking spaces

Required	Provided
(9) trees, 4" cal.	(12) trees, 4" cal.
3,050 s.f. (5%)	6,748 s.f. (11.0%)

ALL TREES TO BE LOCATED 8' FROM WATER, SEWER AND STORM SEWER LINES
 ALL TREES AND SHRUBS TO BE SETBACK 4' FROM ALL PARKING SPACES

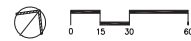


$\Delta = 06'21'52''$
 $R = 3669.86'$
 $L = 407.65'$
 $C = 407.44'$
 $CB = S 38'39'31'' W$

OWNER/DEVELOPER
 SEAMAN DEVELOPMENT CORPORATION
 400 PERIMETER CENTER TERRACE, SUITE 800
 ATLANTA, GEORGIA 30346
 (877) 438-4368
 CONTACT: JEFF FINKEL



01 LANDSCAPE PLAN
 SCALE: 1" = 30'-0"



smr
 landscape architects, inc.
 1718 H. G. B. Blvd.
 Dallas, Texas 75201
 Tel: 214.751.0333
 Fax: 214.751.0341
 Email: smr@smr.com
 SP2016-0

REV.	DATE	REMARKS

LANDSCAPE PLAN
 ROOMS TO GO
 N.E.Q. I.H. 30 & GREENCREST BOULEVARD
 THE CITY OF ROCKWALL, TEXAS

CATES-CLARK
 14800 Quorum Drive, Suite 200
 Dallas, Texas 75244
 Tel: 972.967.9221
 Fax: 972.967.9222
 Email: cates@ccark.com

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BDA	BDA	01/15/16	1"=30'	ASC	112-009 SITE	L.1.1

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ELECTRICAL CONTRACTOR SHALL DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

NOTES

1. SITE PHOTOMETRICS PERFORMED WITHOUT CONTRIBUTION OF EXISTING ADJACENT PARKING LOT LIGHTS.
2. REFER TO LUMINAIRE LOCATIONS FOR MOUNTING HEIGHT (MH).
3. ILLUMINATION CALCULATIONS PERFORMED ON A MAINTAINED BASIS WITH LLF=0.91 FOR LED LUMINAIRES AT FINISHED GRADE.
4. ALL LUMINAIRES USED FOR SITE LIGHTING SHALL BE FULL CUTOFF.
5. ALL LUMINAIRES SHOWN IN SCHEDULE ARE "LITHONIA" EQUAL FULL CUT OFF LUMINAIRES WITH SAME TYPE OF DISTRIBUTION, EFFICACY AND LIGHT SOURCE WILL BE CONSIDERED FOR APPROVAL.
6. ANY DEVIATION FROM THE LUMINAIRES SHOWN WILL REQUIRE A PHOTOMETRIC PLAN TO ENSURE THE LUMINAIRES MEET EXTERIOR LIGHTING REQUIREMENTS.
7. SITE LIGHTING POLES SHALL PRE-CAST CONCRETE POLES AS SHOWN.
8. ALL LUMINAIRES SHALL BE CONTROLLED BY PHOTOCELL ON, ASTRONOMICAL TIME CLOCK OFF, EXCEPT SECURITY LIGHTS CONTROLLED PHOTOCELL ON; PHOTOCELL OFF.
9. ALL POLE MOUNT LUMINAIRES SHALL BE DARK BRONZE IN COLOR. WALL MOUNT LUMINAIRES SHALL BE WHITE IN COLOR.

LUMINAIRE SCHEDULE

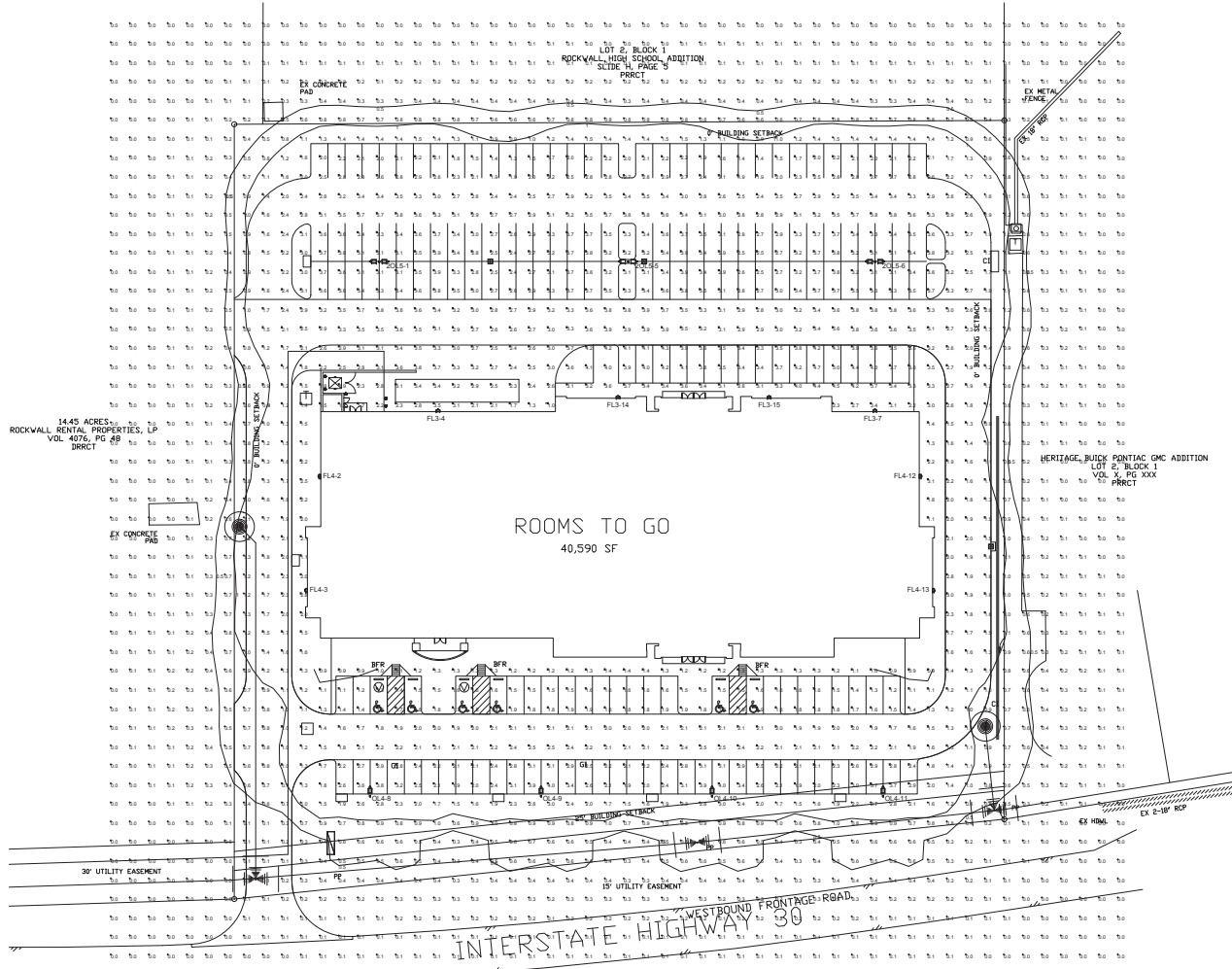
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
OL4	4	CSW LED 100C 700-40K T4M MVOLT	CSW LED WITH 100 LED 8.2 (2) LED LIGHT ENGINE (3) T800A DRIVER, 4000K, LED, TYPE 3 OPTICS	LED	DSB2_LED_10	23038	0.91	227	
ZOL5	3	DSW LED 100C 700-40K TSM MVOLT	DSW LED WITH 100 LED 8.2 (2) LED LIGHT ENGINE (3) T800A DRIVER, 4000K, LED, TYPE 3 OPTICS	LED	DSB2_LED_10	28669	0.91	464	
FL3	4	CSW LED 30C 700-40K TSM MVOLT	CSW LED WITH 1 LIGHT ENGINE (3) LED, T800A DRIVER, 4000K, LED, TYPE 3 OPTICS	LED	CSW_LED_3	7067	0.91	69	
FL4	4	CSW LED 30C 700-40K T4M MVOLT	CSW LED WITH 1 LIGHT ENGINE (3) LED, T800A DRIVER, 4000K, LED, TYPE 4 OPTICS	LED	CSW_LED_3	7016	0.91	69	

LUMINAIRE LOCATIONS

No.	Label	MH	Orientation	TR
1	ZOL5	30.0	90.0	0.0
2	FL4	18.0	90.0	0.0
3	FL4	18.0	90.0	0.0
4	FL3	18.0	0.0	0.0
5	ZOL5	30.0	90.0	0.0
6	ZOL5	30.0	90.0	0.0
7	FL3	18.0	0.0	0.0
8	OL4	30.0	0.0	0.0
9	OL4	30.0	0.0	0.0
10	OL4	30.0	0.0	0.0
11	OL4	30.0	0.0	0.0
12	FL4	18.0	90.0	0.0
13	FL4	18.0	90.0	0.0
14	FL3	18.0	0.0	0.0
15	FL3	18.0	0.0	0.0

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Area	+	1.2fc	5.0fc	0.0fc	N/A	N/A
RTG Parking	X	2.5fc	5.0fc	0.7fc	7.1:1	3.6:1



1 SITE LIGHTING PHOTOMETRICS
ES2 SCALE: 1" = 30'-0"



NOTE: REFER TO SHEET ES1 FOR MORE INFORMATION



REVISIONS:

NO. #	DATE
ISSUED:	9/15/16
OWNER:	
PREP:	
EC:	

ROOMS TO GO
 INTERSTATE HIGHWAY 30
 ROCKWALL, TX

PROFESSIONAL OF RECORD
PHONE: 214-821-1100

**SITE LIGHTING
PHOTOMETRICS**

DRAWN BY
zt
CHECKED BY
zt
PROJECT NUMBER
915536

SHEET NUMBER

ES2