



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 24 Shady Dale Ln Rockwall TX 75032

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Kevin Sayles

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

24 Shady Dale Ln

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75032

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Sayles [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

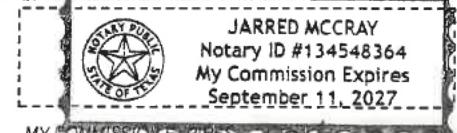
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF October, 2025.

OWNER'S SIGNATURE

Kevin Sayles

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

09/11/2027







DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
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STAFF USE ONLY

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PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

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OWNER

Kevin Sayles

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

24 Shady Dale Ln

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75032

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

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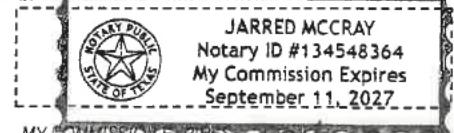
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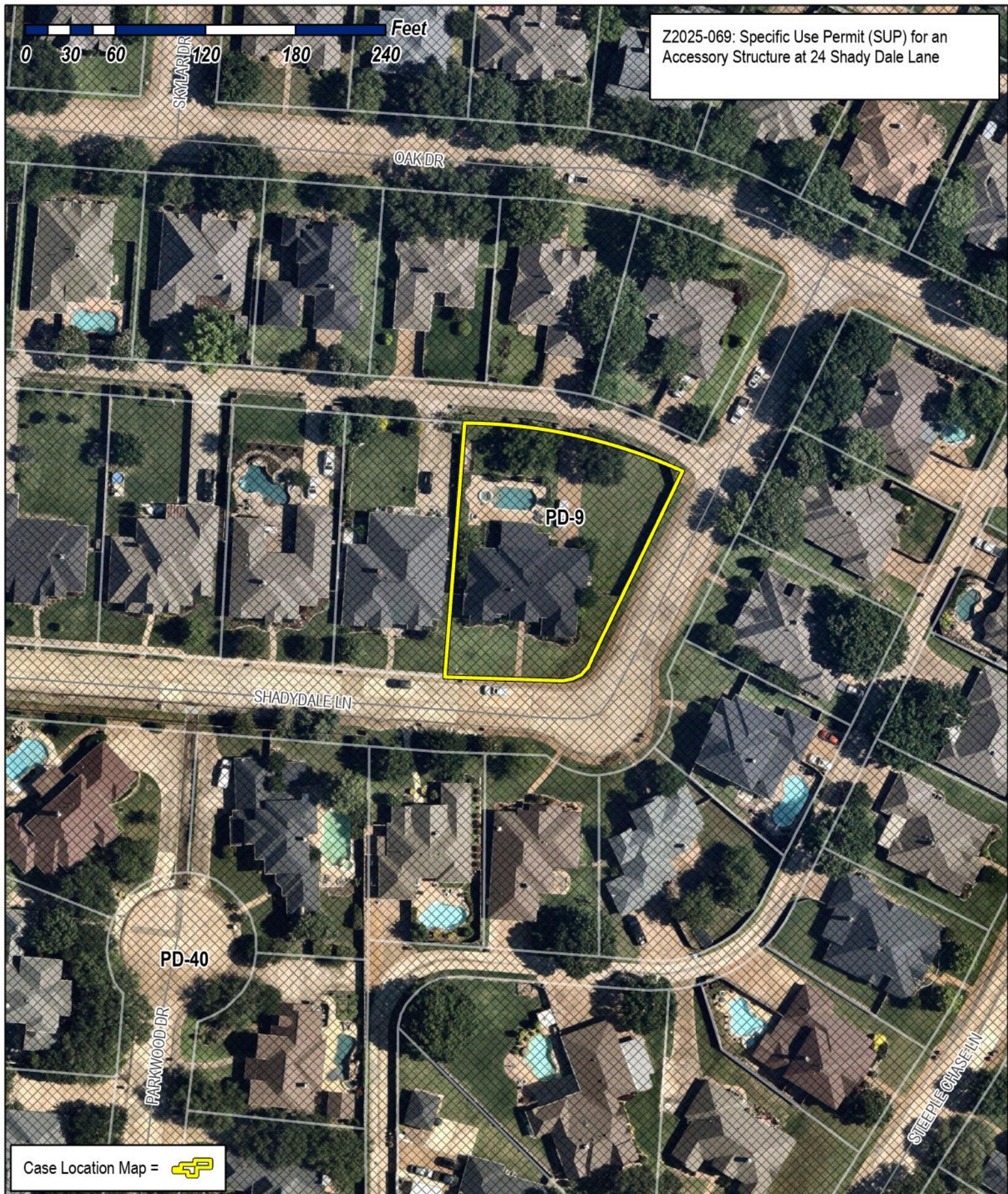
Kevin Sayles

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

09/11/2027



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

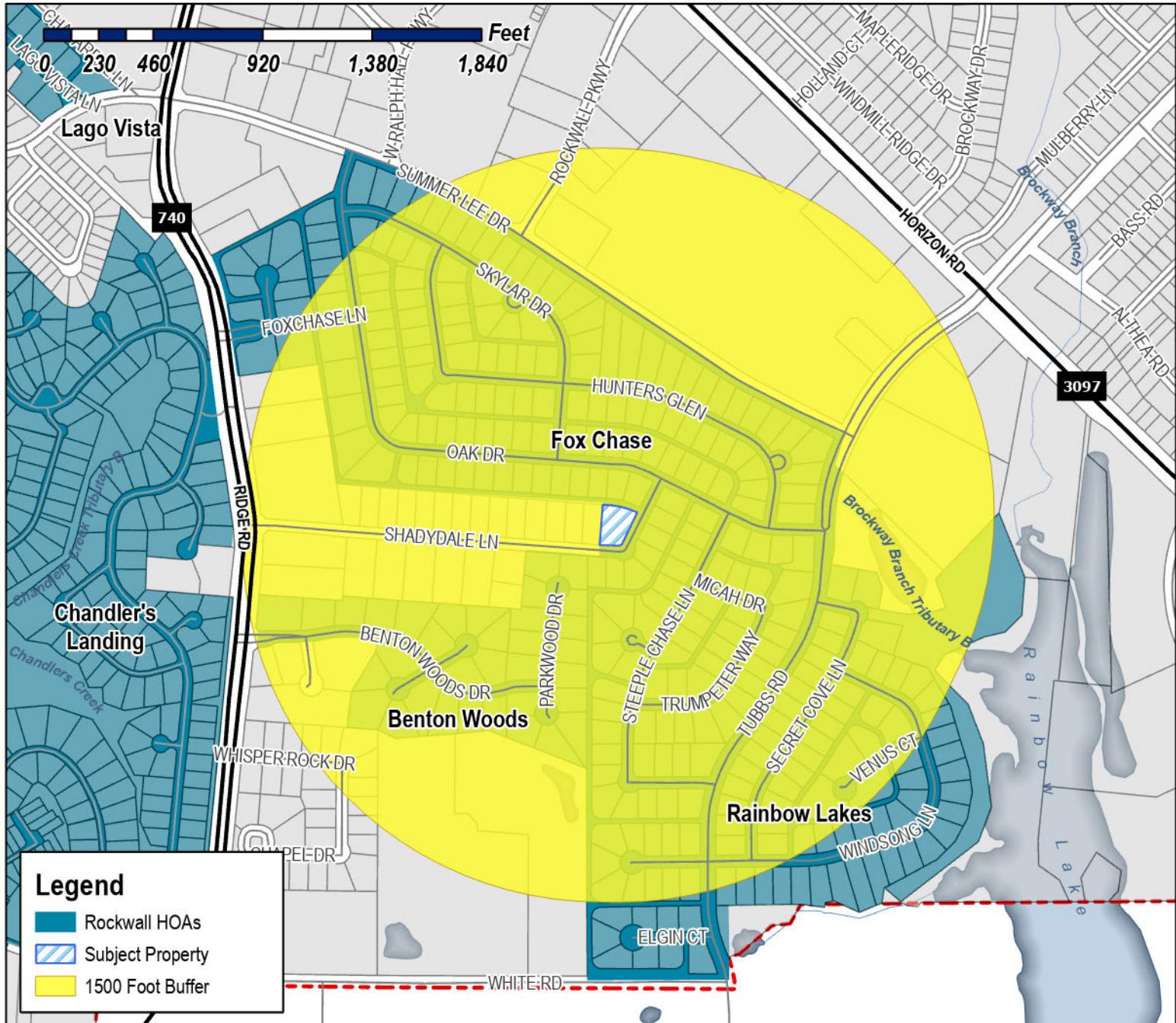




City of Rockwall

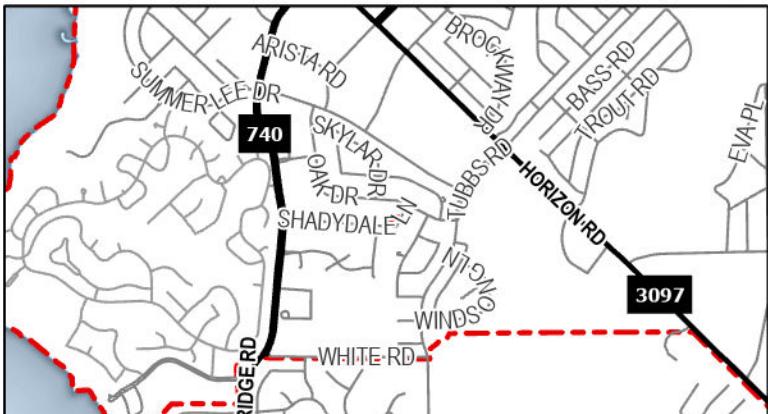
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Case Number: Z2025-069
Case Name: SUP for a Portable Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 24 Shady Dale Lane

Date Saved: 10/17/2025
For Questions on this Case Call (972) 771-7745

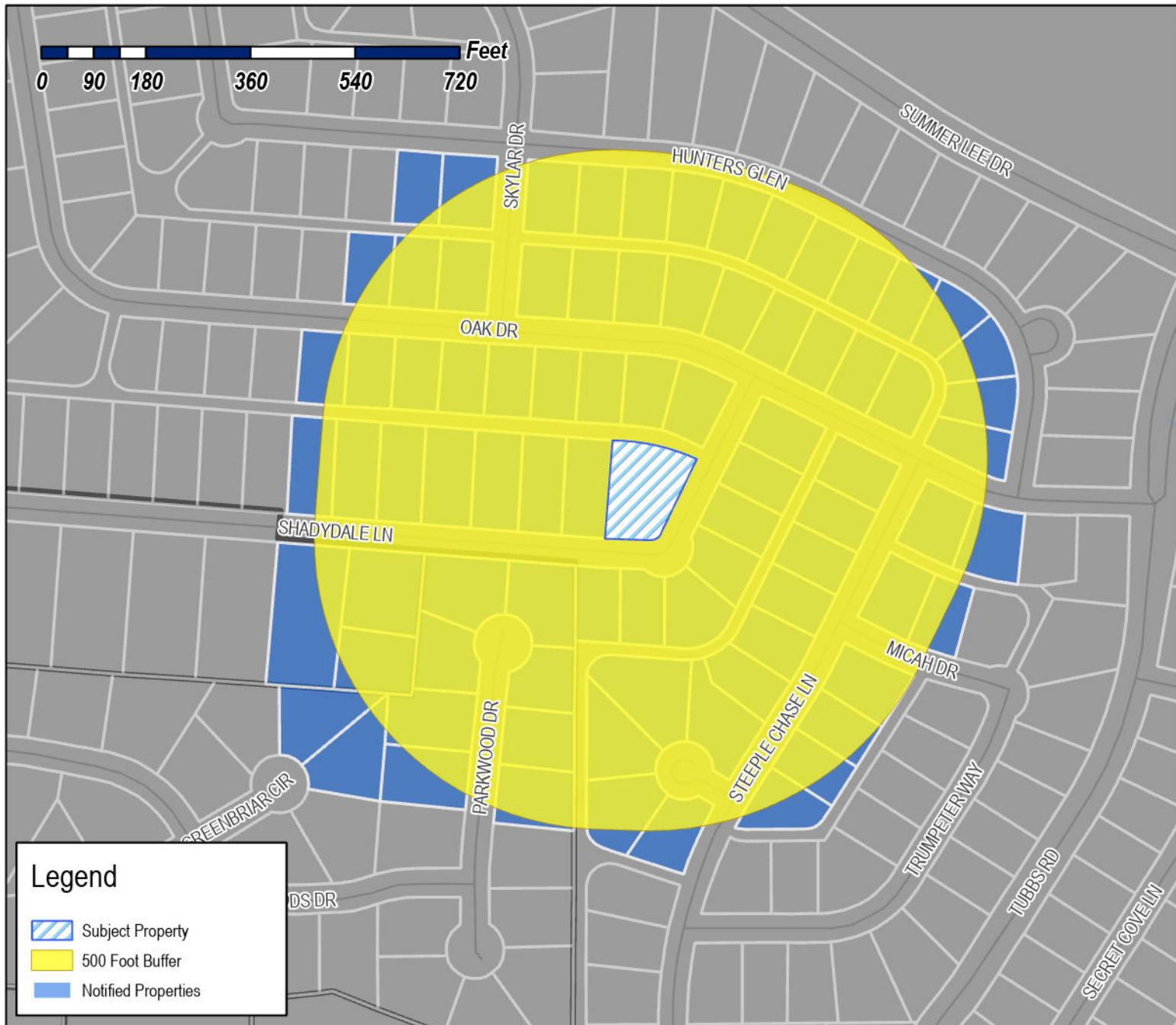




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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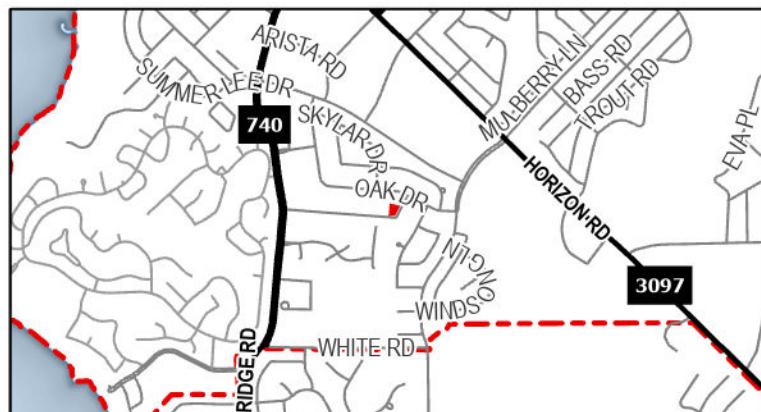
Legend

- Subject Property
- 500 Foot Buffer
- Notified Properties

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ROYALAND PROPERTIES LLC
11034 GRISSOM LANE
DALLAS, TX 75229

REDDEN TRAVIS
1115 CONCAN DRIVE
FORNEY, TX 75126

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

BALLARD STEVE & ANNABETH
17 SHADYDALE LANE
ROCKWALL, TX 75032

DOSKOCIL PATRICK AND GLINDA
19 SHADYDALE LN
ROCKWALL, TX 75032

ROMAN MARIA G & ARMANDO POMPOSO
23 SHADY DALE LN
ROCKWALL, TX 75032

WILLIS GEORGE V & KAREN
24 SHADY DALE LN
ROCKWALL, TX 75032

SNIDER VICTOR BRUCE & JUDY LYNNE
25 SHADY DALE LN
ROCKWALL, TX 75032

SUDELA THOMAS S AND KAREN C
26 SHADY DALE LN
ROCKWALL, TX 75032

PARVIN RHONDA
27 SHADY DALE LN
ROCKWALL, TX 75032

WEINTRAUB DONALD AND KATHLEEN
28 SHADY DALE LANE
ROCKWALL, TX 75032

TAGGART FAMILY TRUST
MICHAEL JORDAN TAGGART & KELLY ANNE
TAGGART - TRUSTEES
2843 MIRA VISTA LN
ROCKWALL, TX 75032

HUFFMAN JAMES D & STEPHANIE L
29 SHADY DALE LN
ROCKWALL, TX 75032

BESS JULIE M AND JOHN HAGAMAN
30 SHADY DALE LN
ROCKWALL, TX 75032

HOYA CHARLOTTE G
3006 OAK DR
ROCKWALL, TX 75032

GROSS STEPHEN R & MICHELLE L
3014 OAK DR
ROCKWALL, TX 75032

RESIDENT
3015 OAK DR
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A
3021 Ridge Rd Ste A PMB 131
Rockwall, TX 75032

FOLKS ARCHIE PATRICK & JANETTE E
3022 OAK DR
ROCKWALL, TX 75032

PETROCELLY JUNE LIVING TRUST
JUNE PETROCELLY TRUSTEE
3023 OAK DRIVE
ROCKWALL, TX 75087

2024 G S SLOAN REVOCABLE TRUST
GARY DEAN & STEPHANIE ANN SLOAN -
TRUSTEE
3030 OAK DR
ROCKWALL, TX 75032

DAVIS ANN SHERRILL
3033 OAK DR
ROCKWALL, TX 75032

NANCE CARLTON ERIC & RHONDA D
3107 OAK DR
ROCKWALL, TX 75032

BOWERS DENNIS & COLLEEN
3108 OAK DR
ROCKWALL, TX 75032

MCMAHON SANDRA
3115 OAK DR
ROCKWALL, TX 75032

BEVAN MARILYN
3116 OAK DR
ROCKWALL, TX 75032

KUBIAK NICHOLAS E AND JENNIFER L
3123 OAK DR
ROCKWALL, TX 75032

CHILDRESS SHERRY L
3124 OAK DR
ROCKWALL, TX 75032

MISHLER JEREMY & CHRISTI
3131 OAK DR
ROCKWALL, TX 75032

MANNO SHARON &
PAUL FULLINGTON
3134 OAK DR
ROCKWALL, TX 75032

DODSON GERELDENE
3139 OAK DR
ROCKWALL, TX 75032

DICKINSON JONATHAN PAUL & THERESA
MICHELLE
3144 OAK DRIVE
ROCKWALL, TX 75032

STANLEY RONALD ALAN & JENNIFER J
3147 OAK DR
ROCKWALL, TX 75032

HOWELL RANDALL R & DANA L
3155 OAK DR
ROCKWALL, TX 75032

DIESSONGO THIERRY AND
MARIAME DIESSONGO
3163 OAK DR
ROCKWALL, TX 75032

PIKE MARTIN E & JANET L
3171 OAK DRIVE
ROCKWALL, TX 75032

WEICHEL JAMES D & KRISTEN E
3182 OAK DR
ROCKWALL, TX 75032

BALLI NOE III & LYNN E
3190 OAK DR
ROCKWALL, TX 75032

KASIRI SAHBA AND SARA SADEGH
32 SHADY DALE LN
ROCKWALL, TX 75032

TINDALL CINDY P
34 SHADY DALE LN
ROCKWALL, TX 75032

WATSON BRANDON AND VALERIE
36 SHADY DALE LN
ROCKWALL, TX 75032

RESIDENT
38 SHADYDALE LN
ROCKWALL, TX 75032

HERNANDEZ ANDRES & MISTY
4550 STEEPLE CHASE LN
ROCKWALL, TX 75032

HARRIS GERALD T & SHERRI K
4558 STEEPLE CHASE LN
ROCKWALL, TX 75032

KIRK MARGIE
4566 STEEPLE CHASE LN
ROCKWALL, TX 75032

KEITH LARRY J & CAROLYN K
4574 STEEPLE CHASE LN
ROCKWALL, TX 75032

ARNDT GARY & DIANNE
4608 STEEPLE CHASE LN
ROCKWALL, TX 75032

POWELL ALEAH D
4609 STEEPLE CHASE LN
ROCKWALL, TX 75032

BRANNING BARRY S & LINDA R
4616 STEEPLE CHASE LN
ROCKWALL, TX 75032

RESIDENT
4617 STEEPLE CHASE LN MICHAEL JORDAN
TAGGART & KELLY ANNE TAGGART - TRUSTEES
ROCKWALL, TX 75032

WATSON MATTHEW WAYNE
4625 STEEPLE CHASE
ROCKWALL, TX 75087

KHODAPARAST RAHIM & ROYA
4630 PARKWOOD DR
ROCKWALL, TX 75087

VEST DONALD R
4633 PARKWOOD DR
ROCKWALL, TX 75032

FLORANCE WILLIAM C & KATHRYN E
4633 STEEPLE CHASE LANE
ROCKWALL, TX 75032

CARNEVALE EDWARD A JR AND PAMELA D
4648 PARKWOOD DRIVE
ROCKWALL, TX 75032

RESIDENT
4649 PARKWOOD DR
ROCKWALL, TX 75032

FREEMAN DENWARD LEE & ELIZABETH ANN
4660 GREENBRIAR CT
ROCKWALL, TX 75032

KUBIN CHRISTOPHER J AND ABIGAIL
4670 PARKWOOD DR
ROCKWALL, TX 75032

LIGHT LEIGH ANN AND JEFF
4671 GREENBRIAR CT
ROCKWALL, TX 75032

ZEHR JACK L & EDITH L
4671 PARKWOOD DR
ROCKWALL, TX 75032

SHIPMAN EARL RAPHE & DELAMIE
4690 PARKWOOD DR
ROCKWALL, TX 75087

PARENT RICHARD DAVID & MARIE L
4691 PARKWOOD DR
ROCKWALL, TX 75082

WEBSTER DAVID L
501 E OLD GREENVILLE RD
ROYSE CITY, TX 75189

CARTER SHARON R
BLANKENSHIP DON L & AUDREY LIFE ESTATE
6 SHADY DALE LN
ROCKWALL, TX 75032

28 PLAZA LTD
601 KILLARNEY
RICHARDSON, TX 75201

RESIDENT
7 SHADYDALE LN
ROCKWALL, TX 75032

RESIDENT
7 SHADYDALE LN
ROCKWALL, TX 75032

WATSON BARBARA
743 MICAH DR
ROCKWALL, TX 75032

SMITH MICHAEL & KATRINA
751 MICAH DR
ROCKWALL, TX 75032

BENNETT FAMILY LIVING TRUST
WILLIAM THOMAS AND JUDY M BENNETT
TRUSTEES
754 HUNTERS GLN
ROCKWALL, TX 75032

KUEHL FAMILY LIVING TRUST
LESLIE L KUEHL AND SUSAN B KUEHL- TRUSTEES
762 HUNTERS GLEN
ROCKWALL, TX 75032

BROWN SANDRA MARIE
770 HUNTERS GLEN
ROCKWALL, TX 75032

SHERROD ROBERT T & AMY
778 HUNTERS GLN
ROCKWALL, TX 75032

ROMER FRANK L & MARCY L AND
MARISSA P
786 HUNTERS GLEN
ROCKWALL, TX 75032

NGUYEN TAMMY
7910 SARAHVILLE DR
DALLAS, TX 75252

HONG TAE SU & SUNSIL
794 HUNTERS GLN
ROCKWALL, TX 75032

STANFORD STEVEN R AND KIRSTEN L
802 HUNTERS GLEN
ROCKWALL, TX 75032

CHRISTENSEN BRIAN & JENNIFER
810 Hunters Gln
Rockwall, TX 75032

BRADY LISA AND RALPH
826 HUNTERS GLEN
ROCKWALL, TX 75032

SCOTT MARY ELIZABETH
834 HUNTERS GLEN
ROCKWALL, TX 75032

BRISCOE JULIE
842 HUNTERS GLEN
ROCKWALL, TX 75032

DIETERICH GEORGE D & JOHANNA
846 STEEPLE CHASE CT
ROCKWALL, TX 75032

CARNES LINDA M
850 HUNTERS GLN
ROCKWALL, TX 75032

HESKETT RHEA
850 STEEPLE CHASE COURT
ROCKWALL, TX 75032

ANDERSON LARY & LAURIE
854 STEEPLE CHASE CT
ROCKWALL, TX 75032

LEONARD SCOTT E AND CATHERINE W
858 STEEPLE CHASE CT
ROCKWALL, TX 75032

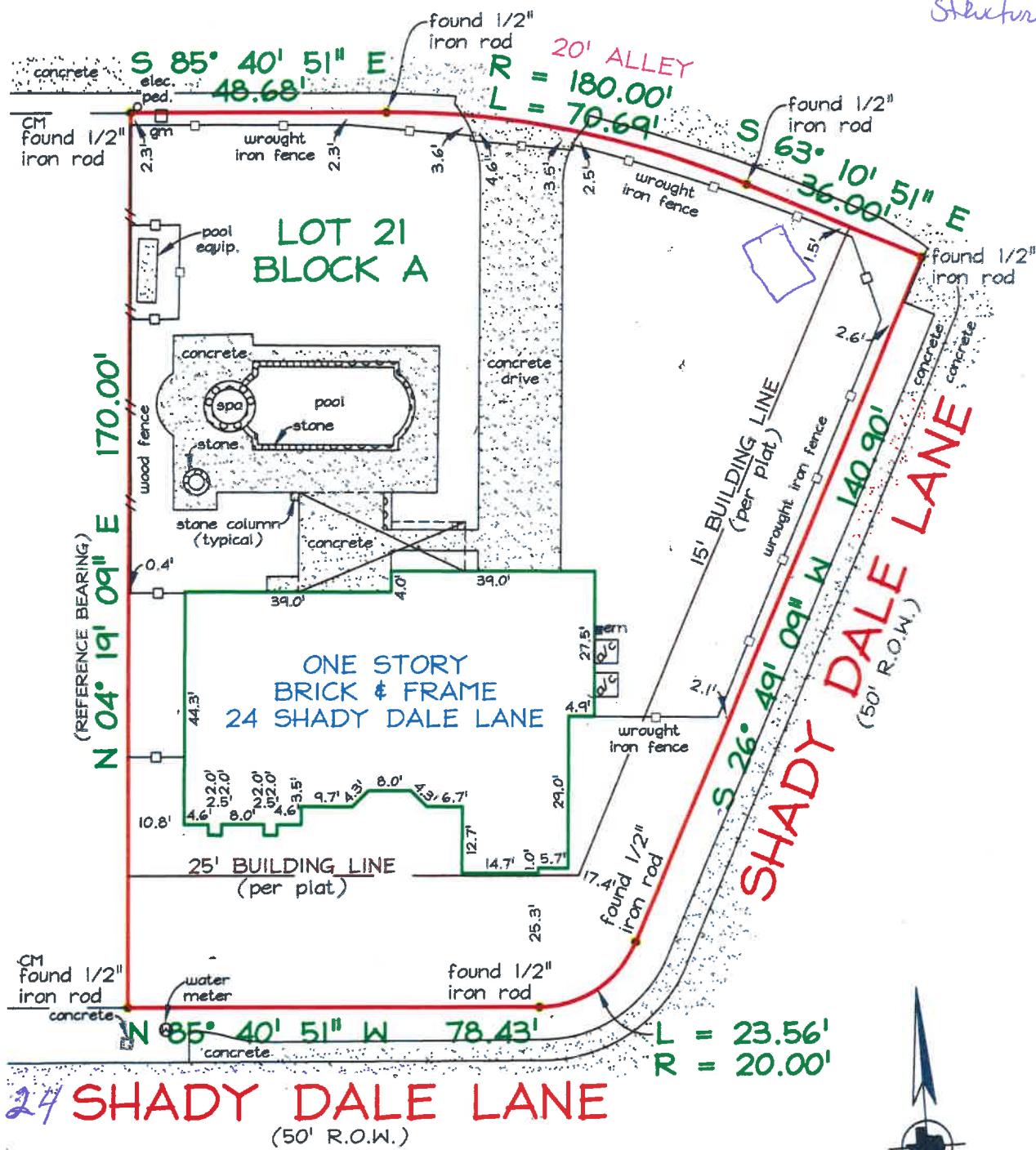
MCGUIRE JOHN L & LISA L
862 STEEPLE CHASE CT
ROCKWALL, TX 75032

ERICKSON MARIUM E LIVING TRUST
906 HUNTERS GLEN
ROCKWALL, TX 75032

MONK JEFFREY CHAD REVOCABLE LIVING TRUST
JEFFREY CHAD MONK TRUSTEE
914 HUNTERS GLEN
ROCKWALL, TX 75032



3 ft From Rear
6 ft From any other Structure



NOTES:

CM = CONTROLLING MONUMENT.

THIS PROPERTY IS NOT AFFECTED BY THE FOLLOWING:

(10e)-EASEMENT VOL 64 PG 274 D.R.R.G.T.

(10e)-EASEMENT, VOL. 64, PG. 274, D.R.R.C.T.
(10f)-EASEMENT VOL 63 PG 82 D.R.R.C.T.

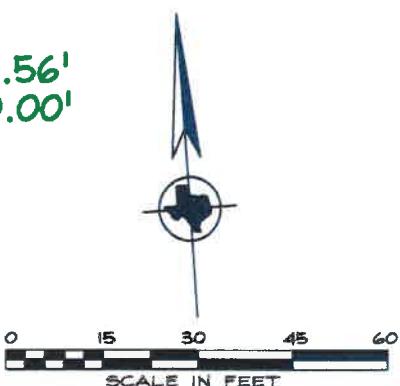
BEARINGS ARE BASED ON THE RECORDED PLAT REFERENCED BELOW

BEARINGS ARE BASED ON THE RECORDED PLAT REFERENCED BELOW.
THIS SURVEY IS VALID ONLY WITH ORIGINAL SIGNATURE IN BLACK INK

THIS IS TO DECLARE that on this date a survey was made on the ground, under my direction and supervision of the property located at 24 SHADY DALE LANE, and Being Lot Twenty One (21), Block A, of FOXCHASE PHASE FOUR, an addition in Rockwall County, Texas, according to the map or plat thereof recorded in Cabinet C, Page 264, of the Plat Records of Rockwall County, Texas.

There are no visible conflicts or protrusions, except as shown.

The subject property does not appear to lie within the limits of a 100-year flood hazard zone according to the map published by the Federal Emergency Management Agency, and has a Zone "X" Rating as shown by Map No. 48397C0040 L, dated SEPTEMBER 26, 2008. The statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This survey is not to be used for construction purposes and is for the exclusive use of the herein named purchaser, mortgage company, and title company only and this survey is made pursuant to that one certain title







PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2025

PROJECT NUMBER: Z2025-069
PROJECT NAME: SUP for an Accessory Structure
SITE ADDRESS/LOCATIONS: 24 Shady Dale Lane

CASE CAPTION: Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/24/2025	Approved w/ Comments

10/24/2025: Z2025-069; Specific Use Permit (SUP) for an Accessory Structure at 24 Shady Dale Lane

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shady Dale Lane.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2025-069) in the lower right-hand corner of all pages on future submittals.

I.4 This structure was constructed without a building permit and was required to pay a non-compliance application fee of \$1,000.00 in addition to the standard application fee.

I.5 The subject property is zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses. According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), the maximum permissible size of an Accessory Structure is a Single Family 10 (SF-10) District is 144 SF. In this case, the proposed Accessory Structure is 12-feet by 20-feet, or 240 SF. This is why the Accessory Structure requires a Specific Use Permit (SUP). Please update the site plan to reflect the size/dimensions of the Accessory Structure.

M.6 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC) and the subdivision plat for the subject property, the Accessory Structure is required to be three (3) feet from the rear property line and 15-feet from Shady Dale Lane. If the Accessory Structure does not meet these setbacks, it will be required to be moved to be in conformance. Currently, the Accessory Structure does not appear to be in conformance with the 15-foot building setback based on the pictures taken by the Neighborhood Improvement Services Division. Please correct the site plan to show the current setbacks of the Accessory Structure from each property line.

M.7 Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), all Accessory Structures are required to be attached to a permanent concrete foundation. The current accessory structure does not meet this requirement. This will be included as a Condition of Approval and an Operational Condition.

M.8 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), and Subsection 03.01, General Residential District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), Accessory Structures may not exceed 15-feet in height and must have a minimum roof pitch of 3:12. Please clarify the height and roof pitch of the Accessory Structure.

M.9 Ordinances. Please review the attached draft ordinance prior to the October 28, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by November 4, 2025.

I.10 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 11, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.11 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 28, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on November 11, 2025.

I.12 City Council Meeting Dates. The projected City Council meeting dates for this case will be November 17, 2025 (1st Reading) and December 1, 2025 (2nd Reading).

I.13 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved
10/23/2025: No comments. Comments may be provided at time of Building Permit.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved w/ Comments
10/23/2025: APPLICANT NEEDS TO PROVIDE THE SIZE OF THE PROPOSED ACCESSORY STRUCTURE AND MEET THE SETBACKS DEPENDING ON THE SIZE. ALSO, IF APPROVED A BUILDING PERMIT WILL BE REQUIRED PRIOR TO CONSTRUCTION. IF OVER 120 SQUARE FEET A CONCRETE FOUNDATION IS REQUIRED.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 24 Shady Dale Ln Rockwall TX 75032

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Kevin Sayles

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

24 Shady Dale Ln

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75032

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Sayles [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

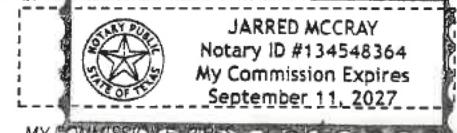
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF October, 2025.

OWNER'S SIGNATURE

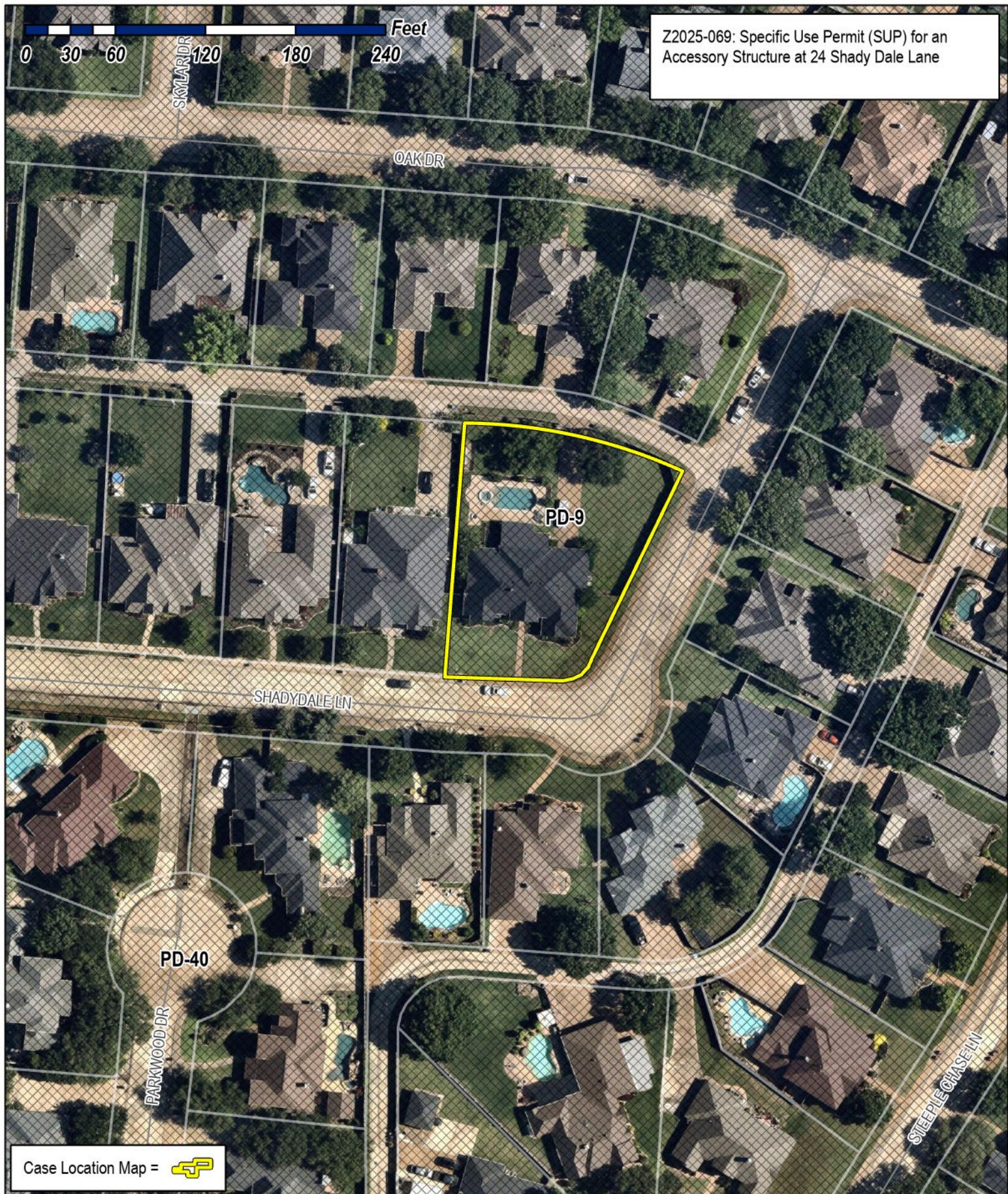
Kevin Sayles

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

09/11/2027



City of Rockwall



Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

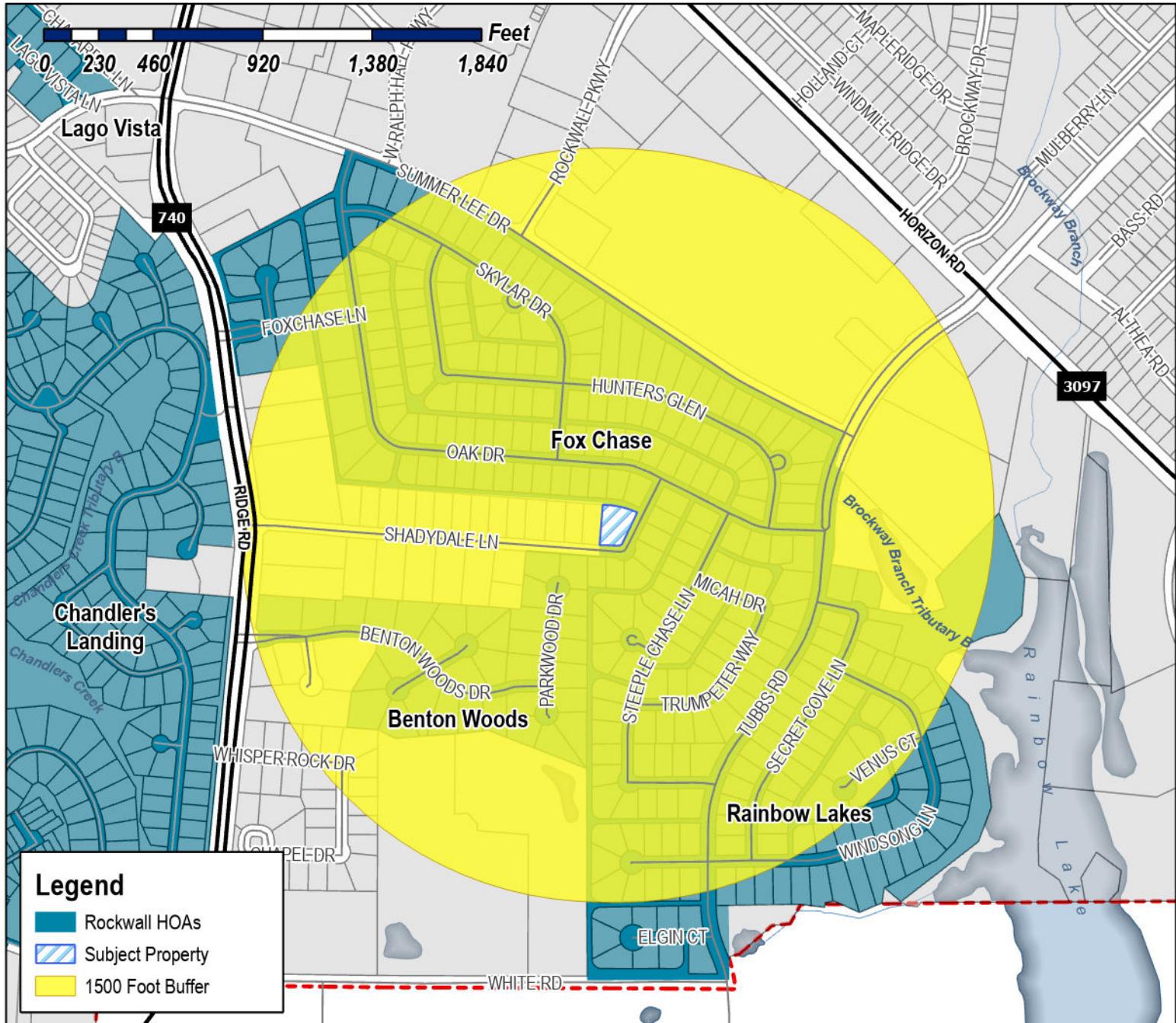




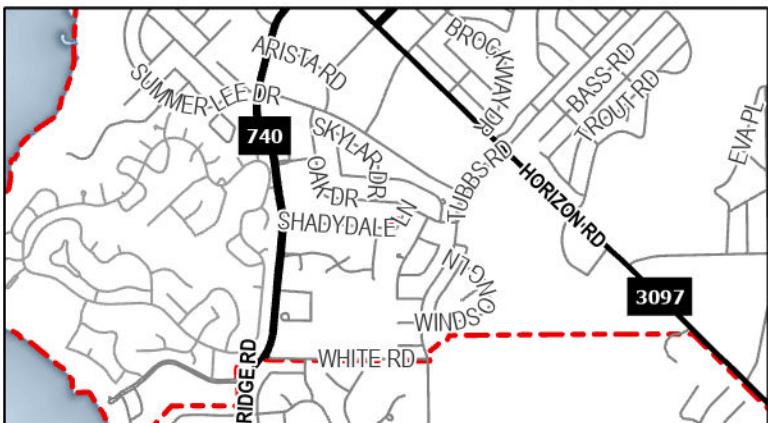
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2025-069
Case Name: SUP for a Portable Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 24 Shady Dale Lane



Miller, Ryan

From: Zavala, Melanie
Sent: Wednesday, October 22, 2025 2:23 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2025-069]
Attachments: HOA Map (10.22.2025).pdf; Public Notice (10.20.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, October 24, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-069: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

Melanie Zavala

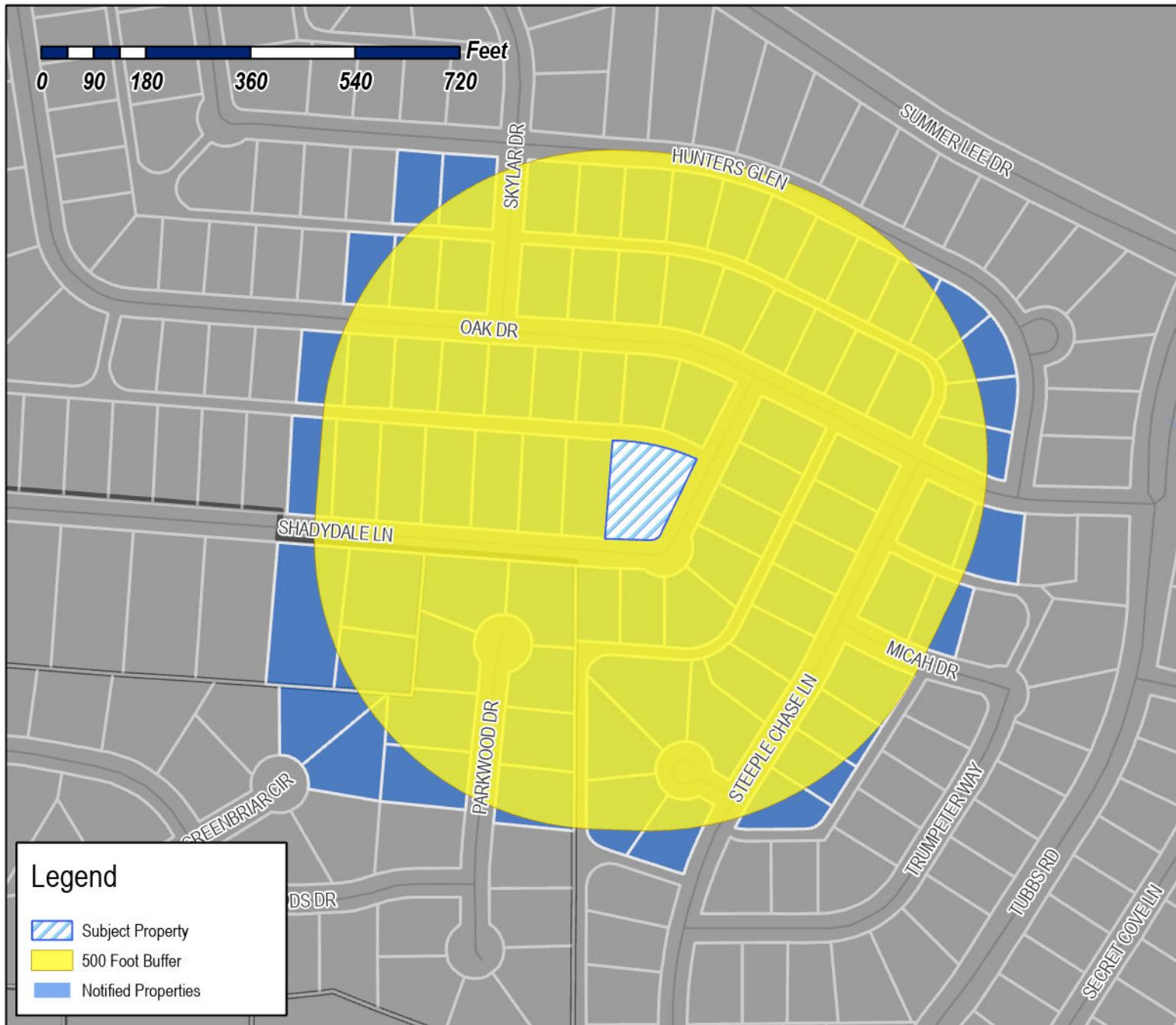
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](https://sites.google.com/site/rockwallplanning/development/development-cases)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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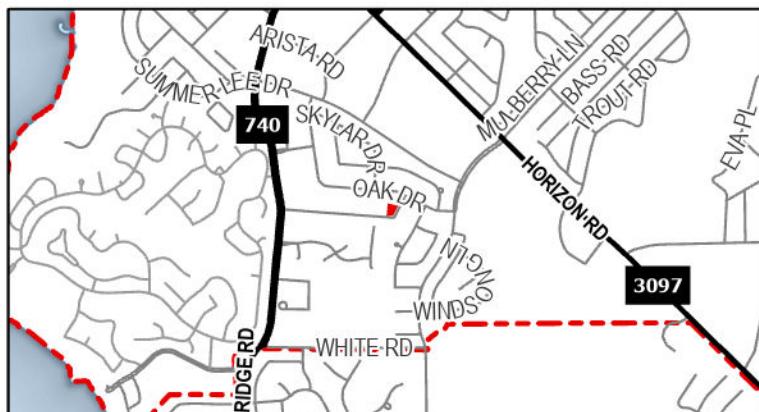
Legend

- Subject Property
- 500 Foot Buffer
- Notified Properties

Case Number: Z2025-069
Case Name: SUP for a Portable Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 24 Shady Dale Lane

Date Saved: 10/17/2025

For Questions on this Case Call: (972) 771-7745



ROYALAND PROPERTIES LLC
11034 GRISSOM LANE
DALLAS, TX 75229

REDDEN TRAVIS
1115 CONCAN DRIVE
FORNEY, TX 75126

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

BALLARD STEVE & ANNABETH
17 SHADYDALE LANE
ROCKWALL, TX 75032

DOSKOCIL PATRICK AND GLINDA
19 SHADYDALE LN
ROCKWALL, TX 75032

ROMAN MARIA G & ARMANDO POMPOSO
23 SHADY DALE LN
ROCKWALL, TX 75032

WILLIS GEORGE V & KAREN
24 SHADY DALE LN
ROCKWALL, TX 75032

SNIDER VICTOR BRUCE & JUDY LYNNE
25 SHADY DALE LN
ROCKWALL, TX 75032

SUDELA THOMAS S AND KAREN C
26 SHADY DALE LN
ROCKWALL, TX 75032

PARVIN RHONDA
27 SHADY DALE LN
ROCKWALL, TX 75032

WEINTRAUB DONALD AND KATHLEEN
28 SHADY DALE LANE
ROCKWALL, TX 75032

TAGGART FAMILY TRUST
MICHAEL JORDAN TAGGART & KELLY ANNE
TAGGART - TRUSTEES
2843 MIRA VISTA LN
ROCKWALL, TX 75032

HUFFMAN JAMES D & STEPHANIE L
29 SHADY DALE LN
ROCKWALL, TX 75032

BESS JULIE M AND JOHN HAGAMAN
30 SHADY DALE LN
ROCKWALL, TX 75032

HOYA CHARLOTTE G
3006 OAK DR
ROCKWALL, TX 75032

GROSS STEPHEN R & MICHELLE L
3014 OAK DR
ROCKWALL, TX 75032

RESIDENT
3015 OAK DR
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A
3021 Ridge Rd Ste A PMB 131
Rockwall, TX 75032

FOLKS ARCHIE PATRICK & JANETTE E
3022 OAK DR
ROCKWALL, TX 75032

PETROCELLY JUNE LIVING TRUST
JUNE PETROCELLY TRUSTEE
3023 OAK DRIVE
ROCKWALL, TX 75087

2024 G S SLOAN REVOCABLE TRUST
GARY DEAN & STEPHANIE ANN SLOAN -
TRUSTEE
3030 OAK DR
ROCKWALL, TX 75032

DAVIS ANN SHERRILL
3033 OAK DR
ROCKWALL, TX 75032

NANCE CARLTON ERIC & RHONDA D
3107 OAK DR
ROCKWALL, TX 75032

BOWERS DENNIS & COLLEEN
3108 OAK DR
ROCKWALL, TX 75032

MCMAHON SANDRA
3115 OAK DR
ROCKWALL, TX 75032

BEVAN MARILYN
3116 OAK DR
ROCKWALL, TX 75032

KUBIAK NICHOLAS E AND JENNIFER L
3123 OAK DR
ROCKWALL, TX 75032

CHILDRESS SHERRY L
3124 OAK DR
ROCKWALL, TX 75032

MISHLER JEREMY & CHRISTI
3131 OAK DR
ROCKWALL, TX 75032

MANNO SHARON &
PAUL FULLINGTON
3134 OAK DR
ROCKWALL, TX 75032

DODSON GERELDENE
3139 OAK DR
ROCKWALL, TX 75032

DICKINSON JONATHAN PAUL & THERESA
MICHELLE
3144 OAK DRIVE
ROCKWALL, TX 75032

STANLEY RONALD ALAN & JENNIFER J
3147 OAK DR
ROCKWALL, TX 75032

HOWELL RANDALL R & DANA L
3155 OAK DR
ROCKWALL, TX 75032

DIESSONGO THIERRY AND
MARIAME DIESSONGO
3163 OAK DR
ROCKWALL, TX 75032

PIKE MARTIN E & JANET L
3171 OAK DRIVE
ROCKWALL, TX 75032

WEICHEL JAMES D & KRISTEN E
3182 OAK DR
ROCKWALL, TX 75032

BALLI NOE III & LYNN E
3190 OAK DR
ROCKWALL, TX 75032

KASIRI SAHBA AND SARA SADEGH
32 SHADY DALE LN
ROCKWALL, TX 75032

TINDALL CINDY P
34 SHADY DALE LN
ROCKWALL, TX 75032

WATSON BRANDON AND VALERIE
36 SHADY DALE LN
ROCKWALL, TX 75032

RESIDENT
38 SHADYDALE LN
ROCKWALL, TX 75032

HERNANDEZ ANDRES & MISTY
4550 STEEPLE CHASE LN
ROCKWALL, TX 75032

HARRIS GERALD T & SHERRI K
4558 STEEPLE CHASE LN
ROCKWALL, TX 75032

KIRK MARGIE
4566 STEEPLE CHASE LN
ROCKWALL, TX 75032

KEITH LARRY J & CAROLYN K
4574 STEEPLE CHASE LN
ROCKWALL, TX 75032

ARNDT GARY & DIANNE
4608 STEEPLE CHASE LN
ROCKWALL, TX 75032

POWELL ALEAH D
4609 STEEPLE CHASE LN
ROCKWALL, TX 75032

BRANNING BARRY S & LINDA R
4616 STEEPLE CHASE LN
ROCKWALL, TX 75032

RESIDENT
4617 STEEPLE CHASE LN MICHAEL JORDAN
TAGGART & KELLY ANNE TAGGART - TRUSTEES
ROCKWALL, TX 75032

WATSON MATTHEW WAYNE
4625 STEEPLE CHASE
ROCKWALL, TX 75087

KHODAPARAST RAHIM & ROYA
4630 PARKWOOD DR
ROCKWALL, TX 75087

VEST DONALD R
4633 PARKWOOD DR
ROCKWALL, TX 75032

FLORANCE WILLIAM C & KATHRYN E
4633 STEEPLE CHASE LANE
ROCKWALL, TX 75032

CARNEVALE EDWARD A JR AND PAMELA D
4648 PARKWOOD DRIVE
ROCKWALL, TX 75032

RESIDENT
4649 PARKWOOD DR
ROCKWALL, TX 75032

FREEMAN DENWARD LEE & ELIZABETH ANN
4660 GREENBRIAR CT
ROCKWALL, TX 75032

KUBIN CHRISTOPHER J AND ABIGAIL
4670 PARKWOOD DR
ROCKWALL, TX 75032

LIGHT LEIGH ANN AND JEFF
4671 GREENBRIAR CT
ROCKWALL, TX 75032

ZEHR JACK L & EDITH L
4671 PARKWOOD DR
ROCKWALL, TX 75032

SHIPMAN EARL RAPHE & DELAMIE
4690 PARKWOOD DR
ROCKWALL, TX 75087

PARENT RICHARD DAVID & MARIE L
4691 PARKWOOD DR
ROCKWALL, TX 75082

WEBSTER DAVID L
501 E OLD GREENVILLE RD
ROYSE CITY, TX 75189

CARTER SHARON R
BLANKENSHIP DON L & AUDREY LIFE ESTATE
6 SHADY DALE LN
ROCKWALL, TX 75032

28 PLAZA LTD
601 KILLARNEY
RICHARDSON, TX 75201

RESIDENT
7 SHADYDALE LN
ROCKWALL, TX 75032

RESIDENT
7 SHADYDALE LN
ROCKWALL, TX 75032

WATSON BARBARA
743 MICAH DR
ROCKWALL, TX 75032

SMITH MICHAEL & KATRINA
751 MICAH DR
ROCKWALL, TX 75032

BENNETT FAMILY LIVING TRUST
WILLIAM THOMAS AND JUDY M BENNETT
TRUSTEES
754 HUNTERS GLN
ROCKWALL, TX 75032

KUEHL FAMILY LIVING TRUST
LESLIE L KUEHL AND SUSAN B KUEHL- TRUSTEES
762 HUNTERS GLEN
ROCKWALL, TX 75032

BROWN SANDRA MARIE
770 HUNTERS GLEN
ROCKWALL, TX 75032

SHERROD ROBERT T & AMY
778 HUNTERS GLN
ROCKWALL, TX 75032

ROMER FRANK L & MARCY L AND
MARISSA P
786 HUNTERS GLEN
ROCKWALL, TX 75032

NGUYEN TAMMY
7910 SARAHVILLE DR
DALLAS, TX 75252

HONG TAE SU & SUNSIL
794 HUNTERS GLN
ROCKWALL, TX 75032

STANFORD STEVEN R AND KIRSTEN L
802 HUNTERS GLEN
ROCKWALL, TX 75032

CHRISTENSEN BRIAN & JENNIFER
810 Hunters Gln
Rockwall, TX 75032

BRADY LISA AND RALPH
826 HUNTERS GLEN
ROCKWALL, TX 75032

SCOTT MARY ELIZABETH
834 HUNTERS GLEN
ROCKWALL, TX 75032

BRISCOE JULIE
842 HUNTERS GLEN
ROCKWALL, TX 75032

DIETERICH GEORGE D & JOHANNA
846 STEEPLE CHASE CT
ROCKWALL, TX 75032

CARNES LINDA M
850 HUNTERS GLN
ROCKWALL, TX 75032

HESKETT RHEA
850 STEEPLE CHASE COURT
ROCKWALL, TX 75032

ANDERSON LARY & LAURIE
854 STEEPLE CHASE CT
ROCKWALL, TX 75032

LEONARD SCOTT E AND CATHERINE W
858 STEEPLE CHASE CT
ROCKWALL, TX 75032

MCGUIRE JOHN L & LISA L
862 STEEPLE CHASE CT
ROCKWALL, TX 75032

ERICKSON MARIUM E LIVING TRUST
906 HUNTERS GLEN
ROCKWALL, TX 75032

MONK JEFFREY CHAD REVOCABLE LIVING TRUST
JEFFREY CHAD MONK TRUSTEE
914 HUNTERS GLEN
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-069: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name:

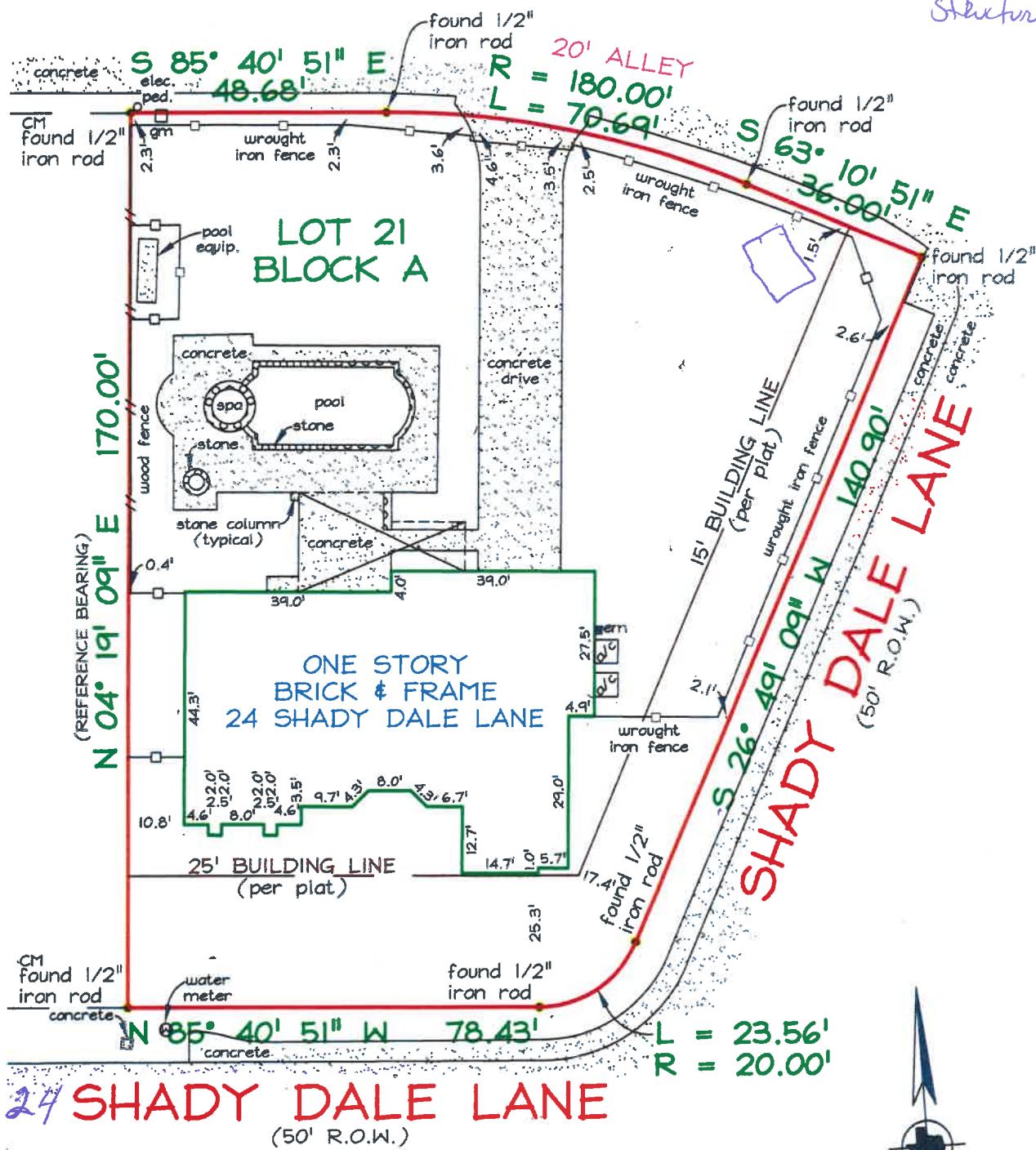
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



3 ft From Rear
6 ft From any other Structure



NOTES:

CM = CONTROLLING MONUMENT.

THIS PROPERTY IS NOT AFFECTED BY THE FOLLOWING:

(10e)-EASEMENT VOL 64 PG 274 D.R.R.G.T.

(10e)-EASEMENT, VOL. 64, PG. 274, D.R.R.C.C.
(10f)-EASEMENT, VOL. 63, PG. 82, D.R.R.C.T.

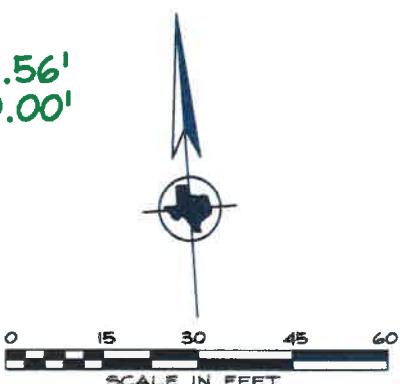
BEARINGS ARE BASED ON THE RECORDED PLAT REFERENCED BELOW

BEARINGS ARE BASED ON THE RECORDED PLAT REFERENCED BELOW.
THIS SURVEY IS VALID ONLY WITH ORIGINAL SIGNATURE IN BLACK INK.

THIS IS TO DECLARE that on this date a survey was made on the ground, under my direction and supervision of the property located at 24 SHADY DALE LANE, and Being Lot Twenty One (21), Block A, of FOXCHASE PHASE FOUR, an addition in Rockwall County, Texas, according to the map or plat thereof recorded in Cabinet C, Page 284, of the Plat Records of Rockwall County, Texas.

There are no visible conflicts or protrusions, except as shown.

The subject property does not appear to lie within the limits of a 100-year flood hazard zone according to the map published by the Federal Emergency Management Agency, and has a Zone "X" Rating as shown by Map No. 48397C0040 L, dated SEPTEMBER 26, 2008. The statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This survey is not to be used for construction purposes and is for the exclusive use of the herein named purchaser, mortgage company, and title company only and this survey is made pursuant to that one certain title







CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) [*ORDINANCE NO. 25-02*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN ACCESSORY STRUCTURE ON A 0.417-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 21, BLOCK A, FOXCHASE, PHASE 4 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an *Accessory Structure* on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shady Dale Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an *Accessory Structure* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and Subsection 03.01, *General Residential District Standards*, Subsection 03.07, *Single-Family 10 (SF-10) District*, and

Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the *Accessory Structure* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance; and,
- 2) The proposed *Accessory Structure* shall not exceed 240 SF; and,
- 3) No additional *Accessory Structures*, *Accessory Buildings*, or *Detached Garages* shall be permitted on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of **TWO THOUSAND DOLLARS (\$2,000.00)** for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1st DAY OF DECEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 17, 2025

2nd Reading: December 1, 2025

Exhibit 'A':
Location Map

Address: 24 Shady Dale Lane

Legal Description: Lot 21, Block A, Foxchase Phase 4 Addition

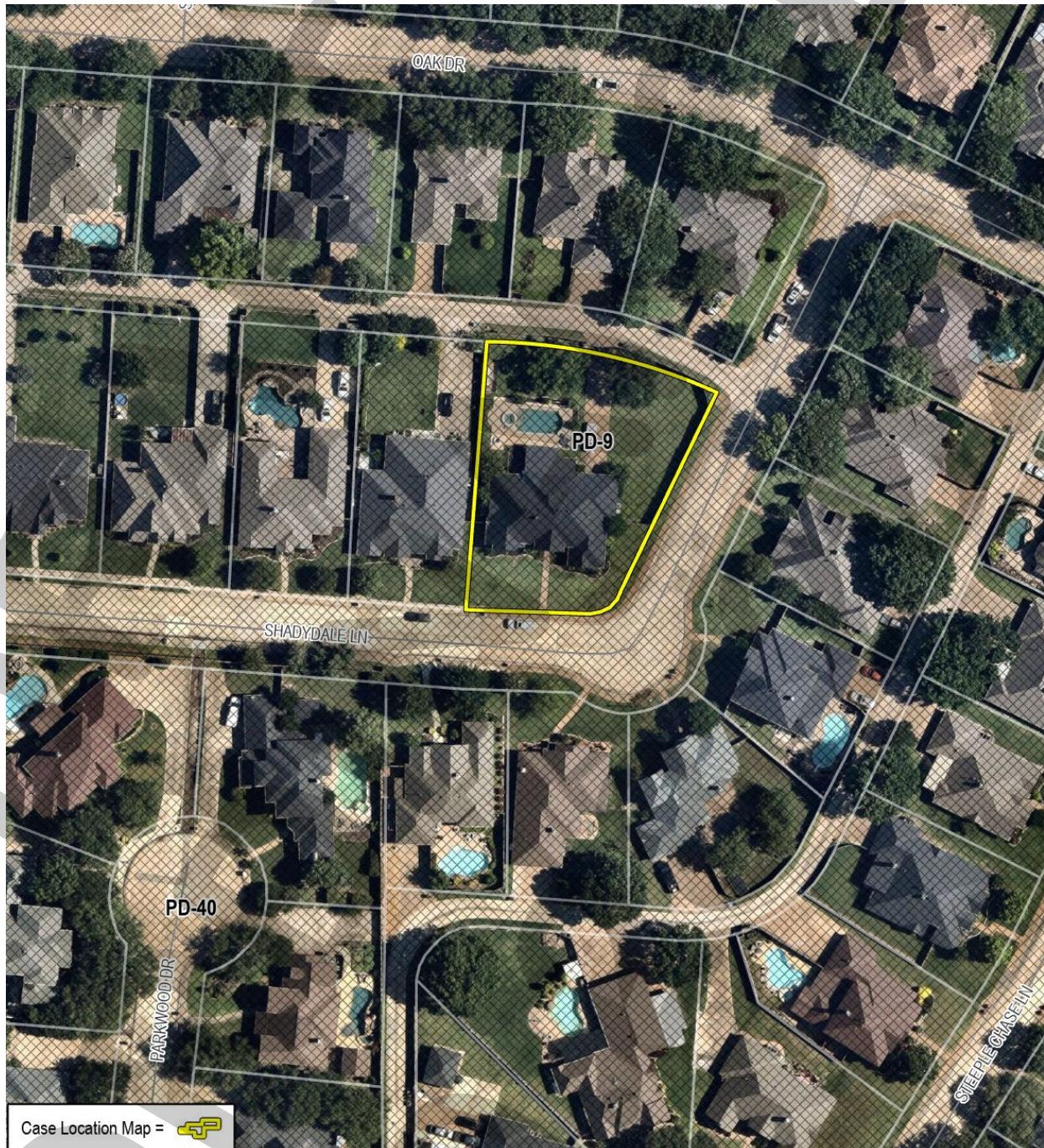
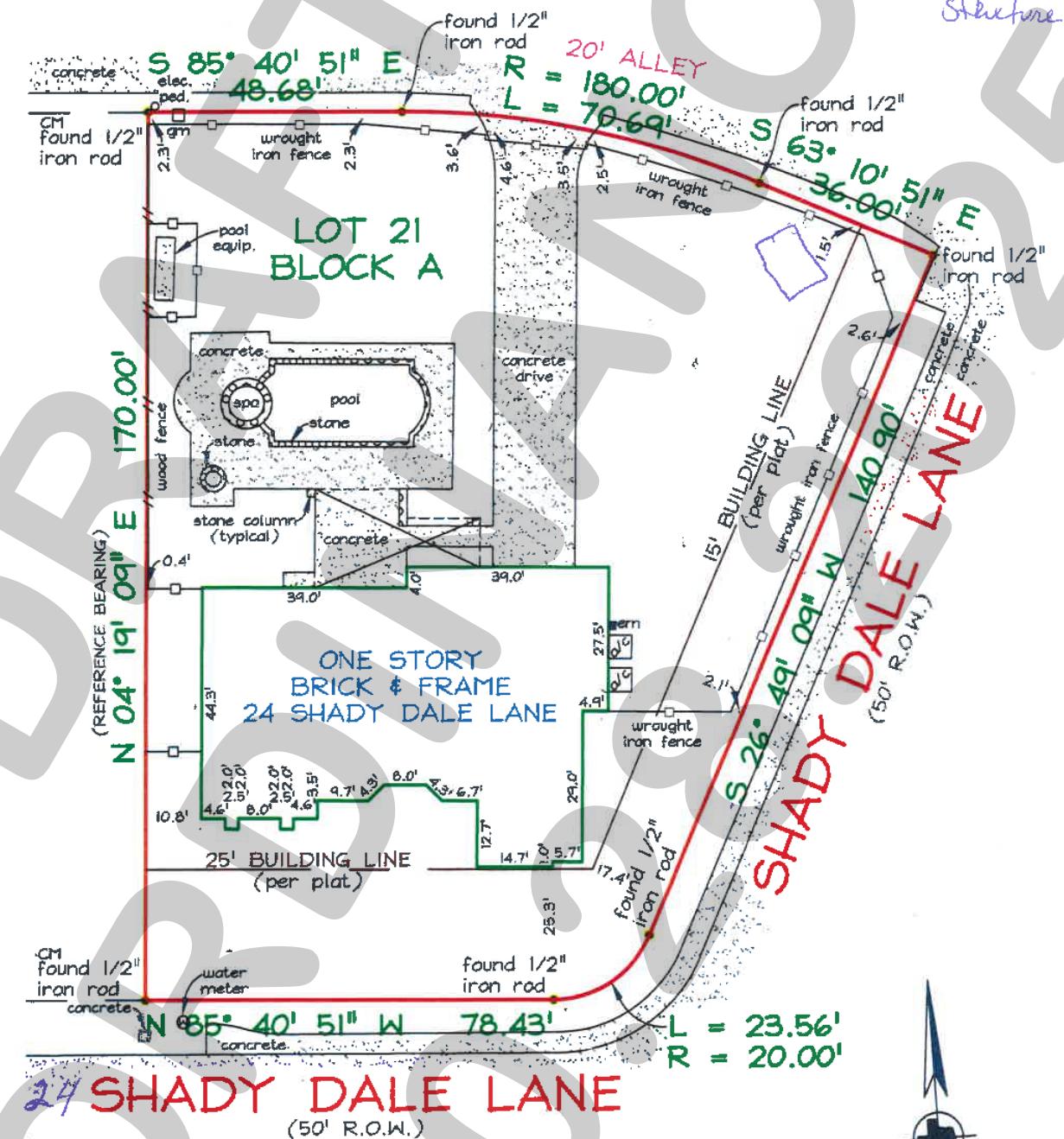


Exhibit 'B':
Residential Plot Plan

DALLAS/FORT WORTH
4625 EASTOVER DR.
MESQUITE, TX 75149
PH. 877.581.7072 FX. 1.888.438.1273





CITY OF ROCKWALL

PLANNING AND ZONING CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: November 11, 2025

APPLICANT: Kevin Sayles

CASE NUMBER: Z2025-069; *Specific Use Permit (SUP) for an Accessory Structure at 24 Shadydale Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

BACKGROUND

The subject property was annexed on October 29, 1973 by *Ordinance No. 73-44* [Case No. A1973-006]. On November 12, 1973, the City Council approved zoning case [*Ordinance No. 73-49*] that established the subject property as a part of Planned Development District 9 (PD-9), which dedicated the subject property for single-family land uses. Planned Development District 9 (PD-9) was then amended on June 16, 1986 [*Ordinance No. 86-55*] changing base zoning of the subject property to Single-Family 10 (SF-10) District. The City Council amended Planned Development District 9 (PD-9) an additional nine (9) times [*Ordinance No. 87-30, 88-13, 88-20, 95-17, 01-43, 04-02, 11-31, 13-43, & 24-02*]; however, none of these amendments made changes to the zoning or development standards for the subject property. On February 22, 1995, the City Council approved a final plat [Case No. 94-35-FP] that establish the subject property as Lot 21, Block A, Foxchase, Phase 4 Addition.

On September 4, 2025, the Neighborhood Improvement Service (NIS) Division issued a notice of violation [Case No. CE2025-5189] to the property owner for the construction of an Accessory Structure without a permit. Following the applicant's failure to submit for a Specific Use Permit (SUP) on September 12, 2025, two (2) separate citations were issued to the property. In response to this, the applicant applied for a Specific Use Permit (SUP) on October 17, 2025. Given that the proposed structure was constructed without receiving a building permit, the applicant was required to pay the \$1,000.00 *Non-Compliant Structure Fee* in addition to the standard development application fee.

PURPOSE

The applicant -- Kevin Sayles -- is requesting the approval of a Specific Use Permit (SUP) to allow an unpermitted Accessory Structure that exceeds the overall maximum allowable square footage to remain on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 24 Shadydale Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Phase 2 of the Foxchase Subdivision, which was established in 1994 and consists of 25 residential lots. Beyond this is Phase 5 of the Foxchase Subdivision, which was established in 1998 and consists of 48 residential lots. Both phases are zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses.

South: Directly south of the subject property is Shadydale Lane, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the remainder of Phase 4 of the Foxchase Subdivision, which was established

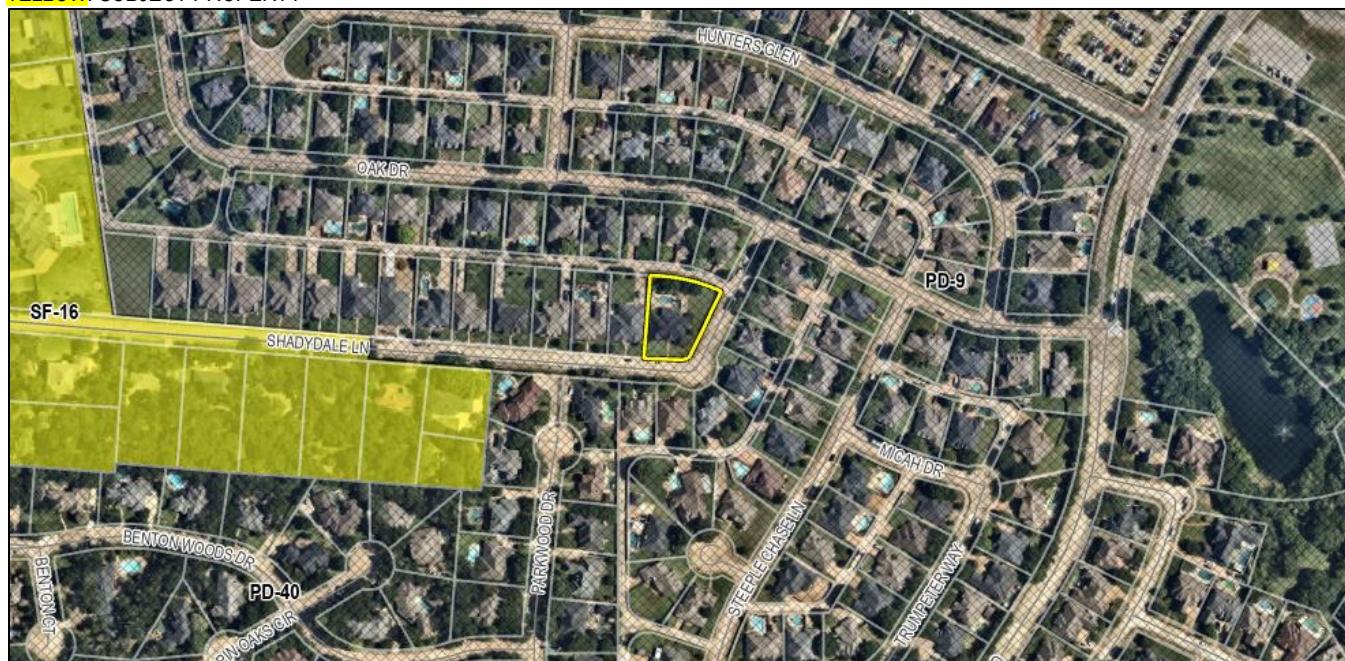
in 1995, consists of 40 residential lots, and is zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses.

East: Directly east of the subject property is the remainder of Phase 4 of the Foxchase Subdivision, which was established in 1995 and consists of 40 residential lots. Beyond this is Phase 6 of the Foxchase Subdivision, which was established in 2000 and consists of 37 residential lots. Both phases are zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses.

West: Directly west of the subject property is the Shadydale Estates Subdivision, which was established in 2014, consists of 14 residential lots, and is zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses. Beyond this is a 2.60-acre parcel of land (*i.e. Lot 1, Block A, Best Estate Addition*) developed with a single-family home, zoned Single Family 16 (SF-16) District. Following this is Ridge Road [FM-740], which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

According to the site plan provided by the applicant, the unpermitted Accessory Structure is 20-feet by 12-feet (or 240 SF), and is situated in the rear yard of the subject property. It will be located approximately three (3) feet from the rear property line, 15-feet from the front property line adjacent to Shadydale Lane, and have a permanent concrete foundation. The applicant has not provided any additional information related to the exterior materials, overall height, or roof pitch. The current condition on the subject property is that the Accessory Structure was constructed without a permit. It appears that the Accessory Structure is in violation of the 15-foot setback requirement adjacent to Shadydale Lane. In addition, the Accessory Structure is situated on concrete blocks and not on a permanent concrete foundation.



FIGURE 1: IMAGE OF THE UNPERMITTED ACCESSORY STRUCTURE

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single Family 10 (SF-10) District allows a maximum of two (2) accessory structures with a maximum square footage of 144 SF each. In addition, the maximum permissible height is 15-feet, and the minimum roof pitch is 3:12. The proposed *Accessory Structure* is 240 SF or 96 SF over the maximum allowable square footage. Staff requested that the applicant provide the height and roof pitch of the unpermitted *Accessory Structure*; however, no additional information has been provided. Currently the *Accessory Structure* is situated on top of concrete blocks and is *not* attached to a permanent foundation. The applicant is aware of this requirement and if approved is amenable to attaching the *Accessory Structure* to a concrete foundation. In addition, the proposed *Accessory Building* is required to meet the density and dimensional requirements for a Single-Family 10 (SF-10) District as contained in Subsection 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Number of Accessory Structures Permitted	2	<i>In Conformance</i>
Detached Garage (Maximum Square Footage)	144 SF	240 SF; <i>Not in Conformance</i>
Minimum Rear Yard Setback	3-Feet	<i>Unknown; Proposed 3-Feet</i>
Minimum Side Yard Setback (Adjacent to Shadydale Lane)	15-Feet	<i>Unknown; Proposed 15-Feet</i>
Maximum Building Height Between Buildings	15-Feet 10-feet	<i>Unknown; Appears to be X<15-Feet X>10-feet; In Conformance</i>

STAFF ANALYSIS

In reviewing a Specific Use Permit (SUP), the Planning and Zoning Commission and City Council are asked to consider: [1] if the structure was constructed without a permit or under false pretenses, [2] the size of the proposed *Accessory Structure* compared to the size of other *Accessory Structures* in the area/neighborhood/subdivision, and [3] the size, architecture, and location of the proposed accessory structure compared to those of the primary structure. In this case, the proposed request was constructed without a building permit, exceeds the maximum size requirements, and architecture does not appear to match the single-family home. In addition, the applicant has failed to provide staff with the requested information regarding the height, roof pitch, and materials. Staff completed an inventory of all *Accessory Structures* within the Foxchase Subdivision near the subject property. Based on the inventoried properties six (6) of the 57 properties had one (1) *Accessory Structure*, four (4) were unpermitted, and the largest was approximately 130 SF. This would make the applicant's *Accessory Structure* the largest in this part of the Foxchase Subdivision.

With all this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On October 18, 2025, staff mailed 89 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Foxchase, Benton Woods, and Rainbow Lakes Homeowners Associations (HOAs), which are the only HOA or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received seven (7) notices in opposition and two (2) notices in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve of the applicant's request for a Specific Use Permit (SUP) for an *Accessory Building*, then staff would propose the following conditions of approval:

- (1) The applicants shall be responsible for maintaining compliance with the operational conditions contained within the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit B* of the Specific Use Permit (SUP) ordinance; and,
 - (b) The proposed Accessory Structure shall not exceed 240 SF; and,
 - (c) The proposed Accessory Structure shall be attached to a permanent concrete foundation; and,
 - (d) No additional Accessory Structures, Accessory Buildings, or Detached Garages shall be permitted on the *Subject Property*.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 24 Shady Dale Ln Rockwall TX 75032

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Kevin Sayles

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

24 Shady Dale Ln

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75032

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Sayles [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

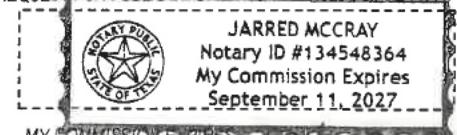
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF October, 2025.

OWNER'S SIGNATURE

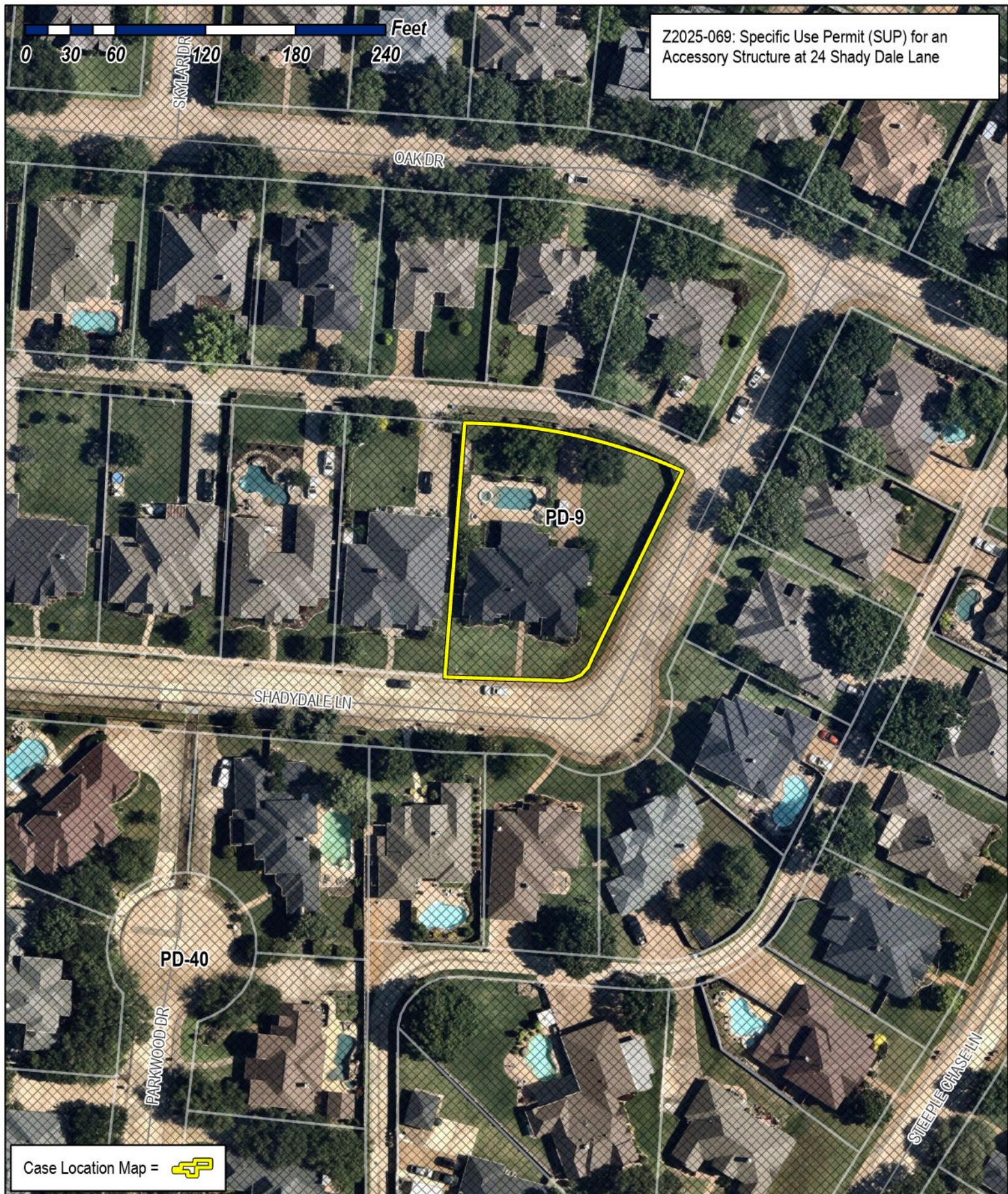
Kevin Sayles

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

09/11/2027



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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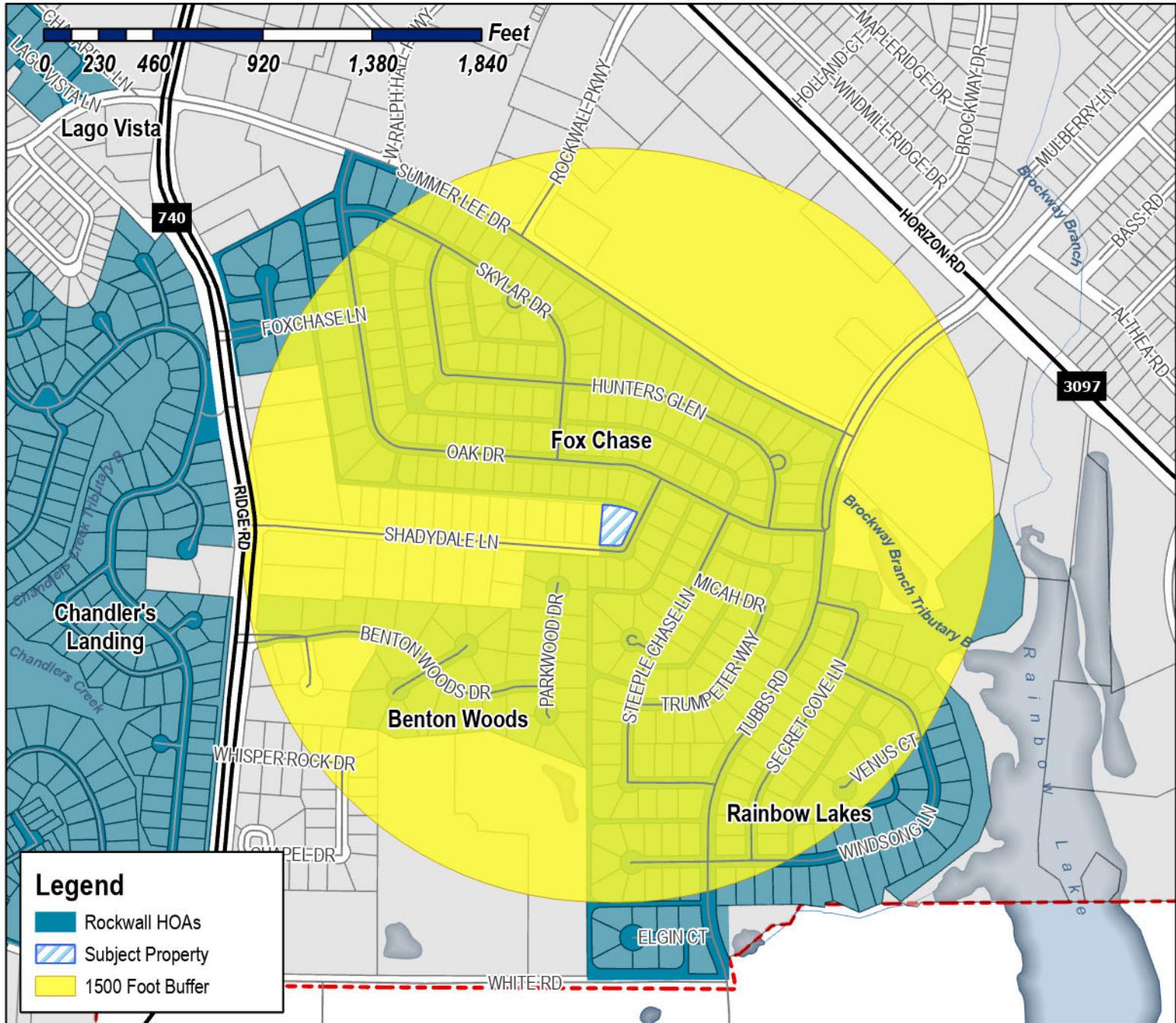




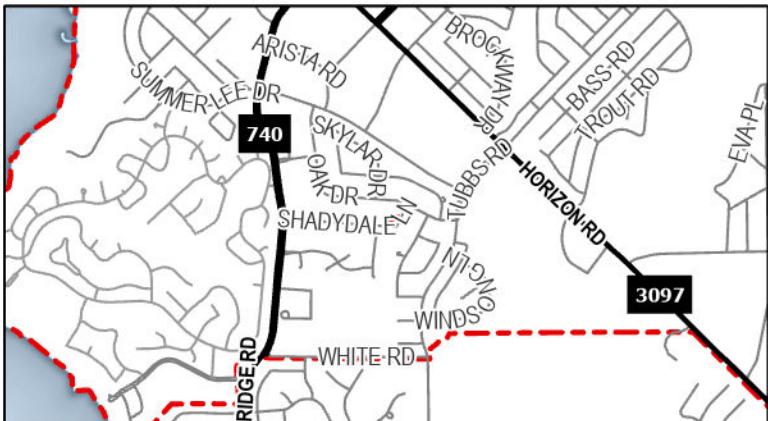
City of Rockwall

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Case Number: Z2025-069
Case Name: SUP for a Portable Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 24 Shady Dale Lane



Miller, Ryan

From: Zavala, Melanie
Sent: Wednesday, October 22, 2025 2:23 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2025-069]
Attachments: HOA Map (10.22.2025).pdf; Public Notice (10.20.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, October 24, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-069: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

Melanie Zavala

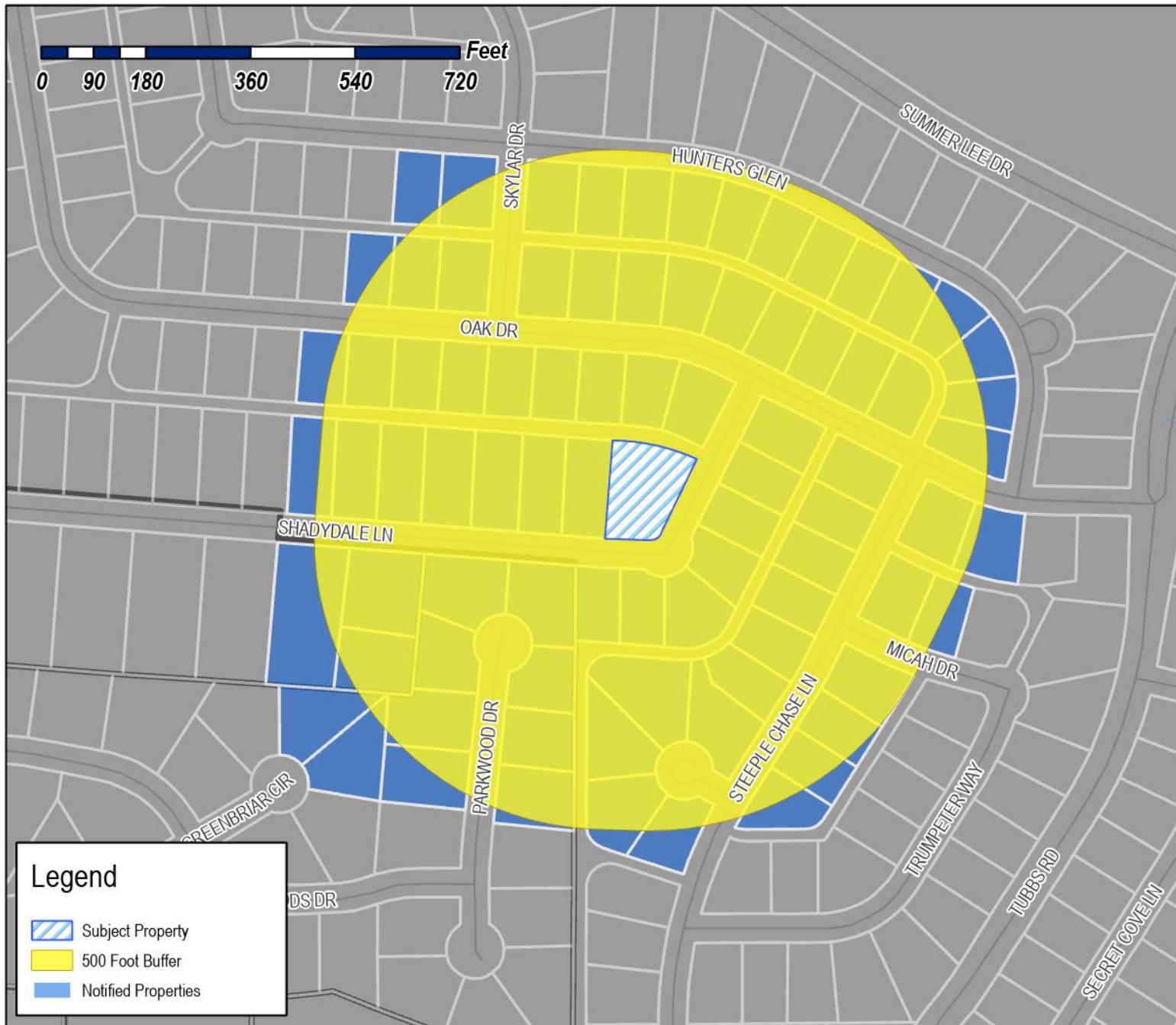
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](https://sites.google.com/site/rockwallplanning/development/development-cases)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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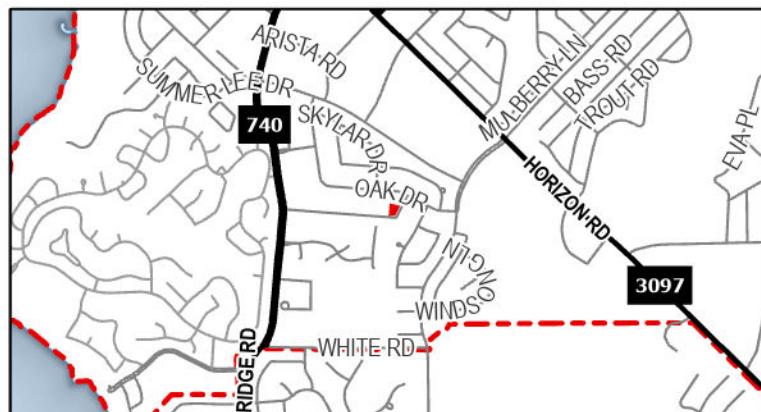
Legend

- Subject Property
- 500 Foot Buffer
- Notified Properties

Case Number: Z2025-069
Case Name: SUP for a Portable Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 24 Shady Dale Lane

Date Saved: 10/17/2025

For Questions on this Case Call: (972) 771-7745



ROYALAND PROPERTIES LLC
11034 GRISSOM LANE
DALLAS, TX 75229

REDDEN TRAVIS
1115 CONCAN DRIVE
FORNEY, TX 75126

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

BALLARD STEVE & ANNABETH
17 SHADYDALE LANE
ROCKWALL, TX 75032

DOSKOCIL PATRICK AND GLINDA
19 SHADYDALE LN
ROCKWALL, TX 75032

ROMAN MARIA G & ARMANDO POMPOSO
23 SHADY DALE LN
ROCKWALL, TX 75032

WILLIS GEORGE V & KAREN
24 SHADY DALE LN
ROCKWALL, TX 75032

SNIDER VICTOR BRUCE & JUDY LYNNE
25 SHADY DALE LN
ROCKWALL, TX 75032

SUDELA THOMAS S AND KAREN C
26 SHADY DALE LN
ROCKWALL, TX 75032

PARVIN RHONDA
27 SHADY DALE LN
ROCKWALL, TX 75032

WEINTRAUB DONALD AND KATHLEEN
28 SHADY DALE LANE
ROCKWALL, TX 75032

TAGGART FAMILY TRUST
MICHAEL JORDAN TAGGART & KELLY ANNE
TAGGART - TRUSTEES
2843 MIRA VISTA LN
ROCKWALL, TX 75032

HUFFMAN JAMES D & STEPHANIE L
29 SHADY DALE LN
ROCKWALL, TX 75032

BESS JULIE M AND JOHN HAGAMAN
30 SHADY DALE LN
ROCKWALL, TX 75032

HOYA CHARLOTTE G
3006 OAK DR
ROCKWALL, TX 75032

GROSS STEPHEN R & MICHELLE L
3014 OAK DR
ROCKWALL, TX 75032

RESIDENT
3015 OAK DR
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A
3021 Ridge Rd Ste A PMB 131
Rockwall, TX 75032

FOLKS ARCHIE PATRICK & JANETTE E
3022 OAK DR
ROCKWALL, TX 75032

PETROCELLY JUNE LIVING TRUST
JUNE PETROCELLY TRUSTEE
3023 OAK DRIVE
ROCKWALL, TX 75087

2024 G S SLOAN REVOCABLE TRUST
GARY DEAN & STEPHANIE ANN SLOAN -
TRUSTEE
3030 OAK DR
ROCKWALL, TX 75032

DAVIS ANN SHERRILL
3033 OAK DR
ROCKWALL, TX 75032

NANCE CARLTON ERIC & RHONDA D
3107 OAK DR
ROCKWALL, TX 75032

BOWERS DENNIS & COLLEEN
3108 OAK DR
ROCKWALL, TX 75032

MCMAHON SANDRA
3115 OAK DR
ROCKWALL, TX 75032

BEVAN MARILYN
3116 OAK DR
ROCKWALL, TX 75032

KUBIAK NICHOLAS E AND JENNIFER L
3123 OAK DR
ROCKWALL, TX 75032

CHILDRESS SHERRY L
3124 OAK DR
ROCKWALL, TX 75032

MISHLER JEREMY & CHRISTI
3131 OAK DR
ROCKWALL, TX 75032

MANNO SHARON &
PAUL FULLINGTON
3134 OAK DR
ROCKWALL, TX 75032

DODSON GERELDENE
3139 OAK DR
ROCKWALL, TX 75032

DICKINSON JONATHAN PAUL & THERESA
MICHELLE
3144 OAK DRIVE
ROCKWALL, TX 75032

STANLEY RONALD ALAN & JENNIFER J
3147 OAK DR
ROCKWALL, TX 75032

HOWELL RANDALL R & DANA L
3155 OAK DR
ROCKWALL, TX 75032

DIESSONGO THIERRY AND
MARIAME DIESSONGO
3163 OAK DR
ROCKWALL, TX 75032

PIKE MARTIN E & JANET L
3171 OAK DRIVE
ROCKWALL, TX 75032

WEICHEL JAMES D & KRISTEN E
3182 OAK DR
ROCKWALL, TX 75032

BALLI NOE III & LYNN E
3190 OAK DR
ROCKWALL, TX 75032

KASIRI SAHBA AND SARA SADEGH
32 SHADY DALE LN
ROCKWALL, TX 75032

TINDALL CINDY P
34 SHADY DALE LN
ROCKWALL, TX 75032

WATSON BRANDON AND VALERIE
36 SHADY DALE LN
ROCKWALL, TX 75032

RESIDENT
38 SHADYDALE LN
ROCKWALL, TX 75032

HERNANDEZ ANDRES & MISTY
4550 STEEPLE CHASE LN
ROCKWALL, TX 75032

HARRIS GERALD T & SHERRI K
4558 STEEPLE CHASE LN
ROCKWALL, TX 75032

KIRK MARGIE
4566 STEEPLE CHASE LN
ROCKWALL, TX 75032

KEITH LARRY J & CAROLYN K
4574 STEEPLE CHASE LN
ROCKWALL, TX 75032

ARNDT GARY & DIANNE
4608 STEEPLE CHASE LN
ROCKWALL, TX 75032

POWELL ALEAH D
4609 STEEPLE CHASE LN
ROCKWALL, TX 75032

BRANNING BARRY S & LINDA R
4616 STEEPLE CHASE LN
ROCKWALL, TX 75032

RESIDENT
4617 STEEPLE CHASE LN MICHAEL JORDAN
TAGGART & KELLY ANNE TAGGART - TRUSTEES
ROCKWALL, TX 75032

WATSON MATTHEW WAYNE
4625 STEEPLE CHASE
ROCKWALL, TX 75087

KHODAPARAST RAHIM & ROYA
4630 PARKWOOD DR
ROCKWALL, TX 75087

VEST DONALD R
4633 PARKWOOD DR
ROCKWALL, TX 75032

FLORANCE WILLIAM C & KATHRYN E
4633 STEEPLE CHASE LANE
ROCKWALL, TX 75032

CARNEVALE EDWARD A JR AND PAMELA D
4648 PARKWOOD DRIVE
ROCKWALL, TX 75032

RESIDENT
4649 PARKWOOD DR
ROCKWALL, TX 75032

FREEMAN DENWARD LEE & ELIZABETH ANN
4660 GREENBRIAR CT
ROCKWALL, TX 75032

KUBIN CHRISTOPHER J AND ABIGAIL
4670 PARKWOOD DR
ROCKWALL, TX 75032

LIGHT LEIGH ANN AND JEFF
4671 GREENBRIAR CT
ROCKWALL, TX 75032

ZEHR JACK L & EDITH L
4671 PARKWOOD DR
ROCKWALL, TX 75032

SHIPMAN EARL RAPHE & DELAMIE
4690 PARKWOOD DR
ROCKWALL, TX 75087

PARENT RICHARD DAVID & MARIE L
4691 PARKWOOD DR
ROCKWALL, TX 75082

WEBSTER DAVID L
501 E OLD GREENVILLE RD
ROYSE CITY, TX 75189

CARTER SHARON R
BLANKENSHIP DON L & AUDREY LIFE ESTATE
6 SHADY DALE LN
ROCKWALL, TX 75032

28 PLAZA LTD
601 KILLARNEY
RICHARDSON, TX 75201

RESIDENT
7 SHADYDALE LN
ROCKWALL, TX 75032

RESIDENT
7 SHADYDALE LN
ROCKWALL, TX 75032

WATSON BARBARA
743 MICAH DR
ROCKWALL, TX 75032

SMITH MICHAEL & KATRINA
751 MICAH DR
ROCKWALL, TX 75032

BENNETT FAMILY LIVING TRUST
WILLIAM THOMAS AND JUDY M BENNETT
TRUSTEES
754 HUNTERS GLN
ROCKWALL, TX 75032

KUEHL FAMILY LIVING TRUST
LESLIE L KUEHL AND SUSAN B KUEHL- TRUSTEES
762 HUNTERS GLEN
ROCKWALL, TX 75032

BROWN SANDRA MARIE
770 HUNTERS GLEN
ROCKWALL, TX 75032

SHERROD ROBERT T & AMY
778 HUNTERS GLN
ROCKWALL, TX 75032

ROMER FRANK L & MARCY L AND
MARISSA P
786 HUNTERS GLEN
ROCKWALL, TX 75032

NGUYEN TAMMY
7910 SARAHVILLE DR
DALLAS, TX 75252

HONG TAE SU & SUNSIL
794 HUNTERS GLN
ROCKWALL, TX 75032

STANFORD STEVEN R AND KIRSTEN L
802 HUNTERS GLEN
ROCKWALL, TX 75032

CHRISTENSEN BRIAN & JENNIFER
810 Hunters Gln
Rockwall, TX 75032

BRADY LISA AND RALPH
826 HUNTERS GLEN
ROCKWALL, TX 75032

SCOTT MARY ELIZABETH
834 HUNTERS GLEN
ROCKWALL, TX 75032

BRISCOE JULIE
842 HUNTERS GLEN
ROCKWALL, TX 75032

DIETERICH GEORGE D & JOHANNA
846 STEEPLE CHASE CT
ROCKWALL, TX 75032

CARNES LINDA M
850 HUNTERS GLN
ROCKWALL, TX 75032

HESKETT RHEA
850 STEEPLE CHASE COURT
ROCKWALL, TX 75032

ANDERSON LARY & LAURIE
854 STEEPLE CHASE CT
ROCKWALL, TX 75032

LEONARD SCOTT E AND CATHERINE W
858 STEEPLE CHASE CT
ROCKWALL, TX 75032

MCGUIRE JOHN L & LISA L
862 STEEPLE CHASE CT
ROCKWALL, TX 75032

ERICKSON MARIUM E LIVING TRUST
906 HUNTERS GLEN
ROCKWALL, TX 75032

MONK JEFFREY CHAD REVOCABLE LIVING TRUST
JEFFREY CHAD MONK TRUSTEE
914 HUNTERS GLEN
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-069: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: alan@advbussys.com
To: [Planning](#)
Subject: Case No. Z2025-069
Date: Sunday, October 26, 2025 7:51:38 AM

To whom it may concern. I and my wife discussed the case and we have determined that we oppose the amendment referenced in the case. If we allow this change we forfeit our voice moving forward. We have discipline within the existing laws to enforce this violation.

Regards,

Alan and Jennifer Stanley

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

PLEASE RETURN THE BELOW FORM-----

Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

This accessory unit does not fit in, it's way too large and tall and an eye sore to the neighbors. We are concerned if this is allowed to stay then anyone can do this too. Why have rules if we don't intend to follow them?

Name: Donald Weintzau B

Address: 28 Shadydale Lane

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

BUILDING APPEARS TO BE 16 X 12 WHICH IS A LITTLE OVER
144 FT² PERMITTED - BUILDING APPEARS TO BE GOOD QUALITY
AND WHITE MATCHES HOUSE.

Name: Scott Leonard

Address: 858 STEFAN CHASE CT Rockwall TX 75072

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

It's a nice storage unit, but if it could have been placed in an area a little less conspicuous area would have been nicer & appreciated.

Name: TOM Sudela

Address: 26 Shady Dale Lane Rockwall TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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CITY OF ROCKWALL • PLANNING AND ZONING DEPARTMENT • 385 S. GOLIAD STREET • ROCKWALL, TEXAS 75087 • P: (972) 771-7745 • E: PLANNING@ROCKWALL.COM

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name: William Thomas and Judy M. Bennett
Address: 754 Hunters Glen, Rockwall, TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: [Victor Snider](#)
To: [Ross, Bethany](#)
Subject: Zoning Case Z2025-069
Date: Tuesday, October 28, 2025 8:45:11 AM

I am opposed to this request. The building in question is higher than the privacy fence which surrounds the area. It obstructs the skyline, and if an exception is made for this resident then more requests may be made. I have spoken with several of our neighbors, and they are against this supplemental zoning change as well.

Please deny this request.

Victor Bruce and Judy Snider
25 Shady Dale Lane
Rockwall, TX 75032all

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Please place a check mark on the appropriate line below:

11/3/25

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I live across the street from 24 Shady Dale Ln. and this structure in no way hinders my view or bothers me in any way; I can barely see the top of the structure.

Name:

Rhonda D. Parvin

Address:

27 Shady Dale Ln, Rockwall, TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PUBLIC NOTICE



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PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Allowing this non-permitted structure to remain in place sets a bad precedent. Code enforcement should ensure that all homes in the Fox Chase Subdivision are in compliance.

Name: *RANDALL R. HOWELL*

Address: *3155 OAK DR. Rockwall 75032*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PHONE: (972) 771-7745
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385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

SEE ATTACHED

Name: *LES + SUE KUEHL*
Address: *762 HUNTERS GLEN*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

RESTRICTIVE COVENANTS APPLICABLE TO
FOX CHASE PHASE FIVE
ROCKWALL COUNTY, ROCKWALL, TEXAS

THE STATE OF TEXAS }
 } KNOW ALL MEN BY THESE PRESENT:
COUNTY OF ROCKWALL }

THAT the undersigned, FOX CHASE DEVELOPMENT CORP., a Texas corporation ("Developer"), being the owner of the real property platted as Fox Chase, Phase Five (the "Subdivision"), an addition to the City of Rockwall, Texas, according to the map thereof recorded on August 8, 1998, in the Cabinet D, Page 110, 111, 112, Map Records, Rockwall County, Texas, containing lots designated as Lots 10 through 13, Block D; Lots 1 through 31, Block E; and Lots 10 through 22, Block F, Phase 5, inclusive (the "Lots"), does hereby restrict the use of said real property and imposes the following provisions upon said real property as hereinafter set out, which restrictions and provisions shall be binding upon Developer, the owners of record fee simple title to the Lots and their respective heirs, legal representatives, successors and assigns, and said restrictions shall be covenants running with the land.

ARTICLE II
CONSTRUCTION OF IMPROVEMENTS
AND USE OF LOTS

Section 2.01 All Lots in the Subdivision shall be used for residential purposes only. No structure intended for or adapted to business purposes shall be erected, permitted or maintained on a Lot, or any part thereof, save and except those related to development, construction and sales purposes of Developer. This covenant shall be construed as prohibiting the engaging in or practice of any commerce, industry, business, trade or profession on any Lot. The restrictions on use herein contained shall be cumulative of, and in addition to, such restrictions on usage as may from time to time be applicable under and pursuant to the

statutes, rules, regulations and ordinances of the City of Rockwall, Texas or any other governmental authority having jurisdiction over any Lot. No structure shall be erected, altered, placed or permitted to remain on any Lot except a single family dwelling ("Residence"), and such other customary and usual ancillary structures as are hereinafter permitted.

Section 2.04 No structure of any type shall be erected on any Lot in the Subdivision nearer the front Lot line than the setback line indicated on the recorded plat of the Subdivision, and no structure of any type shall be erected closer to the side Lot lines than a distance of six (6) feet from the side Lot lines (or such greater distance for a particular Lot as may be indicated on the recorded plat of the Subdivision.) No structure of any type shall be erected on any Lot nearer the rear Lot line than the setback line permitted by the ordinance of the City of Rockwall governing such matters at the time of the erection of such structure.

Section 2.07 Each Residence shall have attached to it a garage with sufficient space for two (2) conventional automobiles. Each garage shall have an entrance facing the rear of side Lot lines, but not facing the front Lot line. Exceptions may be made for homes with detached garages. The Architectural Control Committee may give written permission for the entrance of a detached garage to face the front building line. All carports, servants quarters, guest quarters or storage rooms erected or placed on a Lot shall be attached to the Residence. Gazebos unattached to the Residence may be permitted with the prior written approval of Developer or the Architectural Control Committee. Any storage room approved by the Developer or Architectural Control Committee must be 75% Brick (with the brick matching the Residence), the roof must match the Residence, and the size must not exceed 80 square feet. Additionally, the location of said storage room must be identified by Owner in writing prior to submission to Developer or by Owner in writing prior to submission to Developer or Architectural Control Committee and subsequently approved prior to construction.

ARTICLE III
ARCHITECTURAL CONTROL

Word! ONE SENTENCE

Section 3.01 No Lot shall be further subdivided and no building or other improvement of any character (either permanent or temporary) shall be erected or placed, or the erection or placing thereof commenced, or changes made in the design thereof or any addition made thereto or exterior alteration made therein after original construction, on any Lot in the Subdivision without the written approval of Developer or the Architectural Control Committee of such further subdivision, or of the construction plans and specifications and a plat showing the location and dimensions of such building or other improvements. Plans, and specifications shall show the nature, kind, shape, height, materials, exterior color, location and all other material attributes. Developer or the Architectural Control Committee shall have the right, in their sole discretion, to disapprove any plans, specifications and plats submitted for any of the following reasons: (a) if such plans, specifications and plats are not in accordance with any of the provisions of these Restrictive Covenants or the codes, ordinances and regulations of the City of Rockwall, Texas, or any other laws or regulations; (b) if the external design, elevation, appearance, location or color scheme for the proposed improvements are not in harmony with the general surroundings of the Subdivision or with existing or proposed adjacent structures or with the topography; (c) if the plans, specification and plats submitted are incomplete; (d) if the design, appearance or location of any landscaping is not in harmony with the general surrounding or topography; (e) if the plans do not provide for adequate structural integrity or structural support for the improvements; (f) if the plans, specifications and plats do not provide for approved quality of materials or finished grade elevation; (g) if the improvements obstruct the view from nearby or adjoining Lots; or (h) if Developer or the Architectural Control Committee deems the plans, specifications and plats, or any part thereof, to be contrary to the interest, welfare or rights of any or all part of the Subdivision. Developer or the Architectural Control Committee is authorized to accept whatever plans, specifications or plats as they deem desirable within their sole discretion to be in satisfaction of the foregoing.



Residential Projects That Require a Permit

Telephone Numbers
Main Number: 972-771-7709
Office Hours: M-F 8:00 a.m.– 5:00 p.m.



Building Permit Applications and **Contractor Registrations** can be submitted online through our **CityWorks Portal**. Here's a link to the portal: <https://cityworks.rockwall.com/PublicAccess/template/login.aspx>. Just sign up and/or log into the portal and click +NEW APPLICATION at the top center of the page to begin your permit application or registration.

Building Permits are required for the residential projects listed below. If your project is not listed and is outside the scope of cosmetic work (ie. painting, flooring), please contact our office to review with a Permit Technician.

Projects that Require a Permit:

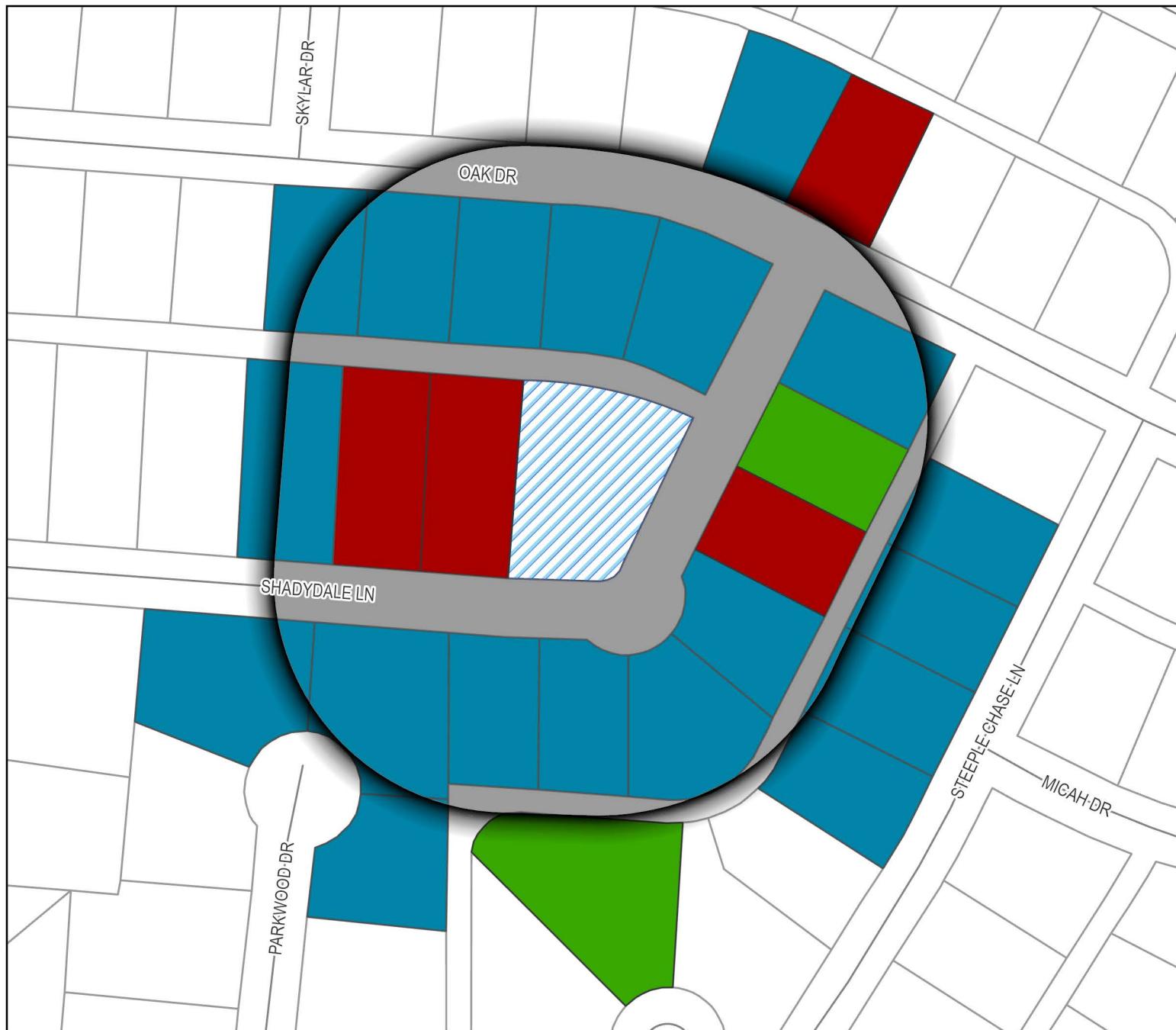
- New Construction homes, remodels and additions
- Plumbing work
- Electrical work
- HVAC Mechanical work
- Storm Shelter/Safe Rooms
- Water Heater Replacement
- Heating & AC Replacement
- Concrete Driveways, Sidewalks, Patio slabs
- Retaining Walls
- Gazebos
- Roof replacement
- Demolitions
- Irrigation & Sprinkler Systems
- Moving a building or mobile home
- Swimming Pools
- Hot Tubs
- Spas
- Storage Buildings/Guest Quarters
- Detached Garage
- Driveways
- Patios
- Patio Covers
- Carports
- Sunrooms
- Greenhouse
- Decks
- Solar Panels
- EV Power Walls/Supply Chargers
- Backup Generators
- Takeline projects
- Artificial Turf
- Flag Poles



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Z2025-069 SUP for 24 Shady Dale Lane

-  Subject Property
-  For (0.227 Acres) 4.16%
-  Against (0.822 Acres) 15.0 %
-  No Response (2.789 Acres) 51.0%
-  ROW (1.626 Acres) 29.7%

*All Response calculations are based of properties located within the 200 Ft buffer area

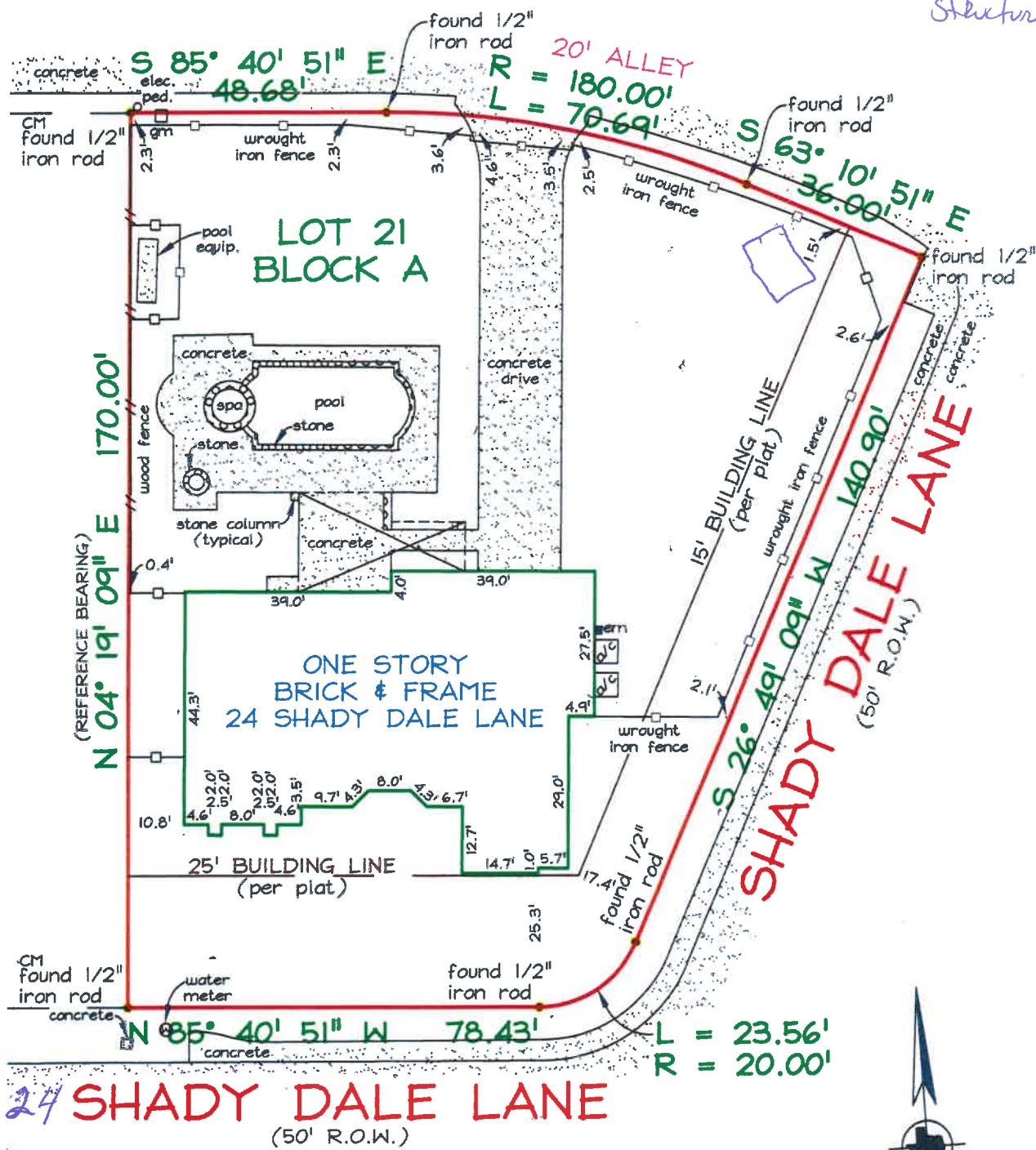
Date Saved: 11/7/2025

For Questions on this Case Call (972) 771-7745





3 ft From Rear
6 ft From any other Structure



NOTES:

CM = CONTROLLING MONUMENT.

THIS PROPERTY IS NOT AFFECTED BY THE FOLLOWING:

(10e)-EASEMENT VOL 64 PG 274 D.R.R.G.T.

(10e)-EASEMENT, VOL. 64, PG. 274, D.R.R.C.C.
(10f)-EASEMENT, VOL. 63, PG. 82, D.R.R.C.T.

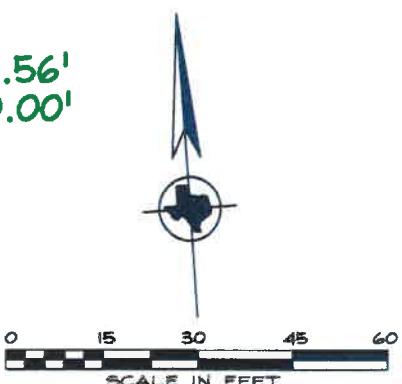
BEARINGS ARE BASED ON THE RECORDED PLAT REFERENCED BELOW

BEARINGS ARE BASED ON THE RECORDED PLAT REFERENCED BELOW.
THIS SURVEY IS VALID ONLY WITH ORIGINAL SIGNATURE IN BLACK INK.

THIS IS TO DECLARE that on this date a survey was made on the ground, under my direction and supervision of the property located at 24 SHADY DALE LANE, and Being Lot Twenty One (21), Block A, of FOXCHASE PHASE FOUR, an addition in Rockwall County, Texas, according to the map or plat thereof recorded in Cabinet C, Page 284, of the Plat Records of Rockwall County, Texas.

There are no visible conflicts or protrusions, except as shown.

The subject property does not appear to lie within the limits of a 100-year flood hazard zone according to the map published by the Federal Emergency Management Agency, and has a Zone "X" Rating as shown by Map No. 48397C0040 L, dated SEPTEMBER 26, 2008. The statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This survey is not to be used for construction purposes and is for the exclusive use of the herein named purchaser, mortgage company, and title company only and this survey is made pursuant to that one certain title







CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) [*ORDINANCE NO. 25-02*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN ACCESSORY STRUCTURE ON A 0.417-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 21, BLOCK A, FOXCHASE, PHASE 4 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an *Accessory Structure* on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shady Dale Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an *Accessory Structure* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and Subsection 03.01, *General Residential District Standards*, Subsection 03.07, *Single-Family 10 (SF-10) District*, and

Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the *Accessory Structure* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance; and,
- 2) The proposed *Accessory Structure* shall not exceed 240 SF; and,
- 3) No additional *Accessory Structures*, *Accessory Buildings*, or *Detached Garages* shall be permitted on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of **TWO THOUSAND DOLLARS (\$2,000.00)** for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1st DAY OF DECEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 17, 2025

2nd Reading: December 1, 2025

Exhibit 'A':
Location Map

Address: 24 Shady Dale Lane

Legal Description: Lot 21, Block A, Foxchase Phase 4 Addition

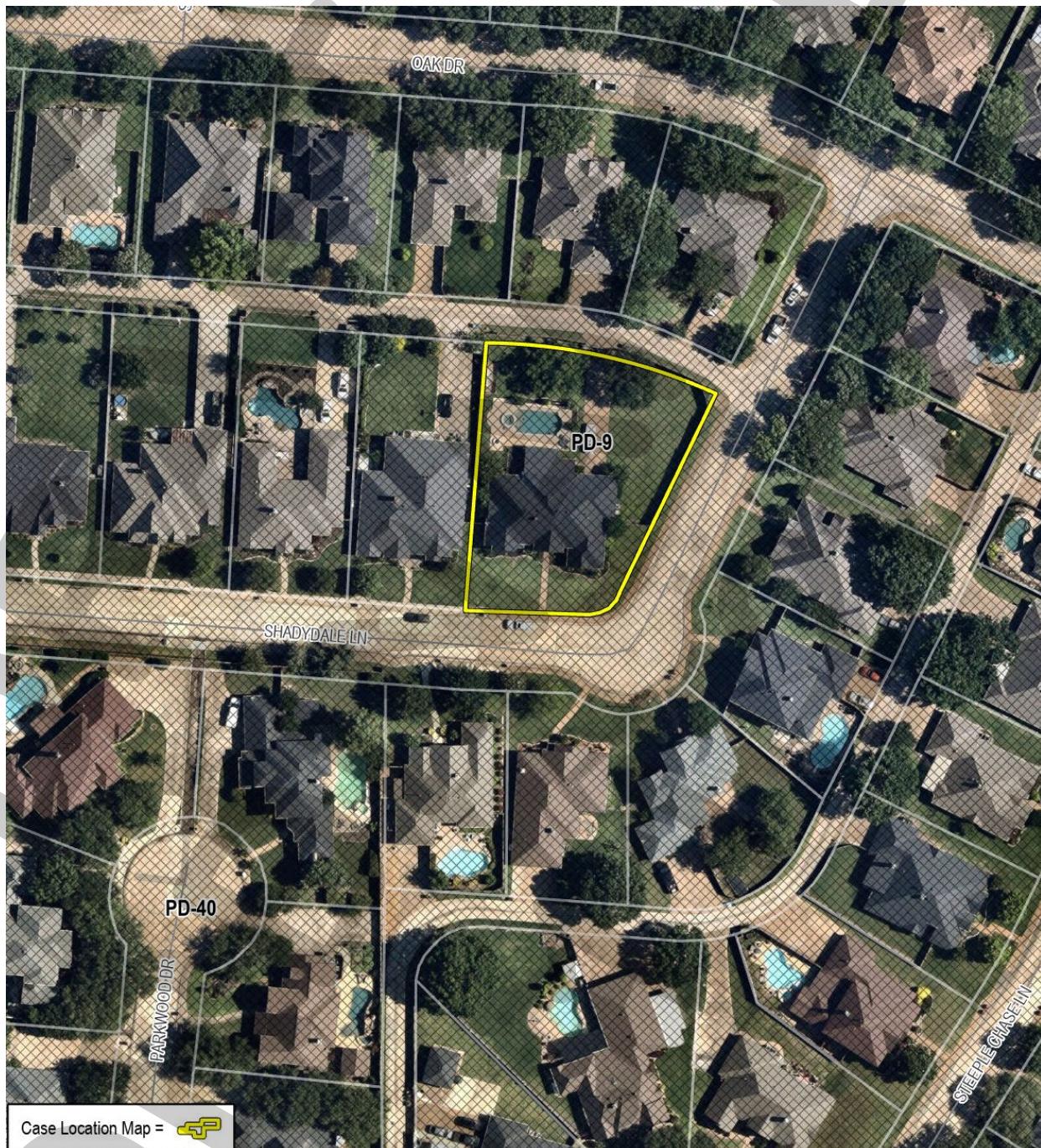
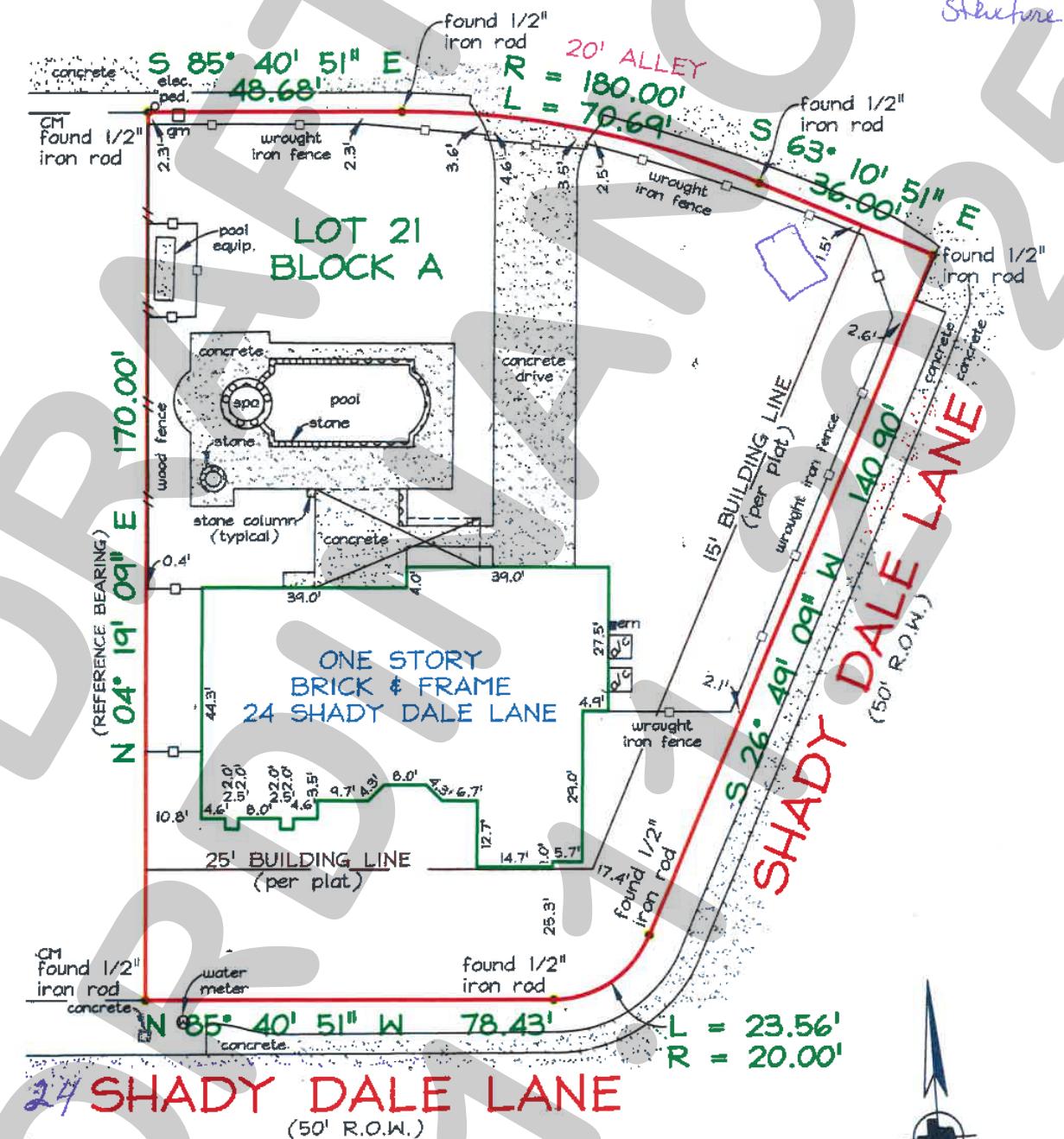


Exhibit 'B':
Residential Plot Plan

DALLAS/FORT WORTH
4625 EASTOVER DR.
MESQUITE, TX 75149
PH. 877.581.7072 FX. 1.888.438.1273





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: November 17, 2025

APPLICANT: Kevin Sayles

CASE NUMBER: Z2025-069; *Specific Use Permit (SUP) for an Accessory Structure at 24 Shadydale Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a *Specific Use Permit (SUP)* for an *Accessory Structure* on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

BACKGROUND

The subject property was annexed on October 29, 1973 by *Ordinance No. 73-44* [Case No. A1973-006]. On November 12, 1973, the City Council approved zoning case [*Ordinance No. 73-49*] that established the subject property as a part of Planned Development District 9 (PD-9), which dedicated the subject property for single-family land uses. Planned Development District 9 (PD-9) was then amended on June 16, 1986 [*Ordinance No. 86-55*] changing base zoning of the subject property to Single-Family 10 (SF-10) District. The City Council amended Planned Development District 9 (PD-9) an additional nine (9) times [*Ordinance No. 87-30, 88-13, 88-20, 95-17, 01-43, 04-02, 11-31, 13-43, & 24-02*]; however, none of these amendments made changes to the zoning or development standards for the subject property. On February 22, 1995, the City Council approved a final plat [Case No. 94-35-FP] that establish the subject property as Lot 21, Block A, Foxchase, Phase 4 Addition.

On September 4, 2025, the Neighborhood Improvement Service (NIS) Division issued a notice of violation [Case No. CE2025-5189] to the property owner for the construction of an *Accessory Structure* without a permit. Following the applicant's failure to submit for a *Specific Use Permit (SUP)* on September 12, 2025, two (2) separate citations were issued to the property. In response to this, the applicant applied for a *Specific Use Permit (SUP)* on October 17, 2025. Given that the proposed structure was constructed without receiving a building permit, the applicant was required to pay the \$1,000.00 *Non-Compliant Structure Fee* in addition to the standard development application fee.

PURPOSE

The applicant -- Kevin Sayles -- is requesting the approval of a *Specific Use Permit (SUP)* to allow an unpermitted *Accessory Structure* that exceeds the overall maximum allowable square footage to remain on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 24 Shadydale Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Phase 2 of the Foxchase Subdivision, which was established in 1994 and consists of 25 residential lots. Beyond this is Phase 5 of the Foxchase Subdivision, which was established in 1998 and consists of 48 residential lots. Both phases are zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses.

South: Directly south of the subject property is Shadydale Lane, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the remainder of Phase 4 of the Foxchase Subdivision, which was established

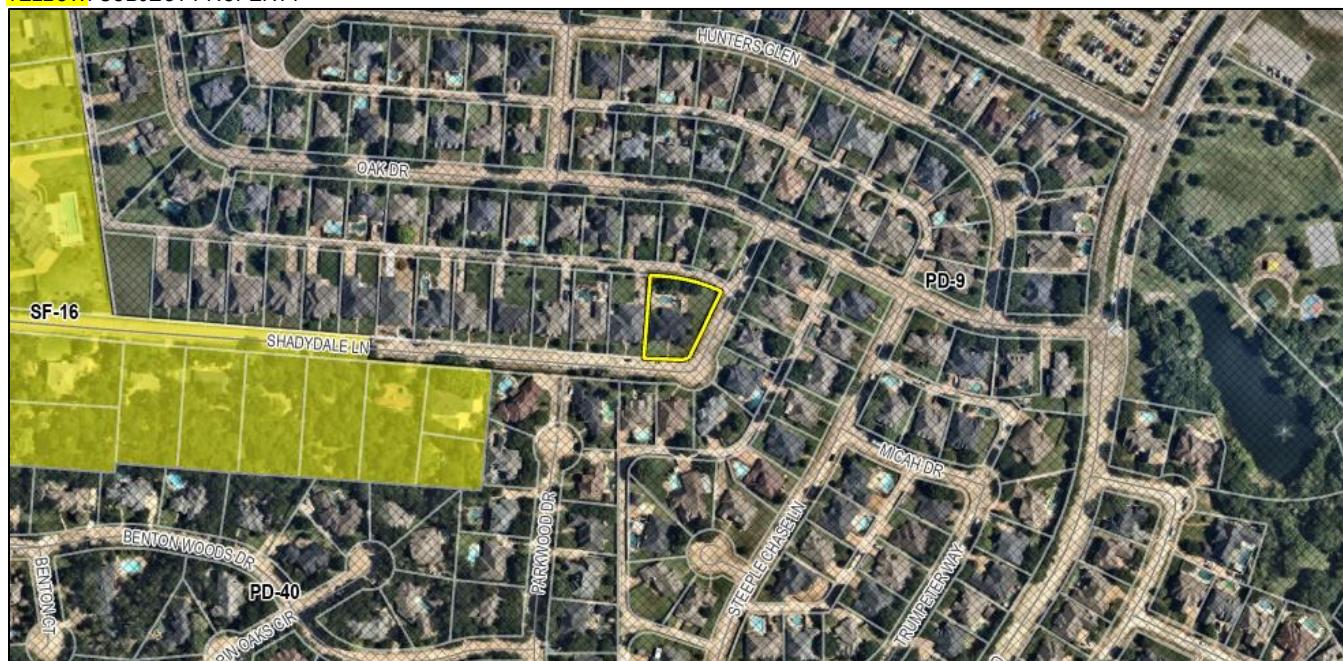
in 1995, consists of 40 residential lots, and is zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses.

East: Directly east of the subject property is the remainder of Phase 4 of the Foxchase Subdivision, which was established in 1995 and consists of 40 residential lots. Beyond this is Phase 6 of the Foxchase Subdivision, which was established in 2000 and consists of 37 residential lots. Both phases are zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses.

West: Directly west of the subject property is the Shadydale Estates Subdivision, which was established in 2014, consists of 14 residential lots, and is zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses. Beyond this is a 2.60-acre parcel of land (*i.e. Lot 1, Block A, Best Estate Addition*) developed with a single-family home, zoned Single Family 16 (SF-16) District. Following this is Ridge Road [FM-740], which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

According to the site plan provided by the applicant, the unpermitted Accessory Structure is 20-feet by 12-feet (or 240 SF), and is situated in the rear yard of the subject property. It will be located approximately three (3) feet from the rear property line, 15-feet from the front property line adjacent to Shadydale Lane, and have a permanent concrete foundation. The applicant has not provided any additional information related to the exterior materials, overall height, or roof pitch. The current condition on the subject property is that the Accessory Structure was constructed without a permit. It appears that the Accessory Structure is in violation of the 15-foot setback requirement adjacent to Shadydale Lane. In addition, the Accessory Structure is situated on concrete blocks and not on a permanent concrete foundation.



FIGURE 1: IMAGE OF THE UNPERMITTED ACCESSORY STRUCTURE

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single Family 10 (SF-10) District allows a maximum of two (2) accessory structures with a maximum square footage of 144 SF each. In addition, the maximum permissible height is 15-feet, and the minimum roof pitch is 3:12. The proposed *Accessory Structure* is 240 SF or 96 SF over the maximum allowable square footage. Staff requested that the applicant provide the height and roof pitch of the unpermitted *Accessory Structure*; however, no additional information has been provided. Currently the *Accessory Structure* is situated on top of concrete blocks and is *not* attached to a permanent foundation. The applicant is aware of this requirement and if approved is amenable to attaching the *Accessory Structure* to a concrete foundation. In addition, the proposed *Accessory Building* is required to meet the density and dimensional requirements for a Single-Family 10 (SF-10) District as contained in Subsection 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Number of Accessory Structures Permitted	2	<i>In Conformance</i>
Detached Garage (Maximum Square Footage)	144 SF	240 SF; <i>Not in Conformance</i>
Minimum Rear Yard Setback	3-Feet	<i>Unknown; Proposed 3-Feet</i>
Minimum Side Yard Setback (Adjacent to Shadydale Lane)	15-Feet	<i>Unknown; Proposed 15-Feet</i>
Maximum Building Height Between Buildings	15-Feet 10-feet	<i>Unknown; Appears to be X<15-Feet X>10-feet; In Conformance</i>

STAFF ANALYSIS

In reviewing a Specific Use Permit (SUP), the Planning and Zoning Commission and City Council are asked to consider: [1] if the structure was constructed without a permit or under false pretenses, [2] the size of the proposed *Accessory Structure* compared to the size of other *Accessory Structures* in the area/neighborhood/subdivision, and [3] the size, architecture, and location of the proposed accessory structure compared to those of the primary structure. In this case, the proposed request was constructed without a building permit, exceeds the maximum size requirements, and architecture does not appear to match the single-family home. In addition, the applicant has failed to provide staff with the requested information regarding the height, roof pitch, and materials. Staff completed an inventory of all *Accessory Structures* within the Foxchase Subdivision near the subject property. Based on the inventoried properties six (6) of the 57 properties had one (1) *Accessory Structure*, four (4) were unpermitted, and the largest was approximately 130 SF. This would make the applicant's *Accessory Structure* the largest in this part of the Foxchase Subdivision.

With all this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On October 18, 2025, staff mailed 89 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Foxchase, Benton Woods, and Rainbow Lakes Homeowners Associations (HOAs), which are the only HOA or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received seven (7) notices in opposition and two (2) notices in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for an Accessory Building, then staff would propose the following conditions of approval:

- (1) The applicants shall be responsible for maintaining compliance with the operational conditions contained within the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit B* of the Specific Use Permit (SUP) ordinance; and,
 - (b) The proposed Accessory Structure shall not exceed 240 SF; and,
 - (c) The proposed Accessory Structure shall be attached to a permanent concrete foundation; and,
 - (d) No additional Accessory Structures, Accessory Buildings, or Detached Garages shall be permitted on the *Subject Property*.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 11, 2025, the Planning and Zoning Commission approved a motion to recommend denial without prejudice of the SUP by a vote of 5-1, with Commissioner Roth dissenting and Commissioner Hustings absent. According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), if a zoning change "...is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (i.e. a three-fourths vote of those members present), with a minimum of four (4) votes in the affirmative required for approval."



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 24 Shady Dale Ln Rockwall TX 75032

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Kevin Sayles

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

24 Shady Dale Ln

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75032

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Sayles [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

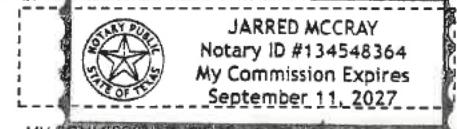
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF October, 2025.

OWNER'S SIGNATURE

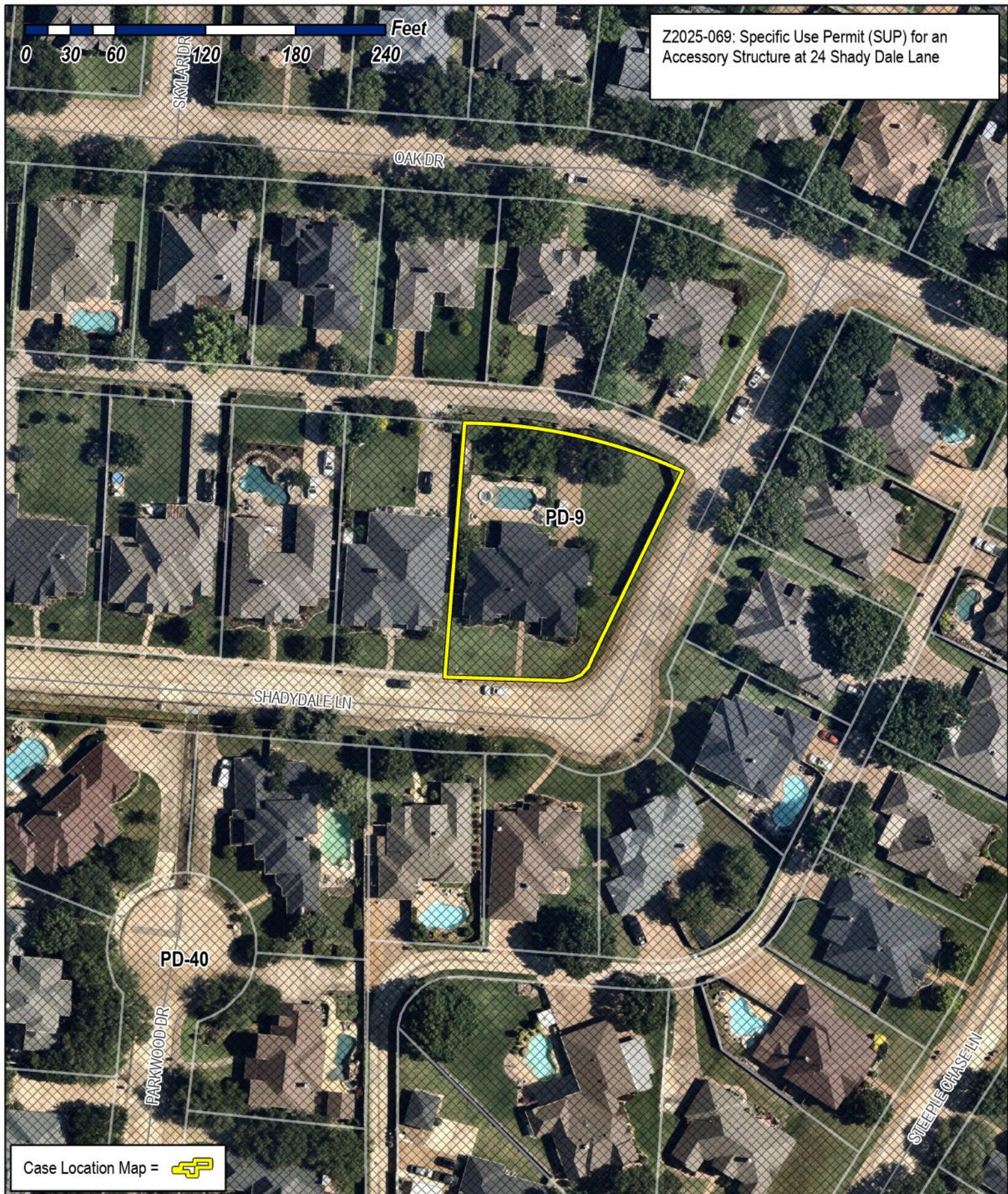
Kevin Sayles

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

09/11/2027



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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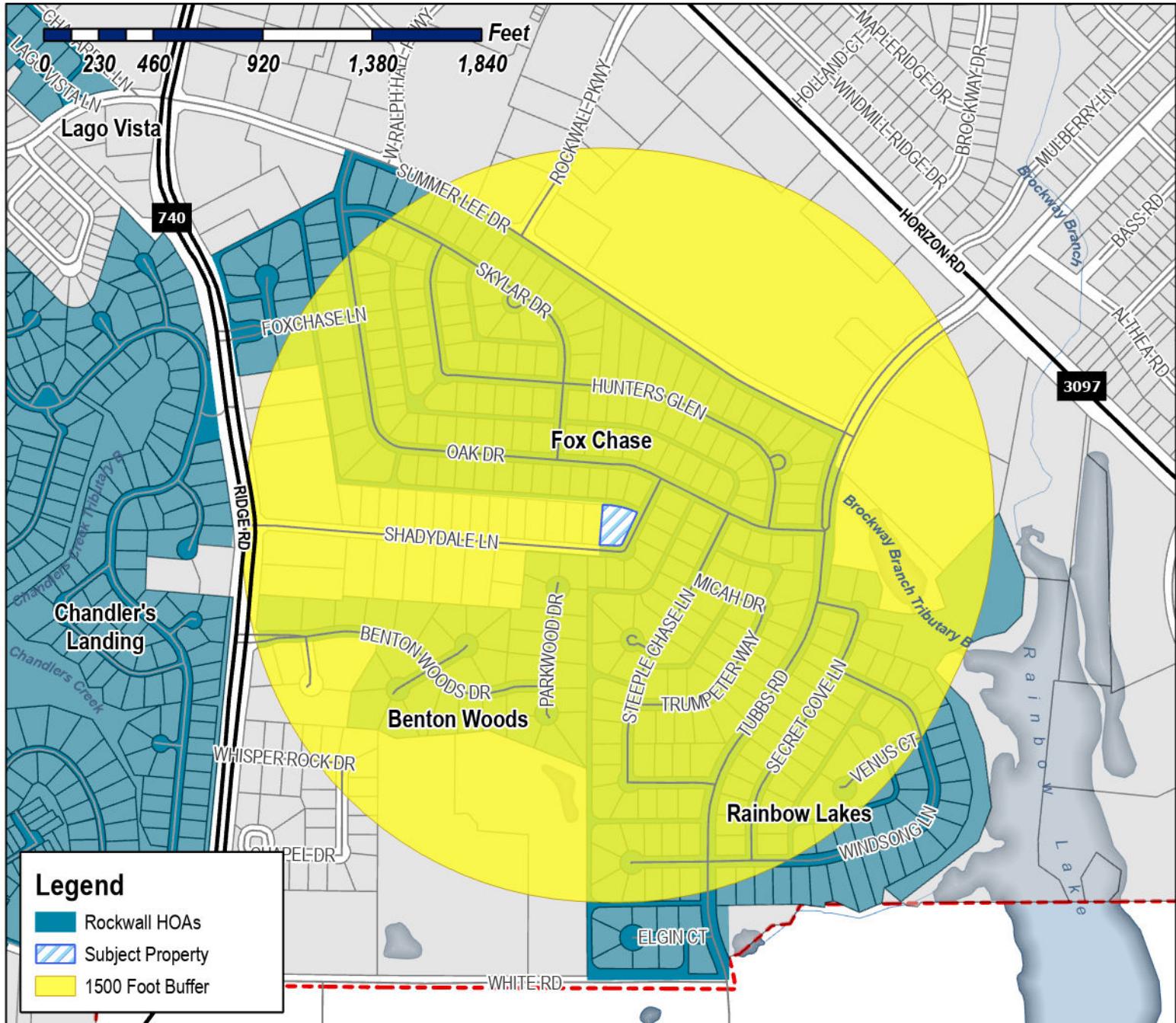




City of Rockwall

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Case Number: Z2025-069
Case Name: SUP for a Portable Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 24 Shady Dale Lane

Date Saved: 10/17/2025
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Zavala, Melanie
Sent: Wednesday, October 22, 2025 2:23 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2025-069]
Attachments: HOA Map (10.22.2025).pdf; Public Notice (10.20.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, October 24, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-069: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

Melanie Zavala

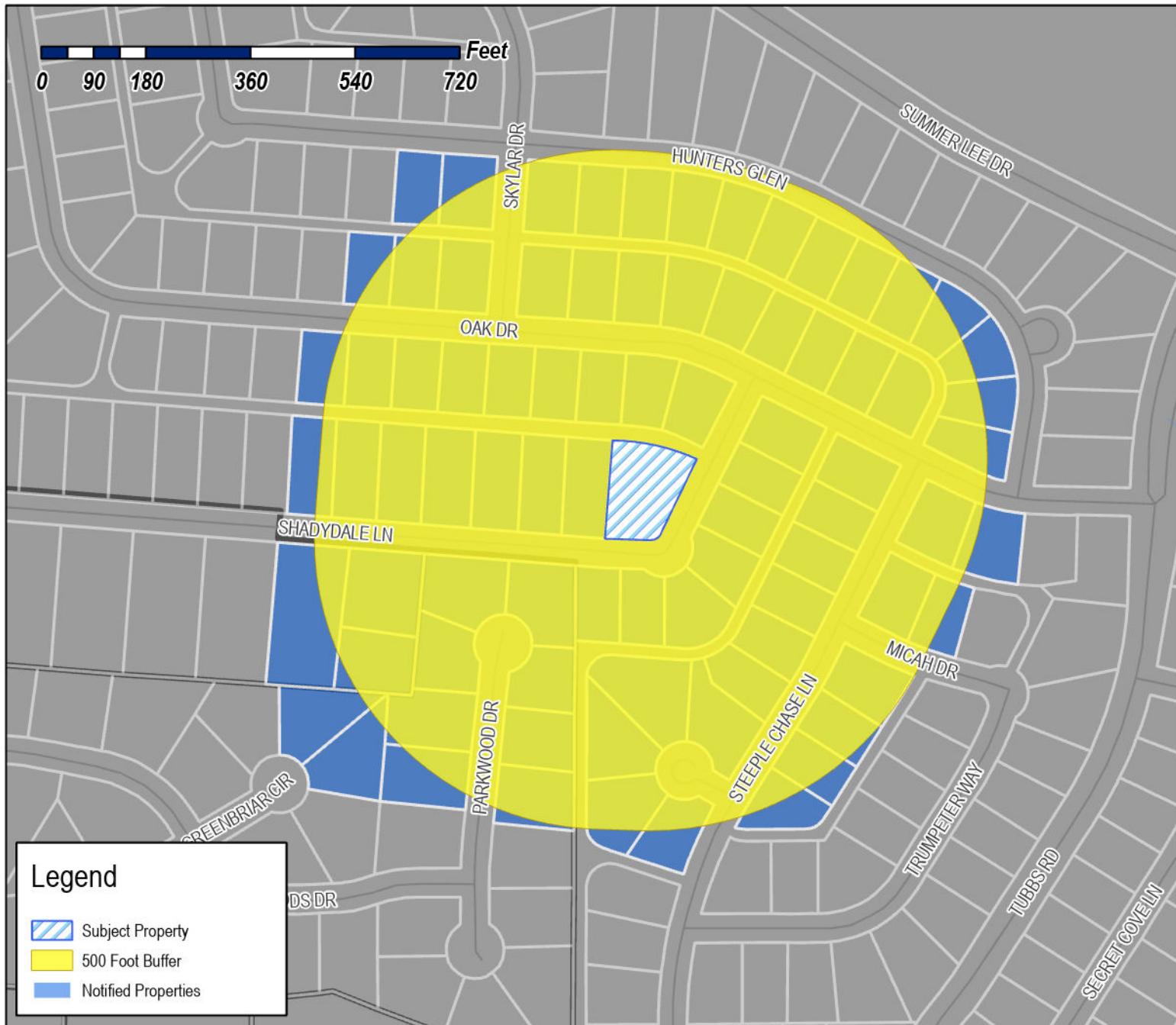
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](https://sites.google.com/site/rockwallplanning/development/development-cases)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

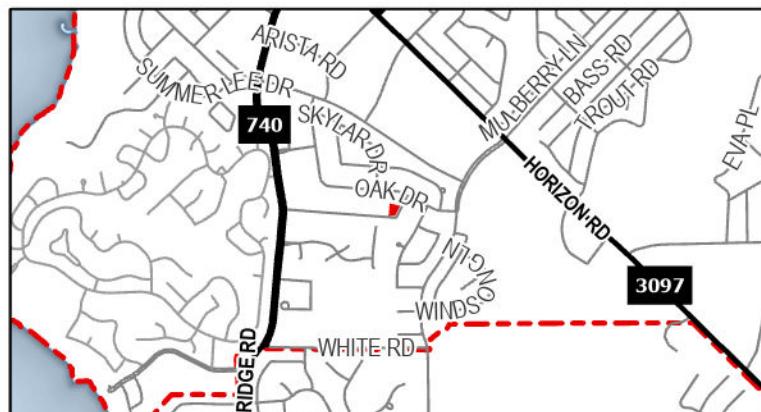
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-069
Case Name: SUP for a Portable Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 24 Shady Dale Lane

Date Saved: 10/17/2025

For Questions on this Case Call: (972) 771-7745



ROYALAND PROPERTIES LLC
11034 GRISSOM LANE
DALLAS, TX 75229

REDDEN TRAVIS
1115 CONCAN DRIVE
FORNEY, TX 75126

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

BALLARD STEVE & ANNABETH
17 SHADYDALE LANE
ROCKWALL, TX 75032

DOSKOCIL PATRICK AND GLINDA
19 SHADYDALE LN
ROCKWALL, TX 75032

ROMAN MARIA G & ARMANDO POMPOSO
23 SHADY DALE LN
ROCKWALL, TX 75032

WILLIS GEORGE V & KAREN
24 SHADY DALE LN
ROCKWALL, TX 75032

SNIDER VICTOR BRUCE & JUDY LYNNE
25 SHADY DALE LN
ROCKWALL, TX 75032

SUDELA THOMAS S AND KAREN C
26 SHADY DALE LN
ROCKWALL, TX 75032

PARVIN RHONDA
27 SHADY DALE LN
ROCKWALL, TX 75032

WEINTRAUB DONALD AND KATHLEEN
28 SHADY DALE LANE
ROCKWALL, TX 75032

TAGGART FAMILY TRUST
MICHAEL JORDAN TAGGART & KELLY ANNE
TAGGART - TRUSTEES
2843 MIRA VISTA LN
ROCKWALL, TX 75032

HUFFMAN JAMES D & STEPHANIE L
29 SHADY DALE LN
ROCKWALL, TX 75032

BESS JULIE M AND JOHN HAGAMAN
30 SHADY DALE LN
ROCKWALL, TX 75032

HOYA CHARLOTTE G
3006 OAK DR
ROCKWALL, TX 75032

GROSS STEPHEN R & MICHELLE L
3014 OAK DR
ROCKWALL, TX 75032

RESIDENT
3015 OAK DR
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A
3021 Ridge Rd Ste A PMB 131
Rockwall, TX 75032

FOLKS ARCHIE PATRICK & JANETTE E
3022 OAK DR
ROCKWALL, TX 75032

PETROCELLY JUNE LIVING TRUST
JUNE PETROCELLY TRUSTEE
3023 OAK DRIVE
ROCKWALL, TX 75087

2024 G S SLOAN REVOCABLE TRUST
GARY DEAN & STEPHANIE ANN SLOAN -
TRUSTEE
3030 OAK DR
ROCKWALL, TX 75032

DAVIS ANN SHERRILL
3033 OAK DR
ROCKWALL, TX 75032

NANCE CARLTON ERIC & RHONDA D
3107 OAK DR
ROCKWALL, TX 75032

BOWERS DENNIS & COLLEEN
3108 OAK DR
ROCKWALL, TX 75032

MCMAHON SANDRA
3115 OAK DR
ROCKWALL, TX 75032

BEVAN MARILYN
3116 OAK DR
ROCKWALL, TX 75032

KUBIAK NICHOLAS E AND JENNIFER L
3123 OAK DR
ROCKWALL, TX 75032

CHILDRESS SHERRY L
3124 OAK DR
ROCKWALL, TX 75032

MISHLER JEREMY & CHRISTI
3131 OAK DR
ROCKWALL, TX 75032

MANNO SHARON &
PAUL FULLINGTON
3134 OAK DR
ROCKWALL, TX 75032

DODSON GERELDENE
3139 OAK DR
ROCKWALL, TX 75032

DICKINSON JONATHAN PAUL & THERESA
MICHELLE
3144 OAK DRIVE
ROCKWALL, TX 75032

STANLEY RONALD ALAN & JENNIFER J
3147 OAK DR
ROCKWALL, TX 75032

HOWELL RANDALL R & DANA L
3155 OAK DR
ROCKWALL, TX 75032

DIESSONGO THIERRY AND
MARIAME DIESSONGO
3163 OAK DR
ROCKWALL, TX 75032

PIKE MARTIN E & JANET L
3171 OAK DRIVE
ROCKWALL, TX 75032

WEICHEL JAMES D & KRISTEN E
3182 OAK DR
ROCKWALL, TX 75032

BALLI NOE III & LYNN E
3190 OAK DR
ROCKWALL, TX 75032

KASIRI SAHBA AND SARA SADEGH
32 SHADY DALE LN
ROCKWALL, TX 75032

TINDALL CINDY P
34 SHADY DALE LN
ROCKWALL, TX 75032

WATSON BRANDON AND VALERIE
36 SHADY DALE LN
ROCKWALL, TX 75032

RESIDENT
38 SHADYDALE LN
ROCKWALL, TX 75032

HERNANDEZ ANDRES & MISTY
4550 STEEPLE CHASE LN
ROCKWALL, TX 75032

HARRIS GERALD T & SHERRI K
4558 STEEPLE CHASE LN
ROCKWALL, TX 75032

KIRK MARGIE
4566 STEEPLE CHASE LN
ROCKWALL, TX 75032

KEITH LARRY J & CAROLYN K
4574 STEEPLE CHASE LN
ROCKWALL, TX 75032

ARNDT GARY & DIANNE
4608 STEEPLE CHASE LN
ROCKWALL, TX 75032

POWELL ALEAH D
4609 STEEPLE CHASE LN
ROCKWALL, TX 75032

BRANNING BARRY S & LINDA R
4616 STEEPLE CHASE LN
ROCKWALL, TX 75032

RESIDENT
4617 STEEPLE CHASE LN MICHAEL JORDAN
TAGGART & KELLY ANNE TAGGART - TRUSTEES
ROCKWALL, TX 75032

WATSON MATTHEW WAYNE
4625 STEEPLE CHASE
ROCKWALL, TX 75087

KHODAPARAST RAHIM & ROYA
4630 PARKWOOD DR
ROCKWALL, TX 75087

VEST DONALD R
4633 PARKWOOD DR
ROCKWALL, TX 75032

FLORANCE WILLIAM C & KATHRYN E
4633 STEEPLE CHASE LANE
ROCKWALL, TX 75032

CARNEVALE EDWARD A JR AND PAMELA D
4648 PARKWOOD DRIVE
ROCKWALL, TX 75032

RESIDENT
4649 PARKWOOD DR
ROCKWALL, TX 75032

FREEMAN DENWARD LEE & ELIZABETH ANN
4660 GREENBRIAR CT
ROCKWALL, TX 75032

KUBIN CHRISTOPHER J AND ABIGAIL
4670 PARKWOOD DR
ROCKWALL, TX 75032

LIGHT LEIGH ANN AND JEFF
4671 GREENBRIAR CT
ROCKWALL, TX 75032

ZEHR JACK L & EDITH L
4671 PARKWOOD DR
ROCKWALL, TX 75032

SHIPMAN EARL RAPHE & DELAMIE
4690 PARKWOOD DR
ROCKWALL, TX 75087

PARENT RICHARD DAVID & MARIE L
4691 PARKWOOD DR
ROCKWALL, TX 75082

WEBSTER DAVID L
501 E OLD GREENVILLE RD
ROYSE CITY, TX 75189

CARTER SHARON R
BLANKENSHIP DON L & AUDREY LIFE ESTATE
6 SHADY DALE LN
ROCKWALL, TX 75032

28 PLAZA LTD
601 KILLARNEY
RICHARDSON, TX 75201

RESIDENT
7 SHADYDALE LN
ROCKWALL, TX 75032

RESIDENT
7 SHADYDALE LN
ROCKWALL, TX 75032

WATSON BARBARA
743 MICAH DR
ROCKWALL, TX 75032

SMITH MICHAEL & KATRINA
751 MICAH DR
ROCKWALL, TX 75032

BENNETT FAMILY LIVING TRUST
WILLIAM THOMAS AND JUDY M BENNETT
TRUSTEES
754 HUNTERS GLN
ROCKWALL, TX 75032

KUEHL FAMILY LIVING TRUST
LESLIE L KUEHL AND SUSAN B KUEHL- TRUSTEES
762 HUNTERS GLEN
ROCKWALL, TX 75032

BROWN SANDRA MARIE
770 HUNTERS GLEN
ROCKWALL, TX 75032

SHERROD ROBERT T & AMY
778 HUNTERS GLN
ROCKWALL, TX 75032

ROMER FRANK L & MARCY L AND
MARISSA P
786 HUNTERS GLEN
ROCKWALL, TX 75032

NGUYEN TAMMY
7910 SARAHVILLE DR
DALLAS, TX 75252

HONG TAE SU & SUNSIL
794 HUNTERS GLN
ROCKWALL, TX 75032

STANFORD STEVEN R AND KIRSTEN L
802 HUNTERS GLEN
ROCKWALL, TX 75032

CHRISTENSEN BRIAN & JENNIFER
810 Hunters Gln
Rockwall, TX 75032

BRADY LISA AND RALPH
826 HUNTERS GLEN
ROCKWALL, TX 75032

SCOTT MARY ELIZABETH
834 HUNTERS GLEN
ROCKWALL, TX 75032

BRISCOE JULIE
842 HUNTERS GLEN
ROCKWALL, TX 75032

DIETERICH GEORGE D & JOHANNA
846 STEEPLE CHASE CT
ROCKWALL, TX 75032

CARNES LINDA M
850 HUNTERS GLN
ROCKWALL, TX 75032

HESKETT RHEA
850 STEEPLE CHASE COURT
ROCKWALL, TX 75032

ANDERSON LARY & LAURIE
854 STEEPLE CHASE CT
ROCKWALL, TX 75032

LEONARD SCOTT E AND CATHERINE W
858 STEEPLE CHASE CT
ROCKWALL, TX 75032

MCGUIRE JOHN L & LISA L
862 STEEPLE CHASE CT
ROCKWALL, TX 75032

ERICKSON MARIUM E LIVING TRUST
906 HUNTERS GLEN
ROCKWALL, TX 75032

MONK JEFFREY CHAD REVOCABLE LIVING TRUST
JEFFREY CHAD MONK TRUSTEE
914 HUNTERS GLEN
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-069: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

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Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

From: alan@advbussys.com
To: [Planning](#)
Subject: Case No. Z2025-069
Date: Sunday, October 26, 2025 7:51:38 AM

To whom it may concern. I and my wife discussed the case and we have determined that we oppose the amendment referenced in the case. If we allow this change we forfeit our voice moving forward. We have discipline within the existing laws to enforce this violation.

Regards,

Alan and Jennifer Stanley

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

PLEASE RETURN THE BELOW FORM-----

Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

This accessory unit does not fit in, it's way too large and tall and an eye sore to the neighbors. We are concerned if this is allowed to stay then anyone can do this too. Why have rules if we don't intend to follow them?

Name: Donald Weintzau B

Address: 28 Shadydale Lane

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

BUILDING APPEARS TO BE 16 X 12 WHICH IS A LITTLE OVER
144 FT² PERMITTED - BUILDING APPEARS TO BE GOOD QUALITY
AND WHITE MATCHES HOUSE.

Name: Scott Leonard

Address: 858 STEFAN CHASE CT Rockwall TX 75072

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

It's a nice storage unit, but if it could have been placed in an area a little less conspicuous area would have been nicer & appreciated.

Name: TOM Sudela

Address: 26 Shady Dale Lane Rockwall TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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CITY OF ROCKWALL • PLANNING AND ZONING DEPARTMENT • 385 S. GOLIAD STREET • ROCKWALL, TEXAS 75087 • P: (972) 771-7745 • E: PLANNING@ROCKWALL.COM

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name: William Thomas and Judy M. Bennett
Address: 754 Hunters Glen, Rockwall, TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: [Victor Snider](#)
To: [Ross, Bethany](#)
Subject: Zoning Case Z2025-069
Date: Tuesday, October 28, 2025 8:45:11 AM

I am opposed to this request. The building in question is higher than the privacy fence which surrounds the area. It obstructs the skyline, and if an exception is made for this resident then more requests may be made. I have spoken with several of our neighbors, and they are against this supplemental zoning change as well.

Please deny this request.

Victor Bruce and Judy Snider
25 Shady Dale Lane
Rockwall, TX 75032all

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Please place a check mark on the appropriate line below:

11/3/25

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I live across the street from 24 Shady Dale Ln. and this structure in no way hinders my view or bothers me in any way; I can barely see the top of the structure.

Name:

Rhonda D. Parvin

Address:

27 Shady Dale Ln, Rockwall, TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

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I am opposed to the request for the reasons listed below.

Allowing this non-permitted structure to remain in place sets a bad precedent. Code enforcement should ensure that all homes in the Fox Chase Subdivision are in compliance.

Name: *RANDALL R. HOWELL*

Address: *3155 OAK DR. Rockwall 75032*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Ryan Miller, AICP
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Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

SEE ATTACHED

Name: *LES + SUE KUEHL*
Address: *762 HUNTERS GLEN*

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RESTRICTIVE COVENANTS APPLICABLE TO
FOX CHASE PHASE FIVE
ROCKWALL COUNTY, ROCKWALL, TEXAS

THE STATE OF TEXAS }
 } KNOW ALL MEN BY THESE PRESENT:
COUNTY OF ROCKWALL }

THAT the undersigned, FOX CHASE DEVELOPMENT CORP., a Texas corporation ("Developer"), being the owner of the real property platted as Fox Chase, Phase Five (the "Subdivision"), an addition to the City of Rockwall, Texas, according to the map thereof recorded on August 8, 1998, in the Cabinet D, Page 110, 111, 112, Map Records, Rockwall County, Texas, containing lots designated as Lots 10 through 13, Block D; Lots 1 through 31, Block E; and Lots 10 through 22, Block F, Phase 5, inclusive (the "Lots"), does hereby restrict the use of said real property and imposes the following provisions upon said real property as hereinafter set out, which restrictions and provisions shall be binding upon Developer, the owners of record fee simple title to the Lots and their respective heirs, legal representatives, successors and assigns, and said restrictions shall be covenants running with the land.

ARTICLE II
CONSTRUCTION OF IMPROVEMENTS
AND USE OF LOTS

Section 2.01 All Lots in the Subdivision shall be used for residential purposes only. No structure intended for or adapted to business purposes shall be erected, permitted or maintained on a Lot, or any part thereof, save and except those related to development, construction and sales purposes of Developer. This covenant shall be construed as prohibiting the engaging in or practice of any commerce, industry, business, trade or profession on any Lot. The restrictions on use herein contained shall be cumulative of, and in addition to, such restrictions on usage as may from time to time be applicable under and pursuant to the

statutes, rules, regulations and ordinances of the City of Rockwall, Texas or any other governmental authority having jurisdiction over any Lot. No structure shall be erected, altered, placed or permitted to remain on any Lot except a single family dwelling ("Residence"), and such other customary and usual ancillary structures as are hereinafter permitted.

Section 2.04 No structure of any type shall be erected on any Lot in the Subdivision nearer the front Lot line than the setback line indicated on the recorded plat of the Subdivision, and no structure of any type shall be erected closer to the side Lot lines than a distance of six (6) feet from the side Lot lines (or such greater distance for a particular Lot as may be indicated on the recorded plat of the Subdivision.) No structure of any type shall be erected on any Lot nearer the rear Lot line than the setback line permitted by the ordinance of the City of Rockwall governing such matters at the time of the erection of such structure.

Section 2.07 Each Residence shall have attached to it a garage with sufficient space for two (2) conventional automobiles. Each garage shall have an entrance facing the rear of side Lot lines, but not facing the front Lot line. Exceptions may be made for homes with detached garages. The Architectural Control Committee may give written permission for the entrance of a detached garage to face the front building line. All carports, servants quarters, guest quarters or storage rooms erected or placed on a Lot shall be attached to the Residence. Gazebos unattached to the Residence may be permitted with the prior written approval of Developer or the Architectural Control Committee. Any storage room approved by the Developer or Architectural Control Committee must be 75% Brick (with the brick matching the Residence), the roof must match the Residence, and the size must not exceed 80 square feet. Additionally, the location of said storage room must be identified by Owner in writing prior to submission to Developer or by Owner in writing prior to submission to Developer or Architectural Control Committee and subsequently approved prior to construction.

ARTICLE III
ARCHITECTURAL CONTROL

Word! ONE SENTENCE

Section 3.01 No Lot shall be further subdivided and no building or other improvement of any character (either permanent or temporary) shall be erected or placed, or the erection or placing thereof commenced, or changes made in the design thereof or any addition made thereto or exterior alteration made therein after original construction, on any Lot in the Subdivision without the written approval of Developer or the Architectural Control Committee of such further subdivision, or of the construction plans and specifications and a plat showing the location and dimensions of such building or other improvements. Plans, and specifications shall show the nature, kind, shape, height, materials, exterior color, location and all other material attributes. Developer or the Architectural Control Committee shall have the right, in their sole discretion, to disapprove any plans, specifications and plats submitted for any of the following reasons: (a) if such plans, specifications and plats are not in accordance with any of the provisions of these Restrictive Covenants or the codes, ordinances and regulations of the City of Rockwall, Texas, or any other laws or regulations; (b) if the external design, elevation, appearance, location or color scheme for the proposed improvements are not in harmony with the general surroundings of the Subdivision or with existing or proposed adjacent structures or with the topography; (c) if the plans, specification and plats submitted are incomplete; (d) if the design, appearance or location of any landscaping is not in harmony with the general surrounding or topography; (e) if the plans do not provide for adequate structural integrity or structural support for the improvements; (f) if the plans, specifications and plats do not provide for approved quality of materials or finished grade elevation; (g) if the improvements obstruct the view from nearby or adjoining Lots; or (h) if Developer or the Architectural Control Committee deems the plans, specifications and plats, or any part thereof, to be contrary to the interest, welfare or rights of any or all part of the Subdivision. Developer or the Architectural Control Committee is authorized to accept whatever plans, specifications or plats as they deem desirable within their sole discretion to be in satisfaction of the foregoing.



Residential Projects That Require a Permit

Telephone Numbers
Main Number: 972-771-7709
Office Hours: M-F 8:00 a.m.– 5:00 p.m.



Building Permit Applications and **Contractor Registrations** can be submitted online through our **CityWorks Portal**. Here's a link to the portal: <https://cityworks.rockwall.com/PublicAccess/template/login.aspx>. Just sign up and/or log into the portal and click +NEW APPLICATION at the top center of the page to begin your permit application or registration.

Building Permits are required for the residential projects listed below. If your project is not listed and is outside the scope of cosmetic work (ie. painting, flooring), please contact our office to review with a Permit Technician.

Projects that Require a Permit:

- New Construction homes, remodels and additions
- Plumbing work
- Electrical work
- HVAC Mechanical work
- Storm Shelter/Safe Rooms
- Water Heater Replacement
- Heating & AC Replacement
- Concrete Driveways, Sidewalks, Patio slabs
- Retaining Walls
- Gazebos
- Roof replacement
- Demolitions
- Irrigation & Sprinkler Systems
- Moving a building or mobile home
- Swimming Pools
- Hot Tubs
- Spas
- Storage Buildings/Guest Quarters
- Detached Garage
- Driveways
- Patios
- Patio Covers
- Carports
- Sunrooms
- Greenhouse
- Decks
- Solar Panels
- EV Power Walls/Supply Chargers
- Backup Generators
- Takeline projects
- Artificial Turf
- Flag Poles

From: [Carolyn Keith](#)
To: [Planning](#)
Subject: Z225069
Date: Friday, November 7, 2025 1:40:45 PM

To whom it may concern,

We are riding in regards to the case number above. It is a home on Shady Dale and the Fox Chase subdivision. We are opposed to the large building that the resident built in his backyard. The building is above the fence he has in his backyard. He is the only one in our neighborhood with a building that large.. we would prefer that he conforms to the rules of our HOA and the Rockwall planning and zoning ordinances.

Thank you,

Mr. and Mrs. Larry Keith

Sent from my iPhone

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

770 Sq ft

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-069: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

No! No! No! we do not want to get this started in our neighborhood.

And I do not appreciate Mr Lee not returning my phone calls

Name: _____
Address: Margie Kirk 4566 Shaggy Chase Lane

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Is this a tiny house? This raises the questions: What will it be used for, what purpose, possibly business, repair area for motorized vehicles, housing. It does not meet with neighborhood standards. Enough RV zone in this area!

Name: Sherry Chidress
Address: 3104 Oak Dr.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

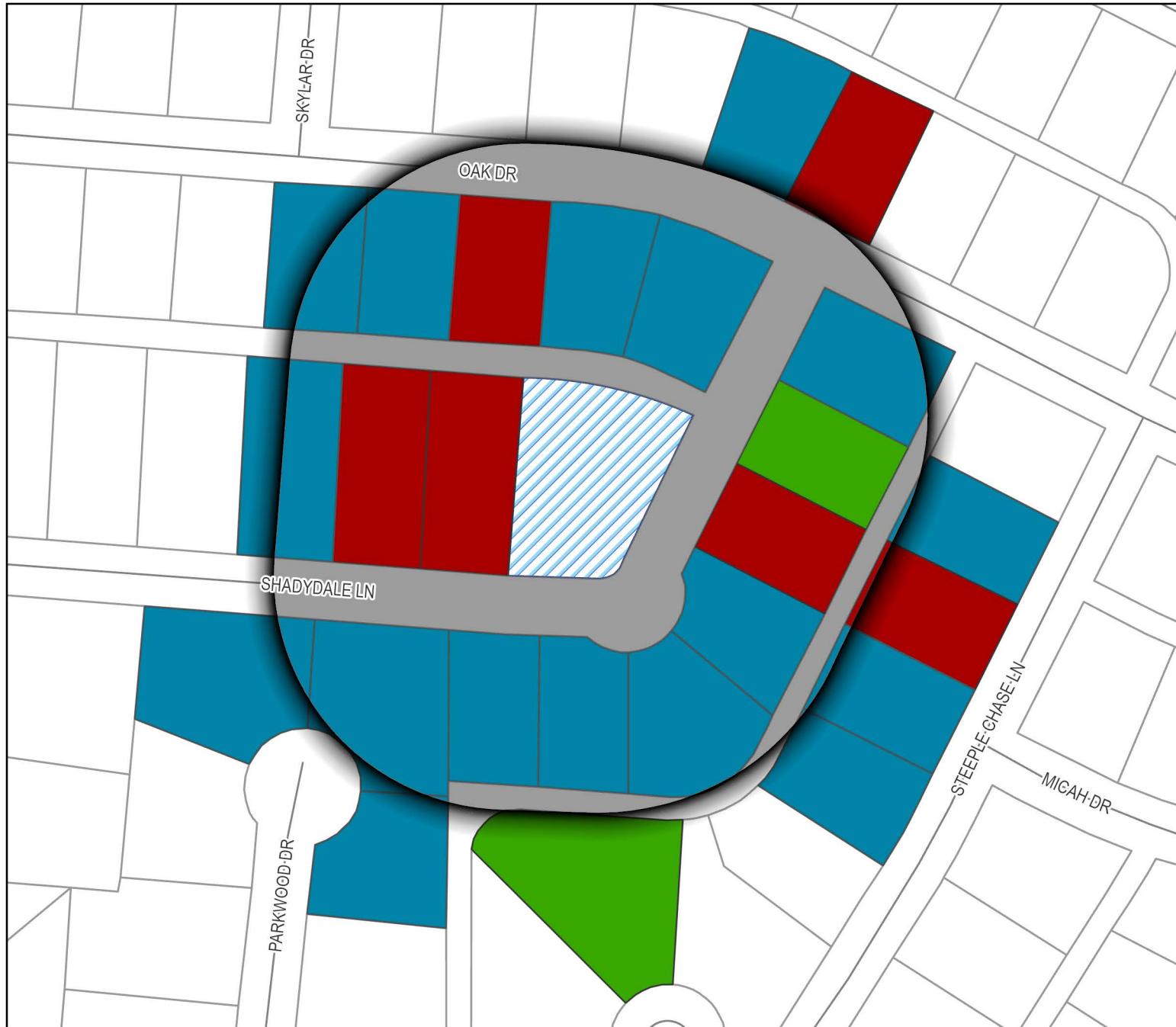
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Z2025-069 SUP for 24 Shady Dale Lane

-  Subject Property
-  For (0.227 Acres) 4.16%
-  Against (1.056 Acres) 19.3 %
-  No Response (2.556 Acres) 46.7%
-  ROW (1.626 Acres) 29.7%

*All Response calculations are based of properties located within the 200 Ft buffer area

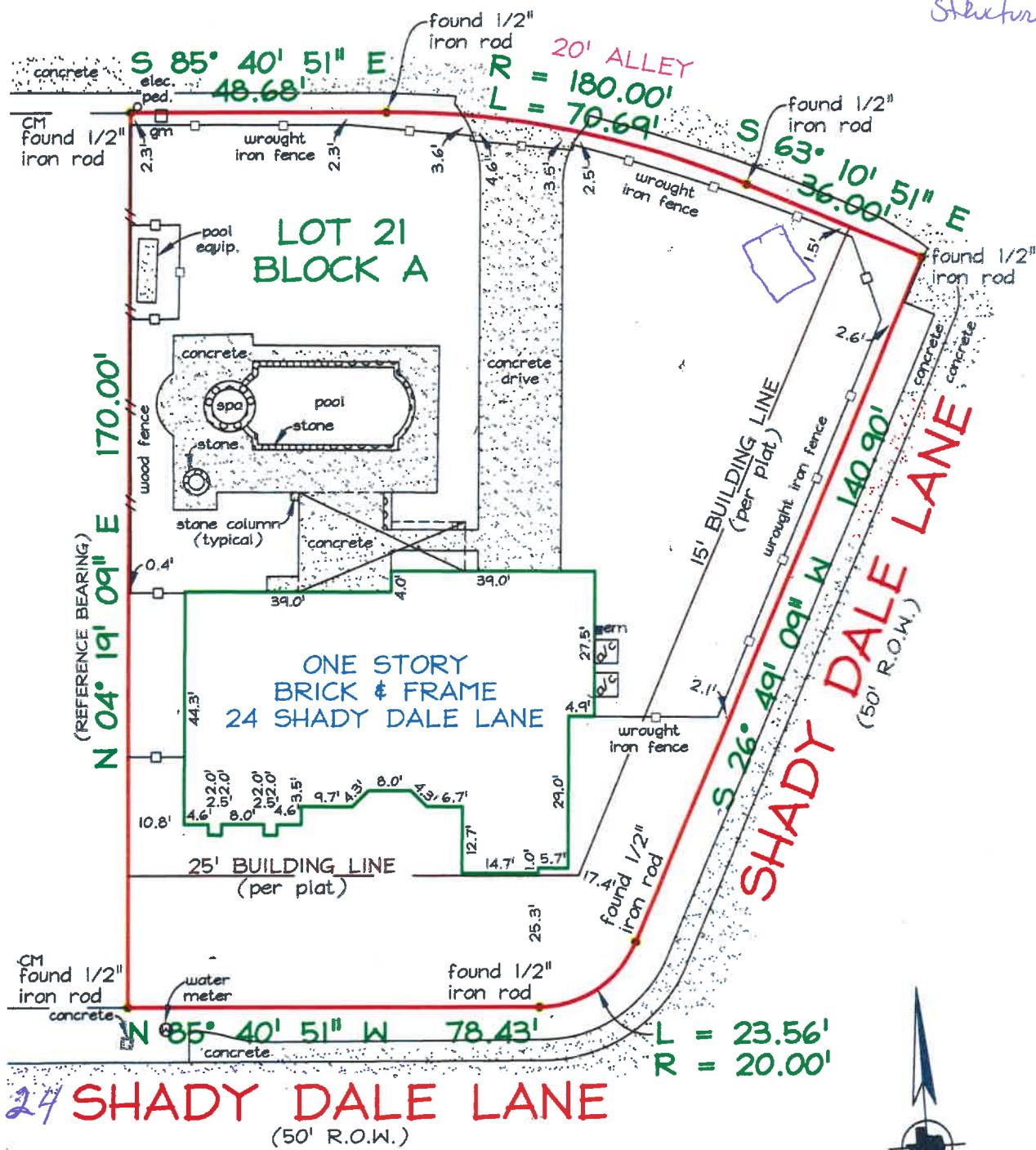
Date Saved: 11/11/2025

For Questions on this Case Call (972) 771-7745





3 ft From Rear
6 ft From any other Structure



NOTES:

CM = CONTROLLING MONUMENT.

THIS PROPERTY IS NOT AFFECTED BY THE FOLLOWING:

(10e)-EASEMENT VOL 64 PG 274 D.R.R.G.T.

(10e)-EASEMENT, VOL. 64, PG. 274, D.R.R.C.C.
(10f)-EASEMENT, VOL. 63, PG. 82, D.R.R.C.T.

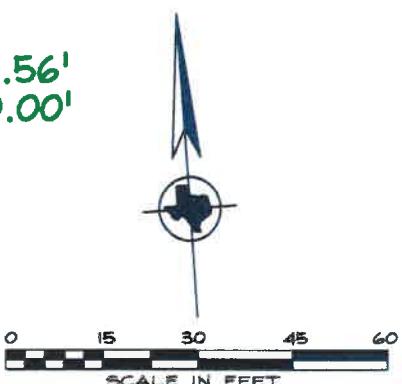
BEARINGS ARE BASED ON THE RECORDED PLAT REFERENCED BELOW

BEARINGS ARE BASED ON THE RECORDED PLAT REFERENCED BELOW.
THIS SURVEY IS VALID ONLY WITH ORIGINAL SIGNATURE IN BLACK INK.

THIS IS TO DECLARE that on this date a survey was made on the ground, under my direction and supervision of the property located at 24 SHADY DALE LANE, and Being Lot Twenty One (21), Block A, of FOXCHASE PHASE FOUR, an addition in Rockwall County, Texas, according to the map or plat thereof recorded in Cabinet C, Page 284, of the Plat Records of Rockwall County, Texas.

There are no visible conflicts or protrusions, except as shown.

The subject property does not appear to lie within the limits of a 100-year flood hazard zone according to the map published by the Federal Emergency Management Agency, and has a Zone "X" Rating as shown by Map No. 48397C0040 L, dated SEPTEMBER 26, 2008. The statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This survey is not to be used for construction purposes and is for the exclusive use of the herein named purchaser, mortgage company, and title company only and this survey is made pursuant to that one certain title







CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) [*ORDINANCE NO. 25-02*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN ACCESSORY STRUCTURE ON A 0.417-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 21, BLOCK A, FOXCHASE, PHASE 4 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an *Accessory Structure* on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shady Dale Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an *Accessory Structure* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and Subsection 03.01, *General Residential District Standards*, Subsection 03.07, *Single-Family 10 (SF-10) District*, and

Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the *Accessory Structure* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance; and,
- 2) The proposed *Accessory Structure* shall not exceed 240 SF; and,
- 3) No additional *Accessory Structures*, *Accessory Buildings*, or *Detached Garages* shall be permitted on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of **TWO THOUSAND DOLLARS (\$2,000.00)** for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1st DAY OF DECEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 17, 2025

2nd Reading: December 1, 2025

Exhibit 'A':
Location Map

Address: 24 Shady Dale Lane

Legal Description: Lot 21, Block A, Foxchase Phase 4 Addition

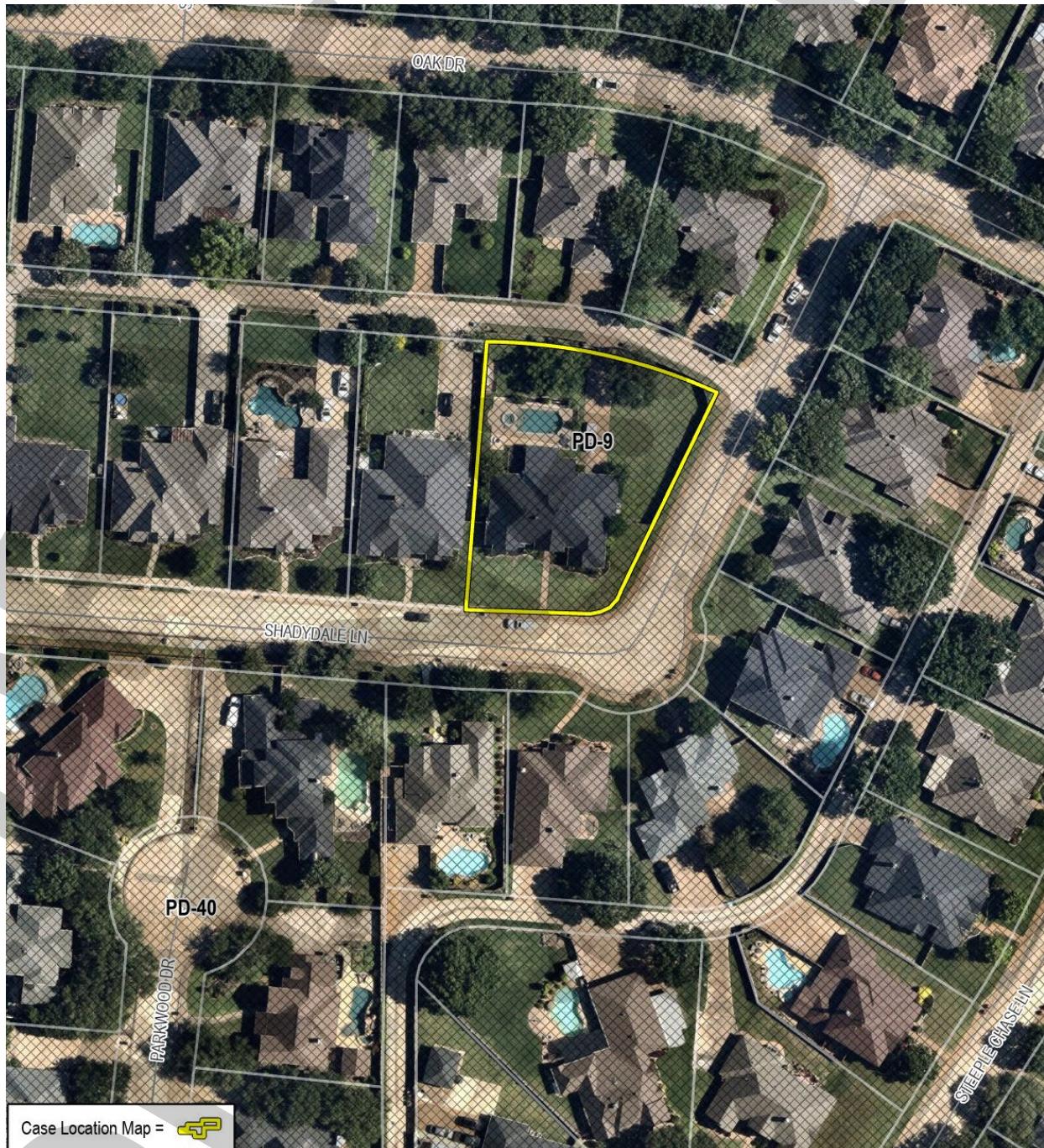
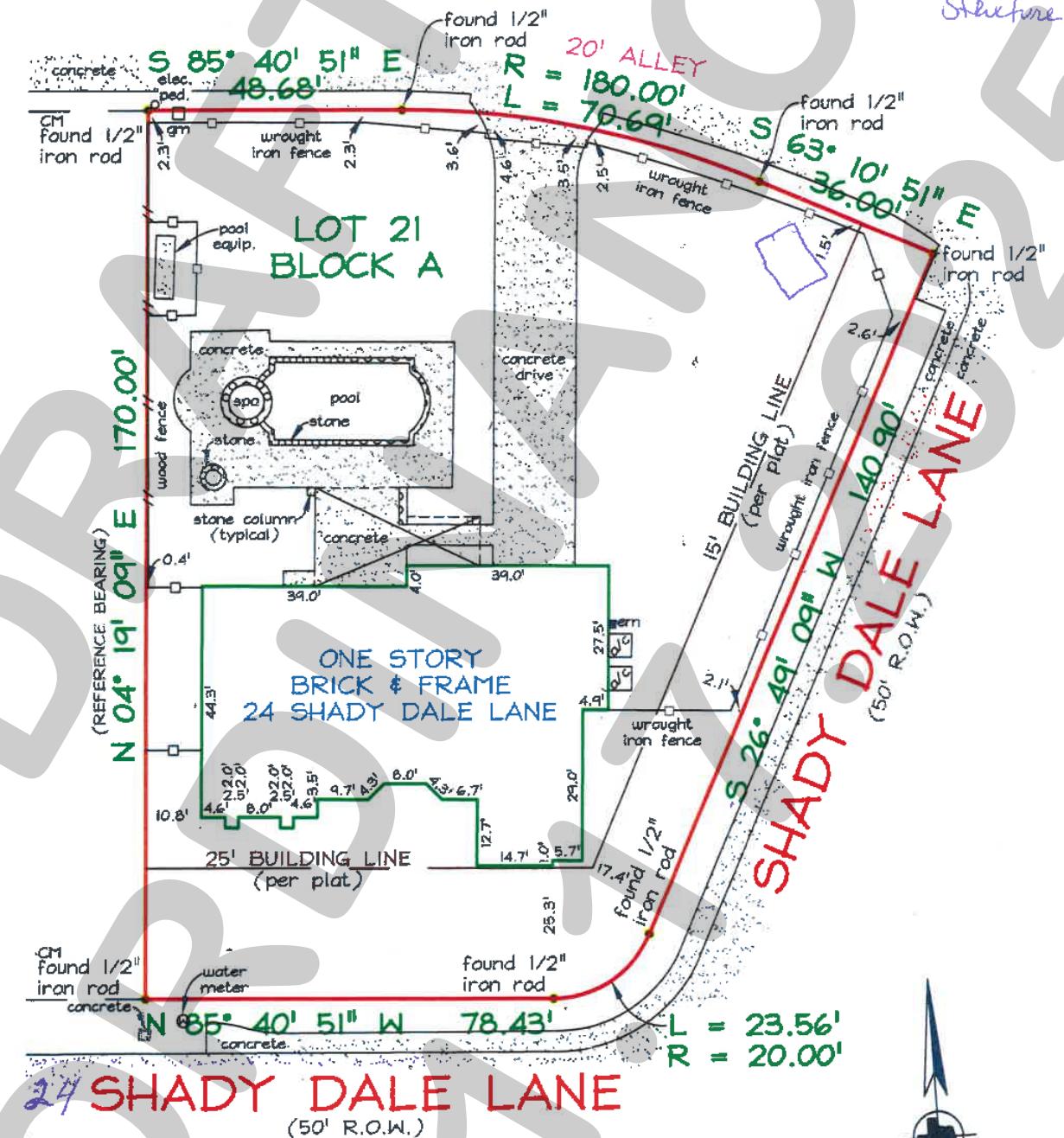


Exhibit 'B':
Residential Plot Plan

DALLAS/FORT WORTH
4625 EASTOVER DR.
MESQUITE, TX 75149
PH. 877.581.7072 FX. 1.888.438.1273





DATE: December 4, 2025

TO: Kevin Sayles
24 Shady Dale Lane
Rockwall, TX 75032

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2025-069; *Specific Use Permit (SUP) for an Accessory Structure at 24 Shady Dale Lane*

Kevin Sayles:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was denied without prejudice by the City Council on November 17, 2025. The following is a record of all voting records:

Planning and Zoning Commission

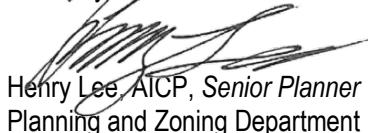
On November 11, 2025, the Planning and Zoning Commission approved a motion to recommend denial without prejudice of the SUP by a vote of 5-1, with Commissioner Roth dissenting and Commissioner Hustings absent.

City Council

On November 17, 2025, the City Council approved a motion to deny without prejudice the SUP by a vote of 5-2, with Council Members Thomas and Campbell dissenting.

According to Subsection 02.05, *City Council Action*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(t)he City Council may deny a request for a zoning change, Specific Use Permit (SUP), or text amendment with or without prejudice. If a request or amendment is denied with prejudice, a new application may not be submitted for the same lot or tract of land -- or any portion thereof -- for a period of one (1) year unless the request is for a more restrictive or less intense land use than the previously denied request ... If a request or amendment is denied without prejudice, no restrictions on resubmitting an application shall apply (i.e. an application for the same request may be filed at the applicant’s discretion). A failure to indicate a denial is with or without prejudice in making a motion to deny a request or amendment shall be considered a denial with prejudice.” Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me at (972) 772-6434.

Sincerely,


Henry Lee, AICP, Senior Planner
Planning and Zoning Department