



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1011 S Goliad
 SUBDIVISION: Canup's
 LOT: 10311 BLOCK: _____
 GENERAL LOCATION: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: C Commercial CURRENT USE: Vacant
 PROPOSED ZONING: SUP PROPOSED USE: Drive-Thru coffee structure
 ACREAGE: 15,159 SF LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	_____	<input type="checkbox"/> APPLICANT	5013 coffee properties
CONTACT PERSON	_____	CONTACT PERSON	Briere Cathey
ADDRESS	_____	ADDRESS	_____
CITY, STATE & ZIP	_____	CITY, STATE & ZIP	_____
PHONE	_____	PHONE	_____
E-MAIL	_____	E-MAIL	_____

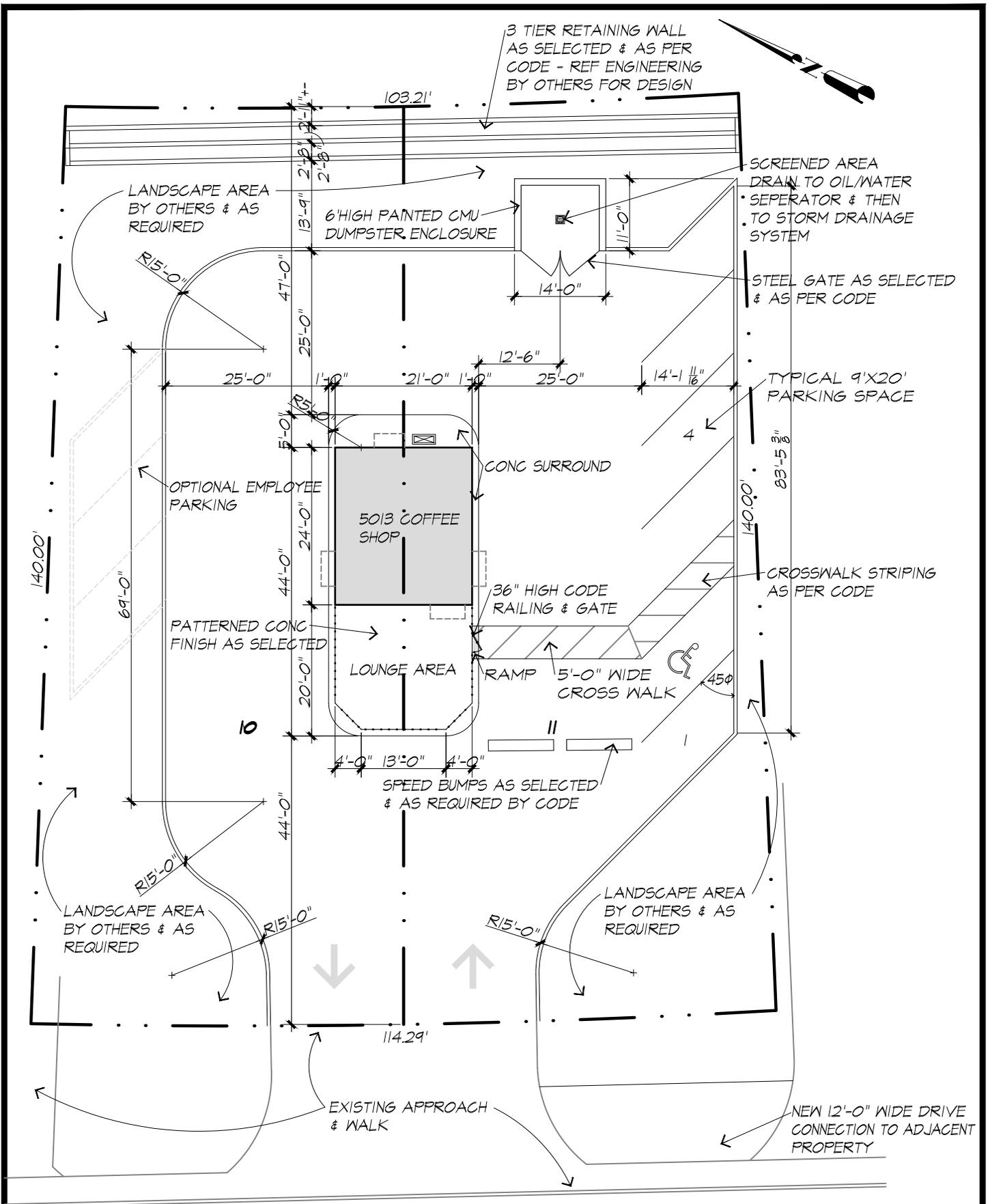
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Rogers [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF November 2025
 OWNER'S SIGNATURE: Mike Rogers
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Kathryn D English





1011 S. GOLIAD STREET

GENERAL NOTES
* REF CIVIL ENGINEERING BY OTHERS FOR ALL FINISH GRADES & REQUIRED DRAINAGE
* REF LANDSCAPE DESIGN DRAWINGS BY OTHERS FOR ALL REQUIRED LANDSCAPING
* SEE OWNER FOR SIGNAGE OPTIONS & DESIGN
* TOTAL STANDARD 9'X20' PARKING = 5 SPACES
* TOTAL ADA ACCESSIBLE PARKING = 1 SPACES
* TOTAL PARKING = 6 SPACES
TOTAL PAVING AS SHOWN = 8280.52 SF

PLAN #C-5013-CS
DATE: 12/x/2025

SITE PLAN

SCALE: 1" = 20'-0"

M Rouse Designs

2307 HIGH RIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

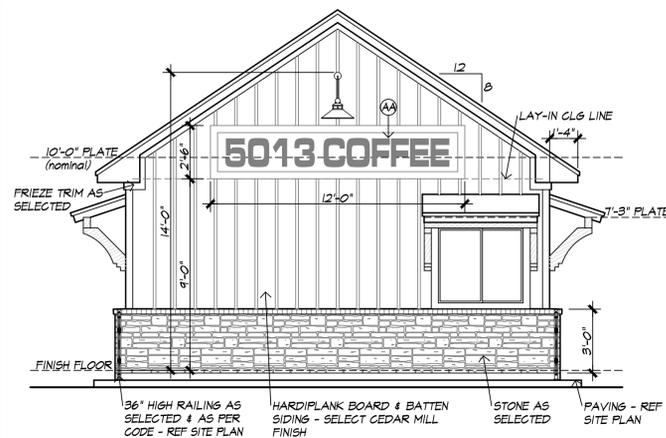
COPYRIGHT 2025 - M Rouse Designs - ALL RIGHTS RESERVED

LOT 10 & 11

CANUP'S SUBDIVISION

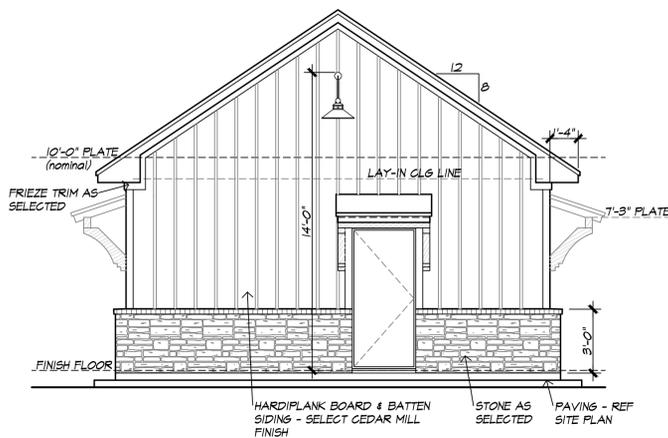
ROCKWALL, TEXAS

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



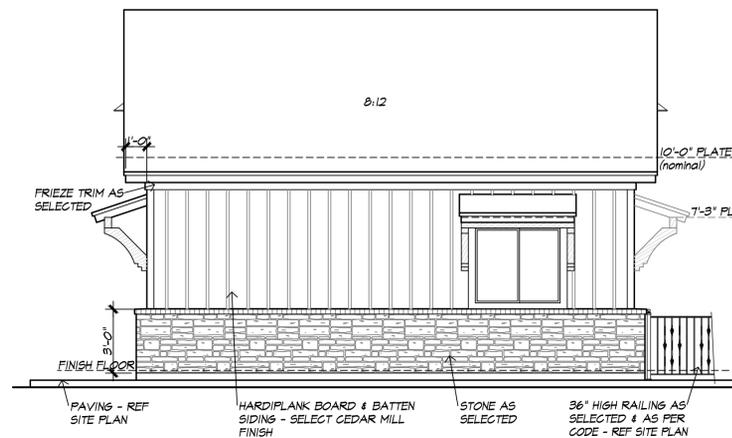
FRONT ELEVATION

SCALE 1/4"=1'-0"
25.14% STONE



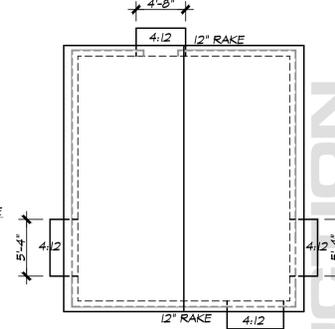
REAR ELEVATION

SCALE 1/4"=1'-0"
22.12% STONE



LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"
36.3% STONE



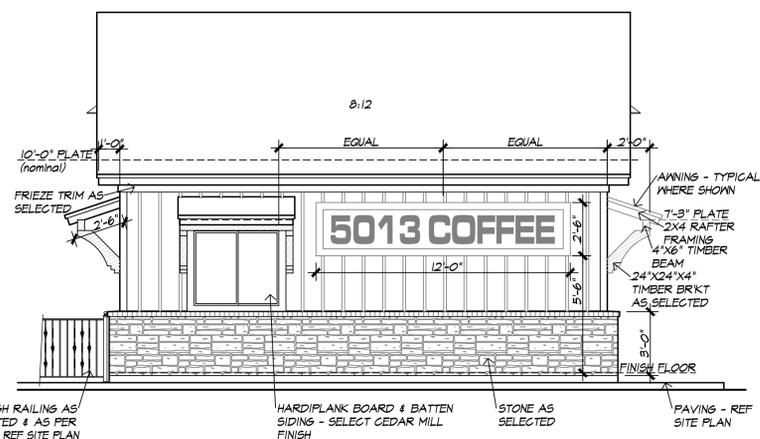
ROOF PLAN

- SCALE 1/8"=1'-0"
- * ROOF AS SPECIFIED @ 8:12 UNLESS NOTED
 - * SCREENED CORNICE VENTS AS PER CODE
 - * ATTIC VENTILATION AS PER CODE & AS SELECTED
 - * GUTTERS & DOWNSPOUTS STYLE & LOCATIONS, IF ANY, TO BE AS SELECTED
 - * 10'-0" PLATE (NOMINAL)
 - * RAFTER & RIDGE FRAMING MEMBER SIZING TO BE AS PER CURRENT GOVERNING CODES

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall notify the architect immediately in writing of any discrepancies and/or omissions. The architect shall be responsible for the accuracy of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustive. The contractor shall be responsible for the accuracy of these construction documents and shall be responsible for the accuracy of the construction documents. The contractor shall be responsible for the accuracy of the construction documents. The contractor shall be responsible for the accuracy of the construction documents.

LIGHTING/ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	NO.	NOTES:
[Symbol]	ELECTRIC PANEL	1	AS REQUIRED BY CODE
[Symbol]	4" RECESSED SOFFIT LIGHT	6	AS SELECTED & ON TIMER
[Symbol]	DOUBLE FLOOD LIGHT	4	AS SELECTED & ON MOTION SENSOR
[Symbol]	WALL MOUNT BARN LIGHT	2	AS SELECTED & ON TIMER/REF ELEVATIONS
[Symbol]	C.C. CAMERA	2	AS SELECTED
[Symbol]	2'x4" RECESSED FLUORESCENT FIXTURE, 3-T8 LAMPS, 32 WATTS - SAFETY WIRES REQUIRED ON DIAGONALLY OPPOSING CORNERS OF 2'x4" LAY-IN FIXTURES. WIRES MUST BE INDEPENDENT OF CEILING GRID	7	
[Symbol]	STANDARD TELE/DATA OUTLET	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STD QUADRUPEX OUTLET	3	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STD 220/240 OUTLET	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STANDARD WEATHERPROOF/GFI DUPLEX OUTLET	2	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STD DUPLEX OUTLET	10	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STANDARD GFI DUPLEX OUTLET	2	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STANDARD SWITCH	2	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	RECESSED EXHAUST FAN	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	THERMOSTAT	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	SMOKE DETECTOR	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	EMERGENCY LIGHTING/EXIT	1	EXTERIOR EXIT LIGHTS SHALL HAVE A MINIMUM 90 MINUTE BATTERY BACK-UP POWER FOR EMERGENCY USE



RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"
36.3% STONE

FRAMING NOTES

- * REFER TO STRUCTURAL ENGINEERING DRAWINGS BY OTHERS FOR ALL STATIC & DYNAMIC DESIGN SELECTIONS OF MATERIAL USE & ASSEMBLY OF ALL ELEMENTS INCLUDING BUT NOT LIMITED TO ALL HORIZONTAL & VERTICAL FRAMES, COLUMN PLATES, CONNECTORS, BEAMS, WALLS, PLATES, PENETRATIONS, ROOF FRAMING, WIND BRACING, DRAINAGE & CONNECTIONS
- * FOUNDATION DESIGN BY OTHERS TO RECOGNIZE ALL LOAD TRANSFERS & TO APPROPRIATELY ACCOMMODATE THEM.
- * STANDARD WALLS TO BE 2'x4" (UNLESS NOTED) @ 16" OC, BLOCKED @ MID-SPAN W/5/8" GYFROCK @ INTERIOR WALLS

GENERAL NOTES:

- * PLATE LINE TO BE @ 10'-0" NOMINAL
- * LAY-IN FINISH CEILING @ 9'-0" AFF
- * ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
- * CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
- * ALL PLATE LINES AS NOTED ON ELEVATIONS
- * ALL WINDOW HEADERS AS NOTED
- * WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE SHOWN OR BEST SUITED
- * ALL INTERIOR FINISHES TO BE AS SELECTED & AS NOTED
- * EXTERIOR WALLS TO BE 2'x6"

DOOR SCHEDULE

TYPE	SIZE	DESCRIPTION	#
1	STEEL EXTERIOR 3'-0" X 6'-8"	NON FIRE RATED	1
2	SOLID CORE 2'-0" X 6'-8"	INTERIOR AS SELECTED	1

- * - W/CLOSER, PUSH BAR EXIT DEVICE & DEAD BOLT LOCK SET
- ** - PAINT GRADE W/PRIVACY LOCK

WINDOW SCHEDULE

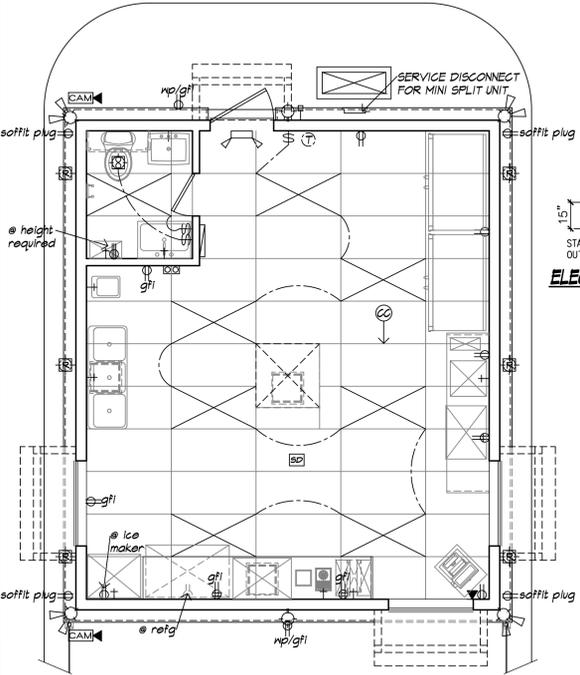
TYPE	SIZE	DESCRIPTION	#
A	HORIZ SL'DR 4'-0" X 3'-6"	@ 6'-8" HDR	3

ROOM FINISH SCHEDULE

ROOM NAME	FLOORS	BASE	WALLS		CEILING
			WALL 1/ALL	WALL 2/ALL	
PREP/SERVICE		STAINED CONC.	RUBBER	GYP BD F.R.P BOARD	LAY-IN/2'x4' GRID 9'-0"
RESTROOM		STAINED CONC.	RUBBER	GYP BD PAINT	LAY-IN/2'x4' GRID 9'-0"

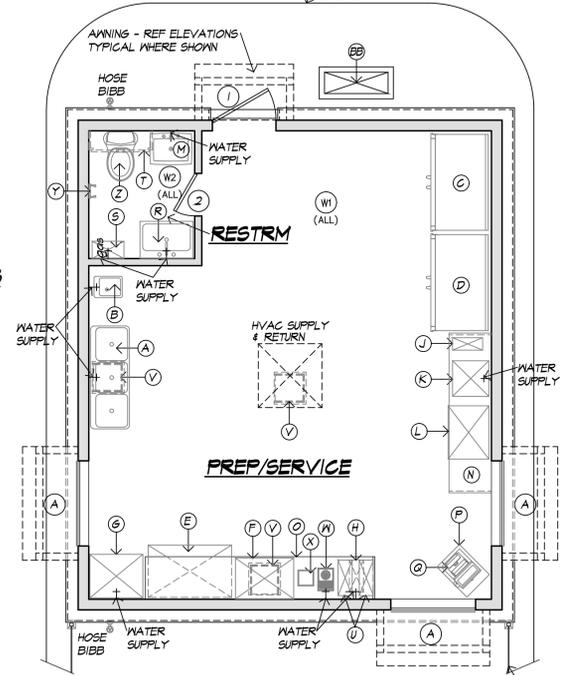
FIXTURE SCHEDULE

ITEM	QTY	DESCRIPTION
A	3	COMP FREESTANDING SINK
B	1	FREESTANDING HAND WASH SINK
C	1	REFRIGERATOR
D	1	FREEZER
E	1	UNDER COUNTER REFRIGERATOR
F	1	3 GROUP ESPRESSO
G	1	ICE MAKER
H	1	REVERSE OSMOSIS WATER FILTER
I	1	JULK GRINDER
K	1	DOUBLE BATEN BREWER
L	1	COUNTERTOP 30" MICROWAVE
M	1	FREESTANDING MOP SINK
N	1	PRE-FAB COUNTER/TABLE
O	1	JOB-BUILT COUNTER
P	1	CASH REGISTER TABLE
Q	1	CASH REGISTER
R	1	WALL MOUNT SINK
S	1	TANKLESS WATER HEATER
T	1	WALL MOUNT CABINET
U	2	COFFEE GRINDER
V	3	FLOOR SINK
W	1	CUP GLASS RINSER
X	1	COUNTERTOP TRASH DROP
Y	1	TOILET PAPER HOLDER
Z	1	FLOOR MOUNT AS SELECTED
AA	2	NO MORE THAN 60 SF OR 75% OF BUILDING WIDTH
BB	1	MINI SPLIT HVAC UNIT
CC	1	24'x48" LAY-IN CEILING



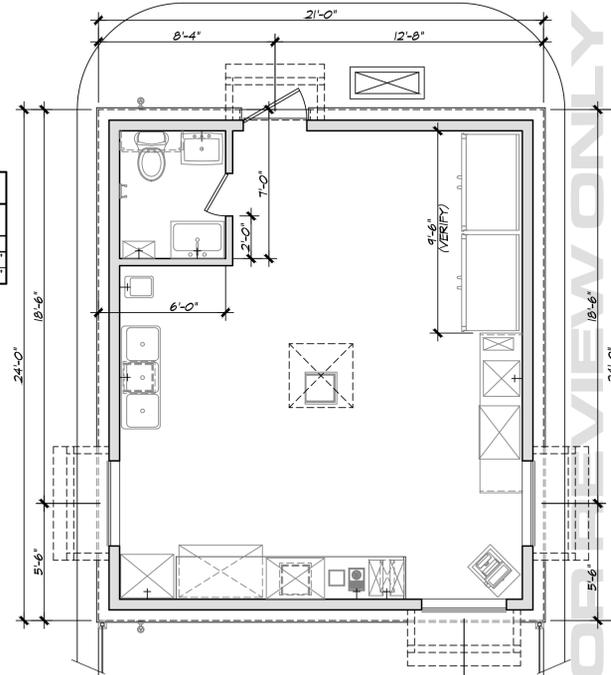
REFLECTIVE CLG/LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"
NOTE:
FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT



NOTATION/FIXTURE PLAN

SCALE 1/4"=1'-0"
504 SF



DIMENSION PLAN

SCALE 1/4"=1'-0"

5013 COFFEESHOP
1011 S. GOLIAD ST.
ROCKWALL, TX

M Rouse Design
 2307 HIGHLIDGE
 SACHSE, TEXAS 75048
 (214) 801-9944
 mrouse@mrdesign.com
 MRROUSEDESIGN.COM

REVISED DATE 12/1/2025
 SHEET AI
 DESIGN NUMBER C-5013-CS

COPYRIGHT 2025 - Mrouse Designs - ALL RIGHTS RESERVED



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 10115 Goliad
 SUBDIVISION: Canup's
 LOT: 10311
 BLOCK: _____
 GENERAL LOCATION: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: C Commercial
 CURRENT USE: Vacant
 PROPOSED ZONING: SUP
 PROPOSED USE: Drive-Thru coffee structure
 ACREAGE: 15,159 SF
 LOTS [CURRENT]: _____
 LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	_____	<input type="checkbox"/> APPLICANT	5013 coffee properties
CONTACT PERSON	_____	CONTACT PERSON	Briere Cathey
ADDRESS	_____	ADDRESS	_____
CITY, STATE & ZIP	_____	CITY, STATE & ZIP	_____
PHONE	_____	PHONE	_____
E-MAIL	_____	E-MAIL	_____

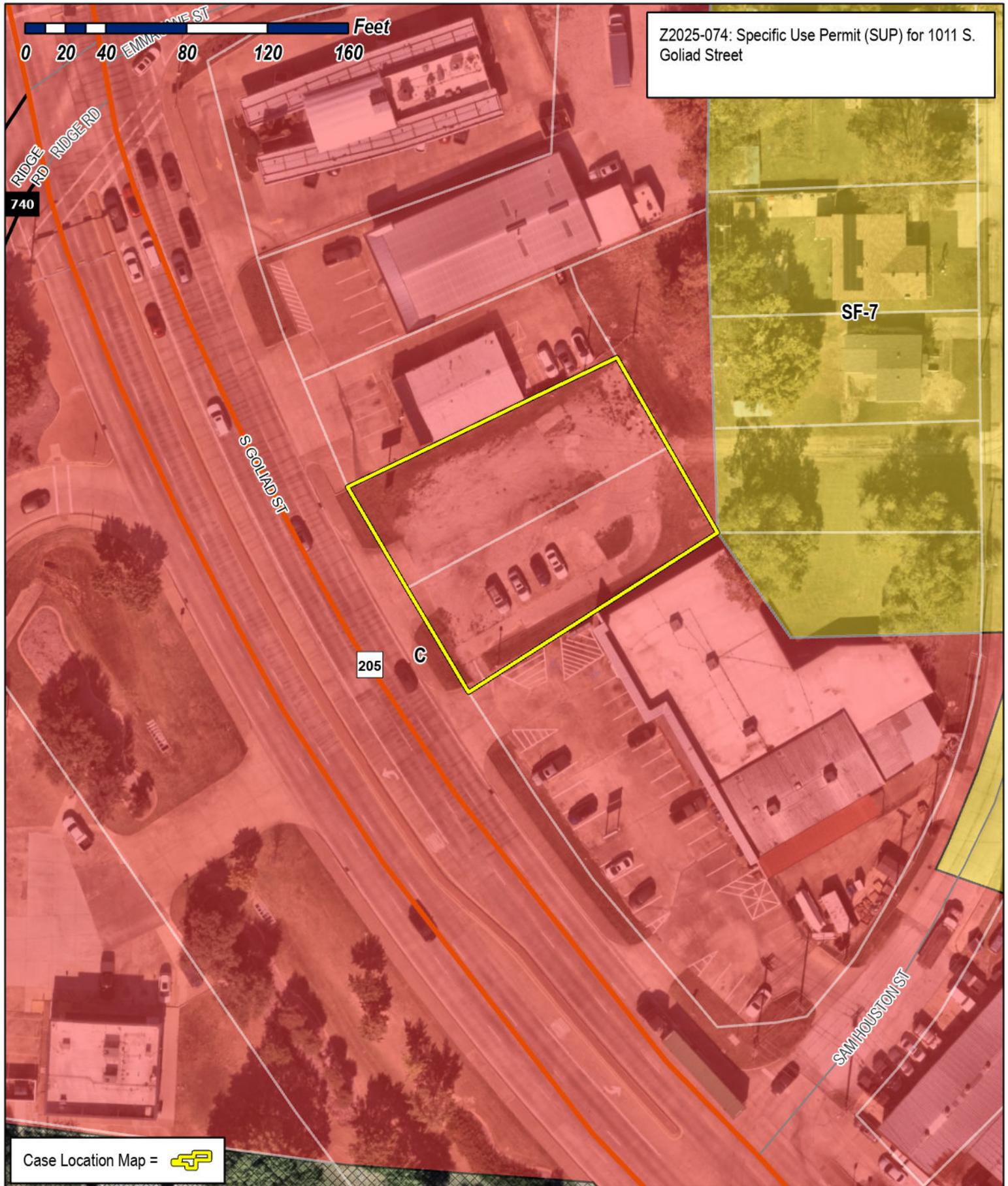
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Rogers [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF November 2025
 OWNER'S SIGNATURE: Mike Rogers
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Kathryn D. English





Z2025-074: Specific Use Permit (SUP) for 1011 S. Goliad Street

SF-7

205 C

Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

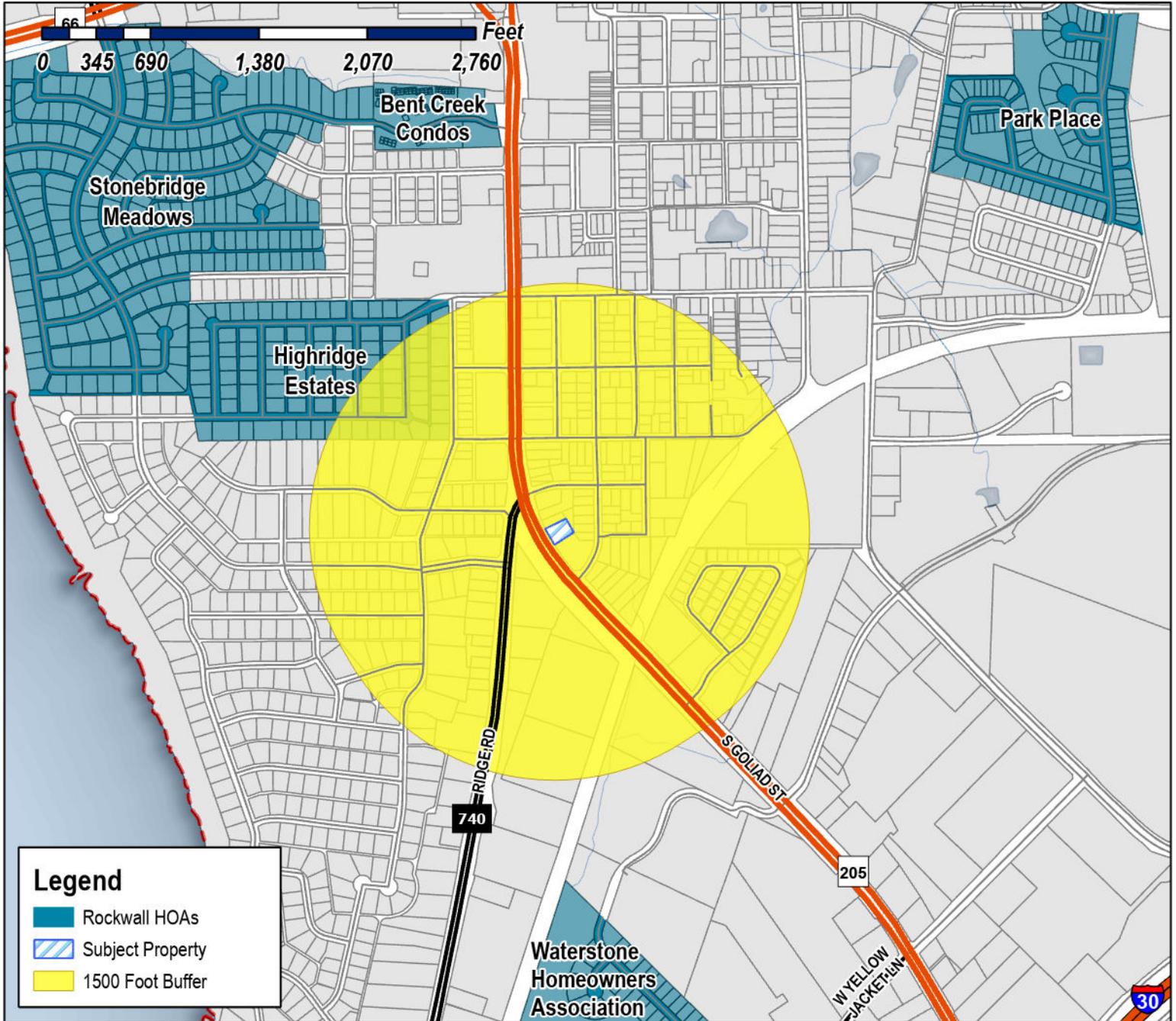




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-074
Case Name: Specific Use Permit (SUP) for a Restaurant Less than 2,000 SF with Drive-Through
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1011 S. Goliad Street

Date Saved: 12/15/2025
 For Questions on this Case Call (972) 771-7745

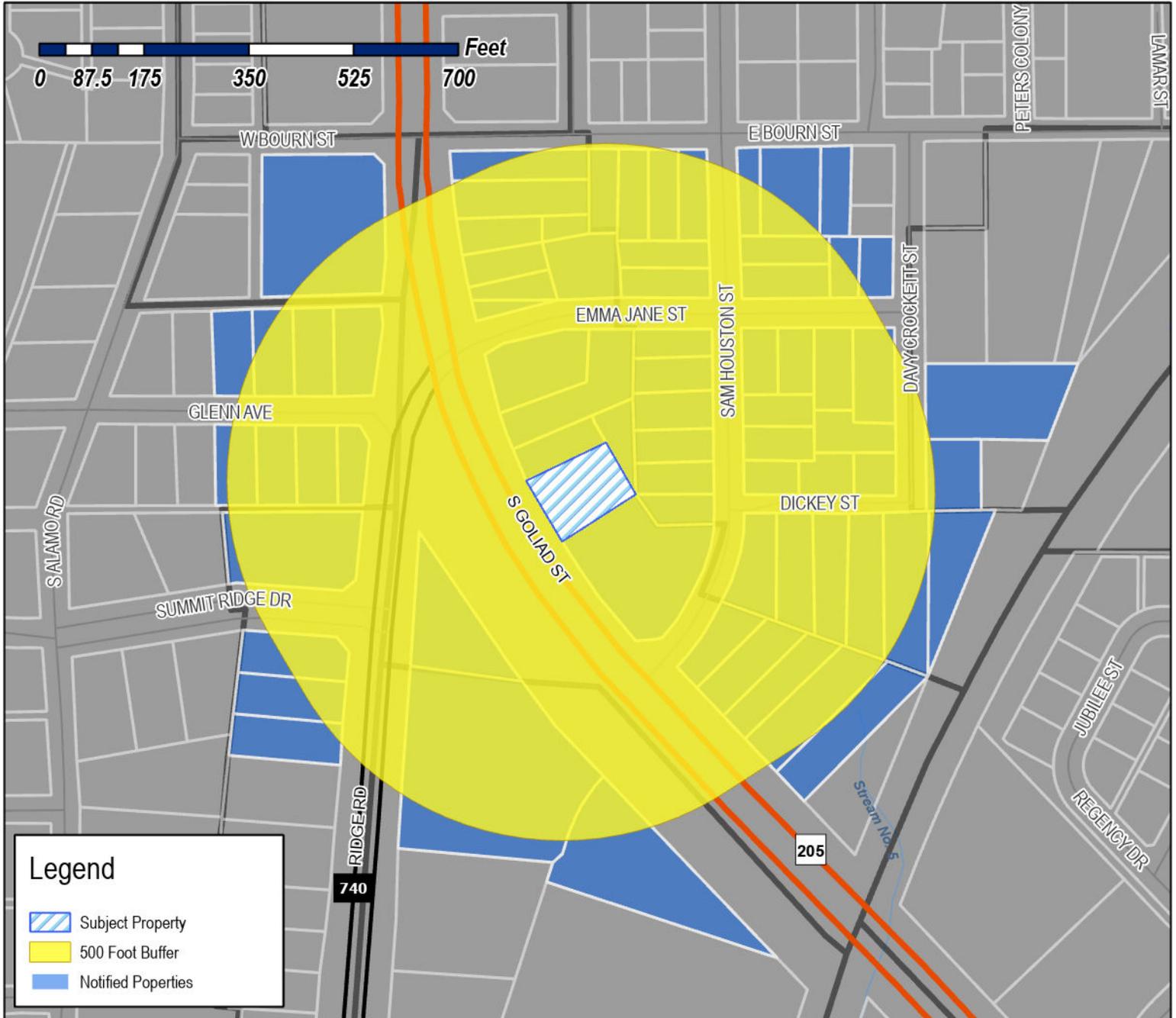




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-074
Case Name: Specific Use Permit (SUP) for a Restaurant Less than 2,000 SF with Drive-Through
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1011 S. Goliad Street

Date Saved: 12/15/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT
1001 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1002 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1003 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1005 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1006 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
1006 RIDGE RD
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
1007 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1007 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1008 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
1008 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1008 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1009 S GOLIAD
ROCKWALL, TX 75087

CASTILLO PEDRO
1009 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
101 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
1010 SAM HOUSTON
ROCKWALL, TX 75087

PREGNANCY RESOURCE CENTER OF LAKE RAY
HUBBARD
1010 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1012 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1013 S GOLIAD
ROCKWALL, TX 75087

CANGIANO COSIMO JEFFREY
102 GLENN AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

RESIDENT
104 GLENN AVE
ROCKWALL, TX 75087

GE QIQING AND
JINGJING ZHANG
105 COYOTE BRUSH
IRVINE, CA 92618

FEAZELL SARA DEANNE & RICKEY
105 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
106 GLENN AVE
ROCKWALL, TX 75087

RIDGE ROAD PARTNERS LP
106 E Rusk St Ste 200
Rockwall, TX 75087

FOWLKES BRETT
107 Glenn Ave
Rockwall, TX 75087

RESIDENT
108 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
1101 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1101 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1105 S GOLIAD
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1155 W Wall St Ste 101
Grapevine, TX 76051

RESIDENT
1201 RIDGE RD
ROCKWALL, TX 75087

ANDERSON ALLEN
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

RB CAPITAL LTD
1602 Shadywood Ln
Mt Pleasant, TX 75455

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

RERV ACQUISITIONS LLC
1748 BAY WATCH DR
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

LRG GROUP LLC
202 E RUSK ST
ROCKWALL, TX 75087

KIM RENEE TIMPA MARITAL TRUST NO 1
202 N San Jacinto St
Rockwall, TX 75087

RESIDENT
204 BOURN
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
206-207 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
208 EMMA JANE ST
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
302 EMMA JANE
ROCKWALL, TX 75087

CONFIA HOMES LLC
302 BOURN
ROCKWALL, TX 75087

RESIDENT
304 EMMA JANE
ROCKWALL, TX 75087

HERNANDEZ SAMUEL AND VANESSA TYSON-
HERNANDEZ
304 E Bourn St
Rockwall, TX 75087

RESIDENT
306 BOURN AVE
ROCKWALL, TX 75087

ELLERD TERESA
308 EMMA JANE ST
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N
309 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
310 EMMA JANE
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

BROBOANA BIANCA SINGEORZAN
3948 SUNLEAF AVE
MEDFORD, OR 97504

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

JONES LENA EST
C/O CHARLES R HUMPHREY
405 ER ELLIS
ROCKWALL, TX 75087

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

MATHIS DEBRA L
504 DICKEY ST
ROCKWALL, TX 75087

RESIDENT
506 DICKEY ST
ROCKWALL, TX 75087

RODRIGUEZ MARIA
507 DICKEY ST
ROCKWALL, TX 75087

RESIDENT
508 DICKEY ST
ROCKWALL, TX 75087

BROWN GEORGIA
508 DICKEY ST
ROCKWALL, TX 75087

SALGADO HAROLD G
510 DICKIE ST
ROCKWALL, TX 75087

WAFFER JULIUS
512 DICKEY ST
ROCKWALL, TX 75087

TIMPA KIM
633 MORaine WAY
HEATH, TX 75032

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

8661 S HAMPTON LLC
805 Green Pond Dr
Garland, TX 75040

RUSZKOWSKI SKYLER E
8127 E COLUMBUS AVE
SCOTTSDALE, AZ 85251

JPH ROCKWALL LLC
901 DAVY CROCKETT STREET
ROCKWALL, TX 75087

RESIDENT
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

RESIDENT
903 DAVY CROCKETT
ROCKWALL, TX 75087

GOAT GENERAL CONTRACTING LLC
KEVIN W. VICE
903 DAVY CROCKETT ST
ROCKWALL, TX 75087

GOAT GENERAL CONTRACTING, LLC
903 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
903 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
905 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

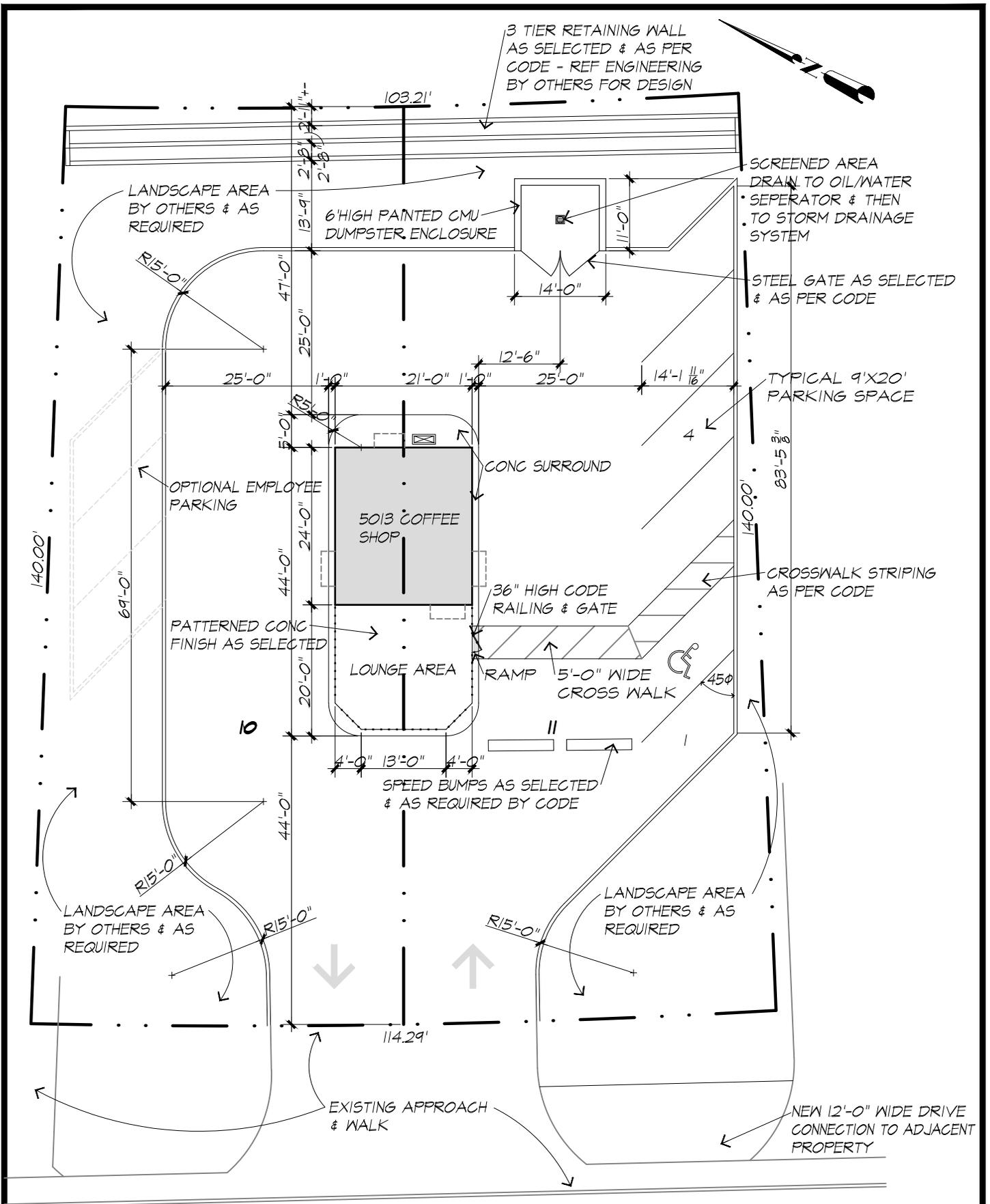
RESIDENT
907 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
907 S GOLIAD
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
9922 Donegal Dr
Dallas, TX 75218

CORRIGANCOWAN LLC
PO BOX 2256
ROCKWALL, TX 75087

OWENS RICHARD DUANE
905 SAM HOUSTON
ROCKWALL, TX 75087



1011 S. GOLIAD STREET

GENERAL NOTES

- * REF CIVIL ENGINEERING BY OTHERS FOR ALL FINISH GRADES & REQUIRED DRAINAGE
- * REF LANDSCAPE DESIGN DRAWINGS BY OTHERS FOR ALL REQUIRED LANDSCAPING
- * SEE OWNER FOR SIGNAGE OPTIONS & DESIGN
- * TOTAL STANDARD 9'X20' PARKING = 5 SPACES
- * TOTAL ADA ACCESSIBLE PARKING = 1 SPACES
- * TOTAL PARKING = 6 SPACES
- TOTAL PAVING AS SHOWN = 8280.52 SF

PLAN #C-5013-CS
DATE: 12/x/2025

SITE PLAN

SCALE: 1" = 20'-0"

LOT 10 & 11

CANUP'S SUBDIVISION

ROCKWALL, TEXAS

M Rouse Designs

2307 HIGHRIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

COPYRIGHT 2025 - M Rouse Designs - ALL RIGHTS RESERVED

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: January 13, 2026

APPLICANT: Brierre Cathey

CASE NUMBER: Z2025-074; *Specific Use Permit for a Restaurant with less than 2,000 SF with Drive-Through or Drive-In at 1011 S. Goliad Street (5013 Coffee)*

SUMMARY

Hold a public hearing to discuss and consider a request by Brierre Cathey on behalf of Mike Rodgers for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

Based on the City's annexation ordinances, the subject property was annexed prior to June 20, 1959. According to the City's *Historic Zoning Maps*, the subject property was zoned Commercial (C) District as of January 3, 1972 and this designation has not changed. A demolition permit [*i.e. BLD2018-0180*] was issued by the Building Inspections Department on January 24, 2018 for the removal of a 3,100 SF building. The subject property is currently vacant.

PURPOSE

The applicant -- *Brierre Cathey* -- is requesting the approval of a Specific Use Permit (SUP) to allow for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at 1011 S. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are three (3) parcels of land [*i.e. 1001, 1003, & 1009 S. Goliad Street*] developed with a restaurant [*i.e. Sonic*] and two (2) retail businesses [*i.e. Main Street Consignment and Scorpion Smoke Shop*]. All of these properties are zoned Commercial (C) District. Beyond this is Emma Jane, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 0.8427-acre parcel of land [*i.e. 1013 S. Goliad Street*] developed with a retail business [*i.e. Ace Hardware*]. This property is zoned Commercial (C) District. Beyond this is Sam Houston Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a vacant 0.135-acre parcel of land [*i.e. part of Block B of the Canup Addition*]. East of this are three (3) parcels of land [*i.e. 1006, 1008, & 1010 Sam Houston*] which consist of two (2) single-family homes and one (1) vacant lot. All of these properties are zoned Single-Family 7 (SF-7) District. Beyond this is Sam Houston Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Ridge Road, which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this is the L&W Subdivision, which consists of 13 residential lots, and has been in existence since 1949.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and a concept plan requesting a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* for the purpose of establishing a restaurant (i.e. 5013 Coffee). The concept plan shows that the proposed restaurant will be approximately 504 SF, with an additional 420 SF covered patio. The design includes a drive-through lane that begins on the south side of the building and leads to a pickup window. The request appears to meet all of the *Residential Adjacency Standards*, but will be required to provide additional landscaping and headlight screening along the northern property line, three (3) tiered screening adjacent to the eastern property line, and a *built-up* berm a minimum of 24-inches in height along the back of the property.

CONFORMANCE WITH THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *Restaurant with Drive Through or Drive-In* as "(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises." In this case, the applicant's proposed business – 5013 Coffee -- falls under this classification. The subject property is required to meet the Commercial (C) District land uses, and according to the *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of this requirement is to acknowledge that not all *Restaurant* operations, less than 2,000 SF, with drive-throughs or drive-ins are appropriate within the City's Commercial (C) Districts, and that the City Council should have discretionary oversight with regard to the types of *Restaurant* operations and their impacts within these types of districts. In addition, Subsection 02.03(f)(9) places the following additional conditions on this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles.

The applicant's request does appear to conform to the requirements stipulated by the Unified Development Code (UDC); however, staff has incorporated additional operational conditions in order to maintain compliance with this Specific Use Permit (SUP) ordinance. These include additional landscaping and headlight screening along the northern property line as well as three (3) tiered screening (i.e. one [1] row of canopy trees, one [1] row of accent trees and large shrubs, and one [1] row of lower level shrubs) adjacent to the eastern property line (adjacent to the existing residentially zoned or used properties). In addition, a *built-up* berm a minimum of 24-inches in height shall be required along the back of the property. These items, along with the building elevations, will be reviewed for conformance by the Planning and Zoning Commission at the time of Site Plan approval.

STAFF ANALYSIS

The intent of the Commercial (C) District is to accommodate most forms of commercial development, such as large shopping centers at major intersections and commercial corridors along arterial roads. Permitted uses primarily include office and retail activities, with limited allowances for certain wholesale operations. The district generally excludes uses that would fall into the Heavy Commercial (HC) District category. When commercial development is located near residential areas, appropriate buffering and mitigation measures are required to address potential impacts such as noise, traffic, litter, late operating hours, and other neighborhood concerns. Since the Commercial (C) District is general in nature, the development standards are less

stringent and do not require as high of standards of development as the Residential-Office (RO), Neighborhood Services (NS) and General Retail (GR) Districts. When reviewing this case, the proposed land use appears appropriate for the location, as the subject property is situated within a commercial corridor and in close proximity to S. Goliad Street (SH-205) [*which is identified as a principal arterial, six [6] lane, divided roadway*] on the City's Master Thoroughfare Plan. With this being said, approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On December 16, 2025, staff mailed 91 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Highridge Estates Homeowner's Association (HOA), which is the only HOA/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notices in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
 - (b) The development of the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) at the time of Site Plan approval. In addition, any variances to the *General Overlay District Standards* as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) shall be required to be approved by the Planning and Zoning Commission at the time of Site Plan approval.
 - (c) Additional landscaping and headlight screening shall be required along the northern property line. This shall be reviewed by the Planning and Zoning Commission at the time of Site Plan approval.
 - (d) Three (3) tiered screening (*i.e. one [1] row of canopy trees, one [1] row of accent trees and large shrubs, and one [1] row of lower level shrubs*) shall be required adjacent to the eastern property line (*adjacent to the existing residentially zoned or used properties*). In addition, a *built-up* berm a minimum of 24-inches in height shall be required along the back of the property. These items will be reviewed for conformance by the Planning and Zoning Commission at the time of Site Plan approval.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway)
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls (if needed) 3' and over must be engineered.
- Retaining walls (if needed) 18" or taller must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences (including but not limited to signage, retaining walls, overhangs, etc.) are allowed within easements or ROW.
- The site will need to be platted if changing existing easements or adding easements.
- All utilities must be underground.
- Additional comments may be provided at the time of Site Plan and Engineering review.

Drainage Items:

- Existing flow patterns must be maintained.
- Detention will be required if increasing impervious area.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- Grate inlets are not allowed.
- No vertical walls allowed in detention or drainage easements.
- No public water or sanitary sewer allowed in detention or drainage easements.
- FFE for all buildings must be called out when adjacent to a detention system or drainage swale. FEE must be a minimum 2' above the 100-year WSEL for the detention system and drainage swale.
- Dumpster areas must drain to an oil/water separator and then into the storm drainage system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- There is an existing 8" sewer main available for use on the northeast side of the site in Emma Jane.
- Private off-site easements for sewer service and water service will be required.
- There appears to be an existing water meter for this site, existing water service will need to be verified and have off-site private easement for service.
- Any public water lines must be a minimum of 8", looped, and must be centered within a 20' wide easement.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- All existing or proposed water and/or irrigation services to have a testable backflow assembly installed at the meter.

Roadway Paving Items:

- A TXDOT Permit will be required for any improvements made within the SH-205 ROW.
- Must meet City and TXDOT driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed in any area.
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if needed) to be 24' wide and in a platted easement.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Culverts (if needed) must be engineered.
- A TIA maybe required with all review fees to be paid by developer.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities or within easements.

USE ONLY

PLANNING & ZONING CASE NO. [REDACTED]

THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE REVIEWED BELOW.

DATE OF PLANNING: [REDACTED]

CITY ENGINEER: [REDACTED]

QUEST [SELECT ONLY ONE BOX]:

STANDARD APPLICATION FEES:

PLANNING (\$200.00 + \$15.00 ACRE) ¹

PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}

ENGINEERING PLANS (\$200.00 + \$15.00 ACRE) ¹

EXEMPT APPLICATION FEES:

PLANNING (\$75.00)

PERMIT/QUEST/SPECIAL EXCEPTIONS (\$100.00) ²

IF YOU REQUEST A FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE CITY. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. ALL FEES WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT IS NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

LOT 10311 BLOCK [REDACTED]

Vacant
Drive-Thru coffee structure
LOTS [PROPOSED]

DATE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL

(ORIGINAL/ORIGINAL SIGNATURES ARE REQUIRED)

5013 coffee properties
Brienne Cathey

CITY, STATE & ZIP	[REDACTED]	CITY, STATE & ZIP	[REDACTED]
PHONE	[REDACTED]	PHONE	[REDACTED]
E-MAIL	[REDACTED]	E-MAIL	[REDACTED]

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Rogers [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

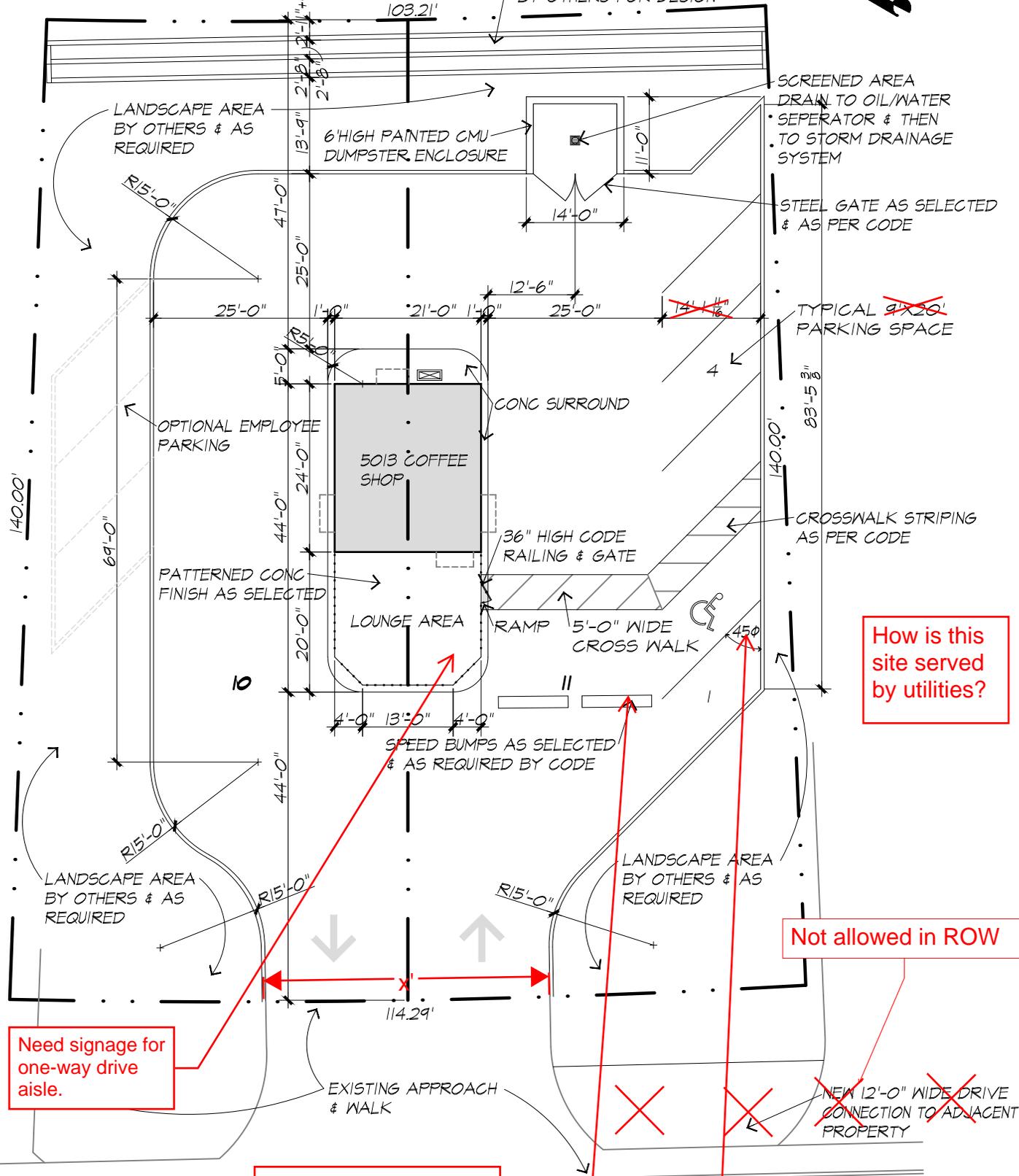
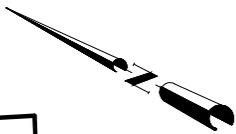
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF November 2025

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



3 TIER RETAINING WALL
AS SELECTED & AS PER
CODE - REF ENGINEERING
BY OTHERS FOR DESIGN



How is this site served by utilities?

Not allowed in ROW

Need signage for one-way drive aisle.

Speed bumps not allowed.

45-degree parking must meet the following requirements:
Each parking space shall not be less than nine (9) feet wide perpendicular to the parking angle nor less than 19-feet in length when measured at right angles to the building or parking line. Maneuvering space shall be not less than 12-feet for one (1) way traffic or 24-feet for two (2) way traffic perpendicular to the building or parking line

* TOTAL ADA ACCESSIBLE PARKING = 1 SPACES
* TOTAL PARKING = 6 SPACES
TOTAL PAVING AS SHOWN = 8280.52 SF

PLAN #C-5013-CS
DATE: 12/x/2025

SITE PLAN
LOT 10 & 11
CANUP'S SUBDIVISION
ROCKWALL, TEXAS

SCALE: 1" = 20'-0"

M Rouse Designs
2307 HIGH RIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com
"WHERE DESIGN EXCELLENCE BEGINS"
COPYRIGHT 2025 - M Rouse Designs - ALL RIGHTS RESERVED

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1011 S Goliad
 SUBDIVISION: Canup's
 LOT: 10311 BLOCK: _____
 GENERAL LOCATION: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: C Commercial CURRENT USE: Vacant
 PROPOSED ZONING: SUP PROPOSED USE: Drive-Thru coffee structure
 ACREAGE: 15,159 SF LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	_____	<input type="checkbox"/> APPLICANT	5013 coffee properties
CONTACT PERSON	_____	CONTACT PERSON	Briere Cathey
ADDRESS	_____	ADDRESS	_____
CITY, STATE & ZIP	_____	CITY, STATE & ZIP	_____
PHONE	_____	PHONE	_____
E-MAIL	_____	E-MAIL	_____

NOTARY VERIFICATION [REQUIRED]

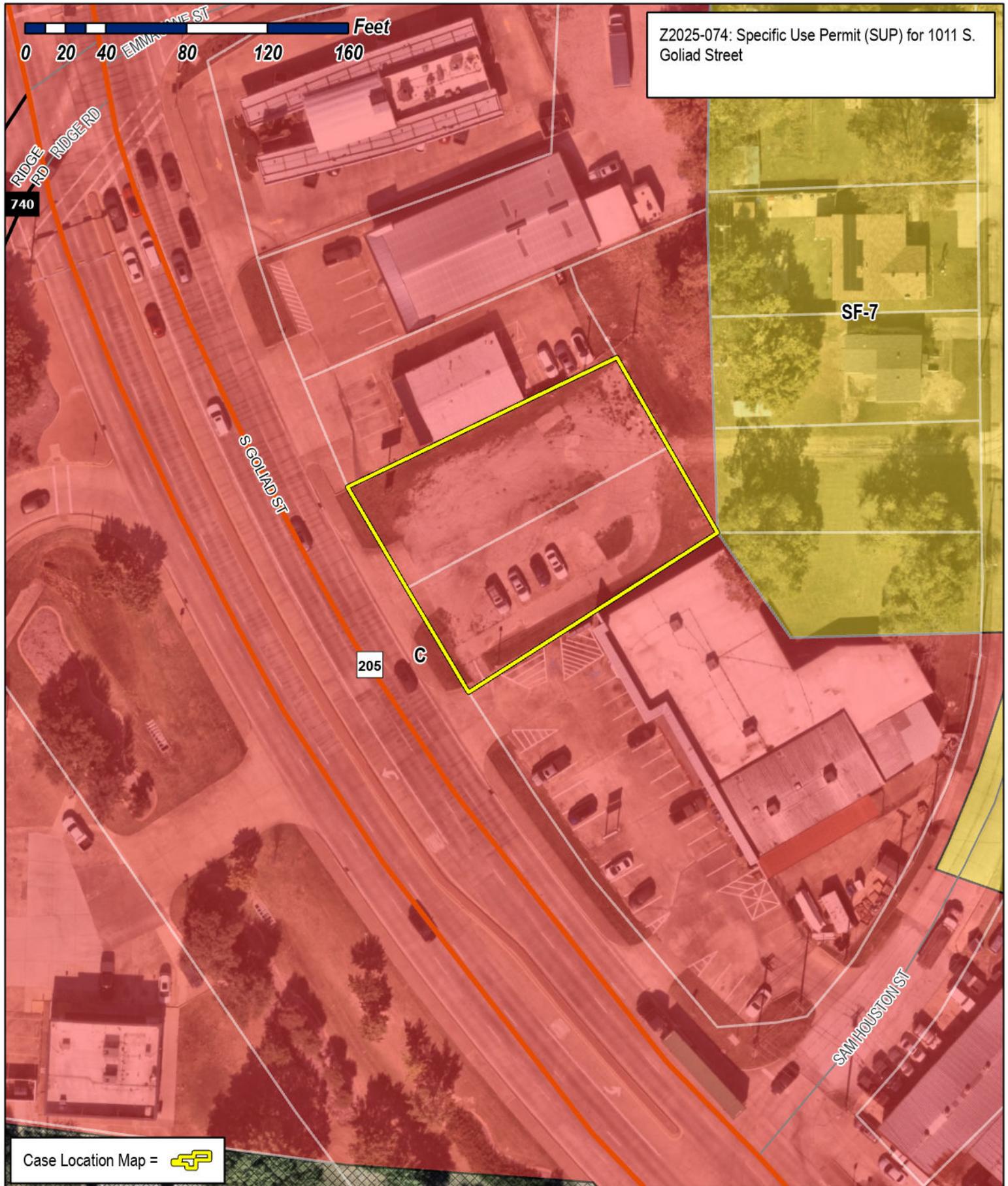
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Rogers [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF November 2025
OWNER'S SIGNATURE: Mike Rogers

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Kathryn D English





Z2025-074: Specific Use Permit (SUP) for 1011 S. Goliad Street

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

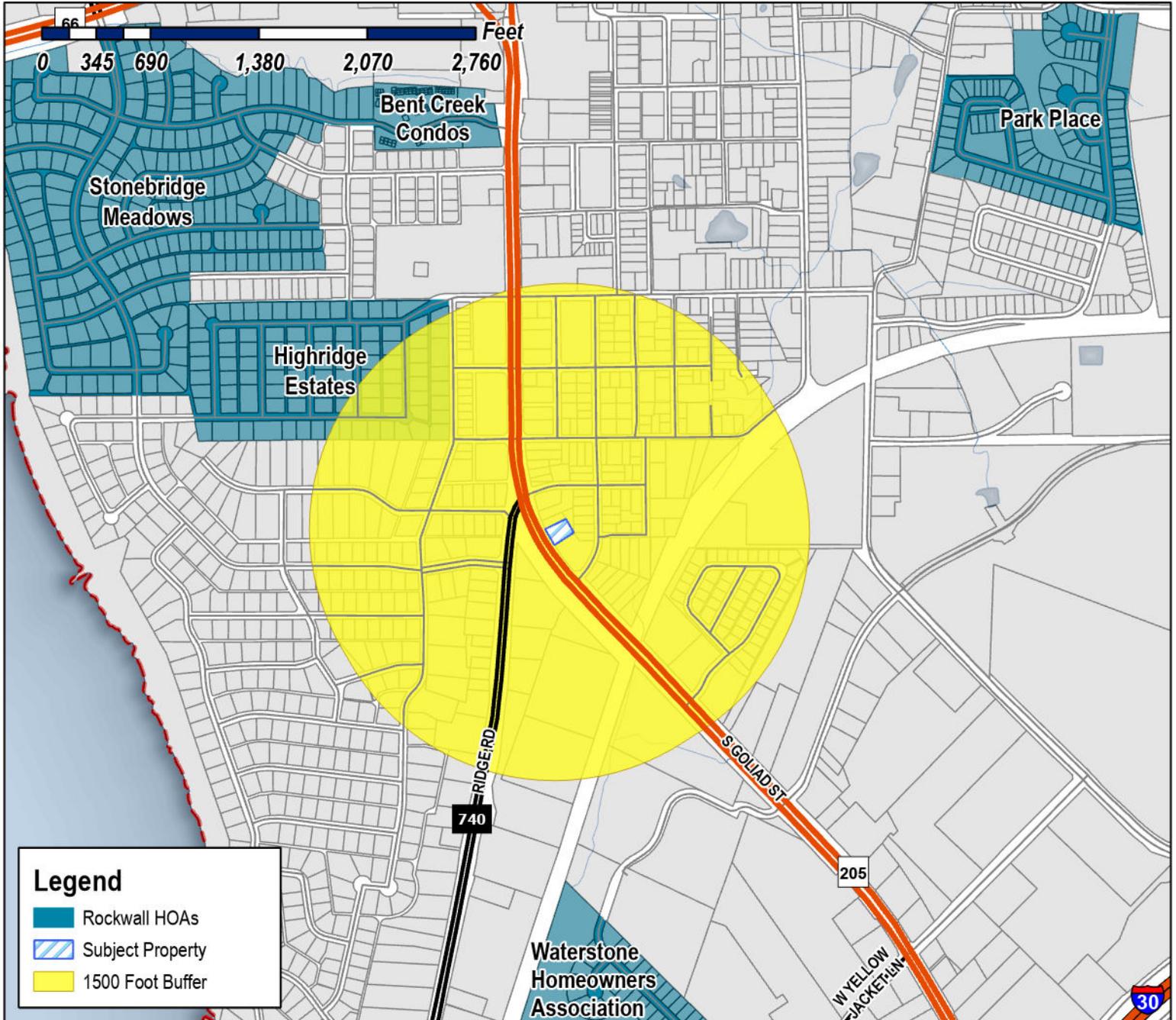




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-074
Case Name: Specific Use Permit (SUP) for a Restaurant Less than 2,000 SF with Drive-Through
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1011 S. Goliad Street

Date Saved: 12/15/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-074]
Date: Wednesday, December 17, 2025 1:16:40 PM
Attachments: [Public Notice \(12.16.2025\).pdf](#)
[HOA Map \(12.15.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, December 19, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, January 13, 2026 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, January 20, 2026 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive-Through

Hold a public hearing to discuss and consider a request by Brierre Cathey on behalf of Mike Rodgers for the approval of a [Specific Use Permit \(SUP\)](#) for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and take any action necessary.

Melanie Zavala

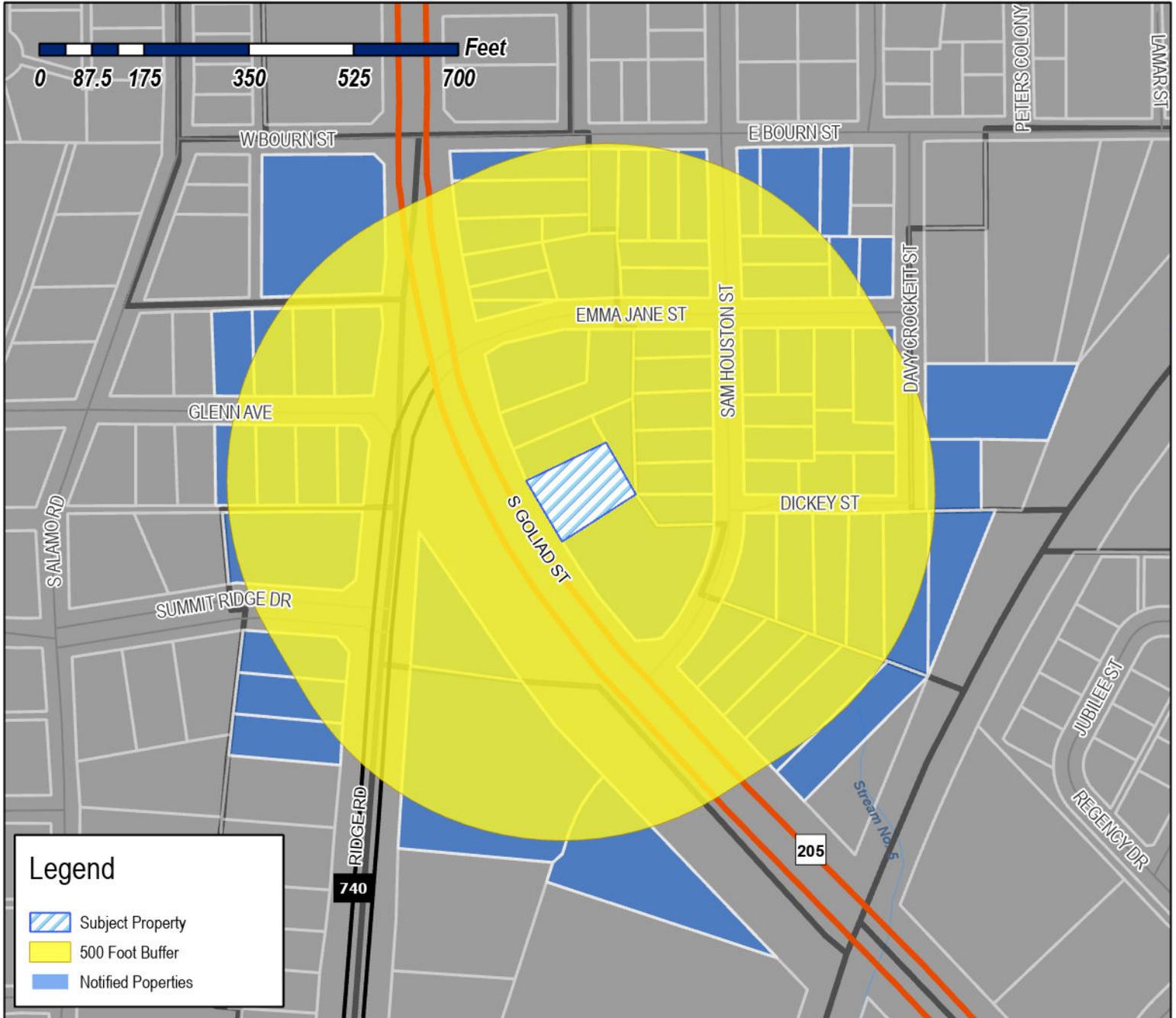
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-074
Case Name: Specific Use Permit (SUP) for a Restaurant Less than 2,000 SF with Drive-Through
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1011 S. Goliad Street

Date Saved: 12/15/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT
1001 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1002 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1003 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1005 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1006 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
1006 RIDGE RD
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
1007 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1007 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1008 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
1008 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1008 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1009 S GOLIAD
ROCKWALL, TX 75087

CASTILLO PEDRO
1009 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
101 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
1010 SAM HOUSTON
ROCKWALL, TX 75087

PREGNANCY RESOURCE CENTER OF LAKE RAY
HUBBARD
1010 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1012 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1013 S GOLIAD
ROCKWALL, TX 75087

CANGIANO COSIMO JEFFREY
102 GLENN AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

RESIDENT
104 GLENN AVE
ROCKWALL, TX 75087

GE QIQING AND
JINGJING ZHANG
105 COYOTE BRUSH
IRVINE, CA 92618

FEAZELL SARA DEANNE & RICKEY
105 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
106 GLENN AVE
ROCKWALL, TX 75087

RIDGE ROAD PARTNERS LP
106 E Rusk St Ste 200
Rockwall, TX 75087

FOWLKES BRETT
107 Glenn Ave
Rockwall, TX 75087

RESIDENT
108 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
1101 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1101 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1105 S GOLIAD
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1155 W Wall St Ste 101
Grapevine, TX 76051

RESIDENT
1201 RIDGE RD
ROCKWALL, TX 75087

ANDERSON ALLEN
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

RB CAPITAL LTD
1602 Shadywood Ln
Mt Pleasant, TX 75455

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

RERV ACQUISITIONS LLC
1748 BAY WATCH DR
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

LRG GROUP LLC
202 E RUSK ST
ROCKWALL, TX 75087

KIM RENEE TIMPA MARITAL TRUST NO 1
202 N San Jacinto St
Rockwall, TX 75087

RESIDENT
204 BOURN
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
206-207 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
208 EMMA JANE ST
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
302 EMMA JANE
ROCKWALL, TX 75087

CONFIA HOMES LLC
302 BOURN
ROCKWALL, TX 75087

RESIDENT
304 EMMA JANE
ROCKWALL, TX 75087

HERNANDEZ SAMUEL AND VANESSA TYSON-
HERNANDEZ
304 E Bourn St
Rockwall, TX 75087

RESIDENT
306 BOURN AVE
ROCKWALL, TX 75087

ELLERD TERESA
308 EMMA JANE ST
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N
309 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
310 EMMA JANE
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

BROBOANA BIANCA SINGEORZAN
3948 SUNLEAF AVE
MEDFORD, OR 97504

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

JONES LENA EST
C/O CHARLES R HUMPHREY
405 ER ELLIS
ROCKWALL, TX 75087

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

MATHIS DEBRA L
504 DICKEY ST
ROCKWALL, TX 75087

RESIDENT
506 DICKEY ST
ROCKWALL, TX 75087

RODRIGUEZ MARIA
507 DICKEY ST
ROCKWALL, TX 75087

RESIDENT
508 DICKEY ST
ROCKWALL, TX 75087

BROWN GEORGIA
508 DICKEY ST
ROCKWALL, TX 75087

SALGADO HAROLD G
510 DICKIE ST
ROCKWALL, TX 75087

WAFFER JULIUS
512 DICKEY ST
ROCKWALL, TX 75087

TIMPA KIM
633 MORaine WAY
HEATH, TX 75032

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

8661 S HAMPTON LLC
805 Green Pond Dr
Garland, TX 75040

RUSZKOWSKI SKYLER E
8127 E COLUMBUS AVE
SCOTTSDALE, AZ 85251

JPH ROCKWALL LLC
901 DAVY CROCKETT STREET
ROCKWALL, TX 75087

RESIDENT
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

RESIDENT
903 DAVY CROCKETT
ROCKWALL, TX 75087

GOAT GENERAL CONTRACTING LLC
KEVIN W. VICE
903 DAVY CROCKETT ST
ROCKWALL, TX 75087

GOAT GENERAL CONTRACTING, LLC
903 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
903 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
905 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
907 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
907 S GOLIAD
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
9922 Donegal Dr
Dallas, TX 75218

CORRIGANCOWAN LLC
PO BOX 2256
ROCKWALL, TX 75087

OWENS RICHARD DUANE
905 SAM HOUSTON
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive Through

Hold a public hearing to discuss and consider a request by Brierre Cathey on behalf of Mike Rodgers for the approval of a *Specific Use Permit (SUP)* for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 13 2026 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive Through

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

ZONING & SPECIFIC USE PERMIT INFORMATION FORM



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

CASE NUMBER Z2025-074

PLEASE PLACE A CHECK MARK ON THE APPROPRIATE LINE BELOW.

- I am in favor of the request
- I am in opposition of the request

NAME Brett Fowlkes

ADDRESS

PLEASE PROVIDE ANY ADDITIONAL INFORMATION CONCERNING YOUR SUPPORT OR OPPOSITION TO THE REQUEST.

N/A

PLEASE CHECK ALL THAT APPLY.

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

HOW DID YOU HEAR ABOUT THIS ZONING OR SPECIFIC USE PERMIT (SUP) REQUEST?

- I received a property owner notification in the mail
- I read about the request on the City's website
- I saw a zoning sign on the property
- I read about the request in the Rockwall Herald Banner
- My neighbors told me about the request
- Other:

Case No. Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive Through

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[REDACTED]

Name:

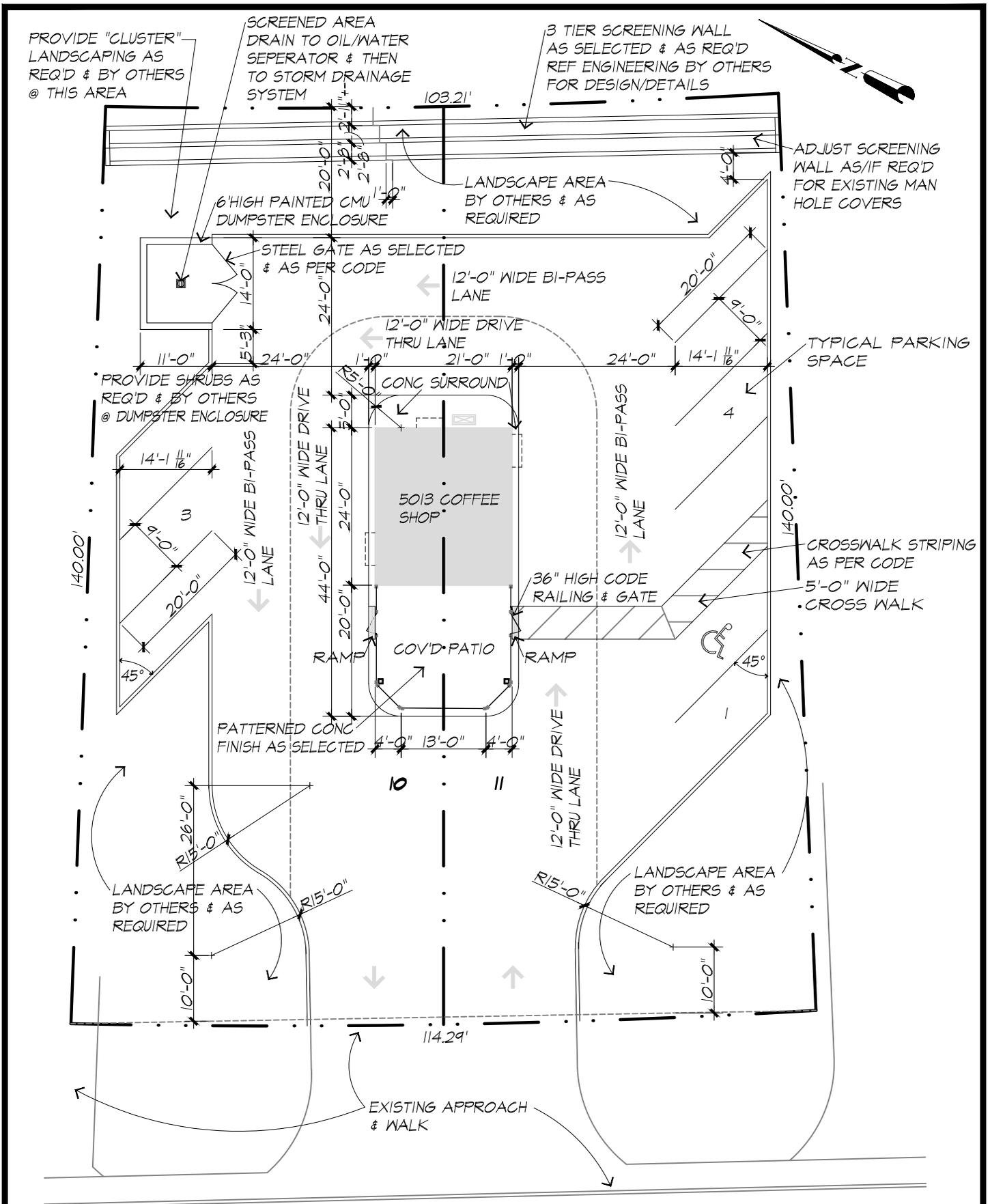
MIKE ROGERS (ACE HARDWARE)

Address:

[REDACTED]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



GENERAL NOTES
* REF CIVIL ENGINEERING BY OTHERS FOR ALL FINISH GRADES & REQUIRED DRAINAGE
* REF LANDSCAPE DESIGN DRAWINGS BY OTHERS FOR ALL REQUIRED LANDSCAPING
* SEE OWNER FOR SIGNAGE OPTIONS & DESIGN
* TOTAL STANDARD 9'X20' PARKING = 8 SPACES
* TOTAL ADA ACCESSIBLE PARKING = 1 SPACES
* TOTAL PARKING = 9 SPACES
TOTAL PAVING AS SHOWN = 9826.66 SF
PATIO AREA WITHIN FENCE = 383.00 SF

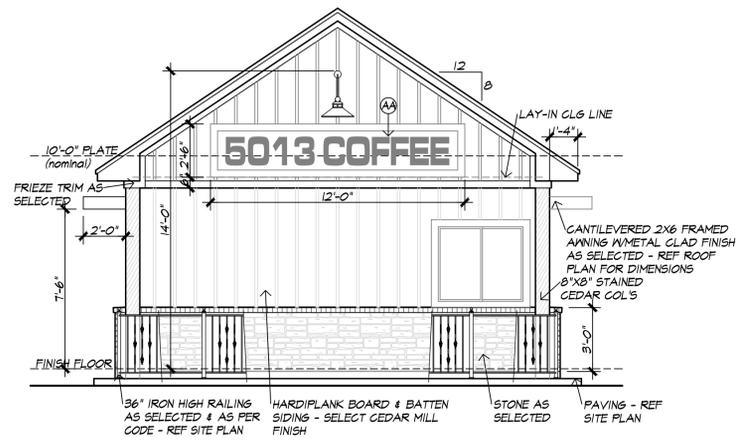
1011 S. GOLIAD STREET

PLAN #C-5013-CS
DATE: 1/x/2026

<h1>SITE PLAN</h1>	SCALE: 1" = 20'-0"
LOT 10 & 11	
CANUP'S SUBDIVISION	
ROCKWALL, TEXAS	

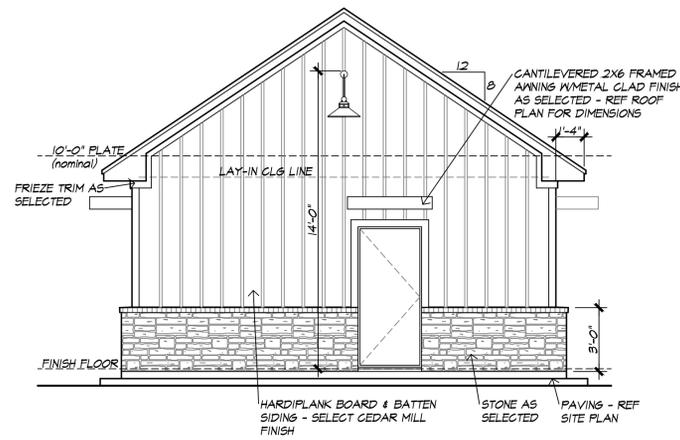
M Rouse Designs
 2307 HIGHRIDGE
 SACHSE, TEXAS 75048
 (214) 801-9944
 mrousedesigns.com
"WHERE DESIGN EXCELLENCE BEGINS"
 COPYRIGHT 2026 - M Rouse Designs - ALL RIGHTS RESERVED

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



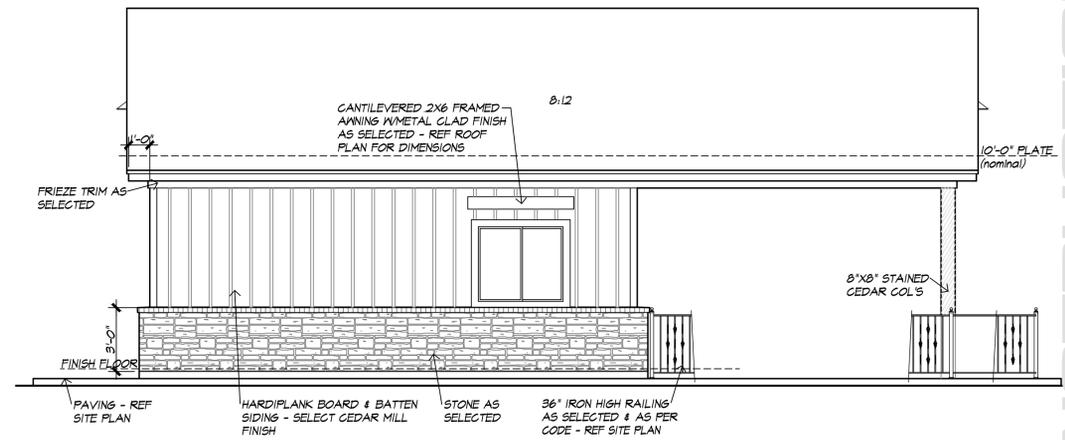
FRONT ELEVATION

SCALE 1/4"=1'-0"
25.19% STONE



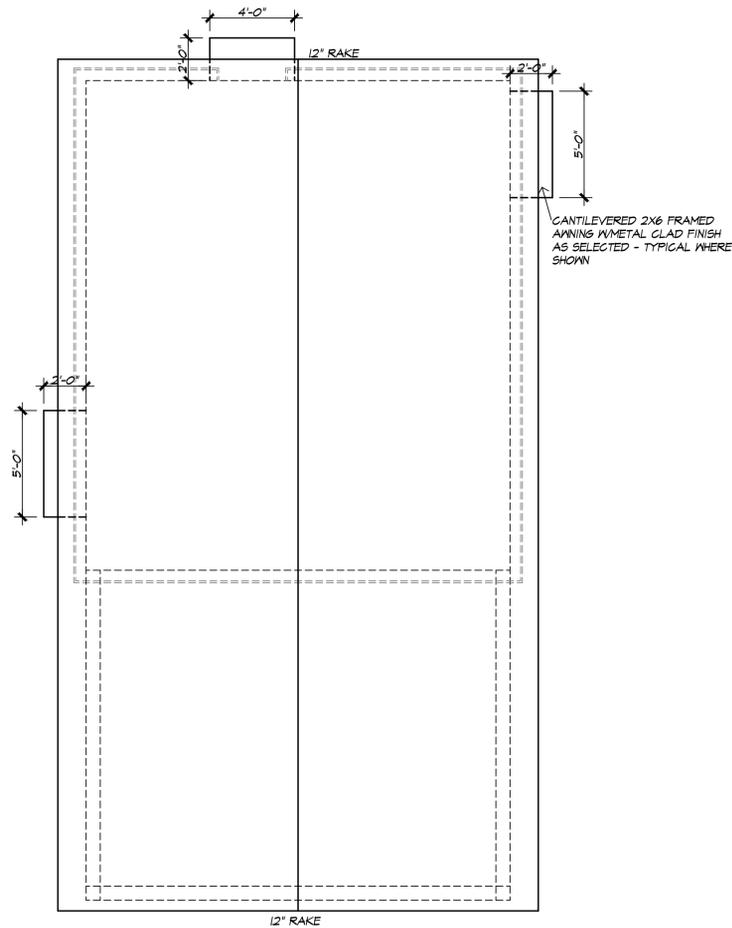
REAR ELEVATION

SCALE 1/4"=1'-0"
22.12% STONE



LEFT SIDE ELEVATION

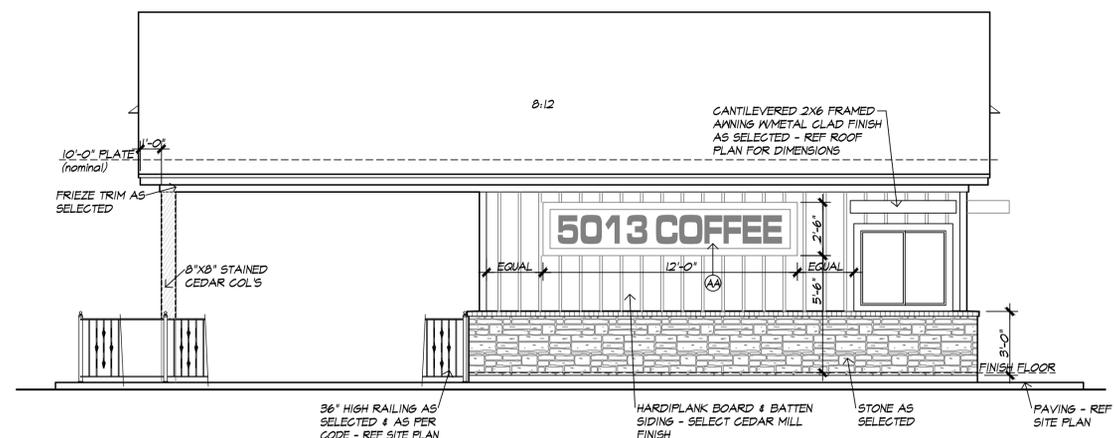
SCALE 1/4"=1'-0"
36.3% STONE



ROOF PLAN

SCALE 1/4"=1'-0"

- ROOF AS SPECIFIED @ 8:12 UNLESS NOTED
- SCREENED CORNICE VENTS AS PER CODE
- ATTIC VENTILATION AS PER CODE & AS SELECTED
- GUTTERS & DOWNSPOUTS STYLE & LOCATIONS, IF ANY, TO BE AS SELECTED
- 10'-0" PLATE (NOMINAL)
- RAFTER & RIDGE FRAMING MEMBER SIZING TO BE AS PER CURRENT GOVERNING CODES



RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"
36.3% STONE

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

5013 COFFEESHOP
1011 S. GOLIAD ST.
ROCKWALL, TX

M Rouse Designs

2307 HIGHLRIE
SACHSE, TEXAS 75048
(214) 801-9944
mrouse@designs.com

© COPYRIGHT 2025 - Mrouse Designs - ALL RIGHTS RESERVED

REVISED DATE

SHEET
A2

DESIGN NUMBER
C-5013-CS

of these construction documents and shall notify MROUSE DESIGNS of any discrepancies and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall MROUSE DESIGNS be held responsible for any errors, omissions, or omissions in the construction and it shall be his/her responsibility to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable IBC, ASCE, ICC Codes and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of the structure and to ensure that all work is performed in accordance with the applicable codes and a qualified professional engineer.

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A RESTAURANT WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN ON A 0.3480-ACRE TRACT OF LAND IDENTIFIED AS LOTS 10 & 11 OF THE CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brierre Cathey on behalf of Mike Rodgers for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In for the purpose of constructing a restaurant on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and being more specifically described and depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In as stipulated by Subsection 01.02, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, Commercial (C) District, and Subsection 06.07, SH-205 Overlay (SH-205 OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02], and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction and operation of a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) at the time of Site Plan approval. In addition, any variances to the *General Overlay District Standards* as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) shall be required to be approved by the Planning and Zoning Commission at the time of Site Plan approval.
- (3) Additional landscaping and headlight screening shall be required along the northern property line. This shall be reviewed by the Planning and Zoning Commission at the time of Site Plan approval.
- (4) Three (3) tiered screening (*i.e. one [1] row of canopy trees, one [1] row of accent trees and large shrubs, and one [1] row of lower level shrubs*) shall be required adjacent to the eastern property line (*adjacent to the existing residentially zoned or used properties*). In addition, a *built-up* berm a minimum of 24-inches in height shall be required along the back of the property. These items will be reviewed for conformance by the Planning and Zoning Commission at the time of Site Plan approval.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- (1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF FEBRUARY, 2026.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 20, 2026

2nd Reading: February 2, 2026

Exhibit 'A'
Legal Description

Address: 1011 S. Goliad Street

Legal Description: Lots 10 & 11 of the Canup Addition

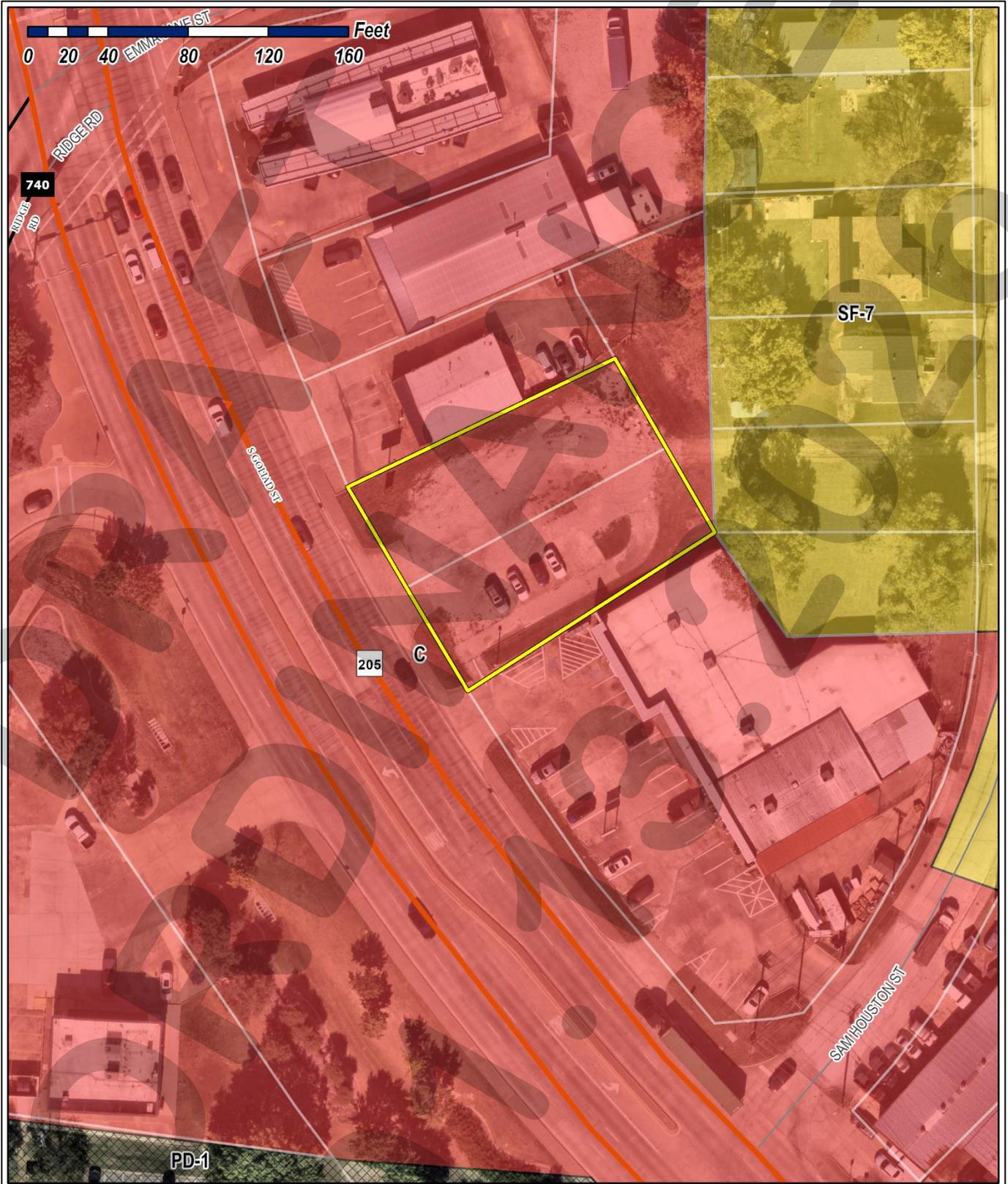
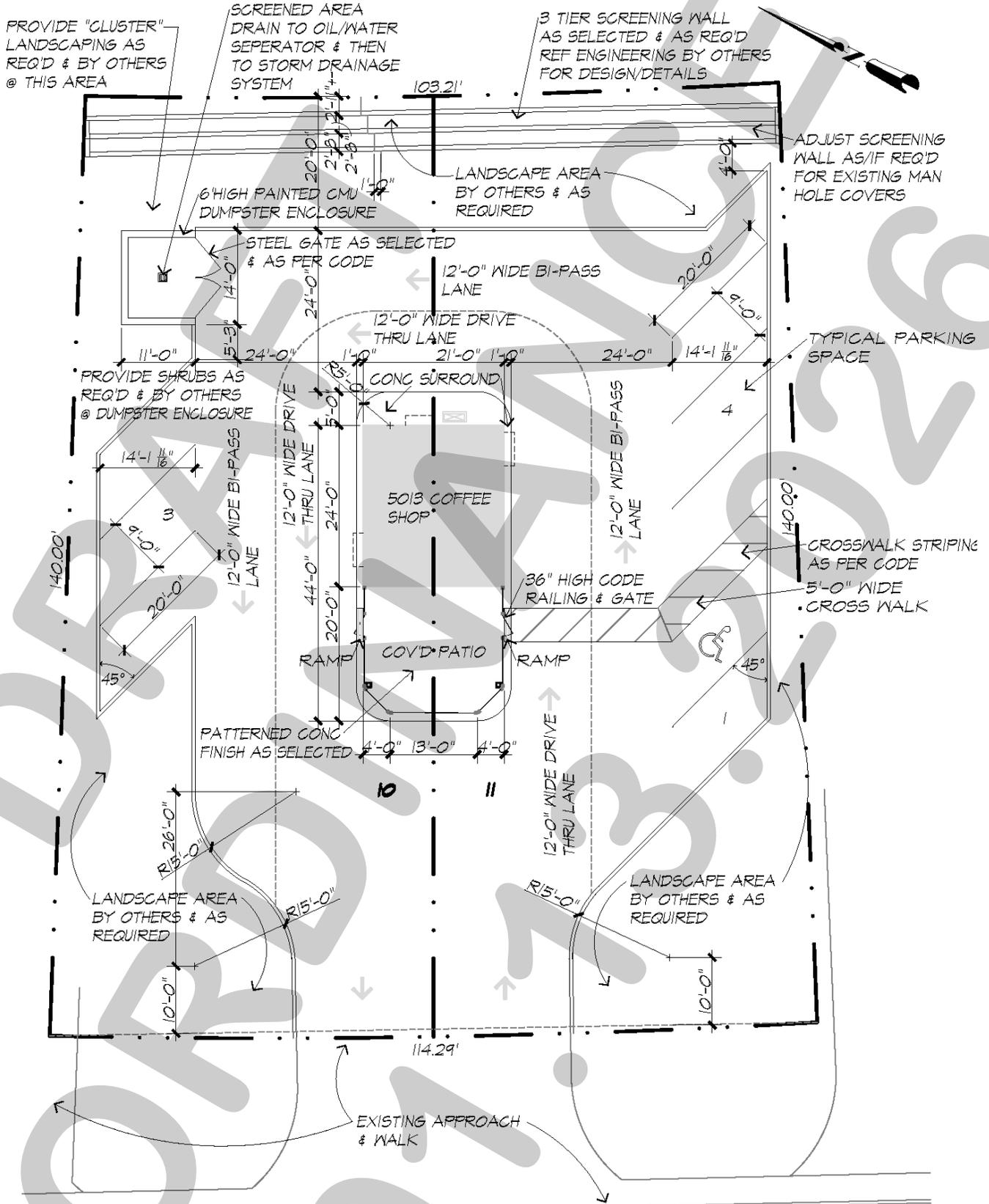
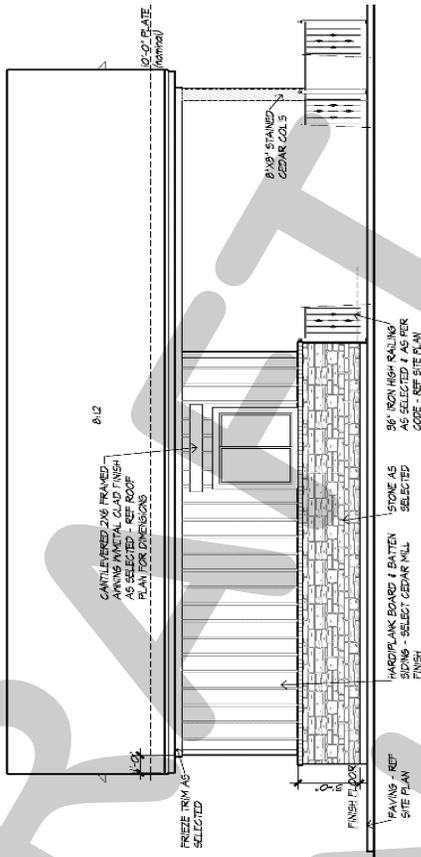


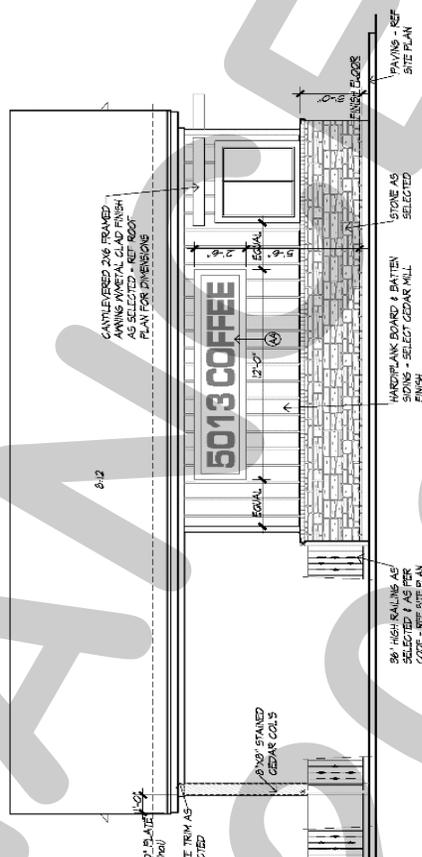
Exhibit 'B'
Concept Plan



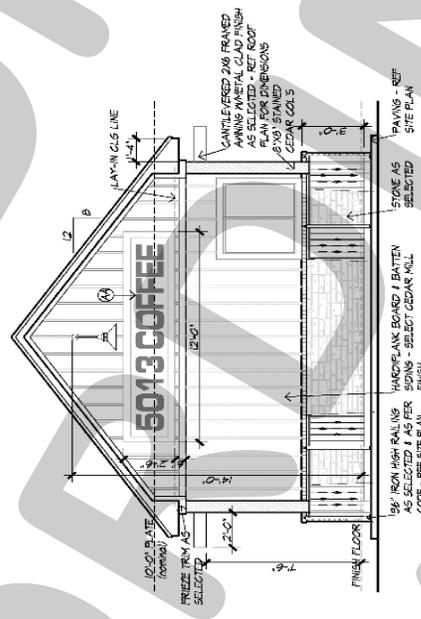
**Exhibit 'C':
Building Elevations**



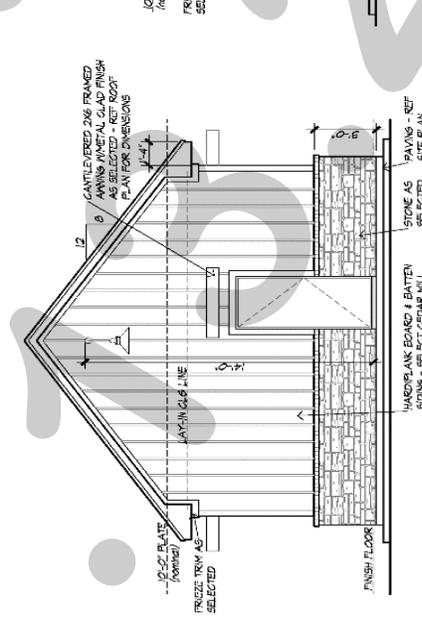
LEFT SIDE ELEVATION
SCALE 1/4"=1'-0"
2 1/2" x 8" STONE



RIGHT SIDE ELEVATION
SCALE 1/4"=1'-0"
2 1/2" x 8" STONE



FRONT ELEVATION
SCALE 1/4"=1'-0"
2 1/2" x 8" STONE



REAR ELEVATION
SCALE 1/4"=1'-0"
2 1/2" x 8" STONE



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: January 20, 2026

APPLICANT: Brierre Cathey

CASE NUMBER: Z2025-074; *Specific Use Permit for a Restaurant with less than 2,000 SF with Drive-Through or Drive-In at 1011 S. Goliad Street (5013 Coffee)*

SUMMARY

Hold a public hearing to discuss and consider a request by Brierre Cathey on behalf of Mike Rodgers for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

Based on the City's annexation ordinances, the subject property was annexed prior to June 20, 1959. According to the City's *Historic Zoning Maps*, the subject property was zoned Commercial (C) District as of January 3, 1972 and this designation has not changed. A demolition permit [*i.e.* BLD2018-0180] was issued by the Building Inspections Department on January 24, 2018 for the removal of a 3,100 SF building. The subject property is currently vacant.

PURPOSE

The applicant -- Brierre Cathey -- is requesting the approval of a Specific Use Permit (SUP) to allow for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at 1011 S. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are three (3) parcels of land [*i.e.* 1001, 1003, & 1009 S. Goliad Street] developed with a restaurant [*i.e.* Sonic] and two (2) retail businesses [*i.e.* Main Street Consignment and Scorpion Smoke Shop]. All of these properties are zoned Commercial (C) District. Beyond this is Emma Jane, which is identified as a R2 (*i.e.* residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 0.8427-acre parcel of land [*i.e.* 1013 S. Goliad Street] developed with a retail business [*i.e.* Ace Hardware]. This property is zoned Commercial (C) District. Beyond this is Sam Houston Street, which is identified as a R2 (*i.e.* residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a vacant 0.135-acre parcel of land [*i.e.* part of Block B of the Canup Addition]. East of this are three (3) parcels of land [*i.e.* 1006, 1008, & 1010 Sam Houston] which consist of two (2) single-family homes and one (1) vacant lot. All of these properties are zoned Single-Family 7 (SF-7) District. Beyond this is Sam Houston Street, which is identified as a R2 (*i.e.* residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Ridge Road, which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this is the L&W Subdivision, which consists of 13 residential lots, and has been in existence since 1949.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and a concept plan requesting a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* for the purpose of establishing a restaurant (*i.e. 5013 Coffee*). The concept plan shows that the proposed restaurant will be approximately 504 SF, with an additional 420 SF covered patio. The design includes a drive-through lane that begins on the south side of the building and leads to a pickup window. The request appears to meet all of the *Residential Adjacency Standards*, but will be required to provide additional landscaping and headlight screening along the northern property line, three (3) tiered screening adjacent to the eastern property line, and a *built-up* berm a minimum of 24-inches in height along the back of the property.

CONFORMANCE WITH THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *Restaurant with Drive Through or Drive-In* as "(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises." In this case, the applicant's proposed business – *5013 Coffee* – falls under this classification. The subject property is required to meet the Commercial (C) District land uses, and according to the *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of this requirement is to acknowledge that not all *Restaurant* operations, less than 2,000 SF, with drive-throughs or drive-ins are appropriate within the City's Commercial (C) Districts, and that the City Council should have discretionary oversight with regard to the types of *Restaurant* operations and their impacts within these types of districts. In addition, Subsection 02.03(f)(9) places the following additional conditions on this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles.

The applicant's request does appear to conform to the requirements stipulated by the Unified Development Code (UDC); however, staff has incorporated additional operational conditions in order to maintain compliance with this Specific Use Permit (SUP) ordinance. These include additional landscaping and headlight screening along the northern property line as well as three (3) tiered screening (*i.e. one [1] row of canopy trees, one [1] row of accent trees and large shrubs, and one [1] row of lower level shrubs*) adjacent to the eastern property line (*adjacent to the existing residentially zoned or used properties*). In addition, a *built-up* berm a minimum of 24-inches in height shall be required along the back of the property. These items, along with the building elevations, will be reviewed for conformance by the Planning and Zoning Commission at the time of Site Plan approval.

STAFF ANALYSIS

The intent of the Commercial (C) District is to accommodate most forms of commercial development, such as large shopping centers at major intersections and commercial corridors along arterial roads. Permitted uses primarily include office and retail activities, with limited allowances for certain wholesale operations. The district generally excludes uses that would fall into the Heavy Commercial (HC) District category. When commercial development is located near residential areas, appropriate buffering and mitigation measures are required to address potential impacts such as noise, traffic, litter, late operating hours, and other neighborhood concerns. Since the Commercial (C) District is general in nature, the development standards are less

stringent and do not require as high of standards of development as the Residential-Office (RO), Neighborhood Services (NS) and General Retail (GR) Districts. When reviewing this case, the proposed land use appears appropriate for the location, as the subject property is situated within a commercial corridor and in close proximity to S. Goliad Street (SH-205) [*which is identified as a principal arterial, six [6] lane, divided roadway*] on the City's Master Thoroughfare Plan. With this being said, approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On December 16, 2025, staff mailed 91 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Highridge Estates Homeowner's Association (HOA), which is the only HOA/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notices in favor of the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
 - (b) The development of the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) at the time of Site Plan approval. In addition, any variances to the *General Overlay District Standards* as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) shall be required to be approved by the Planning and Zoning Commission at the time of Site Plan approval.
 - (c) Additional landscaping and headlight screening shall be required along the northern property line. This shall be reviewed by the Planning and Zoning Commission at the time of Site Plan approval.
 - (d) Three (3) tiered screening (*i.e. one [1] row of canopy trees, one [1] row of accent trees and large shrubs, and one [1] row of lower level shrubs*) shall be required adjacent to the eastern property line (*adjacent to the existing residentially zoned or used properties*). In addition, a *built-up* berm a minimum of 24-inches in height shall be required along the back of the property. These items will be reviewed for conformance by the Planning and Zoning Commission at the time of Site Plan approval.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On January 13, 2026, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use permit (SUP) by a vote of 5-0, with Commissioner Roth absent and one (1) vacant seat.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 10115 Goliad
 SUBDIVISION: Canup's
 GENERAL LOCATION: _____
 LOT: 10311 BLOCK: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: C Commercial CURRENT USE: Vacant
 PROPOSED ZONING: SUP PROPOSED USE: Drive-Thru coffee structure
 ACREAGE: 15,159 SF LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	_____	<input type="checkbox"/> APPLICANT	5013 coffee properties
CONTACT PERSON	_____	CONTACT PERSON	Briere Cathey
ADDRESS	_____	ADDRESS	_____
CITY, STATE & ZIP	_____	CITY, STATE & ZIP	_____
PHONE	_____	PHONE	_____
E-MAIL	_____	E-MAIL	_____

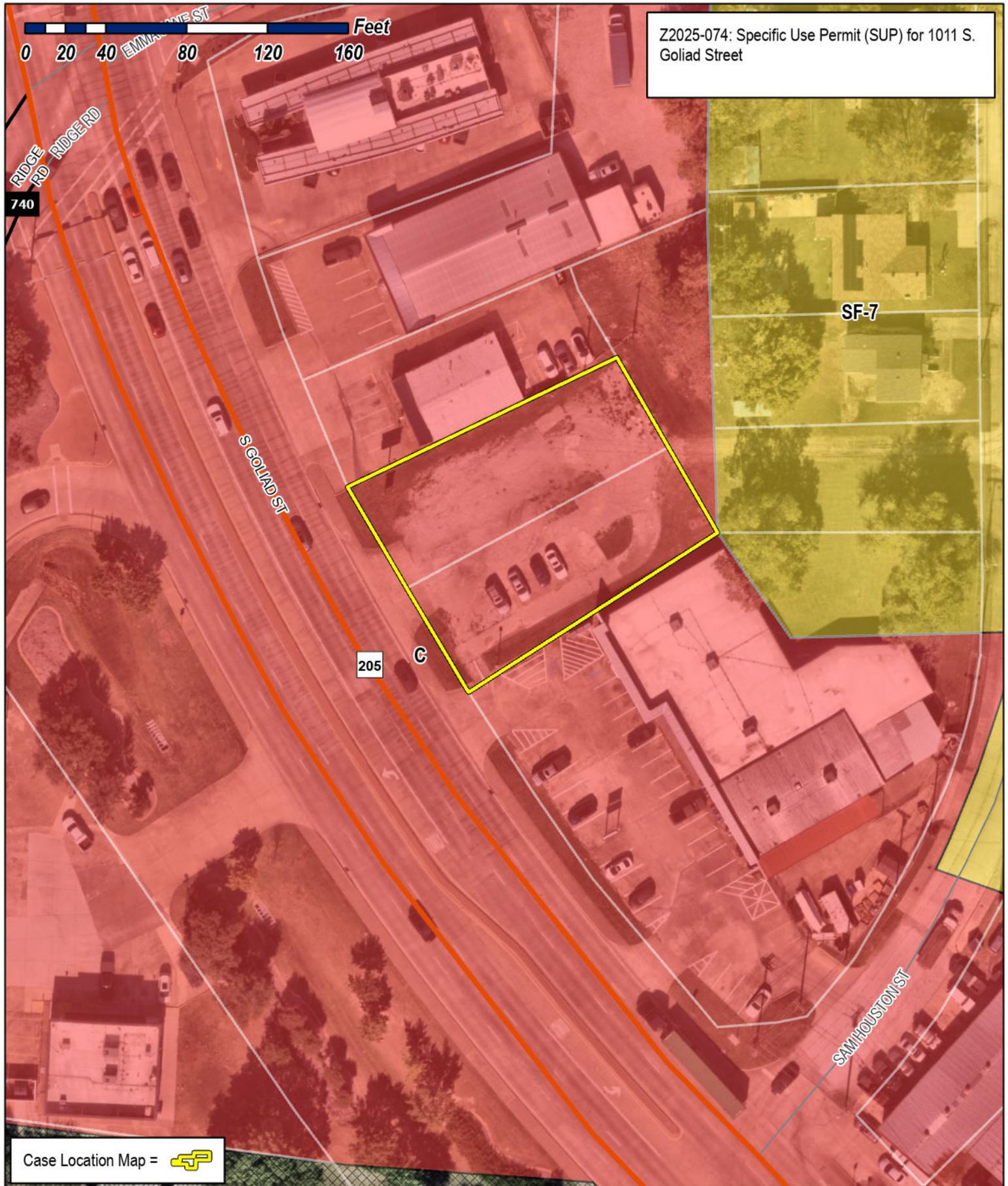
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Rogers [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20 ____ BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF November 2025
 OWNER'S SIGNATURE: Mike Rogers
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Kathryn D. English





Z2025-074: Specific Use Permit (SUP) for 1011 S. Goliad Street

SF-7

205 C

Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

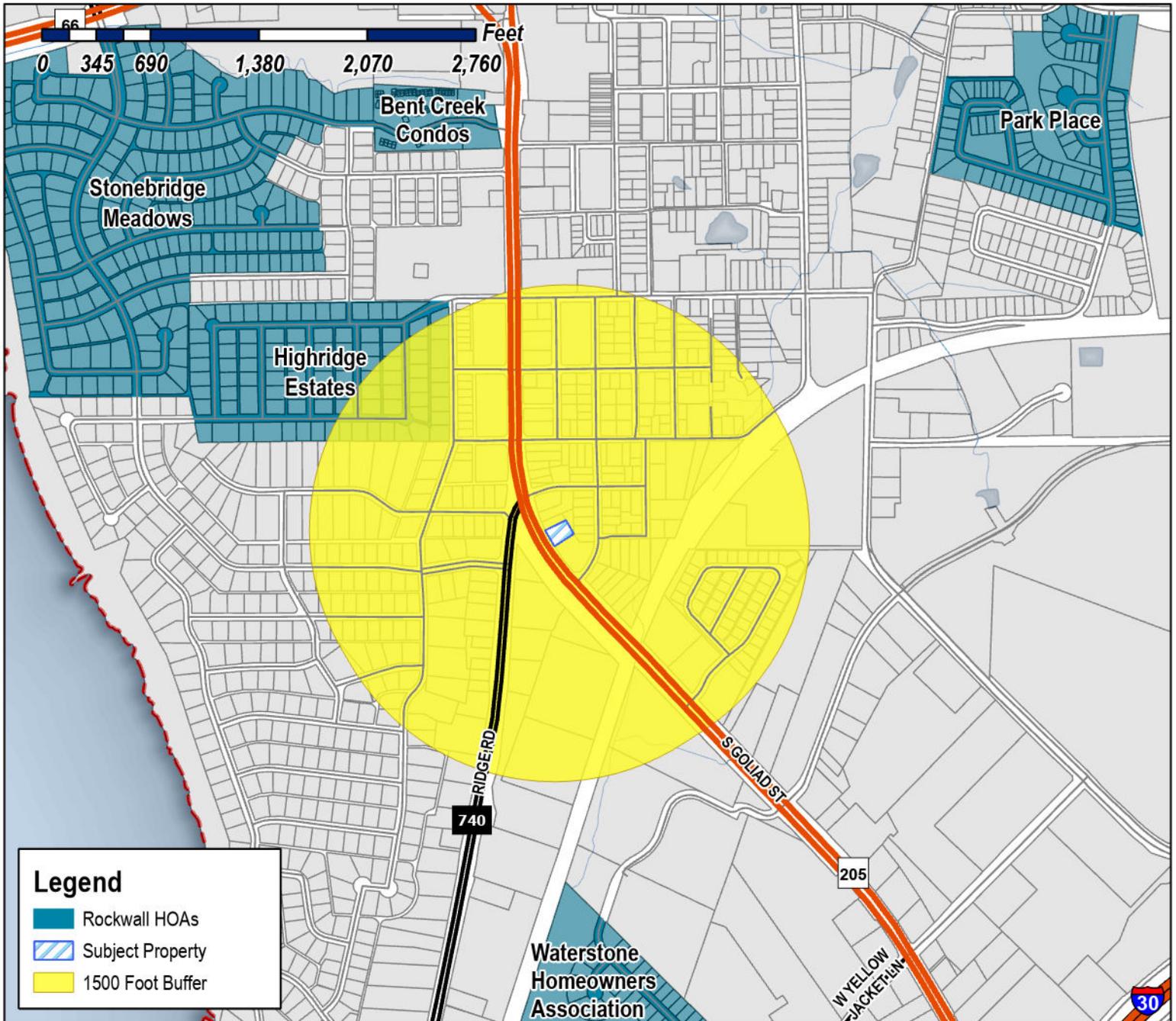




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-074
Case Name: Specific Use Permit (SUP) for a Restaurant Less than 2,000 SF with Drive-Through
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1011 S. Goliad Street

Date Saved: 12/15/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-074]
Date: Wednesday, December 17, 2025 1:16:40 PM
Attachments: [Public Notice \(12.16.2025\).pdf](#)
[HOA Map \(12.15.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, December 19, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, January 13, 2026 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, January 20, 2026 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive-Through

Hold a public hearing to discuss and consider a request by Brierre Cathey on behalf of Mike Rodgers for the approval of a [Specific Use Permit \(SUP\)](#) for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and take any action necessary.

Melanie Zavala

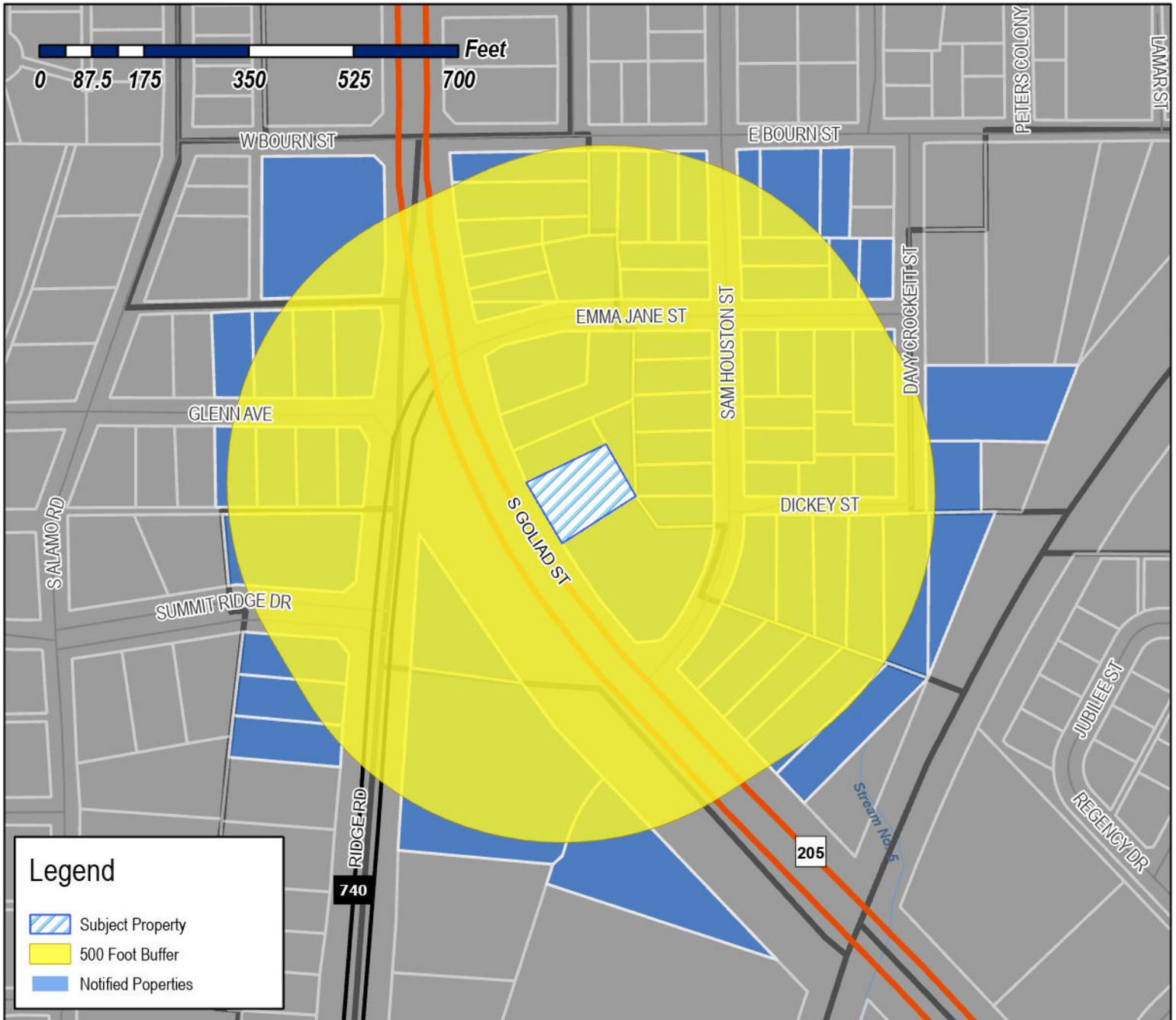
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-074
Case Name: Specific Use Permit (SUP) for a Restaurant Less than 2,000 SF with Drive-Through
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1011 S. Goliad Street

Date Saved: 12/15/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT
1001 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1002 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1003 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1005 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1006 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
1006 RIDGE RD
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
1007 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1007 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1008 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
1008 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1008 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1009 S GOLIAD
ROCKWALL, TX 75087

CASTILLO PEDRO
1009 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
101 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
1010 SAM HOUSTON
ROCKWALL, TX 75087

PREGNANCY RESOURCE CENTER OF LAKE RAY
HUBBARD
1010 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1012 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1013 S GOLIAD
ROCKWALL, TX 75087

CANGIANO COSIMO JEFFREY
102 GLENN AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

RESIDENT
104 GLENN AVE
ROCKWALL, TX 75087

GE QIQING AND
JINGJING ZHANG
105 COYOTE BRUSH
IRVINE, CA 92618

FEAZELL SARA DEANNE & RICKEY
105 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
106 GLENN AVE
ROCKWALL, TX 75087

RIDGE ROAD PARTNERS LP
106 E Rusk St Ste 200
Rockwall, TX 75087

FOWLKES BRETT
107 Glenn Ave
Rockwall, TX 75087

RESIDENT
108 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
1101 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1101 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1105 S GOLIAD
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1155 W Wall St Ste 101
Grapevine, TX 76051

RESIDENT
1201 RIDGE RD
ROCKWALL, TX 75087

ANDERSON ALLEN
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

RB CAPITAL LTD
1602 Shadywood Ln
Mt Pleasant, TX 75455

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

RERV ACQUISITIONS LLC
1748 BAY WATCH DR
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

LRG GROUP LLC
202 E RUSK ST
ROCKWALL, TX 75087

KIM RENEE TIMPA MARITAL TRUST NO 1
202 N San Jacinto St
Rockwall, TX 75087

RESIDENT
204 BOURN
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
206-207 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
208 EMMA JANE ST
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
302 EMMA JANE
ROCKWALL, TX 75087

CONFIA HOMES LLC
302 BOURN
ROCKWALL, TX 75087

RESIDENT
304 EMMA JANE
ROCKWALL, TX 75087

HERNANDEZ SAMUEL AND VANESSA TYSON-
HERNANDEZ
304 E Bourn St
Rockwall, TX 75087

RESIDENT
306 BOURN AVE
ROCKWALL, TX 75087

ELLERD TERESA
308 EMMA JANE ST
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N
309 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
310 EMMA JANE
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

BROBOANA BIANCA SINGEORZAN
3948 SUNLEAF AVE
MEDFORD, OR 97504

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

JONES LENA EST
C/O CHARLES R HUMPHREY
405 ER ELLIS
ROCKWALL, TX 75087

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

MATHIS DEBRA L
504 DICKEY ST
ROCKWALL, TX 75087

RESIDENT
506 DICKEY ST
ROCKWALL, TX 75087

RODRIGUEZ MARIA
507 DICKEY ST
ROCKWALL, TX 75087

RESIDENT
508 DICKEY ST
ROCKWALL, TX 75087

BROWN GEORGIA
508 DICKEY ST
ROCKWALL, TX 75087

SALGADO HAROLD G
510 DICKIE ST
ROCKWALL, TX 75087

WAFFER JULIUS
512 DICKEY ST
ROCKWALL, TX 75087

TIMPA KIM
633 MORaine WAY
HEATH, TX 75032

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

8661 S HAMPTON LLC
805 Green Pond Dr
Garland, TX 75040

RUSZKOWSKI SKYLER E
8127 E COLUMBUS AVE
SCOTTSDALE, AZ 85251

JPH ROCKWALL LLC
901 DAVY CROCKETT STREET
ROCKWALL, TX 75087

RESIDENT
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

RESIDENT
903 DAVY CROCKETT
ROCKWALL, TX 75087

GOAT GENERAL CONTRACTING LLC
KEVIN W. VICE
903 DAVY CROCKETT ST
ROCKWALL, TX 75087

GOAT GENERAL CONTRACTING, LLC
903 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
903 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
905 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
907 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
907 S GOLIAD
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
9922 Donegal Dr
Dallas, TX 75218

CORRIGANCOWAN LLC
PO BOX 2256
ROCKWALL, TX 75087

OWENS RICHARD DUANE
905 SAM HOUSTON
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive Through

Hold a public hearing to discuss and consider a request by Brierre Cathey on behalf of Mike Rodgers for the approval of a *Specific Use Permit (SUP)* for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 13 2026 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive Through

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

ZONING & SPECIFIC USE PERMIT INFORMATION FORM



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

CASE NUMBER Z2025-074

PLEASE PLACE A CHECK MARK ON THE APPROPRIATE LINE BELOW.

- I am in favor of the request
- I am in opposition of the request

NAME Brett Fowlkes

ADDRESS

PLEASE PROVIDE ANY ADDITIONAL INFORMATION CONCERNING YOUR SUPPORT OR OPPOSITION TO THE REQUEST.

N/A

PLEASE CHECK ALL THAT APPLY.

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

HOW DID YOU HEAR ABOUT THIS ZONING OR SPECIFIC USE PERMIT (SUP) REQUEST?

- I received a property owner notification in the mail
- I read about the request on the City's website
- I saw a zoning sign on the property
- I read about the request in the Rockwall Herald Banner
- My neighbors told me about the request
- Other:

Case No. Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive Through

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name:

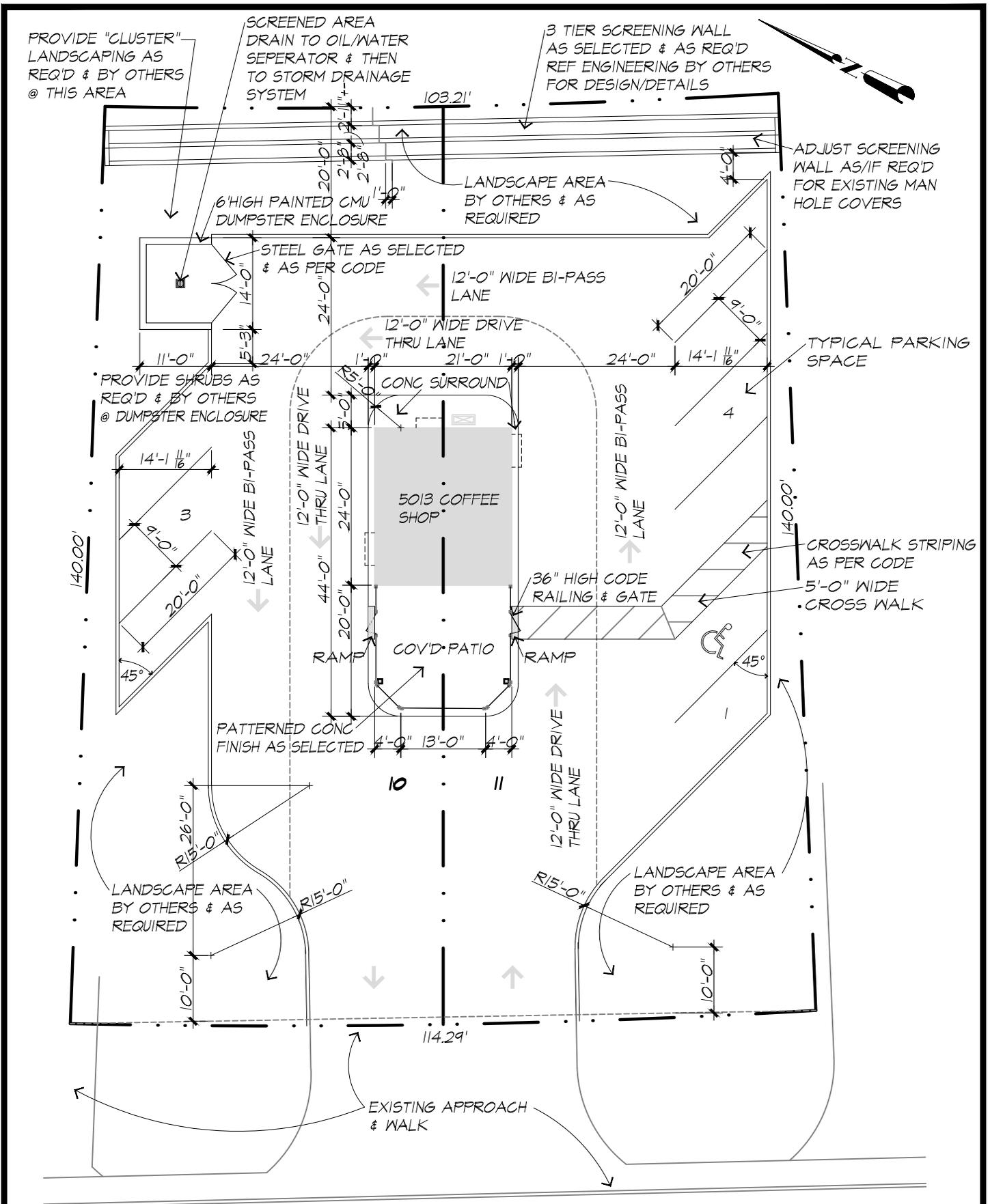
MIKE ROGERS (ACE HARDWARE)

Address:

[Redacted address]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



GENERAL NOTES
* REF CIVIL ENGINEERING BY OTHERS FOR ALL FINISH GRADES & REQUIRED DRAINAGE
* REF LANDSCAPE DESIGN DRAWINGS BY OTHERS FOR ALL REQUIRED LANDSCAPING
* SEE OWNER FOR SIGNAGE OPTIONS & DESIGN
* TOTAL STANDARD 9'X20' PARKING = 8 SPACES
* TOTAL ADA ACCESSIBLE PARKING = 1 SPACES
* TOTAL PARKING = 9 SPACES
TOTAL PAVING AS SHOWN = 9826.66 SF
PATIO AREA WITHIN FENCE = 383.00 SF

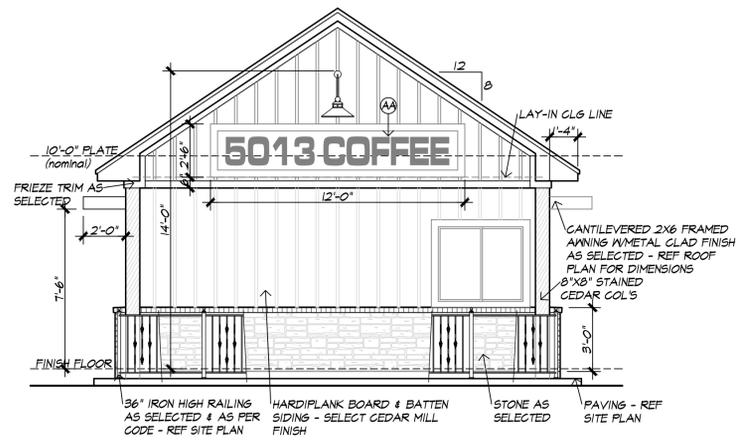
1011 S. GOLIAD STREET

PLAN #C-5013-CS
DATE: 1/x/2026

<h1>SITE PLAN</h1>	SCALE: 1" = 20'-0"
LOT 10 & 11	
CANUP'S SUBDIVISION	
ROCKWALL, TEXAS	

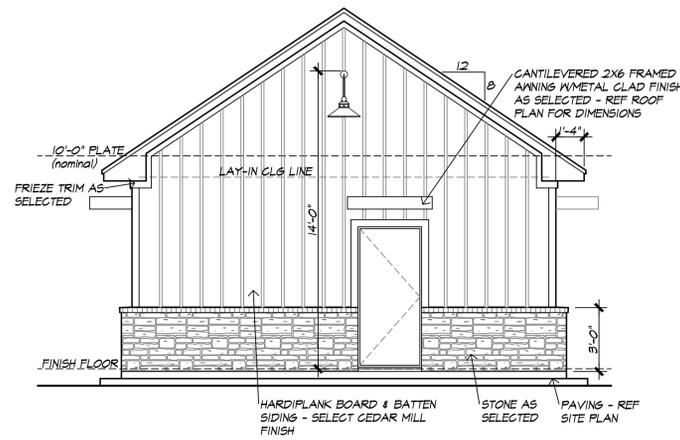
M. Rouse Designs
 2307 HIGHRIDGE
 SACHSE, TEXAS 75048
 (214) 801-9944
 mrousedesigns.com
"WHERE DESIGN EXCELLENCE BEGINS"
 COPYRIGHT 2026 - M. Rouse Designs - ALL RIGHTS RESERVED

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



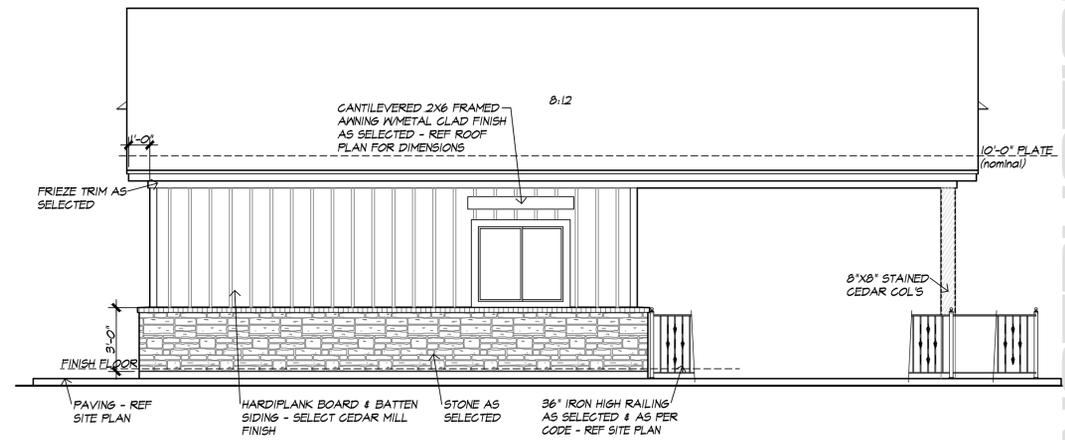
FRONT ELEVATION

SCALE 1/4"=1'-0"
25.19% STONE



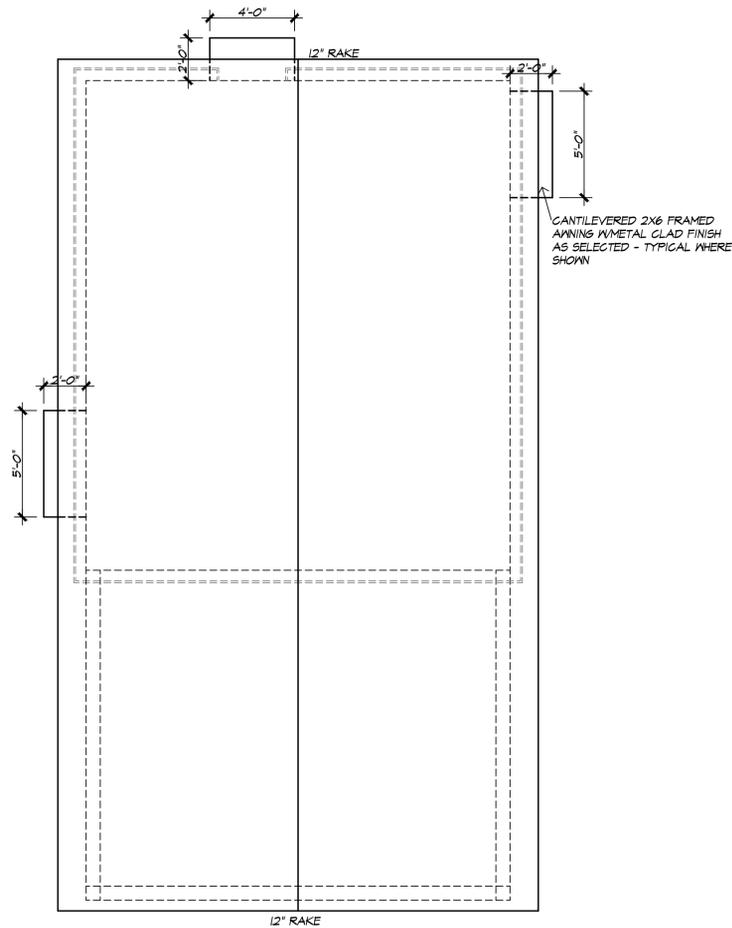
REAR ELEVATION

SCALE 1/4"=1'-0"
22.12% STONE



LEFT SIDE ELEVATION

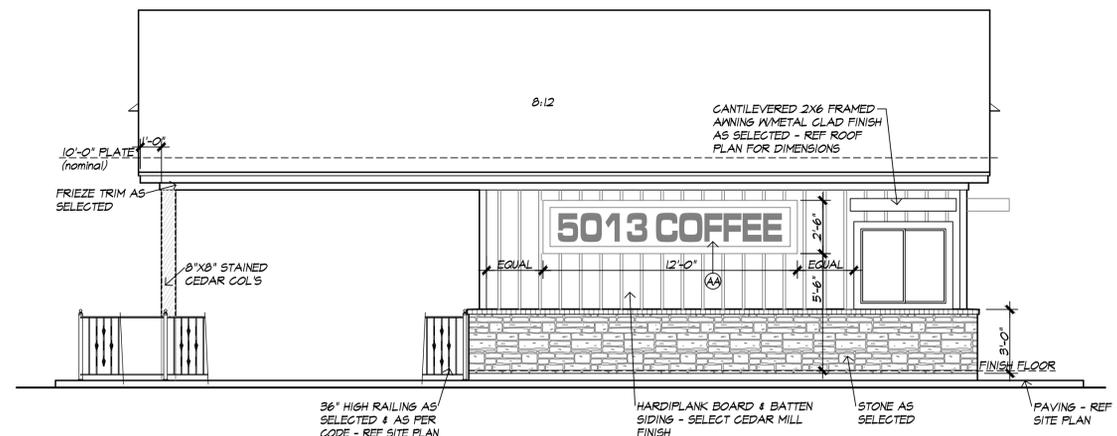
SCALE 1/4"=1'-0"
36.3% STONE



ROOF PLAN

SCALE 1/4"=1'-0"

- ROOF AS SPECIFIED @ 8:12 UNLESS NOTED
- SCREENED CORNICE VENTS AS PER CODE
- ATTIC VENTILATION AS PER CODE & AS SELECTED
- GUTTERS & DOWNSPOUTS STYLE & LOCATIONS, IF ANY, TO BE AS SELECTED
- 10'-0" PLATE (NOMINAL)
- RAFTER & RIDGE FRAMING MEMBER SIZING TO BE AS PER CURRENT GOVERNING CODES



RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"
36.3% STONE

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

5013 COFFEESHOP
1011 S. GOLIAD ST.
ROCKWALL, TX

M Rouse Designs

2307 HIGHRIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrouse@designs.com

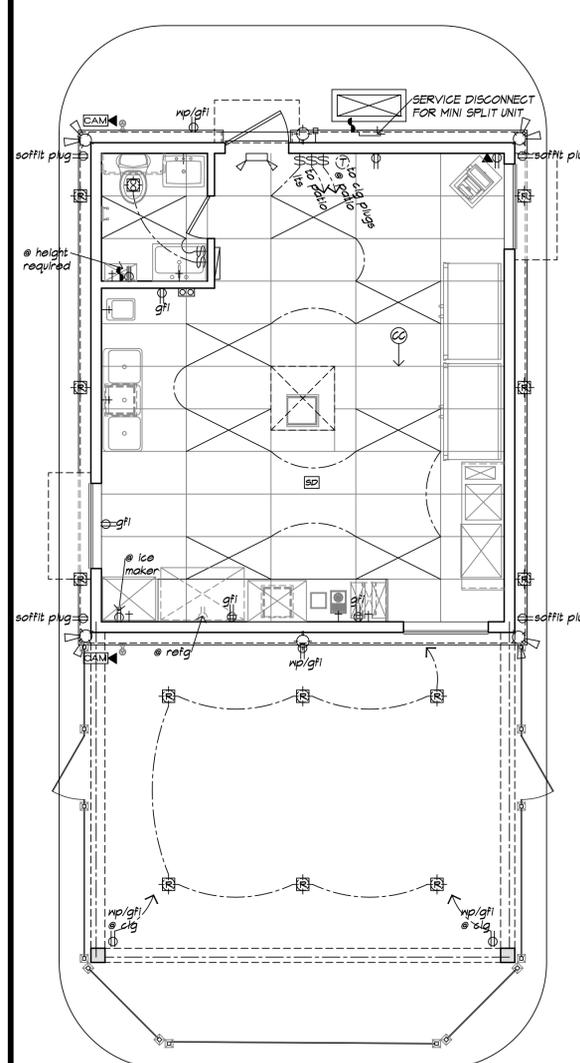
MROUSE DESIGNS IS AN EQUAL OPPORTUNITY EMPLOYER
COPYRIGHT 2025 - MROUSE DESIGNS - ALL RIGHTS RESERVED

REVISED DATE

SHEET
A2

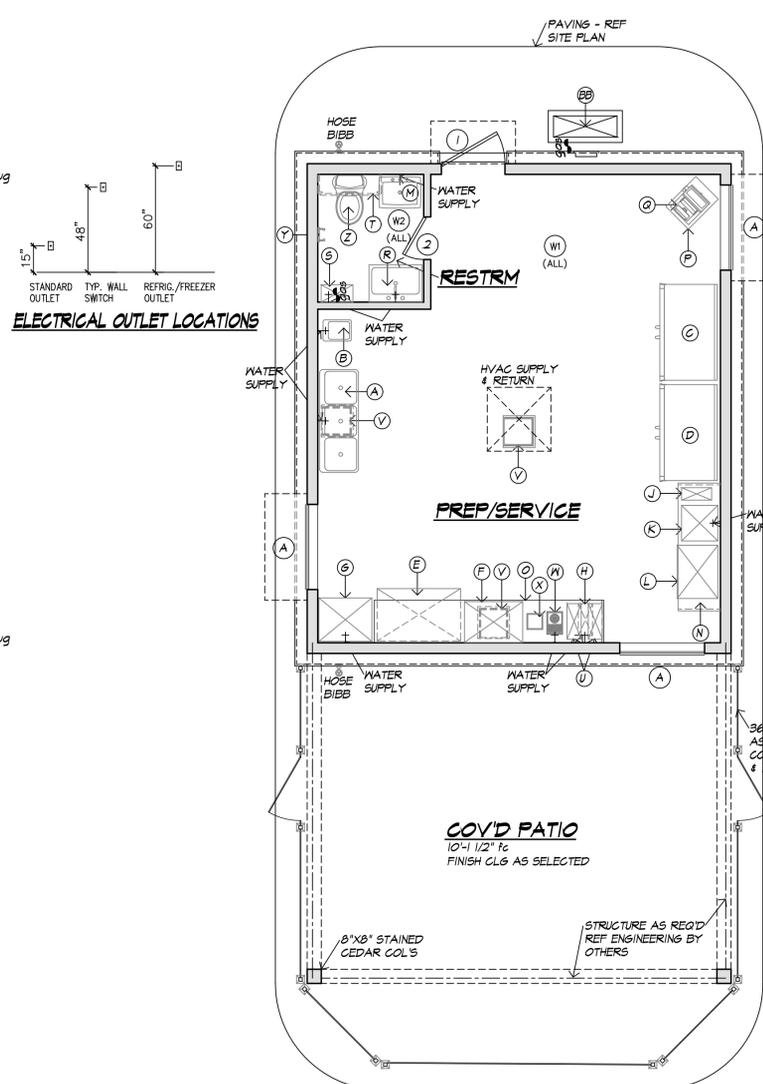
DESIGN NUMBER
C-5013-CS

of these construction documents and shall notify MROUSE DESIGNS of any discrepancies and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall MROUSE DESIGNS be held responsible for any errors, omissions, or omissions in the construction and it shall be his/her responsibility to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable IBC, ASCE Codes and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of the structure and to ensure that all work is performed in accordance with the applicable codes and a qualified professional engineer.



REFLECTIVE CLG/LIGHTING & ELECTRICAL PLAN
 SCALE 1/4"=1'-0"
 NOTE:
 FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT

LIGHTING/ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION	NO.	NOTES:
[Symbol]	ELECTRIC PANEL	1	AS REQUIRED BY CODE
[Symbol]	4" RECESSED SOFFIT LIGHT	12	AS SELECTED & ON TIMER
[Symbol]	DOUBLE FLOOD LIGHT	4	AS SELECTED & ON MOTION SENSOR
[Symbol]	WALL MOUNT BARN LIGHT	2	AS SELECTED & ON TIMER/REF ELEVATIONS
[Symbol]	C.C. CAMERA	2	AS SELECTED
[Symbol]	2'x4' RECESSED FLUORESCENT FIXTURE	7	2'x4' RECESSED FLUORESCENT FIXTURE, 3-T8 LAMPS, 32 WATTS - SAFETY WIRES REQUIRED ON DIAGONALLY OPPOSING CORNERS OF 2'x4' LAY-IN FIXTURES. WIRES MUST BE INDEPENDENT OF CEILING GRID
[Symbol]	STANDARD TELE/DATA OUTLET	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STD QUADRUPEX OUTLET	3	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STD 220/240 OUTLET	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STANDARD WEATHERPROOF/GFI DUPLEX OUTLET	4	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STD DUPLEX OUTLET	10	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STANDARD GFI DUPLEX OUTLET	2	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STANDARD SWITCH	4	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	RECESSED EXHAUST FAN	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	THERMOSTAT	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	SMOKE DETECTOR	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	EMERGENCY LIGHTING/EXIT	1	EXTERIOR EXIT LIGHTS SHALL HAVE A MINIMUM 90 MINUTE BATTERY BACK-UP POWER FOR EMERGENCY USE



NOTATION/FIXTURE PLAN
 SCALE 1/4"=1'-0"
 COFFEE SHOP 504 SF
 COVERED PATIO 383 SF

- FRAMING NOTES**
- REFER TO STRUCTURAL ENGINEERING DRAWINGS BY OTHERS FOR ALL STATIC & DYNAMIC DESIGN SELECTIONS OF MATERIAL USE & ASSEMBLY OF ALL ELEMENTS INCLUDING BUT NOT LIMITED TO ALL HORIZONTAL & VERTICAL FRAMES, COLUMN PLATES, CONNECTORS, BEAMS, WALLS, PLATES, PENETRATIONS, ROOF FRAMING, WIND BRACING, DRAINAGE & CONNECTIONS
 - FOUNDATION DESIGN BY OTHERS TO RECOGNIZE ALL LOAD TRANSFERS & TO APPROPRIATELY ACCOMMODATE THEM.
 - STANDARD INTERIOR WALLS TO BE 2X4 @ 16" OC, BLOCKED @ MID-SPAN W/5/8" GYPROCK
 - EXTERIOR WALLS TO BE 2X6
- GENERAL NOTES:**
- PLATE LINE TO BE @ 10'-0" NOMINAL
 - LAY-IN FINISH CEILING @ 9'-0" AFF
 - ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
 - ALL PLATE LINES AS NOTED ON ELEVATIONS
 - ALL WINDOW HEADERS AS NOTED
 - WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE SHOWN OR BEST SUITED
 - ALL INTERIOR FINISHES TO BE AS SELECTED & AS NOTED
 - EXTERIOR WALLS TO BE 2X6

DOOR SCHEDULE

TYPE	SIZE	DESCRIPTION	#
1	STEEL EXTERIOR 3'-0" X 6'-8"	NON FIRE RATED	1
2	SOLID CORE 2'-0" X 6'-8"	INTERIOR AS SELECTED	1

* - W/CLOSER, PUSH BAR EXIT DEVISE & DEAD BOLT LOCK SET
 ** - PAINT GRADE W/PRIVACY LOCK

WINDOW SCHEDULE

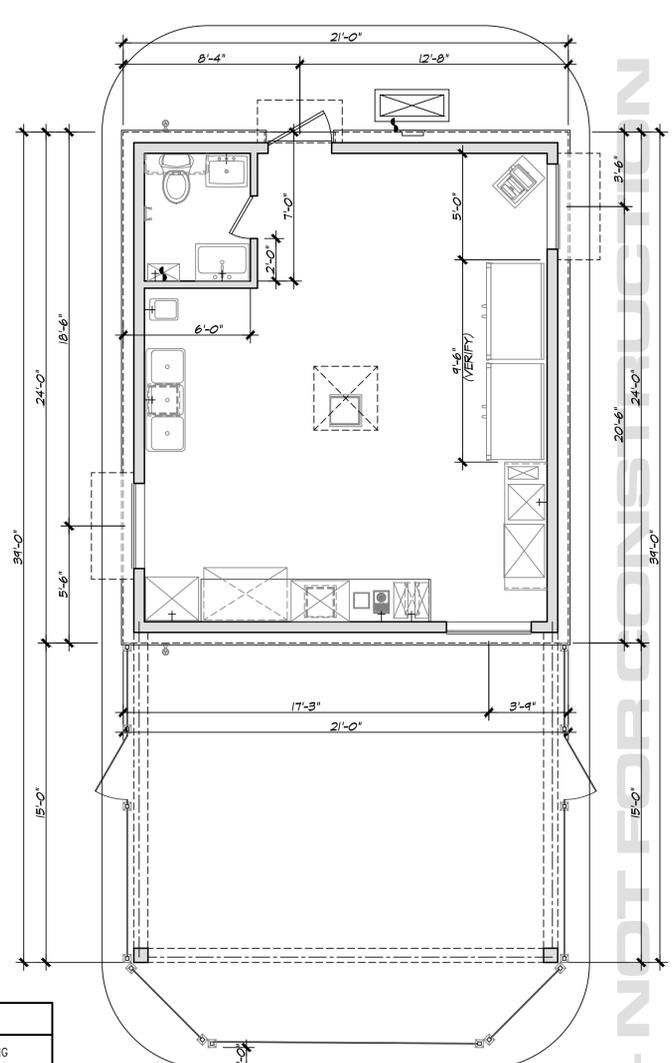
TYPE	SIZE	DESCRIPTION	#
A	HORIZ SL'DR 4'-0" X 3'-6" @ 6'-8" HDR		3

ROOM FINISH SCHEDULE

ROOM NAME	FLOORS	BASE	WALLS		CEILING	
			MAT'L	FIN.	MAT'L	HGT
PREP/SERVICE		STAINED CONC.	RUBBER	GYP BD	F.R.P. BOARD	LAY-IN/2X4 GRID 9'-0"
RESTROOM		STAINED CONC.	RUBBER	GYP BD	PAINT	LAY-IN/2X4 GRID 9'-0"

FIXTURE SCHEDULE

ITEM	QTY	DESCRIPTION
A	3	COMP FREESTANDING SINK
B	1	STAINLESS STEEL
C	1	STAINLESS STEEL
D	1	AS SELECTED
E	1	AS SELECTED
F	1	AS SELECTED
G	1	AS SELECTED
H	1	AS SELECTED
I	1	AS SELECTED
J	1	AS SELECTED
K	1	AS SELECTED
L	1	AS SELECTED
M	1	AS SELECTED
N	1	AS SELECTED
O	1	AS SELECTED
P	1	AS SELECTED
Q	1	AS SELECTED
R	1	AS SELECTED
S	1	AS SELECTED
T	1	AS SELECTED
U	2	AS SELECTED
V	3	AS SELECTED
W	1	AS SELECTED
X	1	AS SELECTED
Y	1	AS SELECTED
Z	1	AS SELECTED
AA	2	NO MORE THAN 60 SF OR 75% OF BUILDING WIDTH
BB	1	AS REQUIRED/AS SELECTED ON CONC. PAD
CC	1	AS SELECTED @ 9'-0" AFF



DIMENSION PLAN
 SCALE 1/4"=1'-0"

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall notify the architect immediately in writing of any discrepancies and/or omissions. The architect shall not be responsible for the accuracy of any dimensions and conditions of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustive. The contractor shall verify all dimensions and conditions of these construction documents and shall be responsible for the accuracy of all dimensions and conditions of these construction documents. The contractor shall be responsible for the accuracy of all dimensions and conditions of these construction documents. The contractor shall be responsible for the accuracy of all dimensions and conditions of these construction documents.

5013 COFFEESHOP
1011 S. GOLIAD ST.
ROCKWALL, TX

M Rouse Design
 2307 HIGHLIDGE
 SACHSE, TEXAS 75048
 (214) 801-9944
 mrouse@rouse-design.com
 WWW.ROUSE-DESIGN.COM
 COPYRIGHT 2025 - Mrouse Design - ALL RIGHTS RESERVED

REVISED DATE 1/1/2026
 SHEET AI
 DESIGN NUMBER C-5013-CS

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A RESTAURANT WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN ON A 0.3480-ACRE TRACT OF LAND IDENTIFIED AS LOTS 10 & 11 OF THE CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brierre Cathey on behalf of Mike Rodgers for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In for the purpose of constructing a restaurant on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and being more specifically described and depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In as stipulated by Subsection 01.02, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, Commercial (C) District, and Subsection 06.07, SH-205 Overlay (SH-205 OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02], and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction and operation of a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) at the time of Site Plan approval. In addition, any variances to the *General Overlay District Standards* as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) shall be required to be approved by the Planning and Zoning Commission at the time of Site Plan approval.
- (3) Additional landscaping and headlight screening shall be required along the northern property line. This shall be reviewed by the Planning and Zoning Commission at the time of Site Plan approval.
- (4) Three (3) tiered screening (*i.e. one [1] row of canopy trees, one [1] row of accent trees and large shrubs, and one [1] row of lower level shrubs*) shall be required adjacent to the eastern property line (*adjacent to the existing residentially zoned or used properties*). In addition, a *built-up* berm a minimum of 24-inches in height shall be required along the back of the property. These items will be reviewed for conformance by the Planning and Zoning Commission at the time of Site Plan approval.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- (1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF FEBRUARY, 2026.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 20, 2026

2nd Reading: February 2, 2026

Exhibit 'A'
Legal Description

Address: 1011 S. Goliad Street

Legal Description: Lots 10 & 11 of the Canup Addition

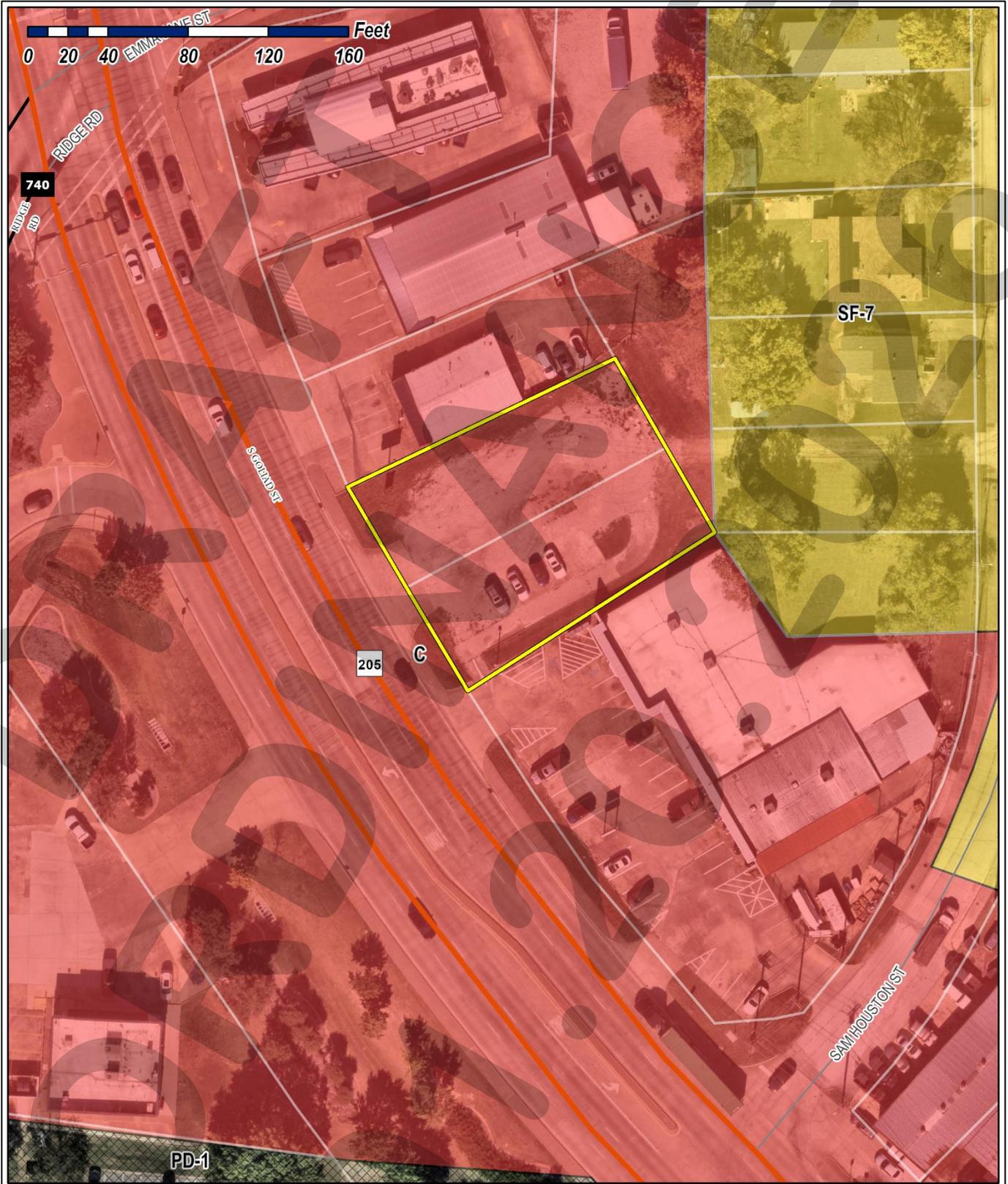
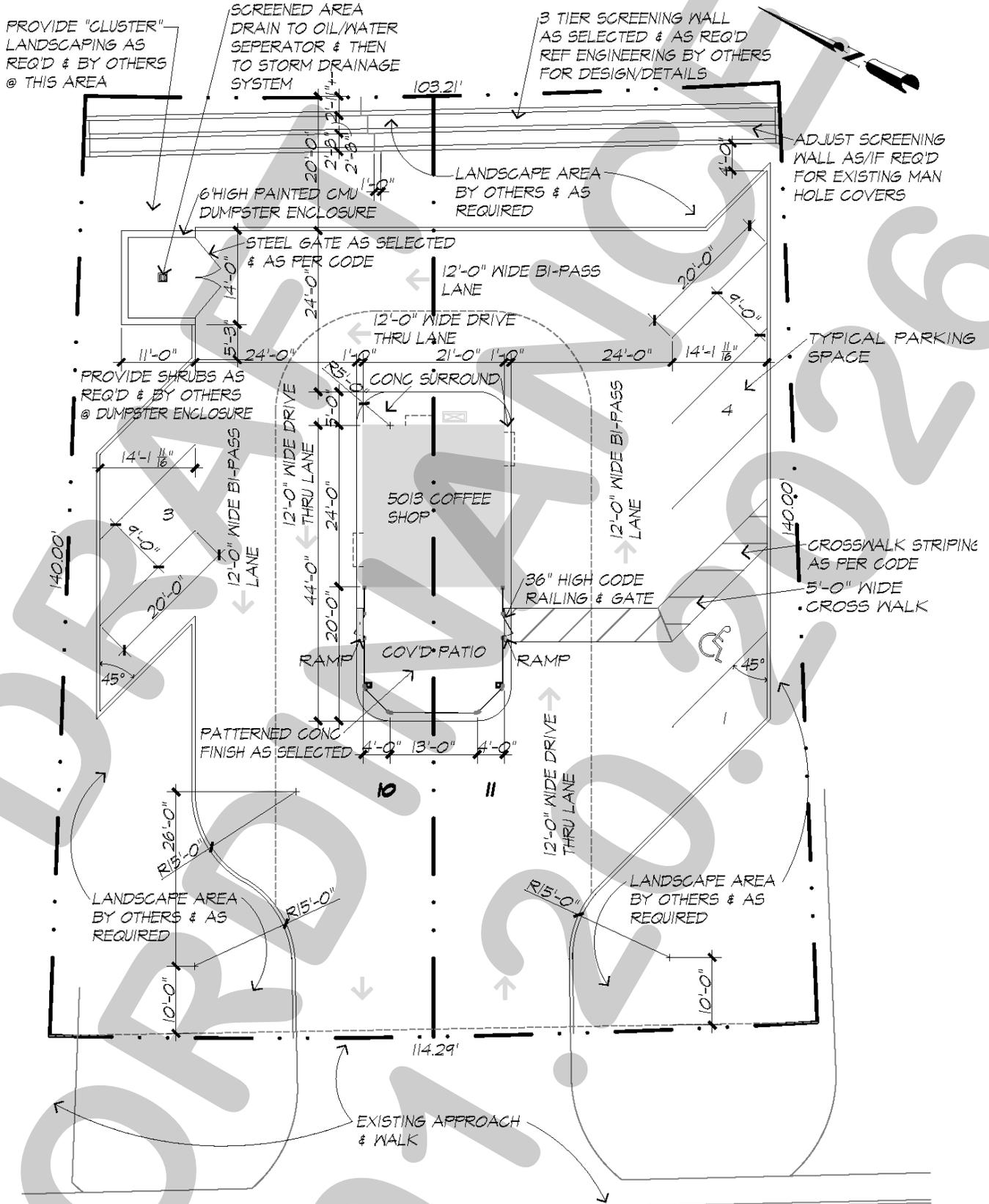
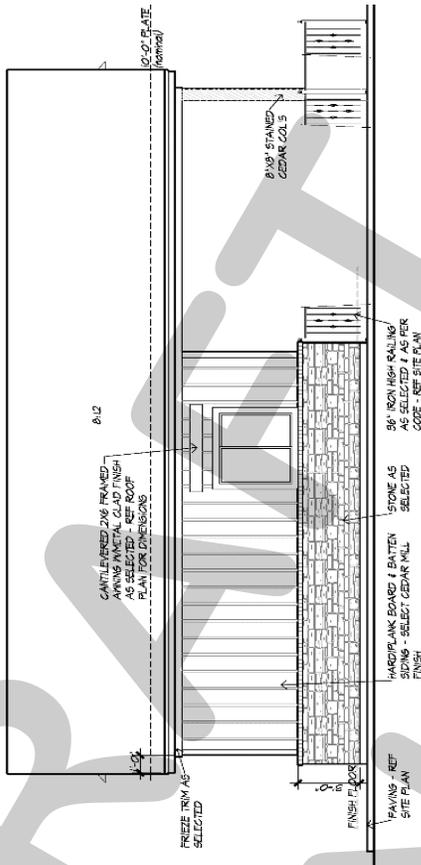


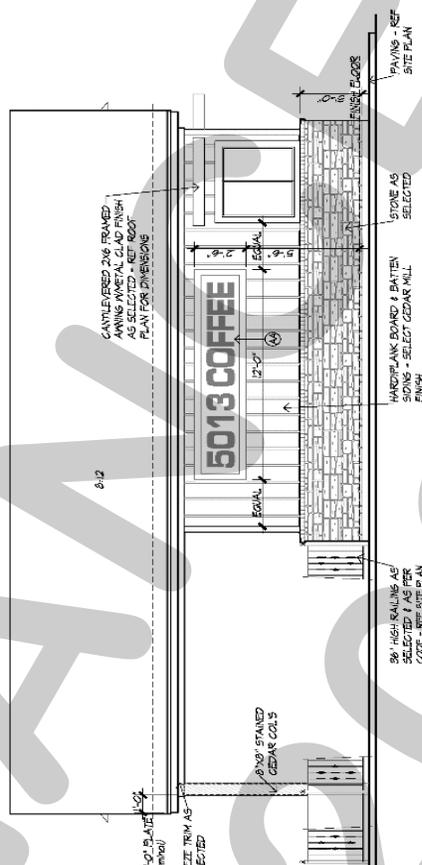
Exhibit 'B'
Concept Plan



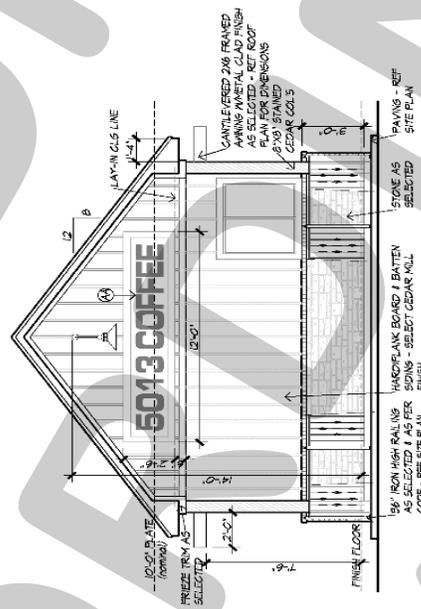
**Exhibit 'C':
Building Elevations**



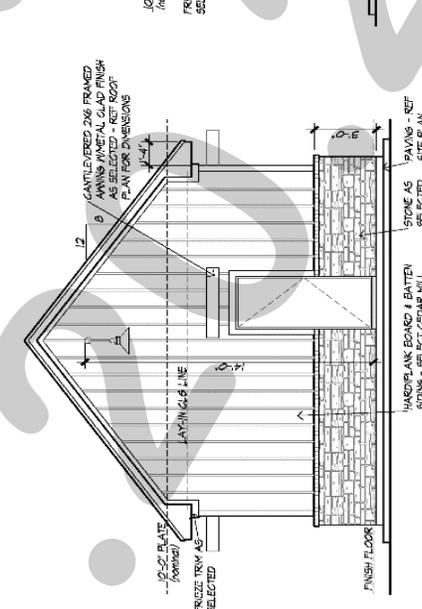
LEFT SIDE ELEVATION
SCALE 1/4"=1'-0"
25/32" STONE



RIGHT SIDE ELEVATION
SCALE 1/4"=1'-0"
25/32" STONE



FRONT ELEVATION
SCALE 1/4"=1'-0"
25/32" STONE



REAR ELEVATION
SCALE 1/4"=1'-0"
25/32" STONE



February 3, 2026

TO: Brierre Cathey
10820 CR 2452
Terrell, TX 75160

FROM: Angelica Guevara
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2025-074; *Specific Use Permit (SUP) for a Restaurant Less Than 2,000 SF with Drive-Through or Drive In at 1011 S. Goliad Street*

Mrs. Cathey:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on February 2, 2026. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
- (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
 - (b) The development of the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) at the time of Site Plan approval. In addition, any variances to the General Overlay District Standards as specified in Article 05, District Development Standards, of the Unified Development Code (UDC) shall be required to be approved by the Planning and Zoning Commission at the time of Site Plan approval.
 - (c) Additional landscaping and headlight screening shall be required along the northern property line. This shall be reviewed by the Planning and Zoning Commission at the time of Site Plan approval.
 - (d) Three (3) tiered screening (i.e. one [1] row of canopy trees, one [1] row of accent trees and large shrubs, and one [1] row of lower level shrubs) shall be required adjacent to the eastern property line (adjacent to the existing residentially zoned or used properties). In addition, a built-up berm a minimum of 24-inches in height shall be required along the back of the property. These items will be reviewed for conformance by the Planning and Zoning Commission at the time of Site Plan approval.

Planning and Zoning Commission

On January 13, 2026, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 5-0, with Commissioner Roth absent and one (1) vacancy.

City Council

On January 20, 2026, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

On February 2, 2026, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 6-0, with Council Member Moeller absent.

Included with this letter is a copy of *Ordinance No. 26-02, S-390*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6438.

Sincerely,

Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department