



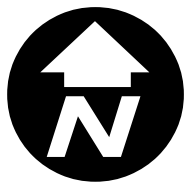
MIS2016-010 306 HARBORVIEW DRIVE
 MISCELLANEOUS - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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Miller, Ryan

To: Gonzales, David
Subject: RE: Request for Exception to Exterior Material Requirement - 306 Harborview Dr

From: Marc Camacho [REDACTED]
Sent: Friday, November 18, 2016 3:22 PM
To: Gonzales, David
Cc: Jarita Green
Subject: Request for Exception to Exterior Material Requirement - 306 Harborview Dr

Mr. Gonzales,

This letter represents a formal request for exception to exterior material requirement for a new residential construction at 306 Harborview Dr, Rockwall 75032.

The proposed building finishes are as follows:

- 74% Fiber Cement Cladding (white and dark gray, integrally colored)
- 12% Stone Masonry
- 9% Concrete Panels (white, integrally colored)
- 5% Clear Red Cedar

I have attached the drawings as well as some exterior renderings for you perusal.

The Chandlers Landing HOA has already approved our proposed exterior finishes. However, we do not have an official letter from them just yet; at the end of our meeting with the HOA committee they communicated a conditional approval subject to receipt of city permit.

We were granted our building permit by the city yesterday.

Please let me know if you need anything else.

Respectfully,
Marc Camacho



DESIGN RENDERING
FOR ILLUSTRATION ONLY NO SCALE

PROJECT NOTES

GENERAL NOTES:

ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL & BUILDINGS CODES, AS APPLICABLE, AND SHALL BE IN ACCORDANCE WITH ANY ADDITIONAL REQUIREMENTS OF THE STATE OF TEXAS, CITY OF ROCKWALL, AND CHANDLERS LANDING ASSOCIATION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

THE CONTRACTOR SHALL VERIFY THAT SITE AND BUILDING CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. WORK PERFORMED SHALL ALSO MEET THE WORKMANSHIP AND METHODOLOGY GUIDELINES AS RECOMMENDED BY THE RESPECTIVE GOVERNING BODY.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTORS SHALL VERIFY AND ARE RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB. CAMACHO ENGINEERING SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF QUESTIONS ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLUMBING, HVAC AND ELECTRICAL CONTRACTORS ARE RESPONSIBLE FOR THE PROPER FUNCTION THE RESPECTIVE SYSTEMS. THE CONTRACTOR SHALL NOTIFY THE DESIGNER WITH ANY PLAN CHANGES OR BUILDING/FRAMING MODIFICATIONS REQUIRED FOR PROPER INSTALLATION AND FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS.

CAMACHO ENGINEERING WILL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, ACTS, OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY INCONSISTENCY OR IRREGULARITY DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF CAMACHO ENGINEERING BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL CONFIRM RECEIPT OF WRITTEN NOTICE AND SHALL ALLOW REASONABLE TIME FOR ISSUE TO BE ADDRESSED PRIOR TO COMMENCING WORK AND ENACTING MODIFICATIONS. THE BURDEN OF COST AND LIABILITY FROM DEFECTIVE OR SUBSTANDARD WORK, OR WORK THAT DOES NOT SATISFY THE PLANS AND SPECS WILL REST UPON THE CONTRACTOR.

FOUNDATION, PATIOS, TERRACES, AND GARAGE AREAS ARE NOT INCLUDED IN LIVING AREA. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

ROOF SURFACES SHALL NOT TO THROUGH-FASTENED, CUT, OR PENETRATED FOR ANY REASON, OR USED FOR EQUIPMENT SUPPORT/INSTALLATION; UNLESS INDICATED OTHERWISE IN THE CONSTRUCTION DOCUMENTS; OR UNLESS PROVIDED WITH WRITTEN CONSENT AND OVERSIGHT FROM CAMACHO ENGINEERING. ALL PLUMBING AND FLUE VENTS SHALL BE ROUTED THROUGH A SIDEWALL AND EXTENDED ABOVE THE EAVE ELEVATION AS REQUIRED. SEE ROOF NOTES FOR ADDITIONAL INFORMATION AND DETAILS.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

RENDERINGS:

RENDERINGS ARE NOT TO SCALE; ALL RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

BUILDING CODES & PERFORMANCE NOTES:

MUNICIPALITY:

CITY OF ROCKWALL - 385 S. GOLIAD STREET, ROCKWALL, TEXAS 75087

CODE INFO:

2015 INTERNATIONAL RESIDENTIAL CODE W/ LOCAL AMENDMENTS
2015 INTERNATIONAL BUILDING CODE W/ LOCAL AMENDMENTS
2015 INTERNATIONAL PLUMBING CODE W/ LOCAL AMENDMENTS
2015 INTERNATIONAL FUEL GAS CODE W/ LOCAL AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE W/ LOCAL AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ LOCAL AMENDMENTS
2014 NATIONAL ELECTRIC CODE W/ LOCAL AMENDMENTS

STRUCTURAL ENGINEER:

MARC A. CAMACHO, TEXAS PE# 114209

ARCHITECTURAL DESIGNER:

MARC CAMACHO - CAMACHO ENGINEERING
MCAMACHO@CAMACHOENGINEERING.COM

BUILDER:

CAMACHO ENGINEERING, TX FIRM# F16426

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER, INTEGRALLY SHORED, AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS (VIA SIDEWALL ACCESS) DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL, OR ALTERNATIVE DOCUMENTATION/ IDENTIFICATION CONFIRMING CODE CONFORMANCE.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

CONTRACTORS TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, DETAILS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.

DISCLAIMER:

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PROJECT DETAILS:

HOME OWNER: JARITA & MARC CAMACHO
PROJECT ADDRESS: 306 HARBORVIEW DR. ROCKWALL, TX 75032
LEGAL: LOT 14, BLOCK C
MAX ROOF HEIGHT: 479'
FIRE DISTRICT: ROCKWALL FIRE DEPARTMENT
WATER DISTRICT: NORTH TEXAS MUNICIPAL
STORM WATER#: _____
BLDG PERMIT#: _____

PROJECT STATISTICS:

LOT SIZE:	12,151 SQ. FT.
BUILDING AREAS:	
FLOOR 1 (CONDITIONED SPACE):	3,286 SQ. FT.
FLOOR 2 (CONDITIONED SPACE):	1,713 SQ. FT.
FLOOR 2 (NON-CONDITIONED):	61 SQ. FT.
VEHICLE GARAGE:	676 SQ. FT.
UTILITY GARAGE:	110 SQ. FT.
LIVABLE AREA:	4,999 SQ. FT.
FLATWORK AREAS:	
RESIDENCE FOUNDATION:	3,465 SQ. FT.
GARAGE FOUNDATION:	706 SQ. FT.
DRIVEWAY SLAB:	1,514 SQ. FT.
CONCRETE PADS:	84 SQ. FT.
ROOF AREA:	5,018 SQ. FT.
PROPOSED MAX ROOF HEIGHT:	478.9 FT.

REFER TO ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL NOTES FOR ADDITIONAL CRITERIA.

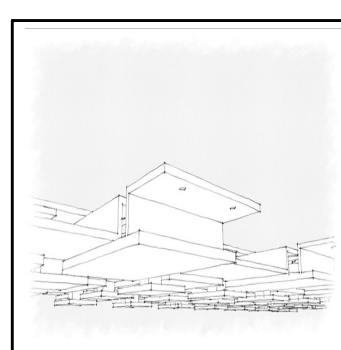
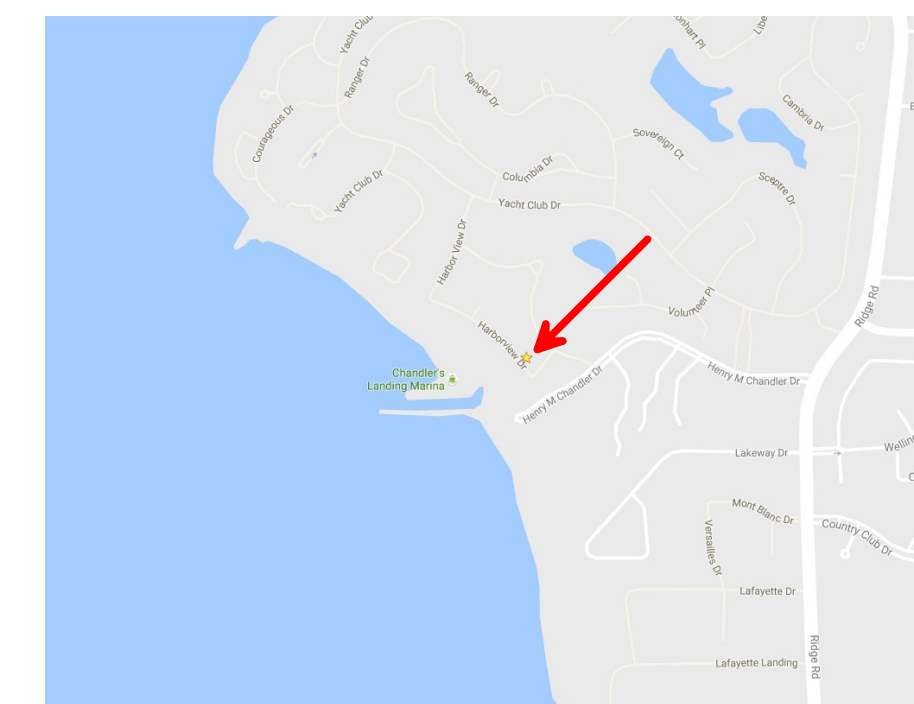
ABBREVIATIONS:

ACP	ARCHITECTURAL CLADDING PANEL (INT. COLORED QUARTZ/ FIBER CEMENT MATRIX)
ADDL	ADDITIONAL
AFF	ABOVE FINISHED FLOOR
AGG	AGGREGATE
CAM ENG	CAMACHO ENGINEERING
CLCA	CHANDLERS LANDING COMMUNITY ASSOCIATION
CLR	CLEAR
CONC	CONCRETE
COR	CITY OF ROCKWALL
EA	EACH
FUR	FURRING
GA	GAUGE
GL	GLASS
LIMS	LIMESTONE
PCP	PRECAST CONCRETE PANEL
T&B	TOP AND BOTTOM
T&G	TONGUE & GROOVE
TBD	TO BE DETERMINED
TOC	TOP OF CONCRETE
TYP	TYPICAL
W/	WITH
W/O	WITHOUT
WWF	WELDED WIRE FABRIC

INDEX OF DRAWINGS:

SHEET	TITLE	PAGE NO.
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SITE LOCATION MAP:



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STRUCTURAL ENGINEERING—MODERN ARCHITECTURAL DESIGN—BUILDING INFORMATION MODELING

MCAMACHO@CAMACHOENGINEERING.COM—832.671.5724—ROWLETT, TX

PROJECT:

306 HARBORVIEW

306 HARBORVIEW DR., ROCKWALL, TEXAS 75032
— CHANDLERS LANDING —

DRAWING TITLE:

COVER PAGE

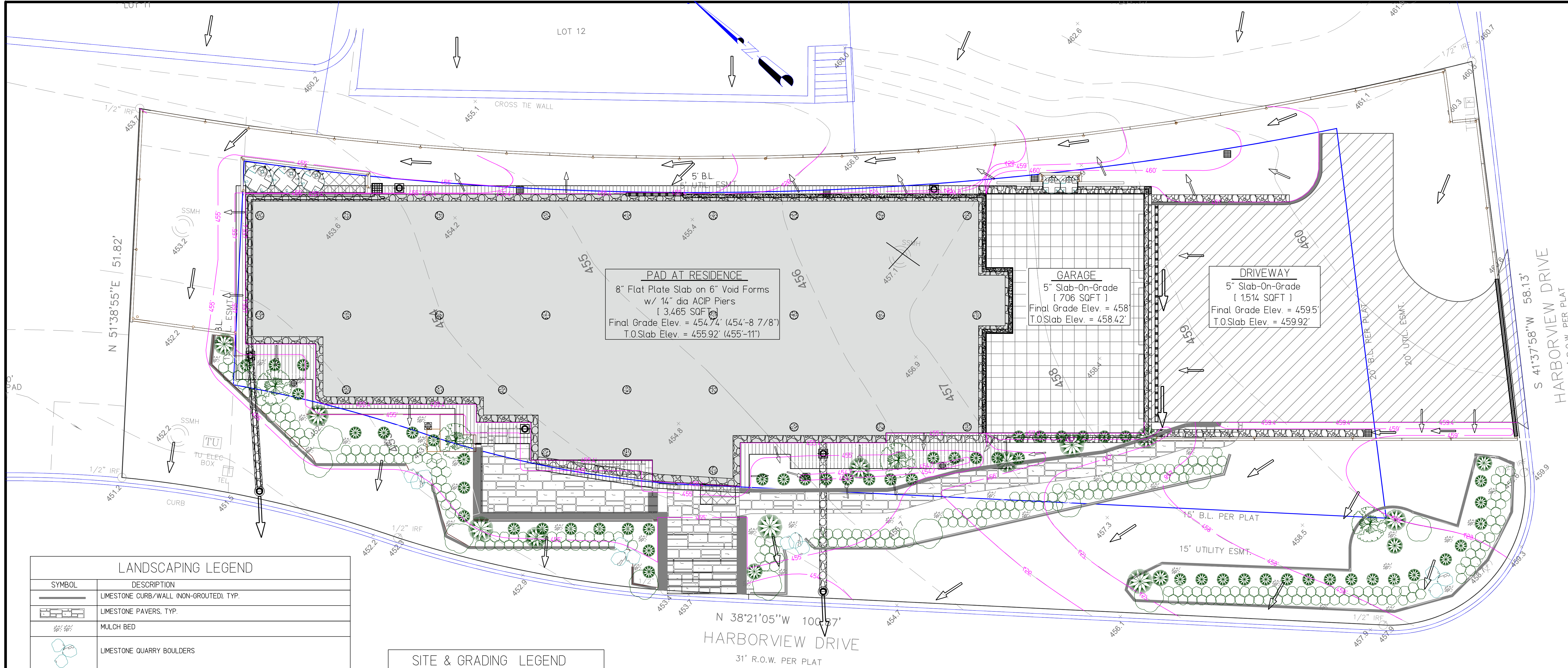
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5/21/15	75% SCHEMATIC DESIGN
10/16/15	100% REVIEW SET
11/14/16	PERMIT SET

ISSUE DATE:	11/14/16
SCALE:	PER PLAN
DESIGNED BY:	M.A.C.

SHEET:

G-001

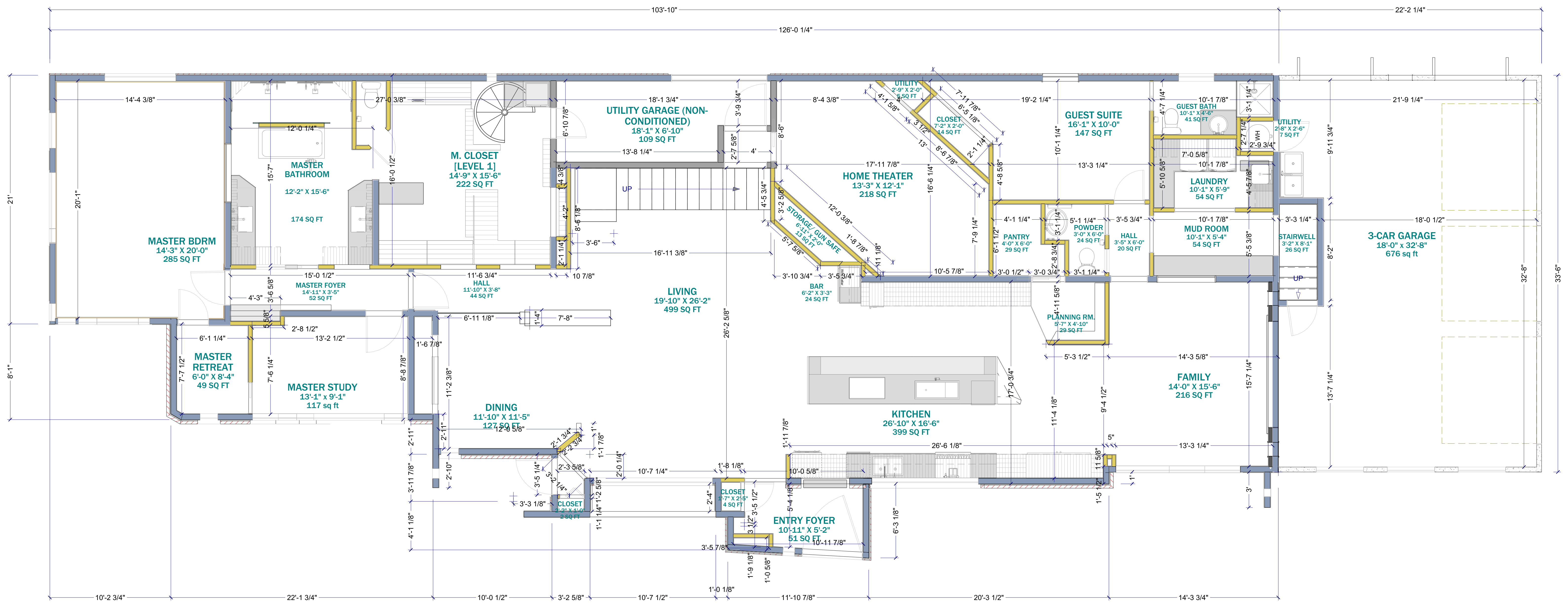
COVER PAGE



SITE / GRAIDING/ DRAINAGE PLAN

SCALE: 5/32" = 1'

<p>CAMACHO ENGINEERING STRUCTURAL ENGINEERING—MODERN ARCHITECTURAL DESIGN—BUILDING INFORMATION MODELING MCAMACHO@CAMACHOENGINEERING.COM—832.671.5724—ROWLETT, TX</p>	<p>PROJECT: 306 HARBORVIEW 306 HARBORVIEW DR., ROCKWALL, TEXAS 75032 — CHANDLERS LANDING —</p>	DRAWING TITLE: SITE / GRADING / DRAINAGE PLAN	ISSUE DATE DESCRIPTION 5/14/15 50% SCHEMATIC DESIGN 5/21/15 75% SCHEMATIC DESIGN 10/16/16 HON REVIEW SET 11/14/16 PERMIT SET	ISSUE DATE: 11/14/16 SCALE: PER PLAN DESIGNED BY: M.A.C.	SHEET: G-101 SITE / GRADING / DRAINAGE PLAN
			<p>PROJECT: 306 HARBORVIEW 306 HARBORVIEW DR., ROCKWALL, TEXAS 75032 — CHANDLERS LANDING —</p>		



FIRST FLOOR PLAN

SCALE: 1/4"

LIVING AREA
3287 SQ FT

FLOORS AND ROOFS

ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

PROVIDE INSULATION Baffles AT EAve VENTS BETWEEN RAFTERS.

SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.

THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL

MISCELLANEOUS NOTES:

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44" ABOVE FIN. FLR.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEPHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.



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— CHANDLERS LANDING —

DRAWING TITLE:

FIRST FLOOR PLAN

ISSUE

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ISSUE DATE:

11/14/16

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PER PLAN

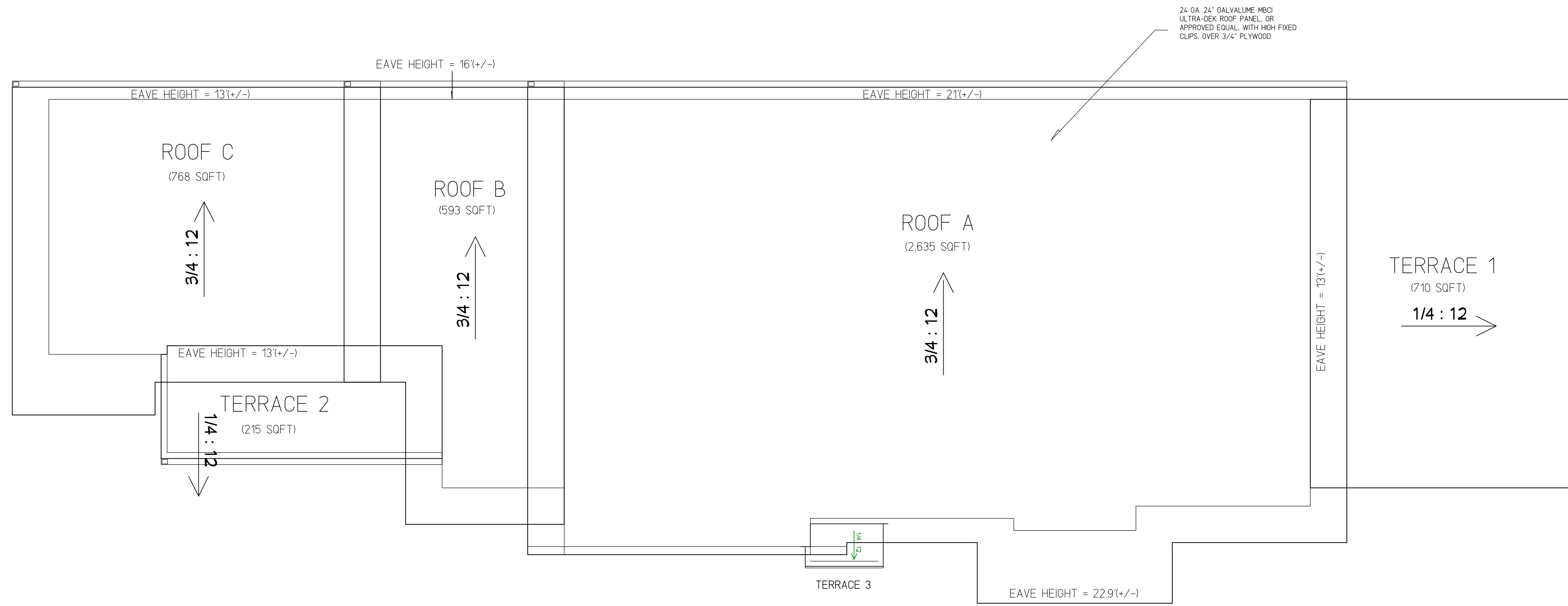
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M.A.C.

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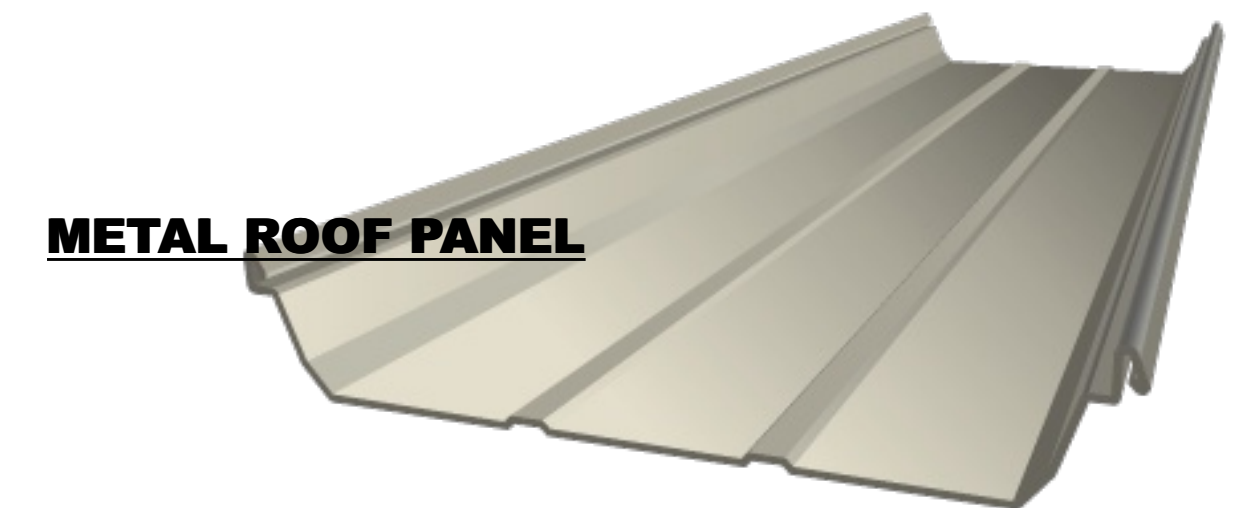
A-101

FIRST FLOOR PLAN



ROOF LAYOUT

NOT TO SCALE

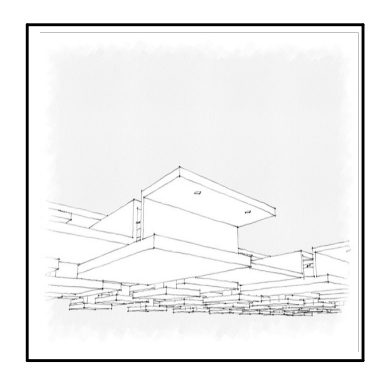


ROOF NOTES:

1. ALL ROOF PANELS AND ROOF DECK SHALL BE CONTINUOUS FROM EAVE TO EAVE. NO PANEL END LAPS.
2. ALL GUTTERS & DOWNSPOUTS SHALL BE SIZED BY THE CONTRATOR AS REQD PER IRC/IBC 2015.
3. ROOF DIMENSIONS ON THIS PAGE ARE TO OUTSIDE FACE OF FASCIA.
4. ROOF PANEL SHALL BE EXTENDED MIN 2" PAST THE FASCIA ALONG THE LOW EAVE. TYP.
5. SEE PLAN FOR ADDNL INFO.

GENERAL NOTES:

1. "EQUAL" SUBSTITUTIONS MUST BE APPROVED BY CAM. ENG. PRIOR TO/WITHIN CONTRACT AGREEMENT. OTHERWISE CONTRACTOR WILL BE REQUIRED TO PROVIDE AS SPECIFIED.
2. ROOFING, FLASHING & TRIM, CONCRETE AND REBAR QUANTITIES ARE TO BE DETERMINED BY THE CONTRACTOR AS REQUIRED. CONTRACTORS ARE RESPONSIBLE FOR DETERMINING THE NECESSARY MATERIAL QUANTITIES FOR BID. AREAS INDICATED HERIN REPRESENT THE "FLAT" AREA, AND ARE PROVIDED ONLY AS A GUIDE.



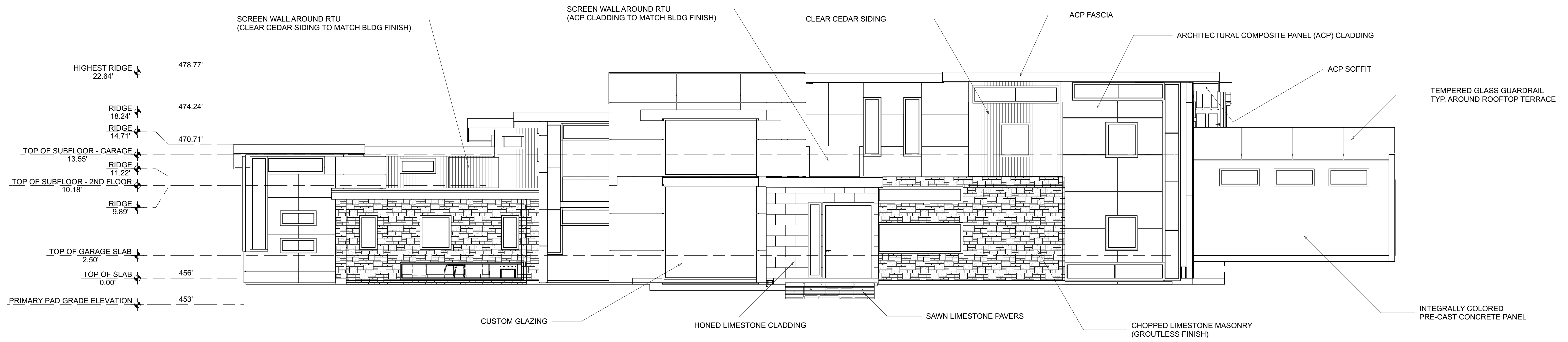
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 — CHANDLERS LANDING —

DRAWING TITLE:
ROOF PLAN

ISSUE		ISSUE DATE:	SHEET:
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		DESIGNED BY:	
		M.A.C.	

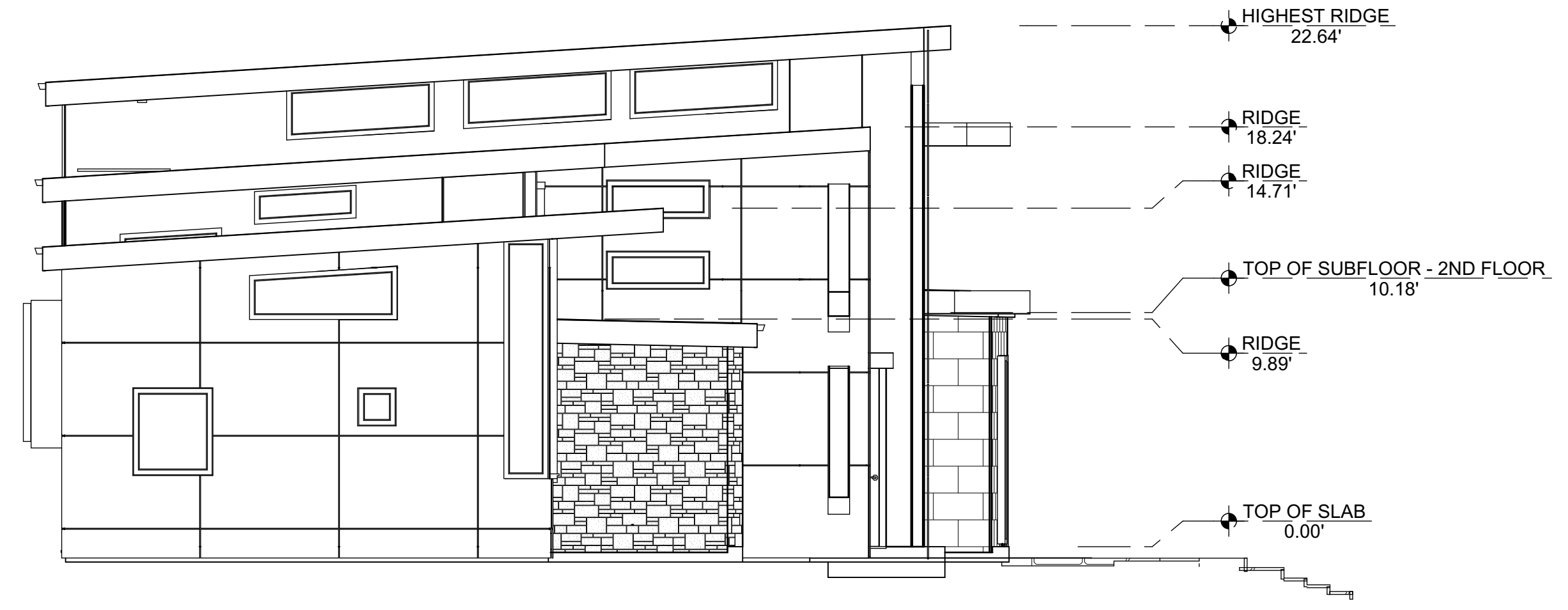


FRONT ELEVATION

SCALE: 3/16

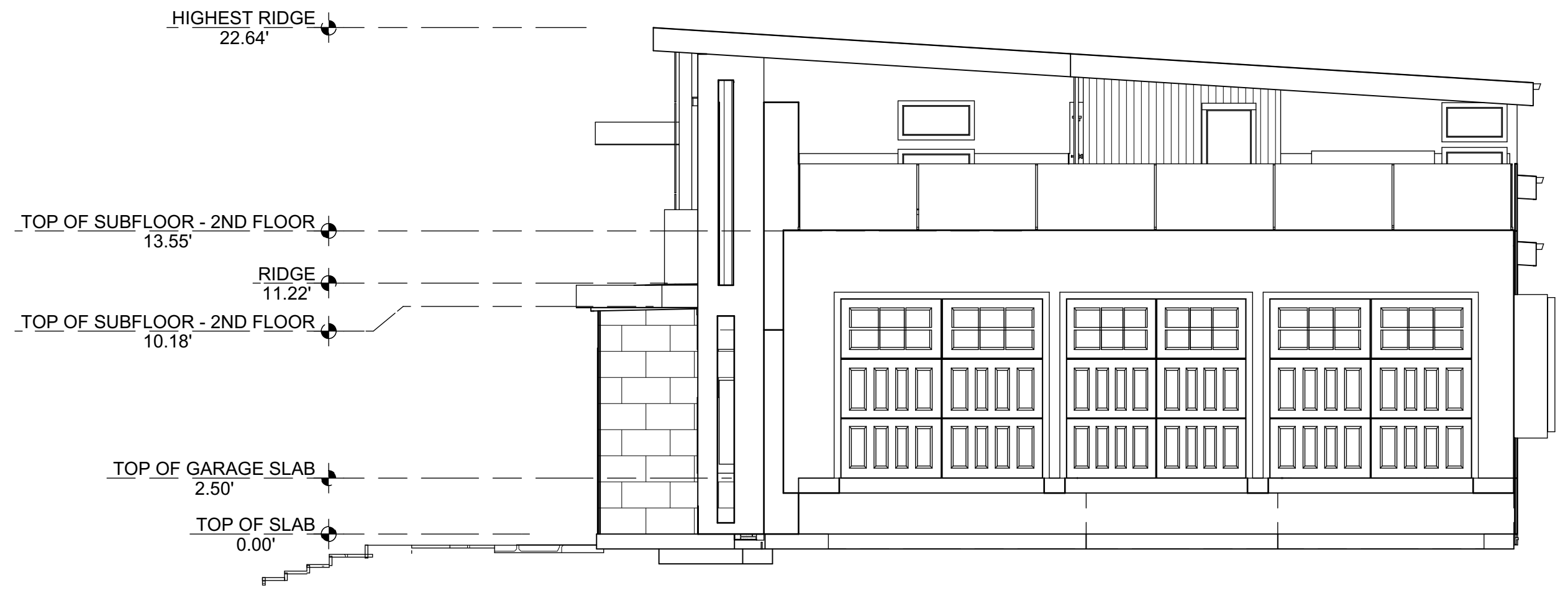
EXTERIOR WALL FINISHES SUMMARY:
 +/- 74% ACP (ARCHITECTURAL CLADDING PANEL)
 +/- 12% LIMESTONE
 +/- 9% INTEGRALLY COLORED CONCRETE TILT-WALL PANELS
 +/- 5% CLEAR RED CEDAR (VERTICAL WOOD SIDING)

NOTE:
 VARIANCE REQUEST TO BE SUBMITTED TO CITY OF ROCKWALL FOR EXTERIOR WALL FINISHES



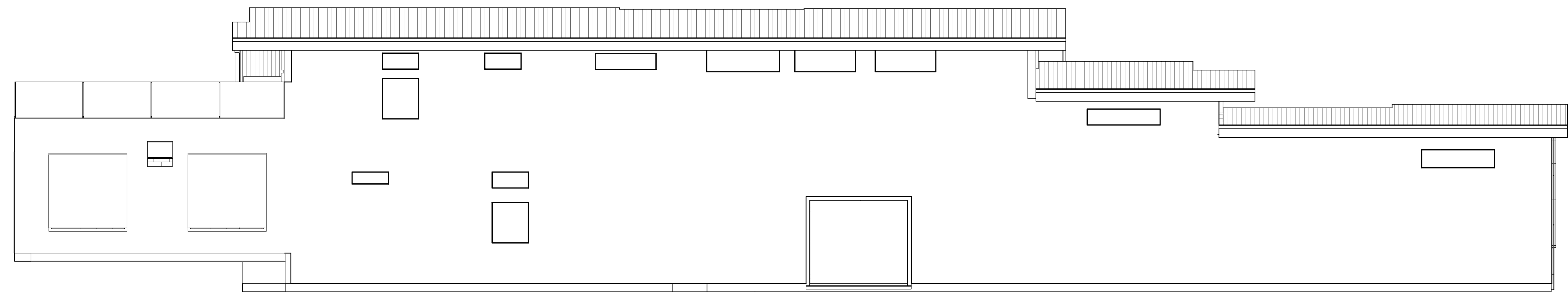
LEFT ELEVATION

SCALE: 3/16



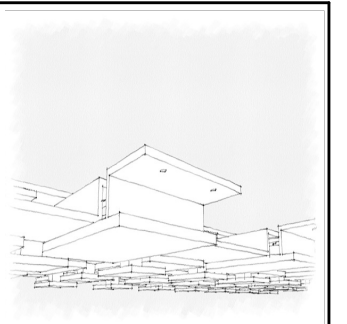
RIGHT ELEVATION

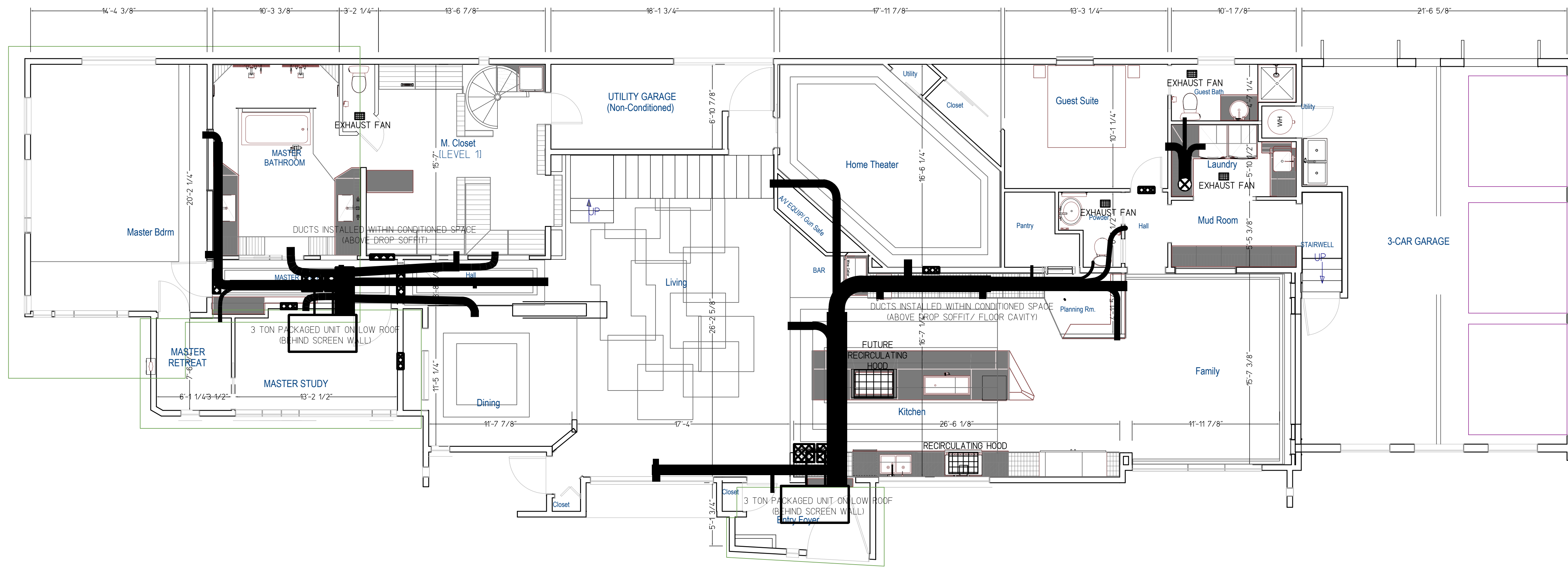
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REAR ELEVATION

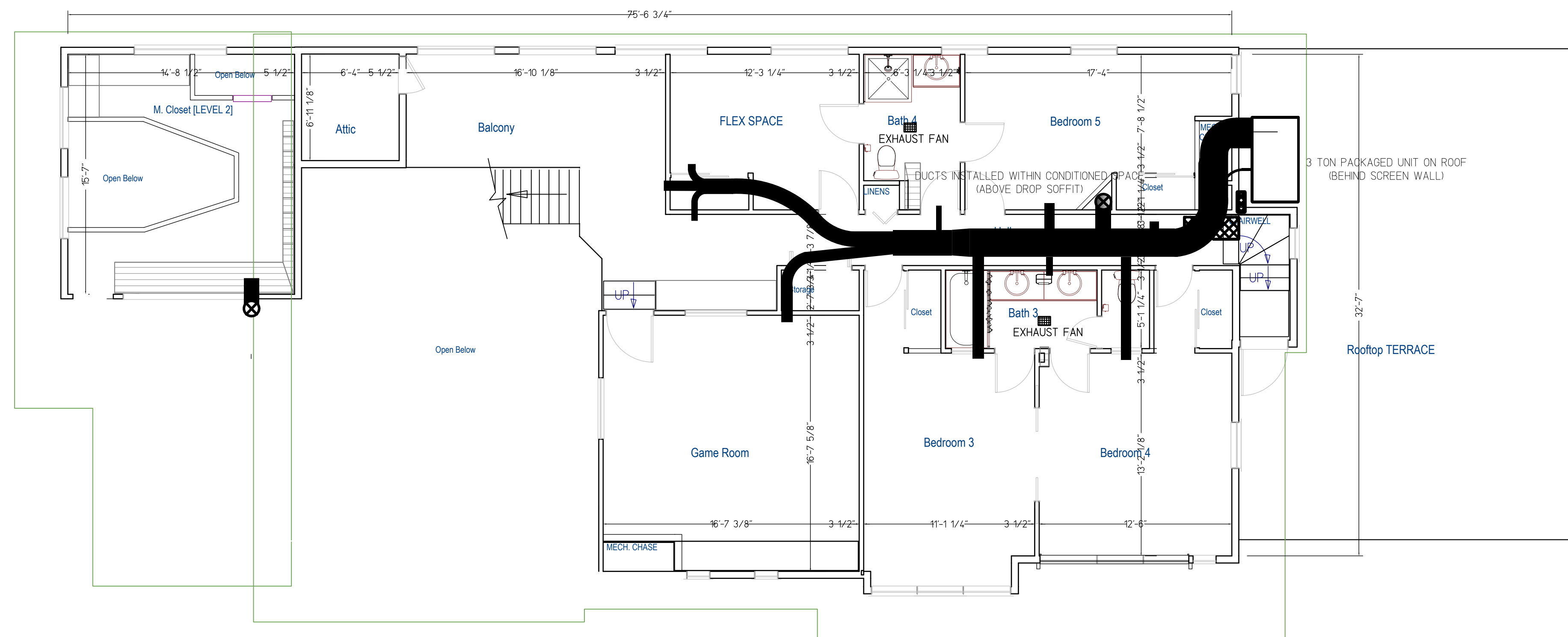
SCALE: 3/16"

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	ISSUE																
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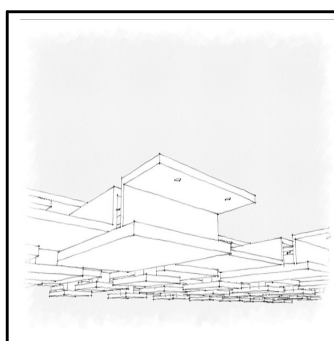
FIRST FLOOR MECHANICAL PLAN

SCALE: 3/16"



SECOND FLOOR MECHANICAL PLAN

SCALE: 3/16"



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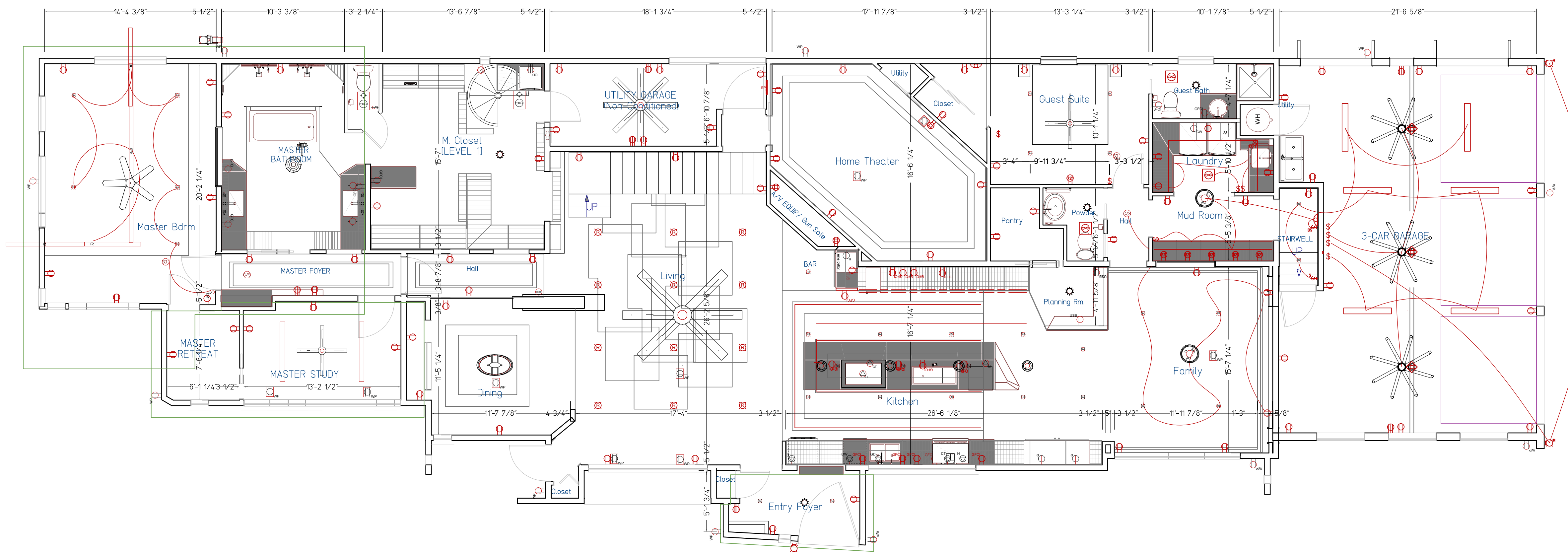
PROJECT:
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 — CHANDLERS LANDING —

DRAWING TITLE:
MECHANICAL PLAN

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5/21/15	75% SCHEMATIC DESIGN
8/3/16	NOA REVIEW SET
1/11/16	PERMIT SET

ISSUE DATE:
 11/14/16
 SCALE:
 PER PLAN
 DESIGNED BY:
 M.A.C.

SHEET:
M-101
 MECHANICAL PLAN



FIRST FLOOR MECHANICAL PLAN

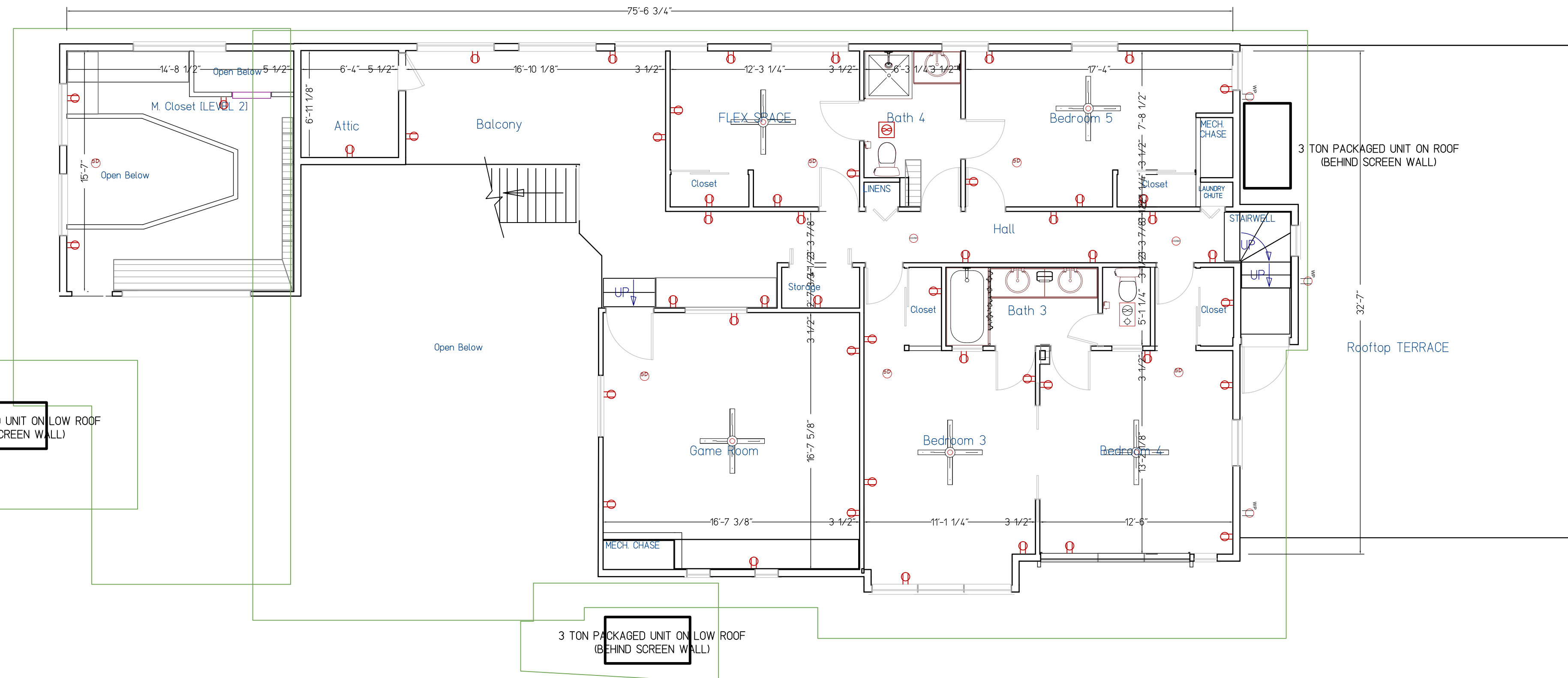
SCALE: 3/16"

ELECTRICAL, DATA, & AUDIO NOTES:
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

- ELECTRICAL NOTES:**
1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
 2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
 4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
 5. FIXTURES TO BE SELECTED BY HOME OWNER.

- AUDIO:**
1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
 2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
 3. LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

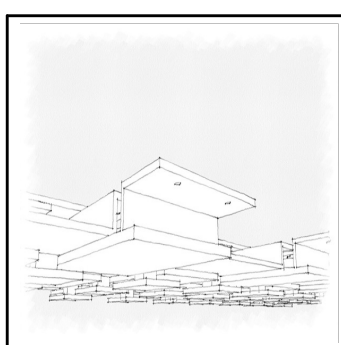
- DATA / CABLE:**
1. LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.



SECOND FLOOR MECHANICAL PLAN

SCALE: 3/16"

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans
	Ceiling Mounted Light Fixtures
	Surface Mounted Light Fixtures
	Wall Mounted Light Fixtures
	Flush Mounted Light Fixtures
	Chandelier Light Fixtures
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles : Duplex, Duplex, Weather Proof, GFCI, Ceiling Mounted Duplex/Quad (Note: All kitchen outlets to be 20amp GFCI hard wired circuits)
	110V Receptacles (cont.)
	Hard Wired: Double Oven Dishwasher Cook Top Hood USB Outlet
	Switches: Single Pole / Double / Tripple Combination where applicable, Weather Proof, 3-Way, 4-Way
	Switches (cont.): Dimmer, Dimmer with Remote, Sensor/Motion/Occupancy/Daylight Sensor - Timer, TYP., Dimmer with Sensor
	Smoke Detectors (Ceiling Mounted / Wall Mounted Combo Carbon Monoxide / Smoke Detectors
	Electrical Breaker Panel
	Tankless Water Heater



CAMACHO ENGINEERING

STRUCTURAL ENGINEERING—MODERN ARCHITECTURAL DESIGN—BUILDING INFORMATION MODELING
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PROJECT:

306 HARBORVIEW

306 HARBORVIEW DR., ROCKWALL, TEXAS 75032
— CHANDLERS LANDING —

DRAWING TITLE:

ELECTRICAL PLAN

ISSUE	
DATE	DESCRIPTION
5/14/15	50% SCHEMATIC DESIGN
5/21/15	75% SCHEMATIC DESIGN
10/16/16	100% REVIEW SET
11/14/16	PERMIT SET

ISSUE DATE:	11/14/16
SCALE:	PER PLAN
DESIGNED BY:	M.A.C.

SHEET:

E-101

ELECTRICAL PLAN







