



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Townsend Dr

SUBDIVISION J Cadle Survey, Tract 2, Abs 0065

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION NW corner of TL Townsend and SH 276

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-10

CURRENT USE Vacant

PROPOSED ZONING No change

PROPOSED USE Office/Warehouse

ACREAGE X

LOTS [CURRENT] \_\_\_\_\_

X

LOTS [PROPOSED] \_\_\_\_\_

X

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER MGD 276 Business Park

APPLICANT Cumulus Design

CONTACT PERSON Sam Mota

CONTACT PERSON Paul Cragun

ADDRESS \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

PHONE \_\_\_\_\_

PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

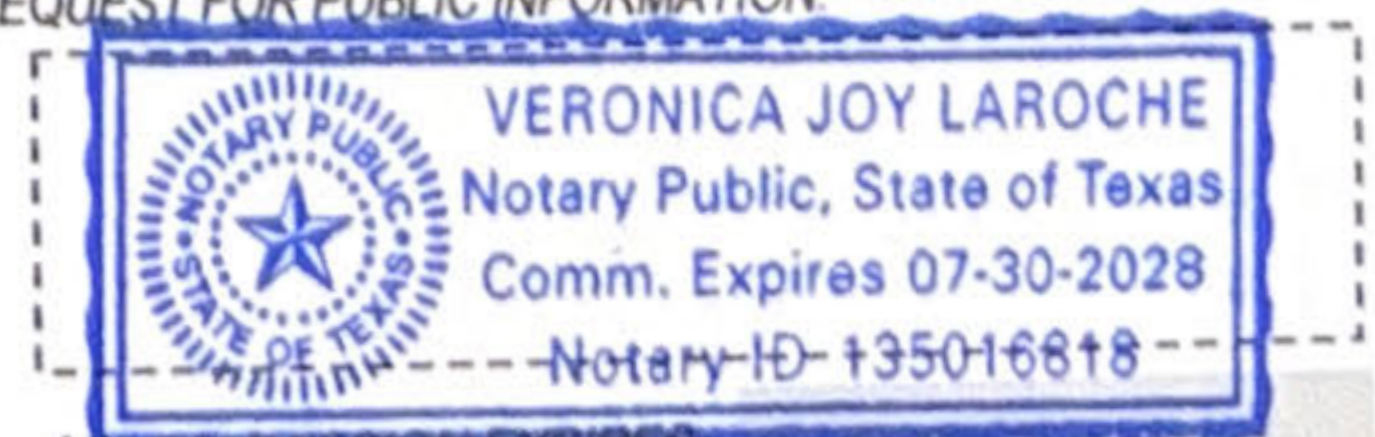
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Samuel A. Mota [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

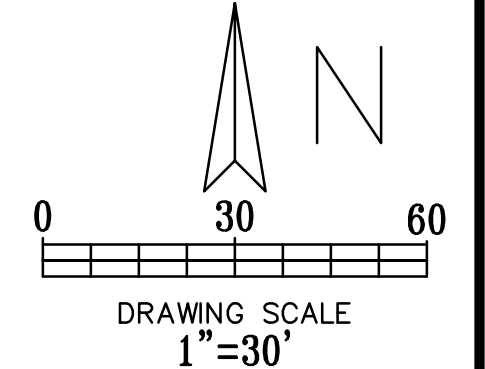
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18<sup>th</sup> DAY OF January, 2026

OWNER'S SIGNATURE Samuel A. Mota

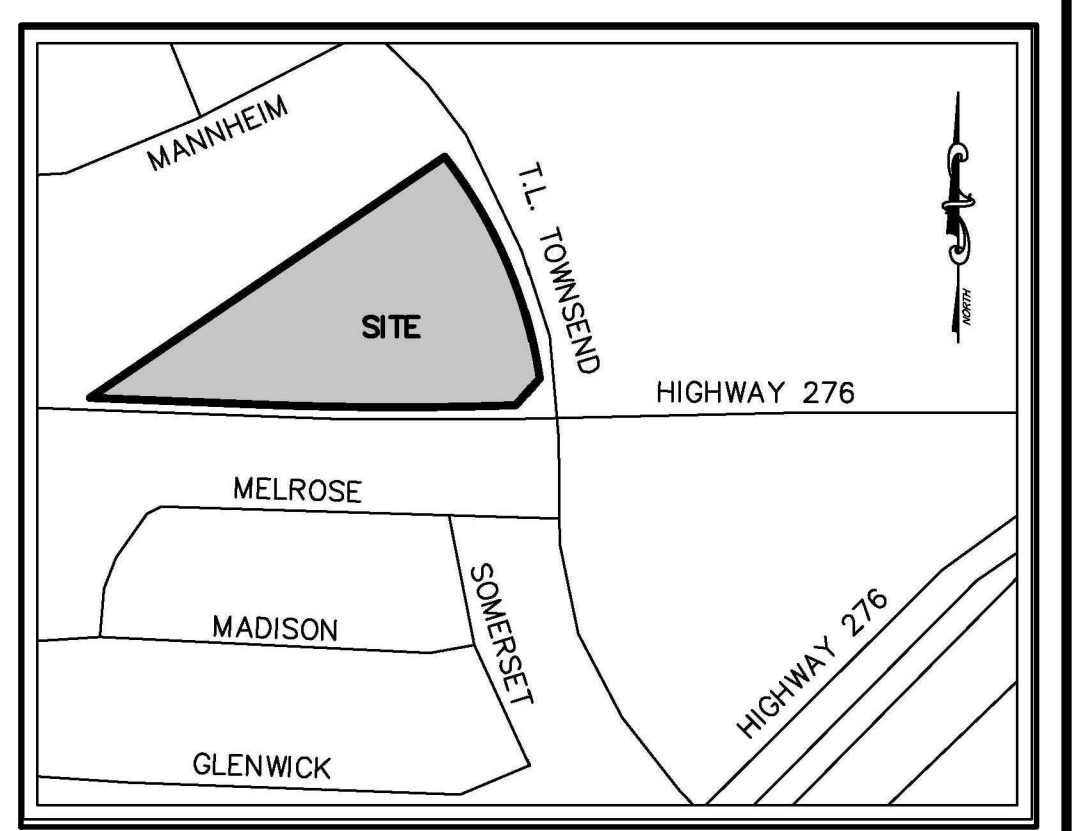
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Veronica J. Laroché



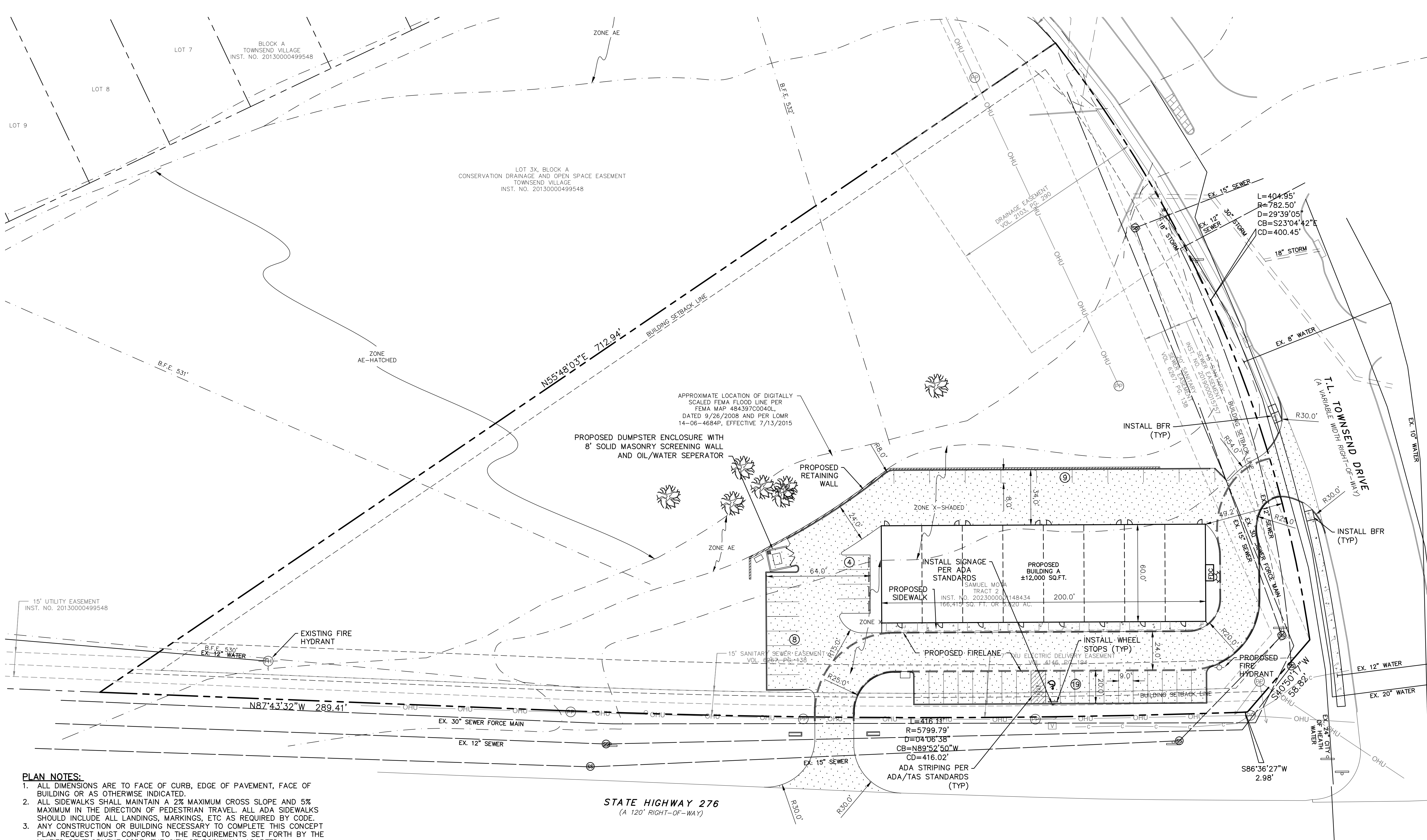
MY COMMISSION EXPIRES \_\_\_\_\_



- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - PROPERTY LINE
  - 4" PROPOSED SIDEWALK 3,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS WITH COMPACTED SUBGRADE. (MINIMUM 5.5 SACK MIX)
  - 6" PROPOSED PAVEMENT 3,600 PSI REINFORCED CONCRETE PAVEMENT WITH #4 BARS AT 24" CENTERS ON 6" FLEX BASE ON 6" COMPACTED SUBGRADE SOILS. FIRELANES SHALL BE PER CITY STANDARDS (MINIMUM 6.5 SACK MIX)
  - PROPOSED ADA SPACE PER CURRENT ADA/TAS STANDARDS WITH WHEELSTOP AND ADA SIGNAGE



VICINITY MAP  
N.T.S.



- PLAN NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
  2. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  3. ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS CONCEPT PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE CITY OF ROCKWALL ADAPTED INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
  4. THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.
  5. A TYPICAL PARKING SPACE SHALL BE 9' WIDE AND 20' DEEP.
  6. THE PROPERTY IS CURRENTLY UNPLATTED BUT WILL BE PLATTED AS PART OF DEVELOPMENT.
  7. DETENTION AREA LOCATIONS HAVE BEEN CALLED OUT ON THIS PLAN. DETENTION OUTFALL MUST BE AT SHEET FLOW CONDITIONS WHEN STORM WATER CROSSES THE PROPERTY LINE. MANNING'S C-VALUE SHALL BE PER ZONING TYPE. DUMPSTER AREAS TO DRAIN TO OIL/WATER SEPARATOR AND THEN TO THE STORM LINES.

**III CAUTION III**  
**UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: TEXAS ONE CALL ☎ 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

SITE DATA TABLE	
CURRENT ZONING:	PD-10 (SH276 OVERLAY)
LAND USE:	OFFICE/RETAIL BUILDINGS
SITE ACREAGE:	3.82 ACRES (166,415 SQ FT)
TOTAL BUILDING AREA:	12,000 SQUARE FEET
OPEN SPACE:	127,528/166,415 : 76.6%
PAVED SURFACE AREA:	38,887/166,415 : 23.4%
BUILDING HEIGHT	1 STORY
PARKING REQUIRED:	
PD-10 OFFICE	40 PARKING SPACES
TOTAL (1 SPACE/300 S.F.):	40 PARKING SPACES
PARKING PROVIDED:	40 PARKING SPACES
ACCESSIBLE PARKING PROVIDED:	1 PARKING SPACES

REVISIONS		
REV. NO.	DATE	DESCRIPTION

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_

OWNER/DEVELOPER:  
MGD 276 BUSINESS PARK, LLC  
1557 TROWBRIDGE CIR.  
ROCKWALL, TEXAS 75032  
CONTACT: SAMUEL MOTA  
PH: (972) 771-1607

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 04/16/26.

FOR REVIEW ONLY. NOT FOR CONSTRUCTION

CASE: SP  
**Cumulus Design Firm #14810**  
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050  
Tel. 214.235.0367

**SITE PLAN**  
276 BUSINESS PARK  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
J CADLE SURVEY, ABS 0065, TRACT 2-5

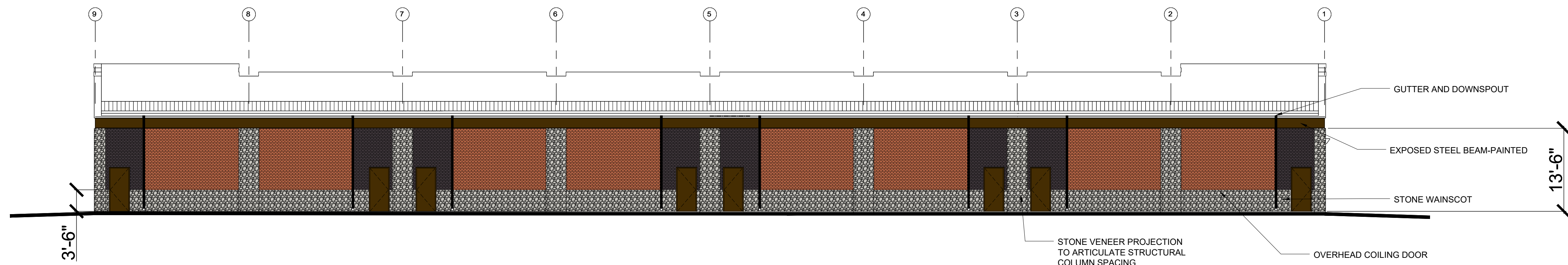
DATE	PROJECT NO	DRAWING SCALE	SHEET
4/16/26	CD25020	1" = 30'	SP



1 South Elevation - Building 1

SCALE: 3/32" = 1'-0"

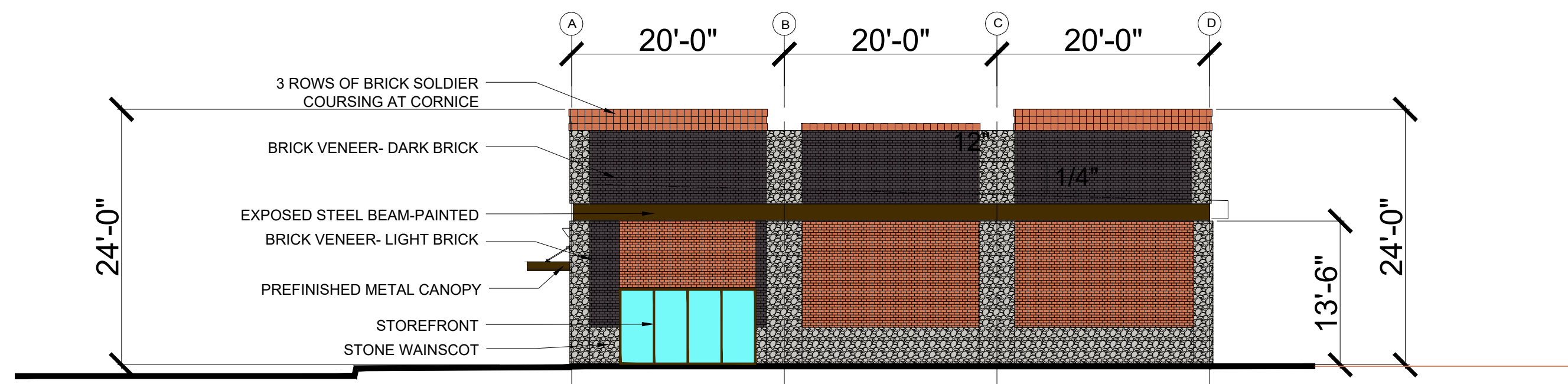
MATERIAL CALCULATIONS:  
 FACADE AREA- 4,588 SF  
 MASONRY AREA- 91%  
 NATURAL STONE AREA- 20%



2 North Elevation - Building 1

SCALE: 3/32" = 1'-0"

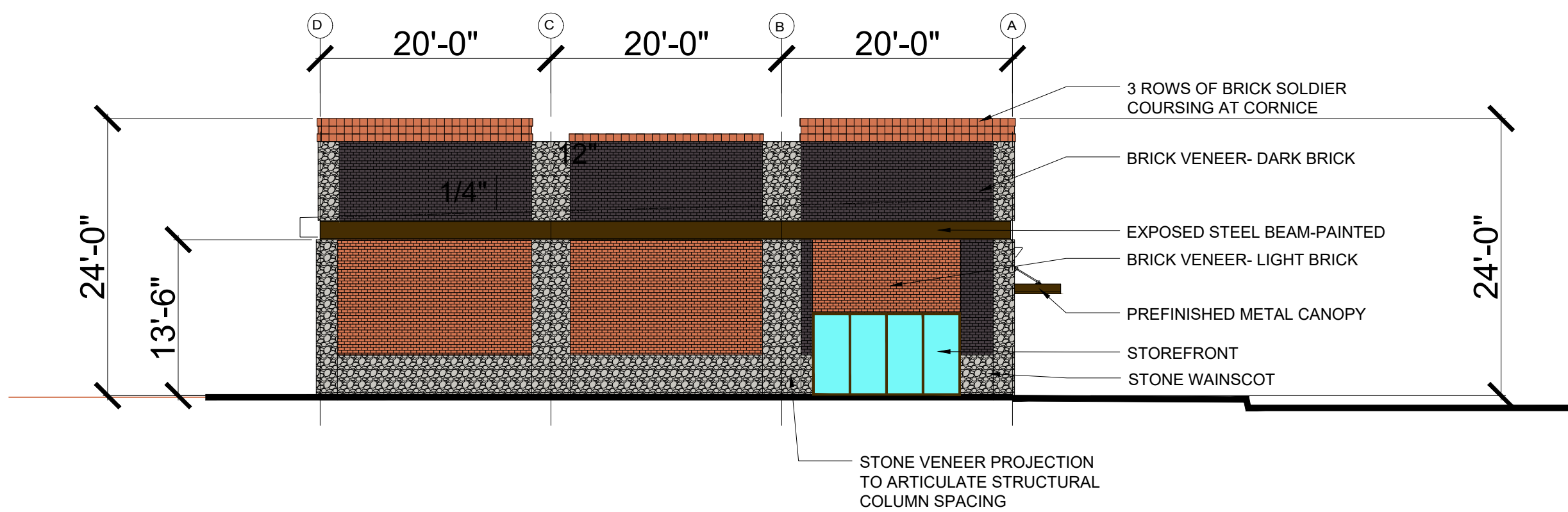
MATERIAL CALCULATIONS:  
 FACADE AREA- 3,290 SF  
 MASONRY AREA- 90%  
 NATURAL STONE AREA- 28%



3 East Elevation - Building 1

SCALE: 3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 1,415 SF  
 MASONRY AREA- 92%  
 NATURAL STONE AREA- 26%



4 West Elevation - Building 1

SCALE: 3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 1,415 SF  
 MASONRY AREA- 92%  
 NATURAL STONE AREA- 26%

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED ISSUED FOR REVIEW
C	04/17/26	REVISED ISSUED FOR REVIEW

**ISSUED FOR REVIEW**  
 NOT FOR CONSTRUCTION  
 04/17/2026

WILLIAM TATLOCK, RA  
 2980 GOLFING GREEN CT.  
 BURLESON, TX 76028

OFFICE BUILDING  
 Highway 276 & Townsend Rockwall, TX

Project	24111
Revision	C
Date	04/17/2026
Scale	

A4.1  
 OF SHEETS

EXTERIOR COLOR PALETTE



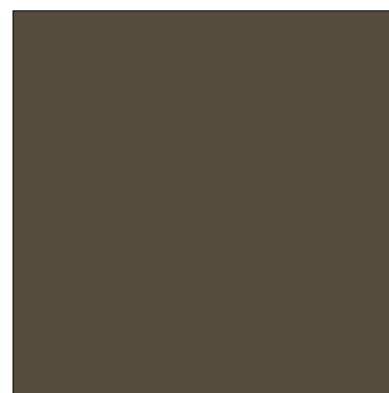
BRICK VENEER-  
"LIGHT" BRICK-  
ACME BRICK  
CLOISTURE MODULAR



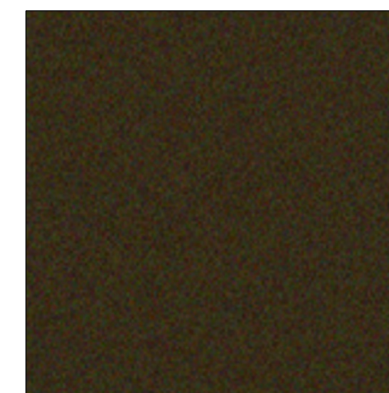
BRICK VENEER-  
"DARK" BRICK-  
ACME BRICK  
DARK INKSPOT MODULAR



STONE VENEER-  
CORONADO STONE-  
FREEDOM BUILDING STONE SERIES  
PATRIOT BLEND



METAL DOORS, CANOPY,  
STEEL BEAMS AND OVERHEAD  
COILING DOORS-  
EXTERIOR PAINT  
SHERWIN WILLIAMS  
SW7055 ENDURING BRONZE



STOREFRONT FRAMING-  
KAWNEER  
MEDIUM BRONZE

OFFICE BUILDING  
HIGHWAY 276 & TOWNSEND RD.  
ROCKWALL, TEXAS  
3/13/2026

REV	DATE	ISSUE
A	03/13/26	ISSUED FOR REVIEW

**ISSUED FOR REVIEW**  
**NOT FOR CONSTRUCTION**  
01/19/2026

WILLIAM TATLOCK, RA  
2980 GOLFING GREEN CT.  
BURLESON, TX 76028

OFFICE BUILDING  
Highway 276 & Townsend Rockwall, TX

Project	24111
Revision	A
Date	03/13/2026
Scale	

A4.3  
OF SHEETS

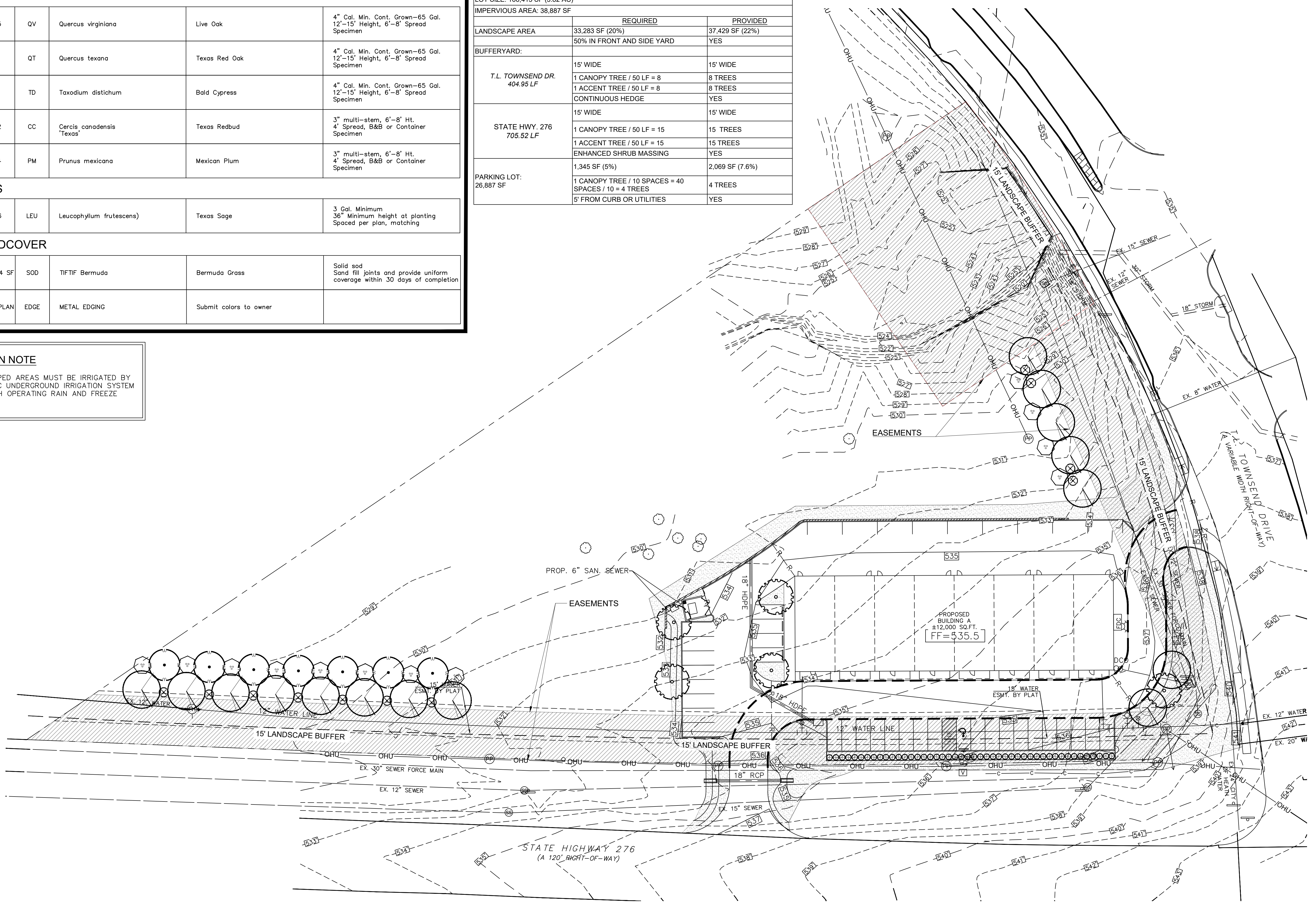
B

**KEY**

TREES					
	15	QV	Quercus virginiana	Live Oak	4" Cal. Min. Cont. Grown-65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	4	QT	Quercus texana	Texas Red Oak	4" Cal. Min. Cont. Grown-65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	7	TD	Taxodium distichum	Bald Cypress	4" Cal. Min. Cont. Grown-65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	12	CC	Cercis canadensis 'Texas'	Texas Redbud	3" multi-stem, 6'-8' Ht. 4' Spread, B&B or Container Specimen
	14	PM	Prunus mexicana	Mexican Plum	3" multi-stem, 6'-8' Ht. 4' Spread, B&B or Container Specimen
SHRUBS					
	46	LEU	Leucophyllum frutescens	Texas Sage	3 Gal. Minimum 36" Minimum height at planting Spaced per plan, matching
GROUNDCOVER					
	16,274 SF	SOD	TIFTIF Bermuda	Bermuda Grass	Solid sod Sand fill joints and provide uniform coverage within 30 days of completion
	PER PLAN	EDGE	METAL EDGING	Submit colors to owner	

LANDSCAPE CALCULATIONS		
LOT SIZE: 166,415 SF (3.82 AC)		
IMPERVIOUS AREA: 38,887 SF		
LANDSCAPE AREA	33,283 SF (20%)	37,429 SF (22%)
60% IN FRONT AND SIDE YARD		
BUFFERYARD:		
T.L. TOWNSEND DR. 404.95 LF	15' WIDE 1 CANOPY TREE / 50 LF = 8 1 ACCENT TREE / 50 LF = 8 CONTINUOUS HEDGE	15' WIDE 8 TREES 8 TREES YES
STATE HWY. 276 705.52 LF	15' WIDE 1 CANOPY TREE / 50 LF = 15 1 ACCENT TREE / 50 LF = 15 ENHANCED SHRUB MASSING	15' WIDE 15 TREES 15 TREES YES
PARKING LOT: 26,887 SF	1,345 SF (5%) 1 CANOPY TREE / 10 SPACES = 40 SPACES / 10 = 4 TREES 5' FROM CURB OR UTILITIES	2,069 SF (7.6%) 4 TREES YES

**IRRIGATION NOTE**  
 ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.



OLD SH 276  
 COMMERCIAL OFFICES  
 Rockwall, Texas



PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:  
**LANDSCAPE PLAN**

SHEET NO:  
**L1.00**  
 COPYRIGHT © LONDON LANDSCAPES, LLC



PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	4/17/26


REV.	DATE	DESCRIP.	BY

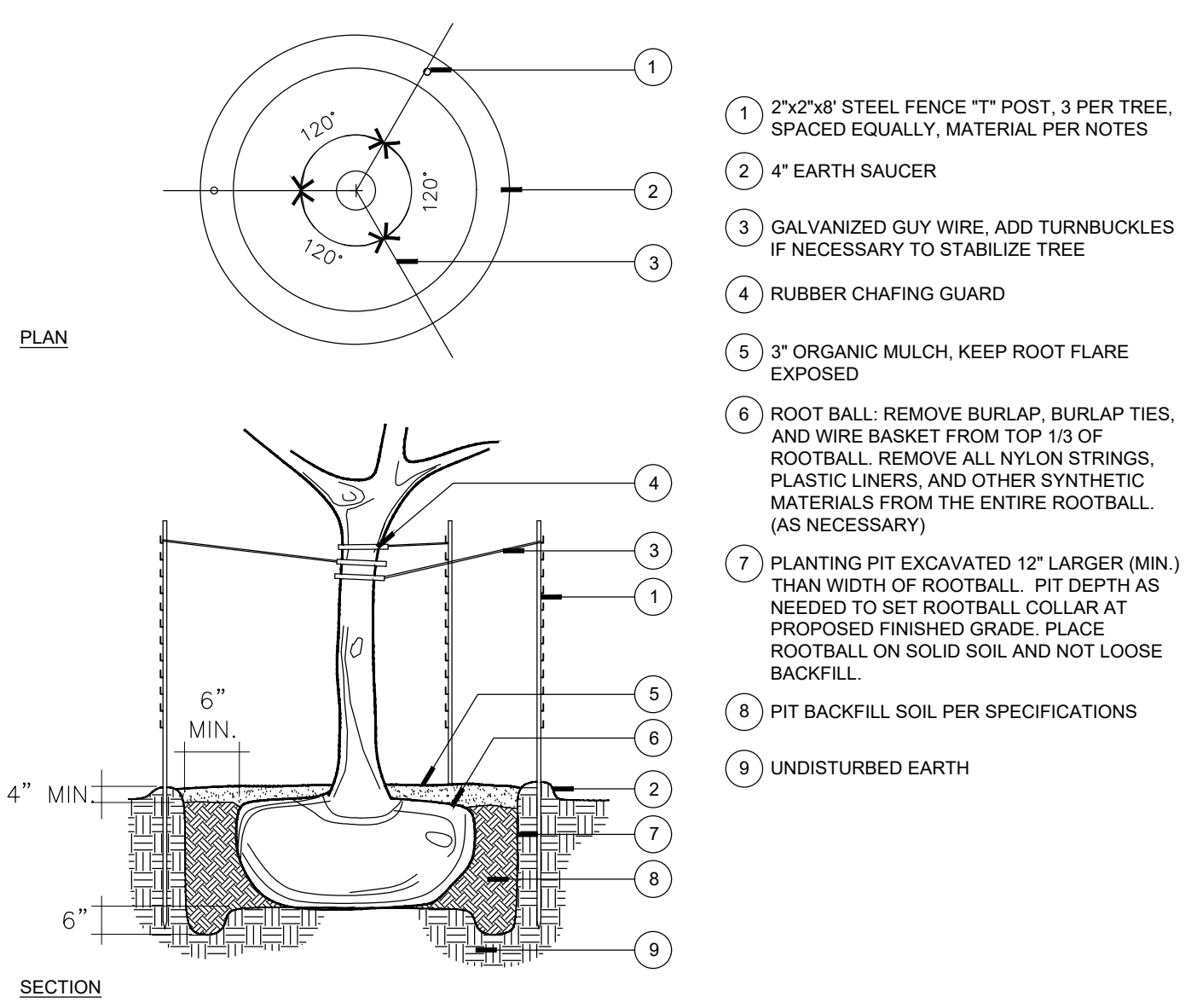
SHEET CONTENT:  
**LANDSCAPE DETAILS**

SHEET NO:  
 L1.01  
 COPYRIGHT © LONDON LANDSCAPES, LLC

**LANDSCAPE NOTES**

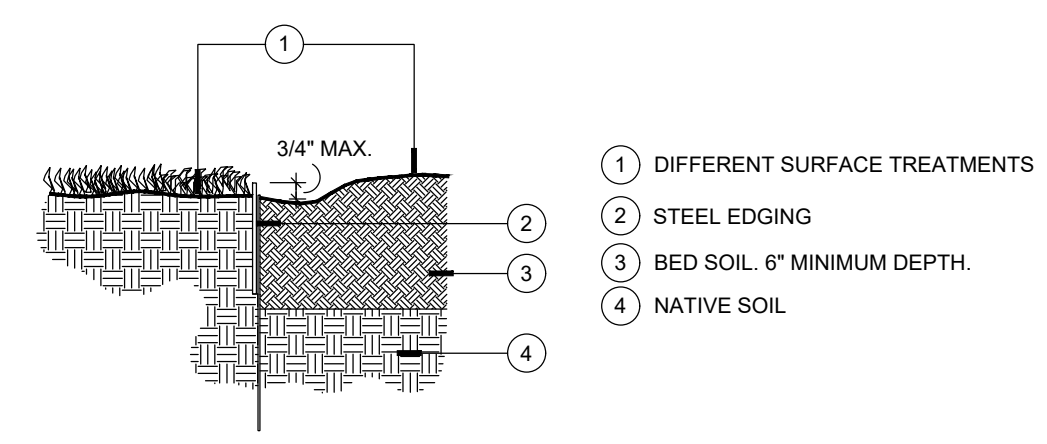
- Plant material shall comply with all sizing and grading standards of the latest edition of "American Standard for Nursery Stock."
- Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
- It is the responsibility of the contractor to advise the owner's representative of any condition found on site which prohibits installation as shown on these plans.
- In the event of a discrepancy between drawings and plant schedule, the drawings shall prevail.
- Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
- No substitutions shall be made without written authorization from the project Landscape Architect or the Owner.
- Commercial Soil Mix: All planting beds shall be excavated to twelve (12") inches below finished grade by Landscape Contractor, and all debris, stone, rubbish, weeds, and topsoil shall be removed from the site. The subgrade shall then be tilled to a depth of twelve (12") inches and the planting bed shall be backfilled with soil compost mix as available from Living Earth Resources, Inc., Dallas, Texas, or approved equal. Upon replacement of topsoil with mix and after watering in, the bed should be at the specified level.
- Existing soil shall be reasonably free of stones, lumps of clay, roots and other foreign matter. Acidity to be between 5.0 and 7.0 pH.
- If rocks are encountered, remove to a depth of 4" and add 4" of friable fertile topsoil to all sodded areas. Grade according to Engineer's grading plan.
- Lawn areas shall have 4" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
- All plant beds shall be top dressed with a minimum 4" of shredded hardwood mulch.
- Provide beveled edge between all plant beds and lawn areas unless indicated differently on plans.
- Tree planting pits shall be backfilled with top soil, and cleared of all rocks, lumps of clay and other foreign material. Place 1" of compost and 4" of mulch on top of root ball.
- Methods of tree staking indicated on the drawings are for suggestion only. The landscape contractor shall use whatever method he/she deems fit, however, he/she will be held liable for any damage caused to trees due to improper staking methods (including absence of staking), and will be responsible for adjusting and/or replanting trees which are not held upright during the warranty period.
- Trees shall be planted at least 3 feet from any utility line, curb, walk or fire hydrant, and outside all utility easements.
- Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
- Trees overhanging public street pavement, drive aisles and fire lanes shall have a minimum clear trunk height of 14 feet from finish surface of street pavement.
- Trees planted on slopes shall be placed in planting pits of adequate depth such that the soil stain at the base of the trunk matches that of the average grade or slope.
- A visibility triangle must be provided at all intersections. All landscaping within visibility triangles and parking lot islands, must be maintained so that lower tree limbs are a minimum of 7' from the ground and that shrubs and ground cover are a maximum of 24" high.
- No shrubs shall be permitted within areas less than three (3) feet in width. All such areas shall be grass or other permanent fixed material such as paving.
- During the warranty period The contractor shall be jointly responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. The work shall include - but not be limited to - mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, removed, or showing more than 40% defoliation, shall be replaced with plant material of similar size and variety within thirty (30) days.
- Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
- Landscape areas shall be kept free of trash, litter and weeds.
- All signage and fencing shall be contingent upon building inspection department approval.
- An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets and walks is prohibited. A permit from the building inspection department is required for each irrigation system. Drip indicators shall be installed on all drip irrigation zones.

FOR PRIVATE PROPERTY USE ONLY- THESE DETAILS SHALL NOT BE USED IN THE R.O.W. OR EASEMENT AREAS.



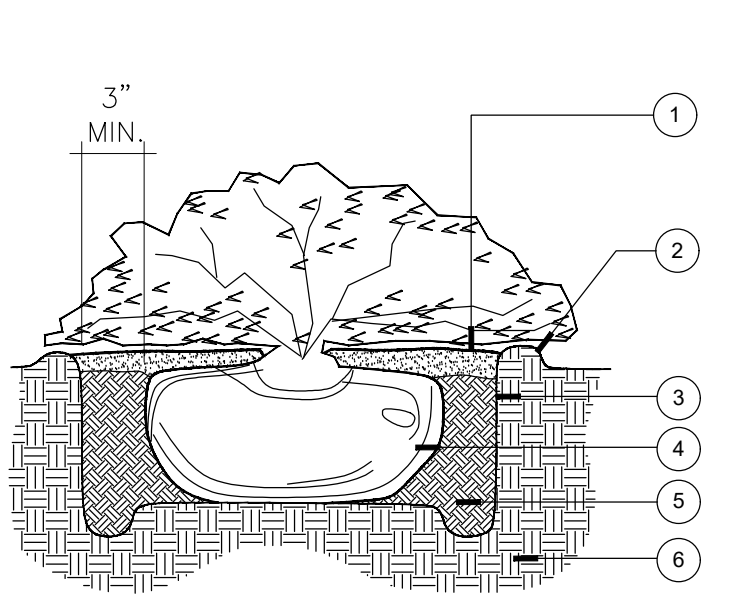
**A TREE PLANTING**  
 N.T.S.

- 2"x2"x8" STEEL FENCE 1" POST, 3 PER TREE, SPACED EQUALLY, MATERIAL PER NOTES
- 4" EARTH SAUCER
- GALVANIZED GUY WIRE, ADD TURNBUCKLES IF NECESSARY TO STABILIZE TREE
- RUBBER CHAFING GUARD
- 3" ORGANIC MULCH, KEEP ROOT FLARE EXPOSED
- ROOT BALL: REMOVE BURLAP, BURLAP TIES, AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS, AND OTHER SYNTHETIC MATERIALS FROM THE ENTIRE ROOTBALL. (AS NECESSARY)
- PLANTING PIT EXCAVATED 12" LARGER (MIN.) THAN WIDTH OF ROOTBALL. PIT DEPTH AS NEEDED TO SET ROOTBALL COLLAR AT PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
- PIT BACKFILL SOIL PER SPECIFICATIONS
- UNDISTURBED EARTH



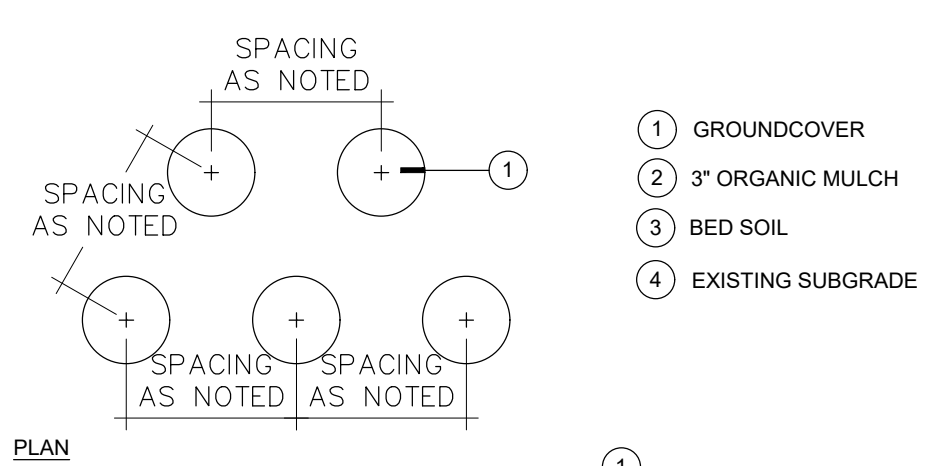
**D STEEL EDGING**  
 N.T.S.

- DIFFERENT SURFACE TREATMENTS
- STEEL EDGING
- BED SOIL, 6" MINIMUM DEPTH.
- NATIVE SOIL



**B SHRUB PLANTING**  
 N.T.S.



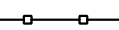
- 3" ORGANIC MULCH LAYER
- 3" HIGH EARTH SAUCER
- PLANTING PIT: EXCAVATE 6" LARGER (MIN.) THAN WIDTH OF ROOTBALL. W/ PIT DEPTH AS NEEDED TO SET ROOTBALL @ PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL. SCARIFY SIDES OF PIT, PROVIDE CONTINUOUS PIT FOR MASS BED PLANTINGS.
- ROOT BALL: REMOVE FROM CONTAINER. GENTLY SCARIFY GIRDLED ROOTS AS NEEDED. REMOVE ALL TAGS & TWINE.
- PIT BACKFILL W/ PREPARED SOIL BED MIX PER SPECIFICATIONS. PROVIDE CONTINUOUS SOIL BED MIX IN MASS PLANTINGS.
- UNDISTURBED EARTH



**C GROUNDCOVER PLANTING**  
 N.T.S.


- GROUNDCOVER
- 3" ORGANIC MULCH
- BED SOIL
- EXISTING SUBGRADE

**LEGEND**

-  TREES TO BE REMOVED (NONE)
-  TREES TO BE PRESERVED (ALL)
-  TREE PROTECTION FENCING

**LANDSCAPE ARCHITECT/ARBORIST STATEMENT**

"I, AMY LONDON, BEING A LANDSCAPE ARCHITECT OR ARBORIST ATTEST THAT THE IDENTIFICATION AND SIZE OF TREES IDENTIFIED ON THIS SURVEY ARE CORRECT AND THAT ALL PROTECTED TREES HAVE BEEN SHOWN."

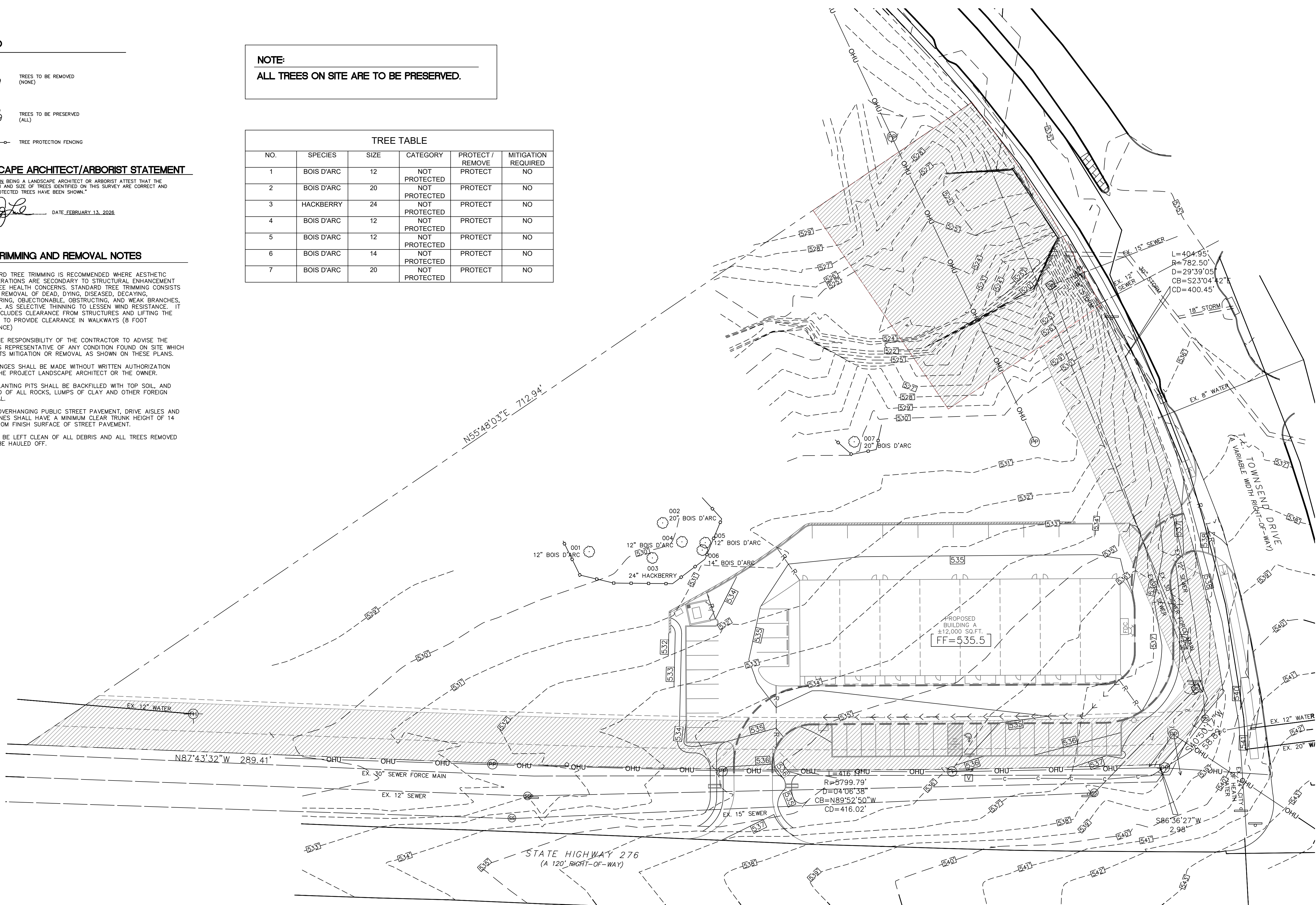
 DATE: FEBRUARY 13, 2026

**TREE TRIMMING AND REMOVAL NOTES**

1. STANDARD TREE TRIMMING IS RECOMMENDED WHERE AESTHETIC CONSIDERATIONS ARE SECONDARY TO STRUCTURAL ENHANCEMENT AND TREE HEALTH CONCERNS. STANDARD TREE TRIMMING CONSISTS OF THE REMOVAL OF DEAD, DYING, DISEASED, DECAYING, INTERFERING, OBJECTIONABLE, OBSTRUCTING, AND WEAK BRANCHES, AS WELL AS SELECTIVE THINNING TO LESSEN WIND RESISTANCE. IT ALSO INCLUDES CLEARANCE FROM STRUCTURES AND LIFTING THE CANOPY TO PROVIDE CLEARANCE IN WALKWAYS (8 FOOT CLEARANCE)
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS MITIGATION OR REMOVAL AS SHOWN ON THESE PLANS.
3. NO CHANGES SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE PROJECT LANDSCAPE ARCHITECT OR THE OWNER.
4. TREE PLANTING PITS SHALL BE BACKFILLED WITH TOP SOIL, AND CLEARED OF ALL ROCKS, LUMPS OF CLAY AND OTHER FOREIGN MATERIAL.
5. TREES OVERHANGING PUBLIC STREET PAVEMENT, DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET FROM FINISH SURFACE OF STREET PAVEMENT.
6. SITE TO BE LEFT CLEAN OF ALL DEBRIS AND ALL TREES REMOVED SHALL BE HAULED OFF.

**NOTE:**  
ALL TREES ON SITE ARE TO BE PRESERVED.

TREE TABLE					
NO.	SPECIES	SIZE	CATEGORY	PROTECT / REMOVE	MITIGATION REQUIRED
1	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
2	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO
3	HACKBERRY	24	NOT PROTECTED	PROTECT	NO
4	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
5	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
6	BOIS D'ARC	14	NOT PROTECTED	PROTECT	NO
7	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO



OLD SH 276  
COMMERCIAL OFFICES  
Rockwall, Texas



PROJECT NUMBER:  
PROJECT MANAGER:  
DRAWN BY: A. LONDON  
CHECKED BY: A. LONDON  
ISSUE DATE: 4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:

**TREESCAPE PLAN**

SHEET NO: TR1.00

## EXTERIOR LIGHTING FIXTURE SCHEDULE

FIXTURE	FIXTURE DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMP TYPE & COLOR TEMP	FIXTURE VOLTS	FIXTURE WATTS	FIXTURE QUANTITY	FIXTURE NOTES:
S1	NEW DECORATIVE SCONCE	LITHONIA WMCL6-P1-SWW2-A45-MVOLT-PE-E4WC-DDBXD-M4	LED 4000K	120V	31 W	16	PROVIDE TIMER IN FIRE RISER ROOM.
W1	NEW WALL PACK	LITHONIA TWH-LED-40K-T3M-MVOLT-PE BRONZE, PHOTOCELL	LED 4000K	120V	78 W	9	PROVIDE PHOTOCELL FIXED TO FIXTURE

### GENERAL NOTES

- PHOTOMETRIC PLANS.

REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED FOR REVIEW
C	03/13/26	REVISED FOR REVIEW
D	04/16/26	ISSUED FOR PERMIT

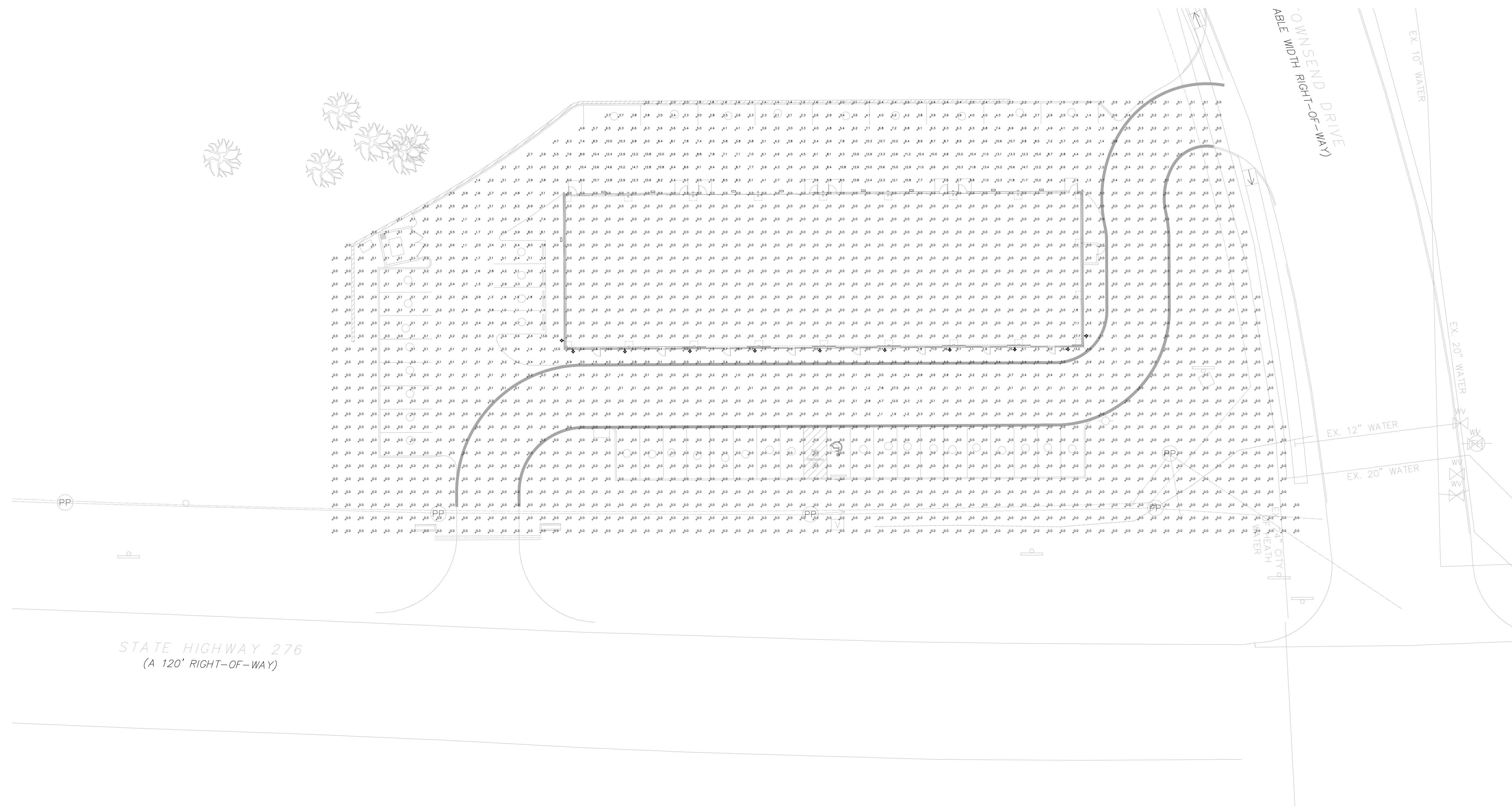
ISSUED FOR PERMIT  
AND CONSTRUCTION  
04/16/2026

HEC GROUP  
15749 SEAROLT PL.  
ADDISON, TX 75001



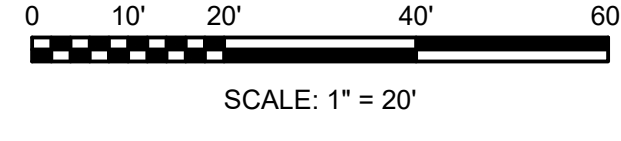
OFFICE BUILDING  
ELECTRICAL PHOTOMETRICS  
HIGHWAY 276 & TOWNSEND  
ROCKWALL, TX 75082

Project	26104
Revision	D
Date	04/16/2026
Scale	N.T.S.
E0.4	
OF	SHEETS



1 ELECTRICAL PHOTOMETRICS PLAN

SCALE: 1" = 20'



SCALE: 1" = 20'



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Townsend Dr

SUBDIVISION J Cadle Survey, Tract 2, Abs 0065

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION NW corner of TL Townsend and SH 276

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-10

CURRENT USE Vacant

PROPOSED ZONING No change

PROPOSED USE Office/Warehouse

ACREAGE X

LOTS [CURRENT] \_\_\_\_\_

X

LOTS [PROPOSED] \_\_\_\_\_

X

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER MGD 276 Business Park

APPLICANT Cumulus Design

CONTACT PERSON Sam Mota

CONTACT PERSON Paul Cragun

ADDRESS \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

PHONE \_\_\_\_\_

PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

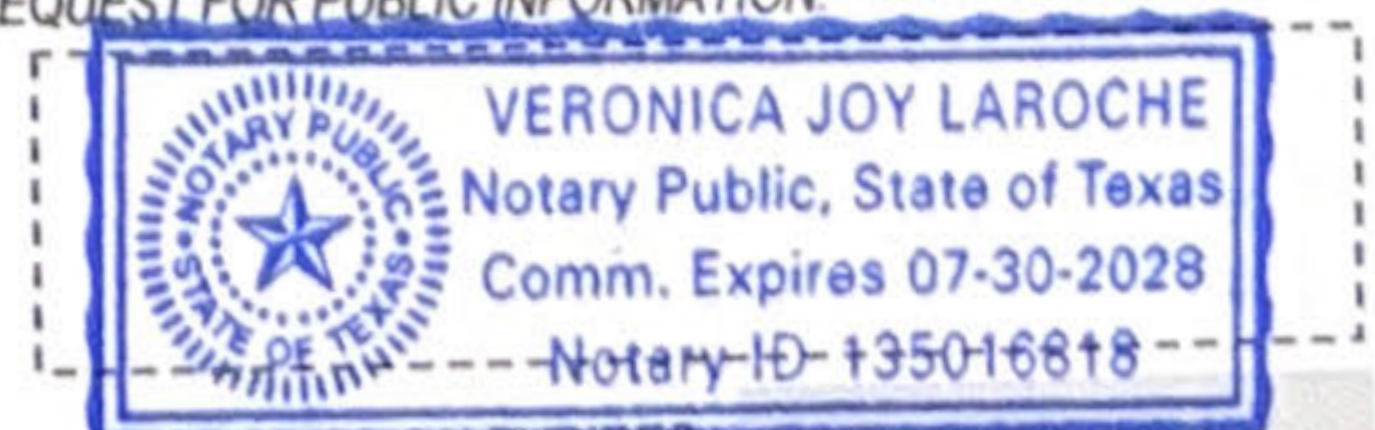
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Samuel A. Mota [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18<sup>th</sup> DAY OF January, 2026

OWNER'S SIGNATURE Samuel Mota

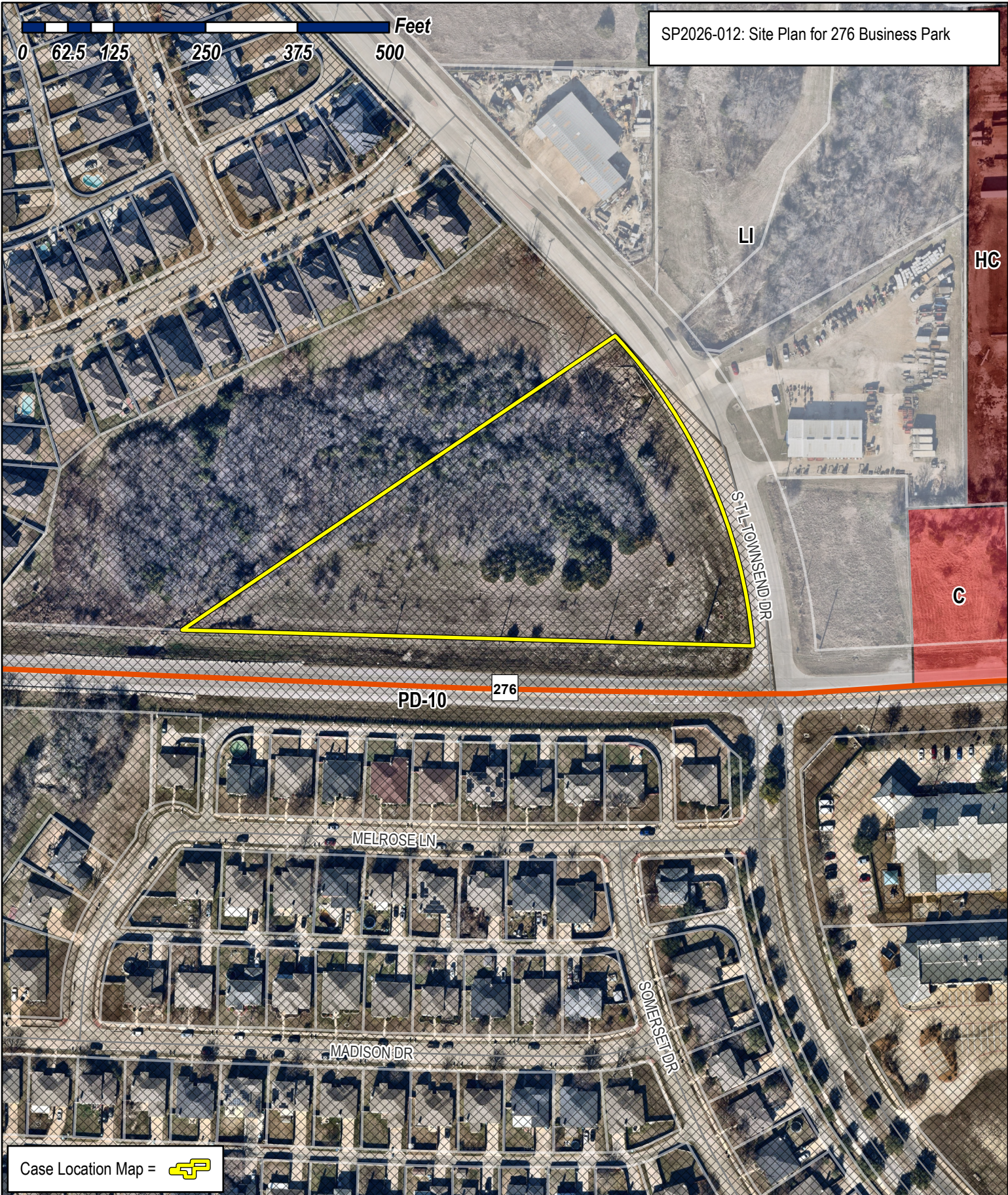
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Veronica J Laroché




MY COMMISSION EXPIRES \_\_\_\_\_

0 62.5 125 250 375 500 Feet

SP2026-012: Site Plan for 276 Business Park



Case Location Map = 

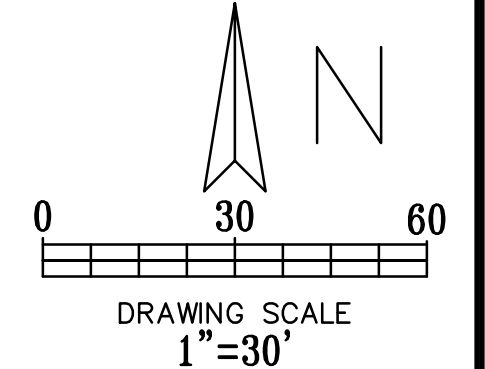


# City of Rockwall

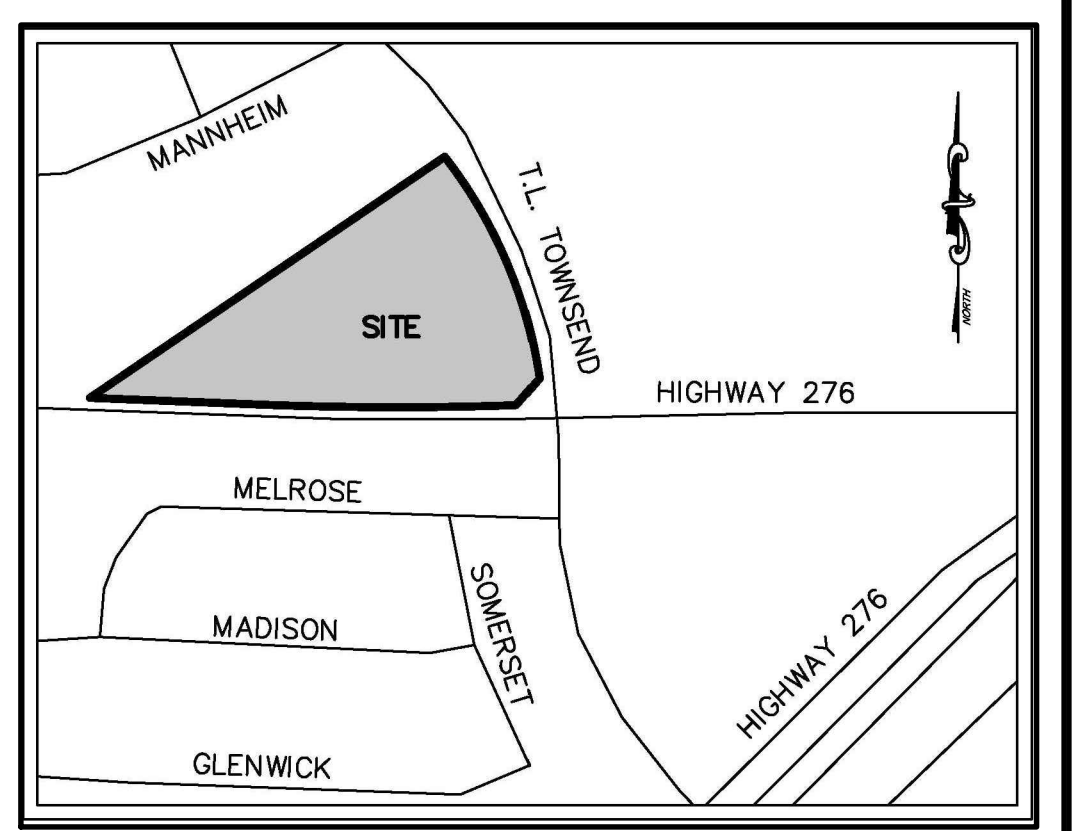
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

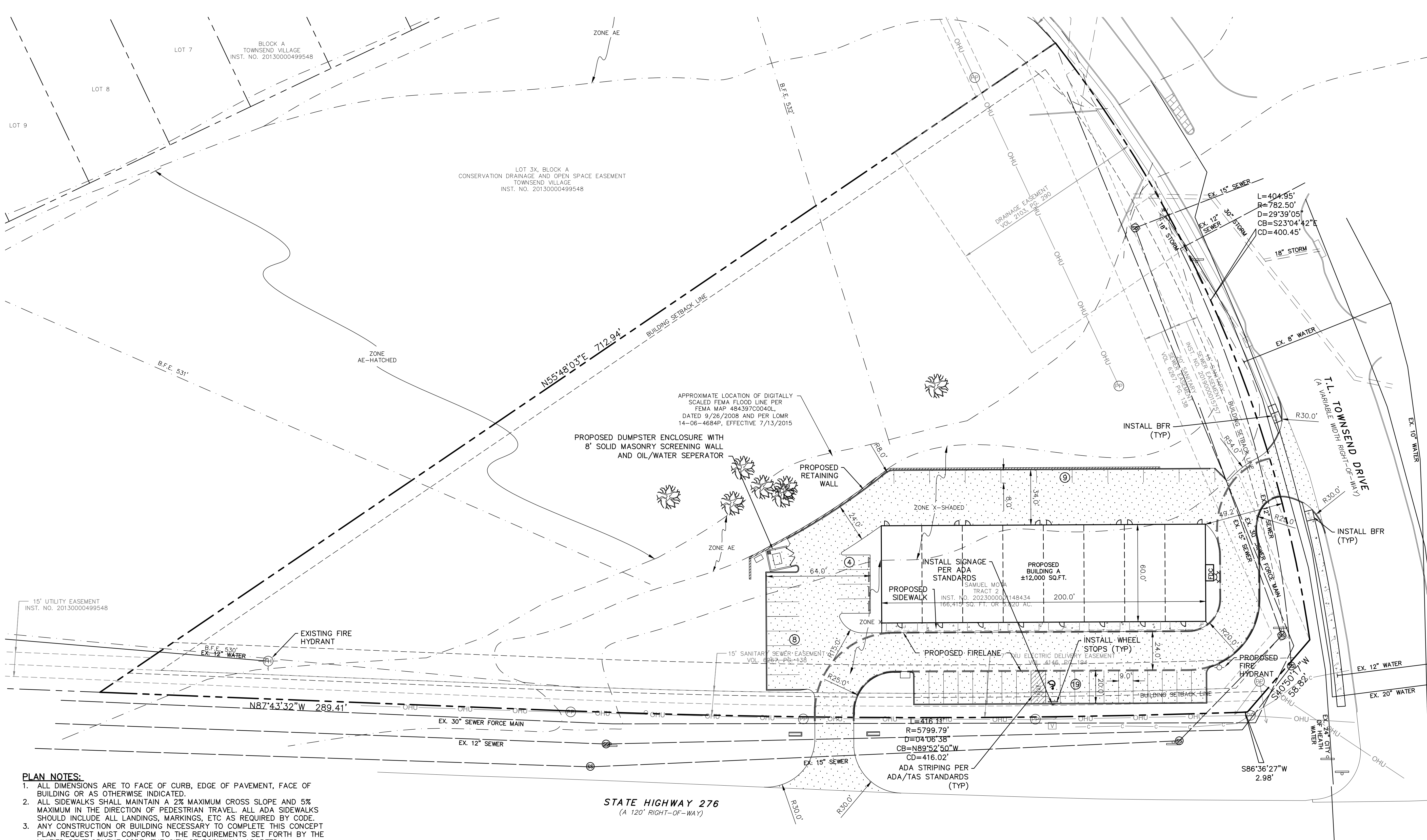




- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - PROPERTY LINE
  - 4" PROPOSED SIDEWALK 3,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS WITH COMPACTED SUBGRADE. (MINIMUM 5.5 SACK MIX)
  - 6" PROPOSED PAVEMENT 3,600 PSI REINFORCED CONCRETE PAVEMENT WITH #4 BARS AT 24" CENTERS ON 6" FLEX BASE ON 6" COMPACTED SUBGRADE SOILS. FIRELANES SHALL BE PER CITY STANDARDS (MINIMUM 6.5 SACK MIX)
  - PROPOSED ADA SPACE PER CURRENT ADA/TAS STANDARDS WITH WHEELSTOP AND ADA SIGNAGE



VICINITY MAP  
N.T.S.



- PLAN NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
  - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  - ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS CONCEPT PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE CITY OF ROCKWALL ADAPTED INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
  - THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.
  - A TYPICAL PARKING SPACE SHALL BE 9' WIDE AND 20' DEEP.
  - THE PROPERTY IS CURRENTLY UNPLATTED BUT WILL BE PLATTED AS PART OF DEVELOPMENT.
  - DETENTION AREA LOCATIONS HAVE BEEN CALLED OUT ON THIS PLAN. DETENTION OUTFALL MUST BE AT SHEET FLOW CONDITIONS WHEN STORM WATER CROSSES THE PROPERTY LINE. MANNING'S C-VALUE SHALL BE PER ZONING TYPE. DUMPSTER AREAS TO DRAIN TO OIL/WATER SEPARATOR AND THEN TO THE STORM LINES.

**III CAUTION III**  
**UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: TEXAS ONE CALL @ 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

SITE DATA TABLE	
CURRENT ZONING:	PD-10 (SH276 OVERLAY)
LAND USE:	OFFICE/RETAIL BUILDINGS
SITE ACREAGE:	3.82 ACRES (166,415 SQ FT)
TOTAL BUILDING AREA:	12,000 SQUARE FEET
OPEN SPACE:	127,528/166,415 : 76.6%
PAVED SURFACE AREA:	38,887/166,415 : 23.4%
BUILDING HEIGHT	1 STORY
PARKING REQUIRED:	
PD-10 OFFICE	40 PARKING SPACES
TOTAL (1 SPACE/300 S.F.):	40 PARKING SPACES
PARKING PROVIDED:	40 PARKING SPACES
ACCESSIBLE PARKING PROVIDED:	1 PARKING SPACES

REVISIONS		
REV. NO.	DATE	DESCRIPTION

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_

OWNER/DEVELOPER:  
MGD 276 BUSINESS PARK, LLC  
1557 TROWBRIDGE CIR.  
ROCKWALL, TEXAS 75032  
CONTACT: SAMUEL MOTA  
PH: (972) 771-1607

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 04/16/26.

FOR REVIEW ONLY. NOT FOR CONSTRUCTION

CASE: SP  
Cumulus Design Firm #14810  
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050  
Tel. 214.235.0367

**SITE PLAN**  
276 BUSINESS PARK  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
J CADLE SURVEY, ABS 0065, TRACT 2-5

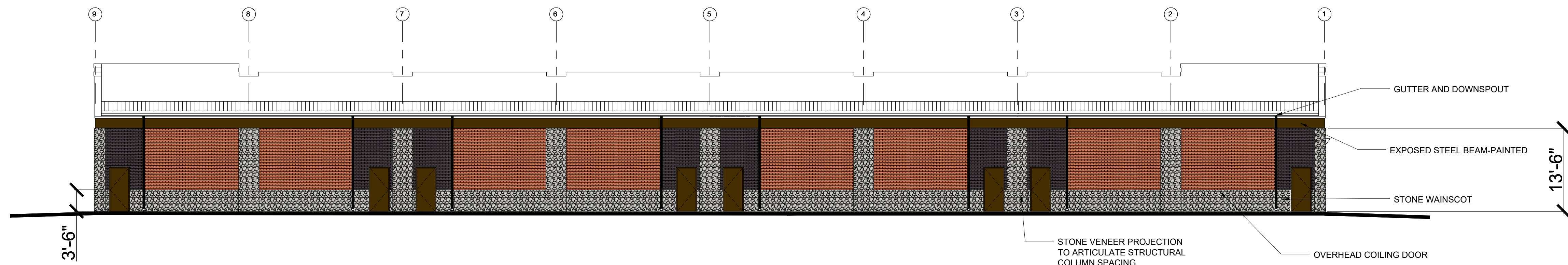
DATE	PROJECT NO	DRAWING SCALE	SHEET
4/16/26	CD25020	1" = 30'	SP



1 South Elevation - Building 1

SCALE: 3/32" = 1'-0"

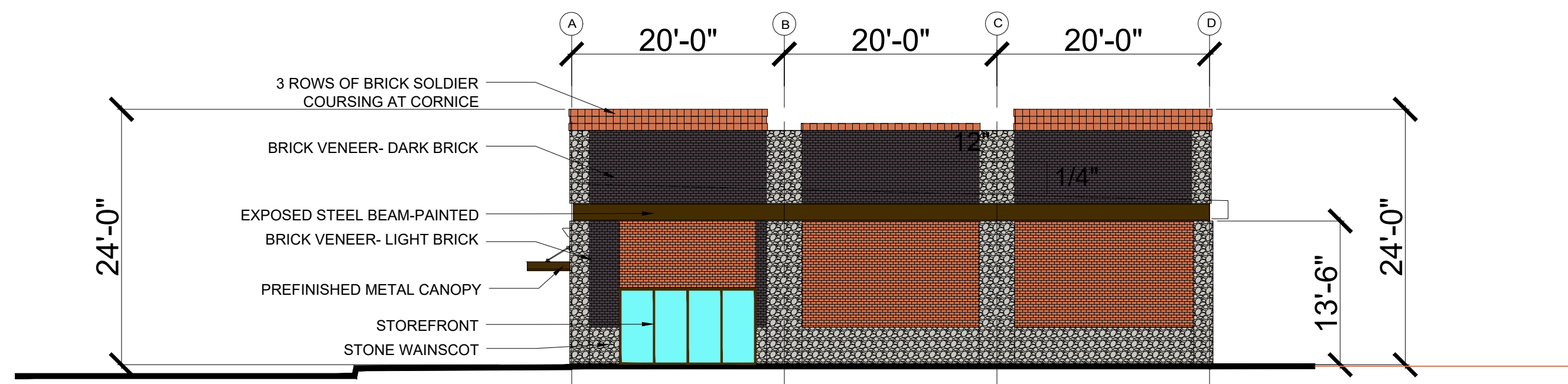
MATERIAL CALCULATIONS:  
 FACADE AREA- 4,588 SF  
 MASONRY AREA- 91%  
 NATURAL STONE AREA- 20%



2 North Elevation - Building 1

SCALE: 3/32" = 1'-0"

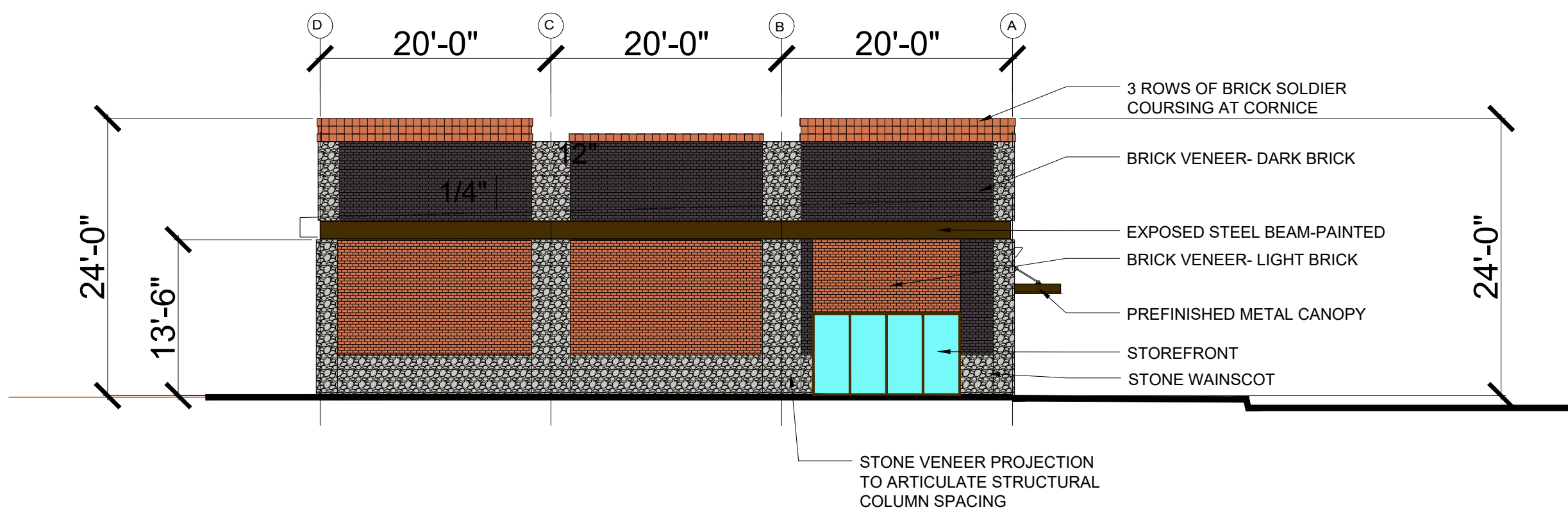
MATERIAL CALCULATIONS:  
 FACADE AREA- 3,290 SF  
 MASONRY AREA- 90%  
 NATURAL STONE AREA- 28%



3 East Elevation - Building 1

SCALE: 3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 1,415 SF  
 MASONRY AREA- 92%  
 NATURAL STONE AREA- 26%



4 West Elevation - Building 1

SCALE: 3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 1,415 SF  
 MASONRY AREA- 92%  
 NATURAL STONE AREA- 26%

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED ISSUED FOR REVIEW
C	04/17/26	REVISED ISSUED FOR REVIEW

**ISSUED FOR REVIEW**  
**NOT FOR CONSTRUCTION**  
 04/17/2026

WILLIAM TATLOCK, RA  
 2980 GOLFING GREEN CT.  
 BURLESON, TX 76028

OFFICE BUILDING  
 Highway 276 & Townsend Rockwall, TX

Project	24111
Revision	C
Date	04/17/2026
Scale	

A4.1  
 OF SHEETS

EXTERIOR COLOR PALETTE



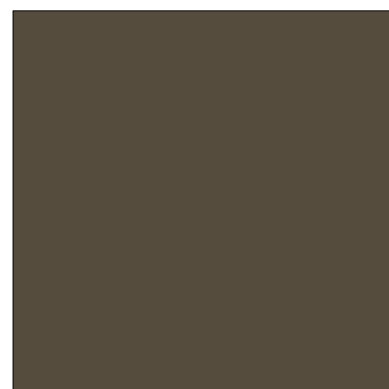
BRICK VENEER-  
"LIGHT" BRICK-  
ACME BRICK  
CLOISTURE MODULAR



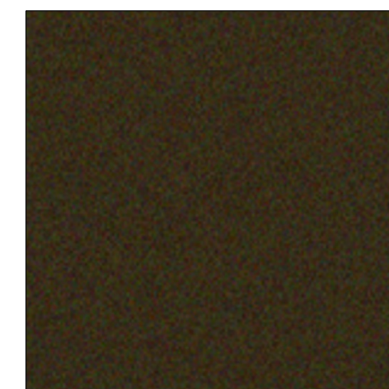
BRICK VENEER-  
"DARK" BRICK-  
ACME BRICK  
DARK INKSPOT MODULAR



STONE VENEER-  
CORONADO STONE-  
FREEDOM BUILDING STONE SERIES  
PATRIOT BLEND



METAL DOORS, CANOPY,  
STEEL BEAMS AND OVERHEAD  
COILING DOORS-  
EXTERIOR PAINT  
SHERWIN WILLIAMS  
SW7055 ENDURING BRONZE



STOREFRONT FRAMING-  
KAWNEER  
MEDIUM BRONZE

OFFICE BUILDING  
HIGHWAY 276 & TOWNSEND RD.  
ROCKWALL, TEXAS  
3/13/2026

REV	DATE	ISSUE
A	03/13/26	ISSUED FOR REVIEW

**ISSUED FOR REVIEW**  
**NOT FOR CONSTRUCTION**  
01/19/2026

WILLIAM TATLOCK, RA  
2980 GOLFING GREEN CT.  
BURLESON, TX 76028

OFFICE BUILDING  
Highway 276 & Townsend Rockwall, TX

Project 24111  
Revision A  
Date 03/13/2026  
Scale

**A4.3**  
OF SHEETS

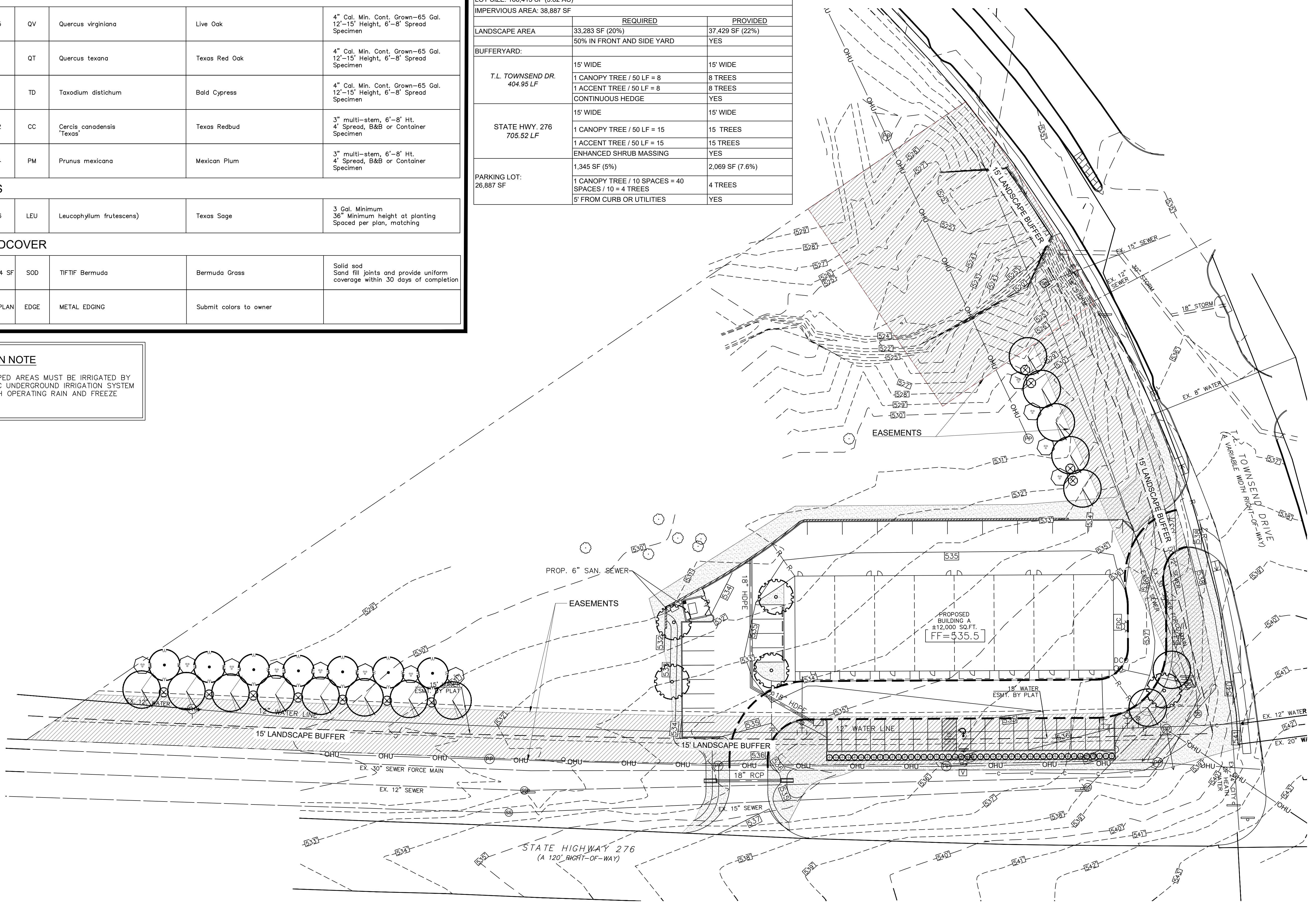
B

**KEY**

TREES					
	15	QV	Quercus virginiana	Live Oak	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	4	QT	Quercus texana	Texas Red Oak	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	7	TD	Taxodium distichum	Bald Cypress	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	12	CC	Cercis canadensis 'Texas'	Texas Redbud	3" multi-stem, 6'-8' Ht. 4' Spread, B&B or Container Specimen
	14	PM	Prunus mexicana	Mexican Plum	3" multi-stem, 6'-8' Ht. 4' Spread, B&B or Container Specimen
SHRUBS					
	46	LEU	Leucophyllum frutescens	Texas Sage	3 Gal. Minimum 36" Minimum height at planting Spaced per plan, matching
GROUNDCOVER					
	16,274 SF	SOD	TIFTIF Bermuda	Bermuda Grass	Solid sod Sand fill joints and provide uniform coverage within 30 days of completion
	PER PLAN	EDGE	METAL EDGING	Submit colors to owner	

LANDSCAPE CALCULATIONS		
LOT SIZE: 166,415 SF (3.82 AC)		
IMPERVIOUS AREA: 38,887 SF		
LANDSCAPE AREA	33,283 SF (20%)	37,429 SF (22%)
60% IN FRONT AND SIDE YARD		
BUFFERYARD:		
T.L. TOWNSEND DR. 404.95 LF	15' WIDE 1 CANOPY TREE / 50 LF = 8 1 ACCENT TREE / 50 LF = 8 CONTINUOUS HEDGE	15' WIDE 8 TREES 8 TREES YES
STATE HWY. 276 705.52 LF	15' WIDE 1 CANOPY TREE / 50 LF = 15 1 ACCENT TREE / 50 LF = 15 ENHANCED SHRUB MASSING	15' WIDE 15 TREES 15 TREES YES
PARKING LOT: 26,887 SF	1,345 SF (5%) 1 CANOPY TREE / 10 SPACES = 40 SPACES / 10 = 4 TREES 5' FROM CURB OR UTILITIES	2,069 SF (7.6%) 4 TREES YES

**IRRIGATION NOTE**  
 ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.



OLD SH 276  
 COMMERCIAL OFFICES  
 Rockwall, Texas



PROJECT NUMBER:  
 PROJECT MANAGER:  
 DRAWN BY: A. LONDON  
 CHECKED BY: A. LONDON  
 ISSUE DATE: 4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:  
**LANDSCAPE PLAN**

SHEET NO:  
**L1.00**  
 COPYRIGHT © LONDON LANDSCAPES, LLC



PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	4/17/26


REV.	DATE	DESCRIP.	BY

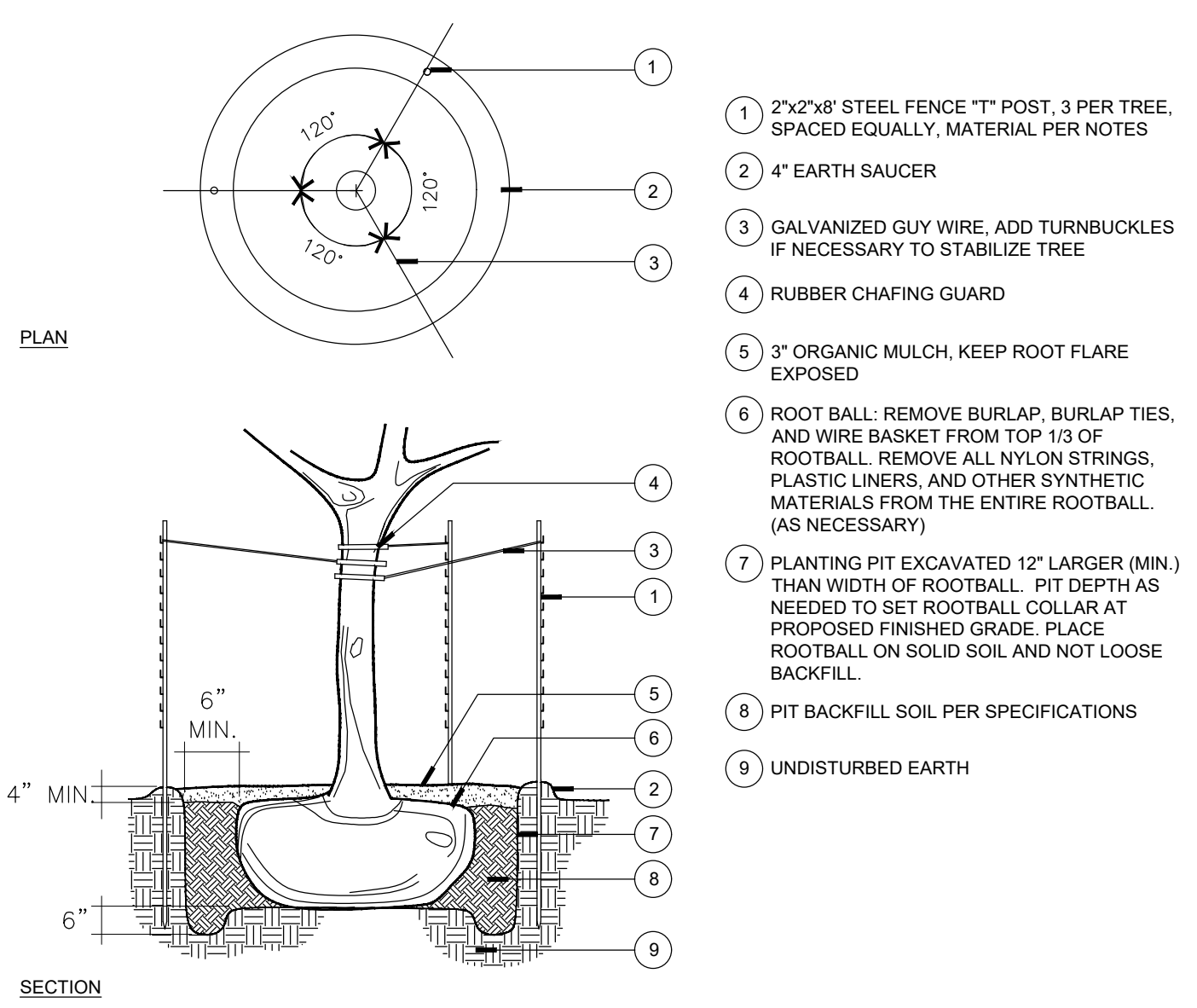
SHEET CONTENT:  
**LANDSCAPE DETAILS**

SHEET NO:  
 L1.01  
 COPYRIGHT © LONDON LANDSCAPES, LLC

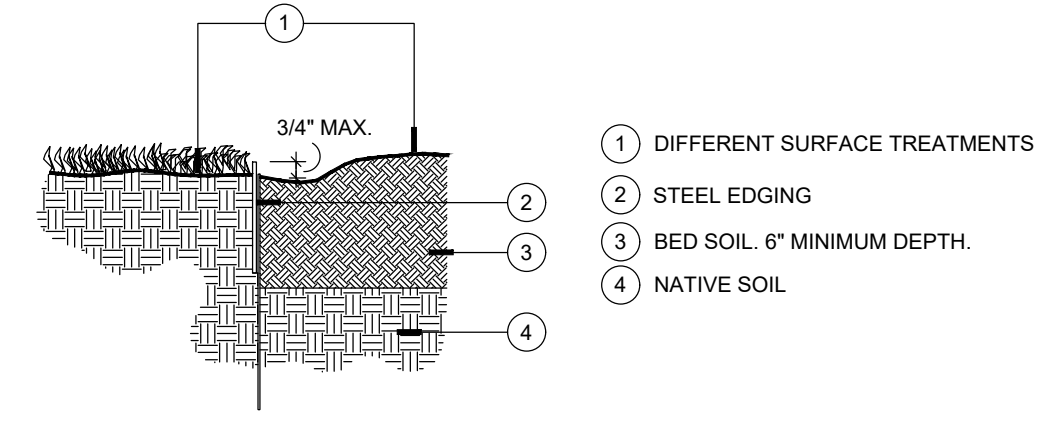
**LANDSCAPE NOTES**

- Plant material shall comply with all sizing and grading standards of the latest edition of "American Standard for Nursery Stock."
- Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
- It is the responsibility of the contractor to advise the owner's representative of any condition found on site which prohibits installation as shown on these plans.
- In the event of a discrepancy between drawings and plant schedule, the drawings shall prevail.
- Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
- No substitutions shall be made without written authorization from the project Landscape Architect or the Owner.
- Commercial Soil Mix: All planting beds shall be excavated to twelve (12") inches below finished grade by Landscape Contractor, and all debris, stone, rubbish, weeds, and topsoil shall be removed from the site. The subgrade shall then be tilled to a depth of twelve (12") inches and the planting bed shall be backfilled with soil compost mix as available from Living Earth Resources, Inc., Dallas, Texas, or approved equal. Upon replacement of topsoil with mix and after watering in, the bed should be at the specified level.
- Existing soil shall be reasonably free of stones, lumps of clay, roots and other foreign matter. Acidity to be between 5.0 and 7.0 pH.
- If rocks are encountered, remove to a depth of 4" and add 4" of friable fertile topsoil to all sodded areas. Grade according to Engineer's grading plan.
- Lawn areas shall have 4" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
- All plant beds shall be top dressed with a minimum 4" of shredded hardwood mulch.
- Provide beveled edge between all plant beds and lawn areas unless indicated differently on plans.
- Tree planting pits shall be backfilled with top soil, and cleared of all rocks, lumps of clay and other foreign material. Place 1" of compost and 4" of mulch on top of root ball.
- Methods of tree staking indicated on the drawings are for suggestion only. The landscape contractor shall use whatever method he/she deems fit, however, he/she will be held liable for any damage caused to trees due to improper staking methods (including absence of staking), and will be responsible for adjusting and/or replanting trees which are not held upright during the warranty period.
- Trees shall be planted at least 3 feet from any utility line, curb, walk or fire hydrant, and outside all utility easements.
- Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
- Trees overhanging public street pavement, drive aisles and fire lanes shall have a minimum clear trunk height of 14 feet from finish surface of street pavement.
- Trees planted on slopes shall be placed in planting pits of adequate depth such that the soil stain at the base of the trunk matches that of the average grade or slope.
- A visibility triangle must be provided at all intersections. All landscaping within visibility triangles and parking lot islands, must be maintained so that lower tree limbs are a minimum of 7' from the ground and that shrubs and ground cover are a maximum of 24" high.
- No shrubs shall be permitted within areas less than three (3) feet in width. All such areas shall be grass or other permanent fixed material such as paving.
- During the warranty period The contractor shall be jointly responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. The work shall include - but not be limited to - mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, removed, or showing more than 40% defoliation, shall be replaced with plant material of similar size and variety within thirty (30) days.
- Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
- Landscape areas shall be kept free of trash, litter and weeds.
- All signage and fencing shall be contingent upon building inspection department approval.
- An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets and walks is prohibited. A permit from the building inspection department is required for each irrigation system. Drip indicators shall be installed on all drip irrigation zones.

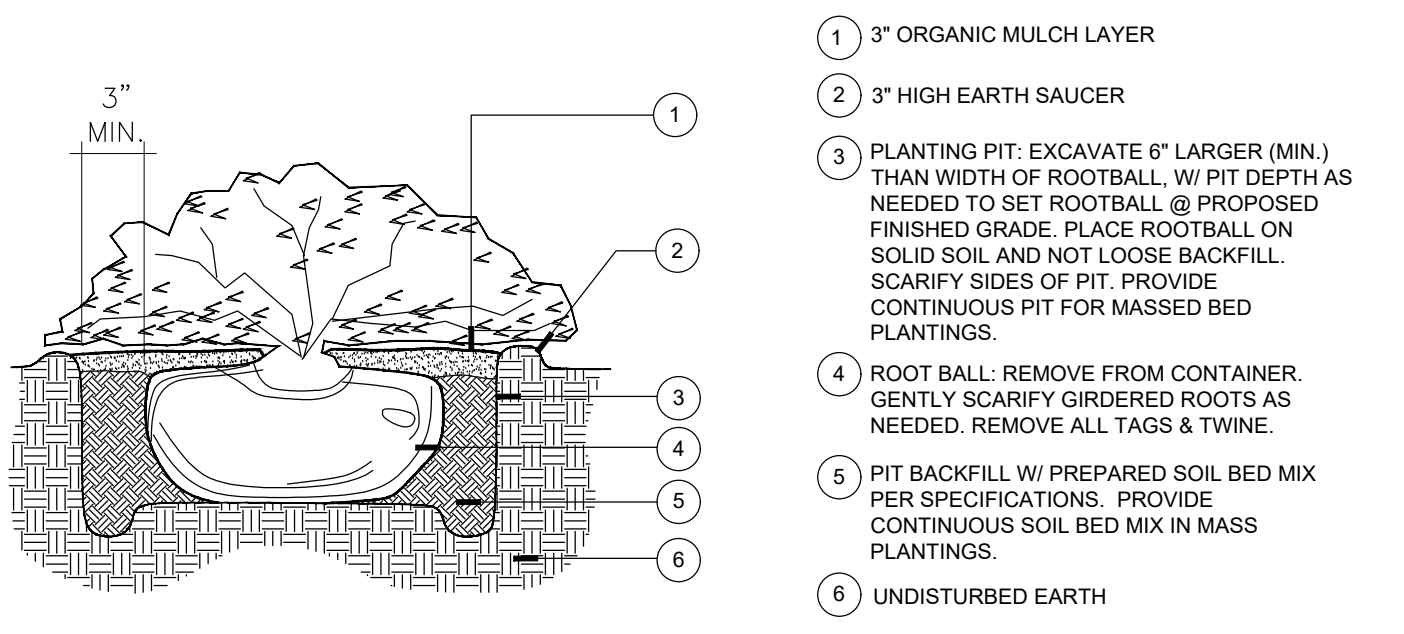
FOR PRIVATE PROPERTY USE ONLY- THESE DETAILS SHALL NOT BE USED IN THE R.O.W. OR EASEMENT AREAS.



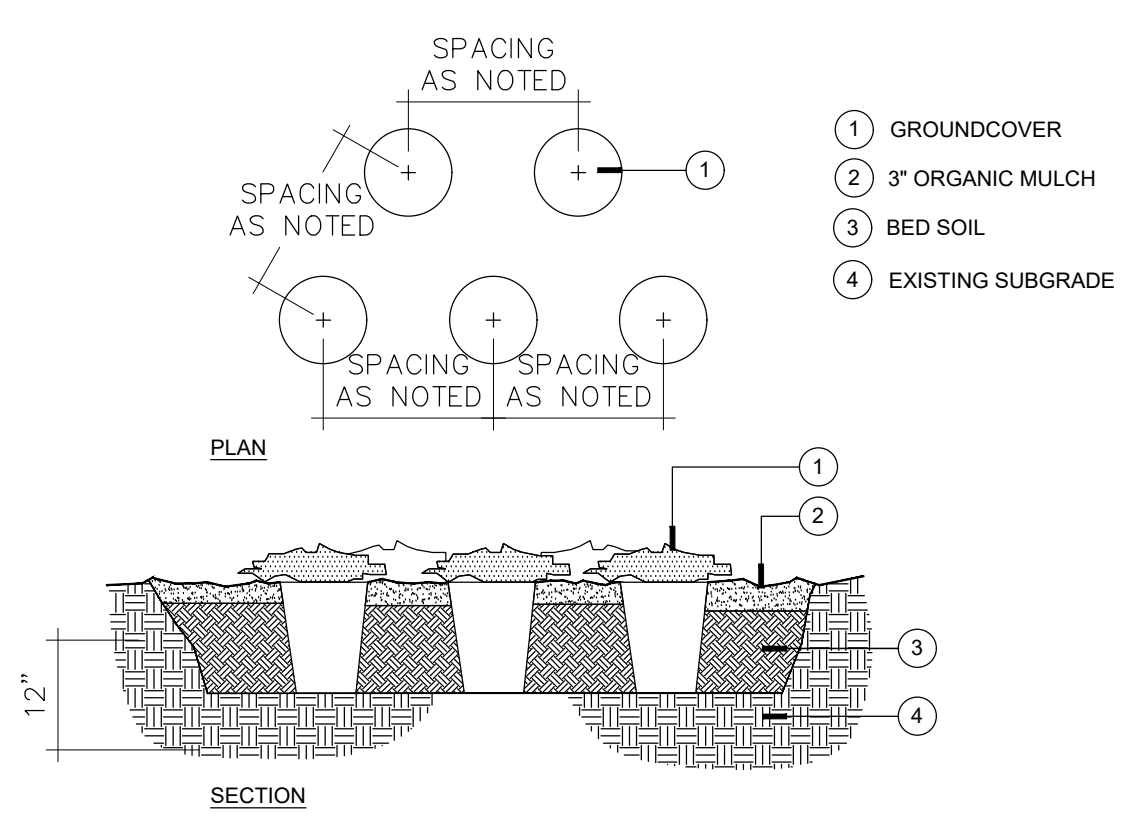
**A TREE PLANTING**  
 N.T.S.



**D STEEL EDGING**  
 N.T.S.



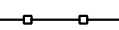


**B SHRUB PLANTING**  
 N.T.S.




**C GROUNDCOVER PLANTING**  
 N.T.S.

**LEGEND**

-  TREES TO BE REMOVED (NONE)
-  TREES TO BE PRESERVED (ALL)
-  TREE PROTECTION FENCING

**LANDSCAPE ARCHITECT/ARBORIST STATEMENT**

"I, AMY LONDON, BEING A LANDSCAPE ARCHITECT OR ARBORIST ATTEST THAT THE IDENTIFICATION AND SIZE OF TREES IDENTIFIED ON THIS SURVEY ARE CORRECT AND THAT ALL PROTECTED TREES HAVE BEEN SHOWN."

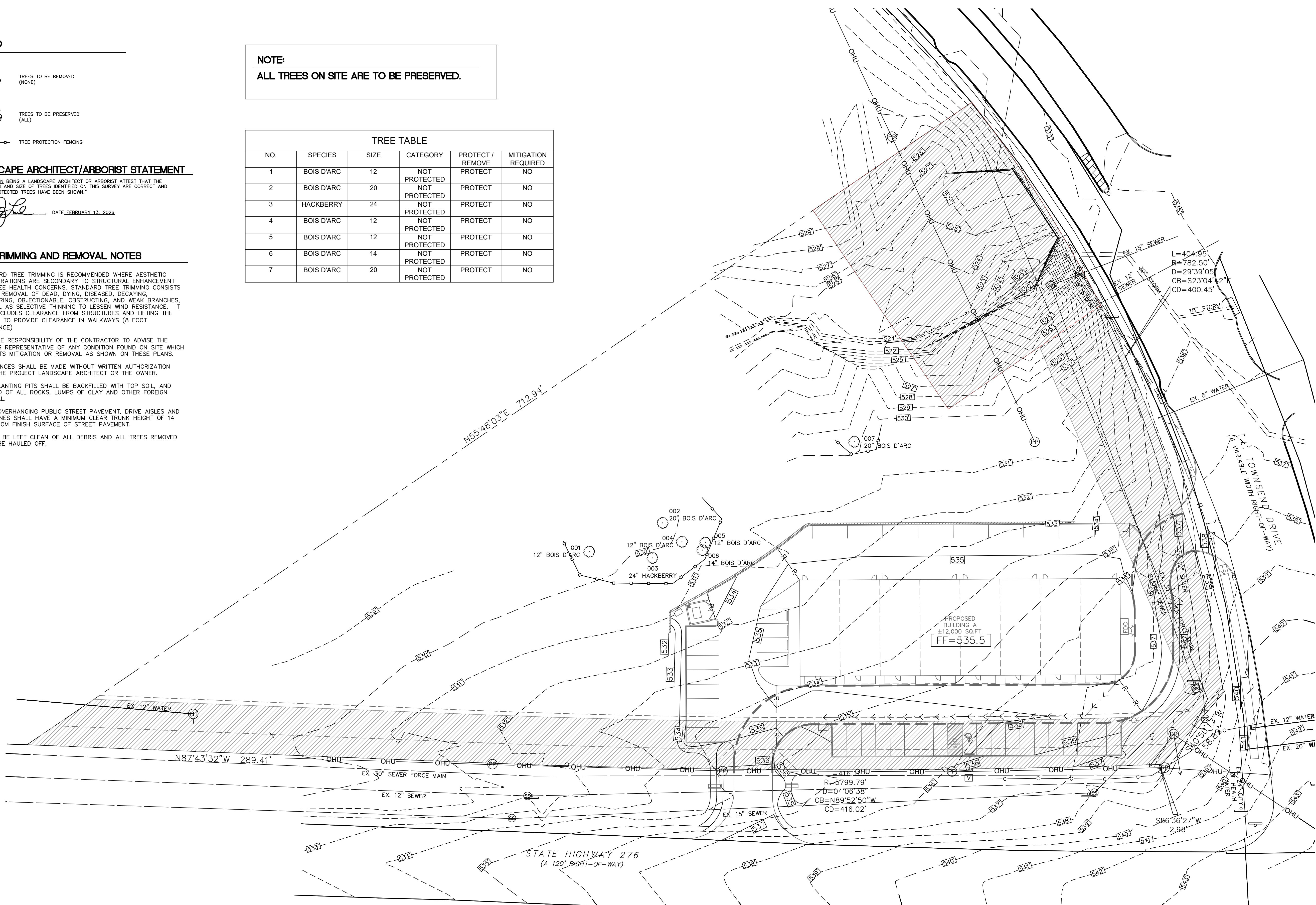
 DATE: FEBRUARY 13, 2026

**TREE TRIMMING AND REMOVAL NOTES**

1. STANDARD TREE TRIMMING IS RECOMMENDED WHERE AESTHETIC CONSIDERATIONS ARE SECONDARY TO STRUCTURAL ENHANCEMENT AND TREE HEALTH CONCERNS. STANDARD TREE TRIMMING CONSISTS OF THE REMOVAL OF DEAD, DYING, DISEASED, DECAYING, INTERFERING, OBJECTIONABLE, OBSTRUCTING, AND WEAK BRANCHES, AS WELL AS SELECTIVE THINNING TO LESSEN WIND RESISTANCE. IT ALSO INCLUDES CLEARANCE FROM STRUCTURES AND LIFTING THE CANOPY TO PROVIDE CLEARANCE IN WALKWAYS (8 FOOT CLEARANCE)
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS MITIGATION OR REMOVAL AS SHOWN ON THESE PLANS.
3. NO CHANGES SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE PROJECT LANDSCAPE ARCHITECT OR THE OWNER.
4. TREE PLANTING PITS SHALL BE BACKFILLED WITH TOP SOIL, AND CLEARED OF ALL ROCKS, LUMPS OF CLAY AND OTHER FOREIGN MATERIAL.
5. TREES OVERHANGING PUBLIC STREET PAVEMENT, DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET FROM FINISH SURFACE OF STREET PAVEMENT.
6. SITE TO BE LEFT CLEAN OF ALL DEBRIS AND ALL TREES REMOVED SHALL BE HAULED OFF.

**NOTE:**  
ALL TREES ON SITE ARE TO BE PRESERVED.

TREE TABLE					
NO.	SPECIES	SIZE	CATEGORY	PROTECT / REMOVE	MITIGATION REQUIRED
1	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
2	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO
3	HACKBERRY	24	NOT PROTECTED	PROTECT	NO
4	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
5	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
6	BOIS D'ARC	14	NOT PROTECTED	PROTECT	NO
7	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO



OLD SH 276  
COMMERCIAL OFFICES  
Rockwall, Texas



PROJECT NUMBER:  
PROJECT MANAGER:  
DRAWN BY: A. LONDON  
CHECKED BY: A. LONDON  
ISSUE DATE: 4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:

**TREESCAPE PLAN**

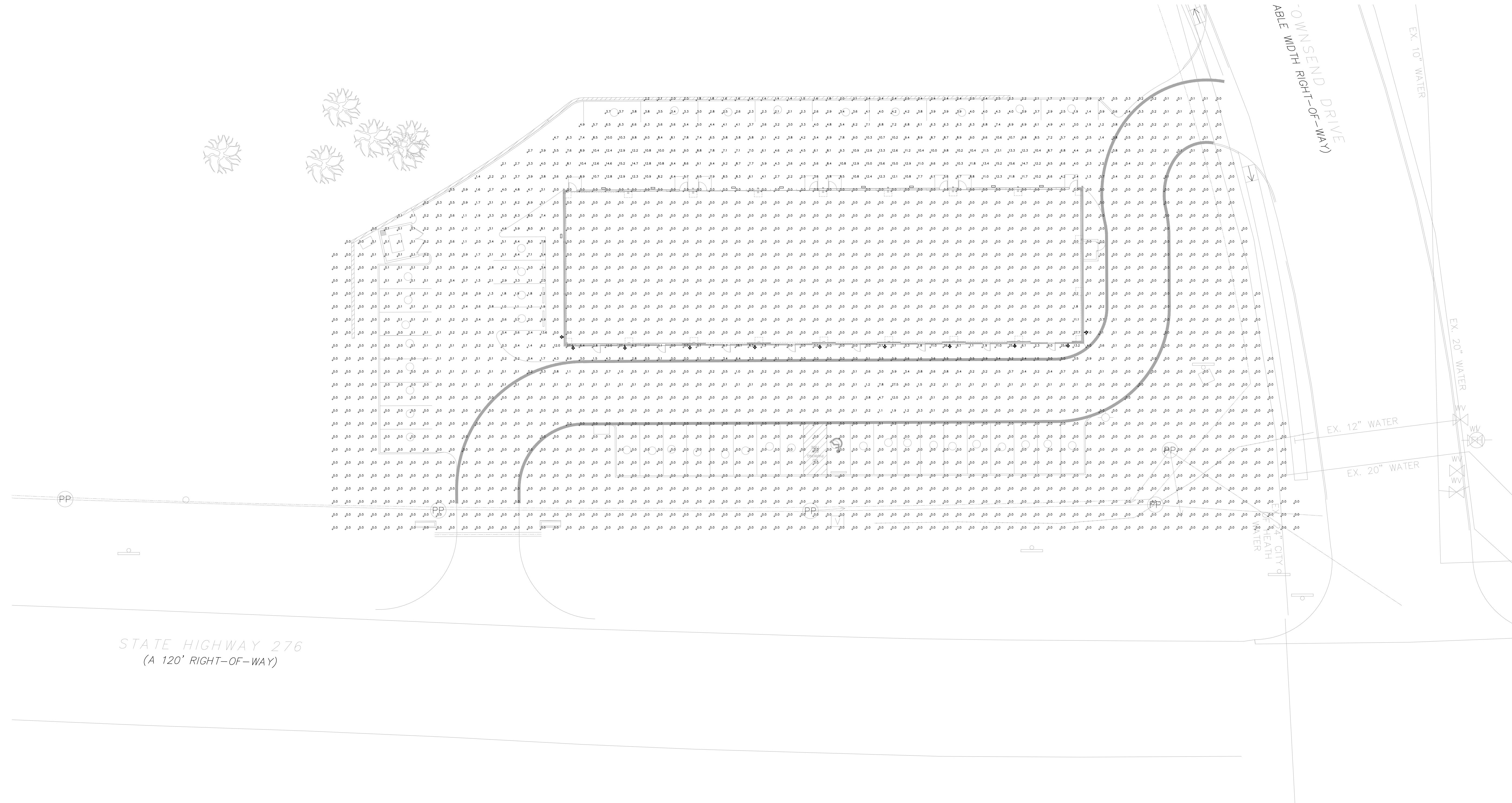
SHEET NO: TR1.00

## EXTERIOR LIGHTING FIXTURE SCHEDULE

FIXTURE	FIXTURE DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMP TYPE & COLOR TEMP	FIXTURE VOLTS	FIXTURE WATTS	FIXTURE QUANTITY	FIXTURE NOTES:
S1	NEW DECORATIVE SCONCE	LITHONIA VMCL6-P1-SWW2-A45-MVOLT-PE-E4WC-DDBXD-M4	LED 4000K	120V	31 W	16	PROVIDE TIMER IN FIRE RISER ROOM.
W1	NEW WALL PACK	LITHONIA TWH-LED-40K-T3M-MVOLT-PE BRONZE, PHOTOCCELL	LED 4000K	120V	78 W	9	PROVIDE PHOTOCCELL FIXED TO FIXTURE

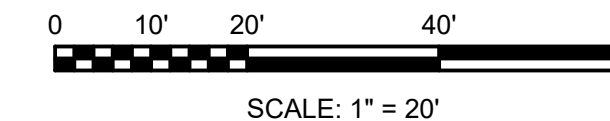
### GENERAL NOTES

- PHOTOMETRIC PLANS.



**1** ELECTRICAL PHOTOMETRICS PLAN

SCALE: 1" = 20'



REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED FOR REVIEW
C	03/13/26	REVISED FOR REVIEW
D	04/16/26	ISSUED FOR PERMIT

**ISSUED FOR PERMIT  
AND CONSTRUCTION**  
04/16/2026

HEC GROUP  
15749 SEAROLT P.L.C.  
ADDISON, TX 75001



OFFICE BUILDING  
ELECTRICAL PHOTOMETRICS  
HIGHWAY 276 & OWENSEND  
ROCKWALL, TX 75082

Project	26104
Revision	D
Date	04/16/2026
Scale	N.T.S.

**E0.4**  
OF SHEETS

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/23/2026

PROJECT NUMBER: SP2026-012  
PROJECT NAME: Site Plan for 276 Business Park  
SITE ADDRESS/LOCATIONS: 1375 STATE HIGHWAY 276, ROCKWALL, TX 75032

CASE CAPTION: Discuss and consider a request by Paul Cragun of Cumulus Design on behalf of Sam Mota of MGD 276 Business Park, LLC for the approval of a Site Plan for Commercial/Office Building on a 3.8-acre tract of land identified as Tract 2-5 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for General Retail (GR) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Old SH-276 and T. L. Townsend Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/23/2026	Approved w/ Comments

04/23/2026: SP2026-012; Site Plan for 276 Business Park

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Paul Cragun of Cumulus Design on behalf of Sam Mota of MGD 276 Business Park, LLC for the approval of a Site Plan for Commercial/Office Building on a 3.8-acre tract of land identified as Tract 2-5 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for General Retail (GR) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, and located at the northwest corner of the intersection of Old SH-276 and T. L. Townsend Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (SP2026-012) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.5 Provide the following signature block on each page of all plans. (Subsection 03.04.A, of Article 11, UDC)

#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

#### M.6 Site Plan

- 1) Indicate all perimeter dimensions of the site. (Subsection 03.04.B, of Article 11, UDC)
- 2) Indicate perimeter dimensions of the building (Subsection 03.04.B, of Article 11, UDC)

- 3) Indicate distances between the building and property lines. (Subsection 0.04.B, Article 11, UDC)
- 4) All overhead utilities shall be placed underground. (Subsection 06.02.H, Article 05, UDC)
- 5) A five (5)-foot sidewalk will be required along T.L. Townsend Drive and an eight (8) foot trail is required along SH-276. (Subsection 03.04.B, of Article 11, UDC)
- 6) Indicate the street centerline and any median breaks for both T.L. Townsend Drive and SH-276. (Subsection 03.04(B), Article 11, UDC)
- 7) Parallel Parking. Each parking space shall not be less than nine (9) feet in width and 22-feet in length. Maneuvering space will not be less than 24-feet. (Section 2.20(C)4, City of Rockwall Engineering Standards of Design and Construction)
- 8) General Retail uses require 1 parking space per 250 SF of building area. Please revise parking table.  $12,000/250 = 48$  parking spaces. (Subsection 0.01, Article 6, UDC)
- 9) Two (2) Handicap spaces are required for a total of 26-50 parking spaces. (Subsection 05.04(A), Article 06, UDC)
- 10) The parking on the west side of the building cannot extend past the front façade of the building. (Subsection 06.02(D), Article 05, UDC)

#### M.7 Landscape Plan

- 1) The Landscape buffer required along SH-276 and T.L. Townsend is 15-feet. Parking is not permitted in the Landscape Buffer and the landscape buffer must be outside the utility easements required along 276 and TL townsend. (Subsection 06.02.E, Article 05, UDC)
- 2) All landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.
- 3) Abutting Residential. A minimum of a 20-foot wide landscape buffer shall be required along the entire length of any nonresidential lot that abuts a residentially zoned or used property. (Subsection 05.01 (B)2, Article 08, UDC)
- 4) Any non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers. Any non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers. As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees) along the entire length of the adjacency. The canopy trees shall be placed on 20-foot centers. (Subsection 05.02(B), Article 08, UDC)
- 5) All shrubs shall be a minimum of five (5) gallon in size. (Subsection 06.02(E)2, Article 05, UDC) Revise landscape table.
- 6) All parking spaces shall be within 80 feet of a canopy tree (Subsection 05.03(E), Article 08, UDC)
- 7) Identify visibility triangles for all driveway intersections and public streets. (Subsection 01.08, Article 05, UDC)
- 8) Provide a note indicating that irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08, UDC)
- 9) Dumpster enclosures require to be screened by 5-gallon evergreen shrubs. (Subsection 01.05(B), Article 05, UDC)
- 10) If there is any pad-mounted utility equipment, it will need to be screened by 5-gallon evergreen shrubs. (Subsection 01.05(C), of Article 05, UDC)
- 11) Detention basins shall be landscaped in a natural manner using ground cover, grasses, shrubs, berms, and accent and canopy trees. There shall be a minimum of one (1) Canopy Tree per 750 SF and one (1) Accent Tree per 1,500 SF of detention area. (Subsection 05.03(D), Article 08, UDC)

#### M.8 Building Elevations

- 1) Indicate the elevations that are adjacent to T.L. Townsend and SH-276.
- 2) Building does not meet four (4)-sided architecture requirements. Specifically, the following articulation is required for all four sides of the building:
  1. Wall Length cannot exceed 72 feet
  2. Minimum Secondary Entryway/Architectural Element Length is 18 feet
  3. The Minimum Wall Projection is 6.5 feet
  4. The Minimum Primary Entryway/Architectural Element is 36 feet
  5. The Minimum Projection height is 6.5 feet
  6. The Minimum Primary Entryway/Architectural length is 13.5 feet

This will require a variance from the Planning and Zoning Commission. (Subsection 06.02.C.5, of Article 05, UDC)

- 3) Parapets shall be extended back and finished on the backside, same as front. (Subsection 05.01.A.2, Article 05, UDC)
- 4) Indicate the parapet height. Parapets are required on all four sides of the building and will need to be shown that they will screen any RTUs on the building. (Subsection 01.05 (C), Article 05, UDC)
- 5) Provide a note indicating a self-latching gate on the dumpster. (Subsection 01.05.B, of Article 05, UDC)
- 6) The use of manufactured stone is a variance to the overlay district standards. (Subsection 06.02.C.a.1, of Article 05, UDC)

M.9 Photometric Plan

- 1) The allowable maximum light intensity measured at the property line of a non-residential property is 0.2 FC of one footcandle. (Subsection 03.03.C, of Article 07, UDC) Provide the FC readings at the northern property line.
- 2) Under canopy lighting shall not exceed 35 FC. (Subsection 03.03.E.1, of Article 07, UDC)
- 3) The maximum outdoor maintained computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site with the exception of the under-canopy lighting as mentioned earlier. (Subsection 03.03.G, Article 07, UDC)
- 4) The maximum mounting height for lighting shall be 20 feet in the SH-276 Overlay District (Subsection 06.02.G, Article 05, UDC) Please indicate mounting height for all lighting.
- 5) Any unshielded light sources shall have a maximum wattage of 15 W. (Subsection 03.03.A, of Article 07, UDC)
- 6) Provide lighting cutsheets for all proposed light fixtures. (Subsection 03.03, Article 07, UDC)

M.10 Staff has identified the following variance(s) associated with the proposed request: [1] Four (4)-sided Architecture, [2] Primary Articulation, [3] natural stone, [4] landscape buffer along T.L. Townsend, [5] landscape buffer along SH-276, [6] trees/plantings/berm within the landscape buffers, [7] residential adjacency standards, and [8] more than one row of parking between the primary building façade and the right-of-way. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

M.11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on May 5, 2026 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on April 28, 2026.
- (2) Planning & Zoning meeting/public hearing meeting will be held on May 12, 2026.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	04/23/2026	Approved w/ Comments

- 04/23/2026:
1. Site plan is required to show ex. and proposed water, sanitary sewer, and approximate location of detention
  2. If the dumpster enclosure along a retaining wall, retaining wall will have to be designed for th force of a fully loaded trash truck and the force exerted when forcefully placing dumpster down.
  3. No building, filling, or excavation in a flood plain unless a flood study have been approved by the City and a LOMR submitted and approved by FEMA
  4. Parallel parking is 9'x22'
  5. No landscape plantings or landscape berms will be allowed within these easements, you may need more room here to meet your landscape requirements.
  6. 425' spacing per TXDOT or TXDOT variance required
  7. No trees allowed within 10' of any public utility 10" in size or greater. No trees allowed here

General Items:

General Items:

- Must meet City 2023 Standards of Design and Construction.

- Minimum easement width is 20' for new easements.
- No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- All utilities must be underground. All overhead power lines will need to be buried.
- The property must be platted.
- No structures or fences within easements or ROW.
- No signage is allowed within easements or ROW.
- All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
- A TXDOT Permit will be required for all utility, drainage, and pavement improvements within TXDOT ROW.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering.
- Dumpsters should be orientated so that a trash truck can maneuver the property with the least amount of circling required. May not directly face a roadway.

#### Drainage Items:

- Existing flow patterns must be maintained. Drainage may not be increased towards any direction.
- Detention must be provided for the entire site.
- Per the City's Engineering Standards of Design and Construction, Section 3.04.02 (c), detention is required and a flood study performed from this site to Horizon Road. There may not be any adverse impacts upstream or down stream, with 0.00' rise on any other properties.
- Detention is not allowed within the floodplain at all.
- Per the City's Engineering Standards of Design and Construction, see section 3.02, Detention calculations are based on zoning, not land use area. Only area of site that may use undeveloped values in post construction calculations is the floodplain area. All land out of the floodplain must be calculated at the zoning value.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at the free-board elevation.
- Detention ponds must provide an emergency spillway.
- Detention ponds must be in a drainage easement located at the freeboard elevation.
- Detention ponds must be irrigated.
- Must match the existing flow conditions for the detention outfall or an off-site easement is required.
- No vertical walls are allowed in detention easement.
- No public water or sanitary sewer are allowed in detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area or floodplain area. Minimum 2' above 100-year WSEL.
- 100-year WSEL must be called out for detention ponds and floodplain areas.
- Flood Study is required to define all fully developed 100-yr floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
- Any fill within FEMA floodplain must require a LOMR.
- Floodplain and erosion hazard setback must be within a drainage easement.
- Finished floor elevation must be a minimum of 2' above the floodplain.
- Must get a Wetlands/WOTUS study for all ponds and wetland areas.
- All Dumpster areas shall drain to an oil/water separator and then into the storm system.
- Driveway culverts must be engineer designed.

#### Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- There is an existing 12" water main stub located on the southwest side and southeast of the property available for use.
- Developer will need to install a 12" water main between the 2 existing water main stubs along SH 276 per the City's Master Water Plan per the City's Engineering Standards of

Design and Construction, Section 5.01.. A minimum 20' easement will need to be dedicated.

- There is an existing 15" sewer main located along SH 276 and TL Townsend available for use.
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- Any utility connection made underneath of an existing City roadway must be completed by dry bore. Opening cutting will not be allowed.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. No structures or berms allowed in easements.
- All public utilities must be centered in easement.
- Water to be 10' separated from storm and sewer lines.
- All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
- Pro-ratas may apply. \$1,924.04/ac sewer pro-rata at minimum
- Infrastructure study maybe required depending on use. Review fees apply.

#### Paving Items:

- A TXDOT Permit will be required for all utility, drainage, and pavement improvements within TXDOT ROW.
- All driveways must meet City and TXDOT spacing requirements. Per TxDOT driveway requirements, driveways are a minimum 425' from one another or roadway intersections.
- All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed with without a City approved turnaround area, 15'x64' striped and signed no parking area.
- All drive isles to be a minimum of 24' wide.
- All streets and parking to be minimum 1-ft above the 100 YR floodplain WSEL.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.
- Culverts (if needed) for driveways will need to be engineered.
- Must meet driveway width maximum and minimum.
- All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.

#### Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that the utility line is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that the utility line is less than 10".
- No landscape berms shall be located on top of City utilities or within easements.

#### Operation & Maintenance Plan for Structural Control Measures:

The owner or operator of any new development or redeveloped site must develop and implement an Operation and Maintenance Plan (O&M Plan) addressing the maintenance requirements for all structural stormwater control measures installed on site, including but not limited to detention ponds and retention ponds.

The O&M Plan must be submitted to the City for recordkeeping purposes at the time of Engineering. To ensure long-term maintenance regardless of ownership changes, the owner or operator must provide proof that the O&M Plan has been incorporated into the property deed restrictions or Homeowners Association (HOA) covenants, as applicable.

The site owner or operator must maintain the O&M Plan on-site along with documentation of all maintenance activities performed. These records must be made available for review by the City of Rockwall or TCEQ within 24 hours of request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	04/23/2026	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2026	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/20/2026	Approved w/ Comments

04/20/2026: Assigned address is 1375 STATE HIGHWAY 276, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/20/2026	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/20/2026	Approved w/ Comments

04/20/2026: Tree mitigation required  
 Landscape buffer cannot be in utility easement  
 All parking spaces must be within 80' of a tree canopy  
 Identify detention pond landscaping and trees

- General Items:**
- Must meet City 2023 Standards of Design and Construction.
  - Minimum easement width is 20' for new easements.
  - No structures including walls allowed in easements.
  - Retaining walls 3' and over must be engineered.
  - All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
  - All utilities must be underground. All overhead power lines will need to be buried.
  - The property must be platted.
  - No structures or fences within easements or ROW.
  - No signage is allowed within easements or ROW.
  - All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
  - A TXDOT Permit will be required for all utility, drainage, and pavement improvements within TXDOT ROW.
  - Need to show existing and proposed utilities on the Site Plan.
  - Additional comments may be provided at time of Site Plan and Engineering.
  - Dumpsters should be orientated so that a trash truck can maneuver the property with the least amount of circling required. May not directly face a roadway.

- Drainage Items:**
- Existing flow patterns must be maintained. Drainage may not be increased towards any direction.
  - Detention must be provided for the entire site.
  - Per the City's Engineering Standards of Design and Construction, Section 3.04.02 (c), detention is required and a flood study performed from this site to Horizon Road. There may not be any adverse impacts upstream or down stream, with 0.00' rise on any other properties.
  - Detention is not allowed within the floodplain at all.
  - Per the City's Engineering Standards of Design and Construction, see section 3.02. Detention calculations are based on zoning, not land use area. Only area of site that may use undeveloped values in post construction calculations is the floodplain area. All land out of the floodplain must be calculated at the zoning value.
  - Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
  - Detention easement required at the free-board elevation.
  - Detention ponds must provide an emergency spillway.
  - Detention ponds must be in a drainage easement located at the freeboard elevation.
  - Detention ponds must be irrigated.
  - Must match the existing flow conditions for the detention outfall or an off-site easement is required.
  - No vertical walls are allowed in detention easement.
  - No public water or sanitary sewer are allowed in detention easement.
  - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
  - No grate inlets allowed.
  - FFE for all buildings must be called out when adjacent to a detention area or floodplain area. Minimum 2' above 100-year WSEL.
  - 100-year WSEL must be called out for detention ponds and floodplain areas.
  - Flood Study is required to define all fully developed 100-yr floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
  - Any fill within FEMA floodplain must require a LOMR.
  - Floodplain and erosion hazard setback must be within a drainage easement.
  - Finished floor elevation must be a minimum of 2' above the floodplain.
  - Must get a Wetlands/WOTUS study for all ponds and wetland areas.
  - All Dumpster areas shall drain to an oil/water separator and then into the storm system.
  - Driveway culverts must be engineer designed.

- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
  - Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
  - There is an existing 12" water main stub located on the southwest side and southeast of the property available for use.
  - Developer will need to install a 12" water main between the 2 existing water main stubs along SH 276 per the City's Master Water Plan per the City's Engineering Standards of Design and Construction, Section 5.01.. A minimum 20' easement will need to be dedicated.
  - There is an existing 15" sewer main located along SH 276 and TL Townsend available for use.
  - Public sewer to be 8" minimum.
  - Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
  - Any utility connection made underneath of an existing City roadway must be completed by dry bore. Opening cutting will not be allowed.
  - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
  - Min 20' utility easements. No structures or berms allowed in easements.
  - All public utilities must be centered in easement.
  - Water to be 10' separated from storm and sewer lines.
  - All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
  - Pro-ratas may apply. \$1,924.04/ac sewer pro-rata at minimum
  - Infrastructure study maybe required depending on use. Review fees apply.

- Paving Items:**
- A TXDOT Permit will be required for all utility, drainage, and pavement improvements within TXDOT ROW.
  - All driveways must meet City and TXDOT spacing requirements. Per TXDOT driveway requirements, driveways are a minimum 425' from one another or roadway intersections.
  - All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed in any area.
  - All Parking to be 20'x9' minimum.
  - No dead-end parking allowed without a City approved turnaround area, 15'x64' striped and signed no parking area.
  - All drive aisles to be a minimum of 24' wide.
  - All streets and parking to be minimum 1-ft above the 100 YR floodplain WSEL.
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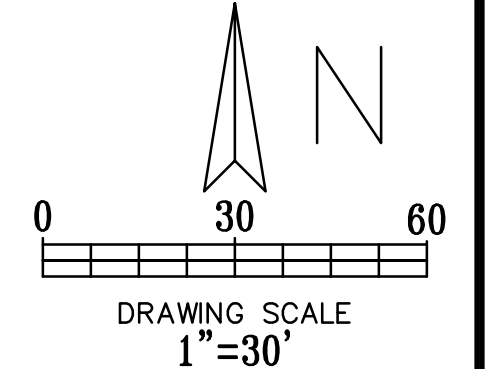
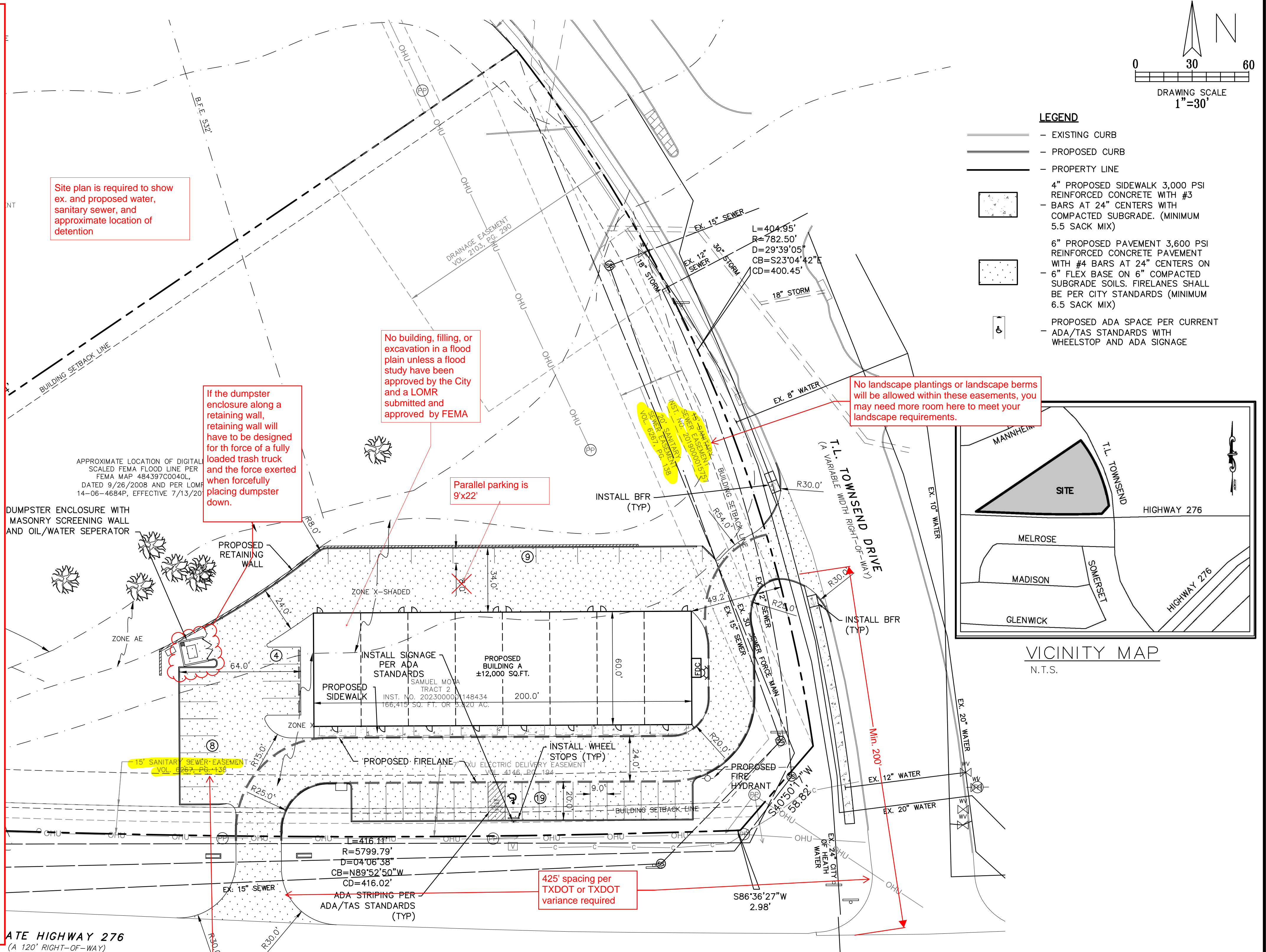
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- The site owner or operator must maintain the O&M Plan on-site along with documentation of all maintenance activities performed. These records must be made available for review by the City of Rockwall or TCEQ within 24 hours of request.

WATER CROSSES THE PROPERTY LINE. MANNING'S C-VALUE SHALL BE PER ZONING TYPE. DUMPSTER AREAS TO DRAIN TO OIL/WATER SEPARATOR AND THEN TO THE STORM LINES.

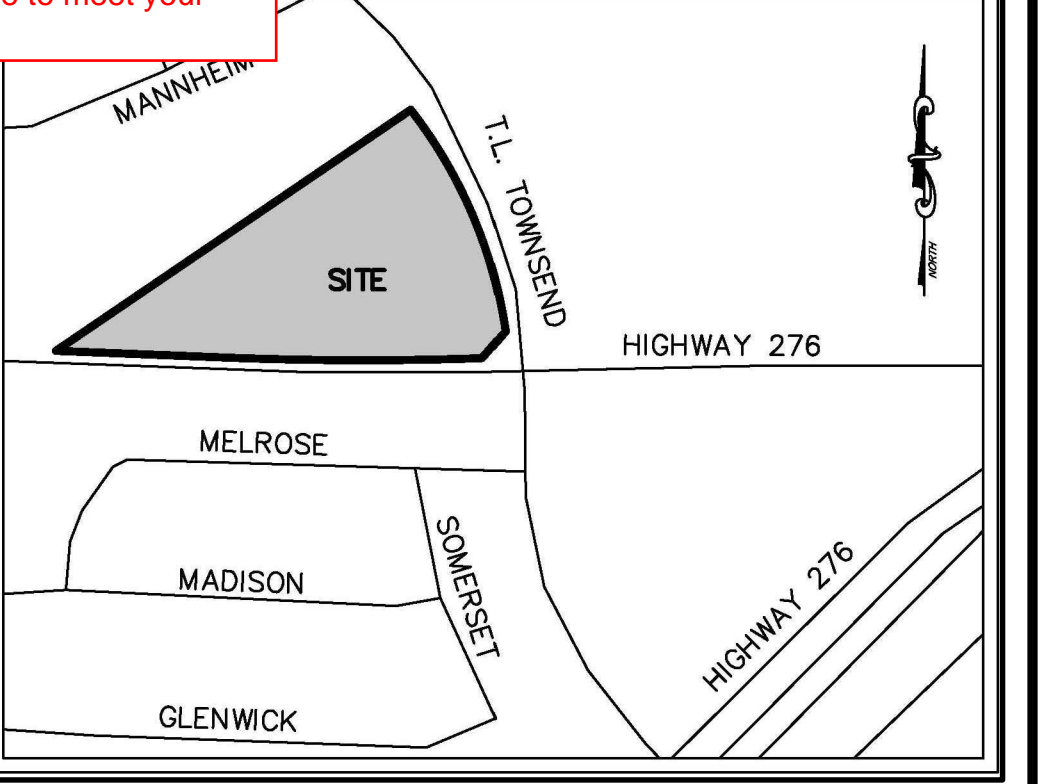
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**UNDERGROUND UTILITIES**

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CALL: TEXAS ONE CALL 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.



- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - PROPERTY LINE
  - 4" PROPOSED SIDEWALK 3,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS WITH COMPACTED SUBGRADE. (MINIMUM 5.5 SACK MIX)
  - 6" PROPOSED PAVEMENT 3,600 PSI REINFORCED CONCRETE PAVEMENT WITH #4 BARS AT 24" CENTERS ON 6" FLEX BASE ON 6" COMPACTED SUBGRADE SOILS. FIRELANES SHALL BE PER CITY STANDARDS (MINIMUM 6.5 SACK MIX)
  - PROPOSED ADA SPACE PER CURRENT ADA/TAS STANDARDS WITH WHEELSTOP AND ADA SIGNAGE



SITE DATA TABLE	
CURRENT ZONING:	PD-10 (SH276 OVERLAY)
LAND USE:	OFFICE/RETAIL BUILDINGS
SITE ACREAGE:	3.82 ACRES (166,415 SQ FT)
TOTAL BUILDING AREA:	12,000 SQUARE FEET
OPEN SPACE:	127,528/166,415 : 76.6%
PAVED SURFACE AREA:	38,887/166,415 : 23.4%
BUILDING HEIGHT:	1 STORY
PARKING REQUIRED:	
PD-10 OFFICE	40 PARKING SPACES
TOTAL (1 SPACE/300 S.F.):	40 PARKING SPACES
PARKING PROVIDED:	40 PARKING SPACES
ACCESSIBLE PARKING PROVIDED:	1 PARKING SPACES

REVISIONS		
REV. NO.	DATE	DESCRIPTION

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_

OWNER/DEVELOPER:  
MGD 276 BUSINESS PARK, LLC  
1557 TROWBRIDGE CIR.  
ROCKWALL, TEXAS 75032  
CONTACT: SAMUEL MOTA  
PH: (972) 771-1607

CASE: SP  
**Cumulus Design Firm #14810**  
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050  
Tel. 214.235.0367

SITE PLAN			
276 BUSINESS PARK			
CITY OF ROCKWALL			
ROCKWALL COUNTY, TEXAS			
J CADLE SURVEY, ABS 0065, TRACT 2-5			
DATE	PROJECT NO	DRAWING SCALE	SHEET
4/16/26	CD25020	1" = 30'	SP

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 04/16/26.

FOR REVIEW ONLY. NOT FOR CONSTRUCTION

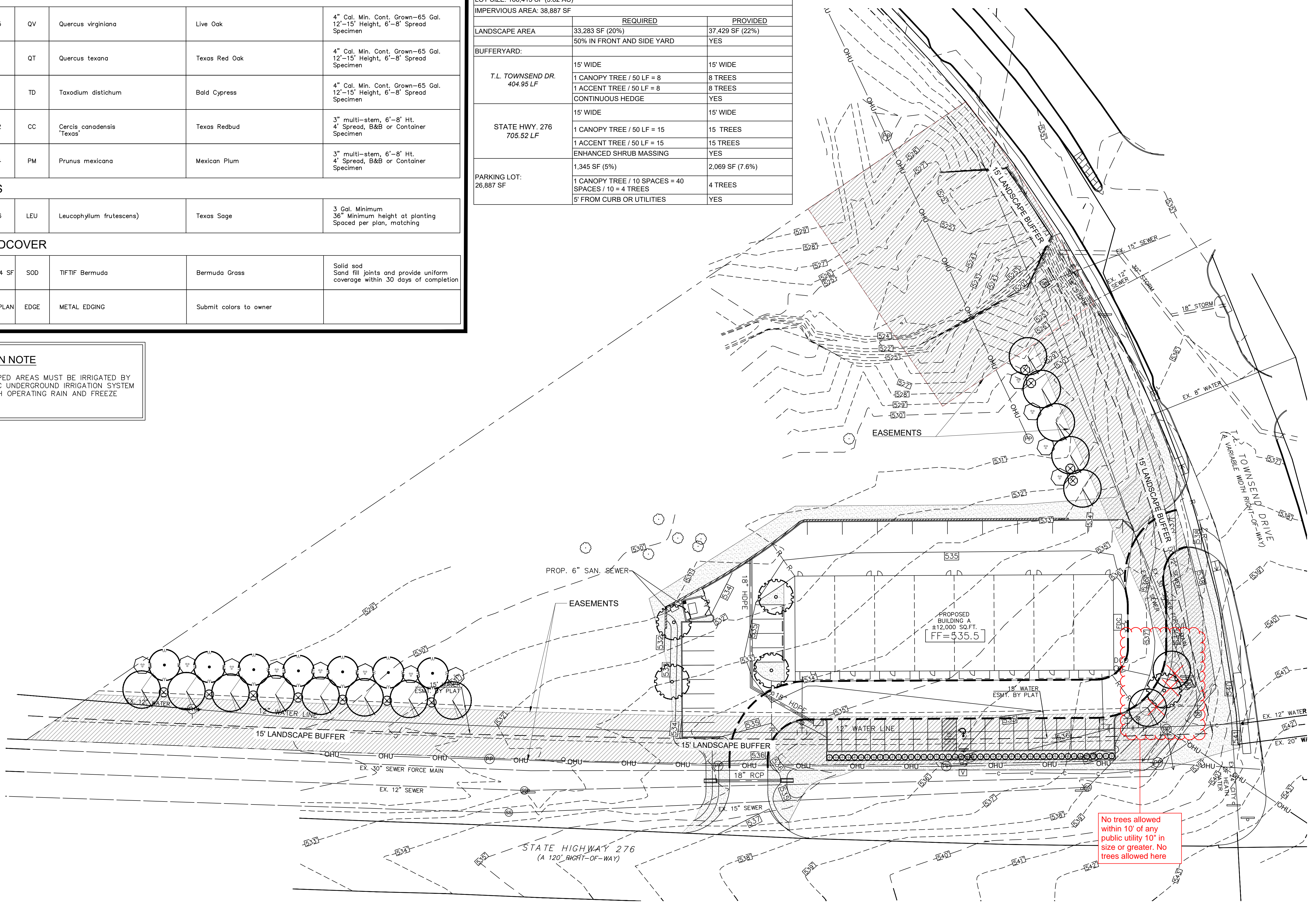
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**KEY**

TREES					
	15	QV	Quercus virginiana	Live Oak	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	4	QT	Quercus texana	Texas Red Oak	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	7	TD	Taxodium distichum	Bald Cypress	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	12	CC	Cercis canadensis 'Texas'	Texas Redbud	3" multi-stem, 6'-8' Ht. 4" Spread, B&B or Container Specimen
	14	PM	Prunus mexicana	Mexican Plum	3" multi-stem, 6'-8' Ht. 4" Spread, B&B or Container Specimen
SHRUBS					
	46	LEU	Leucophyllum frutescens	Texas Sage	3 Gal. Minimum 36" Minimum height at planting Spaced per plan, matching
GROUNDCOVER					
	16,274 SF	SOD	TIFTIF Bermuda	Bermuda Grass	Solid sod Sand fill joints and provide uniform coverage within 30 days of completion
	PER PLAN	EDGE	METAL EDGING	Submit colors to owner	

LANDSCAPE CALCULATIONS		
LOT SIZE: 166,415 SF (3.82 AC)		
IMPERVIOUS AREA: 38,887 SF		
LANDSCAPE AREA	33,283 SF (20%)	37,429 SF (22%)
60% IN FRONT AND SIDE YARD		
BUFFERYARD:		
T.L. TOWNSEND DR. 404.95 LF	15' WIDE 1 CANOPY TREE / 50 LF = 8 1 ACCENT TREE / 50 LF = 8 CONTINUOUS HEDGE	15' WIDE 8 TREES 8 TREES YES
STATE HWY. 276 705.52 LF	15' WIDE 1 CANOPY TREE / 50 LF = 15 1 ACCENT TREE / 50 LF = 15 ENHANCED SHRUB MASSING	15' WIDE 15 TREES 15 TREES YES
PARKING LOT: 26,887 SF	1,345 SF (5%) 1 CANOPY TREE / 10 SPACES = 40 SPACES / 10 = 4 TREES 5' FROM CURB OR UTILITIES	2,069 SF (7.6%) 4 TREES YES

**IRRIGATION NOTE**  
 ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.



OLD SH 276  
 COMMERCIAL OFFICES  
 Rockwall, Texas



PROJECT NUMBER:  
 PROJECT MANAGER:  
 DRAWN BY: A. LONDON  
 CHECKED BY: A. LONDON  
 ISSUE DATE: 4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:  
**LANDSCAPE PLAN**  
 SHEET NO:  
 L1.00  
 COPYRIGHT © LONDON LANDSCAPES, LLC



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Townsend Dr

SUBDIVISION J Cadle Survey, Tract 2, Abs 0065

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION NW corner of TL Townsend and SH 276

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-10

CURRENT USE Vacant

PROPOSED ZONING No change

PROPOSED USE Office/Warehouse

ACREAGE X

LOTS [CURRENT] \_\_\_\_\_

X

LOTS [PROPOSED] \_\_\_\_\_

X

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER MGD 276 Business Park

APPLICANT Cumulus Design

CONTACT PERSON Sam Mota

CONTACT PERSON Paul Cragun

ADDRESS \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

PHONE \_\_\_\_\_

PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

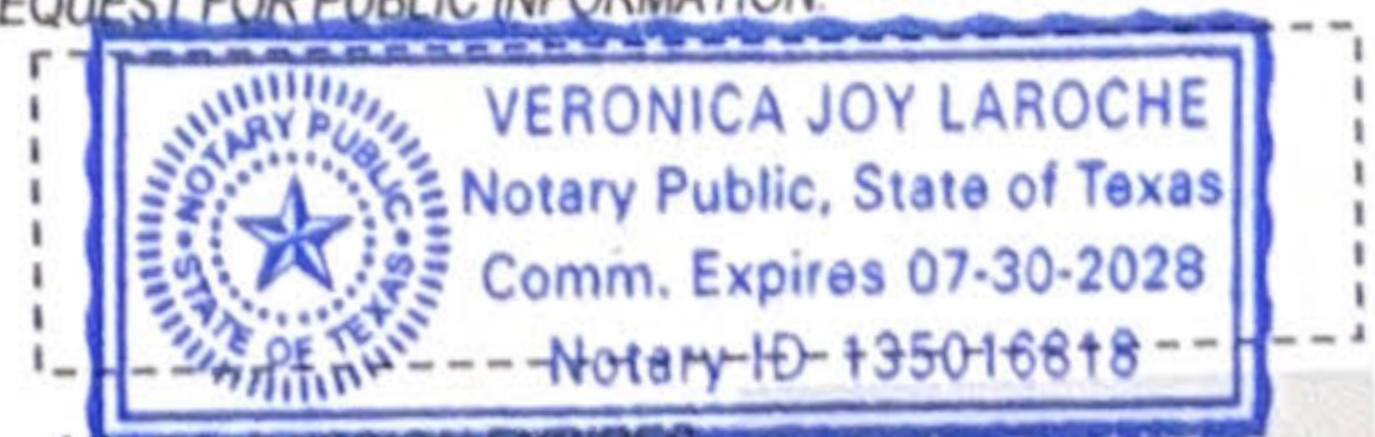
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Samuel A. Mota [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18<sup>th</sup> DAY OF January, 2026

OWNER'S SIGNATURE Samuel A. Mota

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Veronica J. Laroché




MY COMMISSION EXPIRES \_\_\_\_\_

0 62.5 125 250 375 500 Feet

SP2026-012: Site Plan for 276 Business Park



Case Location Map = 

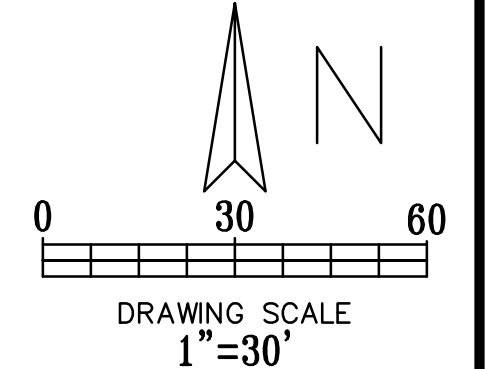


# City of Rockwall

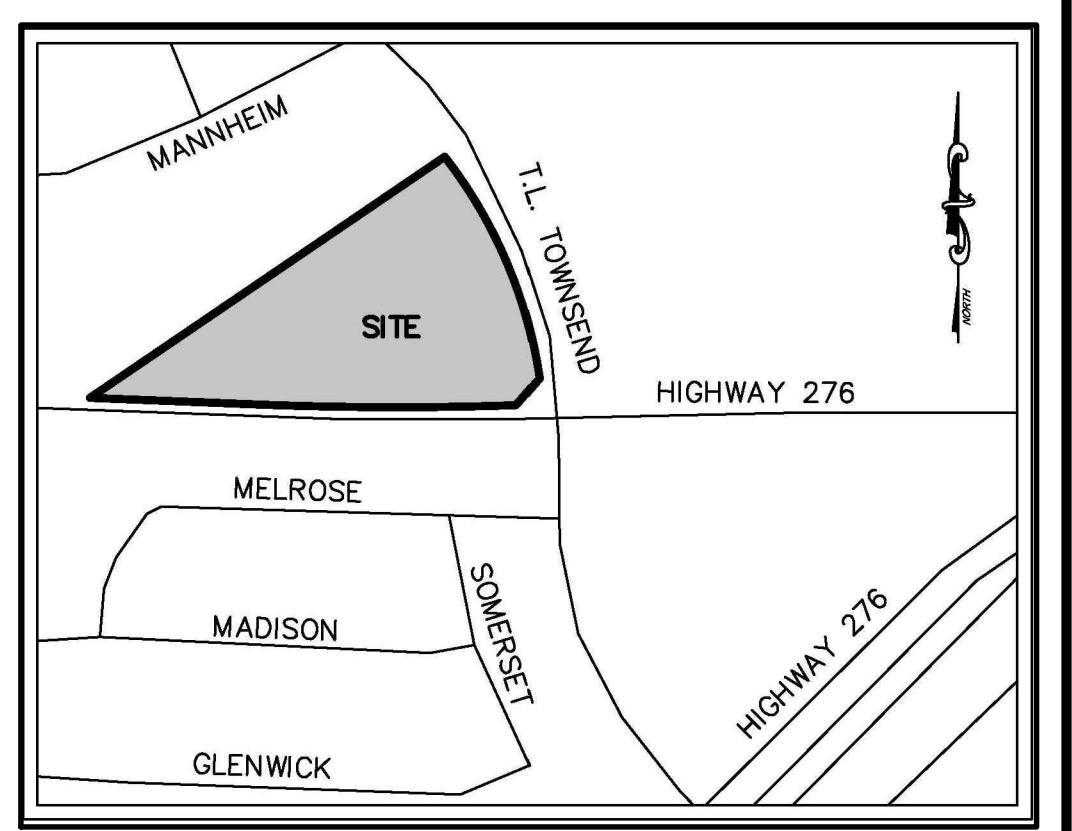
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

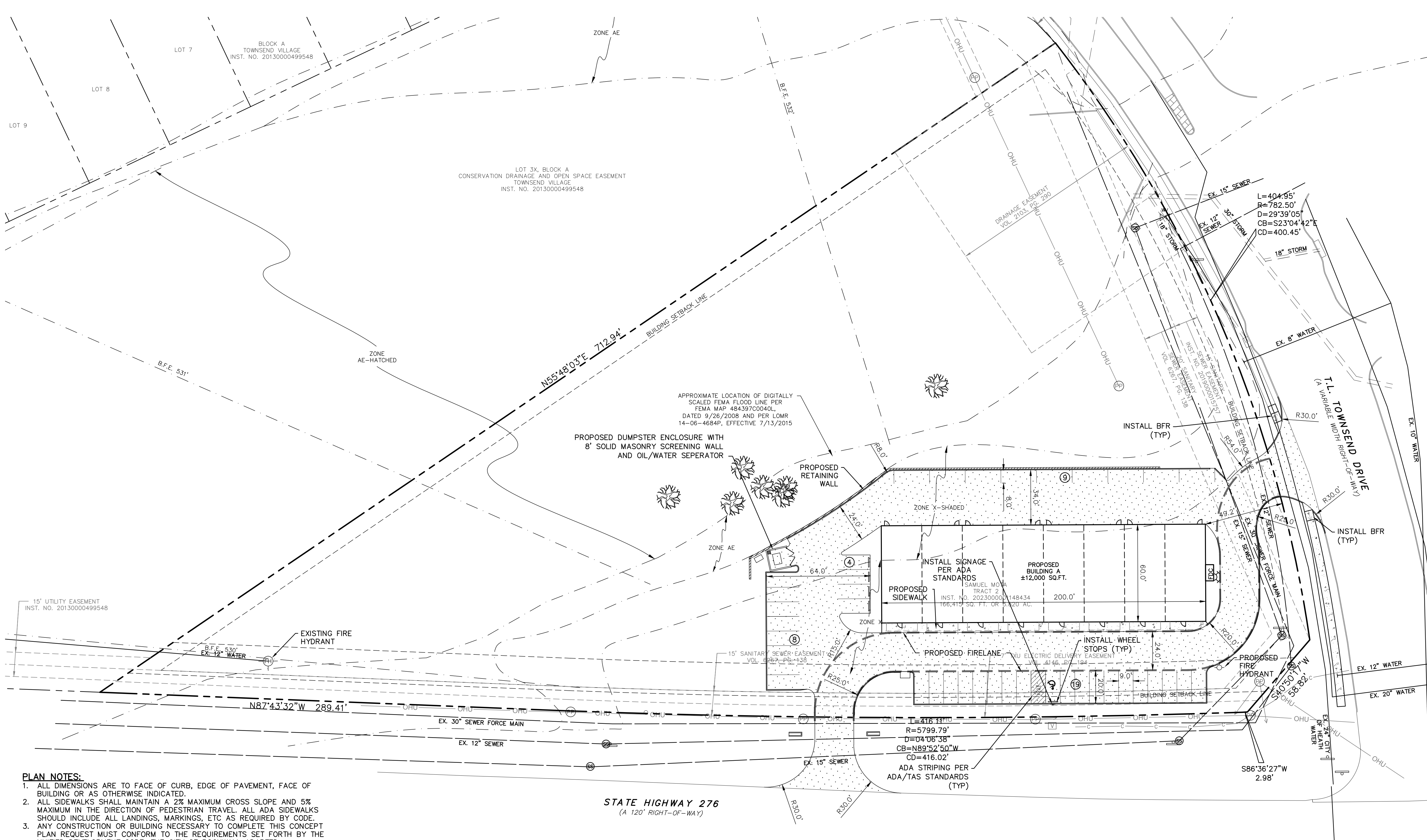




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  - PROPOSED CURB
  - PROPERTY LINE
  - 4" PROPOSED SIDEWALK 3,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS WITH COMPACTED SUBGRADE. (MINIMUM 5.5 SACK MIX)
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VICINITY MAP  
N.T.S.



- PLAN NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
  - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  - ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS CONCEPT PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE CITY OF ROCKWALL ADAPTED INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
  - THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.
  - A TYPICAL PARKING SPACE SHALL BE 9' WIDE AND 20' DEEP.
  - THE PROPERTY IS CURRENTLY UNPLATTED BUT WILL BE PLATTED AS PART OF DEVELOPMENT.
  - DETENTION AREA LOCATIONS HAVE BEEN CALLED OUT ON THIS PLAN. DETENTION OUTFALL MUST BE AT SHEET FLOW CONDITIONS WHEN STORM WATER CROSSES THE PROPERTY LINE. MANNING'S C-VALUE SHALL BE PER ZONING TYPE. DUMPSTER AREAS TO DRAIN TO OIL/WATER SEPARATOR AND THEN TO THE STORM LINES.

**III CAUTION III**  
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ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

SITE DATA TABLE	
CURRENT ZONING:	PD-10 (SH276 OVERLAY)
LAND USE:	OFFICE/RETAIL BUILDINGS
SITE ACREAGE:	3.82 ACRES (166,415 SQ FT)
TOTAL BUILDING AREA:	12,000 SQUARE FEET
OPEN SPACE:	127,528/166,415 : 76.6%
PAVED SURFACE AREA:	38,887/166,415 : 23.4%
BUILDING HEIGHT:	1 STORY
PARKING REQUIRED:	
PD-10 OFFICE	40 PARKING SPACES
TOTAL (1 SPACE/300 S.F.):	40 PARKING SPACES
PARKING PROVIDED:	40 PARKING SPACES
ACCESSIBLE PARKING PROVIDED:	1 PARKING SPACES

REVISIONS		
REV. NO.	DATE	DESCRIPTION

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_

OWNER/DEVELOPER:  
MGD 276 BUSINESS PARK, LLC  
1557 TROWBRIDGE CIR.  
ROCKWALL, TEXAS 75032  
CONTACT: SAMUEL MOTA  
PH: (972) 771-1607

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 04/16/26.

FOR REVIEW ONLY. NOT FOR CONSTRUCTION

CASE: SP  
**Cumulus Design Firm #14810**  
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050  
Tel. 214.235.0367

**SITE PLAN**  
276 BUSINESS PARK  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
J CADLE SURVEY, ABS 0065, TRACT 2-5

DATE	PROJECT NO	DRAWING SCALE	SHEET
4/16/26	CD25020	1" = 30'	SP

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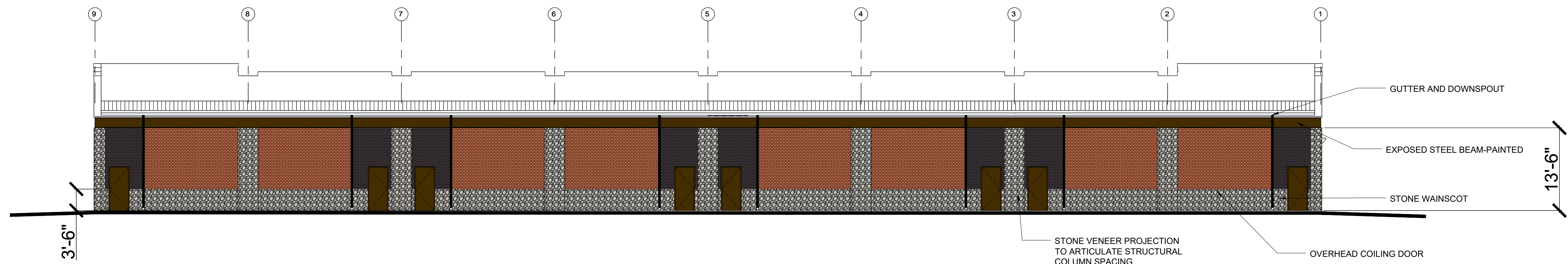
CALL: TEXAS ONE CALL @ 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.



1 South Elevation - Building 1

SCALE: 3/32" = 1'-0"

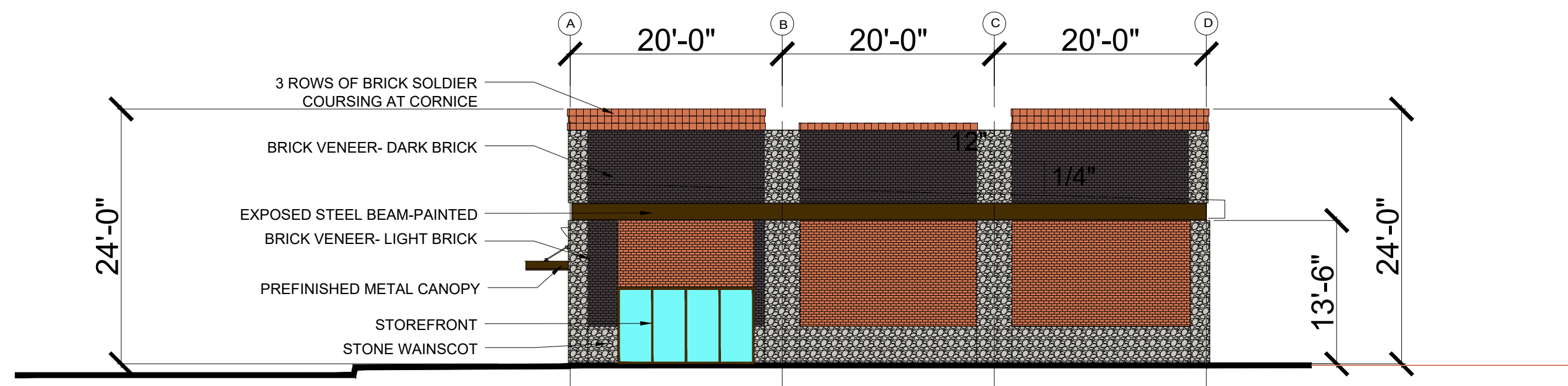
MATERIAL CALCULATIONS:  
 FACADE AREA- 4,588 SF  
 MASONRY AREA- 91%  
 NATURAL STONE AREA- 20%



2 North Elevation - Building 1

SCALE: 3/32" = 1'-0"

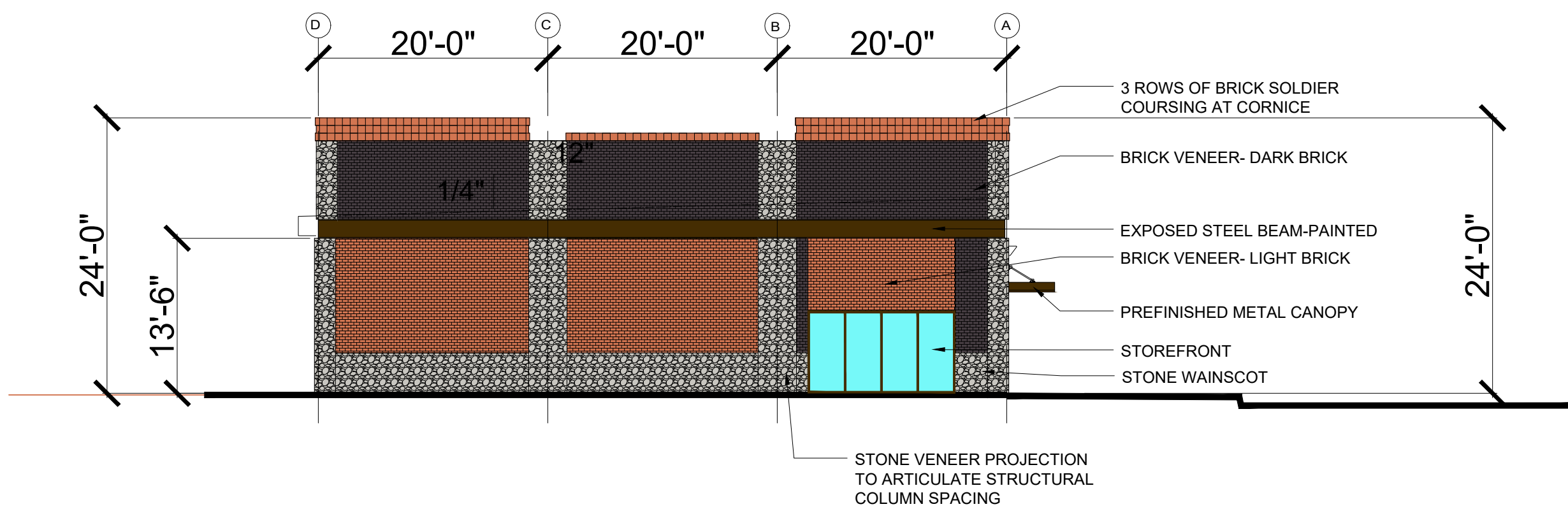
MATERIAL CALCULATIONS:  
 FACADE AREA- 3,290 SF  
 MASONRY AREA- 90%  
 NATURAL STONE AREA- 28%



3 East Elevation - Building 1

SCALE: 3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 1,415 SF  
 MASONRY AREA- 92%  
 NATURAL STONE AREA- 26%



4 West Elevation - Building 1

SCALE: 3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 1,415 SF  
 MASONRY AREA- 92%  
 NATURAL STONE AREA- 26%

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING & ZONING \_\_\_\_\_

REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED ISSUED FOR REVIEW
C	04/17/26	REVISED ISSUED FOR REVIEW

**ISSUED FOR REVIEW**  
NOT FOR CONSTRUCTION  
04/17/2026

WILLIAM TATLOCK, RA  
 2980 GOLFING GREEN CT.  
 BURLESON, TX 76028

OFFICE BUILDING  
 Highway 276 & Townsend Rockwall, TX

Project	24111
Revision	C
Date	04/17/2026
Scale	
<b>A4.1</b>	
OF SHEETS	

EXTERIOR COLOR PALETTE



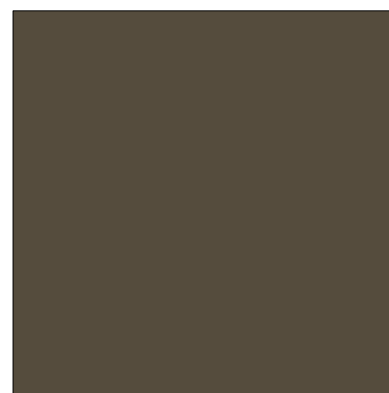
BRICK VENEER-  
"LIGHT" BRICK-  
ACME BRICK  
CLOISTURE MODULAR



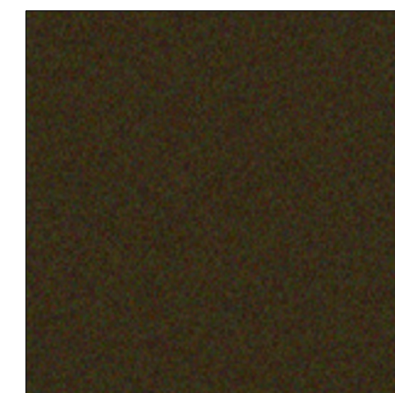
BRICK VENEER-  
"DARK" BRICK-  
ACME BRICK  
DARK INKSPOT MODULAR



STONE VENEER-  
CORONADO STONE-  
FREEDOM BUILDING STONE SERIES  
PATRIOT BLEND



METAL DOORS, CANOPY,  
STEEL BEAMS AND OVERHEAD  
COILING DOORS-  
EXTERIOR PAINT  
SHERWIN WILLIAMS  
SW7055 ENDURING BRONZE



STOREFRONT FRAMING-  
KAWNEER  
MEDIUM BRONZE

OFFICE BUILDING  
HIGHWAY 276 & TOWNSEND RD.  
ROCKWALL, TEXAS  
3/13/2026

REV	DATE	ISSUE
A	03/13/26	ISSUED FOR REVIEW

**ISSUED FOR REVIEW**  
**NOT FOR CONSTRUCTION**  
01/19/2026

WILLIAM TATLOCK, RA  
2980 GOLFING GREEN CT.  
BURLESON, TX 76028

OFFICE BUILDING  
Highway 276 & Townsend Rockwall, TX

Project	24111
Revision	A
Date	03/13/2026
Scale	

**A4.3**  
OF SHEETS

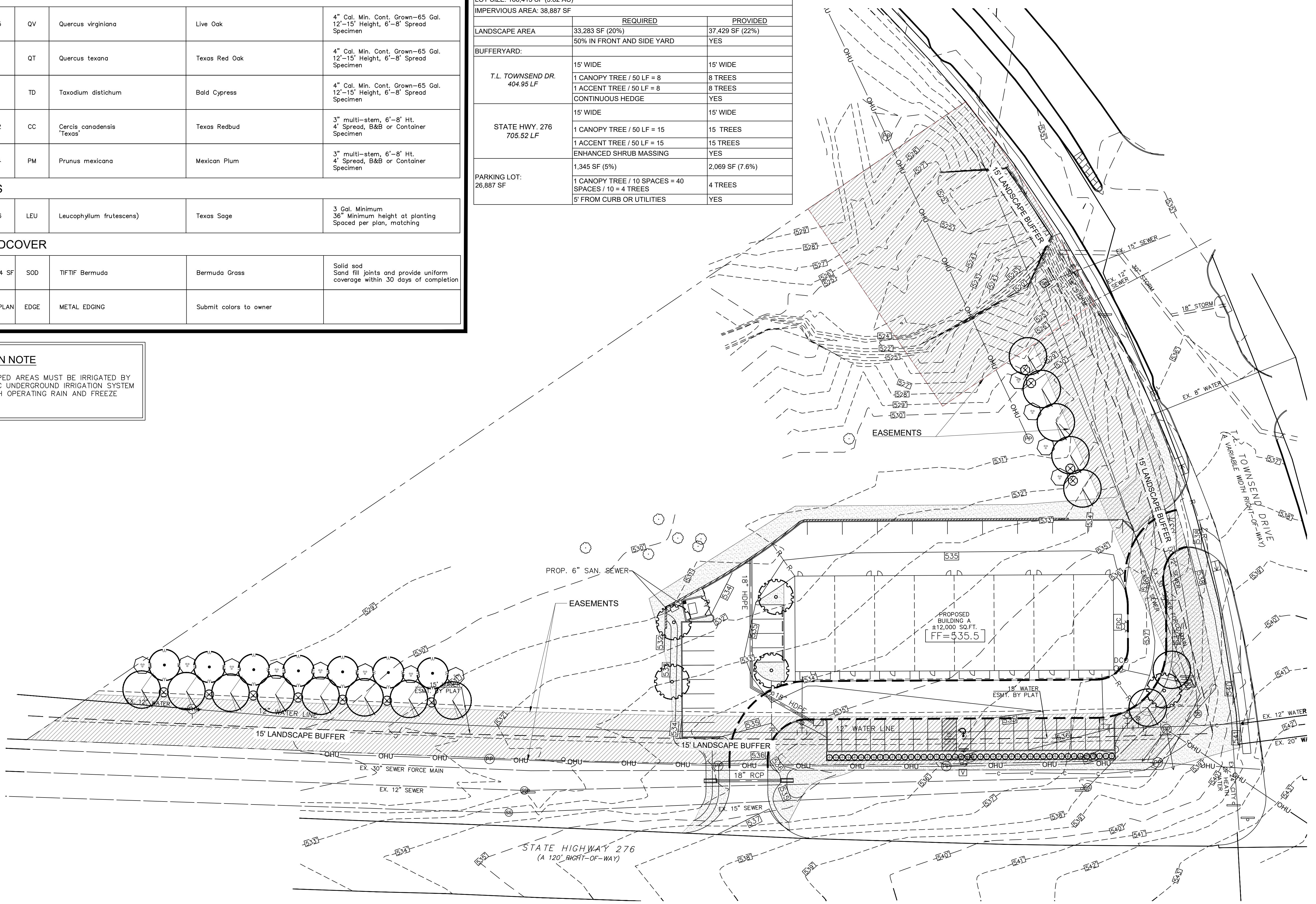
B

**KEY**

TREES					
	15	QV	Quercus virginiana	Live Oak	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	4	QT	Quercus texana	Texas Red Oak	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	7	TD	Taxodium distichum	Bald Cypress	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	12	CC	Cercis canadensis 'Texas'	Texas Redbud	3" multi-stem, 6'-8' Ht. 4' Spread, B&B or Container Specimen
	14	PM	Prunus mexicana	Mexican Plum	3" multi-stem, 6'-8' Ht. 4' Spread, B&B or Container Specimen
SHRUBS					
	46	LEU	Leucophyllum frutescens	Texas Sage	3 Gal. Minimum 36" Minimum height at planting Spaced per plan, matching
GROUNDCOVER					
	16,274 SF	SOD	TIFTIF Bermuda	Bermuda Grass	Solid sod Sand fill joints and provide uniform coverage within 30 days of completion
	PER PLAN	EDGE	METAL EDGING	Submit colors to owner	

LANDSCAPE CALCULATIONS		
LOT SIZE: 166,415 SF (3.82 AC)		
IMPERVIOUS AREA: 38,887 SF		
LANDSCAPE AREA	33,283 SF (20%)	37,429 SF (22%)
60% IN FRONT AND SIDE YARD		
BUFFERYARD:		
T.L. TOWNSEND DR. 404.95 LF	15' WIDE 1 CANOPY TREE / 50 LF = 8 1 ACCENT TREE / 50 LF = 8 CONTINUOUS HEDGE	15' WIDE 8 TREES 8 TREES YES
STATE HWY. 276 705.52 LF	15' WIDE 1 CANOPY TREE / 50 LF = 15 1 ACCENT TREE / 50 LF = 15 ENHANCED SHRUB MASSING	15' WIDE 15 TREES 15 TREES YES
PARKING LOT: 26,887 SF	1,345 SF (5%) 1 CANOPY TREE / 10 SPACES = 40 SPACES / 10 = 4 TREES 5' FROM CURB OR UTILITIES	2,069 SF (7.6%) 4 TREES YES

**IRRIGATION NOTE**  
 ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.



OLD SH 276  
 COMMERCIAL OFFICES  
 Rockwall, Texas



PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:  
**LANDSCAPE PLAN**

SHEET NO:  
**L1.00**  
 COPYRIGHT © LONDON LANDSCAPES, LLC



PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	4/17/26


REV.	DATE	DESCRIP.	BY

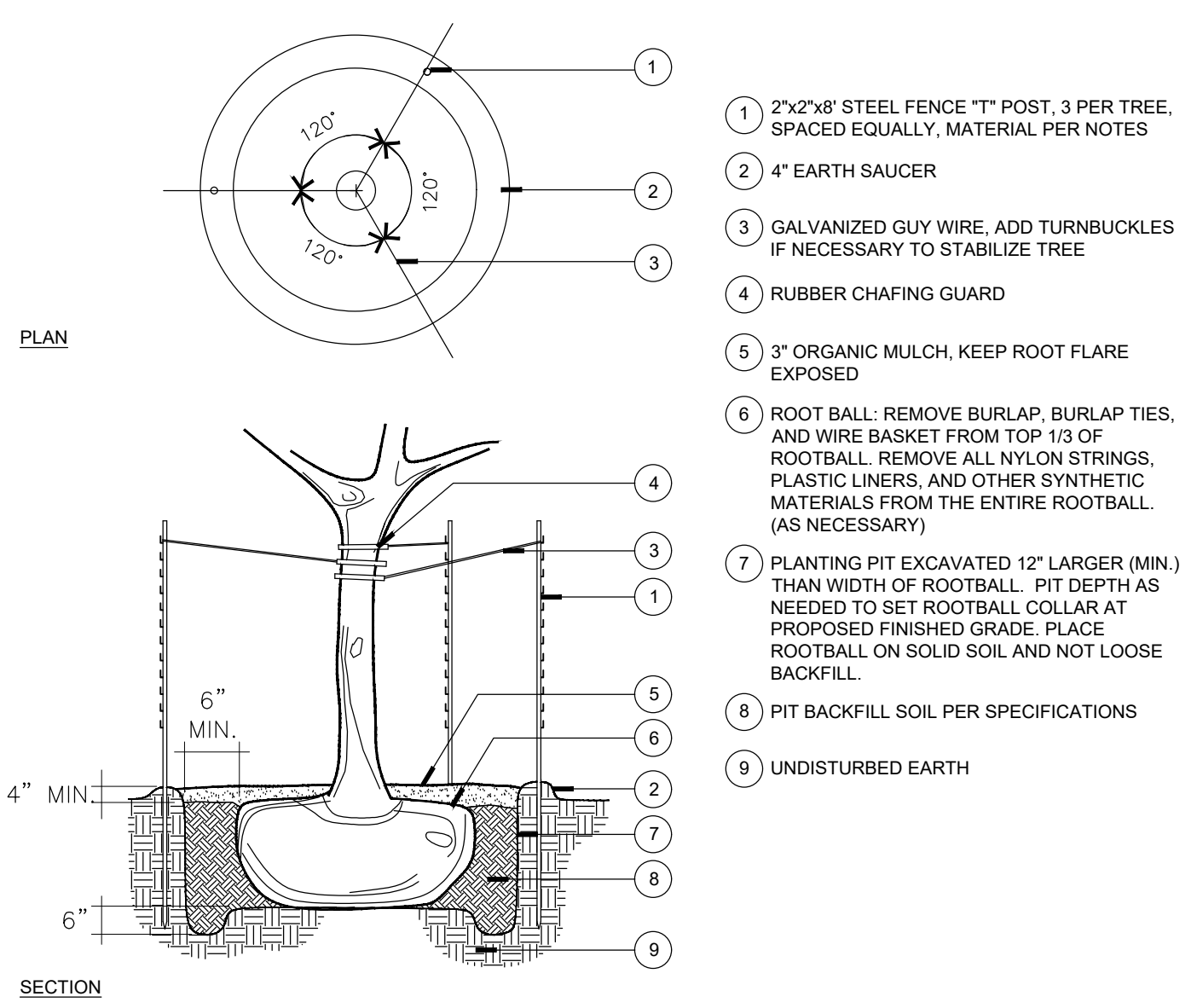
**LANDSCAPE DETAILS**

SHEET NO: L1.01

**LANDSCAPE NOTES**

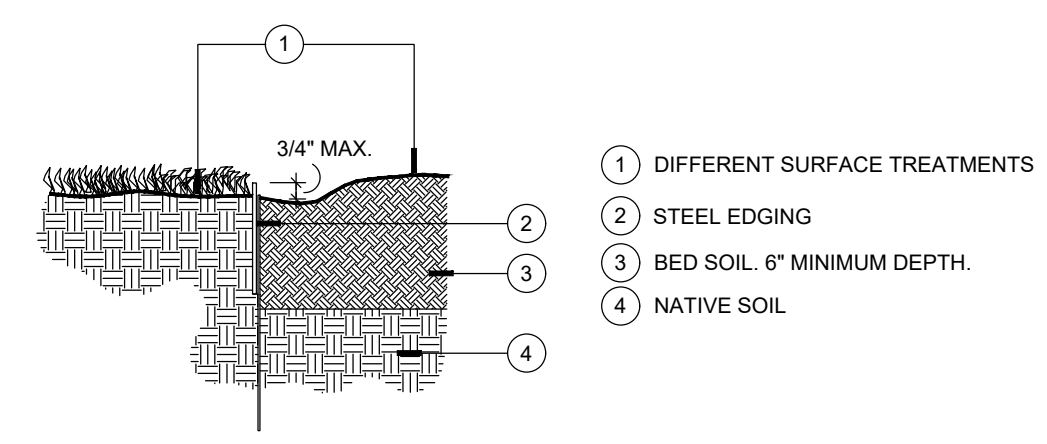
- Plant material shall comply with all sizing and grading standards of the latest edition of "American Standard for Nursery Stock."
- Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
- It is the responsibility of the contractor to advise the owner's representative of any condition found on site which prohibits installation as shown on these plans.
- In the event of a discrepancy between drawings and plant schedule, the drawings shall prevail.
- Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
- No substitutions shall be made without written authorization from the project Landscape Architect or the Owner.
- Commercial Soil Mix: All planting beds shall be excavated to twelve (12") inches below finished grade by Landscape Contractor, and all debris, stone, rubbish, weeds, and topsoil shall be removed from the site. The subgrade shall then be tilled to a depth of twelve (12") inches and the planting bed shall be backfilled with soil compost mix as available from Living Earth Resources, Inc., Dallas, Texas, or approved equal. Upon replacement of topsoil with mix and after watering in, the bed should be at the specified level.
- Existing soil shall be reasonably free of stones, lumps of clay, roots and other foreign matter. Acidity to be between 5.0 and 7.0 pH.
- If rocks are encountered, remove to a depth of 4" and add 4" of friable fertile topsoil to all sodded areas. Grade according to Engineer's grading plan.
- Lawn areas shall have 4" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
- All plant beds shall be top dressed with a minimum 4" of shredded hardwood mulch.
- Provide beveled edge between all plant beds and lawn areas unless indicated differently on plans.
- Tree planting pits shall be backfilled with top soil, and cleared of all rocks, lumps of clay and other foreign material. Place 1" of compost and 4" of mulch on top of root ball.
- Methods of tree staking indicated on the drawings are for suggestion only. The landscape contractor shall use whatever method he/she deems fit, however, he/she will be held liable for any damage caused to trees due to improper staking methods (including absence of staking), and will be responsible for adjusting and/or replanting trees which are not held upright during the warranty period.
- Trees shall be planted at least 3 feet from any utility line, curb, walk or fire hydrant, and outside all utility easements.
- Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
- Trees overhanging public street pavement, drive aisles and fire lanes shall have a minimum clear trunk height of 14 feet from finish surface of street pavement.
- Trees planted on slopes shall be placed in planting pits of adequate depth such that the soil stain at the base of the trunk matches that of the average grade or slope.
- A visibility triangle must be provided at all intersections. All landscaping within visibility triangles and parking lot islands, must be maintained so that lower tree limbs are a minimum of 7' from the ground and that shrubs and ground cover are a maximum of 24" high.
- No shrubs shall be permitted within areas less than three (3) feet in width. All such areas shall be grass or other permanent fixed material such as paving.
- During the warranty period The contractor shall be jointly responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. The work shall include - but not be limited to - mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, removed, or showing more than 40% defoliation, shall be replaced with plant material of similar size and variety within thirty (30) days.
- Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
- Landscape areas shall be kept free of trash, litter and weeds.
- All signage and fencing shall be contingent upon building inspection department approval.
- An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets and walks is prohibited. A permit from the building inspection department is required for each irrigation system. Drip indicators shall be installed on all drip irrigation zones.

FOR PRIVATE PROPERTY USE ONLY- THESE DETAILS SHALL NOT BE USED IN THE R.O.W. OR EASEMENT AREAS.



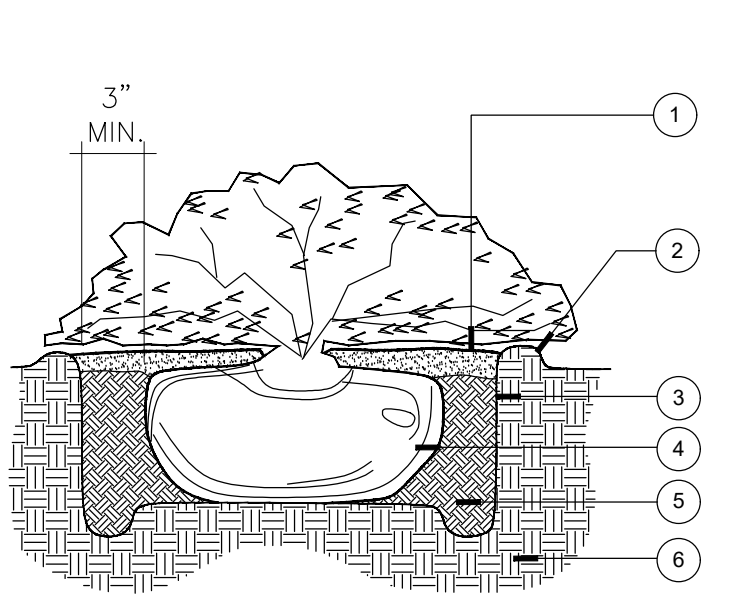
**A TREE PLANTING**  
N.T.S.

- 2"x2"x8" STEEL FENCE 1" POST, 3 PER TREE, SPACED EQUALLY, MATERIAL PER NOTES
- 4" EARTH SAUCER
- GALVANIZED GUY WIRE, ADD TURNBUCKLES IF NECESSARY TO STABILIZE TREE
- RUBBER CHAFING GUARD
- 3" ORGANIC MULCH, KEEP ROOT FLARE EXPOSED
- ROOT BALL: REMOVE BURLAP, BURLAP TIES, AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS, AND OTHER SYNTHETIC MATERIALS FROM THE ENTIRE ROOTBALL. (AS NECESSARY)
- PLANTING PIT EXCAVATED 12" LARGER (MIN.) THAN WIDTH OF ROOTBALL. PIT DEPTH AS NEEDED TO SET ROOTBALL COLLAR AT PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
- PIT BACKFILL SOIL PER SPECIFICATIONS
- UNDISTURBED EARTH



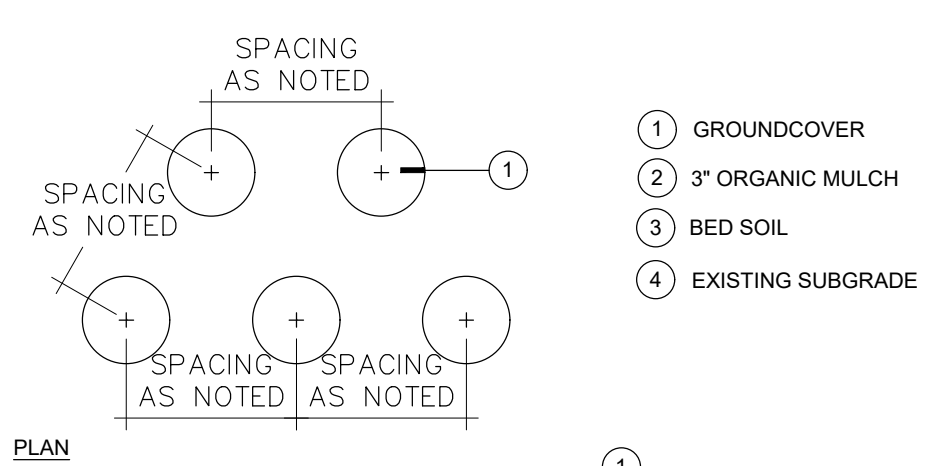
**D STEEL EDGING**  
N.T.S.

- DIFFERENT SURFACE TREATMENTS
- STEEL EDGING
- BED SOIL, 6" MINIMUM DEPTH.
- NATIVE SOIL



**B SHRUB PLANTING**  
N.T.S.



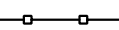
- 3" ORGANIC MULCH LAYER
- 3" HIGH EARTH SAUCER
- PLANTING PIT: EXCAVATE 6" LARGER (MIN.) THAN WIDTH OF ROOTBALL. W/ PIT DEPTH AS NEEDED TO SET ROOTBALL @ PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL. SCARIFY SIDES OF PIT, PROVIDE CONTINUOUS PIT FOR MASS BED PLANTINGS.
- ROOT BALL: REMOVE FROM CONTAINER. GENTLY SCARIFY GIRDLED ROOTS AS NEEDED. REMOVE ALL TAGS & TWINE.
- PIT BACKFILL W/ PREPARED SOIL BED MIX PER SPECIFICATIONS. PROVIDE CONTINUOUS SOIL BED MIX IN MASS PLANTINGS.
- UNDISTURBED EARTH



**C GROUNDCOVER PLANTING**  
N.T.S.


- GROUND COVER
- 3" ORGANIC MULCH
- BED SOIL
- EXISTING SUBGRADE

**LEGEND**

-  TREES TO BE REMOVED (NONE)
-  TREES TO BE PRESERVED (ALL)
-  TREE PROTECTION FENCING

**LANDSCAPE ARCHITECT/ARBORIST STATEMENT**

"I, AMY LONDON, BEING A LANDSCAPE ARCHITECT OR ARBORIST ATTEST THAT THE IDENTIFICATION AND SIZE OF TREES IDENTIFIED ON THIS SURVEY ARE CORRECT AND THAT ALL PROTECTED TREES HAVE BEEN SHOWN."

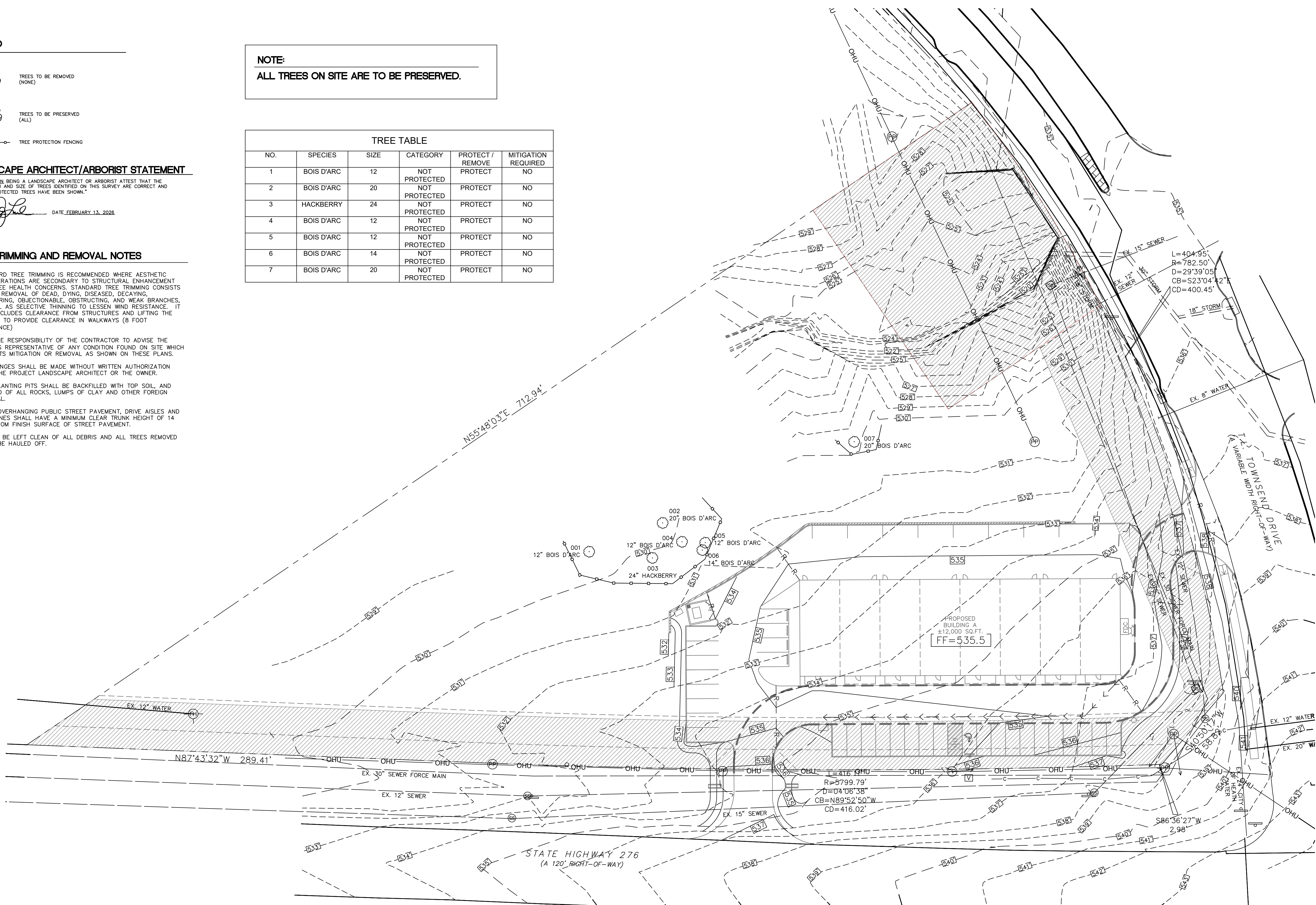
 DATE: FEBRUARY 13, 2026

**TREE TRIMMING AND REMOVAL NOTES**

1. STANDARD TREE TRIMMING IS RECOMMENDED WHERE AESTHETIC CONSIDERATIONS ARE SECONDARY TO STRUCTURAL ENHANCEMENT AND TREE HEALTH CONCERNS. STANDARD TREE TRIMMING CONSISTS OF THE REMOVAL OF DEAD, DYING, DISEASED, DECAYING, INTERFERING, OBJECTIONABLE, OBSTRUCTING, AND WEAK BRANCHES, AS WELL AS SELECTIVE THINNING TO LESSEN WIND RESISTANCE. IT ALSO INCLUDES CLEARANCE FROM STRUCTURES AND LIFTING THE CANOPY TO PROVIDE CLEARANCE IN WALKWAYS (8 FOOT CLEARANCE)
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS MITIGATION OR REMOVAL AS SHOWN ON THESE PLANS.
3. NO CHANGES SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE PROJECT LANDSCAPE ARCHITECT OR THE OWNER.
4. TREE PLANTING PITS SHALL BE BACKFILLED WITH TOP SOIL, AND CLEARED OF ALL ROCKS, LUMPS OF CLAY AND OTHER FOREIGN MATERIAL.
5. TREES OVERHANGING PUBLIC STREET PAVEMENT, DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET FROM FINISH SURFACE OF STREET PAVEMENT.
6. SITE TO BE LEFT CLEAN OF ALL DEBRIS AND ALL TREES REMOVED SHALL BE HAULED OFF.

**NOTE:**  
ALL TREES ON SITE ARE TO BE PRESERVED.

TREE TABLE					
NO.	SPECIES	SIZE	CATEGORY	PROTECT / REMOVE	MITIGATION REQUIRED
1	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
2	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO
3	HACKBERRY	24	NOT PROTECTED	PROTECT	NO
4	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
5	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
6	BOIS D'ARC	14	NOT PROTECTED	PROTECT	NO
7	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO



OLD SH 276  
COMMERCIAL OFFICES  
Rockwall, Texas



PROJECT NUMBER:  
PROJECT MANAGER:  
DRAWN BY: A. LONDON  
CHECKED BY: A. LONDON  
ISSUE DATE: 4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:

**TREESCAPE PLAN**

SHEET NO: TR1.00

## EXTERIOR LIGHTING FIXTURE SCHEDULE

FIXTURE	FIXTURE DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMP TYPE & COLOR TEMP	FIXTURE VOLTS	FIXTURE WATTS	FIXTURE QUANTITY	FIXTURE NOTES:
S1	NEW DECORATIVE SCONCE	LITHONIA WMCL6-P1-SWW2-A45-MVOLT-PE-E4WC-DDBXD-M4	LED 4000K	120V	31 W	16	PROVIDE TIMER IN FIRE RISER ROOM.
W1	NEW WALL PACK	LITHONIA TWH-LED-40K-T3M-MVOLT-PE BRONZE, PHOTOCELL	LED 4000K	120V	78 W	9	PROVIDE PHOTOCELL FIXED TO FIXTURE

### GENERAL NOTES

- PHOTOMETRIC PLANS.

REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED FOR REVIEW
C	03/13/26	REVISED FOR REVIEW
D	04/16/26	ISSUED FOR PERMIT

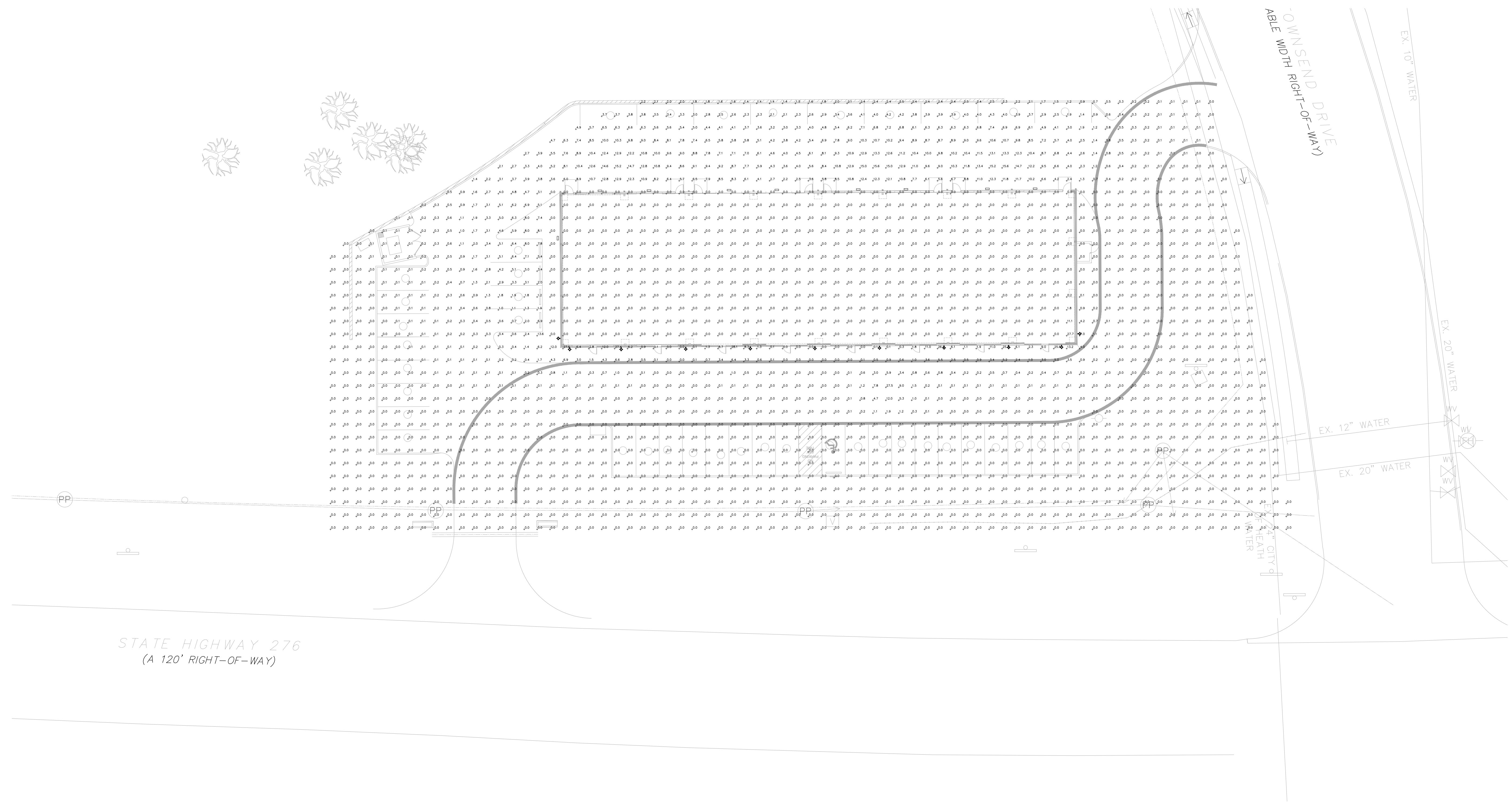
ISSUED FOR PERMIT  
AND CONSTRUCTION  
04/16/2026

HEC GROUP  
15749 SEAROLT P.L.C.  
ADDISON, TX 75001



OFFICE BUILDING  
ELECTRICAL PHOTOMETRICS  
HIGHWAY 276 & TOWNSEND  
ROCKWALL, TX 75082

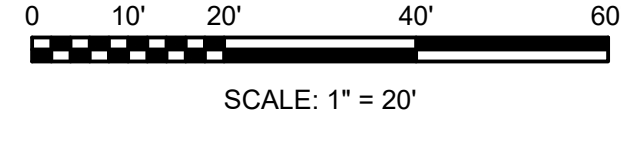
Project	26104
Revision	D
Date	04/16/2026
Scale	N.T.S.
E0.4	
OF	SHEETS



1

ELECTRICAL PHOTOMETRICS PLAN

SCALE: 1" = 20'



SCALE: 1" = 20'



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** June 9, 2026  
**APPLICANT:** Paul Cragun; *Cumulus Design*  
**CASE NUMBER:** SP2026-012: *Site Plan for 276 Business Park*

---

### SUMMARY

Discuss and consider a request by Paul Cragun of Cumulus Design on behalf of Sam Mota of MGD 276 Business Park, LLC for the approval of a Site Plan for *Retail Strip Center* on a 3.8-acre tract of land identified as Tract 2-5 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for General Retail (GR) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Old SH-276 and T. L. Townsend Drive, and take any action necessary.

### BACKGROUND

Based on the City's annexation maps, the subject property was annexed by the City Council on September 16, 1974 by *Ordinance No. 74-21 [Case No. A1974-001]*. The property was zoned Agricultural (AG) District at the time of annexation. On November 4, 1974, the City Council approved a zoning change from Agricultural (AG) District to Planned Development District 10 (PD-10) [*Ordinance No. 74-32*] for a 714.201-acre tract of land that included the subject property. According to *Ordinance No. 74-32*, the subject property was designated for Multi-Family 1 (MF-1) District land uses. On April 5, 2004, the City Council approved *Ordinance No. 04-25*, which amended Planned Development District 10 (PD-10) and changed the designation of the subject property to allow *Townhomes*. Planned Development District 10 (PD-10) was again amended on October 21, 2013 with the adoption of *Ordinance No. 13-39 [Case No. Z2013-018]*. This ordinance changed the designation of the subject property to allow limited General Retail (GR) District land uses. On August 3, 2020, the City Council adopted *Ordinance No. 20-30 [Case No. Z2020-028]*, which consolidated all of the regulating ordinances for Planned Development District 10 (PD-10); however, this did not change the land use requirements for the subject property. The subject property has remained vacant since the time of annexation.

### PURPOSE

On May 15, 2026, the applicant -- *Paul Cragun of Cumulus Design* -- submitted an application requesting the approval of a site plan for a *Retail Strip Center* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of the intersection of Old SH-276 and T. L. Townsend Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is 10.062-acre tract of land (*i.e. Tract 2-4, of the J Cadle Survey, Abstract No. 65*), which is currently vacant. North of this is the Townsend Village Subdivision, which was established on November 7, 2013 and consists of 80 single-family residential lots. Both of these properties are zoned Planned Development District 10 (PD-10) for single-family attached and single-family detached land uses. Beyond this is S. T. L. Townsend Drive, which is identified as an A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

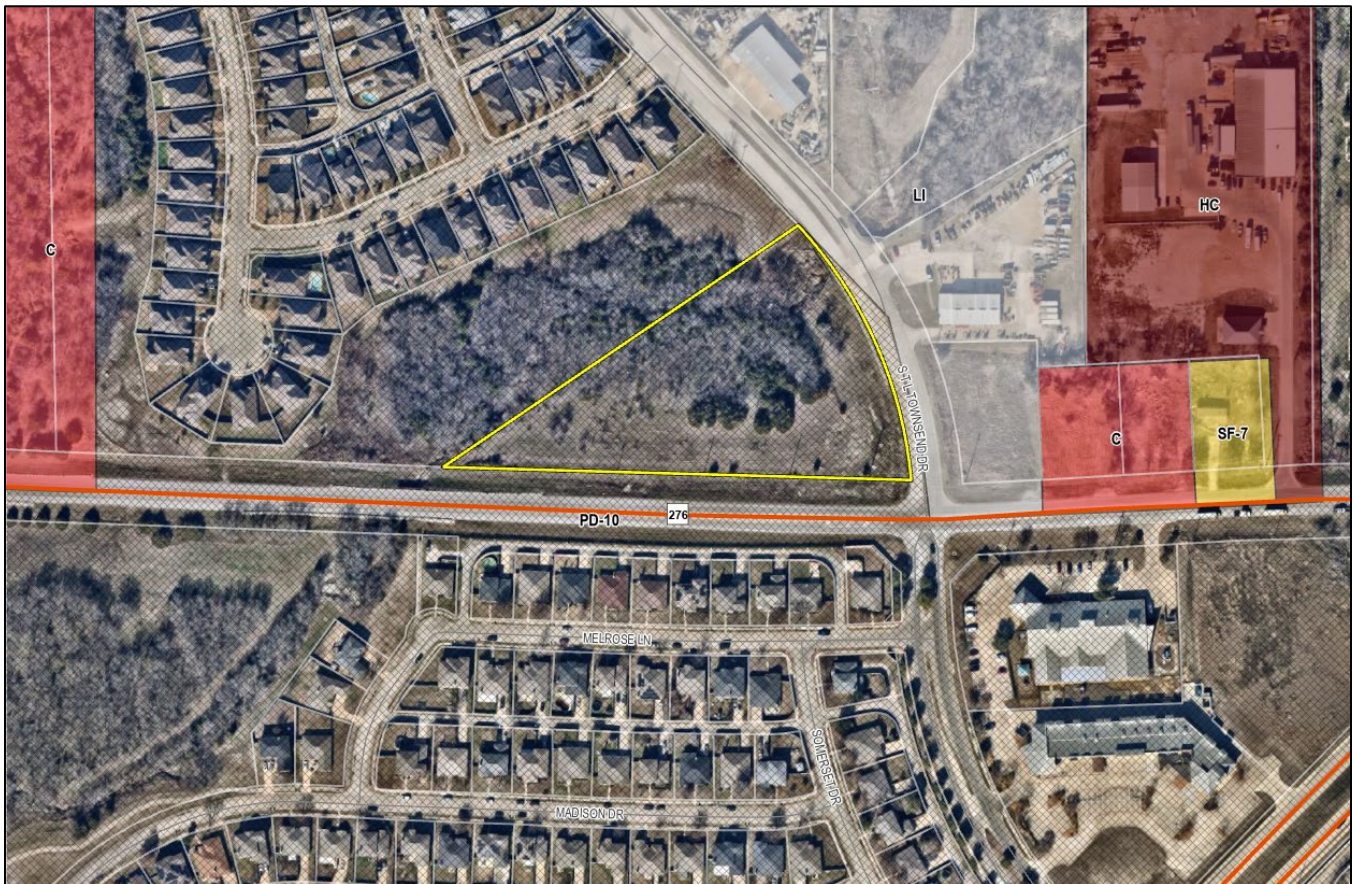
South: Directly south of the subject property is Old SH-276, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase II of

the Meadowcreek Estates Subdivision, which was established on March 30, 2000, consists of 103 single-family residential lots and is zoned Planned Development District 10 (PD-10) for single-family land uses.

East: Directly east of the subject property is S. T. L. Townsend Drive, which is identified as an A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.896-acre tract of land (i.e. Tract 4-6, of the N. M. Ballard Survey, Abstract No. 24), which is currently vacant and zoned Light Industrial (LI) District. Beyond this is a 0.54-acre tract of land (i.e. Tract 5, of the N. M. Ballard Survey, Abstract No. 24), which is currently vacant and zoned Commercial (C) District.

West: Directly west of the subject property is the Townsend Village Subdivision, which was established on November 7, 2013, consists of 80 single-family residential lots and is zoned Planned Development District 10 (PD-10) for single-family attached and single-family detached land uses. Beyond this is a 10.062-acre tract of land (i.e. Tract 2-4, of the J. Cadle Survey, Abstract No. 65) which is vacant and zoned Commercial (C) District.

MAP 1: LOCATION MAP  
**YELLOW:** SUBJECT PROPERTY



**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Retail Strip Center/General Retail Store* is permitted by-right in a General Retail (GR) District. While the submitted site plan generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a General Retail (GR) District, the landscape plan, treescape plan, and building elevations do not conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a General Retail (GR) District and the SH-276 Overlay (SH-276 OV) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
PLANNING AND ZONING DEPARTMENT	PAGE 2	CITY OF ROCKWALL

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	6,000 SF	X=166,415 SF; In Conformance
Minimum Lot frontage	60-Feet	X= 289.41-feet; In Conformance
Minimum Lot Depth	100-Feet	X> 100-feet; In Conformance
Minimum Front Yard Setback	15-Feet	X>15-feet; In Conformance
Minimum Rear Yard Setback	10-Feet	X>10-feet; In Conformance
Minimum Side Yard Setback	10-Feet	X>10-feet; In Conformance
Maximum Building Height	36-Feet	X=24-feet; In Conformance
Max Building/Lot Coverage	40%	X<40%; In Conformance
Minimum Number of Parking Spaces	1/250 SF for Retail (i.e. 12,000 SF /250 SF = 48 parking spaces)	X=48 parking spaces; In Conformance
Minimum Landscaping Percentage	20%	X>20%; In Conformance
Maximum Impervious Coverage	85-90%	X<85%; In Conformance

## TREESCAPE PLAN

The applicant has submitted a *Treescape Plan* showing that they are not removing any protected trees; however, based on current aerial images and photos of the subject property it appears that the applicant is removing several cedar trees that appear to be greater than eight (8) feet in height (see *Figure 1 & 2*). Staff included this in their comments; however, the applicant failed to address this with the resubmitted material. Staff is requesting that this be verified with the City’s Arborist and that an updated *Treescape Plan* be prepared showing conformance to the requirements of the Unified Development Code (UDC). For reference, Article 09, *Tree Preservation*, of the Unified Development Code (UDC) defines *Secondary Protected Trees* as being, “(a)ny cedar tree that is eight (8) feet in height or greater ...” and that the removal of any *Secondary Protected Tree* requires mitigation of one (1), four (4) inch caliper tree per *Secondary Protected Tree* removed.

## CONFORMANCE WITH THE CITY’S CODES

According to Subsection 02.02(F)(17), of Article 13, *Definitions*, of the Unified Development Code (UDC) a *General Retail Store* is defined as “(a) facility or area for the retail sale of general merchandise or food to the public for direct consumption and not for wholesale. Typical general merchandise includes clothing and other apparel; equipment for hobbies or sports; gifts; flowers and household plants; dry goods; groceries, convenience, and specialty foods; toys; furniture; books and stationery; pets; drugs; hardware; and similar consumer goods...” In this case, the applicant’s request for the *Retail Strip Center* is permitted *by-right* in a General Retail (GR) District as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The submitted site plan package DOES NOT conform to all applicable standards of the General Retail (GR) District, as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC) and Planned Development District 10 (PD-10). Staff has identified 11 variances and/or exceptions associated with the submitted plans, which are being requested by the applicant and are outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo. In addition, staff has provided several conditions of approval intended to address outstanding review comments and bring the proposed development into greater compliance with the City’s applicable standards; however, staff is recommending that this case be denied without prejudice to allow the applicant the ability to resubmit the plans to bring them closer into compliance with the City’s minimum code requirements (see *Staff’s Analysis*).



**FIGURE 1.** SECONDARY TREES IDENTIFIED BY STAFF ON THE SUBJECT PROPERTY CIRCLE IN RED.



**FIGURE 2.** SECONDARY TREES IDENTIFIED BY STAFF ON THE SUBJECT PROPERTY INDICATED BY THE RED ARROW.

## VARIANCES AND EXCEPTIONS REQUESTED BY THE APPLICANT

As previously stated, the applicant's request DOES NOT appear to conform to the majority of the requirements of the Unified Development Code (UDC). Specifically, staff has identified the following variances and exceptions associated with the applicant's request:

- (1) Primary Articulation. According to Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), each building façade within a Commercial (C) District must meet the minimum primary and secondary articulation standards. In this case, the proposed building elevations do not meet the minimum vertical or horizontal wall projections of 6.5-feet. This will require an exception from the Planning and Zoning Commission.
- (2) Building and Pole-Mounted Lighting. According to Subsection 03.02, *Prohibited Lighting*, of Article 07, *Environmental Performance*, of the Unified Development Code (UDC), all building and pole mounted luminaries shall be directed down with either a partial cut-off or full cut-off at the source. In this case, the applicant has provided lighting cutsheets that indicate wall packs that will be directed up. This will require an exception from the Planning and Zoning Commission.
- (3) Detention Landscaping. According to Subsection 05.03 (D), *Detention Basins*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), detention basins shall be landscaped in a natural manner using ground cover, grasses, shrubs, berms, and accent and canopy trees. There shall be a minimum of one (1) canopy tree per 750 SF and one (1) accent tree per 1,500 SF of detention area. In this case, the applicant has not delineated the boundaries of the detention pond and staff is not able to determine the required number of trees required for the detention area. In addition, the landscape plan is not showing any landscaping for the detention area. This will require an exception from the Planning and Zoning Commission.
- (4) Roof Design Standards. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. In this case, the proposed elevations show a parapet roof that is not enclosed on all sides and does not indicate whether the parapet will be finished on the backside the same as the front. This will require a variance from the Planning and Zoning Commission.
- (5) Parking Restrictions. According to Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), parking should not be located between the front façade and the property line. In this case, there are four (4) proposed parking spaces located between the front façade and the property line adjacent to S. T. L. Townsend Drive. This will require an exception from the Planning and Zoning Commission.
- (6) Buildings and Paving within a Required Landscape Buffer. According to Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), buildings and paving (e.g. parking lots) shall not be permitted within any required landscape buffer. In this case, the proposed landscape plan shows four (4) parking spaces within the landscape buffer along T. L. Townsend Drive. This will require an exception from the Planning and Zoning Commission.
- (7) Four (4)-Sided Architecture. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along the perimeter of the subject property to the rear of the building. In this case, the proposed elevations are not architecturally finished on all four (4) sides and the proposed landscape plan does not show a row of trees to be planted at the rear of the building. This will require a variance from the Planning and Zoning Commission.
- (8) Landscape Buffer along T. L. Townsend. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum landscape buffer along S. T. L. Townsend is 15-feet. In this case, the applicant is showing a 15-foot landscape buffer but is showing that the

landscape buffer also encompasses the required ten (10) foot utility easement. This is not allowed per the Engineering Department's *Standards of Design and Construction Manual*. This will require a variance from the Planning and Zoning Commission.

- (9) *Plantings and Berms within the Landscape Buffer along S. T. L. Townsend.* According to Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, "(a)ll landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency." In this case, the landscape plan does not provide the required number of canopy trees, accent trees or any indication of a berm along S. T. L. Townsend Drive. This will require an exception from the Planning and Zoning Commission.
- (10) *Landscape Buffer along Old SH-276.* According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum landscape buffer along Old SH-276 is 15-feet. In this case, the applicant is showing a 15-foot landscape buffer but is showing that the landscape buffer also encompasses the required ten (10) foot utility easement. This is not allowed per the Engineering Department's *Standards of Design and Construction Manual*. This will require a variance from the Planning and Zoning Commission.
- (11) *Plantings and Berms within the Landscape Buffer along Old SH-276.* According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway." In this case, the landscape plan does not provide the required number of canopy trees, accent trees or any indication of a berm along Old SH-276. This will require an exception from the Planning and Zoning Commission.
- (12) *Residential Adjacency.* According to Subsection 05.01.B(2), *Abutting Residential*, of Article 08, *Landscape and Fence Standards*, "(a) minimum of a 20-foot wide landscape buffer shall be required along the entire length of any nonresidential lot that abuts a residentially zoned or used property" and goes on to state, "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers (as depicted in Figures 6 & 7 below). As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e.* [1] *small to mid-sized shrubs, large shrubs or accent trees, and canopy trees* or [2] *evergreen trees and canopy trees*) along the entire length of the adjacency. The canopy trees shall be placed on 20-foot centers." The applicant has not proposed any residential adjacency screening options; however, the site currently has a heavily wooded area between the residential subdivision to the north and the subject property (*i.e.* *within the floodplain area*), which provides a natural buffer that could be seen as meeting the intent of this requirement. This would still require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide two (2) compensatory measures for each variance or exception that is requested that directly offset the requested variance or exception. Based on the submitted materials, the applicant's request would require 24 compensatory measures. The applicant has submitted a variance letter but only included a total of three (3) compensatory measures: [1] additional landscaping, [2] providing a trash receptacle and bench for the trail located along the site, and [3] increasing the open space provided on the site. Based on the submitted plans, staff cannot identify where the additional landscaping referenced by the applicant is being proposed. Currently, many of the obligatory landscape requirements are not being met and the site appears to actually be deficient in terms of the landscaping being provided. Additionally, the open space that the applicant is providing is due to the large amount of floodplain located on the subject property, which is required to be left in a natural condition. Based on this, the additional open space is not really a compensatory measure, but rather a site limitation. This means that the applicant is only providing one (1) compensatory

measure to justify the requested 12 variances and exceptions, and staff has not been able to verify that this measure is sufficient, proportional, or directly related to the requested deviations.

Staff should also note that there does *not* appear to be any unique or extraordinary conditions that would prohibit the applicant from meeting the requirements of the Unified Development Code (UDC) or the Engineering Department's *Standards of Design and Construction Manual*. Additionally, the majority of the variances appear to be design deficiencies or relate to the building being disproportionate to the buildable area on the site. With this being said, requests for exceptions to the Unified Development Code (UDC) and the Engineering Department's *Standards of Design and Construction Manual* are discretionary decisions for the Planning and Zoning Commission, that require a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- for the approval of a variance or exception.

## **STAFF ANALYSIS**

Staff would note that this is not a case involving one (1) or two (2) minor deviations from the City's development standards. Rather, this request includes numerous exceptions and variances from standards that are intended to ensure high-quality commercial development along a major roadway and within an overlay district. These standards address building articulation, four-sided architecture, roof design, lighting, parking placement, landscape buffers, detention area landscaping, berm placement, frontage landscaping, and the location of required landscaping. Taken together, the requested deviations materially affect the design quality, visual appearance, and site layout of the proposed development.

Of particular concern is the degree to which the proposed site plan appears to rely on undevelopable or constrained portions of the property, including floodplain/open space areas, to offset deficiencies elsewhere on the site. The applicant has identified increased open space as a compensatory measure; however, much of this open space appears to result from existing site constraints rather than from a deliberate design enhancement intended to offset the requested variances. As such, staff has difficulty concluding that this measure provides a meaningful public benefit or directly compensates for the requested deviations from the Unified Development Code (UDC).

In addition, the landscape plan does not appear to provide the level of landscaping required within the most visible and important portions of the site. Specifically, the plan does not demonstrate compliance with the required landscaping along T. L. Townsend Drive, does not provide the required berm placement or shrub screening along the roadway frontage, does not provide the required detention basin landscaping, and places a substantial amount of landscaping in areas that do not satisfy the intent of the Unified Development Code (UDC). The result is a site design that does not adequately address the public-facing edges of the development or provide the level of visual mitigation required by the City's standards.

Staff also has concerns with the proposed building elevations. The elevations do not appear to meet the required primary articulation standards and do not demonstrate true four (4)-sided architecture as required within the overlay district. The UDC requires buildings in the overlay district to be architecturally finished on all four (4) sides using the same materials, detailing, articulation, and features. In this case, the proposed elevations appear to focus the architectural treatment primarily on the front façade, while providing reduced architectural detail on other building elevations including the façade facing T. L. Townsend. This façade is particularly concerning since the applicant is requesting the landscape variance along this roadway. This is inconsistent with the intent of the overlay district standards and would require discretionary relief from the Planning and Zoning Commission.

The proposed lighting also presents a compliance issue. The submitted cut sheets indicate the use of wall-pack fixtures that appear to direct light upward, which is inconsistent with the Unified Development Code (UDC) requirement that building-mounted and pole-mounted luminaires be directed downward with either partial cut-off or full cut-off at the source. This requirement is intended to reduce glare, limit light trespass, and maintain a higher standard of site lighting. The submitted materials do not demonstrate compliance with this requirement.

The site layout further includes parking spaces located between the front façade of the building and the property line, as well as parking spaces located within a required landscape buffer along T. L. Townsend Drive. These design choices directly conflict with the City's standards for non-residential development and landscape buffer protection. Required landscape buffers are intended to remain free of paving and buildings so that they can function as true visual buffers, not residual space left over after site layout decisions are made. Additionally, the site is parked at the minimum required ratio. As a result, if higher-intensity tenants, such as a *restaurant* or *medical office*, were to request a Certificate of Occupancy (CO) in the future, the

increased parking demand could reduce the overall availability of parking within the *retail strip center* and potentially limit the ability to accommodate future tenants.

Under Article 11 of the UDC, the Planning and Zoning Commission may consider variances and exceptions where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the UDC would create an undue hardship. In addition, the UDC requires the applicant to provide two (2) compensatory measures for each requested variance or exception. Based on the submitted plans, staff has identified 12 separate variances or exceptions, which would require a total of 24 compensatory measures. The applicant's variance letter identifies only three (3) compensatory measures; however, only one (1) of these seems to be an actual compensatory measure. Based on all of these deficiencies, staff requested that the applicant table the case and make the required changes to show better conformance to the design criteria of both the Unified Development Code (UDC) and the Engineering Department's *Standards of Design and Construction* prior to taking the case forward for action from the Planning and Zoning Commission; however, the applicant has requested to proceed with the case as it was submitted to staff. Based on this staff is obligated to recommend that the case be *DENIED WITHOUT PREJUDICE*. This action will allow the applicant the ability to make the requested changes, reduce the variances and exceptions, revise any necessary compensatory measures, and resubmit the case without restriction.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *Technology District* and is designated for *Commercial/Retail* land uses. According to the *Land Use Plan Designations* the *Technology District* is "primarily characterized as an employment heavy district containing all phases of the Rockwall Economic Development Corporation's (REDC's) Technology Park, which supports a wide range of clean industrial businesses that help to diversify the City's tax base." Additionally, the *Technology District* also states that "commercial areas adjacent to SH-276 contain a mixture of transitional uses and land uses targeted at supporting the existing and anticipated residential land uses." One of the primary land uses described in the designation characteristics is commercial retail buildings. In this case, the applicant is proposing a *Strip Retail Building*. Based on this, the applicant's proposed land use appears to conform with the Future Land Use Plan; however, the proposed building and site design do not appear to conform to the goals and policies contained in Chapter 9, *Non-Residential*, of the Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

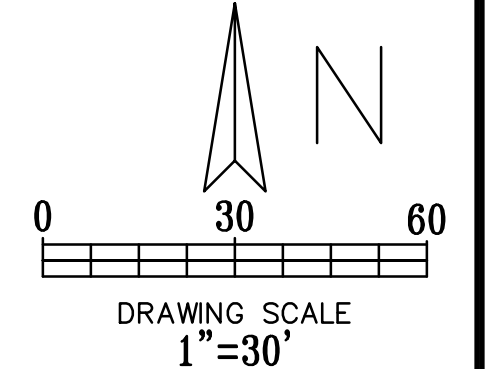
On April 28, 2026, the Architectural Review Board (ARB) reviewed the applicant's proposed building elevations and recommended that the applicant meet the *General Overlay District Standards*. The submitted building elevations do not appear to conform with this recommendation; however, the Architectural Review Board (ARB) will review the revised building elevations at the June 9, 2026 Architectural Review Board (ARB) meeting prior to the June 9, 2026 Planning and Zoning Commission meeting.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for a *Retail Strip Center* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of civil engineering plans.
- (2) The applicant shall provide an updated site plan package showing that the overhead utilities shall be placed underground or obtain approval of a variance through the City Council prior to the submittal of civil engineering plans.
- (3) The applicant shall provide updated building elevations showing conformance to the *Mechanical Equipment Screening* requirements of Unified Development Code (UDC) prior to the submittal of civil engineering plans.
- (4) The *Treescape Plan* will need to be verified with the City's Arborist, and if necessary a new *Treescape Plan* will need to be submitted to staff prior to the submission of civil engineering plans.

- (5) The applicant shall address the following engineering markups (*provided in your packets*) prior to the submittal of civil engineering plans:
- (a) All new easements must be a minimum of 20-feet. The water line along SH-276 shall be centered within the easement.
  - (b) The Oil/Water Separator must be directed to the storm water system instead of the sanitary sewer system.
  - (c) The proposed Fire Hydrant along SH-276 shall have a 20-foot water easement.
  - (d) Landscape plantings and berms shall not be permitted within the sanitary sewer easements along T. L. Townsend Drive.
- (6) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



**LEGEND**

- EXISTING CURB
- PROPOSED CURB
- PROPERTY LINE
- 4" PROPOSED SIDEWALK 3,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS WITH COMPACTED SUBGRADE. (MINIMUM 5.5 SACK MIX)
- 6" PROPOSED PAVEMENT 3,600 PSI REINFORCED CONCRETE WITH #4 BARS AT 24" CENTERS ON 6" FLEX BASE ON 6" COMPACTED SUBGRADE SOILS. FIRELANES SHALL BE PER CITY STANDARDS (MINIMUM 6.5 SACK MIX)
- PROPOSED ADA SPACE PER CURRENT ADA/TAS STANDARDS WITH WHEELSTOP AND ADA SIGNAGE

**General Items:**

- Must meet City 2023 Standards of Design and Construction.
- Minimum easement width is 20' for new easements.
- No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- All utilities must be underground. All overhead power lines will need to be buried.
- The property must be platted.
- No structures or fences within easements or ROW.
- No signage is allowed within easements or ROW.
- All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
- A TXDOT Permit will be required for all utility, drainage, and pavement improvements within TXDOT ROW.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering.
- Dumpsters should be orientated so that a trash truck can maneuver the property with the least amount of circling required. May not directly face a roadway.

**Drainage Items:**

- Existing flow patterns must be maintained. Drainage may not be increased towards any direction.
- Detention must be provided for the entire site.
- Per the City's Engineering Standards of Design and Construction, Section 3.04.02 (c), detention is required and a flood study performed from this site to Horizon Road. There may not be any adverse impacts upstream or down stream, with 0.00' rise on any other properties.
- Detention is not allowed within the floodplain at all.
- Per the City's Engineering Standards of Design and Construction, see section 3.02. Detention calculations are based on zoning, not land use area. Only area of site that may use undeveloped values in post construction calculations is the floodplain area. All land out of the floodplain must be calculated at the zoning value.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at the free-board elevation.
- Detention ponds must provide an emergency spillway.
- Detention ponds must be in a drainage easement located at the freeboard elevation.
- Detention ponds must be irrigated.
- Must match the existing flow conditions for the detention outfall or an off-site easement is required.
- No vertical walls are allowed in detention easement.
- No public water or sanitary sewer are allowed in detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area or floodplain area. Minimum 2' above 100-year WSEL.
- 100-year WSEL must be called out for detention ponds and floodplain areas.
- Flood Study is required to define all fully developed 100-yr floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
- Any fill within FEMA floodplain must require a LOMR.
- Floodplain and erosion hazard setback must be within a drainage easement.
- Finished floor elevation must be a minimum of 2' above the floodplain.
- Must get a Wetlands/WOTUS study for all ponds and wetland areas.
- All Dumpster areas shall drain to an oil/water separator and then into the storm system.
- Driveway culverts must be engineer designed.

**Water and Wastewater Items:**

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- There is an existing 12" water main stub located on the southwest side and southeast of the property available for use.
- Developer will need to install a 12" water main between the 2 existing water main stubs along SH 276 per the City's Master Water Plan per the City's Engineering Standards of Design and Construction, Section 5.01.. A minimum 20' easement will need to be dedicated.
- There is an existing 15" sewer main located along SH 276 and TL Townsend available for use.
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- Any utility connection made underneath of an existing City roadway must be completed by dry bore. Opening cutting will not be allowed.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. No structures or berms allowed in easements.
- All public utilities must be centered in easement.
- Water to be 10' separated from storm and sewer lines.
- All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
- Pro-ratas may apply. \$1,924.04/ac sewer pro-rata at minimum
- Infrastructure study maybe required depending on use. Review fees apply.

**Paving Items:**

- A TXDOT Permit will be required for all utility, drainage, and pavement improvements within TXDOT ROW.
- All driveways must meet City and TXDOT spacing requirements. Per TXDOT driveway requirements, driveways are a minimum 425' from one another or roadway intersections.
- All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without a City approved turnaround area, 15'x64' striped and signed no parking area.
- All drive aisles to be a minimum of 24' wide.
- All streets and parking to be minimum 1-ft above the 100 YR floodplain WSEL.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30'.

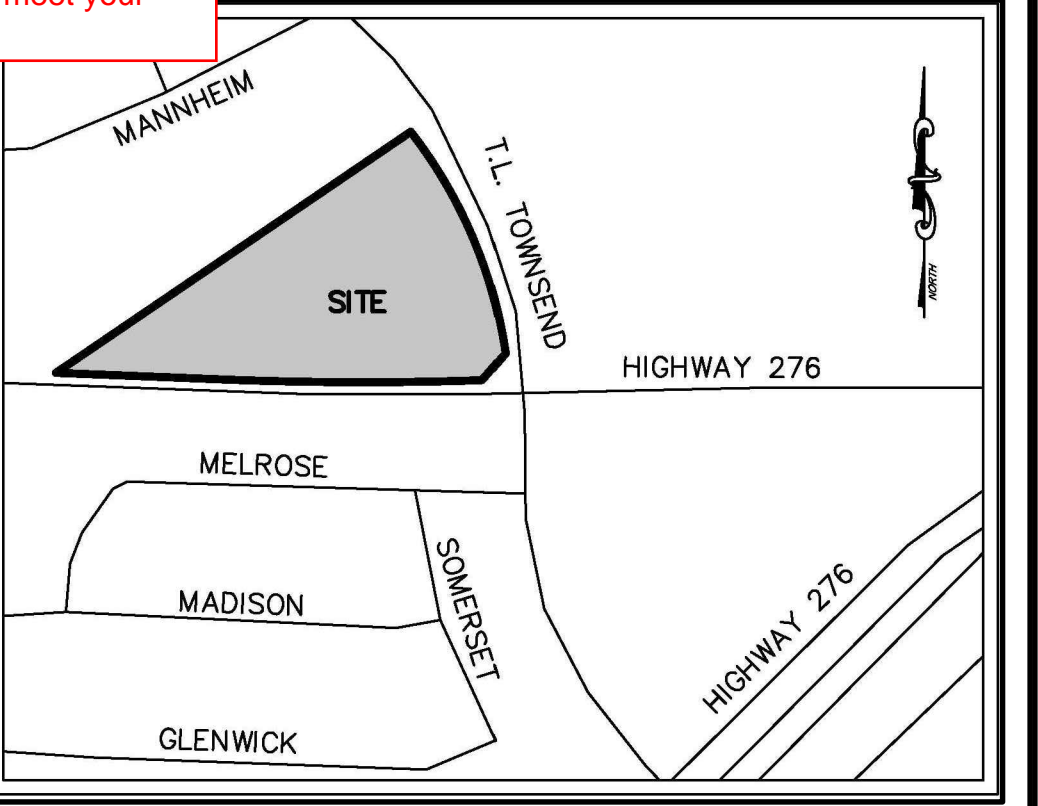
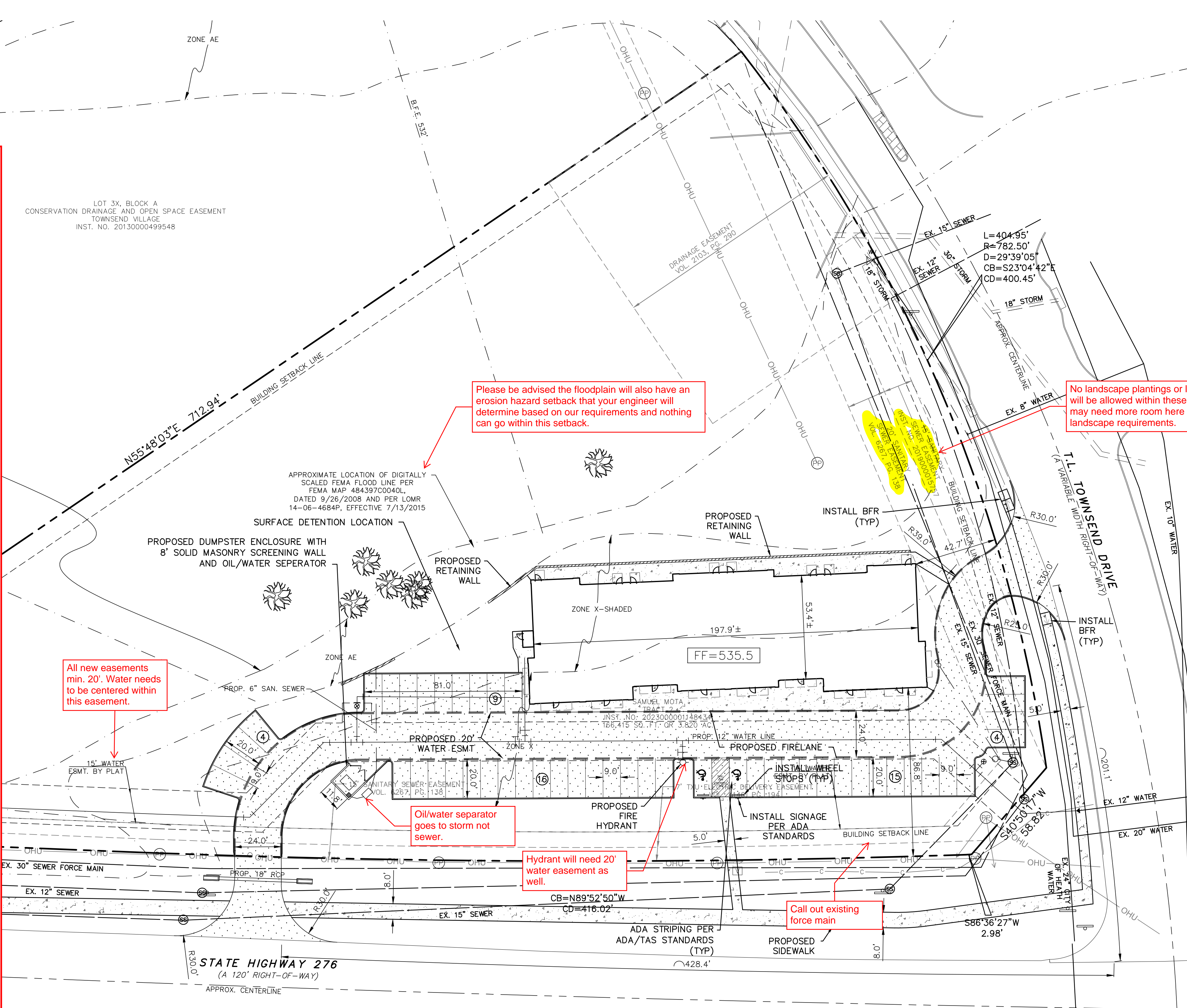
**Operation & Maintenance Plan for Structural Control Measures:**

The owner or operator of any new development or redeveloped site must develop and implement an Operation and Maintenance Plan (O&M Plan) addressing the maintenance requirements for all structural stormwater control measures installed on site, including but not limited to detention ponds and retention ponds.

The O&M Plan must be submitted to the City for recordkeeping purposes at the time of Engineering. To ensure long-term maintenance regardless of ownership changes, the owner or operator must provide proof that the O&M Plan has been incorporated into the property deed restrictions or Homeowners Association (HOA) covenants, as applicable.

The site owner or operator must maintain the O&M Plan on-site along with documentation of all maintenance activities performed. These records must be made available for review by the City of Rockwall or TCEQ within 24 hours of request.

No landscape berms shall be located on top of City utilities or within easements.



VICINITY MAP  
N.T.S.

SITE DATA TABLE	
CURRENT ZONING:	PD-10 (SH276 OVERLAY)
LAND USE:	OFFICE/RETAIL BUILDINGS
SITE ACREAGE:	3.82 ACRES (166,415 SQ FT)
TOTAL BUILDING AREA:	12,000 SQUARE FEET
OPEN SPACE:	127,528/166,415 : 76.6%
PAVED SURFACE AREA:	38,887/166,415 : 23.4%
BUILDING HEIGHT:	1 STORY
PARKING REQUIRED:	
PD-10 OFFICE	48 PARKING SPACES
TOTAL (1 SPACE/250 S.F.):	48 PARKING SPACES
PARKING PROVIDED:	48 PARKING SPACES
ACCESSIBLE PARKING PROVIDED:	2 PARKING SPACES

APPROVED: \_\_\_\_\_  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_  
 WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
 \_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN  
 \_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

REVISIONS		
REV. NO.	DATE	DESCRIPTION

PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.  
 CALL: TEXAS ONE CALL @ 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER/DEVELOPER:  
 MGD 276 BUSINESS PARK, LLC  
 1557 TROWBRIDGE CIR.  
 ROCKWALL, TEXAS 75032  
 CONTACT: SAMUEL MOTA  
 PH: (972) 771-1607

CASE: SP2026-012  
**Cumulus Design Firm #14810**  
 2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050  
 Tel. 214.235.0367

SITE PLAN			
276 BUSINESS PARK			
CITY OF ROCKWALL			
ROCKWALL COUNTY, TEXAS			
J CADLE SURVEY, ABS 0065, TRACT 2-5			
DATE	PROJECT NO	DRAWING SCALE	SHEET
6/1/26	CD25020	1" = 30'	SP

FOR REVIEW ONLY. NOT FOR CONSTRUCTION

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 06/01/26.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Townsend Dr

SUBDIVISION J Cadle Survey, Tract 2, Abs 0065

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION NW corner of TL Townsend and SH 276

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-10

CURRENT USE Vacant

PROPOSED ZONING No change

PROPOSED USE Office/Warehouse

ACREAGE X

LOTS [CURRENT] \_\_\_\_\_

X

LOTS [PROPOSED] \_\_\_\_\_

X

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER MGD 276 Business Park

APPLICANT Cumulus Design

CONTACT PERSON Sam Mota

CONTACT PERSON Paul Cragun

ADDRESS \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

PHONE \_\_\_\_\_

PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

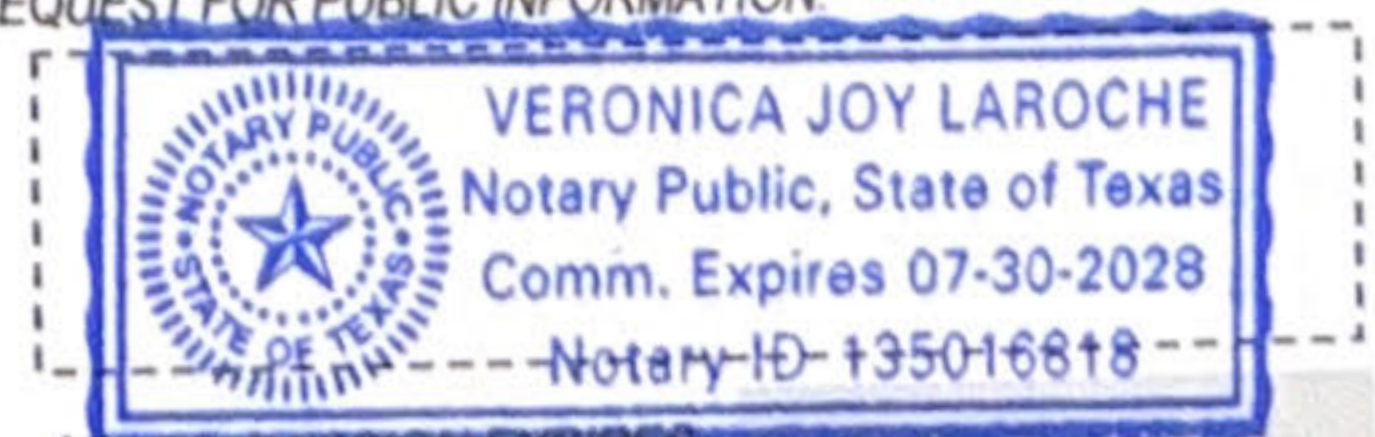
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Samuel A. Mota [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18<sup>th</sup> DAY OF January, 2026

OWNER'S SIGNATURE Samuel Mota

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Veronica J Laroché




MY COMMISSION EXPIRES \_\_\_\_\_

0 62.5 125 250 375 500 Feet

SP2026-012: Site Plan for 276 Business Park



Case Location Map = 

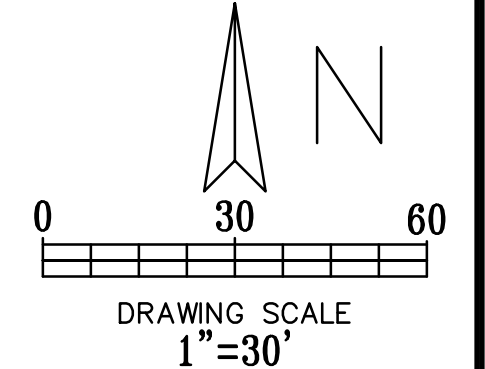


# City of Rockwall

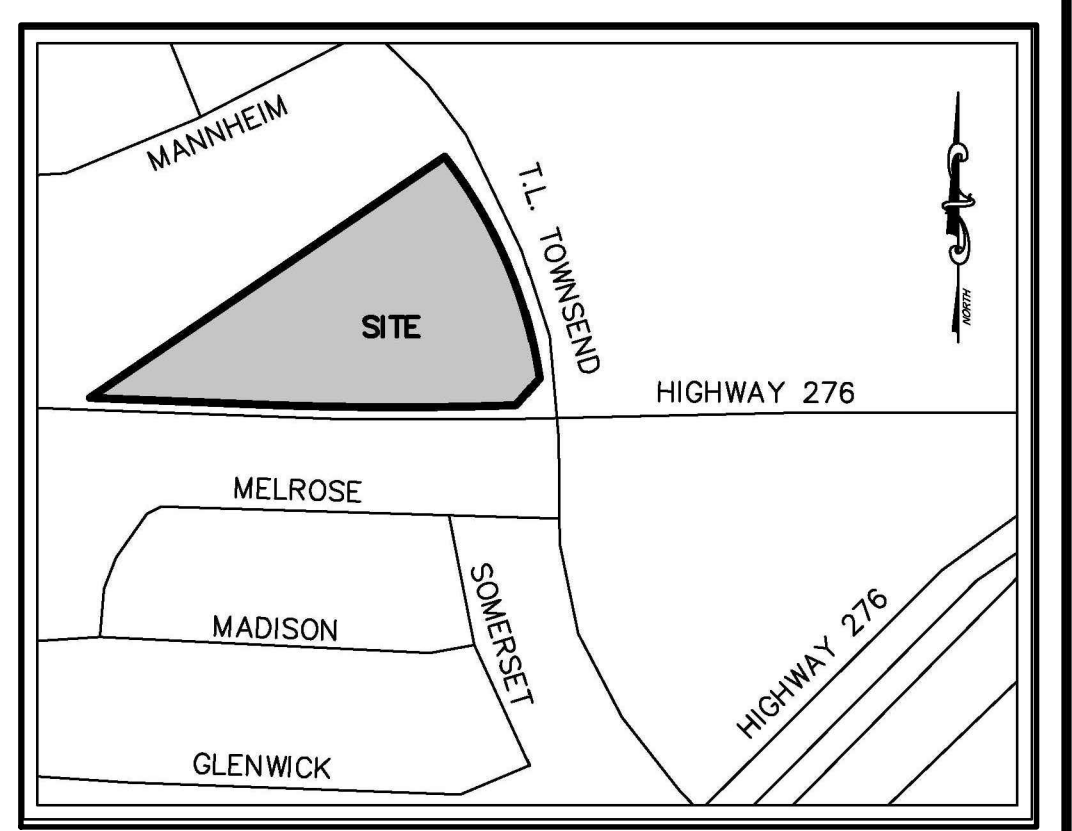
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

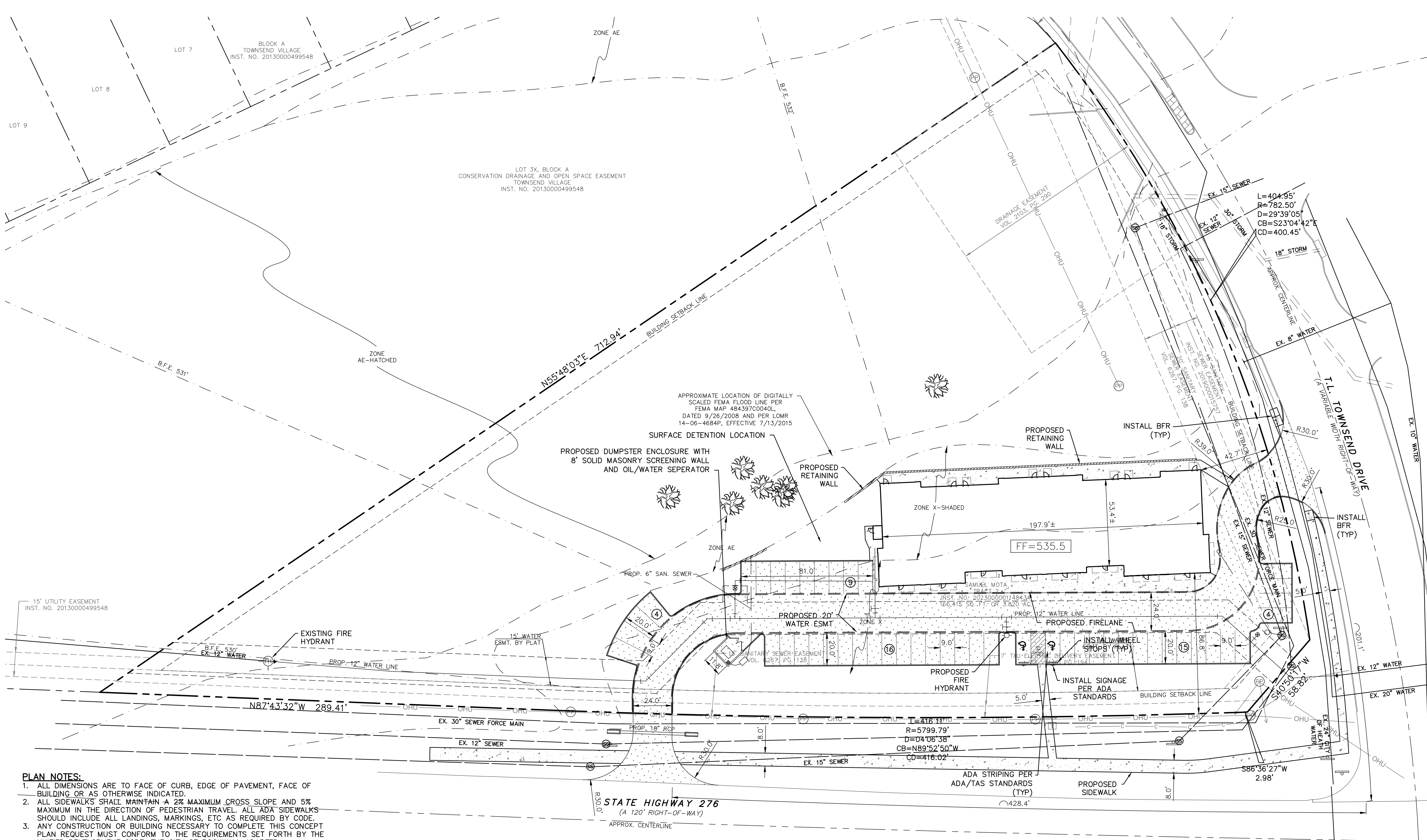




- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - PROPERTY LINE
  - 4" PROPOSED SIDEWALK 3,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS WITH COMPACTED SUBGRADE. (MINIMUM 5.5 SACK MIX)
  - 6" PROPOSED PAVEMENT 3,600 PSI REINFORCED CONCRETE PAVEMENT WITH #4 BARS AT 24" CENTERS ON 6" FLEX BASE ON 6" COMPACTED SUBGRADE SOILS. FIRELANES SHALL BE PER CITY STANDARDS (MINIMUM 6.5 SACK MIX)
  - PROPOSED ADA SPACE PER CURRENT ADA/TAS STANDARDS WITH WHEELSTOP AND ADA SIGNAGE



VICINITY MAP  
N.T.S.



- PLAN NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
  - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  - ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS CONCEPT PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE CITY OF ROCKWALL ADAPTED INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
  - THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.
  - A TYPICAL PARKING SPACE SHALL BE 9' WIDE AND 20' DEEP.
  - THE PROPERTY IS CURRENTLY UNPLATTED BUT WILL BE PLATTED AS PART OF DEVELOPMENT.
  - DETENTION AREA LOCATIONS HAVE BEEN CALLED OUT ON THIS PLAN. DETENTION OUTFALL MUST BE AT SHEET FLOW CONDITIONS WHEN STORM WATER CROSSES THE PROPERTY LINE. MANNING'S C-VALUE SHALL BE PER ZONING TYPE. DUMPSTER AREAS TO DRAIN TO OIL/WATER SEPARATOR AND THEN TO THE STORM LINES.

**III CAUTION III**  
**UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

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REVISIONS		
REV. NO.	DATE	DESCRIPTION

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WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 06/01/26.

FOR REVIEW ONLY. NOT FOR CONSTRUCTION

CASE: SP2026-012  
Cumulus Design Firm #14810  
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050  
Tel. 214.235.0367

SITE PLAN			
276 BUSINESS PARK			
CITY OF ROCKWALL			
ROCKWALL COUNTY, TEXAS			
J CADLE SURVEY, ABS 0065, TRACT 2-5			
DATE	PROJECT NO	DRAWING SCALE	SHEET
6/1/26	CD25020	1" = 30'	SP

OWNER/DEVELOPER:  
MGD 276 BUSINESS PARK, LLC  
1557 TROWBRIDGE CIR.  
ROCKWALL, TEXAS 75032  
CONTACT: SAMUEL MOTA  
PH: (972) 771-1607

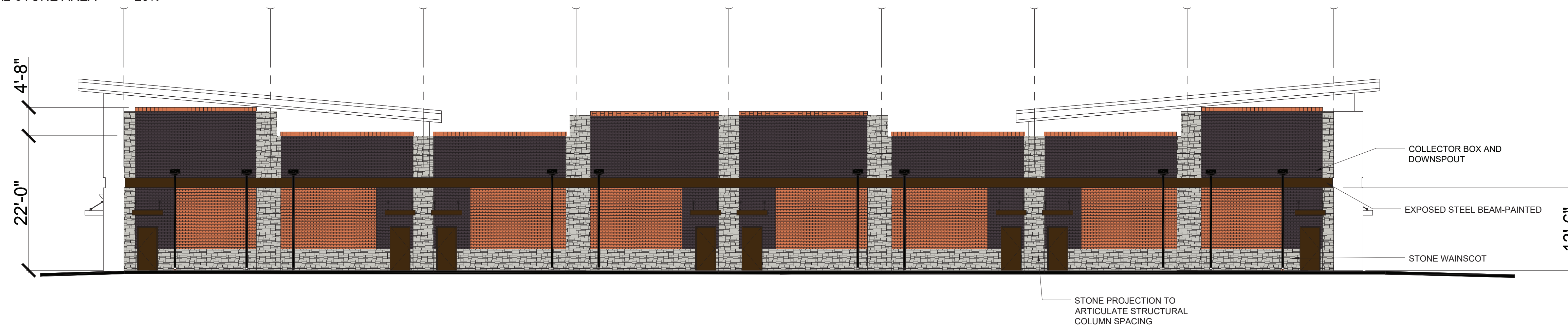


1 South Elevation - Building 1

SCALE:

3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 5,234 SF  
 MASONRY AREA- 91%  
 NATURAL STONE AREA- 20%

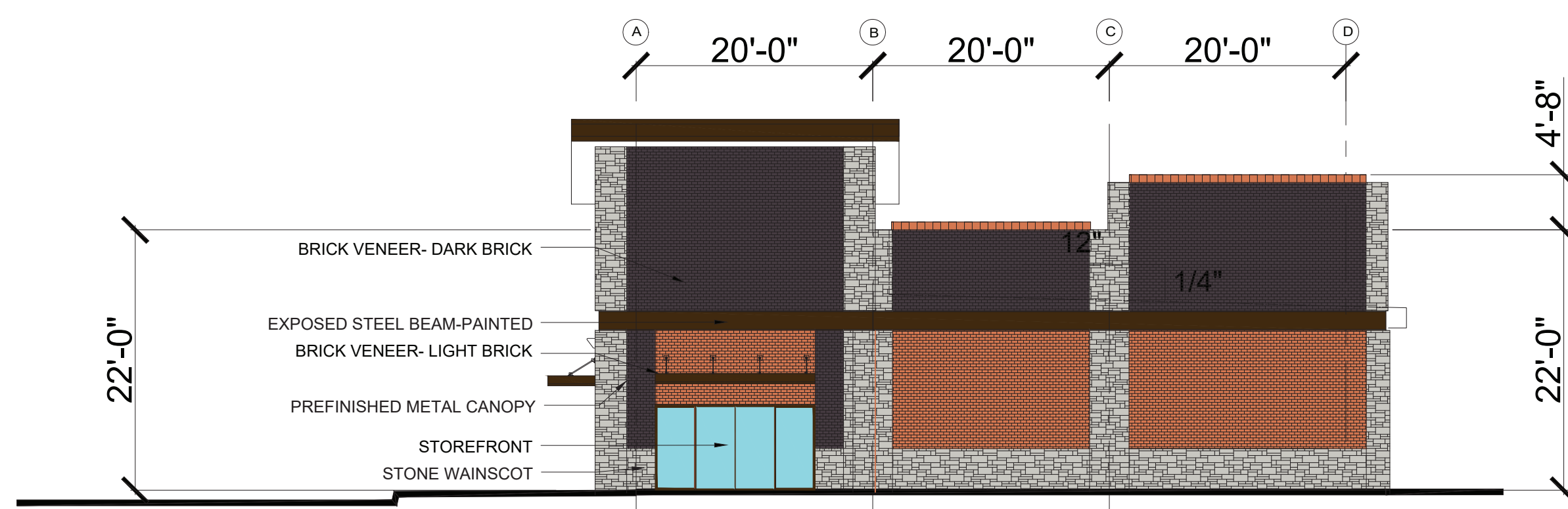


2 North Elevation - Building 1

SCALE:

3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 4,827 SF  
 MASONRY AREA- 90%  
 NATURAL STONE AREA- 28%

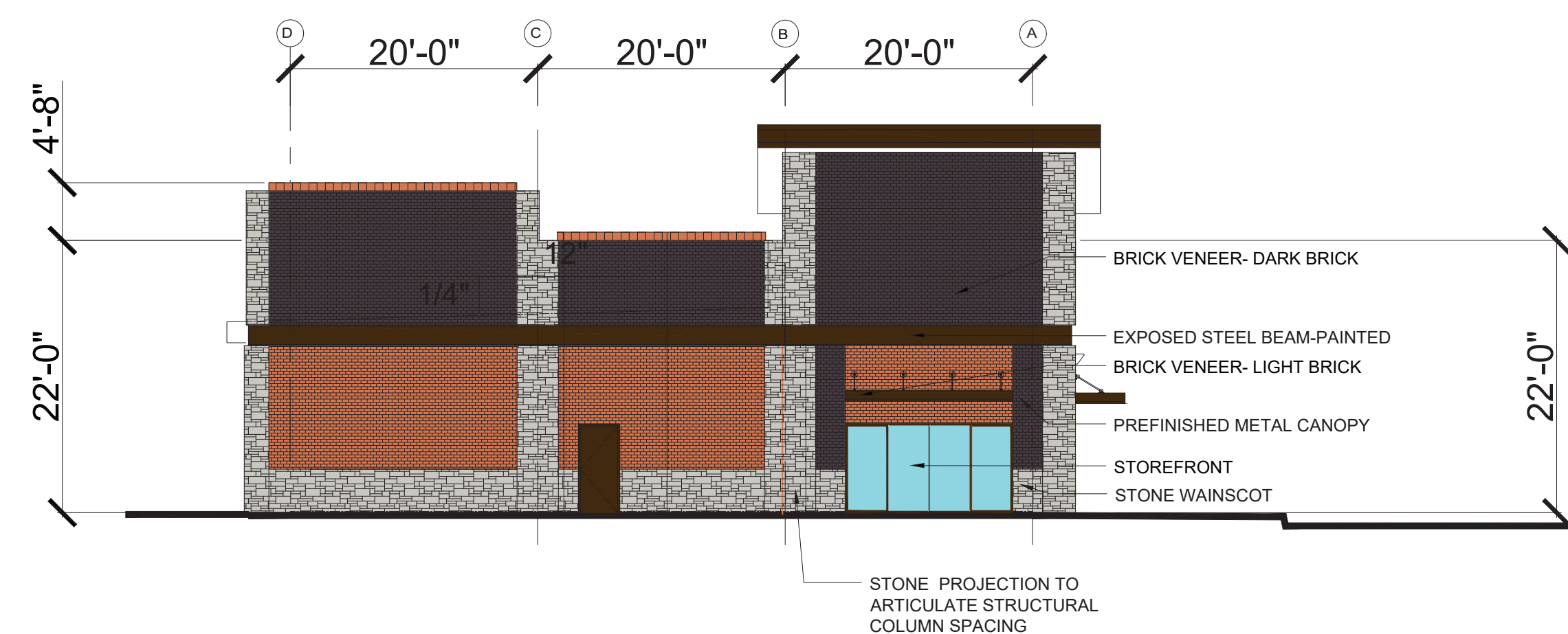


3 East Elevation - Building 1

SCALE:

3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 1,768 SF  
 MASONRY AREA- 92%  
 NATURAL STONE AREA- 26%



4 West Elevation - Building 1

SCALE:

3/32" = 1'-0"

SP2026-012

MATERIAL CALCULATIONS:  
 FACADE AREA- 1,768 SF  
 MASONRY AREA- 92%  
 NATURAL STONE AREA- 26%

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED FOR REVIEW
C	04/17/26	REVISED FOR REVIEW
D	05/22/26	REVISED FOR REVIEW

**ISSUED FOR REVIEW**  
NOT FOR CONSTRUCTION  
05/22/2026

WILLIAM TATLOCK, RA

2980 GOLFING GREEN CT.  
BURLESON, TX 76028

OFFICE BUILDING

Highway 276 & Townsend Rockwall, TX

Project	24111
Revision	D
Date	05/22/2026
Scale	

A4.1

OF SHEETS

EXTERIOR COLOR PALETTE



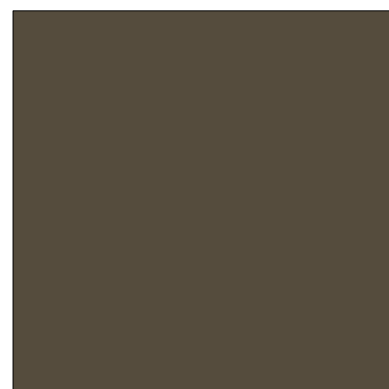
BRICK VENEER-  
"LIGHT" BRICK-  
ACME BRICK  
CLOISTURE MODULAR



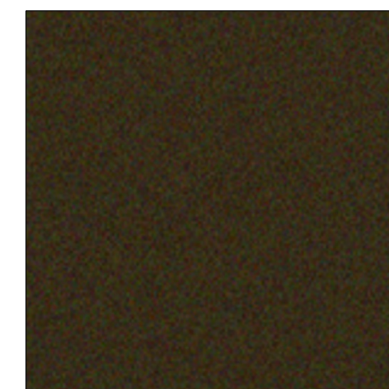
BRICK VENEER-  
"DARK" BRICK-  
ACME BRICK  
DARK INKSPOT MODULAR



STONE VENEER-  
CORONADO STONE-  
FREEDOM BUILDING STONE SERIES  
PATRIOT BLEND



METAL DOORS, CANOPY,  
STEEL BEAMS AND OVERHEAD  
COILING DOORS-  
EXTERIOR PAINT  
SHERWIN WILLIAMS  
SW7055 ENDURING BRONZE



STOREFRONT FRAMING-  
KAWNEER  
MEDIUM BRONZE

OFFICE BUILDING  
HIGHWAY 276 & TOWNSEND RD.  
ROCKWALL, TEXAS  
3/13/2026

ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION  
01/19/2026

WILLIAM TATLOCK, RA

2960 GOLFING GREEN CT.  
BURLESON, TX 76028

OFFICE BUILDING

Highway 276 & Townsend Rockwall, TX

Project 24111  
Revision A  
Date 03/13/2026  
Scale

A4.3

OF SHEETS

REV A DATE 03/13/26 ISSUE ISSUED FOR REVIEW

B





PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	6/1/26


REV.	DATE	DESCRIP.	BY

SHEET CONTENT:  
**LANDSCAPE DETAILS**

SHEET NO: L1.01

**LANDSCAPE NOTES**

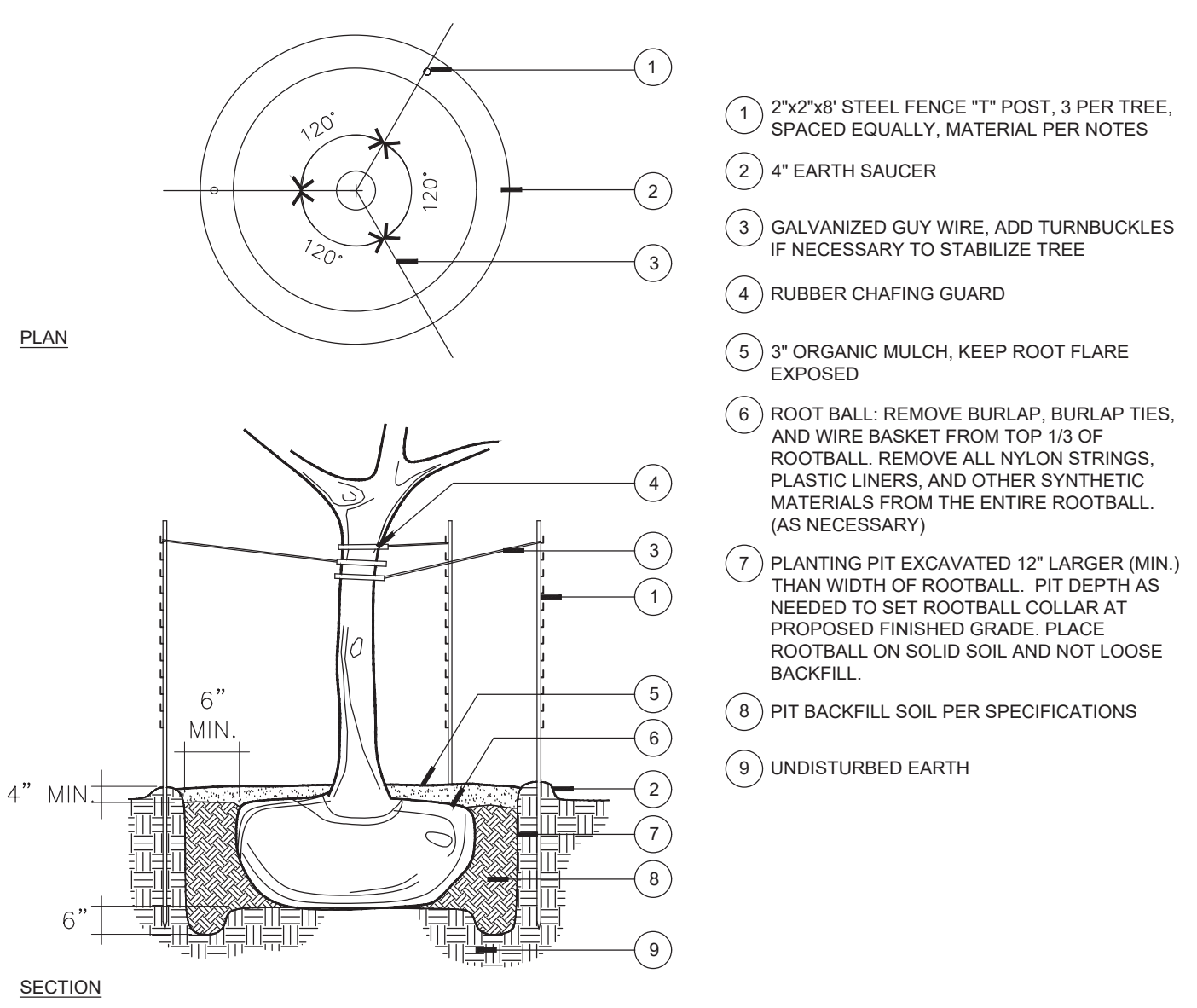
- Plant material shall comply with all sizing and grading standards of the latest edition of "American Standard for Nursery Stock."
- Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
- It is the responsibility of the contractor to advise the owner's representative of any condition found on site which prohibits installation as shown on these plans.
- In the event of a discrepancy between drawings and plant schedule, the drawings shall prevail.
- Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
- No substitutions shall be made without written authorization from the project Landscape Architect or the Owner.
- Commercial Soil Mix: All planting beds shall be excavated to twelve (12") inches below finished grade by Landscape Contractor, and all debris, stone, rubbish, weeds, and topsoil shall be removed from the site. The subgrade shall then be tilled to a depth of twelve (12") inches and the planting bed shall be backfilled with soil compost mix as available from Living Earth Resources, Inc., Dallas, Texas, or approved equal. Upon replacement of topsoil with mix and after watering in, the bed should be at the specified level.
- Existing soil shall be reasonably free of stones, lumps of clay, roots and other foreign matter. Acidity to be between 5.0 and 7.0 pH.
- If rocks are encountered, remove to a depth of 4" and add 4" of friable fertile topsoil to all sodded areas. Grade according to Engineer's grading plan.
- Lawn areas shall have 4" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
- All plant beds shall be top dressed with a minimum 4" of shredded hardwood mulch.
- Provide beveled edge between all plant beds and lawn areas unless indicated differently on plans.
- Tree planting pits shall be backfilled with top soil, and cleared of all rocks, lumps of clay and other foreign material. Place 1" of compost and 4" of mulch on top of root ball.
- Methods of tree staking indicated on the drawings are for suggestion only. The landscape contractor shall use whatever method he/she deems fit, however, he/she will be held liable for any damage caused to trees due to improper staking methods (including absence of staking), and will be responsible for adjusting and/or replanting trees which are not held upright during the warranty period.
- Trees shall be planted at least 3 feet from any utility line, curb, walk or fire hydrant, and outside all utility easements.
- Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
- Trees overhanging public street pavement, drive aisles and fire lanes shall have a minimum clear trunk height of 14 feet from finish surface of street pavement.
- Trees planted on slopes shall be placed in planting pits of adequate depth such that the soil stain at the base of the trunk matches that of the average grade or slope.
- A visibility triangle must be provided at all intersections. All landscaping within visibility triangles and parking lot islands, must be maintained so that lower tree limbs are a minimum of 7' from the ground and that shrubs and ground cover are a maximum of 24" high.
- No shrubs shall be permitted within areas less than three (3) feet in width. All such areas shall be grass or other permanent fixed material such as paving.
- During the warranty period The contractor shall be jointly responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. The work shall include - but not be limited to - mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, removed, or showing more than 40% defoliation, shall be replaced with plant material of similar size and variety within thirty (30) days.
- Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
- Landscape areas shall be kept free of trash, litter and weeds.
- All signage and fencing shall be contingent upon building inspection department approval.
- An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets and walks is prohibited. A permit from the building inspection department is required for each irrigation system. Drip indicators shall be installed on all drip irrigation zones.

FOR PRIVATE PROPERTY USE ONLY- THESE DETAILS SHALL NOT BE USED IN THE R.O.W. OR EASEMENT AREAS.

APPROVED:  
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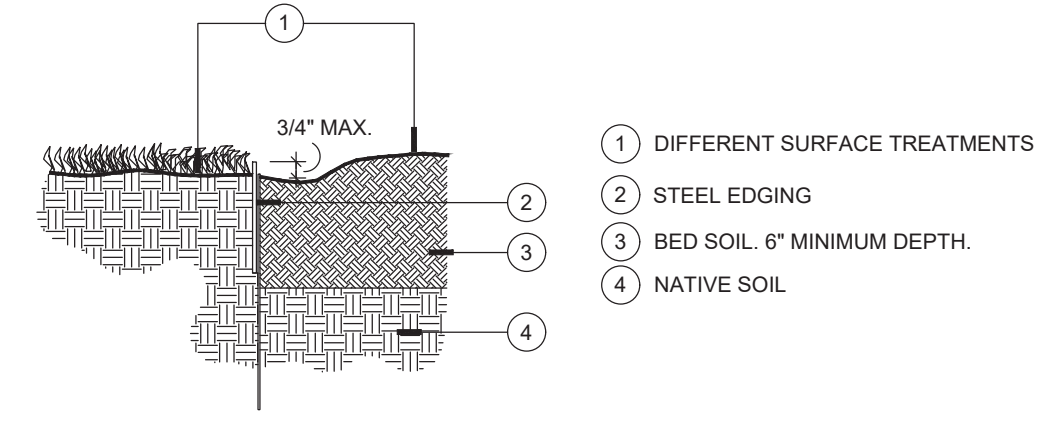
WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_



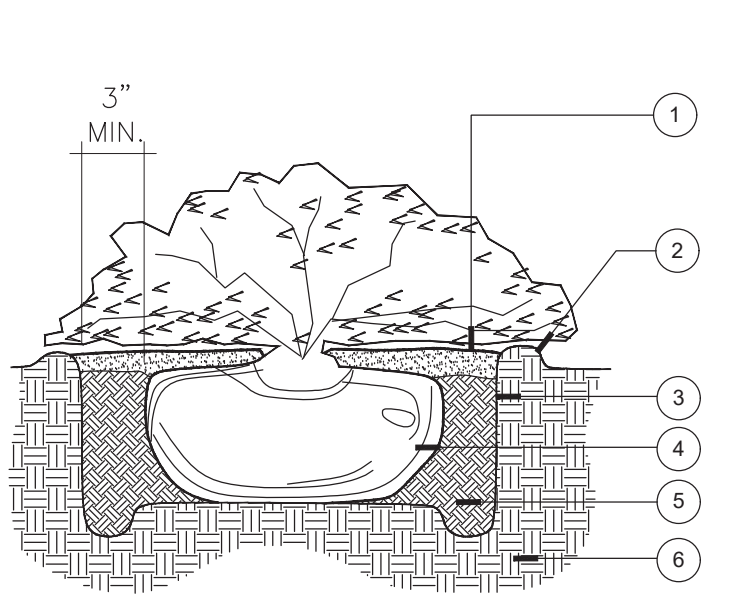
**A TREE PLANTING**  
N.T.S.

- 2"x2"x8" STEEL FENCE 1" POST, 3 PER TREE, SPACED EQUALLY, MATERIAL PER NOTES
- 4" EARTH SAUCER
- GALVANIZED GUY WIRE, ADD TURNBUCKLES IF NECESSARY TO STABILIZE TREE
- RUBBER CHAFING GUARD
- 3" ORGANIC MULCH, KEEP ROOT FLARE EXPOSED
- ROOT BALL: REMOVE BURLAP, BURLAP TIES, AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS, AND OTHER SYNTHETIC MATERIALS FROM THE ENTIRE ROOTBALL. (AS NECESSARY)
- PLANTING PIT EXCAVATED 12" LARGER (MIN.) THAN WIDTH OF ROOTBALL. PIT DEPTH AS NEEDED TO SET ROOTBALL COLLAR AT PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
- PIT BACKFILL SOIL PER SPECIFICATIONS
- UNDISTURBED EARTH



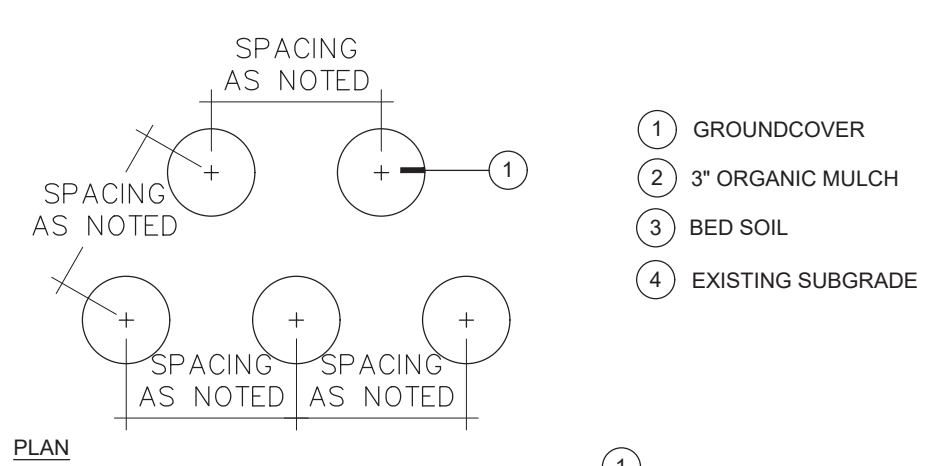
**D STEEL EDGING**  
N.T.S.

- DIFFERENT SURFACE TREATMENTS
- STEEL EDGING
- BED SOIL, 6" MINIMUM DEPTH.
- NATIVE SOIL



**B SHRUB PLANTING**  
N.T.S.




- 3" ORGANIC MULCH LAYER
- 3" HIGH EARTH SAUCER
- PLANTING PIT: EXCAVATE 6" LARGER (MIN.) THAN WIDTH OF ROOTBALL. W/ PIT DEPTH AS NEEDED TO SET ROOTBALL @ PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL. SCARIFY SIDES OF PIT, PROVIDE CONTINUOUS PIT FOR MASS BED PLANTINGS.
- ROOT BALL: REMOVE FROM CONTAINER. GENTLY SCARIFY GIRDLED ROOTS AS NEEDED. REMOVE ALL TAGS & TWINE.
- PIT BACKFILL W/ PREPARED SOIL BED MIX PER SPECIFICATIONS. PROVIDE CONTINUOUS SOIL BED MIX IN MASS PLANTINGS.
- UNDISTURBED EARTH



**C GROUND COVER PLANTING**  
N.T.S.


- GROUND COVER
- 3" ORGANIC MULCH
- BED SOIL
- EXISTING SUBGRADE

**LEGEND**

-  TREES TO BE REMOVED (NONE)
-  TREES TO BE PRESERVED (ALL)
-  TREE PROTECTION FENCING

**LANDSCAPE ARCHITECT/ARBORIST STATEMENT**

"I, AMY LONDON, BEING A LANDSCAPE ARCHITECT OR ARBORIST ATTEST THAT THE IDENTIFICATION AND SIZE OF TREES IDENTIFIED ON THIS SURVEY ARE CORRECT AND THAT ALL PROTECTED TREES HAVE BEEN SHOWN."

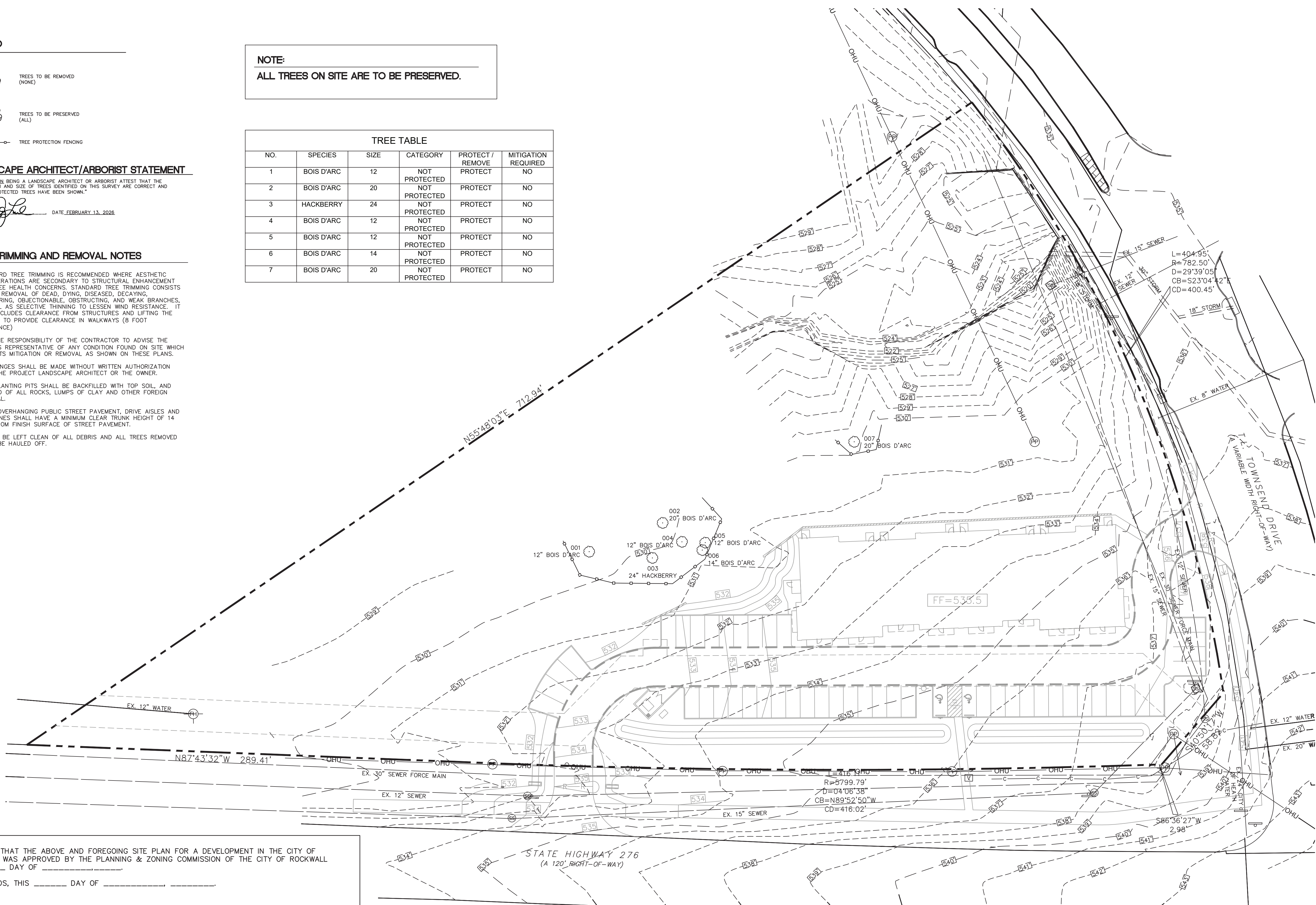
 DATE: FEBRUARY 13, 2026

**TREE TRIMMING AND REMOVAL NOTES**

1. STANDARD TREE TRIMMING IS RECOMMENDED WHERE AESTHETIC CONSIDERATIONS ARE SECONDARY TO STRUCTURAL ENHANCEMENT AND TREE HEALTH CONCERNS. STANDARD TREE TRIMMING CONSISTS OF THE REMOVAL OF DEAD, DYING, DISEASED, DECAYING, INTERFERING, OBJECTIONABLE, OBSTRUCTING, AND WEAK BRANCHES, AS WELL AS SELECTIVE THINNING TO LESSEN WIND RESISTANCE. IT ALSO INCLUDES CLEARANCE FROM STRUCTURES AND LIFTING THE CANOPY TO PROVIDE CLEARANCE IN WALKWAYS (8 FOOT CLEARANCE)
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS MITIGATION OR REMOVAL AS SHOWN ON THESE PLANS.
3. NO CHANGES SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE PROJECT LANDSCAPE ARCHITECT OR THE OWNER.
4. TREE PLANTING PITS SHALL BE BACKFILLED WITH TOP SOIL, AND CLEARED OF ALL ROCKS, LUMPS OF CLAY AND OTHER FOREIGN MATERIAL.
5. TREES OVERHANGING PUBLIC STREET PAVEMENT, DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET FROM FINISH SURFACE OF STREET PAVEMENT.
6. SITE TO BE LEFT CLEAN OF ALL DEBRIS AND ALL TREES REMOVED SHALL BE HAULED OFF.

**NOTE:**  
ALL TREES ON SITE ARE TO BE PRESERVED.

TREE TABLE					
NO.	SPECIES	SIZE	CATEGORY	PROTECT / REMOVE	MITIGATION REQUIRED
1	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
2	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO
3	HACKBERRY	24	NOT PROTECTED	PROTECT	NO
4	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
5	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
6	BOIS D'ARC	14	NOT PROTECTED	PROTECT	NO
7	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OLD SH 276  
COMMERCIAL OFFICES  
Rockwall, Texas



PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	6/1/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:  
**TREESCAPE PLAN**

SHEET NO: TR1.00

SP2026-012

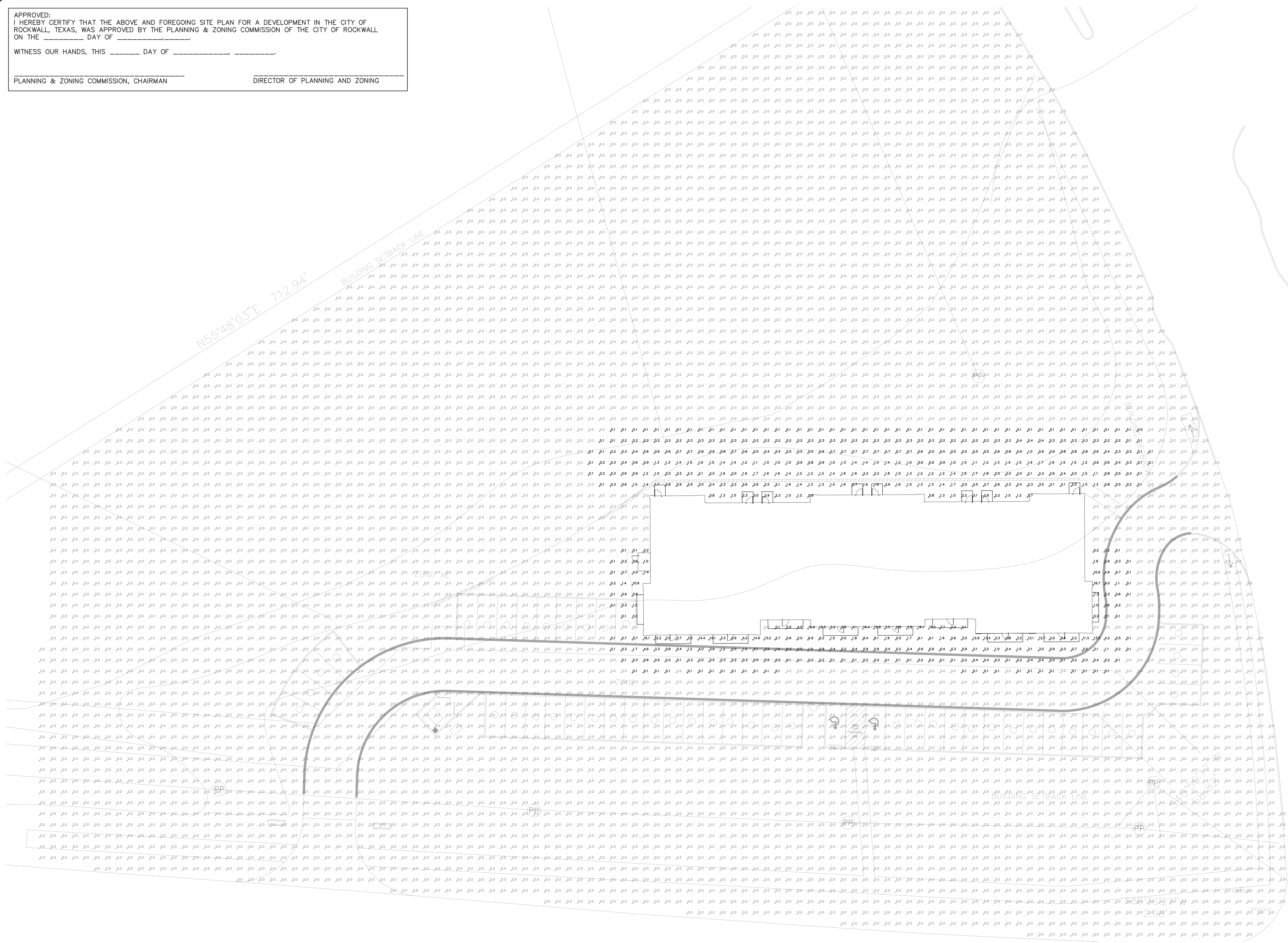
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APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF  
ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

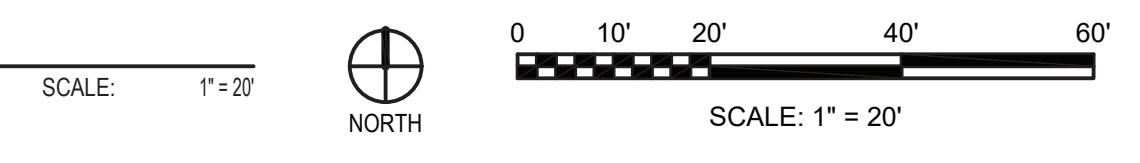
WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



1 ELECTRICAL PHOTOMETRICS PLAN



SP2026-012

REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED FOR REVIEW
C	03/13/26	REVISED FOR REVIEW
D	04/16/26	ISSUED FOR PERMIT
E	06/01/26	ISSUED FOR CONSTRUCTION

**ISSUED FOR PERMIT  
AND CONSTRUCTION**  
06/01/2026

HEC GROUP  
19749 SEABOLT P.L.C.  
ADDISON, TX 75001



OFFICE BUILDING  
ELECTRICAL PHOTOMETRICS  
HIGHWAY 275 & TOWNSEND  
ROCKWALL, TX 75082

Project	26104
Revision	E
Date	06/01/2026
Scale	N.T.S.
<b>E0.4</b>	
OF SHEETS	

## EXTERIOR LIGHTING FIXTURE SCHEDULE

FIXTURE	FIXTURE DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMP TYPE & COLOR TEMP	FIXTURE VOLTS	FIXTURE WATTS	FIXTURE QUANTITY	FIXTURE NOTES:
S1	NEW DECORATIVE SCNCE	LITHONIA WMCL4-P1-SWW2-A45-EW4C-MVOLT-PE-DDBXD-M4	LED 4000K	120V	19 W	9	BUTTON STYLE PHOTOCELL, WALL BRACKET, EMERGENCY BATTERY.
W1	NEW WALL PACK	LITHONIA WDGE2-LED-P2-40K-80CRI-R3-MVOLT-PE-E20WC-DDBXD	LED 4000K	120V	59 W	5	BUTTON STYLE PHOTOCELL, WALL BRACKET, EMERGENCY BATTERY.

### GENERAL NOTES

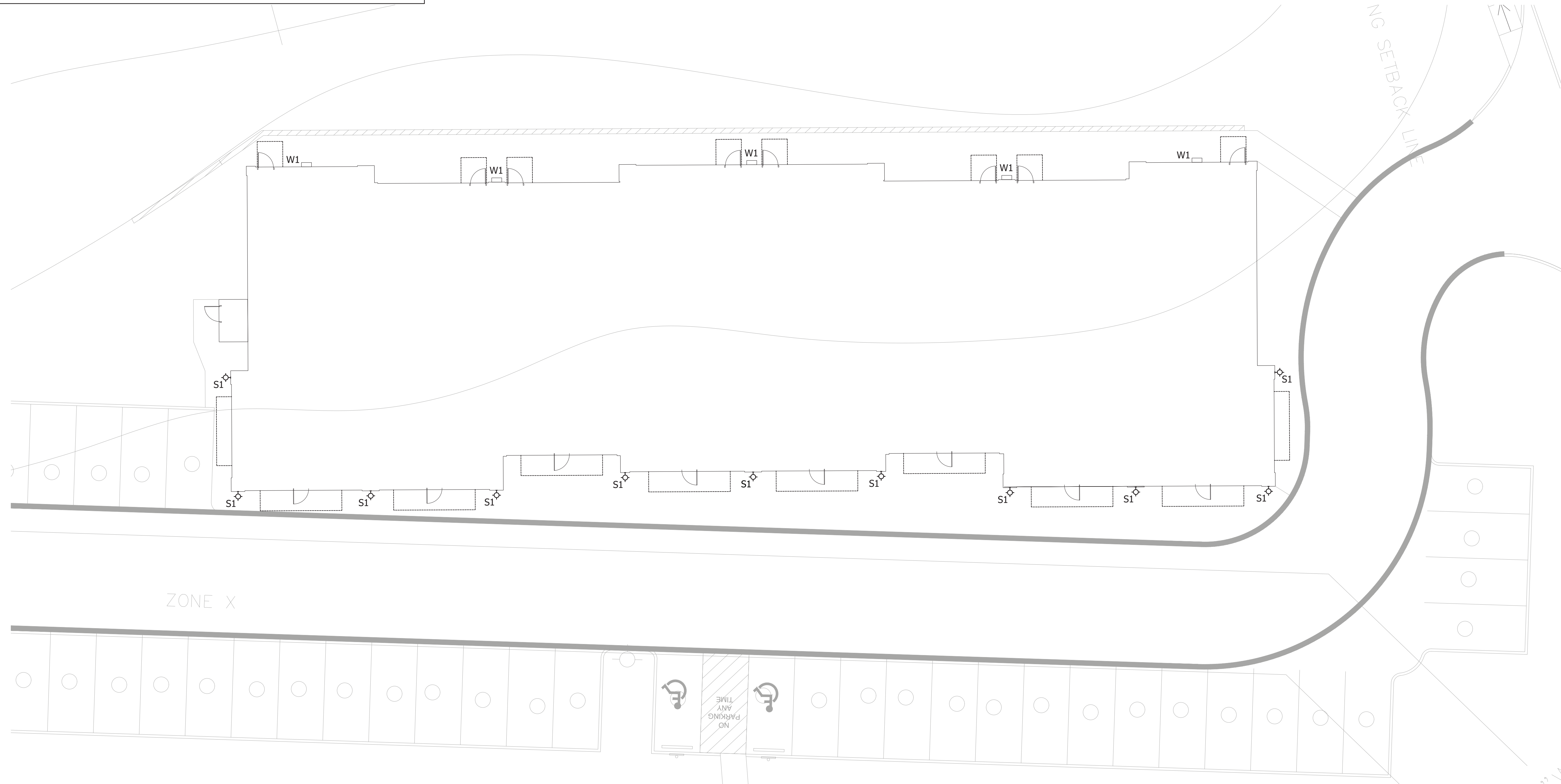
- PHOTOMETRIC PLANS.

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

\_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING



1 ELECTRICAL EXTERIOR LIGHTING PLAN

SCALE: 1" = 20'



REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED ISSUED FOR REVIEW
C	03/13/26	REVISED ISSUED FOR REVIEW
D	04/16/26	ISSUED FOR PERMIT
E	06/01/26	ISSUED FOR CONSTRUCTION

**ISSUED FOR PERMIT  
AND CONSTRUCTION**  
06/01/2026

HEC GROUP  
 15749 SEABOLT PL.  
 ADDISSON, TX 75001



OFFICE BUILDING  
 EXTERIOR LIGHTING PLAN  
 HIGHWAY 276 & TOWNSEND  
 ROCKWALL, TX 75032

Project	26104
Revision	E
Date	06/01/2026
Scale	N.T.S.

**E0.5**

OF SHEETS



## WDGE3 LED Architectural Wall Sconce

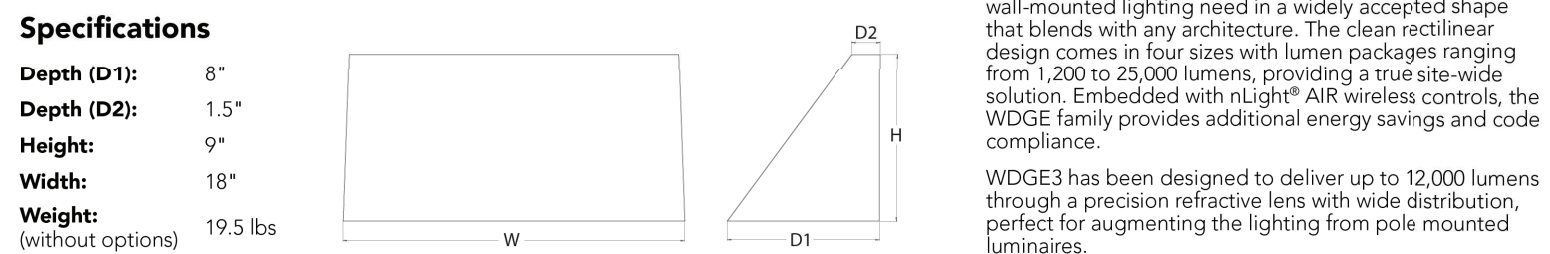


Catalog Number  
Notes  
Type

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**Introduction**  
The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight™ AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit [www.acuitybrands.com/designselect](http://www.acuitybrands.com/designselect). See ordering tree for details.

### WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W			750	1,200	2,000				
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight		1,200	2,000	3,000	4,500	6,000	
WDGE2 LED	Precision Reflective	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200		
WDGE3 LED	Precision Reflective	15W	18W	Standalone / nLight	6,000	7,500	8,500	10,000	12,000		
WDGE4 LED	Precision Reflective			Standalone / nLight			12,000	16,000	20,000	22,000	25,000

### Ordering Information

EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DOBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	Shipped included	Shipped separately
WDGE3 LED	P1	30K 300K	70CRI	R2 Type 2	347V	MVOLT	SRM	3/8 inch Architectural wall spacer*
	P1	40K 4000K	80CRI	R3 Type 3	347V	MVOLT	SRM	Surface mounting bracket
	P2	30K 5000K		R4 Type 4	480V	ICW	Indirect Canopy ( ceiling height location only)	Surface-mounted back box (top, left, right canopy entry. Use when there is no junction box available.)
	P3			RFT				Indirect Canopy ( ceiling height location only)
P4				RFT				Surface-mounted back box (top, left, right canopy entry. Use when there is no junction box available.)

Options	Standard Sensors/Controls	Finish
E15WH	Energy battery backup, Certified in CA for 20 MAERS (10K VV min)	DOBXD Dark bronze
E20WC	Energy battery backup, Certified in CA for 20 MAERS (18W, -20°C min)	DOBXD Stock
PE	Photo-cell, dusk-to-dawn	DOBXD Natural aluminum
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, extend separately)	DOBXD White
RCE	Bottom canopy entry for back box (PBBW) total of 4 entry points	DOBXD Sandstone
SPD10KV	10KV Surge pack*	DOBXD Textured dark bronze
CCE	Castal Construction*	DOBXD Textured back
		DOBXD Textured natural aluminum
		DOBXD Textured white
		DOBXD Textured sandstone

Accessories	NOTES
WDGEWS DOBBD	1. 347V and 480V not available with E15WH and E20WC.
WDGE3PBBW DOBBD	2. Not qualified for D.C. Not available with emergency battery backup or sensor controls.
	3. For PBBW and AWS with CCE option, requires an AWB.
	4. PE not available in 480V and with sensor controls.
	5. DMG option not available with sensor controls.
	6. Not available with E20WC.
	7. Available with MVOLT only and only to 25C ambient.

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com) WDGE3 LED Rev. 02/24/25

### Performance Data

**Lumen Output**  
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	Lumens	LPW	U	U <sub>0</sub>	U <sub>1</sub>	U <sub>2</sub>	U <sub>3</sub>	U <sub>4</sub>	U <sub>5</sub>	U <sub>6</sub>					
P0	41W	R2	6,172	151	1	0	1	6,104	149	2	0	1	6,294	156	2	0	1
		R3	6,071	148	1	0	2	6,004	146	1	0	2	6,290	153	1	0	2
		R4	6,256	153	1	0	2	6,187	151	1	0	2	6,481	158	1	0	2
		RFT	6,126	149	1	0	2	6,058	148	1	0	2	6,347	155	1	0	2
P1	52W	R2	7,207	136	1	0	1	7,649	148	2	0	1	7,649	148	2	0	1
		R3	6,922	134	1	0	2	7,524	145	1	0	2	7,524	145	1	0	2
		R4	7,113	138	1	0	2	7,253	150	1	0	2	7,253	150	1	0	2
		RFT	6,985	135	1	0	2	7,292	147	1	0	2	7,292	147	1	0	2
P2	59W	R2	7,968	135	2	0	1	8,661	147	2	0	1	8,661	147	2	0	1
		R3	7,838	133	1	0	2	8,519	144	1	0	2	8,519	144	1	0	2
		R4	8,077	137	1	0	2	8,279	149	1	0	2	8,279	149	1	0	2
		RFT	7,969	134	1	0	2	8,297	146	2	0	2	8,297	146	2	0	2
P3	71W	R2	9,404	132	2	0	1	10,223	143	2	0	1	10,223	143	2	0	1
		R3	9,250	130	2	0	2	10,054	141	2	0	2	10,054	141	2	0	2
		R4	9,532	134	2	0	2	10,263	145	2	0	2	10,263	145	2	0	2
		RFT	9,334	131	2	0	2	10,146	142	2	0	2	10,146	142	2	0	2
P4	88W	R2	11,380	129	2	0	1	12,269	140	2	0	1	12,269	140	2	0	1
		R3	11,194	127	2	0	2	12,167	138	2	0	2	12,167	138	2	0	2
		R4	11,535	131	2	0	2	12,538	142	2	0	2	12,538	142	2	0	2
		RFT	11,295	128	2	0	2	12,277	139	2	0	2	12,277	139	2	0	2

Lumen Output in Emergency Mode (4000K, 70 CRI)	Option	Dist. Type	Lumens
E15WH	R2	3,185	
	R3	3,133	
	R4	3,229	
	RFT	3,162	
E20WC	R2	3,669	
	R3	3,609	
	R4	3,719	
	RFT	3,642	

Electrical Load	Performance Package	System Watts	120V	208V	240V	277V	347V	480V
E15WH	P1	52W	0.437	0.246	0.213	0.186	0.150	0.110
	P2	59W	0.498	0.287	0.251	0.220	0.175	0.126
	P3	71W	0.598	0.344	0.300	0.262	0.210	0.152
P4	88W	0.727	0.424	0.373	0.333	0.260	0.190	

Lumen Multiplier for 80CRI	CCT	Multiplier
E15WH	30K	0.891
	40K	0.906
	50K	0.906

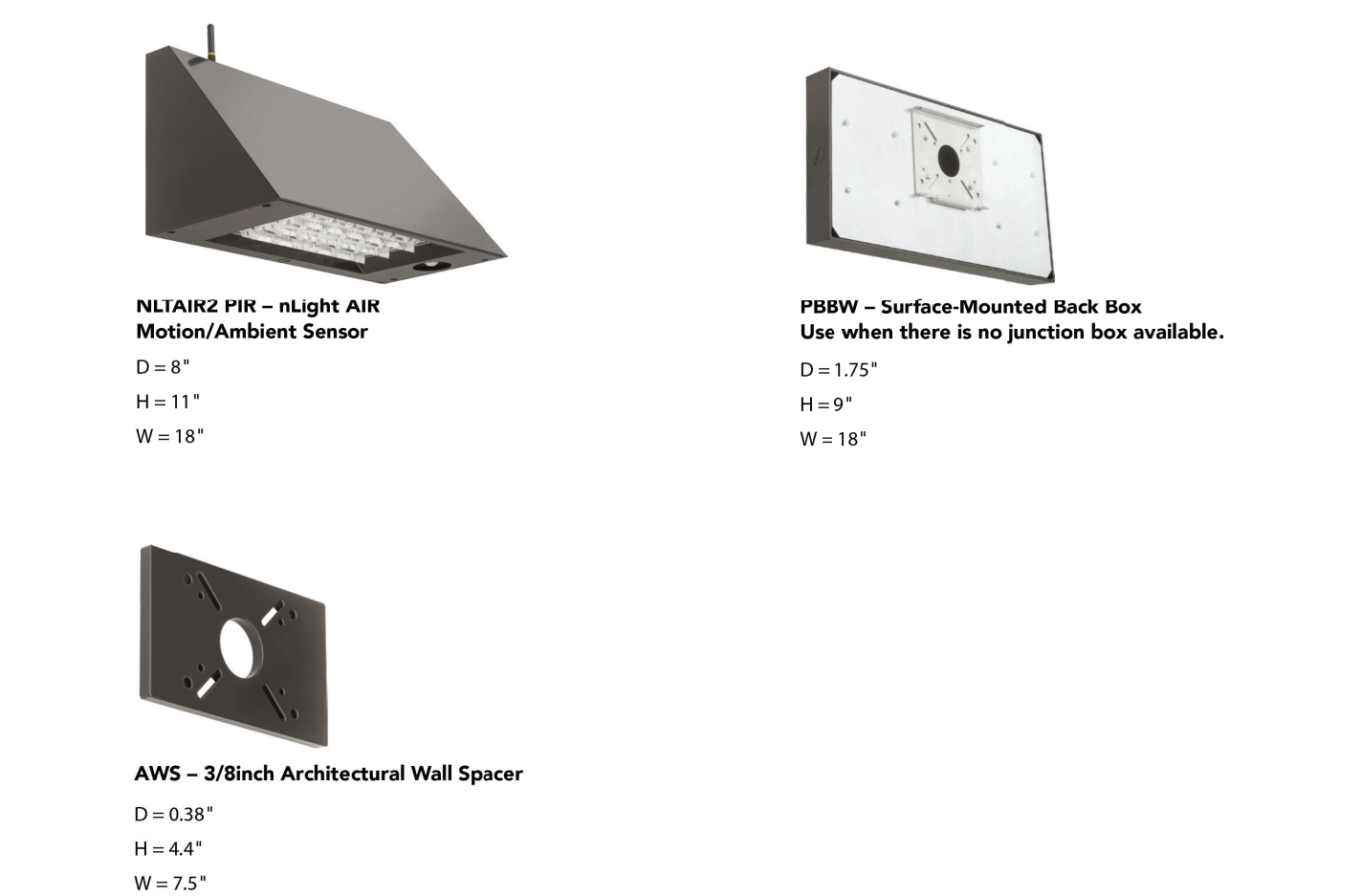
### Lumen Ambient Temperature (LAT) Multipliers

Ambient	32°F	1.05
0°C	32°F	1.05
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

### Projected LED Lumen Maintenance

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.98	>0.97	>0.92

### Mounting, Options & Accessories



### FEATURES & SPECIFICATIONS

**INTENDED USE**  
Common architectural look, with clean rectangular shape, of the WDGE LED was designed to blend with any type of construction, whether it be tile-up, frame or brick. Applications include commercial offices, universities, hospitals, schools, malls, restaurants, and other commercial buildings.

**CONSTRUCTION**  
The single-piece die-cast aluminum housing to optimize thermal transfer from the light engine and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

**FINISH**  
Exterior painted parts are protected by a zinc-inflated Super Durable TGIC thermostat powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climates without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

**OPTICS**  
Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. Light engines are available in 3000 K, 4000 K or 5000 K configurations. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the IEEE802.15.4-2011 and IEEE802.15.4-2011 standards with 0.1% dimmable driver.

**ELECTRICAL**  
Light engine consists of high-efficiency LEDs mounted to metal core circuit boards to maximize heat dissipation and promote long life (up to 150,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built-in shock surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0.1% dimmable driver.

**INSTALLATION**  
A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

**LISTINGS**  
CSA certified to U.S. and Canadian standards. Light engines are IP66 rated, luminaire is IP65 rated. PIR options are rated for wet location. Rated for 40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified for DLC. To confirm which versions are qualified, International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page using 3000K color temperature and SRM mounting only.

**GOVERNMENT PROCUREMENT**  
BABA - Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to [www.acuitybrands.com/buy-america](http://www.acuitybrands.com/buy-america) for additional information.

**WARRANTY**  
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

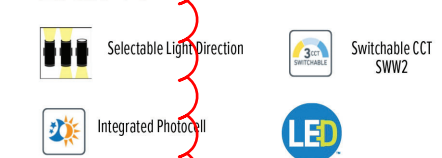
**Note:** Actual performance may differ as a result of end-use environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com) WDGE3 LED Rev. 02/24/25

These cannot be pointed up.



## WMCL4/6 LED WALL CYLINDER LIGHT



Catalog Number  
Notes  
Type

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### Introduction

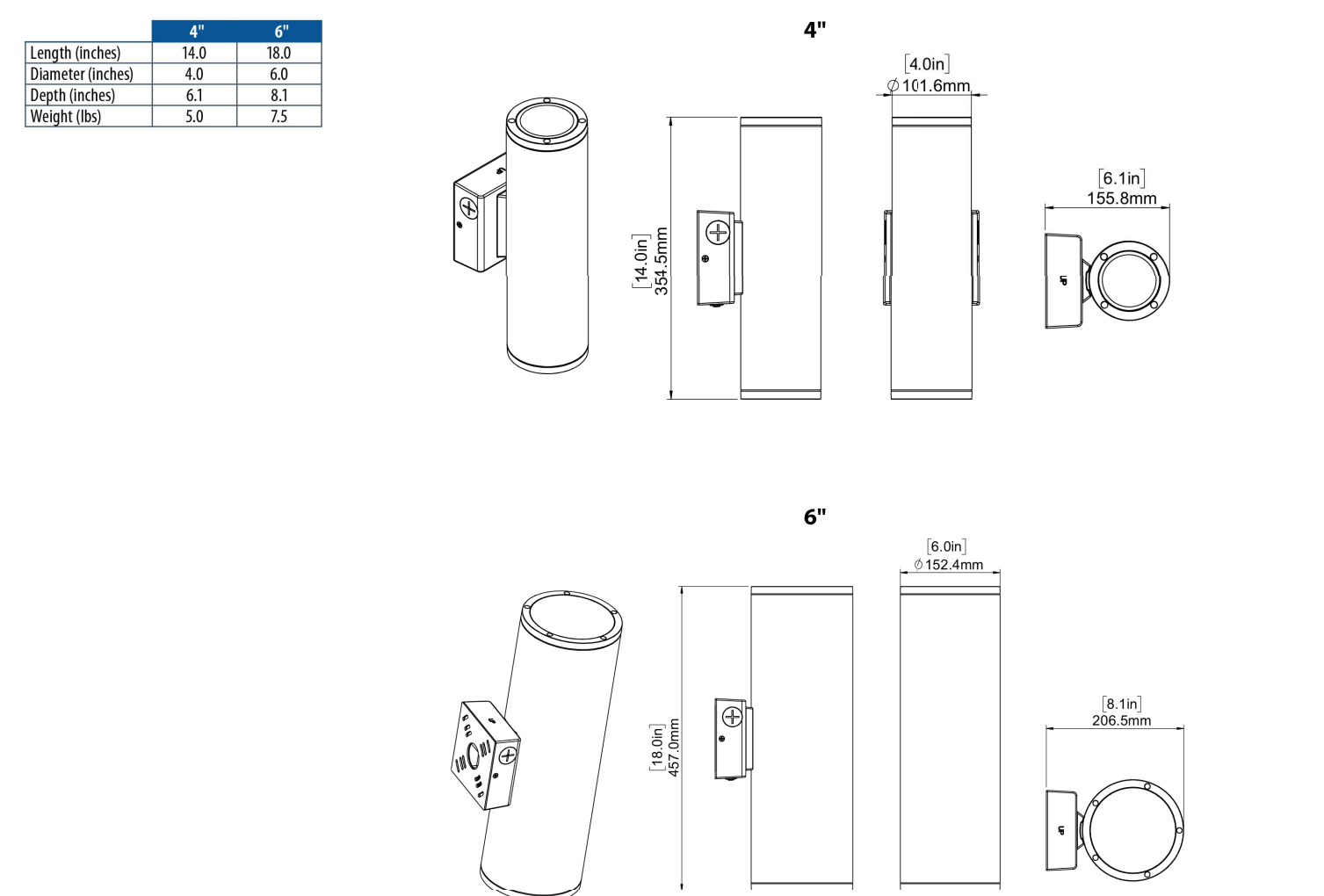
Achieve the perfect blend of style and performance with Lithonia Lighting™ Wall Mount Cylinders. Enjoy thoughtfully designed features that make these cylinders as practical as they are stylish. Available in two sizes, the WMCL4 delivers 2,400 lumens, while the WMCL6 provides a powerful 4,800 lumens, ensuring the ideal amount of light for any application. A built-in switch lets you easily select up, down, or both lighting directions, simplifying installation and offering complete control over your illumination. Switchable color temperatures enable you to tailor the lighting to suit any environment. The built-in dusk-to-dawn photocell ensures energy-efficient, hands-free operation. Whether you're accentuating architectural features or creating general ambient lighting, the WMCL luminaires deliver a tailored, professional aesthetic perfect for residential and commercial projects alike.

Factory Settings	Light Output	Up/Down
CT	4000K	
PhotoCell	On	

Catalog	Size	Wattage	Lumens @50K	LPW	Beam Spread	Color	CCT	Voltage	Photocell	Emergency Battery	Code	Lead Time
WMCL4 P1 SWW2 A45 UVOLT PE DOBBD M4	4"	19	2,479	130	45 Degree	Dark Bronze	30/40/50K	UVOLT	On/Off	No	28779P	Stock
WMCL4 P1 SWW2 A75 UVOLT PE DOBBD M4	6"	31	4,728	153	45 Degree	Dark Bronze	30/40/50K	UVOLT	On/Off	No	28781P	Stock
WMCL4 P1 SWW2 A75 UVOLT PE DOBBD M4	4"	19	2,433	128	75 Degree	Dark Bronze	30/40/50K	UVOLT	On/Off	No	2903FT	Stock
WMCL4 P1 SWW2 A75 UVOLT PE DOBBD M4	4"	31	4,520	146	75 Degree	Dark Bronze	30/40/50K	UVOLT	On/Off	No	2903FT	Stock
WMCL4 P1 SWW2 A75 MVOLT PE 44WC DOBBD M4	4"	19	2,479	130	75 Degree	Dark Bronze	30/40/50K	MVOLT	On/Off	Yes	2912T1	10 Days
WMCL4 P1 SWW2 A75 MVOLT PE 44WC DOBBD M4	4"	31	4,520	146	75 Degree	Dark Bronze	30/40/50K	MVOLT	On/Off	Yes	2912T1	10 Days
WMCL4 P1 SWW2 A45 MVOLT PE 44WC DOBBD M4	4"	19	2,433	128	45 Degree	Dark Bronze	30/40/50K	MVOLT	On/Off	Yes	2912T1	10 Days
WMCL4 P1 SWW2 A45 MVOLT PE 44WC DOBBD M4	6"	31	4,728	153	45 Degree	Dark Bronze	30/40/50K	MVOLT	On/Off	Yes	2912T1	10 Days

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way, Decatur, GA 30035 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com) WMCL Family Cylinder Rev. 01/07/26

### Line Art



### FEATURES & SPECIFICATIONS

**INTENDED USE**  
Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

**CONSTRUCTION**  
Cast-aluminum housing with corrosion-resistant paint in dark bronze. Other colors available upon request. Fixture is IP60 rated for wet locations.

**OPTICS**  
Switchable CCTs: 30K/40/50K Uplight and Downlight standard on unit and is field adjustable. Photocell is standard and can be turned on/off via switch. Glass lens protects the LED from moisture, dirt and other contaminants.

**LUMEN MAINTENANCE**  
The LED will deliver 70% of its initial lumens at 50,000 hour average LED life.

**ELECTRICAL**  
UVOLT driver operates on any line voltage from 120-347V. Operating temperature: 40°C to 40°C. 4KV surge protection standard. It is 0-10v dimmable.

**INSTALLATION**  
Surface mounts to universal junction box (provided by others).

**LISTINGS**  
UL Listed to U.S. and Canadian safety standards for wet locations. Tested in accordance with IESNA LM-79 and LM-80 standards. Fixture is IP60 rated for wet locations.

**WARRANTY**  
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-use environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. The product images shown are for illustration purposes only and may not be an exact representation of the product. Specifications subject to change without notice.

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way, Decatur, GA 30035 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com) WMCL Family Cylinder Rev. 01/07/26

REV	DATE	ISSUE	FOR REVIEW
A	02/13/26	ISSUED FOR REVIEW	
B	03/13/26	REVISED FOR REVIEW	
C	03/13/26	REVISED FOR REVIEW	
D	04/16/26	ISSUED FOR PERMIT	
E	06/01/26	ISSUED FOR CONSTRUCTION	

City of Rockwall  
385 S. Goliad Street  
Rockwall, Texas 75087

May 29, 2026

Re: Variance Request Letter  
SP2026-012  
1375 SH 276, Rockwall, TX 75032

Dear Committee Members;

This letter is to request variances for the proposed project from the minimum City of Rockwall requirements. The proposed project is a retail development on a 3.82-acre tract of land identified as Tracts 2-5 of the J Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas. The land is zoned PD-10 and is situated within the SH-276 Overlay District. The site is at the Northwest corner of S TL Townsend and State Highway 276.

We are requesting a few variances that are related to the site and the landscaping of the proposed development.

The first variance request is from the requirement of having more than one (1) full row of parking (i.e. two rows of parking with a drive aisle) shall be allowed between the primary building façade and the right-of-way of the Primary Roadway (Article 05, Subsection 06.01 D.2, UDC). This variance is being request for the parking on site. The reason why this variance is being requested due to the configuration of the site. The existing floodway and floodplain on the site limit the useable area of the site. The parking is located along the single drive through the site.

The second variance is being requested from the requirement of having the required landscape buffer along TL Townsend. (Article 08 Subsection 05.01, B.2, UDC). This variance is being request for the landscape buffer on site. The reason why this variance is being requested due to the configuration of the site in regards to the existing floodway/floodplain and the existing utility easements between the building and the right of way along TL Townsend. The site was adjusted as much as possible to provided the landscape buffer along SH 276, but due to the aforementioned site encumbrances, no landscape buffer was provided along TL Townsend.

The third variance request is from the requirement of having the trees/plantings/berm within the landscape buffer. (Article 05, Subsection 06.01 E, UDC). The reason why this variance is being requested is that site limitations prevent a landscape buffer between the building and TL Townsend. The required number of trees and other plantings will be provided, but not in the required landscape buffer.

For this development, we are proposing compensatory measures for the variance request. We are proposing addition landscaping on the site, providing a trash can and bench for the trail located along the site and increasing the open space provided on the site.

Attached with this submittal is the site plan showing for the subject project. We respectfully request your approval of this variance. I would like to thank you for your review and I am available to answer any questions that you might have.

Sincerely,

Sam Mota

**From:** [Paul Cragun](#)  
**To:** [Ross, Bethany](#)  
**Cc:** [Bryce Waller](#); [Samuel Mota](#)  
**Subject:** RE: Project Comments SP2026-012  
**Date:** Tuesday, June 2, 2026 9:31:13 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image004.png](#)

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Yes! We just got the missing photometric plans, we are printing them and we should have them to you by 11ish this morning.

Thanks for checking in too.

Paul Cragun  
Cumulus Design

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**Sent:** Tuesday, June 2, 2026 8:34 AM  
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**Cc:** Bryce Waller <bryce@cumulusdesign.net>; Samuel Mota <smota@robinsengineering.com>  
**Subject:** RE: Project Comments SP2026-012

Hi Paul,

Just checking in again. Wanted to make sure you all are still good for the deadline today at 3 pm for those revisions.

Let me know if you have any questions/concerns.

Thank you,



**Bethany Ross**

Senior Planner | City of Rockwall  
385 S. Goliad St., Rockwall TX 75087  
[Bross@Rockwall.com](mailto:Bross@Rockwall.com) | [Planning and Zoning Website](#)  
972.772.6488

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**Subject:** RE: Project Comments SP2026-012

Of course! You all have a great rest of your week.

Thank you,



## Bethany Ross

Senior Planner | City of Rockwall

385 S. Goliad St., Rockwall TX 75087

[Bross@Rockwall.com](mailto:Bross@Rockwall.com) | [Planning and Zoning Website](#)

972.772.6488

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**Subject:** Re: Project Comments SP2026-012

Bethany, thank you so much for checking in with us!

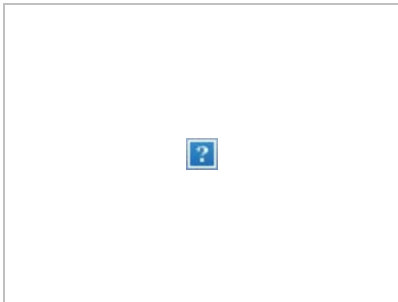
### Sam Mota, P.E.

President

1491 TL Townsend Dr., Suite 119 Rockwall

Office: 972-771-1607

[www.robinsengineering.com](http://www.robinsengineering.com)



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Paul,

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You stay safe as well. I'm hoping the rain starts soon here. It's just muggy right now.

Thank you,



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Let's just say late next week?

Thank you so much for the reminder . Stay safe in the rain too!



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**Subject:** RE: Project Comments SP2026-012

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Thank you,



**Bethany Ross**

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Thank you,



**Bethany Ross**

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**Subject:** RE: Project Comments SP2026-012

Good morning!

I hope that you are doing well. I wanted to request that the project be postpone for the next set of meetings. We would like the time to update the plans to fully address the comments. I have copied the owner as well if there is anything we need to send.

Thank you!



---

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**Sent:** Friday, April 24, 2026 4:33 PM  
**To:** Paul Cragun <[paul@cumulusdesign.net](mailto:paul@cumulusdesign.net)>  
**Cc:** [smota@robinsengineering.com](mailto:smota@robinsengineering.com)  
**Subject:** Project Comments SP2026-012

Paul,

Attached are the project comments and engineering markups for your case.

Revisions for this case are due May 5, 2026.

The meeting schedule for this case is as follows:  
Planning and Zoning Commission Work Session: April 28, 2026  
Planning and Zoning Commission: May 12, 2026

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is required to be at all meetings. Should you have any questions please let me know.

Thank you,



**Bethany Ross**

Senior Planner | City of Rockwall  
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[Brross@Rockwall.com](mailto:Brross@Rockwall.com) | [Planning and Zoning Website](#)  
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DATE: June 10, 2026

TO: Paul Cragun  
Cumulus Design  
PO Box 2119  
Euleless, Texas 76039

CC: Sam Mota  
MGD 276 Business Park  
1557 Towbridge Circle  
Rockwall, TX 75032

FROM: Bethany Ross  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2026-012; *Site Plan for 276 Business Park*

Paul,

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was denied by the Planning and Zoning Commission on June 9, 2026. The following is a record of all recommendations and voting records:

Planning and Zoning Commission

On June 9, 2026, the Planning and Zoning Commission approved a motion to deny the site plan without prejudice by a vote of 6-0, with Commissioner Conway absent.

Please note that the reason this case was denied is due to the following exceptions and variances not being approved:

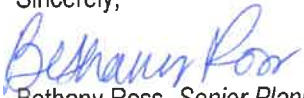
- (1) Primary Articulation. According to Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), each building façade within a Commercial (C) District must meet the minimum primary and secondary articulation standards. In this case, the proposed building elevations do not meet the minimum vertical or horizontal wall projections of 6.5-feet. This will require an exception from the Planning and Zoning Commission.
- (2) Building and Pole-Mounted Lighting. According to Subsection 03.02, *Prohibited Lighting*, of Article 07, *Environmental Performance*, of the Unified Development Code (UDC), all building and pole mounted luminaries shall be directed down with either a partial cut-off or full cut-off at the source. In this case, the applicant has provided lighting cutsheets that indicate wall packs that will be directed up. This will require an exception from the Planning and Zoning Commission.
- (3) Detention Landscaping. According to Subsection 05.03 (D), *Detention Basins*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), detention basins shall be landscaped in a natural manner using ground cover, grasses, shrubs, berms, and accent and canopy trees. There shall be a minimum of one (1) canopy tree per 750 SF and one (1) accent tree per 1,500 SF of detention area. In this case, the applicant has not delineated the boundaries of the detention pond and staff is not able to determine the required number of trees required for the detention area. In addition, the landscape plan is not showing any landscaping for the detention area. This will require an exception from the Planning and Zoning Commission.

- (4) Roof Design Standards. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. In this case, the proposed elevations show a parapet roof that is not enclosed on all sides and does not indicate whether the parapet will be finished on the backside the same as the front. This will require a variance from the Planning and Zoning Commission.
- (5) Parking Restrictions. According to Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), parking should not be located between the front façade and the property line. In this case, there are four (4) proposed parking spaces located between the front façade and the property line adjacent to S. T. L. Townsend Drive. This will require an exception from the Planning and Zoning Commission.
- (6) Buildings and Paving within a Required Landscape Buffer. According to Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), buildings and paving (e.g. *parking lots*) shall not be permitted within any required landscape buffer. In this case, the proposed landscape plan shows four (4) parking spaces within the landscape buffer along T. L. Townsend Drive. This will require an exception from the Planning and Zoning Commission.
- (7) Four (4)-Sided Architecture. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. *four [4] or more accent or canopy trees*) shall be planted along the perimeter of the subject property to the rear of the building. In this case, the proposed elevations are not architecturally finished on all four (4) sides and the proposed landscape plan does not show a row of trees to be planted at the rear of the building. This will require a variance from the Planning and Zoning Commission.
- (8) Landscape Buffer along T. L. Townsend. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum landscape buffer along S. T. L. Townsend is 15-feet. In this case, the applicant is showing a 15-foot landscape buffer but is showing that the landscape buffer also encompasses the required ten (10) foot utility easement. This is not allowed per the Engineering Department's *Standards of Design and Construction Manual*. This will require a variance from the Planning and Zoning Commission.
- (9) Plantings and Berms within the Landscape Buffer along S. T. L. Townsend. According to Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, "(a)ll landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency." In this case, the landscape plan does not provide the required number of canopy trees, accent trees or any indication of a berm along S. T. L. Townsend Drive. This will require an exception from the Planning and Zoning Commission.
- (10) Landscape Buffer along Old SH-276. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum landscape buffer along Old SH-276 is 15-feet. In this case, the applicant is showing a 15-foot landscape buffer but is showing that the landscape buffer also encompasses the required ten (10) foot utility easement. This is not allowed per the Engineering Department's *Standards of Design and Construction Manual*. This will require a variance from the Planning and Zoning Commission.
- (11) Plantings and Berms within the Landscape Buffer along Old SH-276. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway." In this case, the landscape plan does not provide the required number of canopy trees, accent trees or any indication of a berm along Old SH-276. This will require an exception from the Planning and Zoning Commission.

(12) Residential Adjacency. According to Subsection 05.01.B(2), *Abutting Residential*, of Article 08, *Landscape and Fence Standards*, "(a) minimum of a 20-foot wide landscape buffer shall be required along the entire length of any nonresidential lot that abuts a residentially zoned or used property" and goes on to state, "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers (as depicted in Figures 6 & 7 below). As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees*) along the entire length of the adjacency. The canopy trees shall be placed on 20-foot centers." The applicant has not proposed any residential adjacency screening options; however, the site currently has a heavily wooded area between the residential subdivision to the north and the subject property (*i.e. within the floodplain area*), which provides a natural buffer that could be seen as meeting the intent of this requirement. This would still require an exception from the Planning and Zoning Commission.

Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me at (972) 772-6488.

Sincerely,



Bethany Ross, *Senior Planner*

City of Rockwall Planning and Zoning Department

**From:** [Paul Cragun](#)  
**To:** [Ross, Bethany](#)  
**Cc:** [Bryce Waller](#); [Samuel Mota](#)  
**Subject:** RE: Project Comments SP2026-012  
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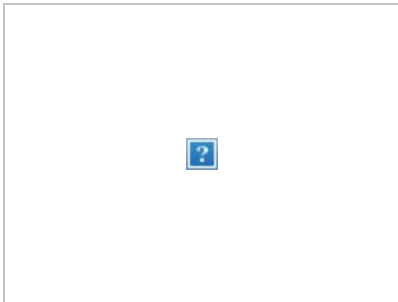
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President

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Thank you!



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**From:** Ross, Bethany <[brross@rockwall.com](mailto:brross@rockwall.com)>  
**Sent:** Friday, April 24, 2026 4:33 PM  
**To:** Paul Cragun <[paul@cumulusdesign.net](mailto:paul@cumulusdesign.net)>  
**Cc:** [smota@robinsengineering.com](mailto:smota@robinsengineering.com)  
**Subject:** Project Comments SP2026-012

Paul,

Attached are the project comments and engineering markups for your case.

Revisions for this case are due May 5, 2026.

The meeting schedule for this case is as follows:  
Planning and Zoning Commission Work Session: April 28, 2026  
Planning and Zoning Commission: May 12, 2026

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is required to be at all meetings. Should you have any questions please let me know.

Thank you,



**Bethany Ross**

Senior Planner | City of Rockwall  
385 S. Goliad St., Rockwall TX 75087  
[Brross@Rockwall.com](mailto:Brross@Rockwall.com) | [Planning and Zoning Website](#)  
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