



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 118 National Dr. Rockwall Texas 75032

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light industrial

CURRENT USE Metal Shop

PROPOSED ZONING Light Industrial

PROPOSED USE Wood work shop

ACREAGE 1.95

LOTS [CURRENT]

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Michael Williamson

☒ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS 118 National Dr.

ADDRESS

CITY, STATE & ZIP Rockwall, Tx 75032

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Williamson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF July, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF July, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

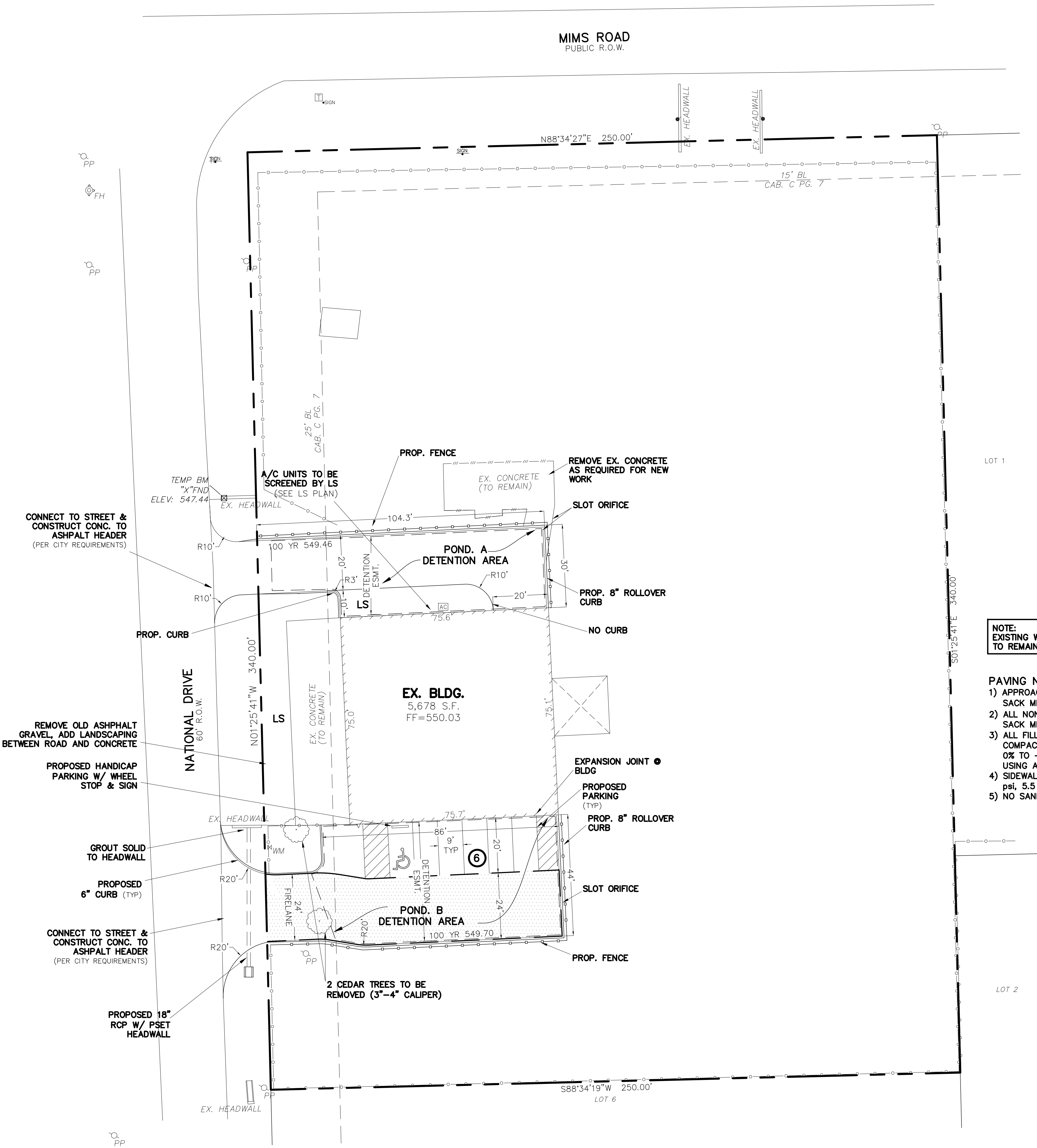


LIZEETH JUAREZ
Notary ID #134653132
My Commission Expires
November 20, 2027

MY COMMISSION EXPIRES November 20, 2027

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



SITE DATA:

LOT AREA:
1.95 Acres, 84,999 sq.ft.
LOT COVERAGE:
6.7%
FLOOR TO AREA RATIO:
14.97:1
EX. BUILDING AREA:
5,678 sq.ft.
OFFICE:
WAREHOUSE:
EX. BUILDING HEIGHT:
1 STORY
IMPERVIOUS AREA (including buildings):
15,599 sq.ft.
PARKING:
Required: 6
Office ($\frac{1}{300}$ sf) =
Warehouse ($\frac{1}{1000}$ SF) =
Handicap = 1
Provided:
Standard = 5
Handicapped = 1
Total Provided = 6
LANDSCAPE AREA:
Required: (20%) 17,000 sq.ft.
Provided: 69,400 sq.ft.

NOTE:
EXISTING WATER & SEWER SERVICE TO REMAIN AS IS

PAVING NOTES:

- APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 5½ SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- NO SAND UNDER PAVING.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



Gerald Monk
6/25/25

PROJECT #:

SITE & DIMENSION CONTROL PLAN 626 NATIONAL

LOT 7, BLOCK A, 1.95 ACRES
NATIONAL ADDITION
City of Rockwall, Rockwall County, Texas 75087

owner
CFL LANDSCAPES
ZACHARY CONTI
469.264.9260

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2025 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2025-3 REG. NO.: F-2567

date: 6/25/25 scale: 1"=20' sheet: C101

GENERAL NOTES

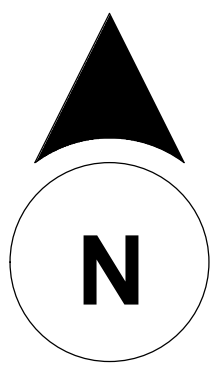
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
- Fire lanes shall be designed and constructed per city standards.
- Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
- Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
- All signage contingent upon Building Inspection Department.
- Approval of the site plan is not final until all engineering plans are approved.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Please contact the Building Inspection Department to determine the type of construction and occupancy group.
- All electrical transmission, distribution and service lines must be underground.




** NOTICE TO CONTRACTORS **

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **CBG SURVEYING TEXAS LLC OF GARLAND, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

NOTES:

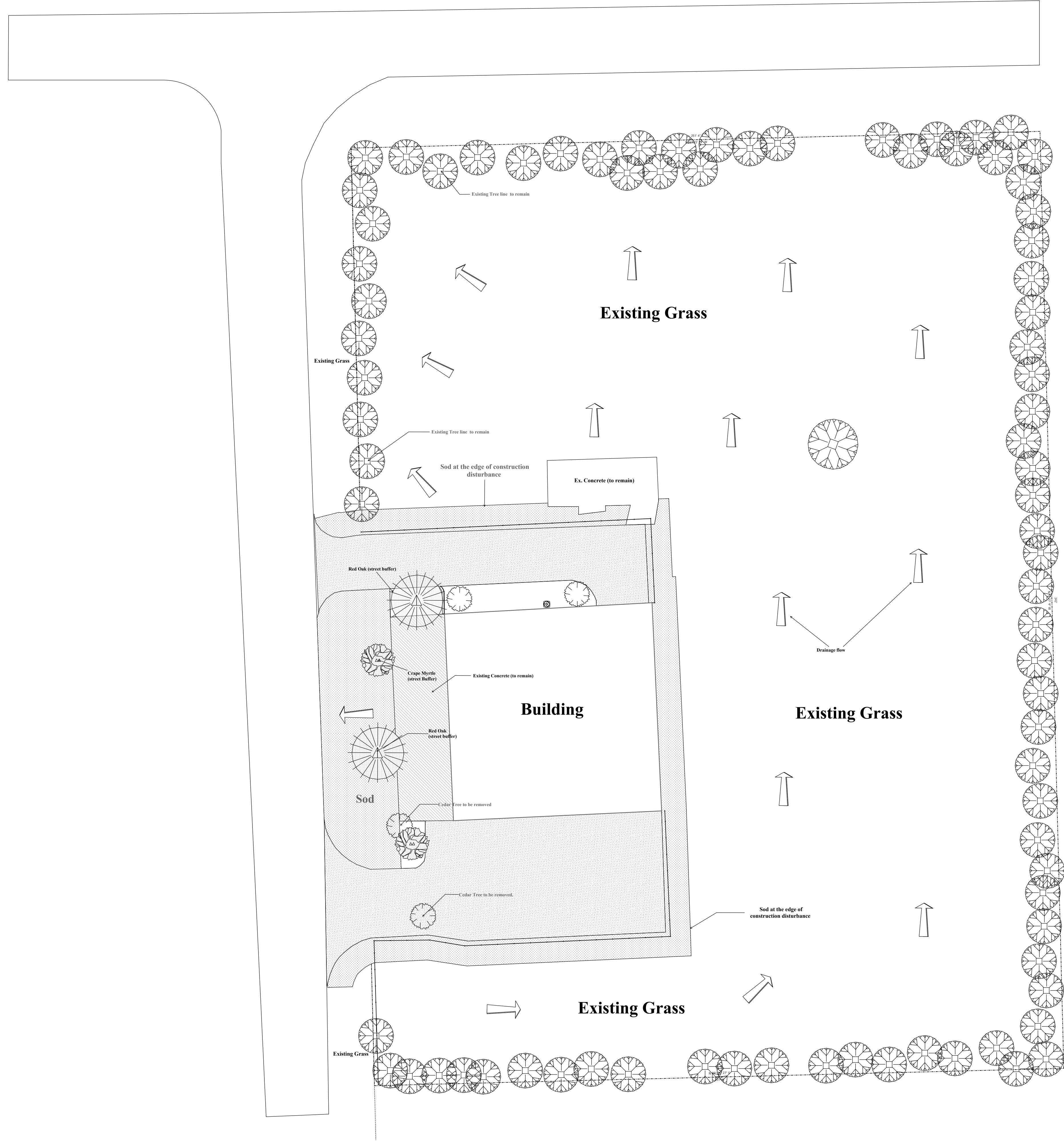
- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
- SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.








Fill Style	Finish	Spec.
	Existing Concrete	N/A
	Proposed Concrete	3500 PSI, Reenforced rebar
	Bermuda Sod	Tiff 419

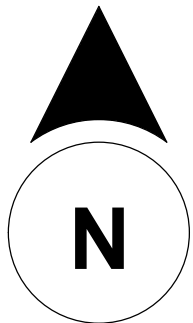
Revisions	Notes:
1)	1)
2)	2)





Trees to be removed: 2
Type of tree: Cedar
New Trees:
Nellie Stevens Holly (accent) see LP 1.0
Red Oak (canopy) see LP 1.0
Crape Myrtle (accent) LP 1.0
Tree Count : 86

Symbol	Qty	Common Name	Container	Height and Spread
Trees\Deciduous				
	1	Crape Myrtle(street Buffer)	3"	8'
	81	Existing Tree	N/A	N/A
	2	Red Oak (street buffer)	3"	10'
Trees\Evergreen				
	2	Cedar Tree to be removed	N/A	N/A
	2	Nellie Stevens Holly	30 Gal	6'



Project Number: 86

Date: 07/17/25

Scale: 1" = 20'

Sheet No.

Tree Plan

626 National Dr.
Rockwall Texas, 75032

LP-1.1

PLEASE BE ADVISED

This design is intellectual property of Clients First Landscape Solutions. We have the exclusive right to use, alter and profit from it. You do not have are permission to install it.

Revisions

Notes

1)

2)

1)

2)





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 118 National Dr. Rockwall Texas 75032

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light industrial CURRENT USE Metal Shop

PROPOSED ZONING Light Industrial PROPOSED USE Wood work shop

ACREAGE 1.95

LOTS [CURRENT]

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Michael Williamson

☒ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS 118 National Dr.

ADDRESS

CITY, STATE & ZIP Rockwall, Tx 75032

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Williamson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF July, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF July, 2025.

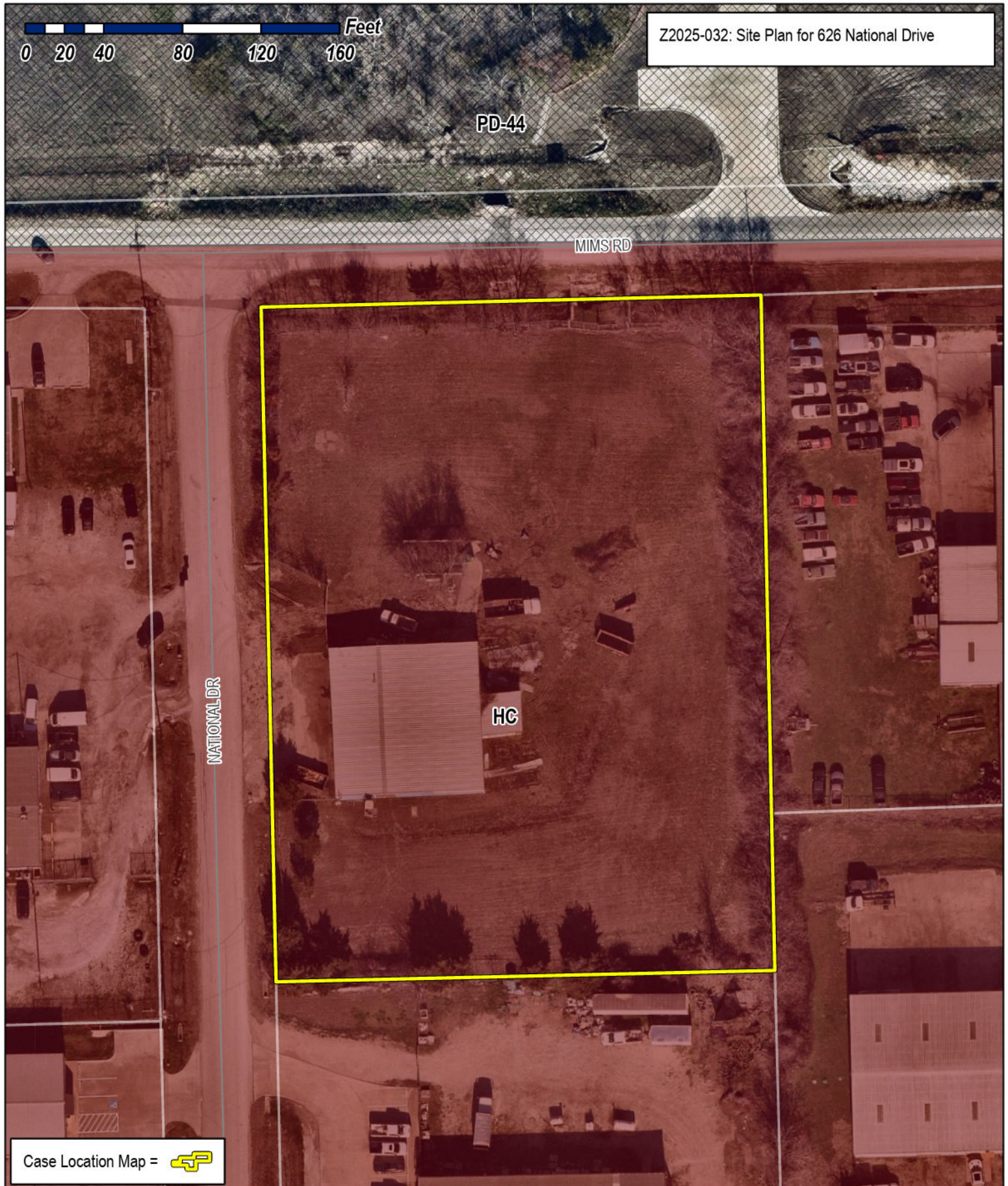
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



LIZEETH JUAREZ
Notary ID #134653132
My Commission Expires
November 20, 2027

MY COMMISSION EXPIRES November 20, 2027



City of Rockwall

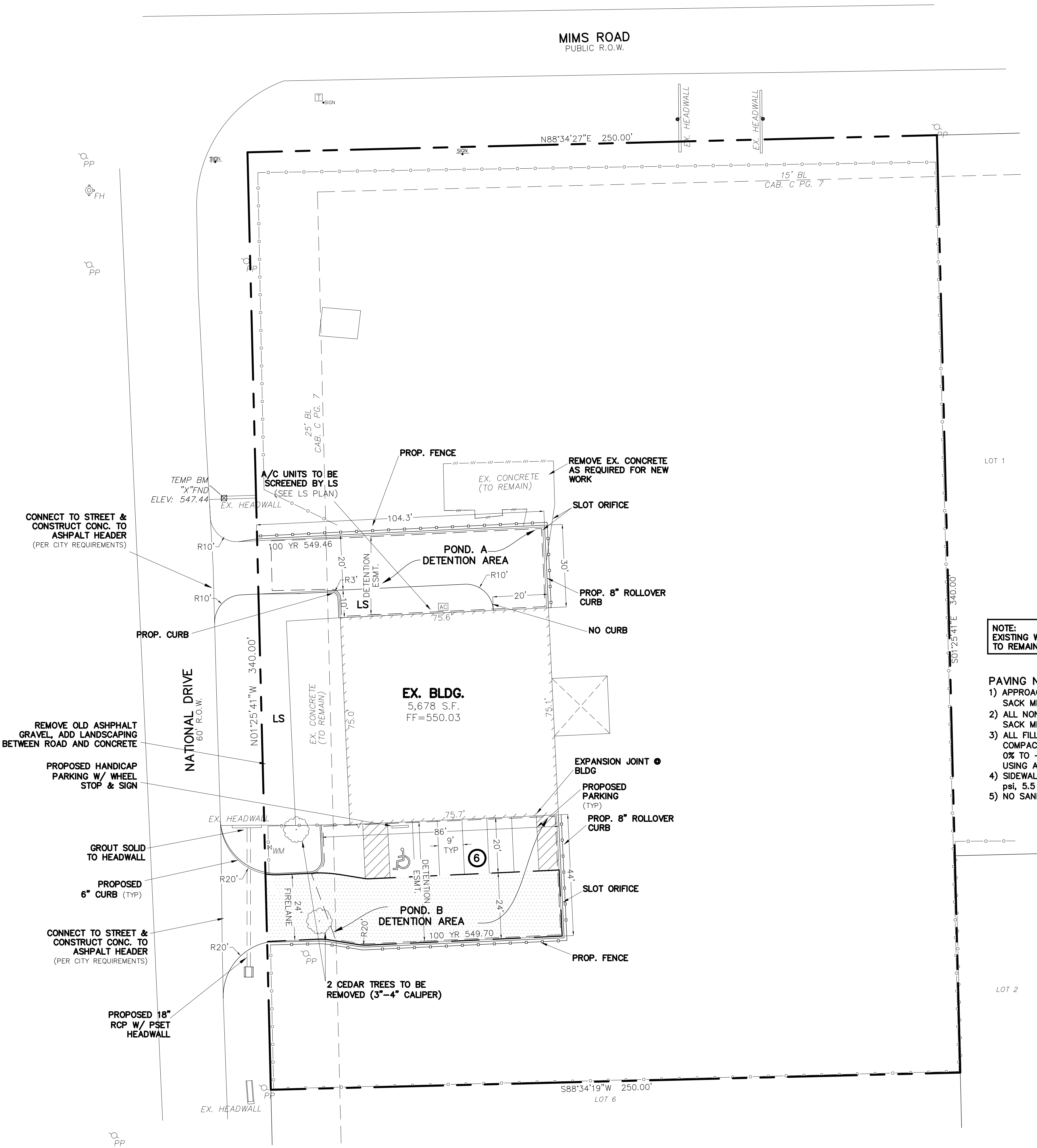
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



SITE DATA:

LOT AREA:
1.95 Acres, 84,999 sq.ft.
LOT COVERAGE:
6.7%
FLOOR TO AREA RATIO:
14.97:1
EX. BUILDING AREA:
5,678 sq.ft.
OFFICE:
WAREHOUSE:
EX. BUILDING HEIGHT:
1 STORY
IMPERVIOUS AREA (including buildings):
15,599 sq.ft.
PARKING:
Required: 6
Office ($\frac{1}{300}$ sf) =
Warehouse ($\frac{1}{300}$ SF) =
Handicap = 1
Provided:
Standard = 5
Handicapped = 1
Total Provided = 6
LANDSCAPE AREA:
Required: (20%) 17,000 sq.ft.
Provided: 69,400 sq.ft.

NOTE:
EXISTING WATER & SEWER SERVICE TO REMAIN AS IS

PAVING NOTES:

- APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 5½ SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- NO SAND UNDER PAVING.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



Gerald Monk
6/25/25

PROJECT #:

SITE & DIMENSION CONTROL PLAN 626 NATIONAL

LOT 7, BLOCK A, 1.95 ACRES
NATIONAL ADDITION
City of Rockwall, Rockwall County, Texas 75087

owner
CFL LANDSCAPES
ZACHARY CONTI
469.264.9260

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040

972 272-1763 Fax 972 272-8761

© 2025 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2025-3 REG. NO.: F-2567

date: 6/25/25 scale: 1"=20' sheet: C101

GENERAL NOTES

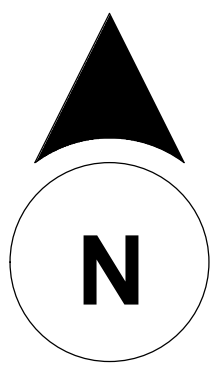
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
- Fire lanes shall be designed and constructed per city standards.
- Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
- Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
- All signage contingent upon Building Inspection Department.
- Approval of the site plan is not final until all engineering plans are approved.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Please contact the Building Inspection Department to determine the type of construction and occupancy group.
- All electrical transmission, distribution and service lines must be underground.




** NOTICE TO CONTRACTORS **

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **CBG SURVEYING TEXAS LLC OF GARLAND, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

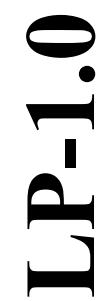
NOTES:

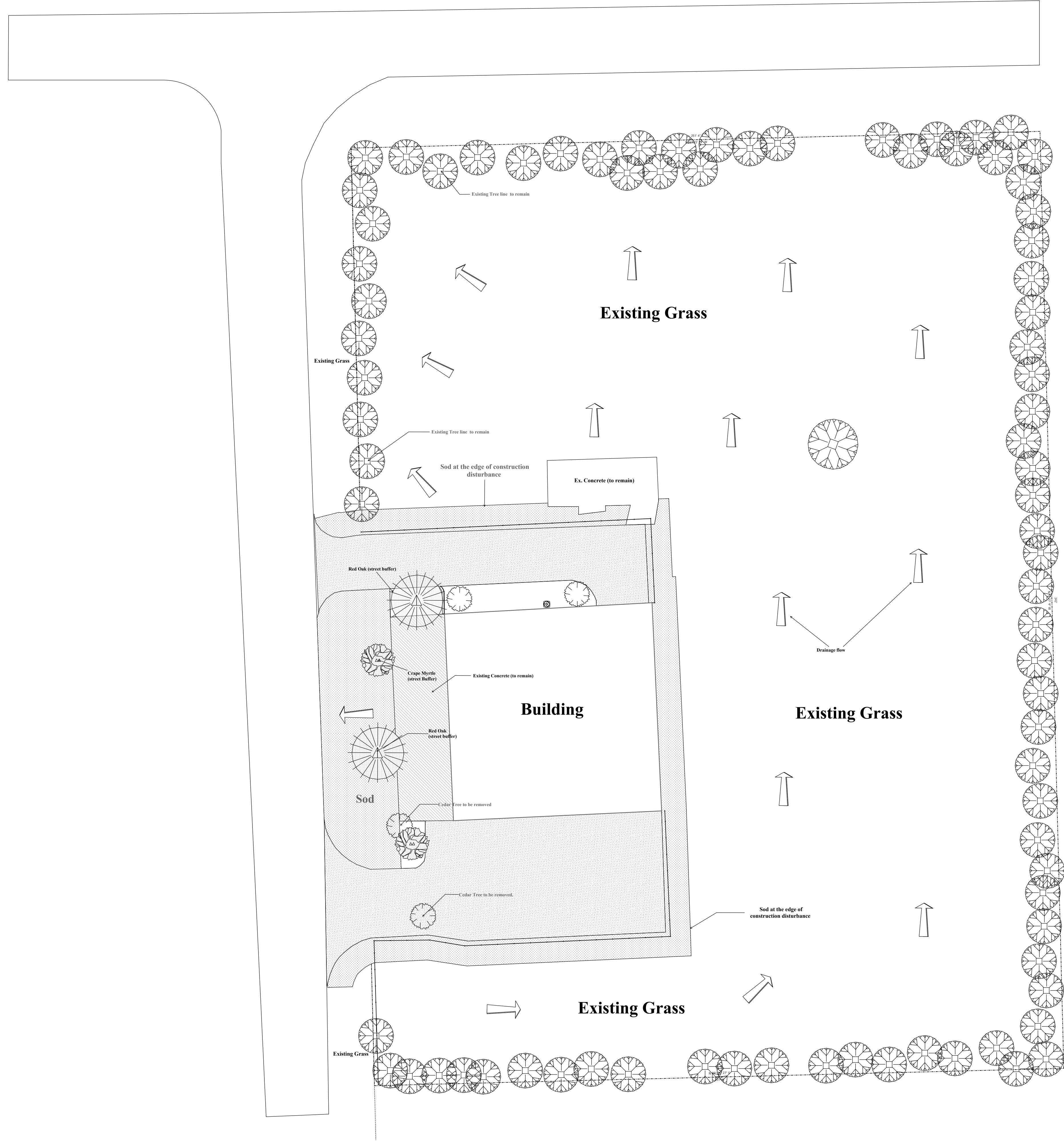
- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
- SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.








Fill Style	Finish	Spec.
	Existing Concrete	N/A
	Proposed Concrete	3500 PSI, Reenforced rebar
	Bermuda Sod	Tiff 419

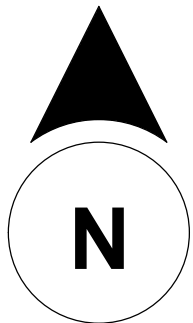
Revisions		Notes:
1)		1)
2)		2)





Trees to be removed: 2
Type of tree: Cedar
New Trees:
Nellie Stevens Holly (accent) see LP 1.0
Red Oak (canopy) see LP 1.0
Crape Myrtle (accent) LP 1.0
Tree Count : 86

Symbol	Qty	Common Name	Container	Height and Spread
Trees\Deciduous				
	1	Crape Myrtle(street Buffer)	3"	8'
	81	Existing Tree	N/A	N/A
	2	Red Oak (street buffer)	3"	10'
Trees\Evergreen				
	2	Cedar Tree to be removed	N/A	N/A
	2	Nellie Stevens Holly	30 Gal	6'



Project Number: 86

Date: 07/17/25

Scale: 1" = 20'

Sheet No.

Tree Plan

626 National Dr.
Rockwall Texas, 75032

LP-1.1

PLEASE BE ADVISED

This design is intellectual property of Clients First Landscape Solutions. We have the exclusive right to use, alter and profit from it. You do not have are permission to install it.

Revisions

Notes

1)

2)

1)

2)



CLIENTS FIRST

LANDSCAPE SOLUTIONS



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Bethany Ross; *Senior Planner*
DATE: August 26, 2025
SUBJECT: SP2025-031; *Site Plan for 626 National Drive*

The applicant, Michael Williamson, is requesting the approval of a site plan for the purpose of adding parking and updating the landscaping at 626 National Drive. The subject property is a 1.951-acre tract of land, identified as Tract 2-24 of the J.R. Johnson Survey, Abstract No. 128, and zoned Heavy Commercial (HC) District. Currently, the subject property is considered to be legally non-conforming with regard to the existing building, the unimproved parking areas, the chain-link fence, and the lack of landscaping on the property. Prior to this proposal the subject property was being used as a *Manufacturing Facility* (i.e. *Jacobs Machine Shop*). According to the site plan provided by the applicant, the subject property has a 5,678 SF warehouse building situated on it. The applicant's proposal entails expanding the parking using concrete, and providing detention for the site. In addition, the applicant is proposing to keep the existing six (6) foot chain-link fence. While this does not meet the City's fencing requirements staff should point out that they are making several improvements to the overall site that will bring the property closer into conformance with the Unified Development Code (UDC). Specifically, they will be constructing a 24-foot concrete fire lane south of the building, and providing a concrete parking lot with six (6) striped parking spaces. Based on this, staff views this site plan as being an overall improvement to the area. Staff should note that this area is designated as a transitional area in the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan. Transitional areas are areas where there is a high concentration of legal non-conforming properties, and "...should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties ...". The submitted site plan, landscape plan, and treescape plan generally conform to the technical requirements contained within the Unified Development Code (UDC). A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=1.951-acres; In Conformance
<i>Minimum Lot frontage</i>	60-Feet	X>60-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X~513.77-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X~44.5-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X<60%; In Conformance
<i>Minimum Number of Parking Spaces</i>	Warehouse 1/1000 = 6 spaces	X=6; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=81%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=18%; In Conformance

With that being said, since this site plan meets all of the applicable requirements, it is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, the item will need to be pulled off of the consent agenda at the August 26, 2025 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 118 National Dr. Rockwall Texas 75032

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light industrial	CURRENT USE	Metal Shop
PROPOSED ZONING	Light Industrial	PROPOSED USE	Wood work shop
ACREAGE	1.95	LOTS [CURRENT]	LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Michael Williamson	<input checked="" type="checkbox"/> APPLICANT	
CONTACT PERSON		CONTACT PERSON	
ADDRESS	118 National Dr.	ADDRESS	
CITY, STATE & ZIP	Rockwall, Tx 75032	CITY, STATE & ZIP	
PHONE		PHONE	
E-MAIL		E-MAIL	

NOTARY VERIFICATION [REQUIRED]

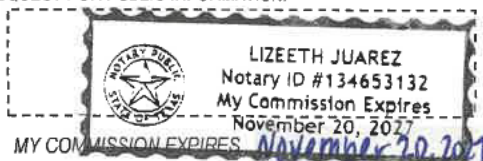
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Williamson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

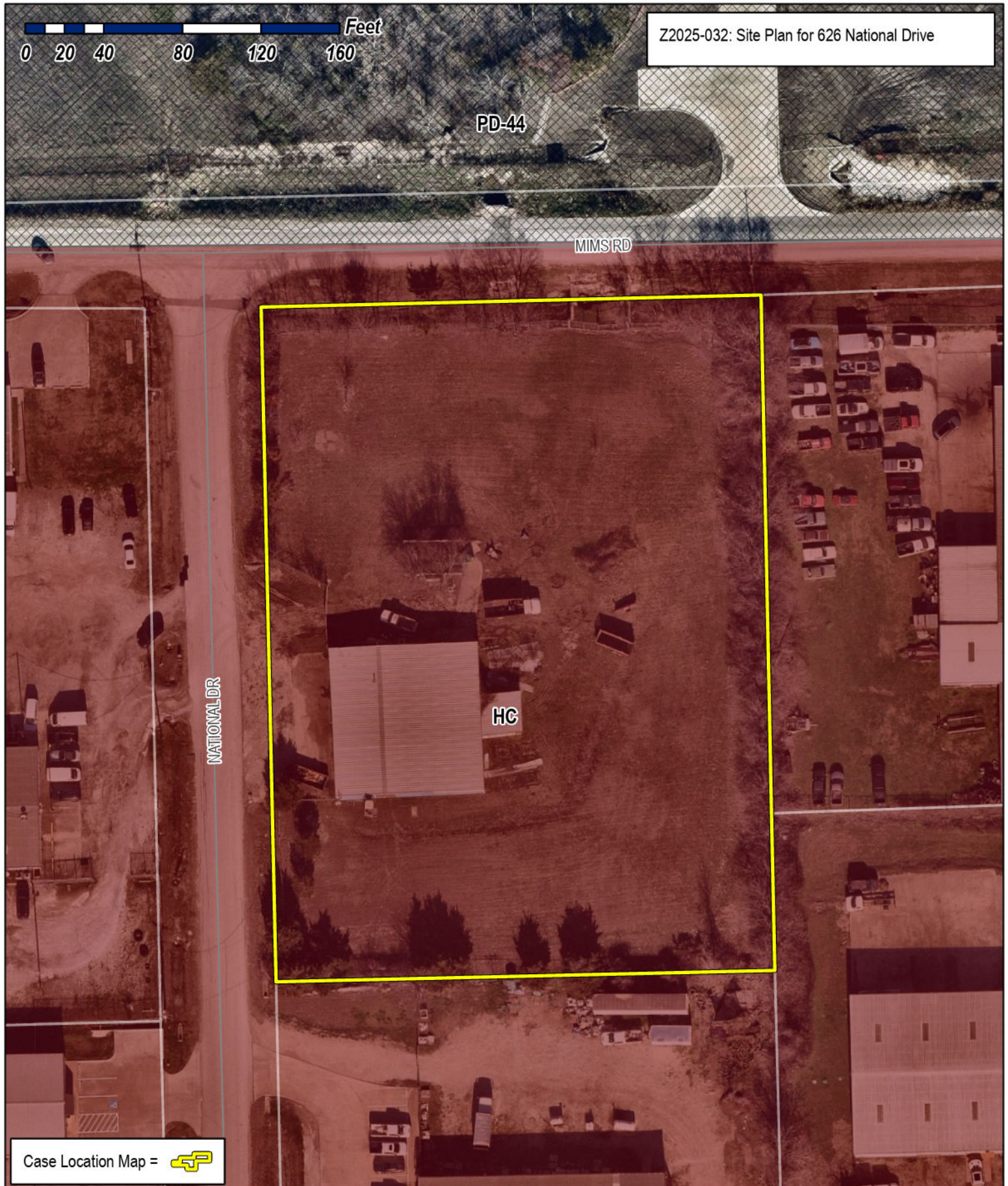
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF July, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF July, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

CLEAN OUT DITCH TO ENSURE PROPER DRAINAGE
(SEE GRADING PLAN)

CONNECT TO STREET & CONSTRUCT CONC. TO ASPHALT HEADER
(PER CITY REQUIREMENTS)

REMOVE OLD ASPHALT GRAVEL, ADD LANDSCAPING BETWEEN ROAD AND CONCRETE

PROPOSED HANDICAP PARKING W/ WHEEL STOP & SIGN

CONNECT NEW 18" RCP TO EXISTING 18" RCP GROUT JOINT

PROPOSED 6" CURB (TYP)

CONNECT TO STREET & CONSTRUCT CONC. TO ASPHALT HEADER
(PER CITY REQUIREMENTS)

PROPOSED 18" RCP W/ PSET HEADWALL

CLEAN OUT DITCH TO ENSURE PROPER DRAINAGE
(SEE GRADING PLAN)

** NOTICE TO CONTRACTORS **

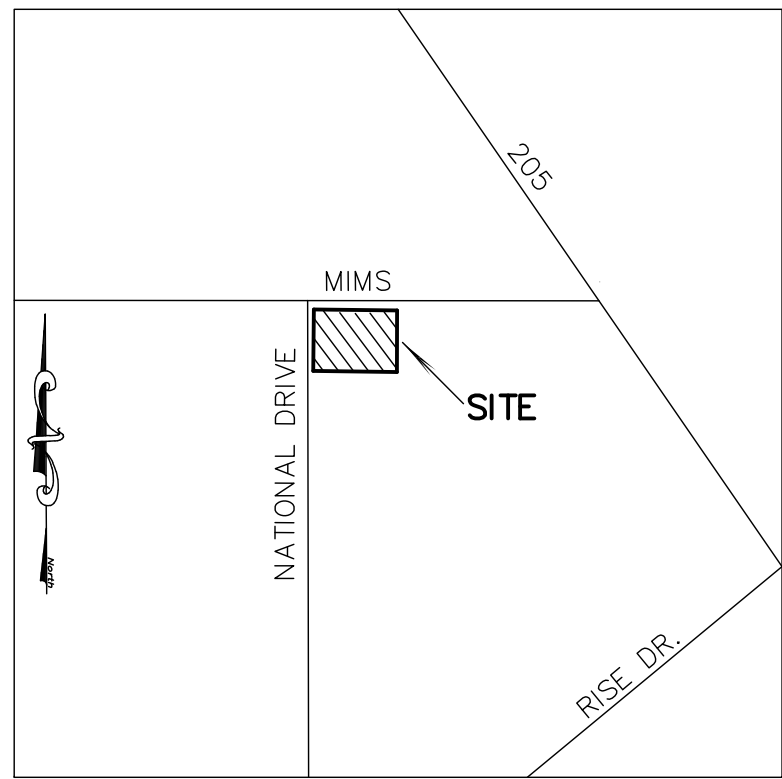
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **CBG SURVEYING TEXAS LLC OF GARLAND, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

MIMS ROAD
PUBLIC R.O.W.

20 10 0 20
1" = 20'



VICINITY MAP
NOT TO SCALE

SITE DATA:

LOT AREA:
1.95 Acres, 84,999 sq.ft.
LOT COVERAGE:
6.7%
FLOOR TO AREA RATIO:
14.97:1
EX. BUILDING AREA:
5,678 sq.ft.
PROPOSED FUTURE USE:
MANUFACTURING
EX. BUILDING HEIGHT:
1 STORY
IMPERVIOUS AREA (including buildings):
15,599 sq.ft.
PARKING:
Required: 6
Warehouse (1/1000 SF) = 6
Handicap = 1
Provided: 5
Standard = 5
Handicapped = 1
Total Provided = 6
LANDSCAPE AREA:
Required: (20%) 17,000 sq.ft.
Provided: 69,400 sq.ft.

NOTE:
EXISTING WATER & SEWER SERVICE TO REMAIN AS IS

PAVING NOTES:

- 1) APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 5 1/2 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- 5) NO SAND UNDER PAVING.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



Gerald Monk
8/12/25

PROJECT #: SP2025-031

SITE & DIMENSION CONTROL PLAN 626 NATIONAL

LOT 7, BLOCK A, 1.95 ACRES
NATIONAL ADDITION
City of Rockwall, Rockwall County, Texas 75087

owner
CFL LANDSCAPES
ZACHARY CONTI
469.264.9260

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972.272-1763 Fax 972.272-8761

© 2025 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2025-3 REG. NO.: F-2567

date: 8/12/25 scale: 1"=20'

sheet: C101

SITE PLAN SIGNATURE BLOCK

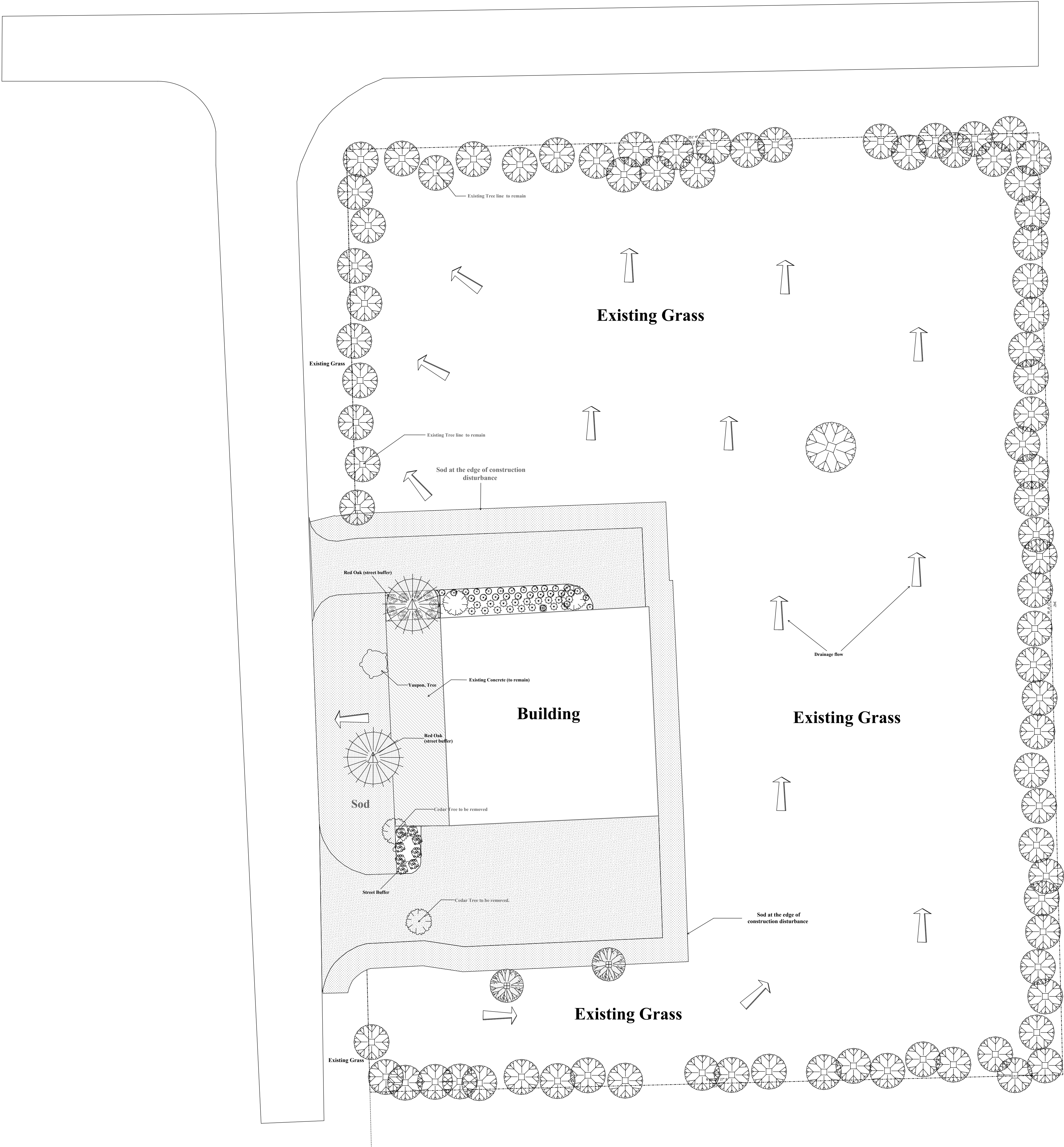
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Landscape area

Required: (20%) 17,000 Sq. Ft.
Provided:
New landscaping - 7,270.96 Sq ft.
Total provided landscaping - 76,670.96 Sq Ft.

Trees to be removed : 2
Trees to be added: 4

Street buffer:
Four Trees
Red Oak 3" (2)
Yaupon Holly 3" (2)

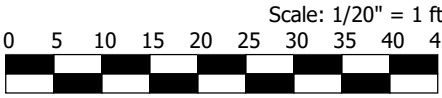
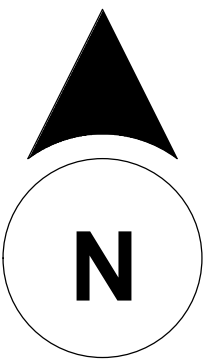
Ground Cover - Bermuda Sod

Shrub buffer - Mexican Feather grass 3 gal

Irrigation Note: Irrigation will meet the requirements of the UDC.

Symbol	Qty	Common Name	Container	Height and Sprea
Groundcovers\Ornamental Grass				
	16	Big Blue Lilyturf, Bloomed	1 Gal.	10" H x 8" W
	16	Mexican Feather Grass	3 Gal	18" H x 12" W
Groundcovers\Perennials				
	10	Chinese Fringe Flower	3 Gal	12" H x 18" W
Shrubs\Evergreen				
	17	Golden Vicary Privet	3 Gal.	18" H x 12" W
	2	Yaupon, Tree	Full Size	
Trees\Deciduous				
	79	Existing Tree	Full Size	
	1	Red Oak (street buffer)	3" Cal	10'
	1	Red Oak(street buffer)	Full Size	
Trees\Evergreen				
	2	Live Oak	Full Size	
	2	Nellie Stevens Holly	30 Gal	6'

Fill Style	Finish	Spec.
	Existing Concrete	N/A
	Proposed Concrete	3500 PSI, Reenforced rebar
	Bermuda Sod	Tiff 419



PLEASE BE ADVISED

This design is intellectual property of Clients First Landscape Solutions. We have the exclusive right to use, alter and profit from it. You do not have are permission to install it.

Revisions

1)

Notes:

1)

2)

2)

Overall Landscape Plan

626 National Dr.
Rockwall Texas, 75032

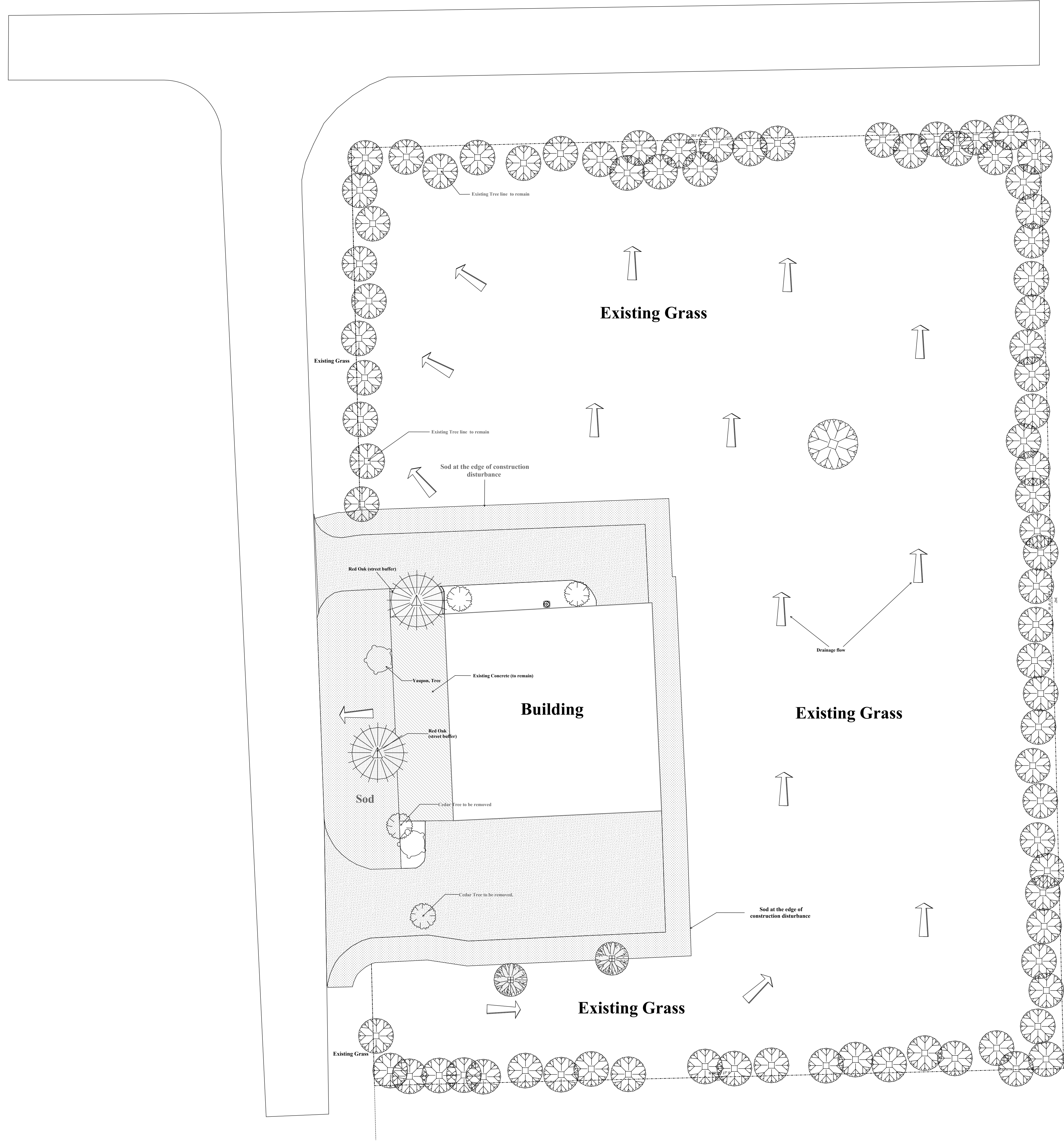
Project Number: 87

Date: 08/19/2025






Scale: 1" = 20'

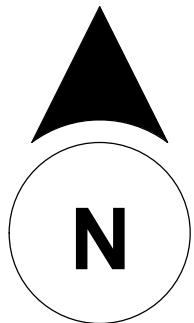
Sheet No.

LP-1.0



Trees to be removed: 2
Type of tree: Cedar
New Trees:
Nellie Stevens Holly (accent) see LP 1.0
Red Oak (canopy) see LP 1.0
Yaupon Holly (accent) LP 1.0
Tree Count : 86

Symbol	Qty	Common Name	Container	Height and Spread
Trees\Deciduous				
	81	Existing Tree	N/A	N/A
	2	Red Oak (street buffer)	3"	10'
Trees\Evergreen				
	2	Cedar Tree to be removed	N/A	N/A
	2	Live Oak	3"	
	2	Nellie Stevens Holly	30 Gal	6'



Project Number: 86

Date: 0819 / 25

Scale: 1" = 20'

Sheet No.

Tree Plan

626 National Dr.
Rockwall Texas, 75032

LP-1.1

PLEASE BE ADVISED
This design is intellectual property of
Clients First Landscape Solutions.
We have the exclusive right to use,
alter and profit from it. You do not
have are permission to install it.

Revisions

1)

2)

Notes

1)

2)







DATE: September 8, 2025

TO: Michael Williamson
118 National Drive
Rockwall, Texas 75032

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2025-031; *Site Plan for 626 National Drive*

Michael:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on August 26, 2025. The following is a record of all recommendations, voting records:

Staff Recommendations:

The applicant is required to provide an updated site plan that addresses staff comments before the submittal of engineering plans.

Planning and Zoning Commission

On August 26, 2025 the Planning and Zoning Commission approved a motion to approve the *Amended Site Plan* by a vote of 7-0.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me at (972) 772-6488.

Sincerely,

Bethany Ross, Senior Planner
City of Rockwall Planning and Zoning Department