


SP2015-007 - KROGER SH 205 & QUAIL RUN
 SITE PLAN - LOCATION MAP = 



City of Rockwall

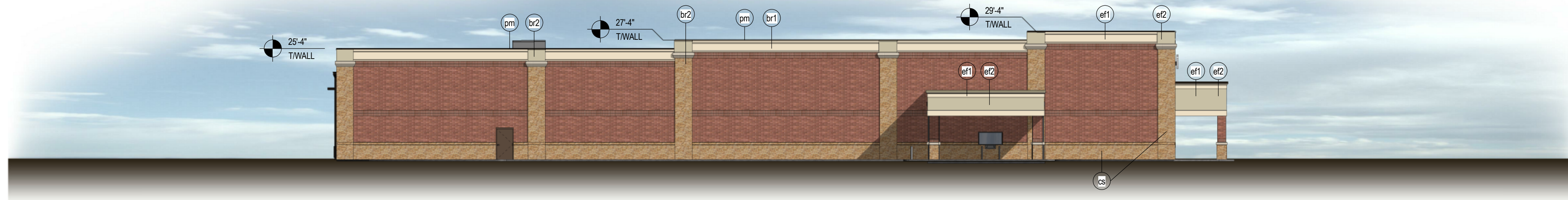
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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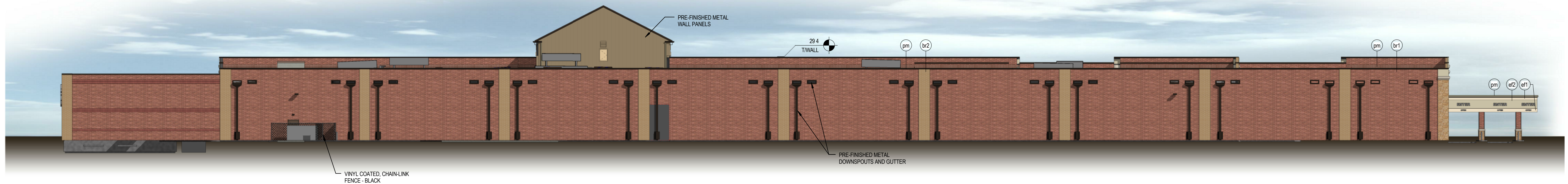




NORTH ELEVATION

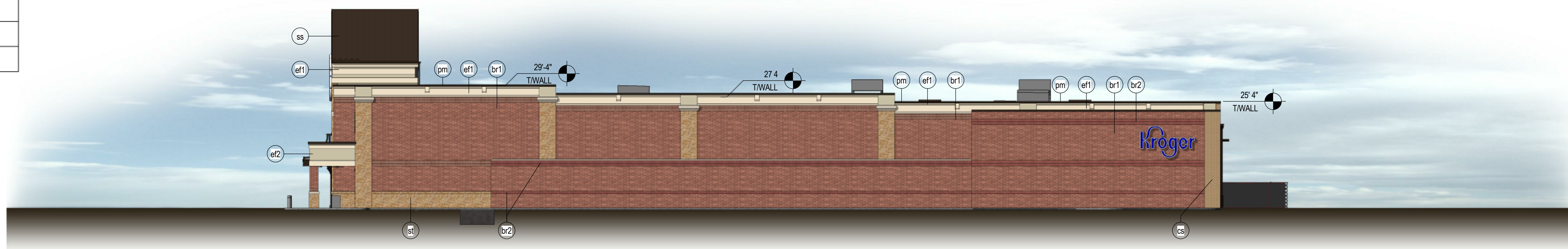


EAST ELEVATION



SOUTH ELEVATION

Material Percentages				
	North	West	South	East
Brick	60%	81%	99%	67%
Stone	21%	10%	0%	23%
EIFS	19%	9%	1%	10%



WEST ELEVATION

FINISH SCHEDULE

- st Cultured Stone
- pm Prefinished Metal
- ef Clear Anodized Aluminum
- cs Cast Stone
- gl Glazing
- mt Exposed Metal
Paint to match "pm"
- br1 Masonry- Quik Brick color 1
- br2 Masonry- Quik Brick color 2
- ss Standing Seam Metal Roof
- ef1 E.I.F.S.
- ef2 E.I.F.S.



March 13th 2015

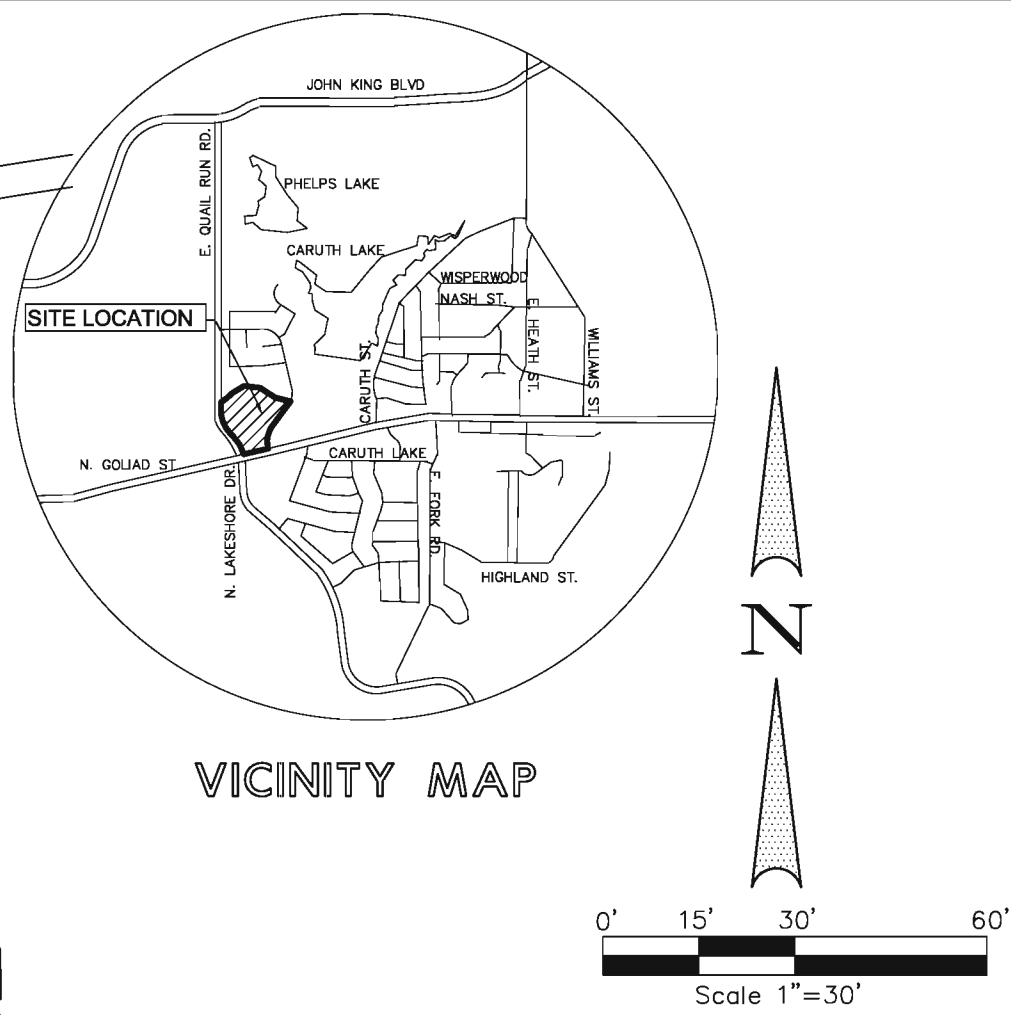
Kroger Store SW574

Rockwall, TX



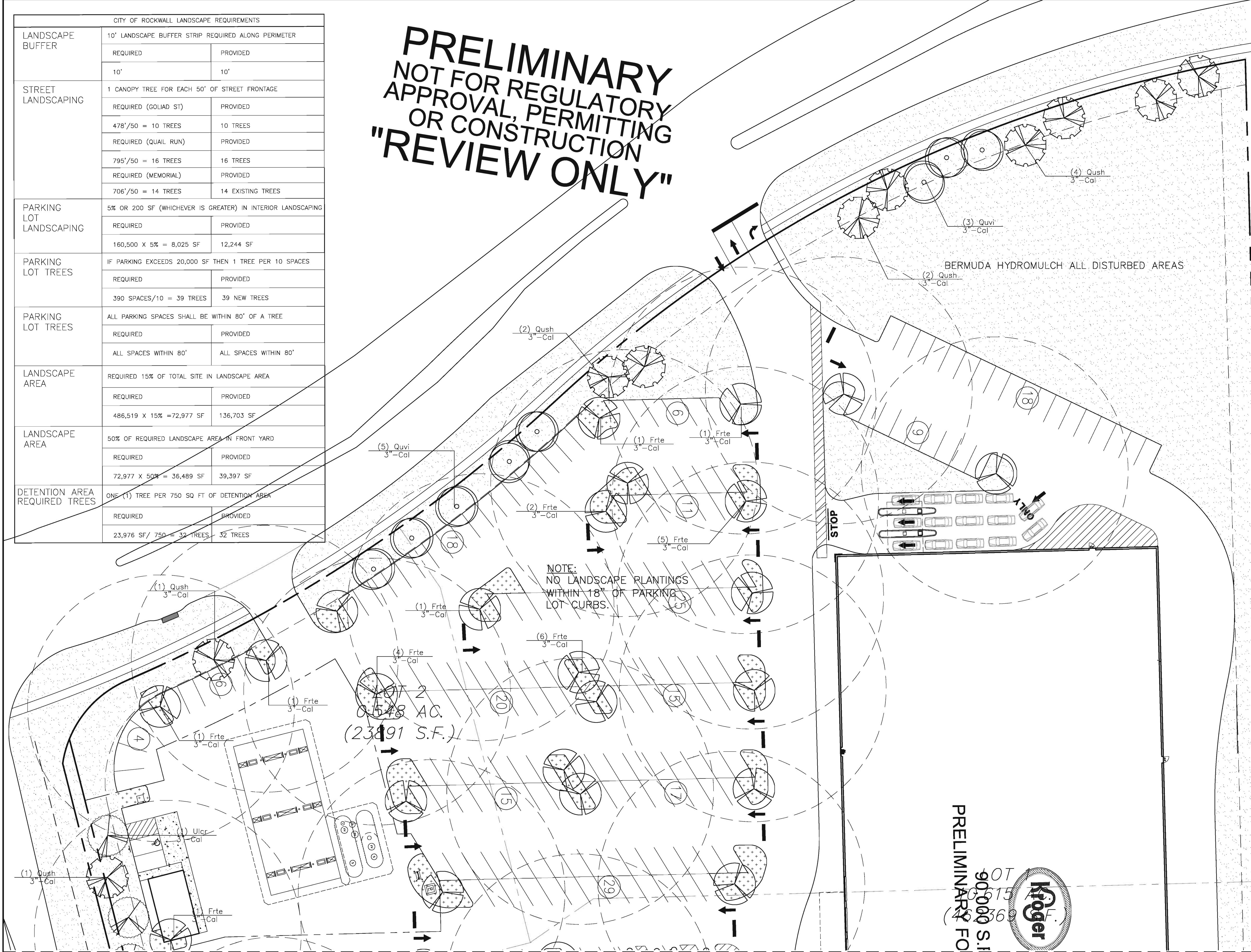
CITY OF ROCKWALL LANDSCAPE REQUIREMENTS		
LANDSCAPE BUFFER	10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER	
	REQUIRED	PROVIDED
	10'	10'
STREET LANDSCAPING	1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE	
	REQUIRED (GOLIAD ST)	PROVIDED
	478'/50 = 10 TREES	10 TREES
	REQUIRED (QUAIL RUN)	PROVIDED
	795'/50 = 16 TREES	16 TREES
	REQUIRED (MEMORIAL)	PROVIDED
706'/50 = 14 TREES	14 EXISTING TREES	
PARKING LOT LANDSCAPING	5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING	
	REQUIRED	PROVIDED
	160,500 X 5% = 8,025 SF	12,244 SF
PARKING LOT TREES	IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES	
	REQUIRED	PROVIDED
	390 SPACES/10 = 39 TREES	39 NEW TREES
PARKING LOT TREES	ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE	
	REQUIRED	PROVIDED
	ALL SPACES WITHIN 80'	ALL SPACES WITHIN 80'
LANDSCAPE AREA	REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA	
	REQUIRED	PROVIDED
	486,519 X 15% = 72,977 SF	136,703 SF
LANDSCAPE AREA	90% OF REQUIRED LANDSCAPE AREA IN FRONT YARD	
	REQUIRED	PROVIDED
	72,977 X 90% = 65,679 SF	39,397 SF
DETENTION AREA REQUIRED TREES	ONE (1) TREE PER 750 SQ FT OF DETENTION AREA	
	REQUIRED	PROVIDED
	23,976 SF / 750 = 32 TREES	32 TREES

**PRELIMINARY
NOT FOR REGULATORY
APPROVAL, PERMITTING
OR CONSTRUCTION
"REVIEW ONLY"**



- PLANTING NOTES:**
- PRIOR TO PLANTING, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO APPROVE NEW TREES ON SITE. LANDSCAPE ARCHITECT SHALL MAKE ONE TRIP TO SITE TO INSPECT TREES. ALL TREES SHALL BE STORED AND HEELED IF REQUIRED PRIOR TO CONTACTING LANDSCAPE ARCHITECT FOR INSPECTION.
 - ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
 - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
 - ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
 - ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
 - CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
 - MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
 - PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
 - SEE DETAIL SHEET L-8 FOR PLANTING DETAILS.
 - CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
 - EXISTING TREES ARE SHOWN TO REMAIN. CONTRACTOR SHALL PRUNE WITH APPROVAL OF OWNER AND CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES, AS WELL AS BRANCHES THAT OBSTRUCT SIGN VISIBILITY. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 - QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
 - INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
 - INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUNDCOVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
 - AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
 - BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)
 - PRIOR TO TREE PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.

CAUTION!!!
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG:
TEXAS EXCAVATION SAFETY SYSTEM (TESS)
1-800-344-8377
TEXAS ONE CALL SYSTEMS
1-800-245-4545
LONE STAR NOTIFICATION CENTER
1-800-669-8344 EXT. 5

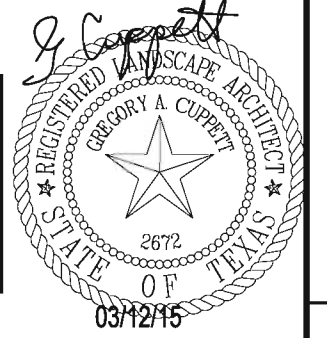


MATCH LINE, SHEET L-2

REF SHEET L-3 FOR PLANT LEGEND

PRELIMINARY FOR 9000 S.I. 6615 668

**FAIN • CUPPET
LANDSCAPE ARCHITECTS, LLC**
8203 Mid Creek Blvd, Suite B
North Richland Hills, TX 76182-4761
PARKS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN



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Texas Engineers Registration No. 109666-01
Professional Seal of Greg Cuppett, State of Texas, License No. 2875

LANDSCAPE PLAN
SEC N. GOLIAD ST. AND E.
QUAIL RUN RD.
ROCKWALL, TEXAS

NO.	DATE	REVISION	APPROV.
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1.			

