

MIS2016-002 - 508 ST. MARY'S STREET
 MISCELLANEOUS - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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01/13/2016

City of Rockwall

Ryan Miller, AICP, Dir. Of Planning/Zoning

385 S. Goliad

Rockwall, Texas 75087

To the Planning Department,

My wife and I have a home located at 508 St. Marys Street. Over the last 2 years, the house has been completely renovated. We would like to submit the accompanying plans for further expansion of the home. Currently the home is covered by vinyl siding. The new addition, as I understand, cannot be covered in the same material. We would like to request a variance from the city to cover the addition and home with hardiboard material that would be painted. The neighborhood does not have any brick or stone homes in the immediate area. This would blend and add consistency to the appearance of our neighborhood. Thank you for your consideration.



William Laurence

508 St. Marys Street

Rockwall, Tx 75087

SITE PLAN - Subject to field inspection per approved drainage gradients. Retaining walls and a final grade survey may be required, prior to receiving a final inspection.

- ### GENERAL SITE NOTES
1. THE ARCHITECTURAL DRAWINGS GRAPHICALLY INDICATE APPROXIMATE LOCATION OF BUILDINGS, PARKING AND DRIVES ONLY.
 2. BUILDER/CONTRACTOR TO VERIFY THE SITE UTILITIES AND LANDSCAPE REQUIREMENTS TO MEET THE LOCAL ZONING CODES.
 3. BUILDER/CONTRACTOR TO VERIFY VICINITY MAP, LEGAL DESCRIPTION, BUILDING FINISH FLOOR HEIGHTS AND LOCATION OF REQUIRED RETAINING WALLS.
 4. ALL DIMENSIONS INDICATED ON THIS PLAN ARE FOR REFERENCE ONLY. BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONAL CONTROLS, GRADING, DRAINAGE & UTILITY WORK.
 5. PROJECT IS TO BE DEVELOPED AND COMPLETED IN A SINGLE PHASE.
 6. ALL SURFACE MATERIALS SHALL MEET CITY OF ROCKWALL, TEXAS PUBLIC WORKS DEPT MINIMUM STANDARDS.
 7. ALL LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH ALL STANDARDS AND REQUIREMENTS SET FORTH BY THE CITY OF ROCKWALL, TEXAS AND LOCAL AMENDMENTS.
 8. ALL SIGNS, LIGHTINGS, LUMINARIES AND EXTERIOR SPEAKERS SHALL MEET CITY ORDINANCES.
 9. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2009 INTERNATIONAL RESIDENTIAL CODE & OTHER REQUIREMENTS AND ORDINANCES OF THE CITY OF ROCKWALL, TEXAS.
 10. BUILDING ADDRESS SIGNS AND DIRECTIONAL SIGNS SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS.
 11. ALL BUILDINGS ON SITE SHALL MEET ALL SETBACK REQUIREMENTS DEPICTED IN THE LOCAL SUBDIVISION REQUIREMENTS, CODES COVENANTS AND RESTRICTIONS (CCRS).
 12. THE BUILDING HEIGHT SHALL NOT EXCEED THE MAXIMUM HEIGHT DEPICTED IN THE LOCAL SUBDIVISION REQUIREMENTS, CODES COVENANTS AND RESTRICTIONS (CCRS).

SITE DATA / ZONING / CODE INFORMATION

SITE LOCATION	508 ST. MARY STREET	
BUILDING CODE	2009 IRC	
ZONING	SINGLE FAMILY RESIDENTIAL (SF-1) DISTRICT	
ZONING/CODE DESCRIPTION	REQUIRED	PROVIDED
MIN. LOT AREA	7,000 SQ. FT.	7,500 SQ. FT.
MAX. NO. OF SINGLE FAMILY DETACHED DWELLINGS PER LOT	1	1
MIN. FLOOR AREA	1,100 SQ. FT.	4,146 SQ. FT.
MIN. LOT FRONTAGE	60 FT.	60 FT.
MIN. LOT DEPTH	100 FT.	125 FT.
MIN. FRONT YARD SETBACK	20 FT.	20 FT.
MIN. REAR YARD SETBACK	10 FT.	20 FT.
MIN. SIDE YARD SETBACK	6 FT.	6 FT.
MIN. DIST. BETWEEN SEPARATE BLDGS. ON THE SAME LOT	10 FT.	N/A
MIN. LENGTH OF DRIVEWAY PAVEMENT FROM THE PUBLIC RD. TO	20 FT.	70 FT.
LOT COVERAGE	45% MAX. (3,375 SQ. FT.)	40.3% (3,025 SQ. FT.)
HEIGHT	32 FEET MAX.	23'-3"
MIN. NO. OF PAVED OFF-STREET PARKING SPACES (DOES NOT INCLUDE AN ENCLOSED GARAGE)	2	2

LEGAL DESCRIPTION

BEING LOT 1, BLOCK 1, ST. MARYS ESTATES, AN ADDITION IN THE CITY OF ROCKWALL, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN SLIDE A, PAGE 241, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

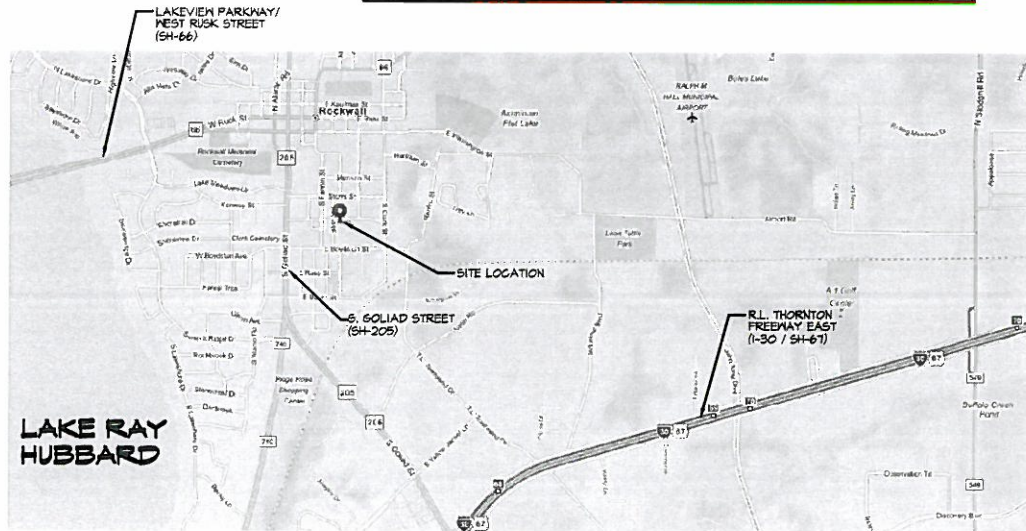
Minimum 12-gauge wire/ 20 amp breakers

16'

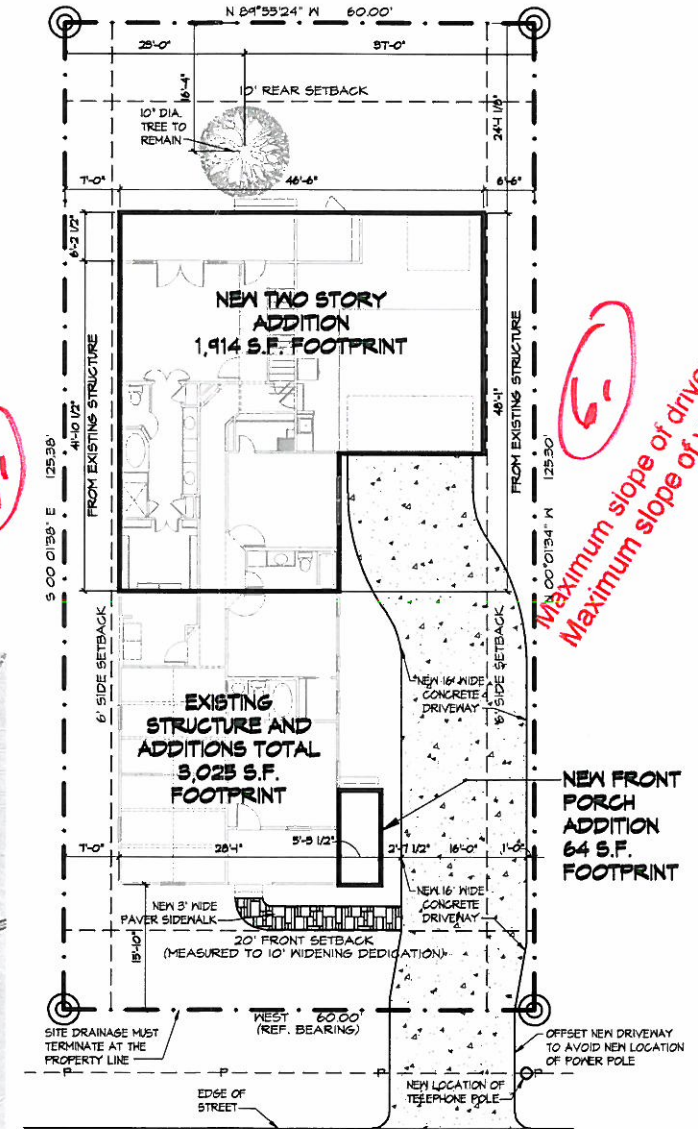
All Building set backs are Measured from Property Line

6'

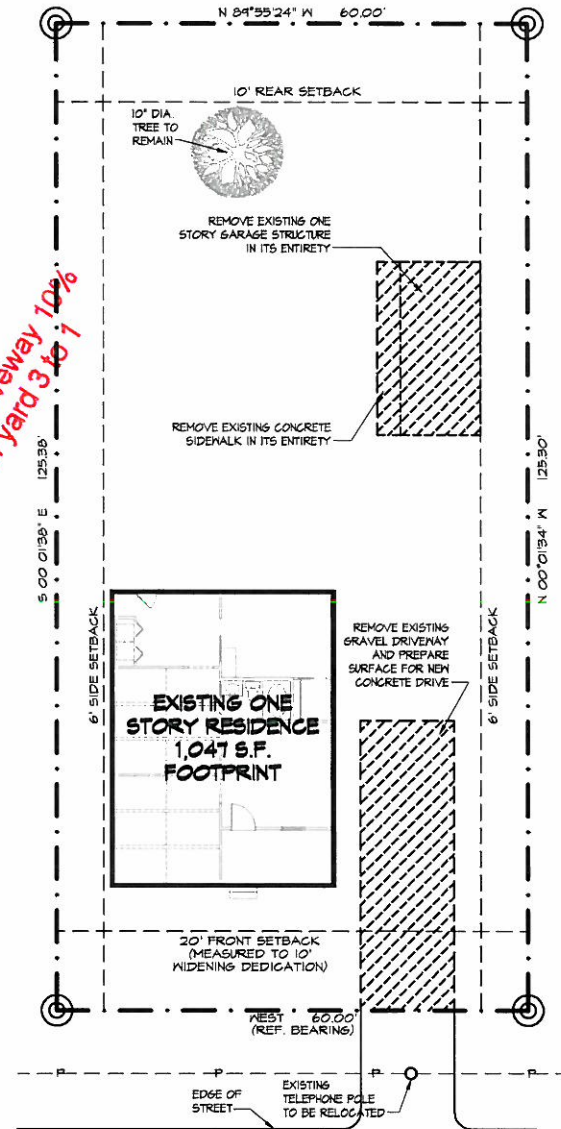
Maximum slope of driveway 10%
Maximum slope of yard 3 to 1



03) VICINITY MAP
NOT TO SCALE



02) NEW SITE PLAN
SCALE: 1" = 20' (11X17 SHEET)
SCALE: 1" = 10' (22X34 SHEET)



01) EXISTING SITE/DEMOLITION PLAN
SCALE: 1" = 20' (11X17 SHEET)
SCALE: 1" = 10' (22X34 SHEET)

CONSTRUCTION CODES - 2009 International Residential Code & 2008 Electrical Code and local amendments

For inspections go to:
www.rockwall.com/buildinginspections/inspectionreg.asp

ST. MARYS ESTATES, Lot 1, Block 1: 508 St. Mary Street, Rockwall, TX 75087

William Michael & Associates, P.L.L.C.
ARCHITECTURE PLANNING

1440 BOLLING ACRE DRIVE
ARGYLE, TEXAS 75226 PH: 214.477.8053
william@wmhaynes.com www.wmhaynes.com

REGISTERED ARCHITECT
WILLIAM M. HAYNES
18483

CONSTRUCTION BID SET: OCTOBER 13, 2015
PERMIT SET ISSUE: JANUARY 11, 2016
CONSTRUCTION SET ISSUE: JANUARY 11, 2016
REVISIONS:

15-0727

A1.0
EXISTING/DEMOLITION
NEW SITE PLANS

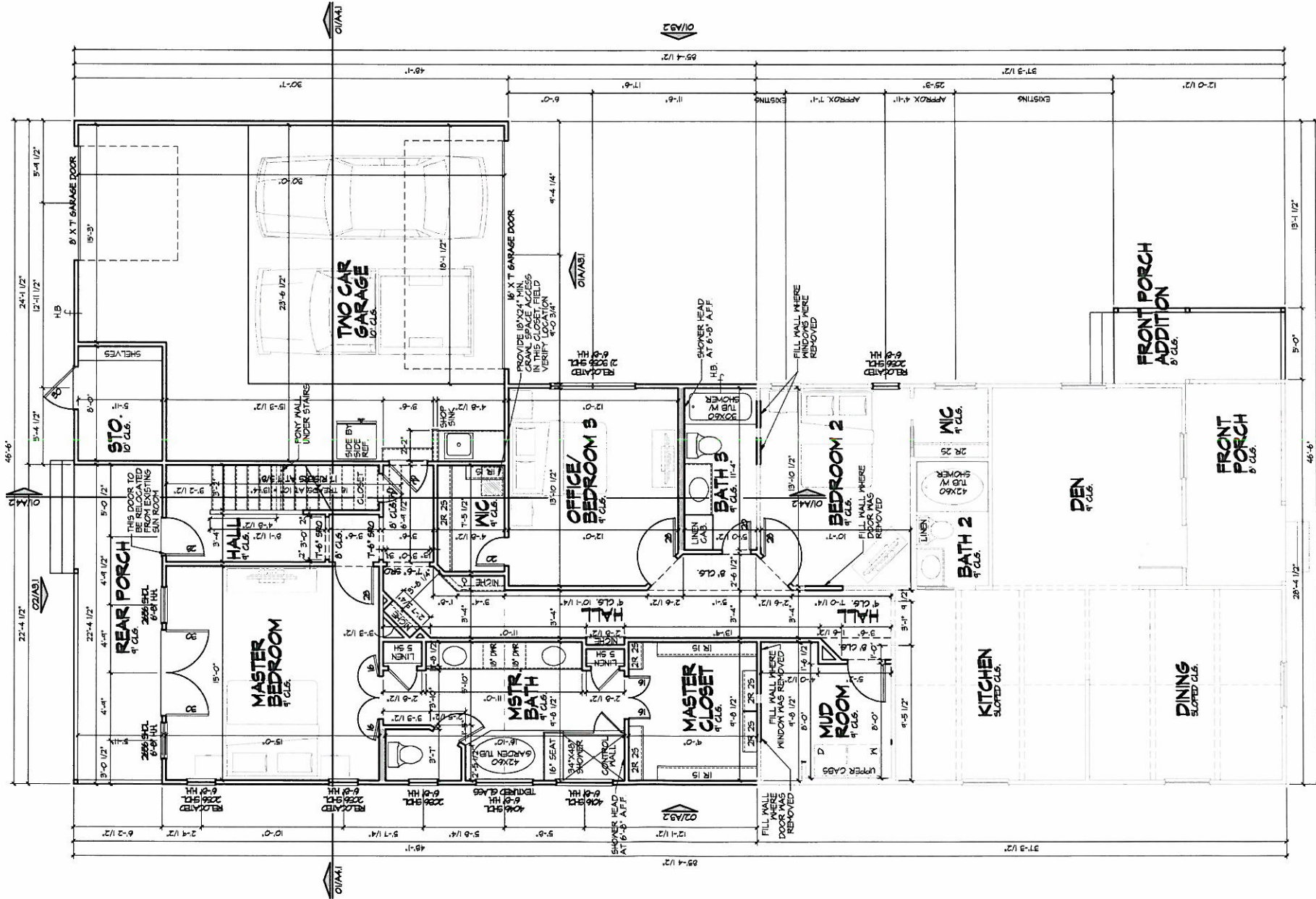
Keep on Job Site At All Times
For Inspector's Use

for Andy and Catherine Laurence

NEW ADDITION at ST. MARY STREET

FLOOR PLAN NOTES

- FOR DIMENSIONING PURPOSES; TYPICAL STUD WALLS ARE ASSUMED TO BE 3/4" THICK, AND PLUMBING WALLS 5/8" THICK AT CERTAIN LOCATIONS.
- ALL DIMENSIONS ARE TO FACE OF FRAMING IN MOST CASES UNO.
- TYPICAL ROOF EAVE OVERHANGS IS 1'-0" (12") FROM FACE OF STUD, COLUMN OR BEAM EXCEPT AT NOTED LOCATIONS.
- TYPICAL ROOF RAKE OVERHANGS IS 12" FROM FACE OF STUD, COLUMN OR BEAM EXCEPT AT NOTED LOCATIONS.
- INTERIOR DOORS SHALL ALLOW MIN. 3/4" AIRFLOW FOR RETURN AIR AT THE BOTTOM.
- ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL GLAZING STANDARDS.
- LINE UP VENTS WITH WINDOWS AT LOCATIONS WHERE POSSIBLE.
- PROVIDE WATER LINE STUB AND CUT OFF FOR ICE MAKERS FOR ALL REFRIGERATORS.
- ALL WALLS AND FLOOR/CEILING ASSEMBLIES ARE OF NON RATED FIRE RESISTIVE CONSTRUCTION. ALL HOLES, SAWS, CRACKS AND OPENINGS MUST BE SEALED TIGHT AS PER CODE.
- LINE UP LIGHT FIXTURES AND COORDINATE WITH VENTS WHERE POSSIBLE.
- VERIFY ALL TUB WALL LENGTHS WITH ACTUAL TUB PROVIDED. COORDINATE WITH FRAMER, MANUFACTURER & TYPICAL TUB DETAILS.
- REFER TO ROOF PLANS FOR ATTIC ACCESS LOCATIONS AT TOP FLOOR.
- ENTIRE FIRST FLOOR SHALL HAVE 4'-1 1/8" STUD HEIGHTS TYPICAL.
- SECOND FLOOR SHALL HAVE 8'-1 1/8" STUD HEIGHTS TYPICAL.
- THE DOOR BETWEEN GARAGE AND LIVING SPACE / ATTIC SPACE SHALL BE A MINIMUM 1 3/4" LABEL, 20 MINUTE SELF CLOSING STEEL DOOR.
- ALL DRYERS ARE TO BE VENTED TO THE EXTERIOR.
- TYPICAL ATTIC STAIR IS 25 1/2" X 54 1/2" FULL DOWN STAIR, EXCEPT WITH 10' PLATE ATTIC STAIR IS 25 1/2" X 60" RATED AT A 350 LB. MIN. LOAD; ATTIC ACCESS FROM GARAGE TO BE FIRE-RATED.
- ALL WALLS ARE TO BE 3/4" UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO ROUGH FRAMING MEMBERS.
- ALL ANGLED WALLS ARE SET AT 45 DEGREES UNLESS NOTED OTHERWISE.
- INTERIOR AND EXTERIOR PLATE HEIGHTS ARE TO BE AS NOTED ON ELEVATION AND SECTION SHEETS.
- BOTTOM PLATE AT FIRST FLOOR WALLS TO BE PRESSURE TREATED.
- ALL BALUSTERS AND RAIL SPACES SHALL BE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. TYPICAL AT ALL HANDRAILS AND GUARDRAILS.
- DOORS:
 - FIRST FLOOR - ALWAYS 6'-8"
 - SECOND FLOOR - ALWAYS 6'-8"
 - FRONT DOOR - ALWAYS 6'-8" HEIGHT
 - DOOR FROM GARAGE TO HOUSE - ALWAYS 6'-8"
- SHEET ROCK OPENINGS:
 - 9" PLATE; 8" SRO UNO.
 - 8" PLATE; 7'-6" SRO UNO.
- ALL WALLS SHALL BE 2X4 SFF STUD-GRADE @ 16" O.C. AND SHAPED WALLS SHALL BE 2X6 SFF STUD-GRADE @ 16" O.C. UNO IN THE FRAMING AND WALL BRACING PLANS HEREIN.
- GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD. OTHERWISE THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD. THE WALLS OF ALL HABITABLE ROOMS ABOVE GARAGES THAT ARE EXPOSED TO THE ATTIC AREA (WHEN ATTIC AREA IS ACCESSIBLE FROM THE GARAGE) SHALL BE SEPARATED FROM THE ATTIC AREA BY 1/2" GYPSUM BOARD. UNDERSIDE OF ALL STAIRS TO RECEIVE 5/8" TYPE 'X' GYPSUM BOARD.
- STAIRS - RISE - 7 3/4" MAX.
TREADS - 10" MINIMUM PLUS 1" NOSING
- HANDRAILS SHALL BE TYPE II AND HAVE A FINISHED RAILING HEIGHT OF 34" 9" ABOVE NOSING. NAILERS SHALL BE INSTALLED FOR ALL HANDRAILS.
- GUARDRAILS SHALL HAVE FINISHED RAILING HEIGHTS OF 37" ABOVE SUBFLOOR. NAILERS SHALL BE INSTALLED FOR ALL GUARDRAILS.



EXISTING HVAC	448 SF
NEW CONDITIONED ATTIC STORAGE	1,020 SF
EXISTING ATTIC STORAGE	1,020 SF
TOTAL HVAC	2,488 SF
EXISTING PORCH	603 SF
NEW GARAGE STORAGE	1,741 SF
GRAND TOTAL	4,832 SF

SCALE: 1/4" = 1'-0" (11X7 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)

01) NEW FIRST FLOOR PLAN

Minimum 12 gauge wire/ 20 amp breakers

ST. MARY'S ESTATES, Lot 1, Block 1: 508 St. Mary Street, Rockwall, TX 75087

NEW ADDITION
at
ST. MARY STREET
for
Andy and Catherine Laurence

William Michael & Associates, P.L.L.C.
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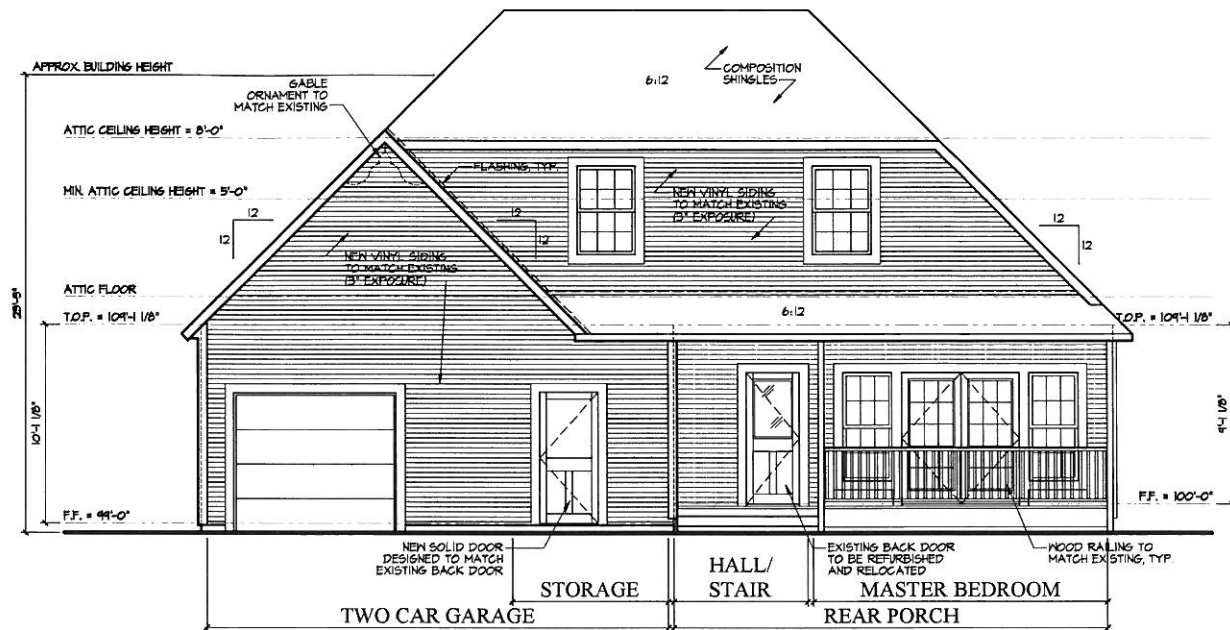
DESIGN DEVELOPMENT SET
SUBMITTED ON AUGUST 27, 2015

CONSTRUCTION BID SET
OCTOBER 13, 2015
PERMIT SET ISSUE
JANUARY 11, 2016
CONSTRUCTION SET ISSUE
JANUARY 11, 2016
REVISIONS

15-0727
A2.2
FIRST FLOOR PLAN

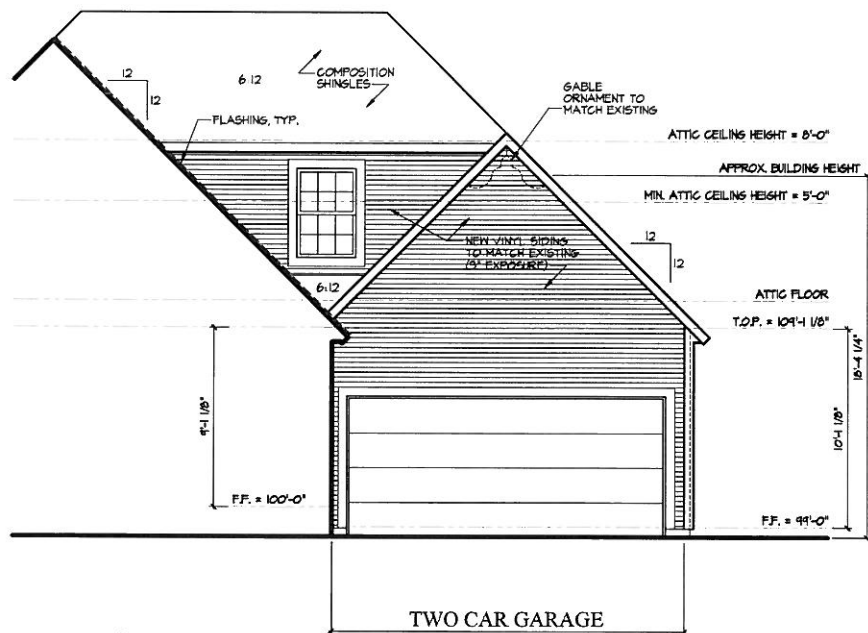
ELEVATION NOTES

1. NUMBERS AT WINDOW HEADS ARE HEAD HEIGHTS FROM RELATIVE 100'-0" DATUM AND FROM TOP OF DECK AT 2ND FLOOR (WHEN APPLICABLE)
2. ALL SOFFITS ARE VINYL SOFFIT TO MATCH EXISTING.
3. ALL CANTILEVER AREAS MUST BE PROPERLY FINISHED AND SEALED ON UNDERSIDE.
4. SHUTTERS TO BE PANEL DESIGN TO MATCH EXISTING
5. FLASHINGS TO BE INSTALLED AS REQUIRED
(- - -) INDICATES FLASHING
6. EXTERIOR WALL MATERIAL AS NOTED ON ELEVATIONS.
7. WINDOW AND DOOR SIZES AS NOTED ON FLOOR PLANS AND NOTES.
8. RIDGE VENTS PLACED ON ALL ROOF RIDGES NO MORE THAN 4'-0" FROM END OF RIDGE AND NO LESS THAN 2'-0".



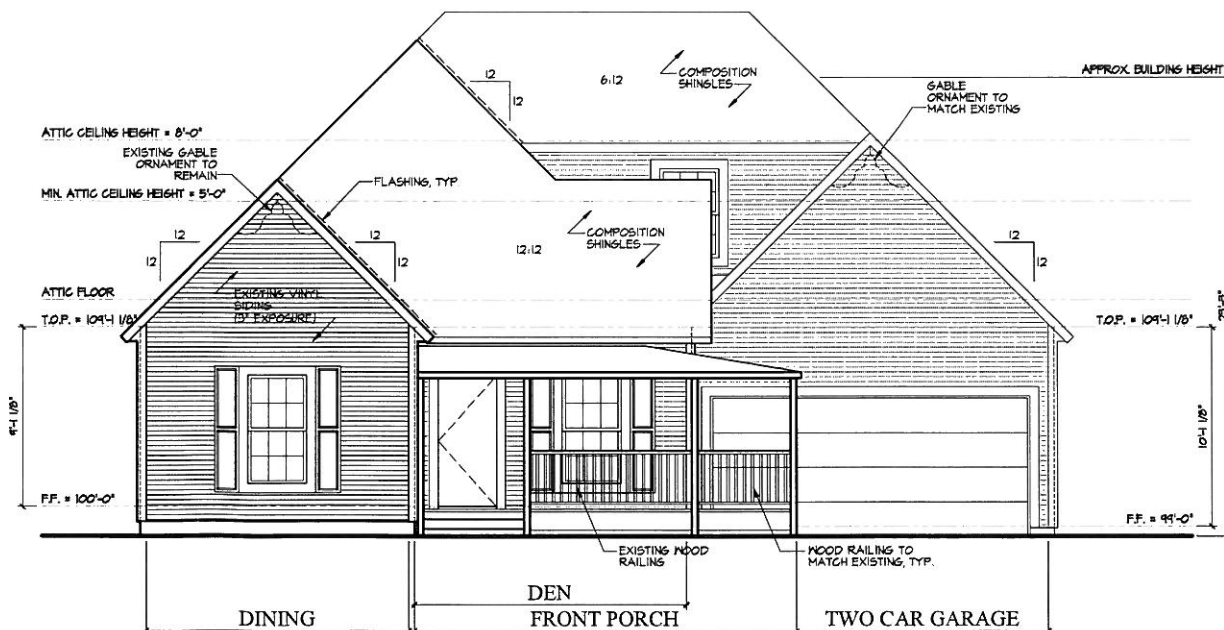
02) REAR ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)



01A) PARTIAL FRONT ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)



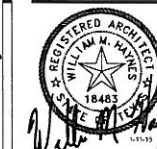
01) FRONT ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)

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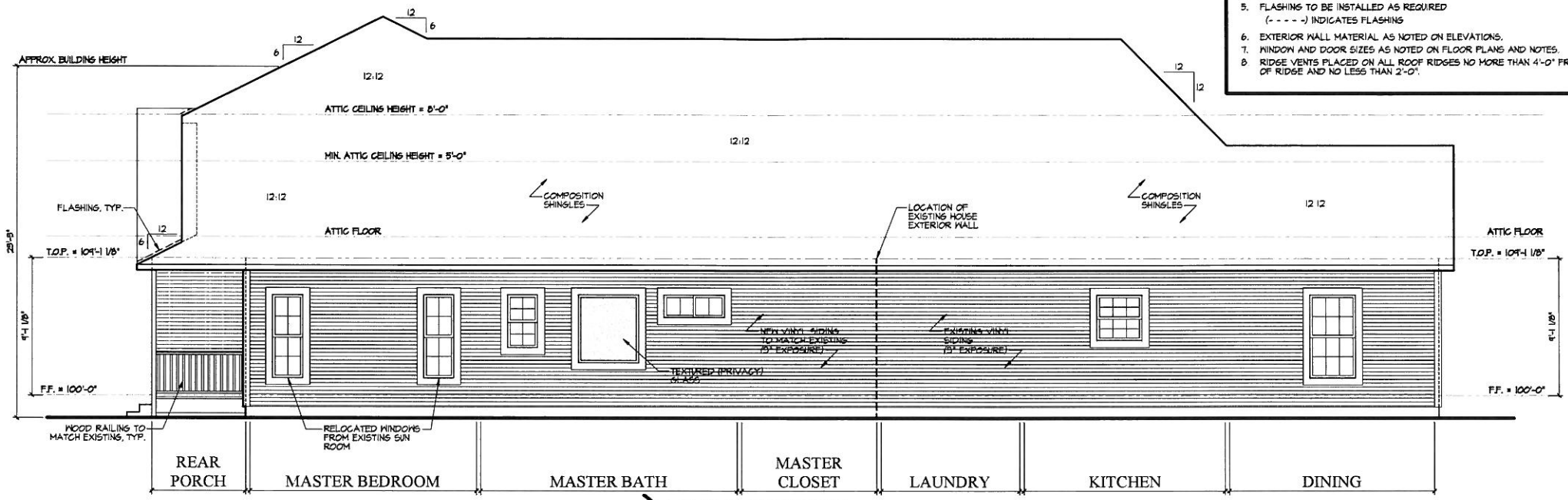
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A3.1
EXTERIOR
ELEVATIONS

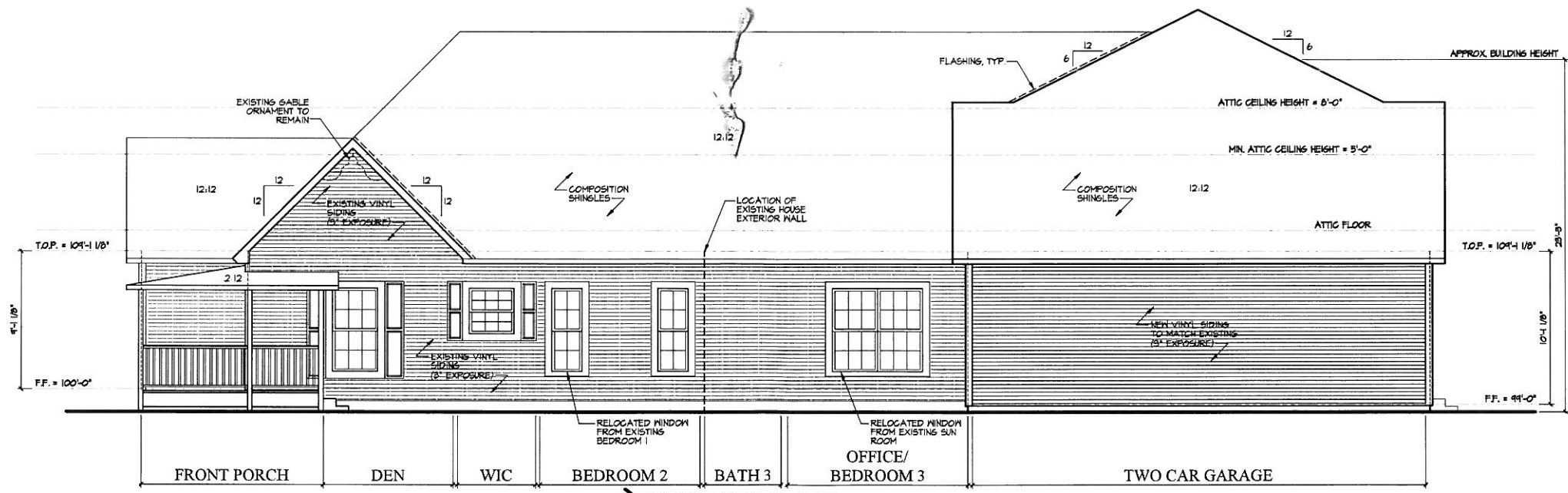
NEW ADDITION
at
ST. MARY STREET
for
Andy and Catherine Laurence



02) LEFT ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)

- ELEVATION NOTES**
1. NUMBERS AT WINDOWS HEADS ARE HEAD HEIGHTS FROM RELATIVE 100'-0" DATUM AND FROM TOP OF DECK AT 2ND FLOOR (WHEN APPLICABLE)
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(- - - -) INDICATES FLASHING
 6. EXTERIOR WALL MATERIAL AS NOTED ON ELEVATIONS.
 7. WINDOW AND DOOR SIZES AS NOTED ON FLOOR PLANS AND NOTES.
 8. RIDGE VENTS PLACED ON ALL ROOF RIDGES NO MORE THAN 4'-0" FROM END OF RIDGE AND NO LESS THAN 2'-0".



01) RIGHT ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)

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