



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

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Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

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## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 302 5250 Medical Drive

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION Rockwall

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD9

CURRENT USE Assisted Living

PROPOSED ZONING \_\_\_\_\_

PROPOSED USE \_\_\_\_\_

ACREAGE 10.549

LOTS [CURRENT] \_\_\_\_\_

A

LOTS [PROPOSED] \_\_\_\_\_

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## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT Lakeshore Assisted Living

CONTACT PERSON \_\_\_\_\_

CONTACT PERSON Bennie Griffin

ADDRESS \_\_\_\_\_

ADDRESS 5250 Medical Dr.

CITY, STATE & ZIP \_\_\_\_\_

CITY, STATE & ZIP Heath TX 75032

PHONE \_\_\_\_\_

PHONE 469-769-5978

E-MAIL \_\_\_\_\_

E-MAIL Bennie.Griffin@sc.pinnacle.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bennie Griffin [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

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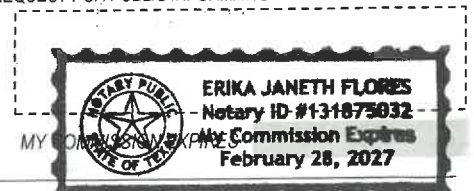
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14<sup>th</sup> DAY OF April, 2026.

OWNER'S SIGNATURE

Bennie Griffin

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]













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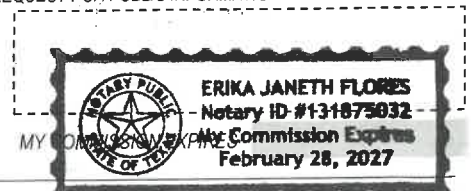
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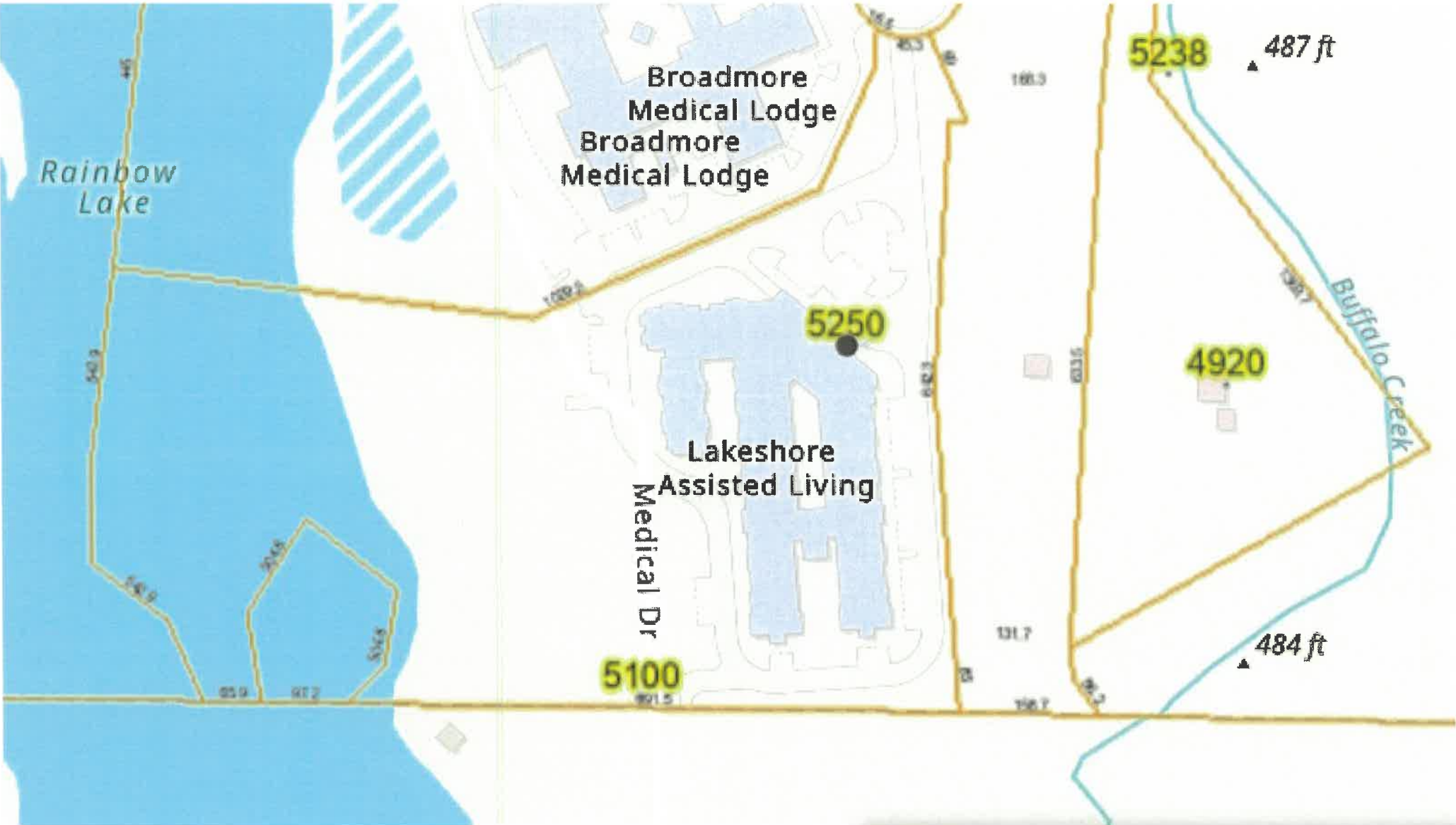
Bennie Griffin

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]







Rainbow Lake

Broadmore Medical Lodge  
Broadmore Medical Lodge

Lakeshore Assisted Living

Medical Dr

Buffalo Creek

5238

▲ 487 ft

4920

5250

▲ 484 ft

5100







**TO:** Planning and Zoning Commission  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** April 28, 2026  
**SUBJECT:** MIS2026-007; *Variance to the Engineering Standards of Design and Construction Manual for 5250 Medical Drive to Allow a Smooth Face Concrete Wall*

On April 17, 2026, the applicant -- *Bennie Griffin of Lakeshore Assisted Living* -- submitted a development application requesting an variance to the *Engineering Standards of Design and Construction Manual* to allow a previously constructed smooth face concrete wall. The subject property is a 10.549-acre parcel of land (i.e. *Lot 8, Block C, Horizon Ridge Medical Park*) that is zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses. Currently situated on the subject property is a 54,107 SF *Assisted Living Facility* that was approved by *Site Plan* (i.e. *Case No. SP2007-021*) in 2007 and constructed in 2008. At the time of construction, a split face CMU (i.e. *concrete masonry unit*) block wall was constructed along the western property line. Situated on top of this wall was a six (6) foot pre-cast fence that was granted as part of the original *Site Plan* approval.

BPDESCSQFT :	Description of Work/Square Footage	Group Sum	Sum Flag
<b>Description of Work</b>			
Comment:	Retaining wall for Lakeshore Assisted Living and Memory Care - 14 ft retaining wall Stamped Concrete		
<b>Proposed Construction Square Footage</b>			
Qty:	273859.00	Rate: 1.0000	Value: 273859.0000

FIGURE 1. EXCERPT FROM ONLINE BUILDING PERMIT APPLICATION SUBMITTED BY THE APPLICANT'S CONTRACTOR.

On July 28, 2025, the applicant submitted a building permit (i.e. *COM2025-4398*) for a retaining wall repair. Specifically, a section of the wall had failed and the applicant was proposing to repair this section of the wall. Under the description of work section on the online application submitted by the applicant's contract, it was stated "(r)etaining wall for Lakeshore Assisted Living and Memory Care – 14 ft retaining wall *Stamped Concrete*" (see *Figure 1*). This permit was issued on August 13, 2025. Stamped on the cover sheet of the approved plan set -- which was provided to the applicant and their contractor -- was a note stating that "CONCRETE WALLS WILL BE FACED WITH STONE" (see *Figure 2*). This note was also stamped on page four (4) of the plan set (see *approved plans contained in the attached packet*), and staff followed up the approval of this permit with an email to the applicant and their contractor on August 19, 2025 that had the approved plan set with the stated notes (see *attached email*). This note was provided in accordance with Section 6.05, *Retaining Walls*, of Chapter 6, *Miscellaneous Requirements*, of the Engineering Department's *Standards of Design and Construction*

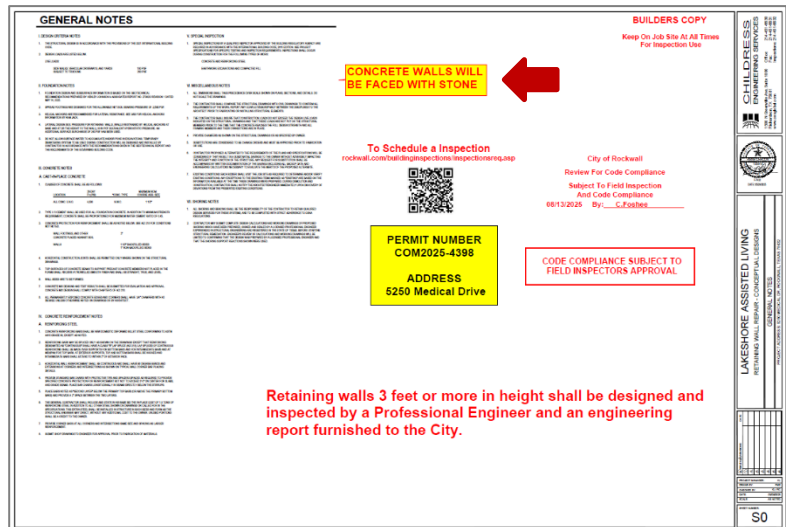


FIGURE 2. APPROVED PLAN SET SHOWING STAFF'S NOTE (INDICATED BY THE RED ARROW) CONCERNING THE STONE REQUIREMENT.

Manual, which states “(a)ll retaining walls (18-inches and taller) shall be stone, masonry or reinforced concrete with a stone face or form liner. No smooth concrete retaining walls to be installed.” On March 13, 2026, the wall failed final inspection because it was determined that it was not built to the approved plan set. Specifically, the wall was constructed as a smooth face concrete wall (see Figure 2).



**FIGURE 3.** PICTURE SHOWING THE EXISTING SPLIT FACE CMU BLOCK WALL AND THE NEW SMOOTH FACE CONCRETE WALL.

Based on the failed inspection, the applicant has submitted a request for a variance to the requirements of the Engineering Department’s *Standards of Design and Construction Manual*. According to Section 1.02, *Standards of Design*, of Chapter 1, *General Requirements*, of the *Standards of Design and Construction Manual*, “(u)nless otherwise specified in this document, any variances to the standards contained within the Engineering Department’s *Standards of Design and Construction Manual* shall be subject to the process and procedures stipulated for variances as defined in *SUBSECTION 09, EXCEPTIONS AND VARIANCES, OF ARTICLE 11, DEVELOPMENT APPLICATIONS AND REVIEW PROCEDURES, OF THE UNIFIED DEVELOPMENT CODE (UDC)*.” This section of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant a variance ... where unique or extraordinary conditions exist or where strict adherence to the technical requirements of this section would create an undue hardship. In cases, where a variance or variances is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception.” In this case, staff is obligated to point out that [1] the applicant is not proposing any compensatory measures to offset the requested variance, [2] this type of variance has not been requested or approved for any other commercial retaining walls in the City, [3] there does not appear to be any unique or extraordinary condition that exists to warrant granting this variance, and [4] the work that was completed was in direct conflict with an approved building permit. Based on this -- and coupled with the fact that this is a variance to the Engineering Department’s Standards of Design and Construction Manual as opposed to the Unified Development Code (UDC) -- staff is obligated to recommend denial of the request; however, this request is a discretionary decision for the Planning and Zoning Commission. It should be noted that since this is a request for a variance, it will require a super majority vote (*i.e. three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval.

In the attached packet staff has included the *Engineer’s Report* for the failed wall, the building permit that was issued to the applicant and contractor, and other pertinent information for this request. Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff and the applicant will be available at the April 28, 2026 Planning and Zoning Commission meeting.



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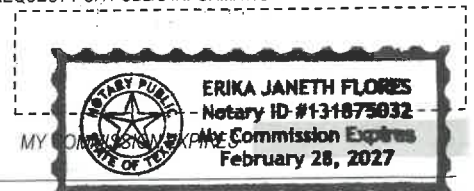
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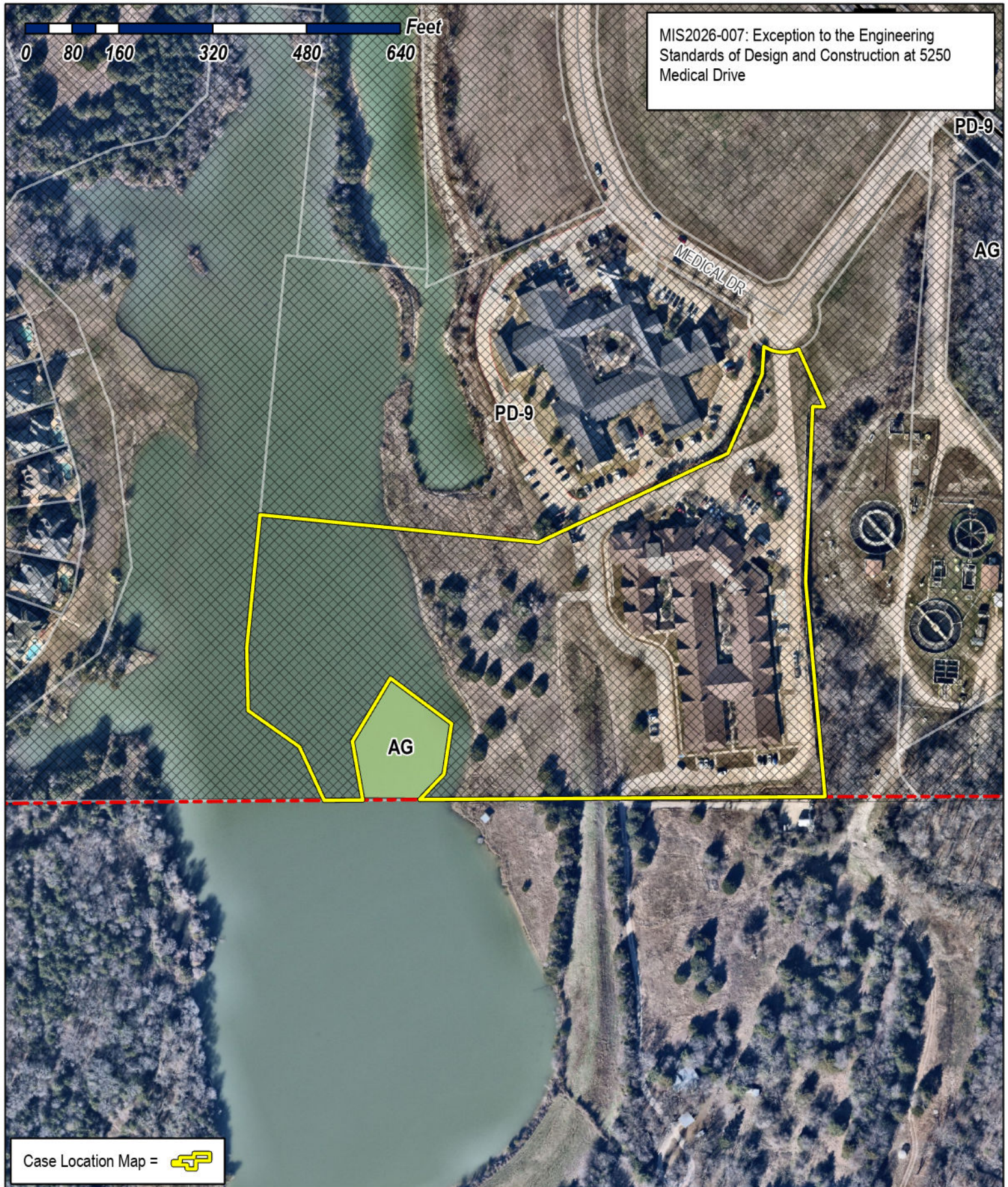
OWNER'S SIGNATURE

Bennie Griffin

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]





MIS2026-007: Exception to the Engineering Standards of Design and Construction at 5250 Medical Drive

0 80 160 320 480 640 Feet


PD-9

PD-9

AG

MEDICAL DR

AG

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Lakeshore Retaining Wall Initial Assessment**  
**Lakeshore Assted Living**



**RE:** Structural Assessment – Retaining Wall Damage

**DATE:** May 15, 2025

**AUTHORS:** Yung-Sheng Kevin Liu, P.E., Structural Engineer

**SITE:** 5250 Medical Dr, Rockwall, TX 75032

**SCOPE:** Childress Engineering Services, Inc. (CES) was retained by Sandstone Senior Living, Inc. to perform a limited structural condition assessment of the retaining wall. This Structural Assessment Report presents the findings, conclusions, and recommendations based on the author’s documented observations of the wall damage, along with conceptual repair recommendations.



## 1. BACKGROUND INFORMATION

### 1.1 Limitations of CES Review

- 1.1.1 Childress Engineering Services (CES) conducted a limited visual site visit and review. No physical testing was performed. All professional opinions provided in this report are based solely on the observations and information contained herein and are offered to a reasonable degree of engineering certainty.
- 1.1.2 These services were performed exclusively for the benefit of Sandstone Senior Living, Inc. No other party or entity shall have any claim against CES arising from the information presented in this report or from the performance or nonperformance of CES's services.

### 1.2 Site Examination

#### 1.2.1 First visit:

Date and Time: March 18, 2025, 9:00 a.m. – 11:00 am

Weather: Sunny, 60's

Other Individuals Present: Michael Trinidad (Lakeshore Assted Living), Marcus Cody (Lakeshore Assted Living) and Frederick Espana (CES)

#### 1.2.2 Second visit:

Date and Time: April 2, 2025, 10:30 a.m. – 11:30 am

Weather: Cloudy, 70's

Other Individuals Present: Dale Hoelting (DEH Consulting, LLC) and Michael Trinidad (Lakeshore Assted Living)

### 1.3 Description of Retaining Wall Damage

- 1.3.1 The retaining wall along the east side of the property was constructed using Keystone units with geogrid reinforcement. A 20-foot section of the wall has failed approximately 60 feet from the end of the wall. Based on the adjacent sections, the height of the failed portion varies from 12'-4" to 13'-8".
- 1.3.2 Significant cracks and settlement were observed in the fire lane pavement extending from the damaged section toward the south end of the wall, indicating lateral movement of the retaining wall and a likely loss of subgrade support.



## 2. OBSERVATIONS AND FINDINGS

### 2.1 Wall Investigations

1. According to a photo provided by Mr. Maes, the Keystone retaining wall failed on January 31, 2025.



2. The failed section of the retaining wall was covered with a tarp at the time of my site visit.



3. Significant cracks were observed in the fire lane pavement near the failed section of the wall, indicating a loss of subgrade support.



4. Significant cracks and water puddling near the curb were observed in the fire lane pavement, extending from the damaged section toward the south end of the wall. These conditions indicate pavement settlement and lateral movement of the retaining wall, resulting in a loss of subgrade support.



5. The weakened Keystone retaining wall extends to its south end.



### 3. CONCLUSIONS AND RECOMMENDATIONS

Providing detailed repair specifications for construction is beyond the scope of this report; however, retaining wall repair recommendations accompanied by conceptual designs have been attached for reference. We recommend that construction documents for the repair work be prepared by a professional engineer licensed in the State of Texas. The conclusions and recommendations are presented in the following section.

1. A slope stability study was conducted to assess the risk of slope failure or landslides. Henley-Johnston provided a geotechnical report that includes the slope stability analysis and design parameters for the retaining structures. According to the study, the existing grading is considered stable under long-term conditions. Therefore, a reinforced concrete pier system extending into shale (requiring significantly longer piers) is not necessary. Instead, a helical anchor (tieback) system is recommended to resist lateral soil pressures. The geotechnical report is attached for your reference.
2. I recommend that the 20-foot failed section of the retaining wall be replaced with a new reinforced concrete retaining wall anchored with helical tiebacks.
3. The fire lane pavement located above the retaining wall is settling, indicating lateral movement of the wall and a probable loss of subgrade support. The affected area extends approximately 60 feet south and 5 feet north of the failed section. I recommend reinforcing the weakened Keystone retaining wall by constructing a reinforced concrete wall in front of it, anchored with helical tiebacks to provide lateral stability.
4. Pavement cracks and water puddling were observed along the fire lane on the east side of the building, indicating that the original pavement grading may have been altered. The cracks should be sealed, and a grading plan—including recommended top-of-concrete elevations—should be developed by a licensed civil engineer. A properly designed drainage system will help mitigate the risk of future retaining wall failure by preventing stormwater infiltration beneath the pavement.
5. Pavement replacement or repair should be considered to facilitate the installation of an effective drainage system along the fire lane. Full pavement replacement is generally recommended for long-term stability and improved appearance. As an alternative for addressing localized settlement, polymer jacking (polyjacking) is a viable method to lift and level sunken pavement. Mudjacking, however, is not recommended for exterior applications due to its poor water resistance. A comparison of these two repair methods is provided below:

#### **Polymer Jacking (Polyjacking)**

- Material: Expanding polyurethane foam.
- Drill Hole Size: Small — typically  $\frac{3}{8}$ " to  $\frac{5}{8}$ " in diameter.
- Weight of Fill Material: Light — around 2 lbs per cubic foot.
- Cure Time: 15 minutes or less — very fast.
- Durability: Long-lasting, resists erosion and settling.
- Water Resistance: Excellent — foam is waterproof.



- Cost: Higher upfront cost.
- Environmental Impact: Synthetic material, but long-lasting.

#### **Mudjacking**

- Material: Slurry of cement, sand, water, and sometimes topsoil.
- Drill Hole Size: Large — typically 1" to 2" in diameter.
- Weight of Fill Material: Heavy — can exceed 100 lbs per cubic foot.
- Cure Time: 4 to 24 hours before use.
- Durability: Prone to future settling if water infiltrates.
- **Water Resistance: Poor — slurry can erode over time.**
- Cost: Lower upfront cost.
- Environmental Impact: Uses natural materials.

## **6. CLOSING STATEMENT**

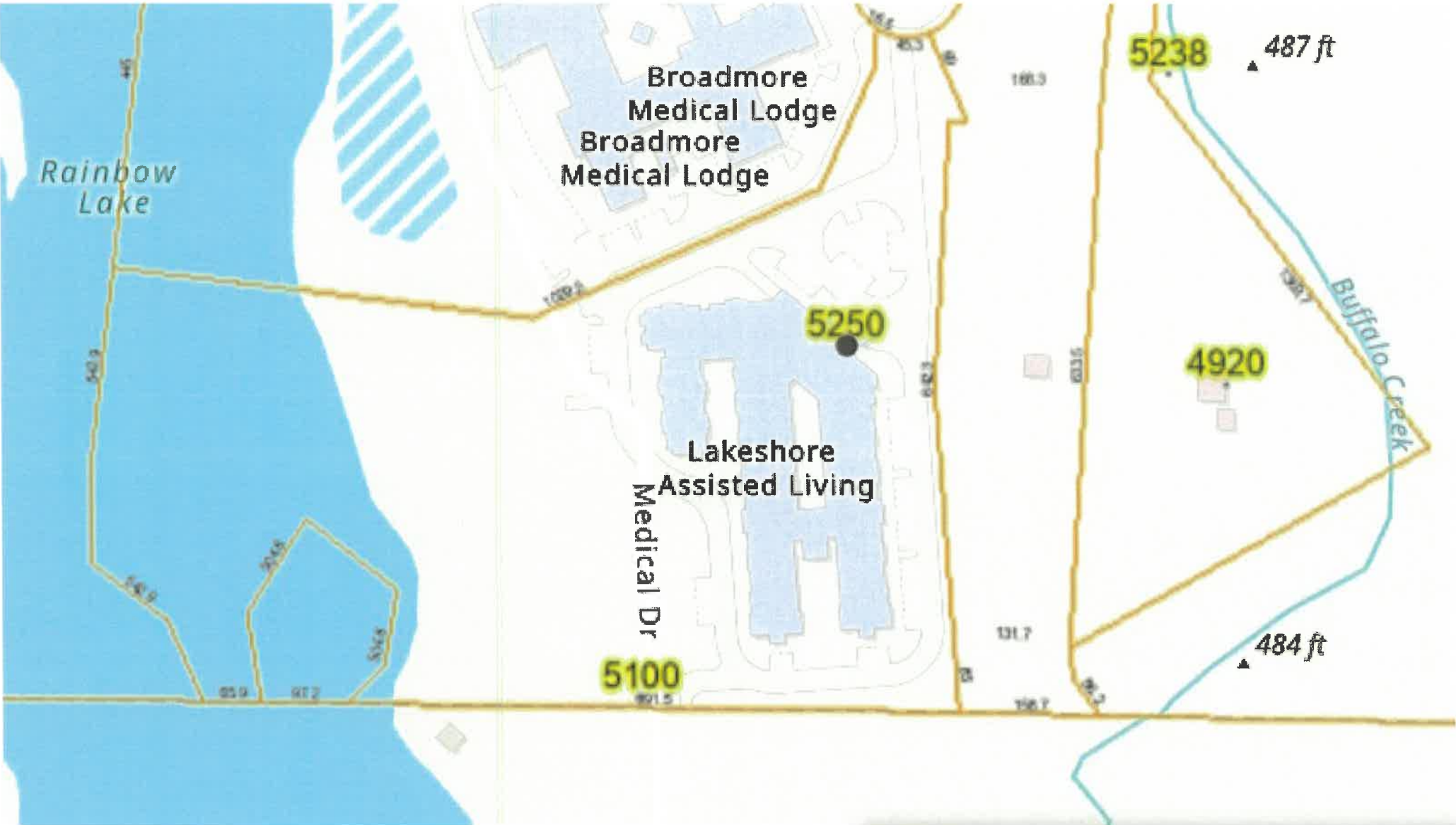
The observations, findings, and conclusions presented in this report are based on our professional judgment and information gathered during the assessments, as outlined in the scope of work authorized by the Client.

This report is intended solely for the use of CES' client and may not be copied or distributed without CES' express written consent. It is important that the report be read in its entirety. Any verbal comments made before, during, or after the investigation are offered as a courtesy and should not be regarded as part of this report.

**END OF REPORT**





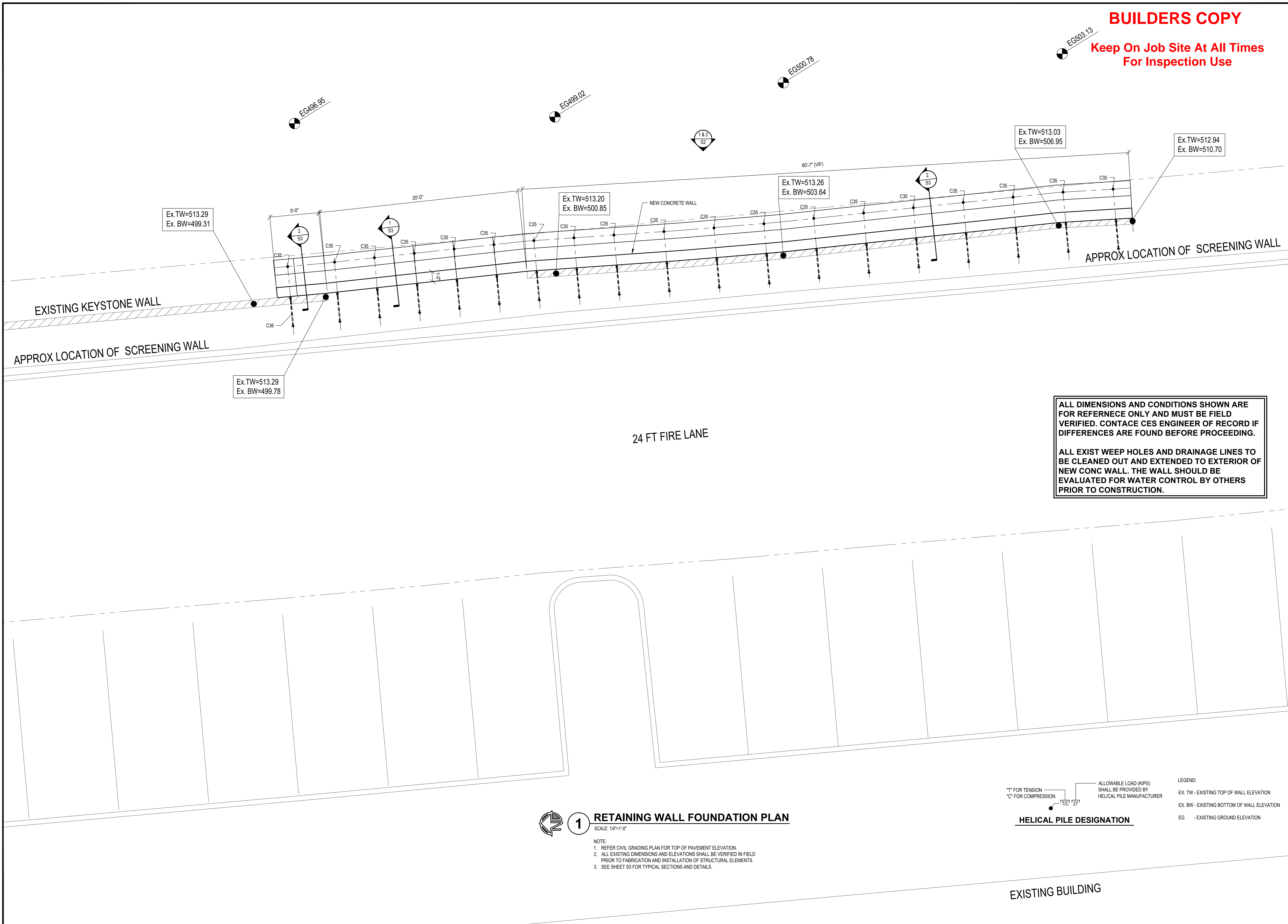








**Keep On Job Site At All Times  
For Inspection Use**



**ALL DIMENSIONS AND CONDITIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE FIELD VERIFIED. CONTACT CES ENGINEER OF RECORD IF DIFFERENCES ARE FOUND BEFORE PROCEEDING.**

**ALL EXIST WEEP HOLES AND DRAINAGE LINES TO BE CLEANED OUT AND EXTENDED TO EXTERIOR OF NEW CONC WALL. THE WALL SHOULD BE EVALUATED FOR WATER CONTROL BY OTHERS PRIOR TO CONSTRUCTION.**

**1 RETAINING WALL FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"

- NOTE:
1. REFER CIVIL GRADING PLAN FOR TOP OF PAVEMENT ELEVATION.
  2. ALL EXISTING DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN FIELD PRIOR TO FABRICATION AND INSTALLATION OF STRUCTURAL ELEMENTS.
  3. SEE SHEET S3 FOR TYPICAL SECTIONS AND DETAILS.

**HELICAL PILE DESIGNATION**

T" FOR TENSION  
C" FOR COMPRESSION

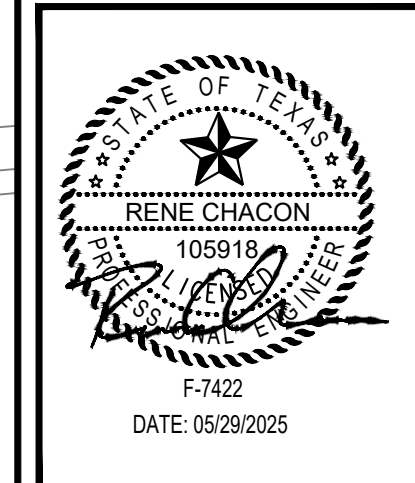
ALLOWABLE LOAD (KIPS)  
SHALL BE PROVIDED BY  
HELICAL PILE MANUFACTURER

LEGEND:  
EX. TW - EXISTING TOP OF WALL ELEVATION  
EX. BW - EXISTING BOTTOM OF WALL ELEVATION  
EG - EXISTING GROUND ELEVATION

**CHILDRESS  
ENGINEERING SERVICES**

1500 N Greenville Ave, Suite 1000  
Richardson, TX 75081  
www.cesglobal.com

Office: 214-451-6630  
Fax: 214-451-6631  
Inspections: 214-451-6632

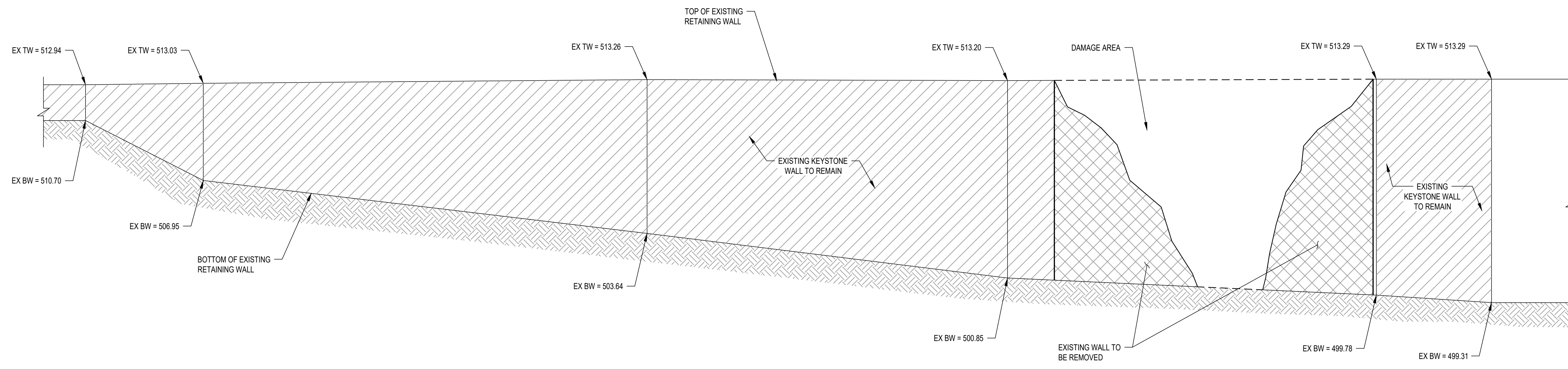


**LAKESHORE ASSISTED LIVING**  
RETAINING WALL REPAIR - CONCEPTUAL DESIGNS

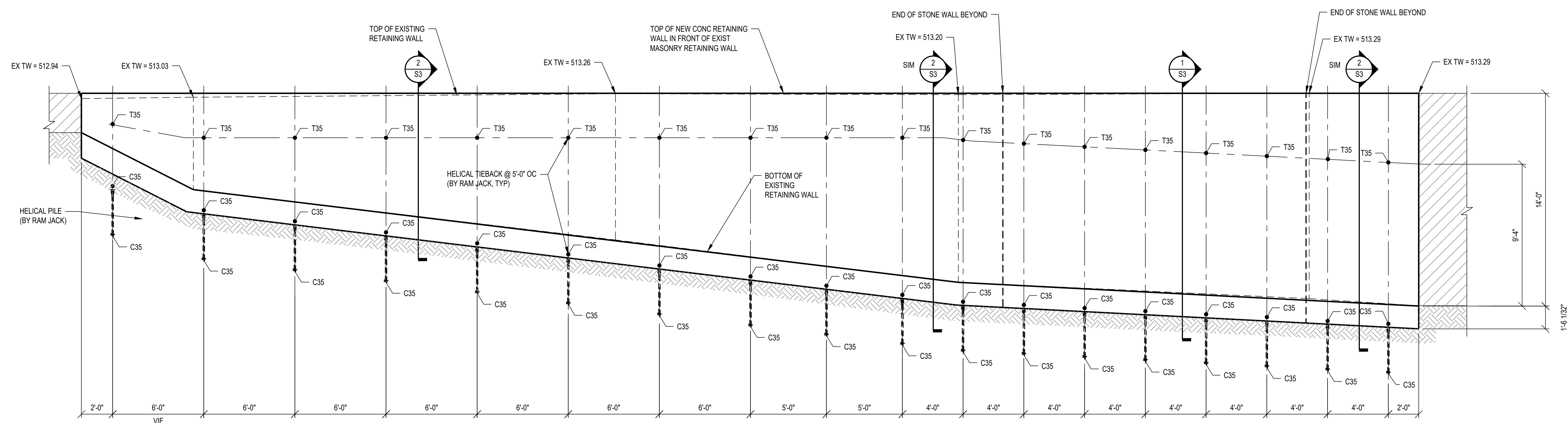
**RETAINING WALL REPAIR**

PROJECT ADDRESS: 5250 MEDICAL DR, ROCKWALL, TEXAS 75032

DATE	
ISSUES/REVISIONS	
PROJECT MANAGER:	KL
DRAWN BY:	FME
CHECKED BY:	KL / RC
DATE:	05/29/2025
SCALE:	AS NOTED
SHEET NUMBER:	<b>S1</b>



**1 RETAINING WALL DEMO ELEVATION**  
SCALE: 1/4"=1'-0"

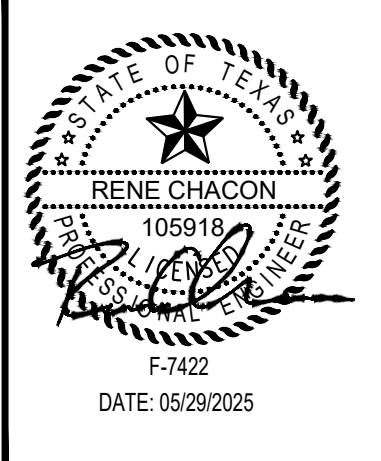


**2 NEW RETAINING WALL ELEVATION**  
SCALE: 1/4"=1'-0"

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ENGINEERING SERVICES

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Fax: 214-451-6631  
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**LAKESHORE ASSISTED LIVING**  
RETAINING WALL REPAIR - CONCEPTUAL DESIGNS

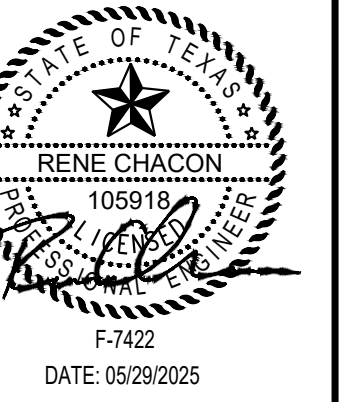
**RETAINING WALL REPAIR**

PROJECT ADDRESS: 5250 MEDICAL DR., ROCKWALL, TEXAS 75082

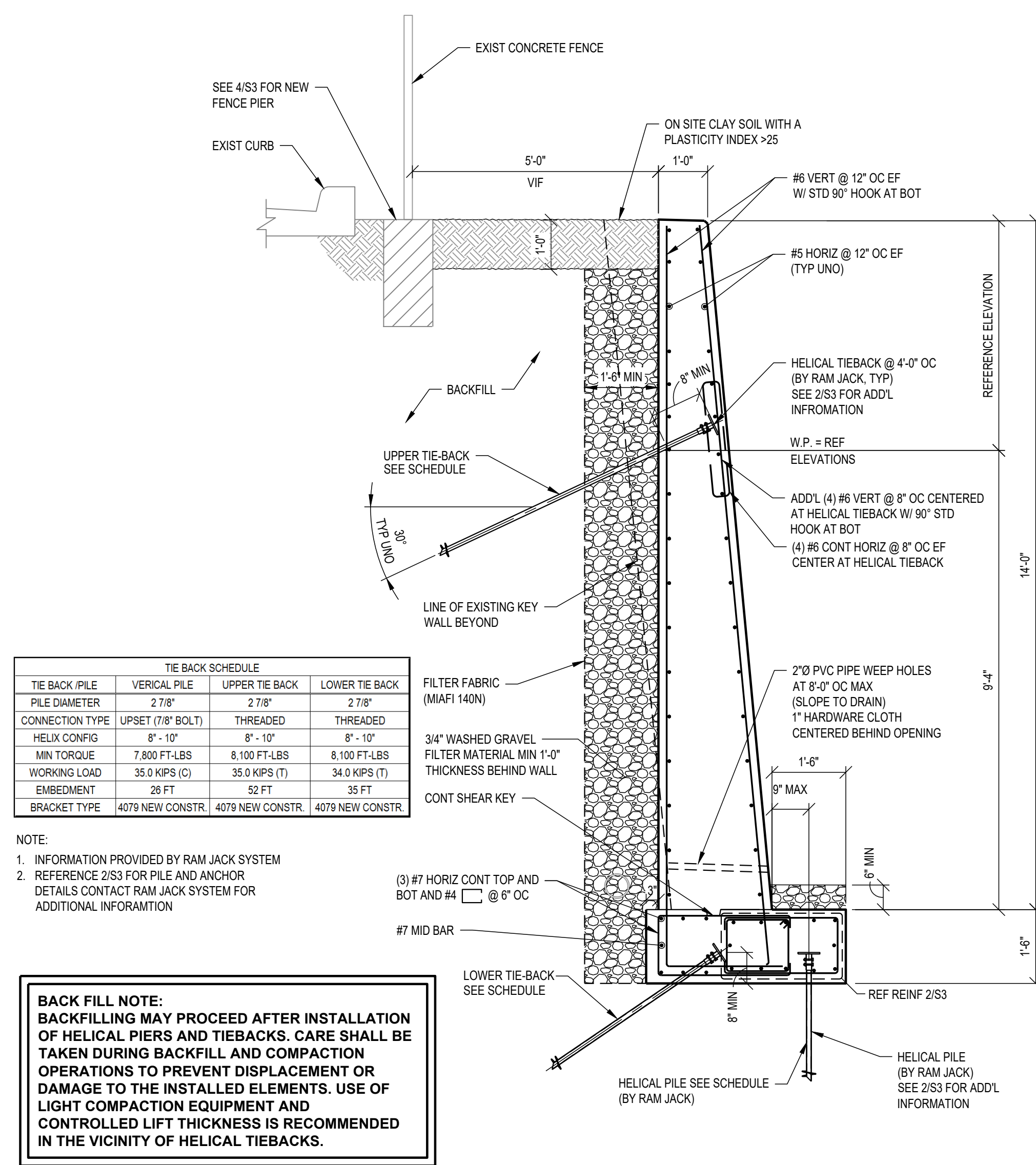
DATE	ISSUES/REVISIONS

PROJECT MANAGER: KL  
DRAWN BY: FME  
CHECKED BY: KL / RC  
DATE: 05/29/2025  
SCALE: AS NOTED

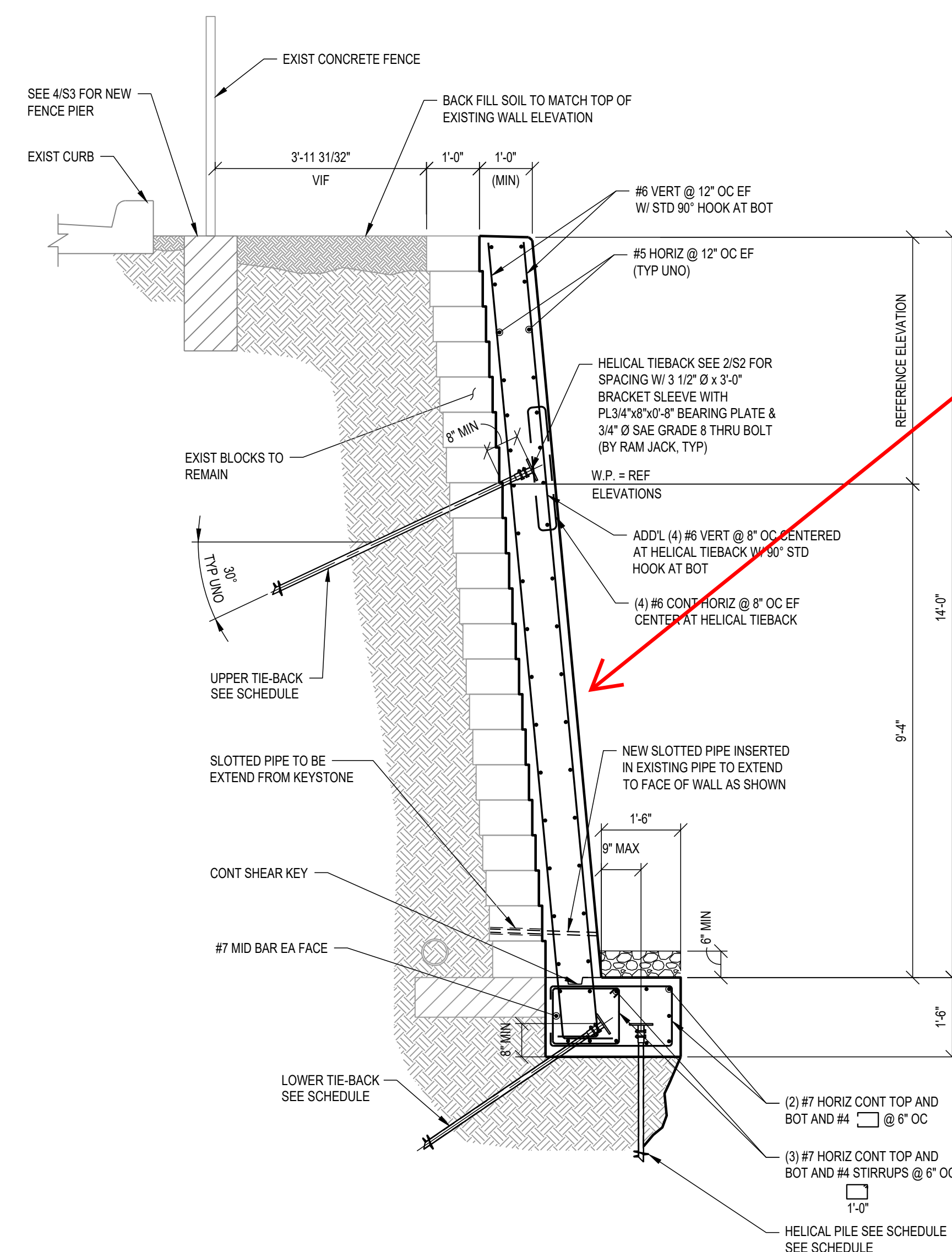
SHEET NUMBER:  
**S2**



DATE	
REVISIONS	
PROJECT MANAGER:	KL
DRAWN BY:	FME
CHECKED BY:	KL / RC
DATE:	05/29/2025
SCALE:	AS NOTED

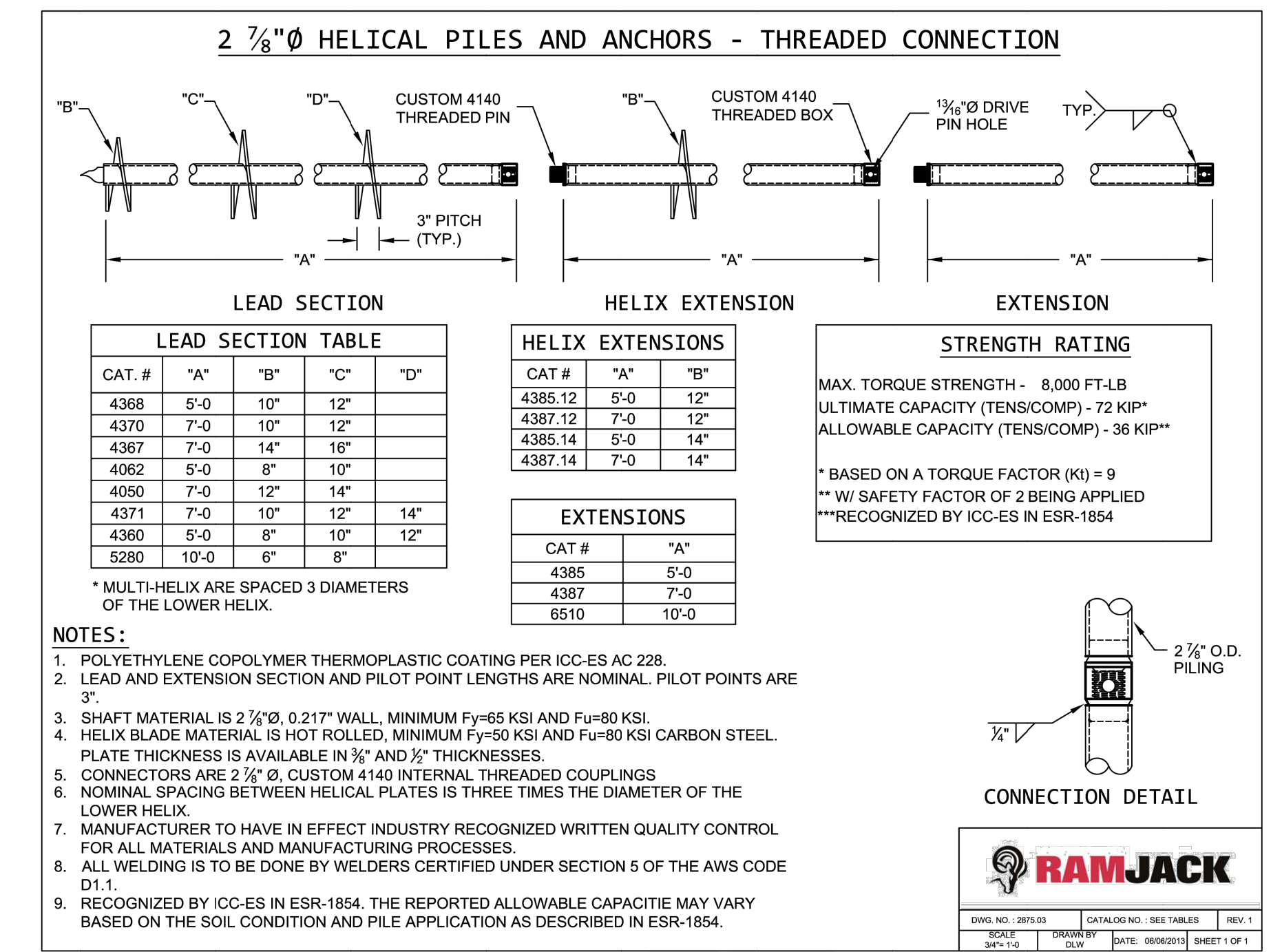


**1 NEW CONCRETE RETAINING WALL**  
SCALE: NTS

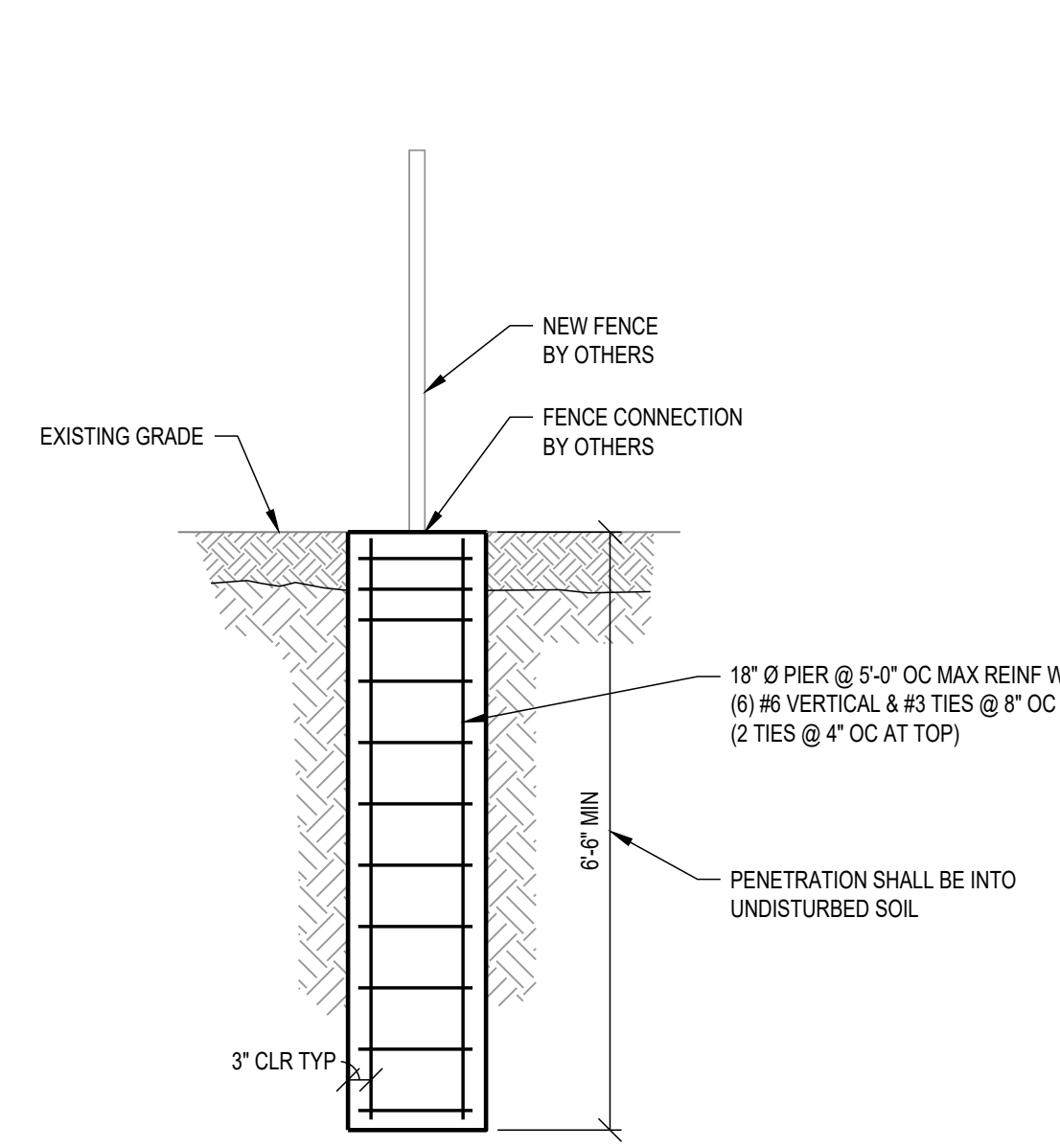


**2 CONCRETE WALL SUPPORTING KEYSTONE WALL**  
SCALE: NTS

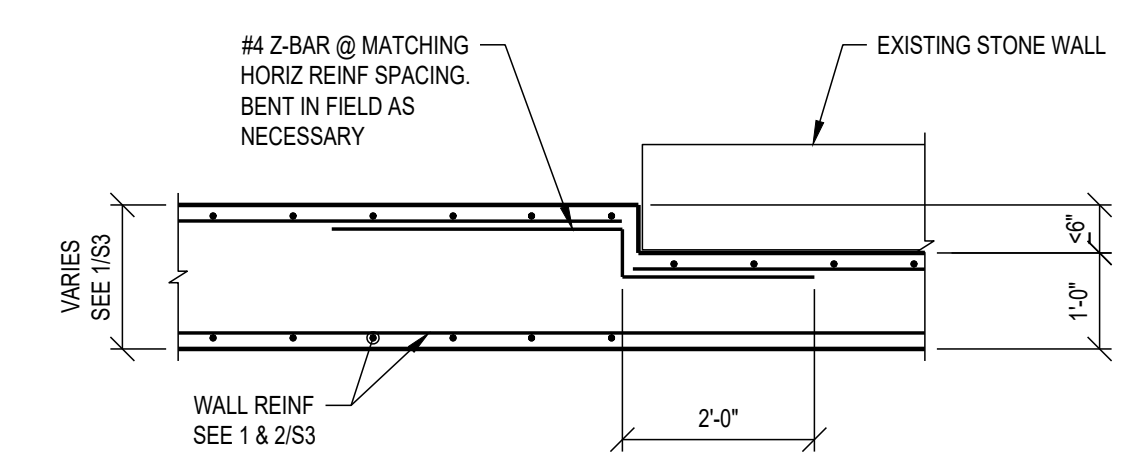
**CONCRETE WALLS WILL BE FACED WITH STONE**



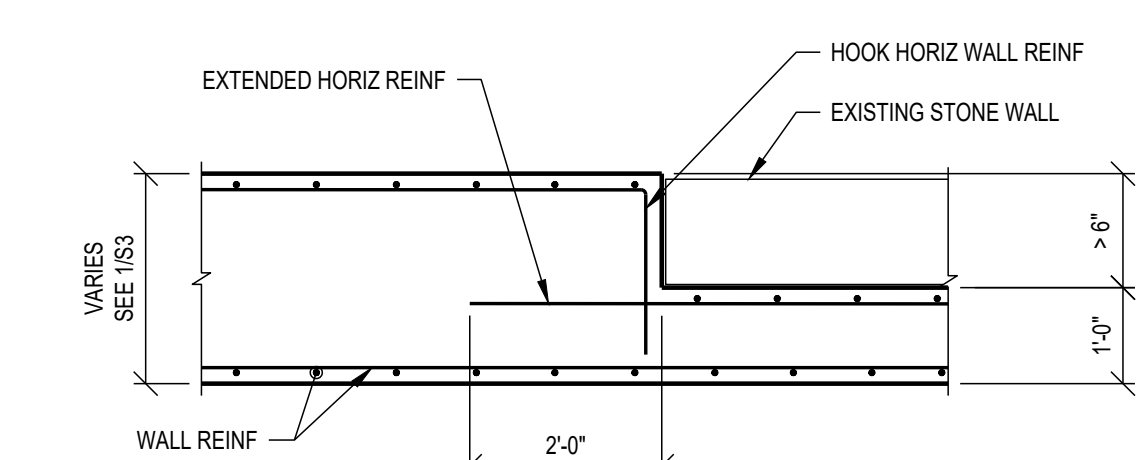
**3 TYPICAL PILES AND ANCHORS DETAILS**  
SCALE: NTS



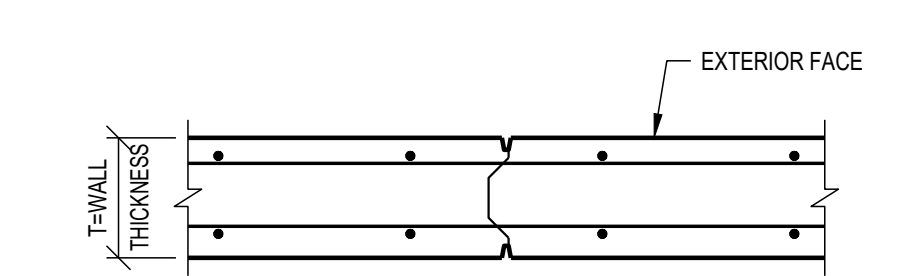
**4 TYPICAL FENCE PIER**  
SCALE: NTS



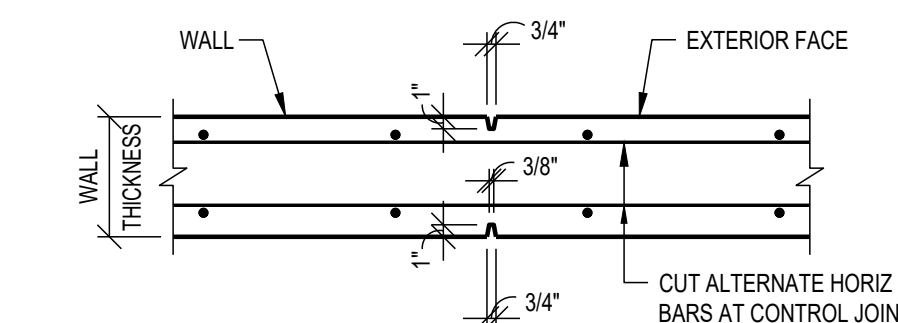
**5A WALL STEP ≤ 6"**  
SCALE: NTS



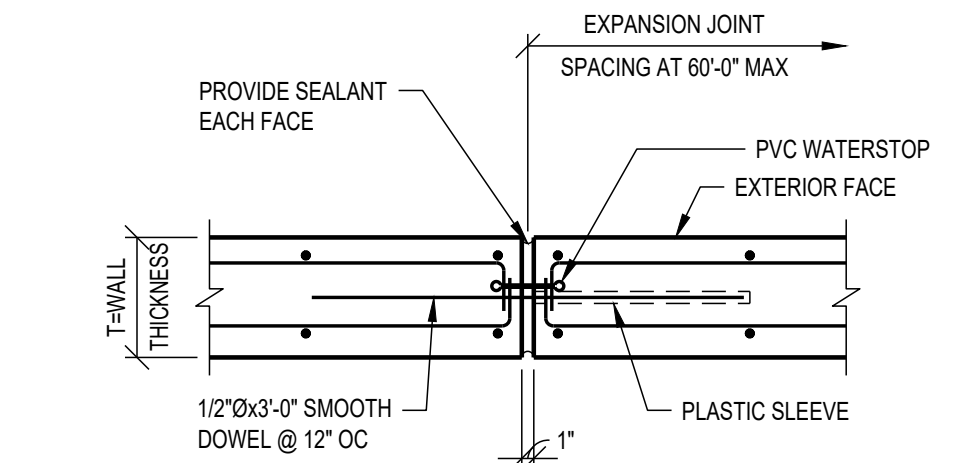
**5B WALL STEP > 6"**  
SCALE: NTS



**6 TYPICAL WALL CONSTRUCTION JOINT DETAIL**  
SCALE: NTS

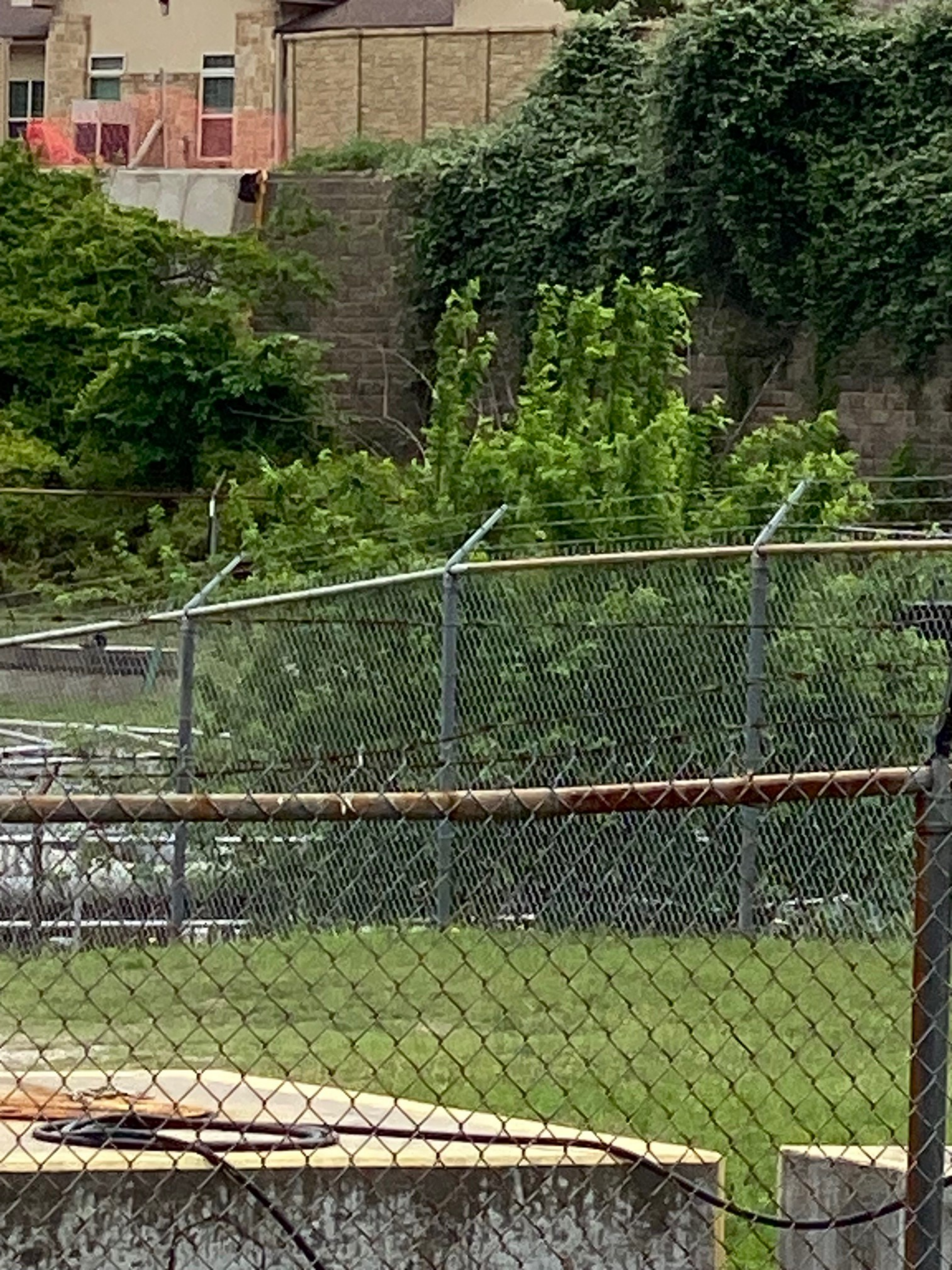


**7 TYPICAL WALL CONTROL JOINT DETAIL**  
SCALE: NTS



**8 TYPICAL WALL EXPANSION JOINT DETAIL**  
SCALE: NTS











June 10, 2026

TO: Bennie Griffin  
Lakeshore Assisted Living  
5250 Medical Drive  
Heath, TX 75032

FROM: Ryan Miller, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: MIS2026-007; *Variance to the Engineering Standards of Design and Construction Manual for 5250 Medical Drive to Allow a Smooth Face Concrete Wall*

Mr. Griffin:

This letter serves to notify you that the above referenced case, that you submitted for consideration by the City of Rockwall, was denied by the Planning and Zoning Commission on April 28, 2026. The following is a record of all voting records:

*Planning and Zoning Commission*

On April 28, 2026, the Planning and Zoning Commission approved a motion to deny the Variance with prejudice by a vote of 6-1, with Commissioner Hilliard dissenting.

According to Subsection 01.05, *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(a) request for site plan, plat, miscellaneous case, Certificate of Appropriateness (COA), small matching grant, or building permit fee waiver which has been previously denied with prejudice by the Historic Preservation Advisory Board (HPAB), Planning and Zoning Commission, or City Council may be resubmitted within one (1) year if there is: [1] an actual change in condition relating to the lot or tract of land -- *or any portion thereof* -- or any surrounding properties, or [2] the new request is more restrictive or less intense than the previous request." Please note that a failure to indicate a denial is with or without prejudice in making a motion to deny a request shall be considered a denial with prejudice. Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 771-7745.

Sincerely,

Ryan Miller, AICP  
Director of Planning and Zoning