

# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

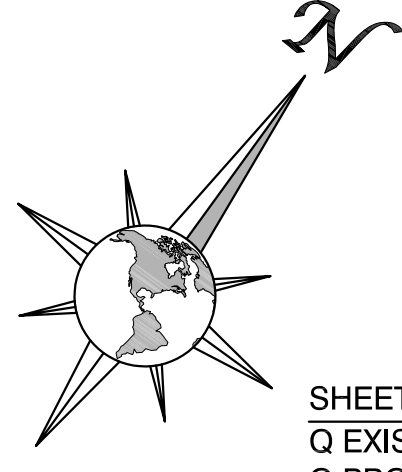
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DATE PLOTTED: 01/14/2016 10:04:00 AM USERNAME: jspencer

# MISSOURI-KANSAS-TEXAS RAILROAD (VARIABLE WIDTH RIGHT-OF-WAY)

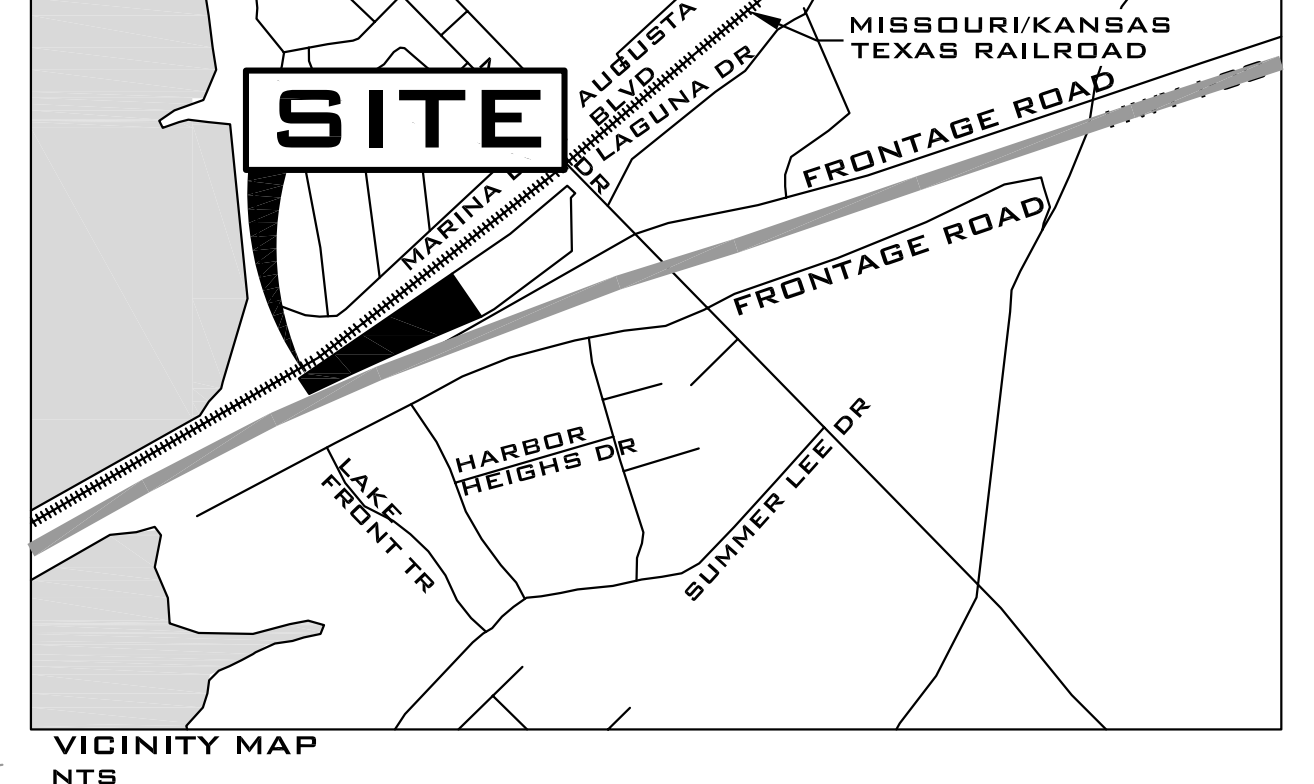
SCALE: 1" = 20'



SHEET FLOW TO RR ROW  
Q EXISTING = 2.1 cfs  
Q PROPOSED = 0.1 cfs

Q EXISTING = 7.7 cfs  
Q PROPOSED = 7.2 cfs

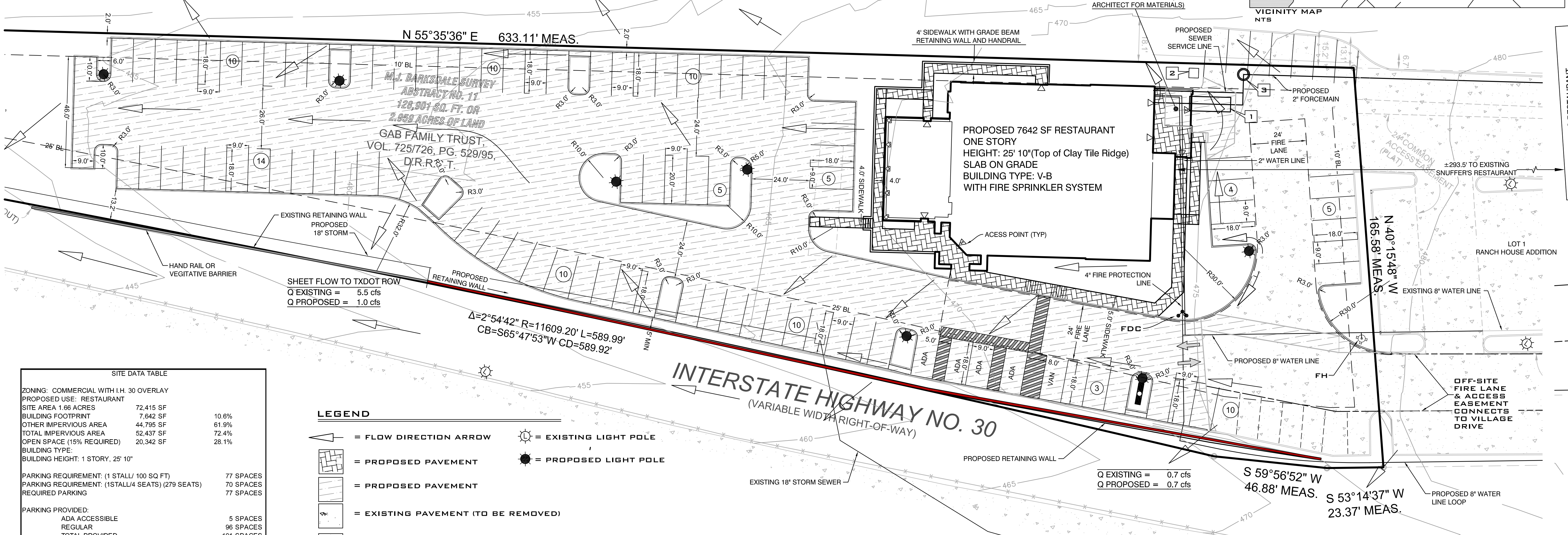
ZONING: C (COMMERCIAL)  
OVERLAY DISTRICT: IH 30 OV



DATE:  
14 JAN 2016  
REVISION:  
DATE:  
P.L.  
BY  
CHECKED



**GREG EDWARDS ENGINEERING SERVICES, INC.**  
GREG EDWARDS, P.E.  
1621 AMANDA CT., PONDER, TX 76259  
P. 940.482.2907 F. 940.482.8214  
www.greg.us  
FIRM REGISTRATION # F-004950  
"ENGINEERING WHERE YOU LIVE"



SITE DATA TABLE	
ZONING: COMMERCIAL WITH I.H. 30 OVERLAY	
PROPOSED USE: RESTAURANT	
SITE AREA 1.66 ACRES	72,415 SF
BUILDING FOOTPRINT	7,642 SF 10.6%
OTHER IMPERVIOUS AREA	44,795 SF 61.9%
TOTAL IMPERVIOUS AREA	52,437 SF 72.4%
OPEN SPACE (15% REQUIRED)	20,342 SF 28.1%
BUILDING TYPE:	
BUILDING HEIGHT: 1 STORY, 25' 10"	
PARKING REQUIREMENT: (1 STALL/ 100 SQ FT)	
	77 SPACES
PARKING REQUIREMENT: (1STALL/4 SEATS) (279 SEATS)	
	70 SPACES
REQUIRED PARKING	
	77 SPACES
PARKING PROVIDED:	
ADA ACCESSIBLE	5 SPACES
REGULAR	96 SPACES
TOTAL PROVIDED	101 SPACES

- ### LEGEND
- = FLOW DIRECTION ARROW
  - = PROPOSED PAVEMENT
  - = PROPOSED PAVEMENT
  - = EXISTING PAVEMENT (TO BE REMOVED)
  - = EXISTING PAVEMENT (TO REMAIN)
  - = NUMBER OF 9' x 18' REGULAR PARKING SPACES
  - = FIRE DEPARTMENT CONNECTION (FDC)
  - = FIRE HYDRANT
  - = GREASE TRAP
  - = TRANSFORMER
  - = PROPOSED PRIVATE LIFT STATION
  - = TRAFFIC DIRECTION ARROW
  - = EL FENIX PYLON SIGN (NEEDS SEPERATE PERMIT)
  - = EXISTING LIGHT POLE
  - = PROPOSED LIGHT POLE

### Drainage Narrative

The project is on a site with moderate to steep slopes which primarily drain from northeast to southwest. Significant flow from the Snuffer's Restaurant site enter the property along the northeast boundary. We have identified the existing surface discharges to the TxDOT and Railroad right-of-way and the small discharge across the southeastern boundary. As shown on the site plan we anticipate that the existing discharges to the right-of-way and sheet flow to the south will not be increased. The proposed development will introduce approximately 1.0 acre of new impervious surface to the basins increasing the 100-year run-off from the site by approximately 5 cfs. The owners have obtained a 10' drainage easement from Faulkner Investments Co. Ltd. Based on record drawings it is anticipated that a TxDOT storm sewer pipe has been buried on our site. We are proposing to locate the pipe and convey this flow through our site in a pipe to this easement. A quantity of run-off equal to the proposed increased run-off, as well as additional concentrated flows will be directed to this off-site drainage easement. The outfall structure will be designed to release the flow in a non-erosive manner and transition the flow from a concentrated and pipe flow to join the channized flow which enters the Faulkner property from the TxDOT right-of-way.



OWNER: FAULKNER INVESTMENTS CO. LTD.  
ZONING: COMMERCIAL  
USE: ADVERTISING SIGN & UTILITIES  
Q EXISTING = 0.2 cfs  
Q PROPOSED = 0.2 cfs

SHEET FOR CONSTRUCTION  
THIS DOCUMENT IS UNLAWFUL FOR REPRODUCTION OR TRANSMISSION IN ANY FORM OR BY ANY MEANS  
THIS PLAN PREPARED BY  
GREG EDWARDS, P.E. #3584  
GREG EDWARDS ENGINEERING SERVICES, INC.  
2016/01/14

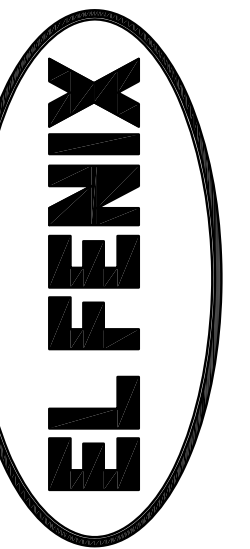
Site Plan  
Proposed Lot 2 Ranch House Addition  
2901 Village Drive  
Karnes Commercial Real Estate  
Rob Clinesmith  
2414 N. Akard Street, Suite 5550 Dallas, Texas 75201  
c: 972.388.5421 | e: rc@karnescommercial.com

JOB NUMBER  
1562  
Designed: GKE  
Drawn: rlb  
Checked: GKE

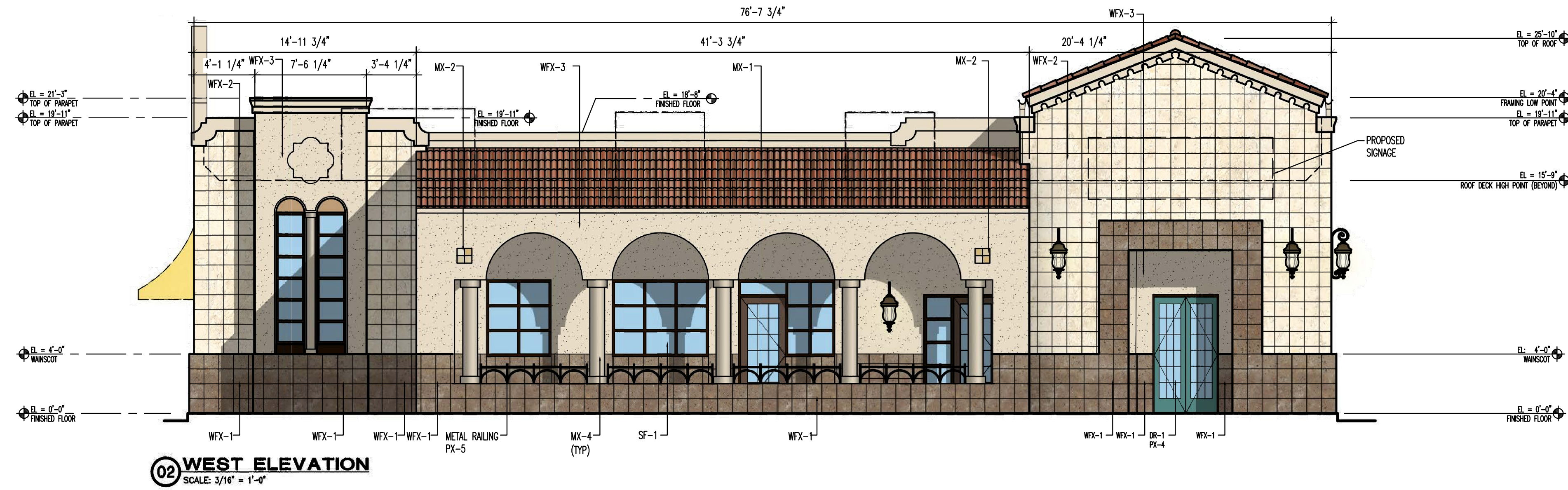


EL FENIX MEXICAN RESTAURANT  
LOT BEHIND  
2801 VILLAGE DRIVE  
ROCKWALL, TX 76087

ROCKWALL, TX

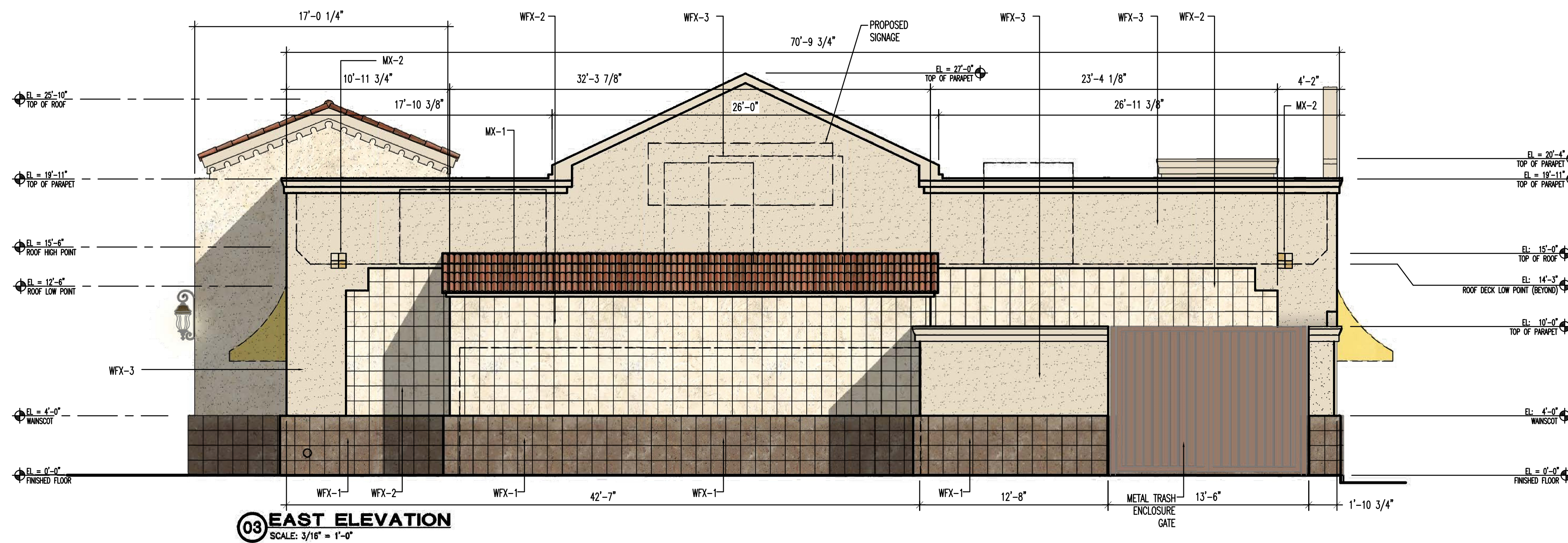


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**02 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

FINISH CALC FOR WEST ELEV		
	AREA (SQ. FT.)	PERCENTAGE
<b>SECONDARY</b>		
EIFS	128	10%
PARAPET CORNICE	76	
ACCENT FEATURE	7	
COLUMN/BASE/CAP	45	
ACCENT TILE	8	1%
<b>PRIMARY</b>		
STUCCO	261	15%
CLAY TILE ROOF	187	21%
MASONRY	129	24%
CANTERA STONE (NAT./QUARRY)		
COLOR A WAINSCOT	268	
COLOR B FIELD	381	
TOTAL	1233	100%
GROSS ELEV	1,559	-
DOORS/WINDOWS/OPENINGS	(326)	-
NET ELEVATION	1,233	-



**03 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

FINISH CALC FOR EAST ELEV		
	AREA (SQ. FT.)	PERCENTAGE
<b>SECONDARY</b>		
EIFS	131	7%
PARAPET CORNICE	131	
ACCENT TILE	8	<1%
<b>PRIMARY</b>		
STUCCO	695	37%
CLAY TILE ROOF	89	5%
MASONRY	795	43%
CANTERA STONE (NAT./QUARRY)		
COLOR A WAINSCOT	256	
COLOR B FIELD	539	
METAL GATES	133	
TOTAL	1841	100%
GROSS ELEV	1,841	-
DOORS/WINDOWS/OPENINGS	0	-
NET ELEVATION	1,841	-

NO REVISION

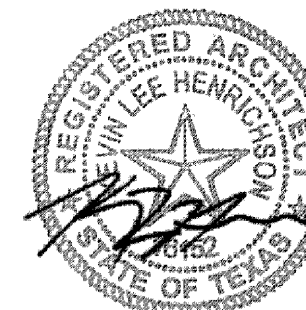
**FINISH MATERIAL SPECIFICATIONS**

CODE	PRODUCT	MANUFACTURER	PATTERN/ COLOR	REMARKS	CODE	PRODUCT	MANUFACTURER	PATTERN/ COLOR	REMARKS	CODE	PRODUCT	MANUFACTURER	PATTERN/ COLOR	REMARKS	CODE	PRODUCT	MANUFACTURER	PATTERN/ COLOR	REMARKS	
MX-1	ROOF TILES	BORAL CLAY TILES	PALERMO BLEND. 1-PC "S" TILE.	-	PX-1	NOT USED	-	-	-	PX-7	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #7695 - EGGSHELL COLOR: MESA TAN - WAINSCOT / ACCENT	-	SF-1	STOREFRONT	KAWNEER NORTH AMERICA	CLASSIC BRONZE GLAZING: 1" CLEAR INSULATED LOW-E2 GLAZING -PPG SOLARBAN 60 (2)" OR EQUAL	MAX EXTERIOR VISIBLE REFLECTIVITY OF 20%	
MX-2	ACCENT WALL TILES	PORCELAIN STONE	A1101 SAND BOX, A1102 ROASTED MARSHMALLOW, A1105 YELLOW BRICK ROAD	-	PX-2	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #6119 - EGGSHELL COLOR: ANTIQUE WHITE - FIELD	-	WFX-1	NATURAL/QUARRY STONE	TEXAS STONE CREATIONS	BROWN 12x12 TABACO	-	DR-1	EXTERIOR DOOR	-	HOLLOW METAL DOOR PER ELEVATION	HOLLOW METAL FRAME	
MX-3	AWNINGS	SUNBRELLA	4635-0000 BUTTERCUP	-	PX-3	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #6083 - EGGSHELL COLOR: SABLE - AT TRIM AND ACCENTS	-	WFX-2	NATURAL/QUARRY STONE	TEXAS STONE CREATIONS	WHITE 12x12 RIVERA BEIGE	-	DR-2	PATIO GATE	-	CUSTOM METAL GATE. CUSTOM METAL GATE	-	
MX-4	CUSTOM COLUMN	CHADSWORTH, INC.	D-CS-NI-PL-CUSTOM-CUSTOM, 12" DIA - 84" TALL COLOR: SMOOTH WHITE CONTACT: 800-265-8667, SALES@COLUMNS.COM	-	PX-4	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #6480 - EGGSHELL COLOR: LAGOON - DOORS	-	WFX-3	STUCCO	PAREX USA, INC.	PRODUCT/FINISH: ARMOURWALL 100 WATERMASTER COLOR: INTEGRAL COLOR TO MATCH PAINT COLORS AS NOTED ON ELEVATIONS	-	DR-3	TRASH ENCLOSURE GATE	-	CUSTOM METAL GATE. COLOR PER ELEV	-	
MX-5	CUSTOM COLUMN	CHADSWORTH, INC.	A-CS-NI-PL-CUSTOM-CUSTOM, 7" DIA - 114" TALL COLOR: SMOOTH WHITE CONTACT: 800-265-8667, SALES@COLUMNS.COM	-	PX-5	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #6258 - EGGSHELL COLOR: TRICORN BLACK - IRONWORK	-	WFX-5	EIFS SYSTEM	PAREX USA, INC.	PRODUCT/FINISH: STANDARD WATERMASTER LDR EIFS, SMOOTH FINISH COLOR: INTEGRAL COLOR TO MATCH PAINT COLORS AS NOTED ON ELEVATIONS	THICKNESS OF INSULATION PER DETAILS						
					PX-6	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #6067 - EGGSHELL COLOR: MOCHA - PATIO WALL	-											

PROJECT NUMBER  
**150484**

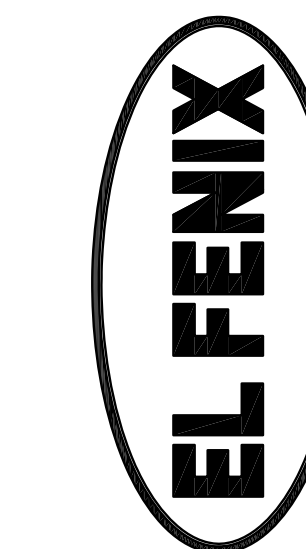
SHEET NUMBER

**04**



EL FENIX MEXICAN RESTAURANT  
LOT BEHIND  
2801 VILLAGE DRIVE  
ROCKWALL, TX 75087

ROCKWALL, TX



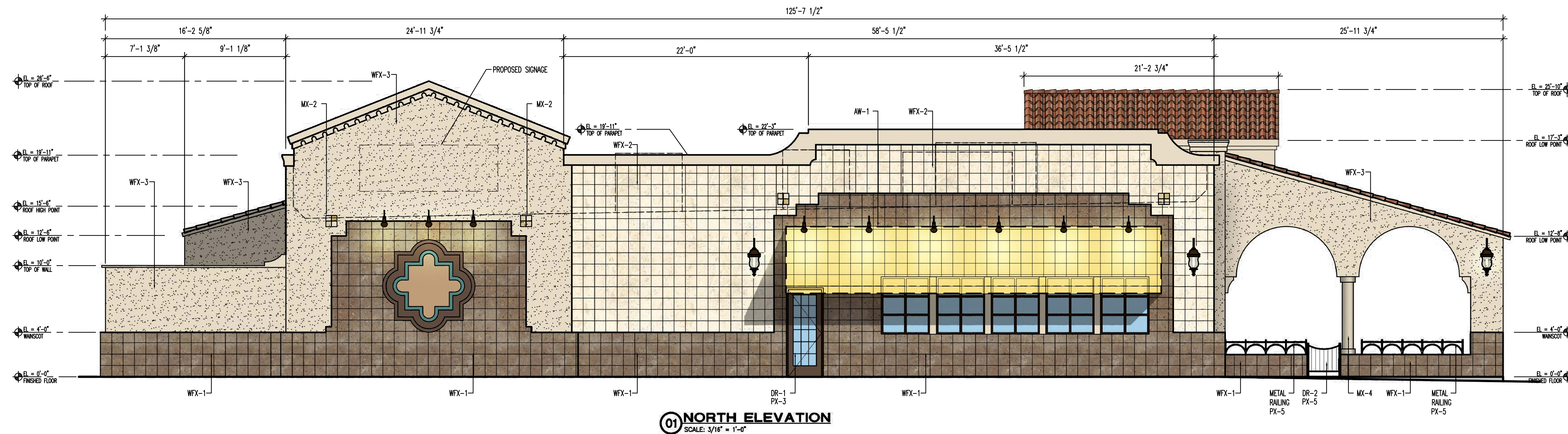
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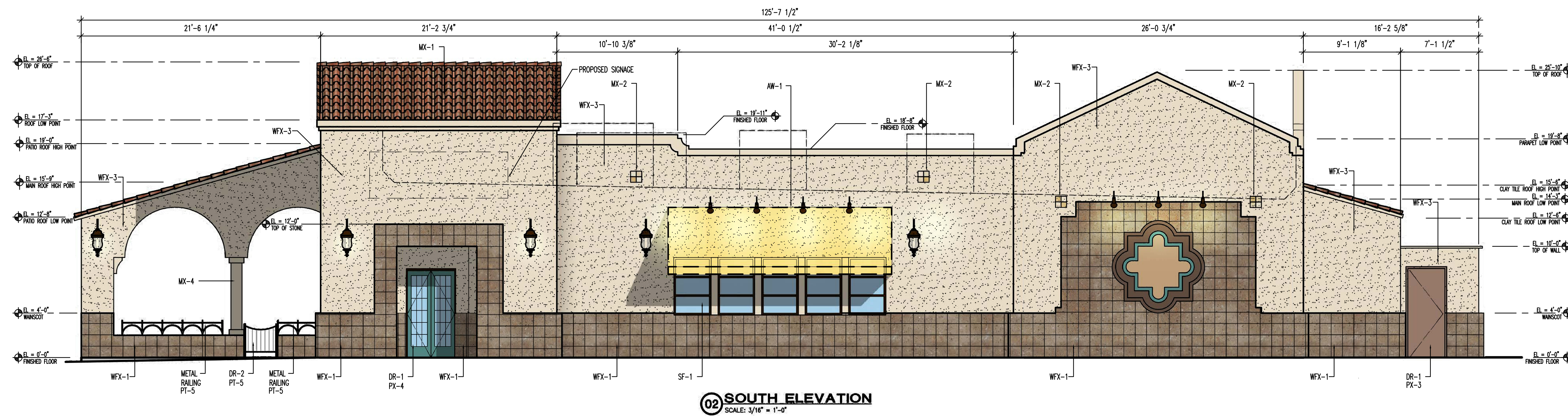
SITE PLAN REVIEW 01/15/16

PROJECT NUMBER  
**150484**  
SHEET NUMBER

**05**



**01 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**02 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

FINISH CALC FOR NORTH ELEV		
	AREA (SQ. FT.)	PERCENTAGE
<b>SECONDARY</b>		
EFS	229	11%
PARAPET CORNICE	166	
ACCENT FEATURE	48	
COLUMN/BASE/CAP	15	
ACCENT TILE	4	<1%
STUCCO	528	24%
CLAY TILE ROOF	103	4%
<b>PRIMARY</b>		
MASONRY	1,297	60%
CANTERA STONE (NAT/QUARRY)		
COLOR A WANSCOT	867	
COLOR B FIELD	430	
TOTAL	2,161	100%
<hr/>		
GROSS ELEV	2,312	-
DOORS/WINDOWS/OPENINGS	(151)	-
NET ELEVATION	2,161	-

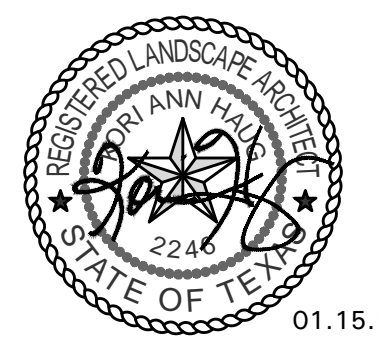
FINISH CALC FOR SOUTH ELEV		
	AREA (SQ. FT.)	PERCENTAGE
<b>SECONDARY</b>		
EFS	137	10%
PARAPET CORNICE	78	
ACCENT FEATURE	48	
COLUMN/BASE/CAP	11	
ACCENT TILE	4	<1%
STUCCO	405	20%
CLAY TILE ROOF	96	5%
<b>PRIMARY</b>		
MASONRY	1,297	67%
CANTERA STONE (NAT/QUARRY)		
COLOR A WANSCOT	593	
COLOR B FIELD	749	
TOTAL	1,939	100%
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GROSS ELEV	2,051	-
DOORS/WINDOWS/OPENINGS	(112)	-
NET ELEVATION	1,939	-

**FINISH MATERIAL SPECIFICATIONS**

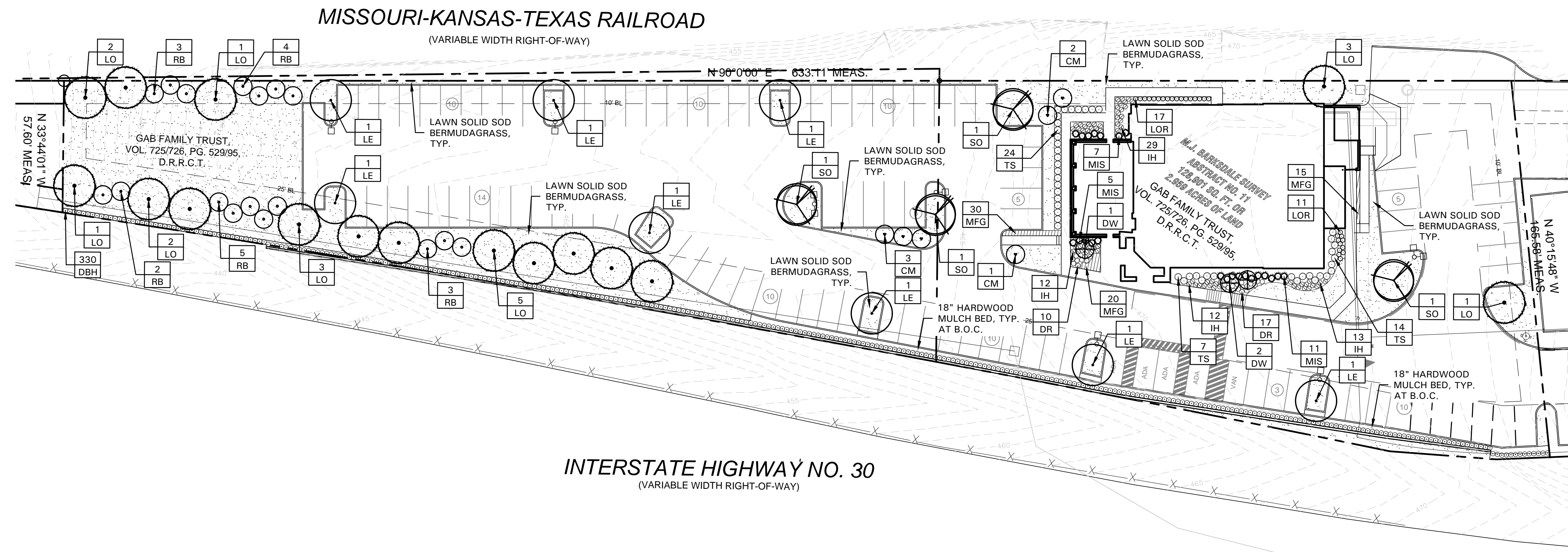
CODE	PRODUCT	MANUFACTURER	PATTERN/ COLOR	REMARKS	CODE	PRODUCT	MANUFACTURER	PATTERN/ COLOR	REMARKS	CODE	PRODUCT	MANUFACTURER	PATTERN/ COLOR	REMARKS	CODE	PRODUCT	MANUFACTURER	PATTERN/ COLOR	REMARKS
MX-1	ROOF TILES	BORAL CLAY TILES	PALERMO BLEND. 1-PC "S" TILE	-	PX-1	NOT USED	-	-	-	PX-7	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #7895 - EGGSHELL COLOR: MESA TAN - WANSCOT / ACCENT	-	SF-1	STOREFRONT	KAWNEER NORTH AMERICA	CLASSIC BRONZE GLAZING: 1" CLEAR INSULATED LOW-E2 GLAZING -PPG SOLARBAN 60 (2)" OR EQUAL	MAX EXTERIOR VISIBLE REFLECTIVITY OF 20%
MX-2	ACCENT WALL TILES	PORCELAIN STONE	A1101 SAND BOX, A1102 ROASTED MARSHMALLOW, A1105 YELLOW BRICK ROAD	-	PX-2	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #6119 - EGGSHELL COLOR: ANTIQUE WHITE - FIELD	-	WFX-1	NATURAL/QUARRY STONE	TEXAS STONE CREATIONS	BROWN 12x12 TABACO	-	DR-1	EXTERIOR DOOR	-	HOLLOW METAL DOOR PER ELEVATION	HOLLOW METAL FRAME
MX-3	AWNINGS	SUNBRELLA	4635-0000 BUTTERCUP	-	PX-3	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #6083 - EGGSHELL COLOR: SABLE - AT TRIM AND ACCENTS	-	WFX-2	NATURAL/QUARRY STONE	TEXAS STONE CREATIONS	WHITE 12x12 RIVERA BEIGE	-	DR-2	PATIO GATE	-	CUSTOM METAL GATE. CUSTOM METAL GATE	-
MX-4	CUSTOM COLUMN	CHADSWORTH, INC.	D-CS-NI-PL-CUSTOM-CUSTOM, 12" DIA - 84" TALL COLOR: SMOOTH WHITE	-	PX-4	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #6480 - EGGSHELL COLOR: LAGOON - DOORS	-	WFX-3	STUCCO	PARFX USA, INC.	PRODUCT/FINISH: ARMOURWALL 100 WATERMASTER COLOR: INTEGRAL COLOR TO MATCH PAINT COLORS AS NOTED ON ELEVATIONS	-	DR-3	TRASH ENCLOSURE GATE	-	CUSTOM METAL GATE. COLOR PER ELEV	-
MX-5	CUSTOM COLUMN	CHADSWORTH, INC.	A-CS-NI-PL-CUSTOM-CUSTOM, 7" DIA - 114" TALL COLOR: SMOOTH WHITE	-	PX-5	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #6258 - EGGSHELL COLOR: TRICORN BLACK - IRONWORK	-	WFX-5	EFS SYSTEM	PARFX USA, INC.	PRODUCT/FINISH: STANDARD WATERMASTER LDR EFS. SMOOTH FINISH COLOR: INTEGRAL COLOR TO MATCH PAINT COLORS AS NOTED ON ELEVATIONS	THICKNESS OF INSULATION PER DETAILS					
					PX-6	PAINT	SHERWIN WILLIAMS	PRODUCT/FINISH: SW #6067 - EGGSHELL COLOR: MOCHA - PATIO WALL	-										



DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS-NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR  
TO BEGINNING CONSTRUCTION



NO REVISION



**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

**MAINTENANCE NOTES**

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

**GENERAL LAWN NOTES**

- CONTRACTOR SHALL COORDINATE OPERATION AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

**SOLID SOD NOTES**

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

**LANDSCAPE PLAN**

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

**PLANT LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
<b>TREES</b>					
CM	<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle 'Natchez'	6	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
DW	<i>Chilopsis linearis</i>	Desert Willow	3	30 gal.	container grown, 8' ht. min., 4' spread min.
LE	<i>Ulmus parvifolia</i> 'Sempervirens'	Lacebark Elm	8	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	16	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
RB	<i>Quercus canadensis</i> 'Oklahoma'	Oklahoma Redbud	17	30 gal.	container grown, 8' ht., 4' spread min.
SO	<i>Quercus shumardii</i>	Shumard Red Oak	4	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
<b>SHRUBS/GROUNDCOVER</b>					
DBH	<i>Ilex cornuta</i> 'Burfordii Nana'	Dwarf Burford Holly	330	5 gal.	container full, 24" spread, 24" o.c.
DR	<i>Rosa</i> 'Red Drift'	Red Drift Rose	27	5 gal.	container full, 24" spread, 20" ht., 24" o.c.
IH	<i>Raphiolepis indica</i> 'Clara'	Indian Hawthorne 'Clara'	66	5 gal.	container full, 20" spread, 24" o.c.
LOR	<i>Loropetalum chinense</i> 'Purple Diamond'	Loropetalum 'Purple Diamond'	28	5 gal.	container full, 20" spread, 24" o.c.
MFG	<i>Nassella tenuissima</i>	Mexican Feathergrass	65	1 gal.	container full, 18" o.c.
MIS	<i>Miscanthus sinensis</i> 'Adagio'	Miscanthus 'Adagio'	23	5 gal.	container full, 36" o.c.
TS	<i>Leucophyllum frutescens</i> 'Green Cloud'	Texas Sage 'Green Cloud'	45	5 gal.	container full, 20" spread, 36" o.c.

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.  
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.  
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

**LANDSCAPE TABULATIONS**  
THE CITY OF ROCKWALL, TEXAS

**STREET LANDSCAPING**

- 20' wide landscape buffer with three (3) canopy trees, 4" cal., and four (4) accent trees, 4" ht., per 100 l.f. where adjacent to IH-30 right of way.
- 30" tall shrub screen.

IH-30: 660 l.f.

Required	Provided
20' landscape buffer	N/A
(20) canopy trees, 4" cal.	(20) trees, 4" cal.
(26) accent trees, 4" ht.	(26) accent trees, 30 gal.

**PARKING LOT LANDSCAPING**

- 5% percent of the total parking lot shall be landscaped.
- One (1) large canopy tree, 4" cal., per 10 required parking spaces.

Total parking lot: 40,134 s.f.  
Total Parking: 101  
Required Parking: 77

Required	Provided
2,007 s.f. (5%)	3,049 s.f. (7%)
(8) canopy trees, 4" cal.	(8) canopy trees, 4" cal.

**SITE LANDSCAPING**

- 15% of the total site shall be landscaped for COMMERCIAL.
- 50% of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 1.66 AC; 72,415 s.f.

Required	Provided
10,862 s.f. (15%)	20,342 s.f. (28%)
5,431 s.f. (50%)	19,978 s.f.

**GENERAL TREE SURVEY NOTE:**  
NO EXISTING TREES LOCATED ON SITE

NO TREES WITHIN 5' - 0" OF ANY UTILITIES

**SITE DATA TABLE**

ZONING: COMMERCIAL WITH I.H. 30 OVERLAY  
PROPOSED USE: RESTAURANT

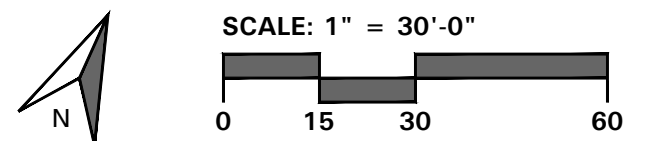
SITE AREA 1.66 ACRES	72,415 SF	
BUILDING FOOTPRINT	7,642 SF	10.6%
OTHER IMPERVIOUS AREA	44,795 SF	61.9%
TOTAL IMPERVIOUS AREA	52,437 SF	72.4%
OPEN SPACE (15% REQUIRED)	20,342 SF	28.1%

BUILDING TYPE:  
BUILDING HEIGHT: 1 STORY, 25' 10"

PARKING REQUIREMENT: (1 STALL/100 SQ FT)	77 SPACES
PARKING REQUIREMENT: (1STALL/4 SEATS) (279 SEATS)	70 SPACES
REQUIRED PARKING	77 SPACES

PARKING PROVIDED:

ADA ACCESSIBLE	5 SPACES
REGULAR	96 SPACES
TOTAL PROVIDED	101 SPACES



PROJECT NUMBER  
150484  
SHEET NUMBER  
L1.01  
DATE OF THIS PRINTING -11/11/2014

**SECTION 32 9300 - LANDSCAPE**

**PART 1 - GENERAL**

**1.1 REFERENCED DOCUMENTS**

A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

**1.2 DESCRIPTION OF WORK**

A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs and grasses)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and maintenance until final acceptance
5. Guarantee

**1.3 REFERENCE STANDARDS**

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

**1.4 NOTIFICATION OF SOURCES AND SUBMITTALS**

A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel and crushed stone. Samples shall be approved by Owner's Authorized Representative before use on the project.

**1.5 JOB CONDITIONS**

A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

**1.6 MAINTENANCE AND GUARANTEE**

- A. Maintenance:
  1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
  2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
  3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shade, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.

a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.

b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.

c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.

4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

**1.7 QUALITY ASSURANCE**

A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.

B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

C. Selection of Plant Material:
 

1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
2. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
4. Measurements: Measure trees with branches and trunks or cases in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.

6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.

7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

**1.8 PRODUCT DELIVERY, STORAGE AND HANDLING**

A. Preparation:

1. Balled and Burlapped (BBB) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.

2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

B. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.

2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.

3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.

4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.

5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.

6. Remove rejected plant material immediately from job site.

7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

**PART 2 - PRODUCTS**

**2.1 PLANTS**

A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.

B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on the plan.

C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable distortions, insect eggs and larvae, and are to be of specimen quality.

D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)

F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

**2.2 SOIL PREPARATION MATERIALS**

A. Sandy Loam:

1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallassgrass or Nutgrass shall be rejected.

2. Physical properties as follows:
 

- a. Clay - between 7-27 percent
- b. Silt - between 15-25 percent
- c. Sand - less than 52 percent

3. Organic matter shall be 3%-10% of total dry weight.

4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.

C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.

F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.

H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

**2.3 MISCELLANEOUS MATERIALS**

A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDEG Heavy Duty Steel.

B. Staking Material for Shade Trees: refer to details.

C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.

D. Filter Fabric: "Mirafi Mirascape" by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.

E. River Rock: "Colorado" or native river rock, 2" - 4" dia.

F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

**PART 3 - EXECUTION**

**3.1 BED PREPARATION & FERTILIZATION**

A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:
 

1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

C. Position the trees and shrubs in their intended location as per plan.

D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.

E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (¾) inch in diameter. Plants should be thoroughly moist before removing containers.

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ¼ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".

J. Do not wrap trees.

K. Do not over prune.

L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.

M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.

P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class 1 pruning standards provided by the National Arborist Association.

1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.

2. Pruning shall be done with clean, sharp tools.

3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

Q. Steel Curbing Installation:

1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.

2. All steel curbing shall be free of kinks and abrupt bends.

3. Top of curbing shall be ½" maximum height above final finished grade.

4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.

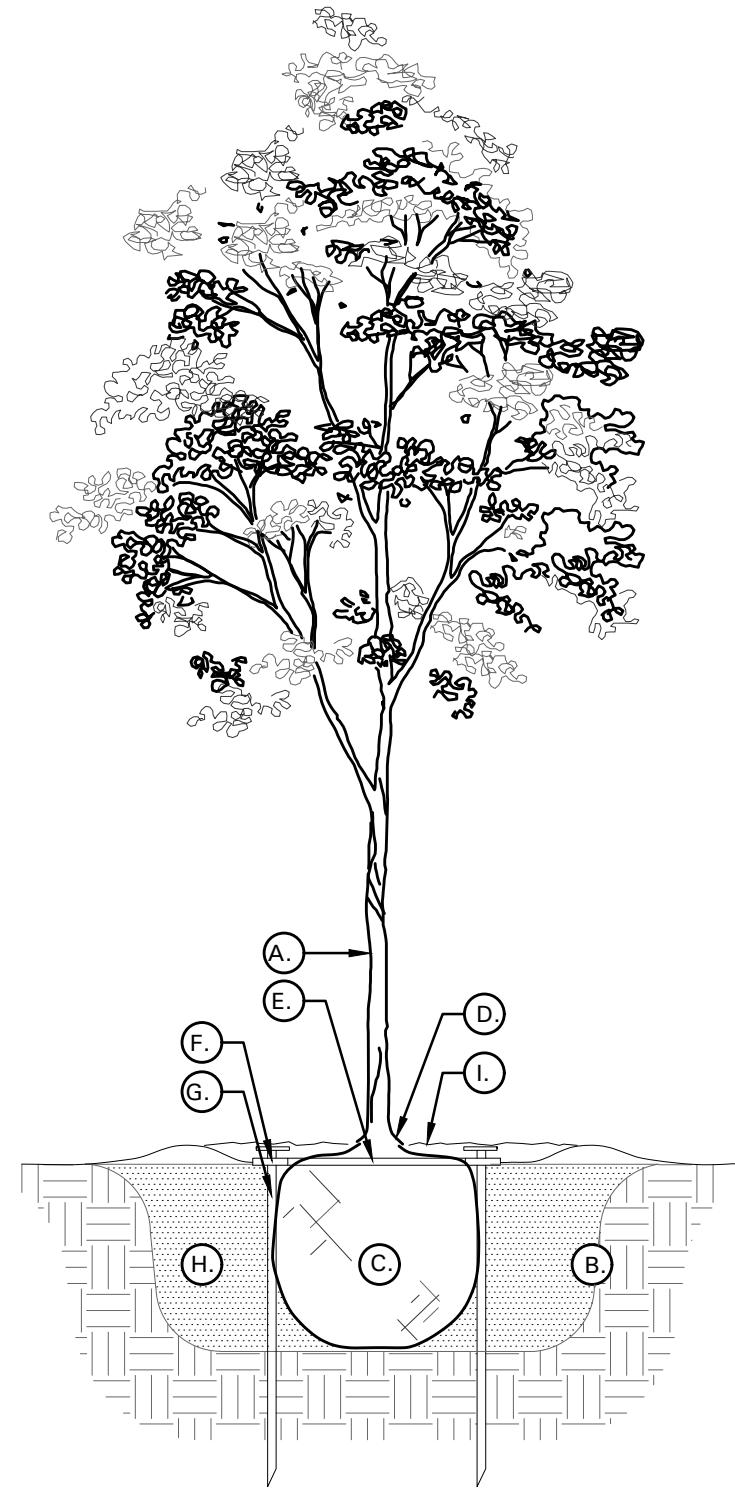
5. Do not install steel edging along sidewalks or curbs.

6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION



**01 TREE PLANTING DETAIL**  
NOT TO SCALE

**TREE PLANTING DETAIL LEGEND AND NOTES**

A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. [www.ansi.org](http://www.ansi.org)

B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.

C. ROOT BALL: REMOVE TOP ¼ BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.

D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.

E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL. TRUNK SHOULD BE IN THE CENTER OF THE RING.

F. 'U' BRACKET.

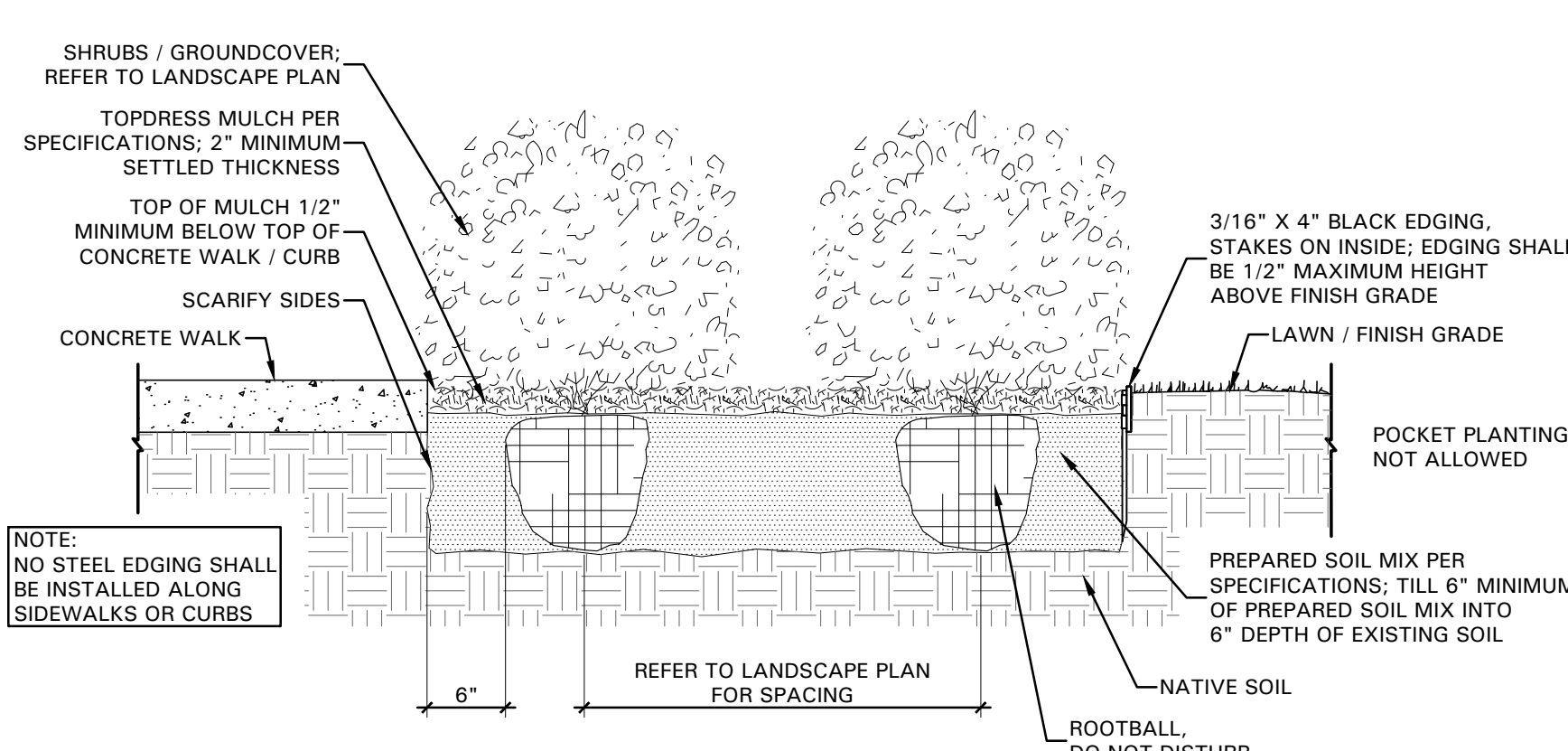
G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLEE FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH 'U' BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).

H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.

I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.

J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE': BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 [jeff@treestakesolutions.com](http://jeff@treestakesolutions.com) [www.treestakesolutions.com](http://www.treestakesolutions.com)

K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



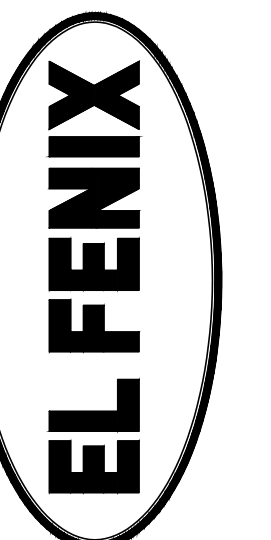
**02 SHRUB / GROUND COVER DETAIL**  
NOT TO SCALE

**LANDSCAPE SPECIFICATIONS AND DETAILS**

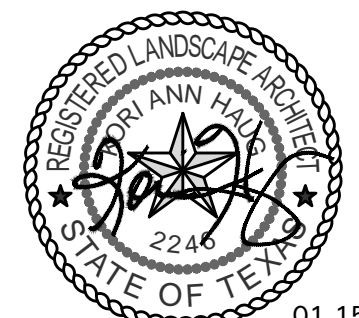


4245 North Central Exp  
Suite 501  
Dallas, Texas 75205  
214.865.7192 office

EL FENIX MEXICAN RESTAURANT  
LOT BEHIND  
2901 WILLOW DRIVE  
ROCKWALL, TX 75087



DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS-NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR  
TO BEGINNING CONSTRUCTION



01.15.16

NO REVISION

PROJECT NUMBER

150484

SHEET NUMBER

L1.02

DATE OF THIS PRINTING -11/11/2014

# MSV

## M-Pulsive™ Flat & Convex



- Square, one-piece formed aluminum housing is completely sealed to keep contaminants and moisture out
- Flat glass models feature tool-less entry and four point closure; Convex glass models use formed doors secured with thumb screws for easy re-lamping
- Both flat and convex glass models feature multifaceted segmented panels in two levels of performance; The standard optic is available in Type I, III, IV and V square distributions; The high performance "Super" optical system is available for Type III and V distributions; All are rotatable in 90° increments; IESNA full cut-off lighting classification achieved with flat lens
- IDA fixture seal of approval with flat lens
- Extruded aluminum arm for pole mounting available in both 4" and 10" sizes; Spider mount has four twin tube arms; Yoke mount has two square arms
- CWA type ballast, 60 Hz HPF, starting rated at -20°F (-40°F HPS); 50 Hz available, consult factory; Mogul porcelain socket, pulse-rated with spring-loaded, nickel-plated center contact and reinforced lamp grip screw shell
- Durable Lektrocote™ TGIC thermoset polyester powder paint finish assures long life and maintenance-free service
- 5 standard, 2 premium, and custom colors are available
- Listed to UL1598 for use in wet locations

### ORDERING INFORMATION

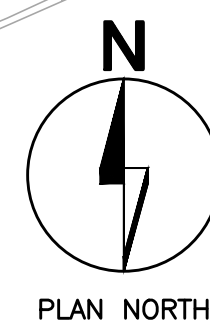
MSV					
SERIES	SOURCE/WATTAGE	LAMP ORIENT./DISTR.	LENS	COLOR	OPTIONS
MSV M-Pulsive	<b>METAL HALIDE</b> H1K <sup>14</sup> 1000w (BT-37)	V1P Vert. I - segmented	F Flat glass	DB Dark Bronze (textured)	F(X) <sup>6</sup> Fusing (replace X with voltage: 1-120, 2-208, 3-240, 4-277, 5-480, 6-347)
<b>MOUNT</b>	<b>SUPER METAL HALIDE</b> MS1K <sup>14</sup> 1000w (BT-37)	V3P Vert. III - segmented	C <sup>8</sup> Convex glass	BL Black (textured)	PR(X) <sup>12</sup> Photo cell receptacle (replace X with voltage: 1-120, 2-208, 3-240, 4-277, 5-480, 6-347)
A4 Arm mount (includes 4" rigid arm)	<b>PULSE START METAL HALIDE</b> P17 175w (ED-28)	V4 <sup>6</sup> Vert. IV - multi-piece		WH White (textured)	P(X) <sup>4,5</sup> Photo button (replace X with voltage: 1-120, 2-208, 3-240, 4-277, 5-480, 6-347)
A10 <sup>21</sup> Arm mount (includes 10" rigid arm)	P25 250w (ED28)	V5P Vert. V (square) - segmented		GR Gray (textured)	RPA2 Round pole adapter (2 3/4 - 3 1/8")
P32 320w (ED28)	P25 250w (ED28)	H3 <sup>2,12,13</sup> Horiz. III - hydroformed		PS Platinum Silver (smooth)	RPA3 Round pole adapter (3 1/4 - 3 3/4")
P35 350w (ED28)	P40 400w (ED-37)	H4 <sup>2</sup> Horiz. IV - multi-piece		RD Red (smooth) (premium color)	RPA4 Round pole adapter (3 7/8 - 4 1/2")
P40 400w (ED-37)	P45 450w (BT-37)	H5 <sup>2,12</sup> Horiz. V (square) - hydroformed		FG Forest Green (textured, premium color)	RPA5 Round pole adapter (5")
P45 450w (BT-37)	P75 750w (BT-37)	H5P <sup>2</sup> Horiz. V (square) - segmented		CC Custom Color (consult factory)	RPA6 Round pole adapter (6")
P75 750w (BT-37)	<b>HIGH PRESSURE SODIUM</b> S25 250w (ED-18)				QZ <sup>3</sup> Quartz RS with lamp
P85 850w (BT-37)	S40 400w (ED-18)				VG Polycarbonate vandal guard
P1K <sup>14</sup> 1000w (BT-37)	S60 <sup>1</sup> 600w (T-14)				R(X) <sup>7</sup> Reveal (EB option must be chosen also; Replace XX with color)
<b>0</b> No arm or wall bracket (only order without arm or wall bracket when they are ordered as an accessory)	S75 <sup>1</sup> 750w (BT-37)				EB Embossed band
<b>ST</b> Spider mount (2 3/8" tenon)	S1K 1000w (ED-37)				
<b>YT</b> Yoke mount (2 3/8" tenon)					

### VOLTAGE

1 <sup>10</sup> 120V	Q <sup>1</sup> Quad-Tap <sup>1</sup> 120/208/240/277V
2 <sup>10</sup> 208V	5 480V
3 <sup>10</sup> 240V	T <sup>3</sup> Tri-Tap <sup>3</sup> 120/277/347V
4 <sup>10</sup> 277V	E 50Hz 220/240V
F <sup>10</sup> 347V	V <sup>3,9</sup> Five-Tap 120/208/240/277/480V
	0 No Ballast

MISSOURI-KANSAS-TEXAS RAILROAD  
(VARIABLE WIDTH RIGHT-OF-WAY)

INTERSTATE HIGHWAY NO. 30  
(VARIABLE WIDTH RIGHT-OF-WAY)



## 01 ELECTRICAL SITE PLAN

SCALE: 1" = 20'-0"  
0 10 20 40

### PHOTOMETRIC DISCLAIMER

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. SOFTWARE USED WAS TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR THE ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS. THE LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL PLANE 0 FT AFG.

### FOOTCANDLES

DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN	AVG/MAX
CALC ZONE #1	+	1.4 FC	8.2 FC	0.0 FC	N/A	N/A	0.2:1

### SITE DATA TABLE

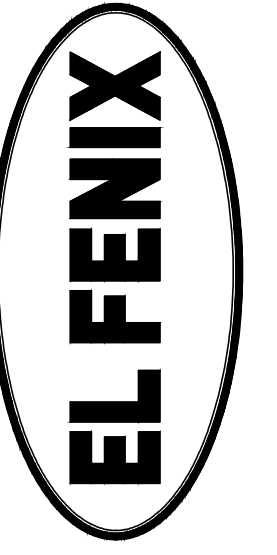
ZONING: COMMERCIAL WITH I.H. 30 OVERLAY	
PROPOSED USE: RESTAURANT	
SITE AREA 1.66 ACRES	72,415 SF
BUILDING FOOTPRINT	7,642 SF
OTHER IMPERVIOUS AREA	44,795 SF
TOTAL IMPERVIOUS AREA	52,437 SF
OPEN SPACE (15% REQUIRED)	20,342 SF
BUILDING TYPE:	
BUILDING HEIGHT: 1 STORY, 25' 10"	
PARKING REQUIREMENT: (1 STALL/ 100 SQ FT)	77 SPACES
PARKING REQUIREMENT: (1STALL/4 SEATS) (279 SEATS)	70 SPACES
REQUIRED PARKING	77 SPACES
PARKING PROVIDED:	
ADA ACCESSIBLE	5 SPACES
REGULAR	96 SPACES
TOTAL PROVIDED	101 SPACES

### SITE LIGHTING FIXTURE SCHEDULE

DESIG	SYMBOL	FIXTURE TYPE	VOLTAGE	WATTAGE	ACCEPTABLE MANUFACTURER	LIGHT FIXTURE MODEL NUMBER:	LAMP:	POLE MODEL NUMBER:
SA	□	"MSV SERIES" PULSE START METAL HALIDE PARKING LOT FIXTURE, SINGLE HEAD POLE MOUNTED, DISTRIBUTION TYPE 4 OPTICS, ON 20'-0" POLE WITH 2'-0" BASE (22'-0" OVERALL HEIGHT), AND DARK BRONZE FINISH.	208V/1PH	285	SPAULDING LIGHTING	#MSV-A4-P25-V4-F-Q3-DB	VENTURE 250W/ED28	VALMONT #DS220-525A200 -PC-FP-DB-FBC-AB
SB	□	SAME AS TYPE SA, EXCEPT WITH 2 HEADS FIXTURE.	208V/1PH	570	SPAULDING LIGHTING	#MSV-A4-P25-V4-F-Q3-DB	VENTURE 250W/ED28	VALMONT #DS220-525A200 -PC-FP-DB-FBC-AB
SC	□-□	SAME AS TYPE SA, EXCEPT WITH 2 HEADS FIXTURE.	208V/1PH	570	SPAULDING LIGHTING	#MSV-A4-P25-V4-F-Q3-DB	VENTURE 250W/ED28	VALMONT #DS220-525A200 -PC-FP-DB-FBC-AB

**GH A**  
Architecture / Development  
14901 Quorum Drive  
Suite 300  
Dallas Texas 75254  
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EL FENIX MEXICAN RESTAURANT  
ROCKWALL, TX



DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS-NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR  
TO BEGINNING CONSTRUCTION

STATE OF TEXAS  
D. LIPPE  
REGISTERED PROFESSIONAL ENGINEER  
F-11339  
LIPPE AND ASSOCIATES  
CONSULTING ENGINEERS  
1900 MEADOW ROAD  
ADDISON, TEXAS 75001  
FAX (972) 387-3500  
STATE OF TEXAS FIRM REGISTRATION: F-11339

NO REVISION

SITE PLAN REVIEW 01/15/16

PROJECT NUMBER  
**150484**

SHEET NUMBER  
**E002**  
PHOTOMETRIC PLAN

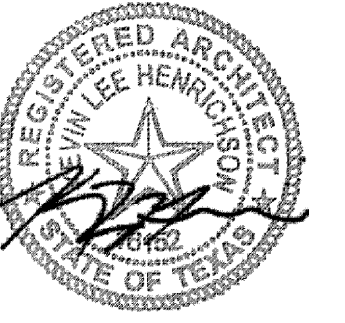
DATE OF THIS PRINTING - 01/15/16

0101-STUDYING  
0101-BUILDING  
LAYOUT: E002  
XREFS ATTACHED



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EL FENIX MEXICAN RESTAURANT  
LOT BEHIND  
2801 VILLAGE DRIVE  
ROCKWALL, TX 75087



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OF ANY DISCREPANCIES PRIOR  
TO BEGINNING CONSTRUCTION

NO REVISION

PROJECT NUMBER  
150484

SHEET NUMBER

03

DATE OF THIS PRINTING - 11/10/2014

SITE PLAN REVIEW 01/15/16

CONCEPT DESIGN APPROVAL

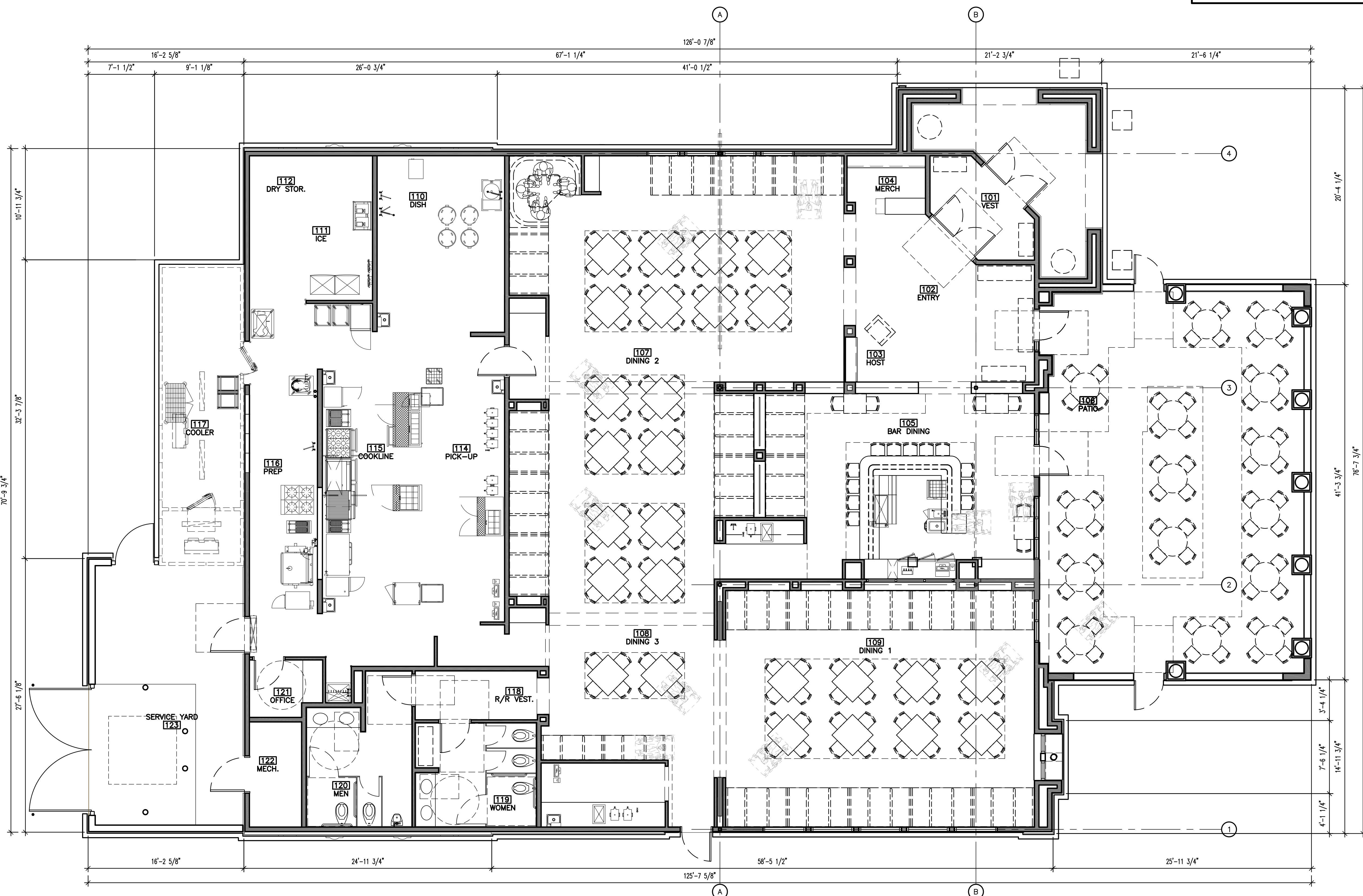
NAME _____	DATED _____
NAME _____	DATED _____

SEATING CALCULATIONS:

Interior Seating	PARTIES	SEATS
DINING:		
4 TOP - 30"x48" BOOTH (ADA)	1	2
4 TOP - 36"x48" BOOTH (ADA)	1	2
4 TOP - 30"x48" BOOTH	21	84
4 TOP - 42"x48" BOOTH - CORNER	1	4
4 TOP - 36"x36" FREESTANDING TABLE	28	112
4 TOP - 36"x48" FREESTANDING TABLE	3	12
BAR:		
BAR (ADA)	-	1
BAR STOOLS	-	7
<b>Total Seating</b>	<b>56</b>	<b>224</b>

Exterior Patio Seating

Exterior Patio Seating	PARTIES	SEATS
DINING:		
2 TOP - 24"x36" FREESTANDING TABLE	7	14
4 TOP - 36" DA FREESTANDING TABLE	9	36
<b>Total Patio</b>	<b>16</b>	<b>50</b>



01 FLOOR PLAN  
SCALE: 3/16" = 1'-0"

PRINTED BY: WUFF  
DRAWING NAME: 03 FLOOR PLAN LAYOUT\_03  
SIZES ATTACHED