

SP2015-015 - H&G SUPPLY CO  
 SITE PLAN - LOCATION MAP =

PD-32

SUNSET RIDGE

HARBOR HEIGHTS

PINNACLE

C



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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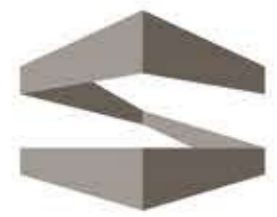


**Harbor Heights Development  
Parking Requirements  
May 26, 2015**

Shared Parking Requirement	Trend Tower	HHRR Pads 1-5	HG SPLY CO	Tower 2	Total SF	Parking
Office at 1 Per 300	101562			90000	191562	638.54
Retail at 1 Per 250		26000			26000	104.00
Restaurant at 1 Per 100		10000	6800		16800	168.00
						<b>910.54</b>
						Required with Straight Calculation
<b>Provided</b>	<b>441</b>	<b>142</b>	<b>54</b>	<b>207</b>	<b>844</b>	

Time of Day	Office	Retail	Restaurant	Total Required	Provided	Diff
6:00 AM - Noon	638.54	100.88	84	<b>823.42</b>	<b>844</b>	<b>20.58</b>
12:00 Noon - 1:00 PM	574.69	104	117.6	<b>796.29</b>		
1:00 PM to 4:00 PM	619.38	100.88	100.8	<b>821.06</b>		
4:00 PM to 6:00 PM	300.11	85.28	151.2	<b>536.59</b>		
6:00 PM to 8:00 PM	44.70	92.56	168	<b>305.26</b>		
8:00 PM to 12:00 Midnight	19.16	63.44	168	<b>250.60</b>		





**STROHMEYER**  
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

SCHEMATIC DESIGN

**NOT FOR  
CONSTRUCTION**

**ROCKWALL COUNTY**

**8020 RESTAURANTS LLC  
C/O HG SPLY CO.  
ROCKWALL, TX  
2008 GREENVILLE AVE  
DALLAS, TX 75206**

**HG SPLY CO  
SUNSET RIDGE  
ROCKWALL, TEXAS**

Project Number: 051502  
Drawing Date: 06/11/2015

Drawn:

Checked:

Scale:




ACAD File: HG SPLY-061115-ELEV-201.dwg  
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Revisions:


Sheet Title:  
**ELEVATIONS**

**A 201**

**MATERIAL SCHEDULE**

- WOOD LOUVERS - 
- METAL PANEL - 
- METAL (PAINT) - 

WHITE SUBWAY TILE 

GRAND BLANC  
BURNISHED BLOCK  
UNICORN 



**3 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE : 2,066.5 SF  
 TOTAL BURNISHED BLOCK : 521 SF = 25%  
 TOTAL SUBWAY TILE: 761 SF = 37%  
 TOTAL WOOD LOUVERS: 454 SF = 22%  
 TOTAL METAL PANEL: 330.5 SF = 16%



**4 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE : 1912 SF  
 TOTAL BURNISHED BLOCK: 746.5 SF = 39%  
 TOTAL SUBWAY TILE: 562.5 SF = 29.5%  
 TOTAL WOOD LOUVERS: 441 SF = 23%  
 TOTAL METAL PANEL: 162 SF = .85%



**1 WEST ELEVATION - SUNSET RIDGE**  
SCALE: 1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE : 1,676 SF  
 TOTAL BURNISHED BLOCK: 440.5 SF = 26%  
 TOTAL SUBWAY TILE: 584 SF = 35%  
 TOTAL WOOD LOUVERS: 473.5 SF = 28%  
 TOTAL METAL PANEL: 178 SF = 11%

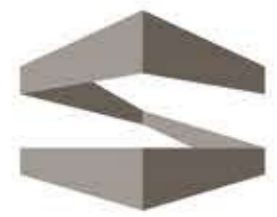


**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE : 2,074.5 SF  
 TOTAL BURNISHED BLOCK: 626 SF = 30%  
 TOTAL SUBWAY TILE: 685 SF = 33%  
 TOTAL WOOD LOUVERS: 559.5 SF = 27%  
 TOTAL METAL PANEL: 204 SF = 10%

Jun 12, 2015 - 2:31am User: jimmystrohmeier /Users/jimmystrohmeier/Documents/HG\_SPLY-061115-ELEV-201.dwg





**STROHMEYER**  
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Consultants:

CIVIL:

STRUCTURAL:

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FOOD SERVICE:

LANDSCAPING:

SCHEMATIC DESIGN

**NOT FOR  
CONSTRUCTION**

**ROCKWALL COUNTY**

8020 RESTAURANTS LLC  
C/O HG SPLY CO.  
ROCKWALL, TX  
2008 GREENVILLE AVE  
DALLAS, TX 75206

**HG SPLY CO**

SUNSET RIDGE  
ROCKWALL, TEXAS

Project Number: 051502

Drawing Date: 06/11/2015

Drawn:

Checked:

Scale:

ACAD File: HG SPLY-061115-ELEV-202.dwg

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Revisions:


Sheet Title:  
**ELEVATIONS**

**A 202**



**VIEW FROM INTERSTATE 30**



**VIEW FROM CORNER OF  
SUNSET RIDGE & PRIVATE DRIVE**



# Masonry Quick Reference Pocket Guide

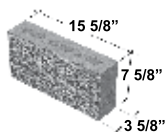


**ANCHOR**<sup>®</sup>  
BUILD SOMETHING BEAUTIFUL

## Trattino™ finish

A smooth and unfilled textured surface provides a random appearance that emulates the look of natural travertine.

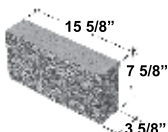
- Ideal for exterior or interior applications
- Available in veneer and structural block sizes



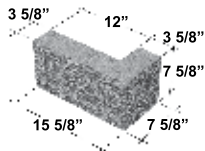
**402**  
Double End



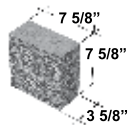
**405**  
Half Long



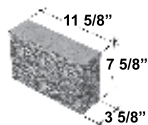
**432**  
Face & End



**433**  
L Corner & End



**435**  
Half Long Face & End



**436**  
Three-Quarter Long  
Face & End



## Trattino™ finish



Winter White (P)



Limestone (P)



Toffee (C)



Wheat (C)



Parchment (P)



Sahara (C)



Kasota Pink (P)



Antique White (C)



Kasota (P)



October Yellow (C)

## Burnished finish



Winter White (P)



Parchment (P)



Antique White (C)



Sahara (C)



Limestone (P)



October Yellow (C)



Honey Mustard (C)



Toffee (C)

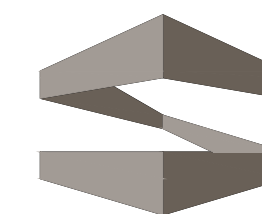


Mojave (C)



Gold Rush (P)





**STROHMEYER**  
ARCHITECTS INC.

Consultants:

**ISSUED FOR  
DEVELOPMENT REVIEW**

**HG SPLY CO**

**SUNSET RIDGE BLVD.  
ROCKWALL, TX 75032**

Project Number: -  
Drawing Date: 6/11/2015  
Drawn:  
Checked:  
Scale: AS SHOWN  
ACAD File:  
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Revisions:


Sheet Title:  
**LANDSCAPING  
PLAN**

**L-101**

CANOPY & ORNAMENTAL TREE SCHEDULE:

QUANTITY	CALLOUT	COMMON NAME	BOTANICAL NAME	SIZE / CONDITION
<b>CANOPY EVERGREEN TREES</b>				
1	TE1	LIVE OAK	QUERCUS VIRGINIANA	100-GAL., 4.0"-4.5" CAL., 14'-16' HT., CLEAR TRUNK 8"
15	TE4	ITALIAN CYPRESS	CUPRESSUS SEMPERVIRENS	65-GAL., 3.0"-3.5" CAL., 14'-16' HT., FULL ROUNDED FORM MATCHED HEIGHT
<b>CANOPY DECIDUOUS TREES</b>				
-	TD1	BALD CYPRESS	TAXODIUM DISTICHUM	100-GAL., 4.0"-4.5" CAL., 16'-18' HT., CLEAR TRUNK 6"
-	TD2	RED OAK	QUERCUS SHUMARDII	100-GAL., 4.0"-4.5" CAL., 14'-16' HT., CLEAR TRUNK 8"
-	TD3	CHINESE PISTACHE	PISTACHIA CHINENSIS	100-GAL., 4.0"-4.5" CAL., 12'-14' HT., CLEAR TRUNK 8"
<b>ORNAMENTAL DECIDUOUS TREES</b>				
2	TO1	REDBUD	CERCIS CANADENSIS	65-GAL., 3" CAL., 8'-10' HT., TREE FORM
3	TO2	MEXICAN PLUM	PRUNUS MEXICANA	65-GAL., 3" CAL., 8'-10' HT., TREE FORM
2	TO3	CRAPMYRTLE	LAGERSTROEMIA INDICA	65-GAL., 3" CAL., 8'-10' HT., TREE FORM
-	TO4	YAUPON HOLLY	ILEX VOMITORIA	65-GAL., 3" CAL., 8'-10' HT., TREE FORM

LANDSCAPING GENERAL NOTES:

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
3. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFORM DEVELOPMENT CODE.

LANDSCAPING GENERAL REQUIREMENTS AND SCHEDULE

LAND DEVELOPMENT DISTRICT: PD-32

STREETSCAPE LANDSCAPING REQUIREMENTS & SCHEDULE:

1. CONTRACTOR SHALL PROVIDE EITHER LANDSCAPING OPTION A OR B PER PD-32, EXHIBIT C-4, IN TREE LEAVE-OUTS TO MATCH EXISTING ALONG SUMMER LEE DRIVE. OPTION A SHALL BE A MIX OF SHRUB PERENNIAL, ORNAMENTAL GRASS, AND GROUND COVER PLANTING. PLANT MATERIALS SHALL PROVIDE A MIX OF HEIGHT, COLOR, TEXTURE AND EVERGREEN STRUCTURE. OPTION B SHALL BE MEXICAN BEACH STONE PEBBLES.
2. LANDSCAPING LEAVE-OUTS SHALL HAVE TREE SUB-DRAINAGE TIED TO THE STORM DRAIN SYSTEM.
3. TREES IN LANDSCAPING LEAVE-OUTS SHALL BE 4-INCH CALIPER, 100 GALLON. THE VARIETY OF TREES SHALL MATCH EXISTING PLANTINGS ALONG SUMMER LEE DRIVE.

SITE LANDSCAPING REQUIREMENTS & SCHEDULE:

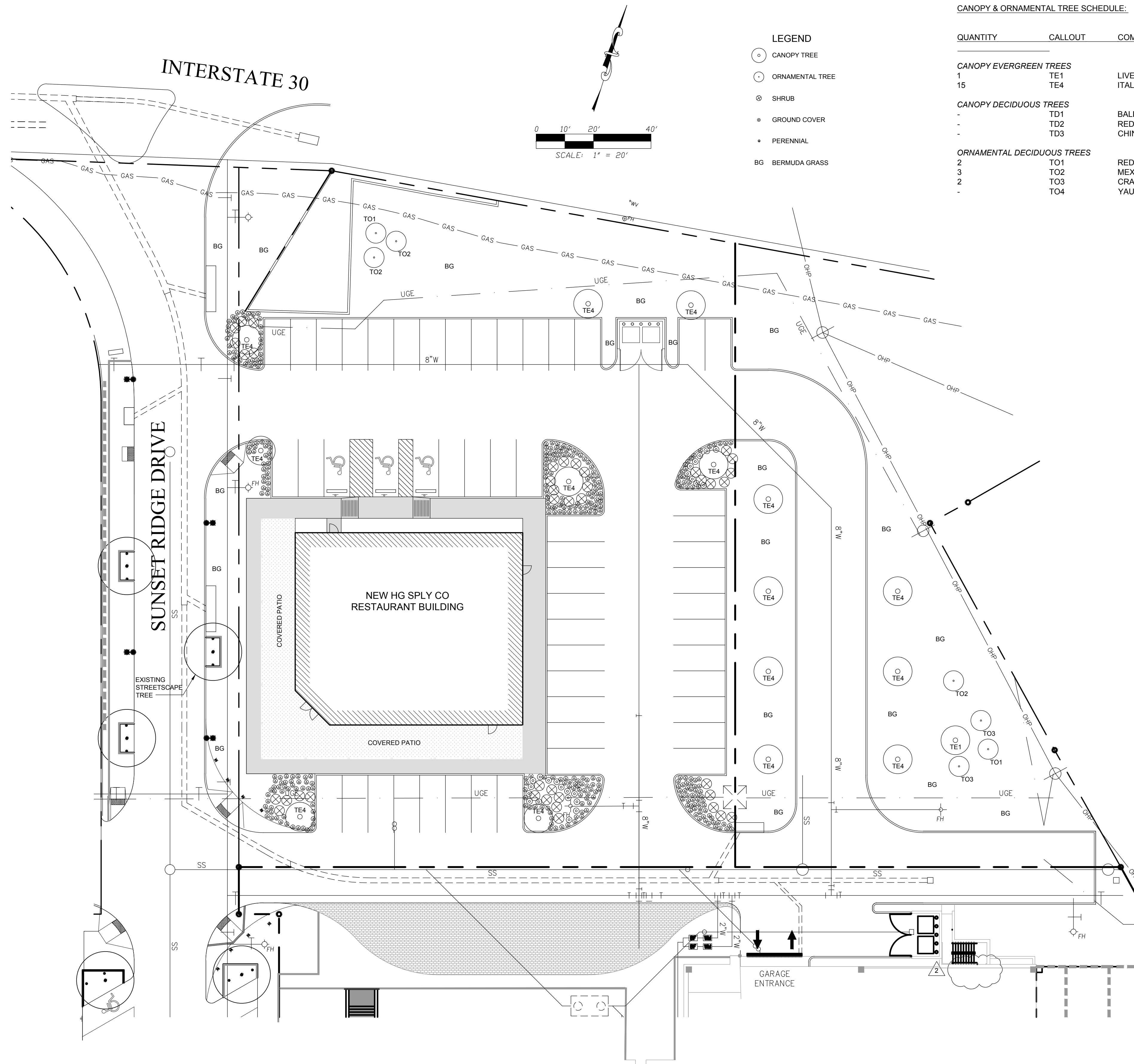
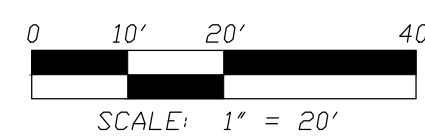
1. TREE VARIETIES SHALL BE A MIX OF ANY OF THE FOLLOWING CANOPY AND ORNAMENTAL TREES IN NATURAL GROUPINGS: LIVE OAK, CEDAR ELM, RED OAK, BURR OAK, CHINQUAPIN OAK, BALD CYPRESS, POND CYPRESS, MEXICAN PLUM, DESERT WILLOW, CHINESE PISTACHIO, YAUPON HOLLY, RED BUD, CRAPE MYRTLE VITEX AND EVE'S NECKLACE.
2. ORNAMENTAL TREES, SHRUBS, PERENNIAL ORNAMENTAL GRASS AND PERENNIALS SHALL BE PROVIDED AT LANDSCAPE ISLANDS AND ADJACENT TO THE BUILDING.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUCHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILIES AND 1 GALLON WHITE LANTANA TRAILING.
7. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.

IMPERVIOUS AREA / LANDSCAPING CALCULATION:

IMPERVIOUS AREA: RESTAURANT LOT: 19,460 S.F.  
 REQUIREMENT: (LS ORD.) IF IMPERVIOUS AREA IS GREATER THAN 20,000 S.F., 1 TREE REQUIRED PER 10 PARKING SPACES.  
 (PD-32 GOVERNS) ONE 3-INCH CALIPER, 65 GALLON CANOPY TREE MUST BE PROVIDED FOR EVERY 8 PARKING SPACES. AT 51 TOTAL PARKING SPACES, 7 CANOPY TREES ARE REQUIRED. ADDITIONALLY CANOPY REQUIRED WITHIN 80' OF PARKING STALLS.  
 7 TREES REQUIRED  
 11 PROVIDED AT RESTAURANT LOT  
 12 PROVIDED AT ADDITIONAL LOT  
 23 TOTAL PROVIDED  
 (COUNT DOES NOT INCLUDING STREETSCAPE TREES)

**LEGEND**

- CANOPY TREE
- ORNAMENTAL TREE
- ⊗ SHRUB
- GROUND COVER
- PERENNIAL
- BG BERMUDA GRASS



**1 - LANDSCAPING PLAN**  
SCALE: 1"= 40'



## Exhibit E-6 (Page 1 of 2) Summit Office Subdistrict

### SUMMIT OFFICE SUBDISTRICT

The primary intent of the Summit Office subdistrict is to capitalize on the superior views of Lake Ray Hubbard by providing mid-rise office buildings. Key characteristics of this subdistricts include good visibility and ease of access from Interstate 30 and Horizon Road. Existing slopes within this subdistrict are in the 8% - 12% range. Significant massing of existing trees are also present within this subdistrict which should be preserved where possible.

#### Building Placement

##### Build-to-line (Distance from R.O.W. line)

Street Type E	25'
Street Type E	10'

##### Setback (Distance from R.O.W. line)

I-30 Frontage Road	50'
Horizon Road	150'
Street Type B	5'

#### Building Form

Street Type E (I-30 connection) block face must have a minimum of 80% of its length defined by a building façade.

Street Type E (Horizon connection) block face must have a minimum of 20% of its length defined by a building façade.

Street Type E (I-30 connection) façade built to BTL	45%	min.
Street Type E (Horizon connection) façade built to BTL	45%	min.

Remaining façade must be no less than 2' and no greater than 12' from the BTL.

Maximum Lot Coverage 60%

#### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

#### Use

##### Ground Floor

(as support only)	Office
(as support only)	Retail
(as support only)	Restaurant

##### Upper Floors

Office

#### Height

	stories / height
Maximum Building Height	8 / 120'
Maximum Mechanical Screen Height	20'

#### Encroachments

##### Location

Street Type E	5'
I-30 Frontage Road	5'
Horizon Road	5'
Street Type B	5'

#### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

#### Parking

##### Surface Parking Setback (Distance from R.O.W. line)

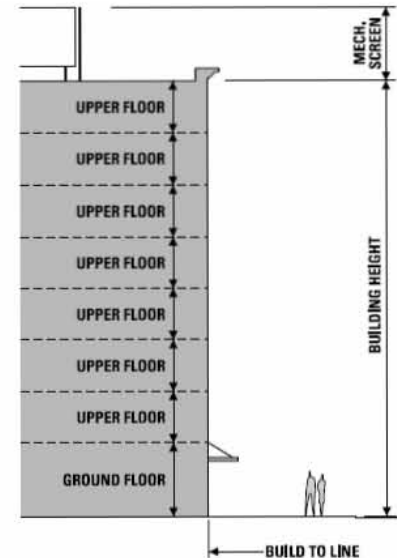
Street Type E	10'
Street Type B	10'
I-30 Frontage Road	20'
Horizon Road	30'

##### Surface Parking Lots

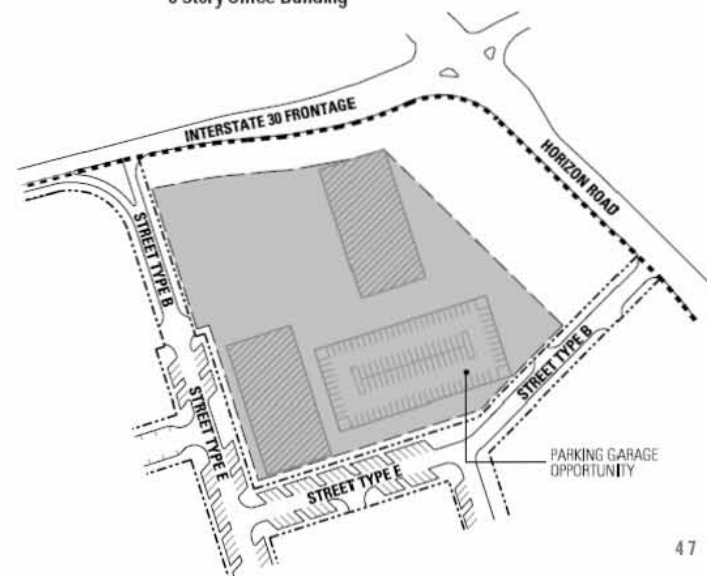
A maximum of 20% of the total parking for this subdistrict may be surface parking.

##### Driveways (Maximum number per block face)

Street Type E, B (Horizon connection)	2
Street Type E, B (I-30 connection)	2
I-30 Frontage Road	0
Horizon Road	0



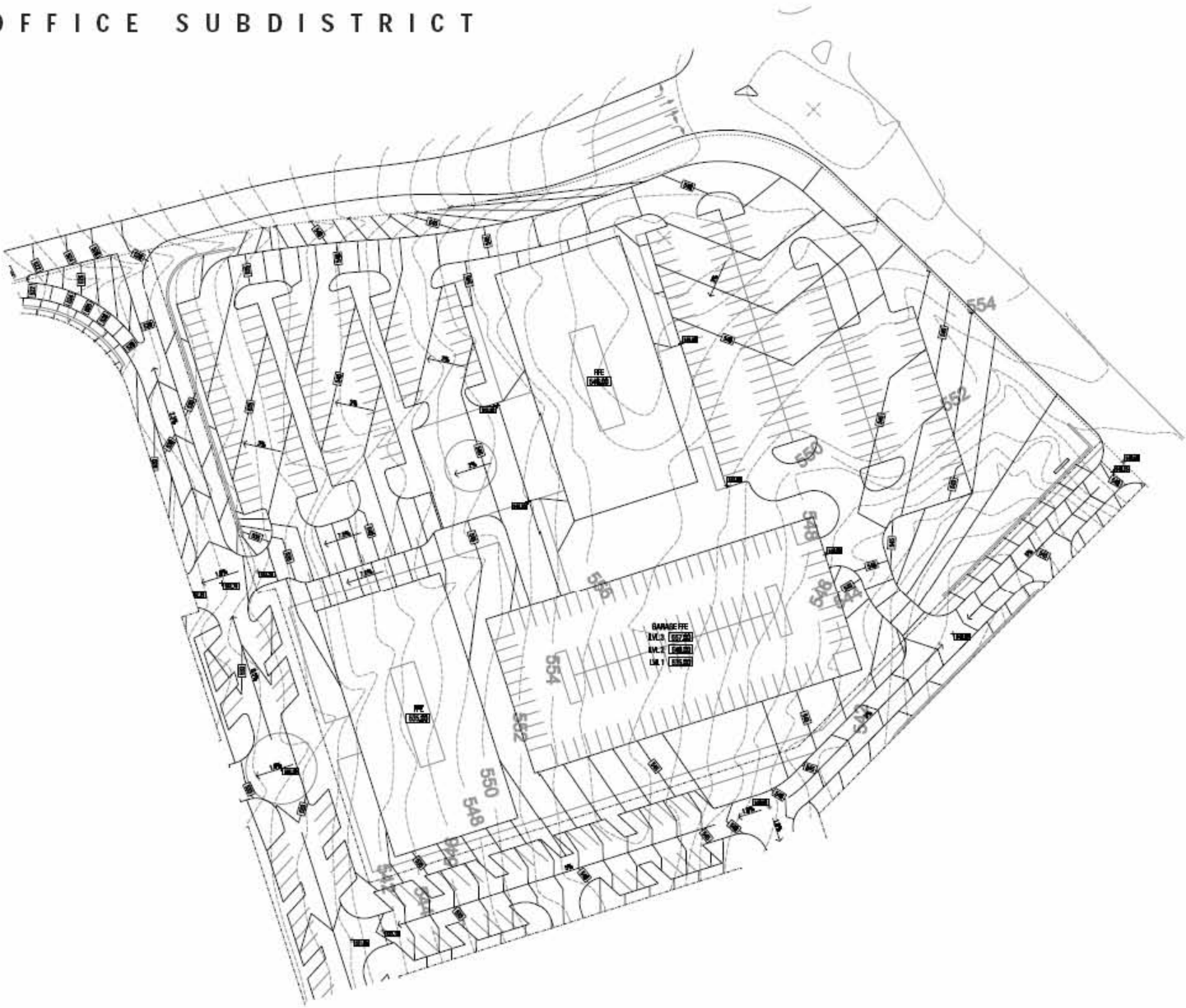
8 Story Office Building





**Exhibit E-6 (Page 2 of 2)**  
**Summit Office Subdistrict**

**SUMMIT OFFICE SUBDISTRICT**  
**GRADING PLAN**





# Exhibit F-1 Parking Lot Requirements

## P A R K I N G L O T S

### Orientation and Design of Parking Lots

1. Parking lot location and design shall minimize conflicts between vehicular and pedestrian circulation. Drive aisles may be oriented either parallel or perpendicular to the face of building. Where drive aisles are parallel to the face of building, provide islands in the parking lots with pedestrian walks linking the parking lot to the main building entry.
2. To the maximum extent practicable, off-street parking spaces must be located within buildings or behind buildings so that buildings can screen parking areas from public streets.
3. Parking lot layout shall minimize impact to the site conditions.
4. Parking lot grades may not exceed 3% slope. All accessible parking spaces and aisles must not exceed 2% slope in any direction. Slope transition driveways linking cells of parking may have transition slopes no greater than 12%.

### Parking Spaces Required by Use

1. Parking spaces must be provided for each parcel according to the following table:

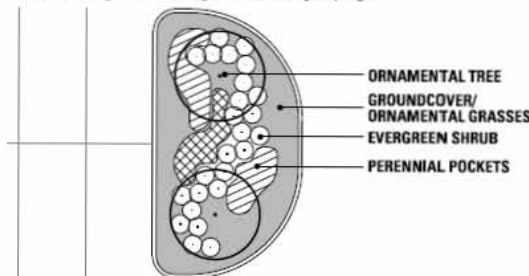
Restaurant	1/100 sf
Retail	1/250 sf
Office	1/300 sf
Medical Office	1/200 sf
Residential	1.5 / unit
Senior Living	1 / unit

2. An additional 500 parking spaces must be provided within the Harbor District to serve as overflow parking for the existing Harbor development. The additional spaces must be in excess of the parking required by this code and may be provided as surface or structured parking. Allocation of the additional 500 parking spaces must be divided between the Harbor Residential, Harbor Link Mixed-Use, and Hillside Mixed-Use subdistricts, with each of these subdistricts providing a minimum of 167 spaces towards the additional 500. Additionally, on street parking will be provided along portions of Summer Lee Dr within the Harbor District.

3. Joint use parking adjustments may be allowed according to Article VI 'Parking and Loading', Section 3 'General Provisions', subsection 3.3, B of the City of Rockwall Unified Development Code (Zoning Ordinance).

### Landscaping Requirements

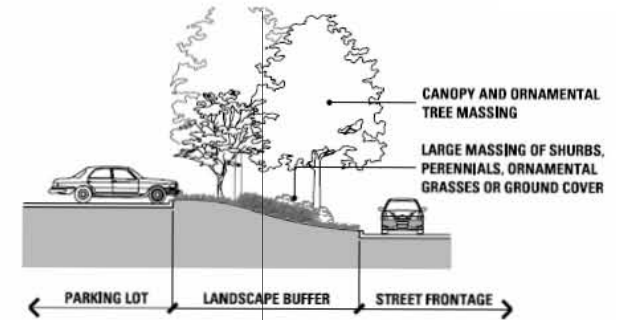
1. One 3" caliper 65 gallon canopy tree must be provided for every 8 surface parking spaces provided. Canopy trees may be provided in 5' x 5' diamond planters or in island planters.
2. Island planters provided on ends of a parking row shall consist of a mix of ornamental trees with shrub, perennial, ornamental grass, or ground cover. The plant palette shall consist of Desert Willow, Soft Leaf Yucca, Red Yucca, Autumn Sage, Texas Sage, Gulf Muhly, Lindheimer Muhly, Weeping Love Grass or similar plant material.
3. Parking areas adjacent to public streets shall have a landscape buffer consisting of a mix of canopy and ornamental trees and shrub, perennial, and/or ornamental grasses arranged in natural groupings.



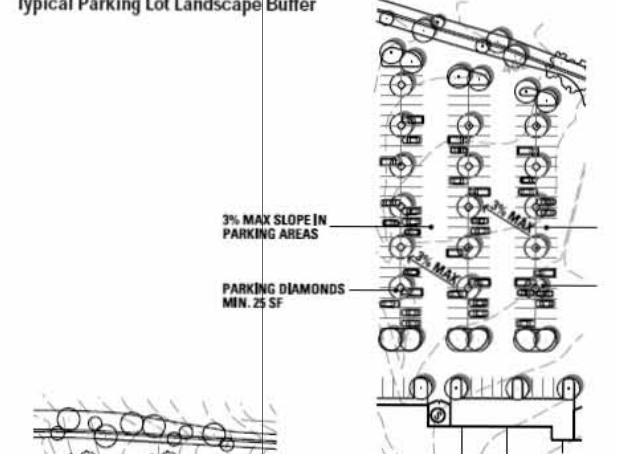
Typical Parking Lot Island Planting Plan



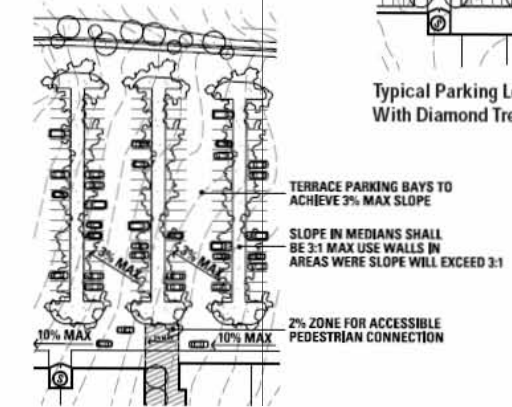
Example of Parking Lot Island Planting



Typical Parking Lot Landscape Buffer



Typical Parking Lot With Diamond Tree Planters



Typical Parking Lot On Steep Slope With Terraced Parking Bays



## Exhibit C-4 (Page 16 of 18) Streetscape Plan

### S T R E E T S C A P E E L E M E N T S

#### PEDESTRIAN PAVING MATERIALS

##### Concrete Paving

All concrete pedestrian walkways shall be an upgraded pedestrian concrete paving with integral color (Scofield Chromix C-24 Charcoal or C-15 Coachella Sand), light sandblast finish, and sawcut control joints.

##### Concrete Pavers

Concrete pavers shall be Pavestone concrete pavers, Holland 98 Parkway Provincial, Antique Terra Cotta color, 6 cm thickness. Pavers shall be placed in a running bond pattern perpendicular to the street curb.

#### VEHICULAR PAVING MATERIALS

##### Concrete Paving

The standard vehicular paving material shall be concrete in accordance with City of Rockwall standards.

##### Concrete Pavers

Upgraded vehicular paving shall be concrete pavers. Concrete pavers shall be Pavestone concrete pavers, Holland 98 Parkway Provincial, Antique Terra Cotta color, 8 cm thickness. Pavers shall be placed in a herringbone bond pattern.



#### STREET FURNISHINGS

##### Bench

Landscape Forms - Scarborough backed horizontal strap bench, powdercoat color RAL #7003 Moss Grey

##### Trash Receptacle

Landscape Forms - Scarborough side opening with vertical straps, powdercoat color RAL #7003 Moss Grey



##### Bike Rack

Forms + Surfaces - Trio Bike Rack, powdercoat color RAL #7003 Moss Grey



##### Bollard

Hess - Paris 1100 Type 'A' fixed bollard, powdercoat color RAL #7003 Moss Grey



##### Seatwall

Cast-in-place concrete seatwall with architectural finish





## Exhibit C-4 (Page 18 of 18) Streetscape Plan

### S T R E E T S C A P E   E L E M E N T S

#### LANDSCAPE

##### Tree leave-outs

Paving leave-outs for street trees shall be 5' x 10' adjacent to the back of the street curb. All street trees in tree leave-outs or in head-in parking islands, shall have tree subdrainage tied to the storm drain system. In addition to the street tree, all leave outs shall contain one of the following:

Option A: A mix of shrub, perennial, ornamental grass, and groundcover planting. Plant materials shall provide a mix of height, color, texture, and evergreen structure.

Option B: Mexican Beach Stone pebbles.

A consistent treatment must be provided for a continuous block length.



Tree Leave-out Option A



Tree Leave-out Option B

##### Decorative Pots

Use decorative pots to accent the streetscape environment. Decorative pots must be compatible with the surrounding architectural styles. Decorative pots must be an appropriate pedestrian scale. All decorative pots shall be irrigated and have drainage tied to the storm drain system.

Recommended decorative pots:

Stonewear Zena series, SB 32 finish

Stonewear Grecian series, SB 32 finish

Rectangular metal planters



##### Grading

The maximum cross slope on all pedestrian walkways shall be 2%. The maximum longitudinal slope on all pedestrian walkways shall be 5%, except where the longitudinal slope of the street exceeds 5%.



## 6 ARCHITECTURAL GUIDELINES

### ARCHITECTURAL STYLE : TRANSITIONAL

#### USE TYPE: RESIDENTIAL, RETAIL, OR OFFICE

The Transitional Style is a tailored adaptation of traditional architecture. In this style traditional forms and styles may be created in a more contemporary perspective. Forms follow the traditional style but the detailing is simplified or 'streamlined' to follow a more contemporary style. Traditional and/or alternative materials may be used but quality of materials shall be consistent with the overall development and enhance the overall experience.

#### BUILDING MASSING

##### Overall Massing

Building facades 3 to 5 stories in height shall have tripartite organization (base, middle & top) or bipartite organization (base & top) on 75% of building elevation length. Adjacent massing shall not align tripartite organization by slightly offsetting or changing 'base/belt' course. (Example: Tower massing or secondary massing may be a uniform material without tripartite organization.)

##### Primary Façade Massing

Maximum length for primary façade lengths shall be in the range of 90 to 130 feet. Adjacent facades shall have a minimum offset in the range of 1 to 3 feet on lower retail level and 2 to 6 feet for other uses. A minimum difference of 10-50% in length must be maintained to any adjacent facade. Façade offsets may be up to 10 feet in depth on upper floors creating a terrace level directly above where retail occurs below.

##### Secondary Façade Massing

Lengths for all other façade lengths shall be in the range of 40 to 90 feet. Adjacent facades shall have a minimum offset in the range of 1 to 3 feet on lower retail level and 2 to 6 feet for other uses. A minimum difference of 10-50% in length must be maintained to any adjacent facade. Façade offsets may be up to 10 feet in depth on upper floors creating a terrace level directly above where retail occurs below.

##### Tower Massing

Tower widths shall be within a range of 15 to 40 feet and shall make up a minimum of 15% of façades over 250 in length. Towers may enclose interior space or open air balcony space.

#### BUILDING WALL MATERIALS

##### Primary Materials(55% of façade or greater)

Standard masonry units or non standard sizes shall be used as a veneer to simulate traditional load bearing application. Native natural stone masonry may also be used. Equivalent synthetic stone (example: Arriscraft) may be used as approved by the ARB and so long as special shapes are used to turn corners so that edge conditions are not exposed.

##### Secondary Materials (40% of façade or greater)

Plaster shall be used in traditional three coat application with integral color. Architectural metal panels shall be allowed up to 20% of secondary material and shall be of non-corrugated and non ribbed panels.

##### Accent Materials (5% of façade or greater)

Precast stone may be used in different, but not limited to, applications such as trim, sill, coping and headers.

##### Other Materials

Natural solid stock wood may be used as, but not limited to, column and beam applications, brackets, rafter tails and shading devices.

Fiber reinforced cement products may be used in lieu of natural wood or stone for, but not limited to, brackets, rafter tails, columns or beam details.

Steel may be used as, but not limited to, column and beam applications, brackets, headers and shading devices.

EIFS – Exterior insulated finish system shall not be permitted in any application.

#### BUILDING MATERIAL COLORS

##### Primary Material Colors

Masonry and natural stone colors (or synthetic stone) shall be selected within earth tone ranges and shall complement each other.

##### Secondary Material Colors

Plaster integral color shall be non-white within earth tone ranges. Multiple plaster colors shall be used within building elevations over 250 feet in length. Color changes shall occur at inside corners of distinct building masses. Architectural metal panels shall be prefinished.





## 6 ARCHITECTURAL GUIDELINES

### ARCHITECTURAL STYLE : TRANSITIONAL

#### BUILDING MATERIAL COLORS, CONTINUED

##### Accent Material Colors

Precast stone shall be of light neutral colors.

##### Other Material Colors

Natural solid stock wood shall be stained or oiled and protected against discoloration.

Fiber reinforced cement products shall be painted to match the color of the material it is simulating. For example: If intended to match wood then fiber reinforced cement product shall be painted to match natural wood stain.

Steel shall be galvanized or primed and painted to protect and complement exterior wall finishes.

#### DOORS AND WINDOWS

##### Doors

Entry doors shall be solid single panel doors.

Balcony doors shall be double doors or sliding doors.

##### Windows

Windows shall be double-hung, single-hung, awning or casement. The horizontal dimension of a window opening shall not exceed the vertical dimension. Glazing may be of divided or non-divided lights.

##### Materials

Door and window materials shall be wood, clad wood, vinyl, painted steel, commercial grade anodized or prefinished aluminum. Doors may include glass panes. Glazing shall be non-reflective Low-E, with minimum 90% light transmission on lower floors. Upper floor glazing shall be non-reflective Low-E, with minimum 75% light transmission.

##### Details

Door and window surrounds shall be of, but not limited to, plaster, cast stone, masonry or steel. Doors and windows should be inset a minimum of 1 inch from exterior face finish. Door and window frame sections shall be 2 inches in width to simulate traditional wood window section.

##### Color

Door and window frame color shall complement exterior wall finishes. Opaque and dark colored windows shall not be permitted. Window tint will be limited to light green, blue, gray or brown. Screen frames shall match window color. Screens shall be gray or black.

##### Configurations

Door and window openings shall align vertically along their centerline and the size or configuration may vary on the top floor. Doors or windows may be ganged together horizontally up to a maximum of 3 per group. Exterior shutters are not permitted.

#### BALCONIES

##### Balcony Organization

Balcony types may vary per floor to complement door and window arrangements in overall facade.

##### Juliet Balconies

Balcony projections (at door locations only) shall be a maximum of 18 inches in depth. Width of balcony shall be limited to maximum of 12 inches on each side of door rough opening. Railing material may vary.

##### Cantilevered Balconies

Balcony projection shall be a minimum of 5 feet in depth. Width of balcony shall be limited to a maximum of 2 feet on each side of rough opening. Railing material may vary.

##### Cantilevered Boxed Balconies

Balconies may be partially enclosed with walls, these projected cantilevered spaces may be within primary or secondary facades maintaining a vertical proportion. These type balcony projections shall be a minimum of 6 feet in depth. Railing material may vary.

##### Railings

Railing materials may be of, but not limited to, natural solid stock wood, painted metal or steel and/or aluminum.





6 ARCHITECTURAL GUIDELINES

ARCHITECTURAL STYLE : TRANSITIONAL

BALCONIES, CONTINUED

Details

Masonry details may be simulated to be consistent with traditional load bearing applications. Brick details include, but are not limited to, lintels, segmented arches, sills and headers.

Cast stone details may include, but are not limited to, applications such as trim, sill, coping, header, and columns.

Natural solid stock wood may be used as, but is not limited to, column, beam and header applications.

Fiber reinforced cement products may be used in lieu of natural wood or stone for, but not limited to, brackets, rafter tails, columns or beam details.

Steel details may include, but are not limited to, column and beam applications, brackets, headers, door/window frames and shading devices.

Architectural metal panel details may include, but are not limited to, column and beam applications, headers, and door/window frames.

EIFS – Exterior insulated finish system shall not be permitted in any application.

ROOF AND PARAPETS

Roof Massing

Roof massing shall be hip or flat roofs with parapet walls.

Uninterrupted roof lines shall not be greater than 60 feet in length. Roof/cornice lines may be interrupted by towers and/or parapet wall height difference.

Cornice profiles shall vary in profile and style to complement and vary the top building line.

Roof Overhang

Roof overhang for shed roofs shall be within range of 2 to 4 feet.

Cornice profile shall be minimum of 4 inches and overall maximum depth of 4 feet.

Roof Materials

Shed roofs shall be a metal roof system application. Flat roofs shall be a bituminous application.

Roof Color

Metal roof color shall complement exterior wall finishes. Bituminous roofs shall be black in color.

Soffit and Fascia Materials

Natural solid stock wood, cement board and/or plaster may be used at soffit and fascia conditions. These conditions shall be painted to complement exterior wall finishes and integral color for plaster.

Roof Pitch

Shed roofs may be a minimum of 2:12 slope and maximum of 6:12 slope.

Roof Parapets

Parapet roof wall heights shall be a minimum of 2 feet and a maximum of 5 feet. Metal coping shall not be allowed.

Roof Systems

Roof systems must provide positive drainage at all times. Roof drains are required to tie into underground storm drainage systems.

Roof Equipment

All roof mounted equipment, including mechanical equipment and vents, antennae, satellite dishes, etc. must be screened from view from an elevation of 5 feet from natural grade from the public ROW and all adjacent building sites. Set roof mounted equipment back from the perimeter of the building. Screening shall be achieved through the use of parapet walls, penthouses or other screening devices compatible with the forms, colors, and materials of the building's exterior and as approved by ARB.

Attachments

See signage guidelines.

Gutter and downspouts shall be half-round or ogee shape and may be copper, galvanized steel or prefinished aluminum.

AWNINGS/CANOPIES

Materials for awnings, canopies or shading devices at retail or office ground level may include, but are not limited to, fabric, steel, natural solid stock wood and architectural metal panels.

ARCADES AND GALLERIES

Arcades or galleries are permitted with a minimum depth of 8 feet and a maximum depth of 12 feet. Materials for arcades or galleries may be, but are not limited to, masonry, steel, natural solid stock wood, and cast stone. Where arcades or galleries are used the face of arcade may be permitted to be within 2 feet of curb line. Arcades and galleries shall be limited to 33% of the block length.

