



## CASE COVER SHEET

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

### **PLATTING APPLICATION**

MASTER PLAT  
PRELIMINARY PLAT  
FINAL PLAT  
REPLAT  
AMENDING OR MINOR PLAT  
PLAT REINSTATEMENT REQUEST

### **SITE PLAN APPLICATION**

SITE PLAN  
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

### **ZONING APPLICATION**

ZONING CHANGE  
SPECIFIC USE PERMIT  
PD DEVELOPMENT PLAN

### **OTHER APPLICATION**

TREE REMOVAL  
VARIANCE REQUEST/SPECIAL EXCEPTIONS

## RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$1000.00)

TIMOTHY RAMOO  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01RA0025482  
Qualified in SUFFOLK County  
Commission Expires 06/03/2028

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS **568 E Interstate 30**

SUBDIVISION **LaJolla Point Addition PH2**

LOT **17**

BLOCK **A**

GENERAL LOCATION **vacant restaurant (former Taco Cabana) on NWQ of I-30 and Ridge Rd**

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING **Commercial Zoning, with Scenic Overlay and IH30 Overla**

CURRENT USE **Restaurant**

PROPOSED ZONING **Same**

PROPOSED USE **Restaurant**

ACREAGE **1.37**

LOTS [CURRENT] **17**

LOTS [PROPOSED] **A**

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

☐ OWNER **Shake Shack Texas, LLC**

☒ APPLICANT **Shake Shack #1745**

CONTACT PERSON **Erika Lizardo**

CONTACT PERSON **Regina Laman**

ADDRESS **225 Varick St, Suite 301**

ADDRESS **225 Varick St Suite 301**

CITY, STATE & ZIP **New York, NY 10014**

CITY, STATE & ZIP **New York NY 10014**

PHONE **862-384-1057**

PHONE **972-396-8409**

E-MAIL **elizardo@hdgroupinc.com**

E-MAIL **rlaman@hdgroupinc.com**

## NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Erika Lizardo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF May 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

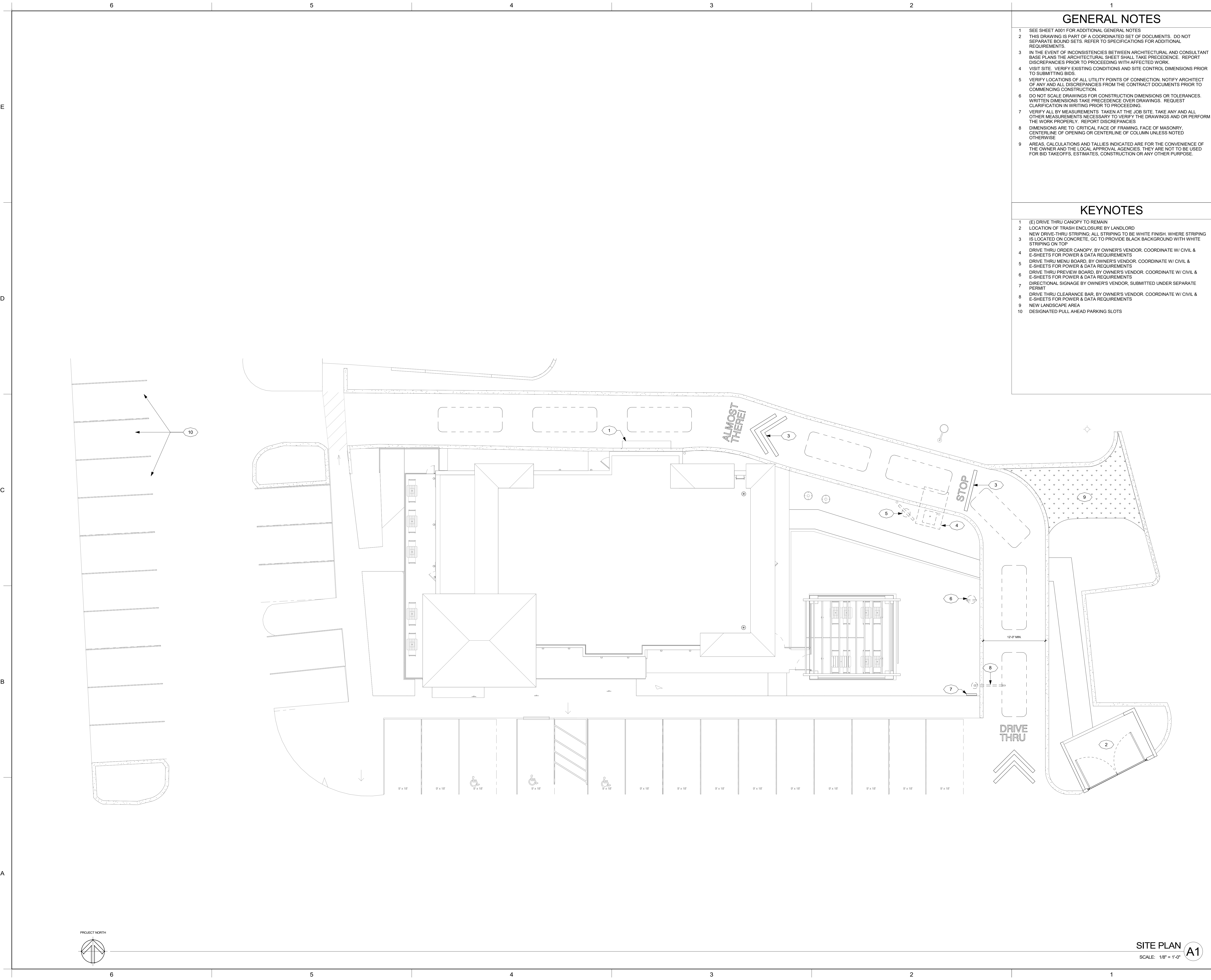
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6th DAY OF May 2025.

OWNER'S SIGNATURE  
Erika Lizardo

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01RA0025482  
Qualified in SUFFOLK County  
Commission Expires 06/03/2028

MY COMMISSION EXPIRES 06/03/2028



GENERAL NOTES

- 1 SEE SHEET A001 FOR ADDITIONAL GENERAL NOTES
- 2 THIS DRAWING IS PART OF A COORDINATED SET OF DOCUMENTS. DO NOT SEPARATE BOUND SETS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 3 IN THE EVENT OF INCONSISTENCIES BETWEEN ARCHITECTURAL AND CONSULTANT BASE PLANS THE ARCHITECTURAL SHEET SHALL TAKE PRECEDENCE. REPORT DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK.
- 4 VISIT SITE. VERIFY EXISTING CONDITIONS AND SITE CONTROL DIMENSIONS PRIOR TO SUBMITTING BIDS
- 5 VERIFY LOCATIONS OF ALL UTILITY POINTS OF CONNECTION. NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES FROM THE CONTRACT DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION.
- 6 DO NOT SCALE DRAWINGS FOR CONSTRUCTION DIMENSIONS OR TOLERANCES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. REQUEST CLARIFICATION IN WRITING PRIOR TO PROCEEDING.
- 7 VERIFY ALL BY MEASUREMENTS TAKEN AT THE JOB SITE. TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND OR PERFORM THE WORK PROPERLY. REPORT DISCREPANCIES
- 8 DIMENSIONS ARE TO CRITICAL FACE OF FRAMING, FACE OF MASONRY, CENTERLINE OF OPENING OR CENTERLINE OF COLUMN UNLESS NOTED OTHERWISE
- 9 AREAS, CALCULATIONS AND TALLIES INDICATED ARE FOR THE CONVENIENCE OF THE OWNER AND THE LOCAL APPROVAL AGENCIES. THEY ARE NOT TO BE USED FOR BID TAKEOFFS, ESTIMATES, CONSTRUCTION OR ANY OTHER PURPOSE.

KEYNOTES

- 1 (E) DRIVE THRU CANOPY TO REMAIN
- 2 LOCATION OF TRASH ENCLOSURE BY LANDLORD
- 3 NEW DRIVE-THRU STRIPING; ALL STRIPING TO BE WHITE FINISH, WHERE STRIPING IS LOCATED ON CONCRETE, GC TO PROVIDE BLACK BACKGROUND WITH WHITE STRIPING ON TOP
- 4 DRIVE THRU ORDER CANOPY, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 5 DRIVE THRU MENU BOARD, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 6 DRIVE THRU PREVIEW BOARD, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 7 DIRECTIONAL SIGNAGE BY OWNER'S VENDOR, SUBMITTED UNDER SEPARATE PERMIT
- 8 DRIVE THRU CLEARANCE BAR, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 9 NEW LANDSCAPE AREA
- 10 DESIGNATED PULL AHEAD PARKING SLOTS

zebra  
Z E B R A P R O J E C T S , I N C .  
14614 N KIERLAND BLVD, SUITE N500  
SCOTTSDALE, ARIZONA 85254  
PHONE: 480.912.1169 zbr.global

STORE NO:  
00000

SHAKE SHACK'  
ROCKWALL, TX  
8501 W. STATE ST.  
ROCKWALL, TX 75087

REVISION	
Δ	DESCRIPTION

STATUS:  
TEST FIT

PRELIMINARY:  
Preliminary Documents Are for Design Review only and not intended for bidding, negotiating, permitting or construction purposes. They were prepared by or under the supervision of Zebra Projects, INC.

NOT FOR CONSTRUCTION

FIELD VERIFICATION:  
The contractor shall verify all signed dimensions and condition at the project site and notify Zebra Projects, INC. of any dimensional errors, or omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

COPYRIGHT © 2025:  
Zebra Projects, INC. shall retain all common law, statutory and all other reserved rights. Neither the documents nor the information herein is to be reproduced, distributed, disclosed or otherwise without the written consent of Zebra Projects, INC.

SHEET NAME:  
SITE PLAN

DATE: 03/05/25 PROJECT NO: 40402

DRAWN: AA SCALE:

SHEET NO:  
SP101

SITE PLAN  
SCALE: 1/8" = 1'-0" A1





EXTERIOR FINISH LEGEND			
X-WF-5	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7052 GRAY AREA	X-WF-6	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7058 ALABASTER
EX-WF-1	LOCATION: EXTERIOR FACADE MATERIAL: EXISTING STONE FINISH: PAINTED COLOR: SW 7052 GRAY AREA	PT-101	LOCATION: ROOF MATERIAL: EXTERIOR PAINT FINISH: LOW SHEEN COLOR: SW 7059 IRON ORE
PT-111	LOCATION: CANOPY MATERIAL: EXTERIOR PAINT FINISH: EGGSHELL COLOR: SW 7059 IRON ORE	M-101	LOCATION: PARAPET MATERIAL: METAL COPING MANUFACTURER: PAC CLAD COLOR: BLACK
SD-1	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT BLACK	SD-2	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT WHITE

STORE NO:  
**TX #1745**

SHAKE SHACK  
ROCKWALL, TX  
14664 N KIERLAND BLVD, SUITE N500  
SCOTTSDALE, ARIZONA 85254  
PHONE: 480.912.1169 zbr.global

REVISION	
Δ	DESCRIPTION

STATUS:  
**75% CD PROGRESS SET**

PRELIMINARY:  
Preliminary Documents Are for Design Review only and not intended for bidding, permitting, or construction purposes. They were prepared by or under the supervision of Zebra Projects, INC.

**NOT FOR CONSTRUCTION**

FIELD VERIFICATION:  
The contractor shall verify all signed dimensions and location at the project site and notify Zebra Projects, INC. of any dimensional errors, or omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

COPYRIGHT © 2025:  
Zebra Projects, INC. shall retain all common law, statutory and all other reserved rights. Neither the documents nor the information herein is to be reproduced, distributed, reduced or otherwise without the written consent of Zebra Projects, INC.

SHEET NAME:  
**COLORED ELEVATIONS**

DATE: 05/14/25  
PROJECT NO: 40402

DRAWN: JF  
SCALE:

SHEET NO:  
**A203**





EXTERIOR FINISH LEGEND			
X-WF-5	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7052 GRAY AREA	X-WF-6	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7058 ALABASTER
EX-WF-1	LOCATION: EXTERIOR FACADE MATERIAL: EXISTING STONE FINISH: PAINTED COLOR: SW 7052 GRAY AREA	PT-101	LOCATION: ROOF MATERIAL: EXTERIOR PAINT FINISH: LOW SHEEN COLOR: SW 7069 IRON ORE
PT-111	LOCATION: CANOPY MATERIAL: EXTERIOR PAINT FINISH: EGGSHELL COLOR: SW 7069 IRON ORE	M-101	LOCATION: PARAPET MATERIAL: METAL COPING MANUFACTURER: PAC CLAD COLOR: BLACK
SD-1	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT BLACK	SD-2	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT WHITE

STORE NO:  
**TX #1745**



**SHAKE SHACK**  
ROCKWALL, TX  
8501 ROCKWALL BLVD  
SUITE 100  
ROCKWALL, TX 75087

REVISION		
Δ	DATE	DESCRIPTION

STATUS:  
**75% CD PROGRESS SET**

PRELIMINARY:  
Preliminary Documents Are for Design Review only and not intended for bidding, negotiating, permitting or construction purposes. They were prepared by or under the supervision of Zebra Projects, INC.

**NOT FOR CONSTRUCTION**

FIELD VERIFICATION:  
The contractor shall verify all signed dimensions and location at the project site and notify Zebra Projects, INC. of any dimensional errors, or omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

COPYRIGHT © 2025:  
Zebra Projects, INC. shall retain all common law, statutory and all other reserved rights. Neither the documents nor the information herein is to be reproduced, distributed, replicated or otherwise without the written consent of Zebra Projects, INC.

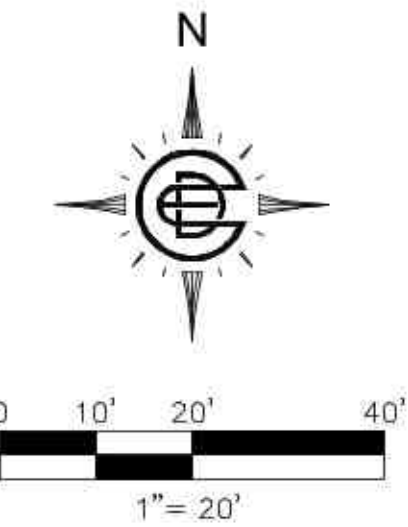
SHEET NAME:  
**COLORED ELEVATIONS**

DATE: 04/16/25 PROJECT NO: 40402

DRAWN: JF SCALE:

SHEET NO:  
**A204**





VICINITY MAP  
1" = 500'

CONCEPT SITE PLAN	
RESTAURANT	
568 E INTERSTATE 30	
CITY OF ROCKWALL, TEXAS	
	ENGINEER  5300 TOWN & COUNTRY BOULEVARD, SUITE 100 FRISCO, TEXAS 75034 469-850-0900   dec-en.com TBP# FIRM NO. F-20255
	ISSUE DATE 04/16/25
	DEC FILE NO. 105621
	CITY FILE NO. PSP









# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$1000.00)

TIMOTHY RAMOO  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01RA0025482  
Qualified in SUFFOLK County  
Commission Expires 06/03/2028

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS **568 E Interstate 30**

SUBDIVISION **LaJolla Point Addition PH2**

LOT **17**

BLOCK **A**

GENERAL LOCATION **vacant restaurant (former Taco Cabana) on NWQ of I-30 and Ridge Rd**

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING **Commercial Zoning, with Scenic Overlay and IH30 Overla**

CURRENT USE **Restaurant**

PROPOSED ZONING **Same**

PROPOSED USE **Restaurant**

ACREAGE **1.37**

LOTS [CURRENT] **17**

LOTS [PROPOSED] **A**

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

☐ OWNER **Shake Shack Texas, LLC**

☒ APPLICANT **Shake Shack #1745**

CONTACT PERSON **Erika Lizardo**

CONTACT PERSON **Regina Laman**

ADDRESS **225 Varick St, Suite 301**

ADDRESS **225 Varick St Suite 301**

CITY, STATE & ZIP **New York, NY 10014**

CITY, STATE & ZIP **New York NY 10014**

PHONE **862-384-1057**

PHONE **972-396-8409**

E-MAIL **elizardo@hdgroupinc.com**

E-MAIL **rlaman@hdgroupinc.com**

## NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Erika Lizardo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF May 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6th DAY OF May 2025.

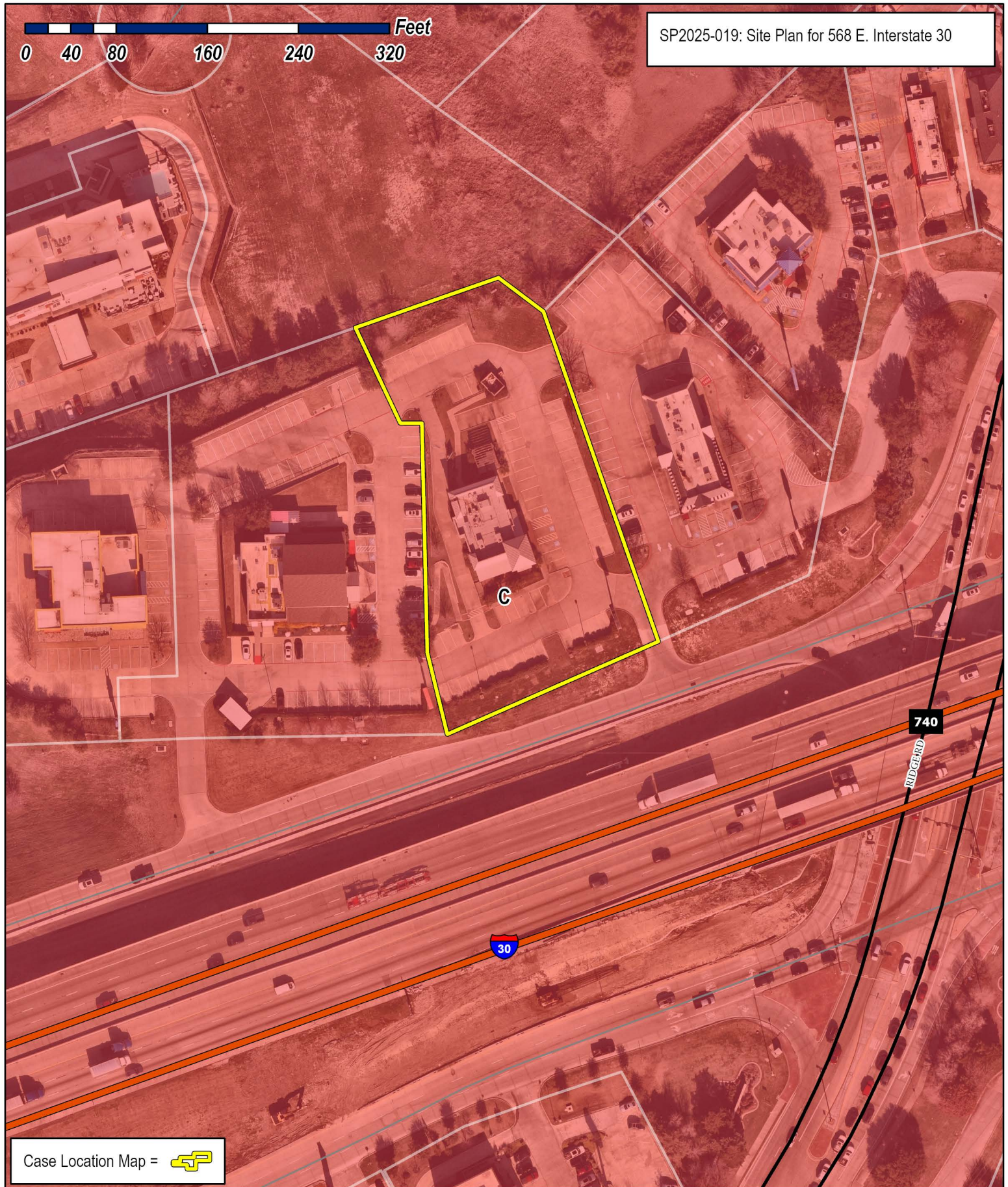
OWNER'S SIGNATURE  
Erika Lizardo


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]

NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01RA0025482  
Qualified in SUFFOLK County  
Commission Expires 06/03/2028

MY COMMISSION EXPIRES 06/03/2028





Case Location Map = 



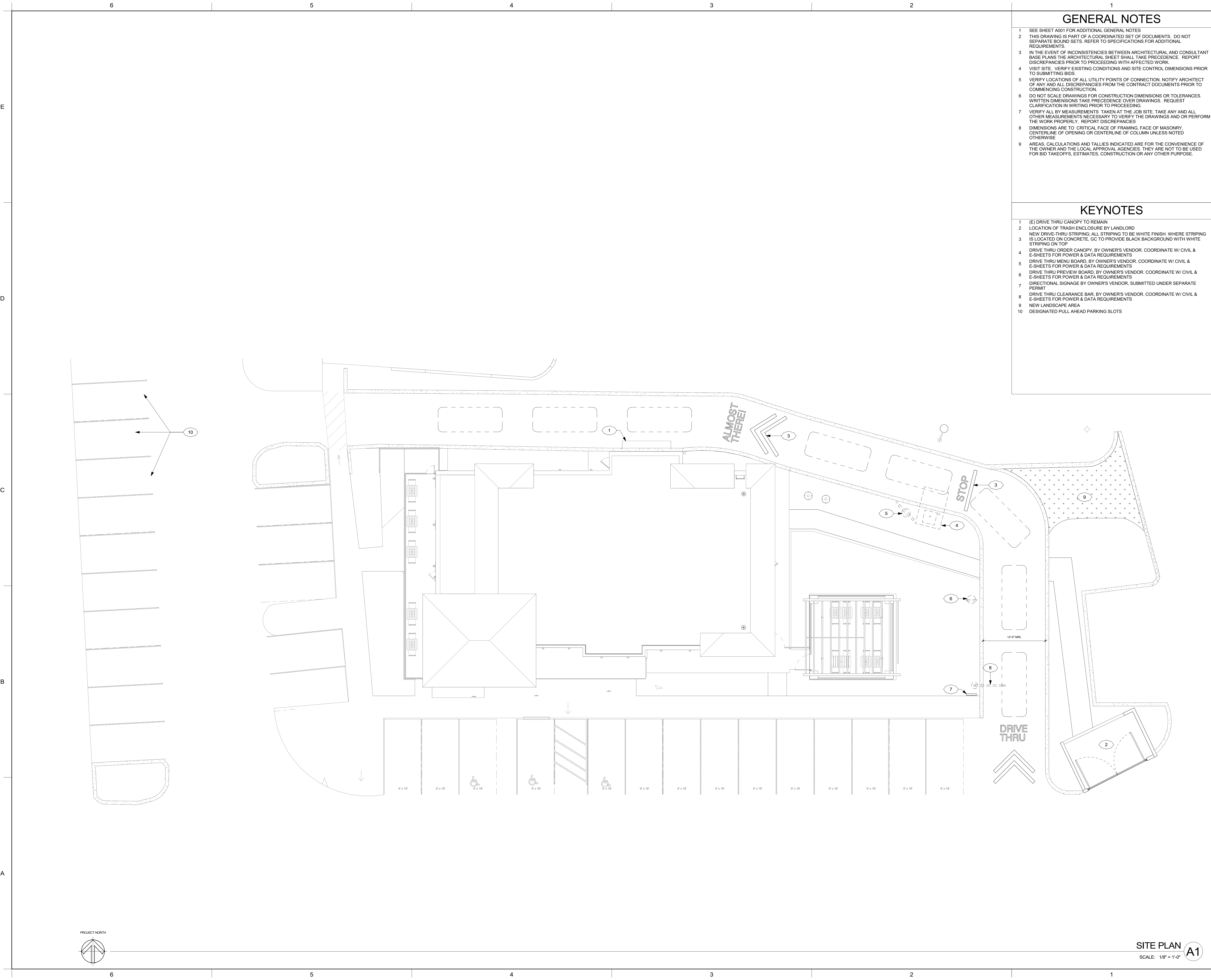
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







GENERAL NOTES

- 1 SEE SHEET A001 FOR ADDITIONAL GENERAL NOTES
- 2 THIS DRAWING IS PART OF A COORDINATED SET OF DOCUMENTS. DO NOT SEPARATE BOUND SETS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 3 IN THE EVENT OF INCONSISTENCIES BETWEEN ARCHITECTURAL AND CONSULTANT BASE PLANS THE ARCHITECTURAL SHEET SHALL TAKE PRECEDENCE. REPORT DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK.
- 4 VISIT SITE. VERIFY EXISTING CONDITIONS AND SITE CONTROL DIMENSIONS PRIOR TO SUBMITTING BIDS
- 5 VERIFY LOCATIONS OF ALL UTILITY POINTS OF CONNECTION. NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES FROM THE CONTRACT DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION.
- 6 DO NOT SCALE DRAWINGS FOR CONSTRUCTION DIMENSIONS OR TOLERANCES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. REQUEST CLARIFICATION IN WRITING PRIOR TO PROCEEDING.
- 7 VERIFY ALL BY MEASUREMENTS TAKEN AT THE JOB SITE. TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND OR PERFORM THE WORK PROPERLY. REPORT DISCREPANCIES
- 8 DIMENSIONS ARE TO CRITICAL FACE OF FRAMING, FACE OF MASONRY, CENTERLINE OF OPENING OR CENTERLINE OF COLUMN UNLESS NOTED OTHERWISE
- 9 AREAS, CALCULATIONS AND TALLIES INDICATED ARE FOR THE CONVENIENCE OF THE OWNER AND THE LOCAL APPROVAL AGENCIES. THEY ARE NOT TO BE USED FOR BID TAKEOFFS, ESTIMATES, CONSTRUCTION OR ANY OTHER PURPOSE.

KEYNOTES

- 1 (E) DRIVE THRU CANOPY TO REMAIN
- 2 LOCATION OF TRASH ENCLOSURE BY LANDLORD
- 3 NEW DRIVE-THRU STRIPING; ALL STRIPING TO BE WHITE FINISH. WHERE STRIPING IS LOCATED ON CONCRETE, GC TO PROVIDE BLACK BACKGROUND WITH WHITE STRIPING ON TOP
- 4 DRIVE THRU ORDER CANOPY, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 5 DRIVE THRU MENU BOARD, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 6 DRIVE THRU PREVIEW BOARD, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 7 DIRECTIONAL SIGNAGE BY OWNER'S VENDOR. SUBMITTED UNDER SEPARATE PERMIT
- 8 DRIVE THRU CLEARANCE BAR, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 9 NEW LANDSCAPE AREA
- 10 DESIGNATED PULL AHEAD PARKING SLOTS

zebra  
Z E B R A P R O J E C T S , I N C .  
14614 N KIERLAND BLVD, SUITE N500  
SCOTTSDALE, ARIZONA 85254  
PHONE: 480.912.1169 zbr.global

STORE NO:  
00000

SHAKE SHACK'  
ROCKWALL, TX  
8501 W. STATE ST.  
ROCKWALL, TX 75087

REVISION	
Δ	DESCRIPTION

STATUS:  
TEST FIT

PRELIMINARY:  
Preliminary Documents Are for Design Review only and not intended for bidding, negotiating, permitting or construction purposes. They were prepared by or under the supervision of Zebra Projects, INC.

NOT FOR CONSTRUCTION

FIELD VERIFICATION:  
The contractor shall verify all signed dimensions and condition at the project site and notify Zebra Projects, INC. of any dimensional errors, or omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

COPYRIGHT © 2025:  
Zebra Projects, INC. shall retain all common law, statutory and all other reserved rights. Neither the documents nor the information herein is to be reproduced, distributed, disclosed or otherwise without the written consent of Zebra Projects, INC.

SHEET NAME:  
SITE PLAN

DATE: 03/05/25 PROJECT NO: 40402

DRAWN: AA SCALE:

SHEET NO:  
SP101

SITE PLAN  
SCALE: 1/8" = 1'-0"

A1



6

5

4

3

2

1

EXTERIOR FINISH LEGEND

X-WF-5	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7052 GRAY AREA	X-WF-6	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7058 ALABASTER
EX-WF-1	LOCATION: EXTERIOR FACADE MATERIAL: EXISTING STONE FINISH: PAINTED COLOR: SW 7052 GRAY AREA	PT-101	LOCATION: ROOF MATERIAL: EXTERIOR PAINT FINISH: LOW SHEEN COLOR: SW 7059 IRON ORE
PT-111	LOCATION: CANOPY MATERIAL: EXTERIOR PAINT FINISH: EGGSHELL COLOR: SW 7059 IRON ORE	M-101	LOCATION: PARAPET MATERIAL: METAL COPING MANUFACTURER: PAC CLAD COLOR: BLACK
SD-1	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT BLACK FINISH: COLOR:	SD-2	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT WHITE FINISH: COLOR:

zebra  
Z E B R A P R O J E C T S , I N C .  
14614 N KIERLAND BLVD, SUITE N500  
SCOTTSDALE, ARIZONA 85254  
PHONE: 480.912.1169 zbr.global

STORE NO:  
TX #1745

SHAKE SHACK®  
ROCKWALL, TX  
14614 N KIERLAND BLVD  
SUITE N500  
ROCKWALL, TX 75087

EXTERIOR ELEVATION - EAST

SCALE: 1/4" = 1'-0"

C3

REVISION

Δ	DATE	DESCRIPTION

STATUS:  
75% CD PROGRESS  
SET

PRELIMINARY:  
Preliminary Documents Are for Design Review only and not  
intended for bidding, permitting, permitting or construction  
purposes. They were prepared by or under the supervision  
of Zebra Projects, INC.

NOT FOR  
CONSTRUCTION

FIELD VERIFICATION:  
The contractor shall verify all signed dimensions and  
location at the project site and notify Zebra Projects, INC.  
of any dimensional errors, or omissions or discrepancies  
before beginning or fabricating any work. Do not scale these  
drawings.

COPYRIGHT © 2025:  
Zebra Projects, INC. shall retain all common law, statutory  
and all other reserved rights. Neither the documents nor the  
information herein is to be reproduced, distributed,  
reproduced or otherwise without the written consent of Zebra  
Projects, INC.

SHEET NAME:  
COLORED ELEVATIONS

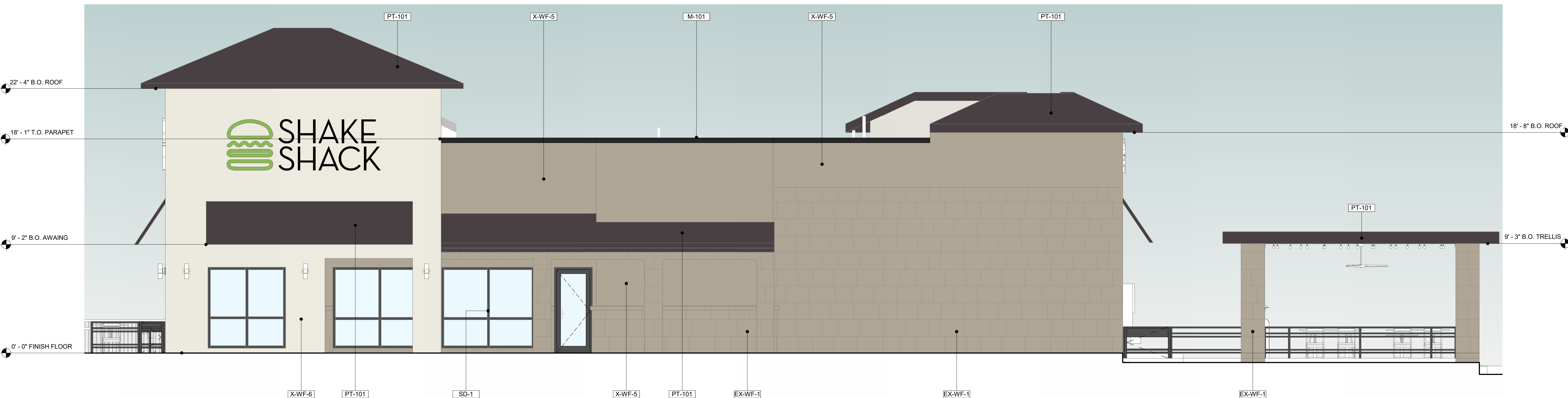
DATE:  
05/14/25

PROJECT NO:  
40402

DRAWN:  
JF

SCALE:

SHEET NO:  
A203



EXTERIOR ELEVATION - NORTH

SCALE: 1/4" = 1'-0"

A1



EXTERIOR FINISH LEGEND			
X-WF-5	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7052 GRAY AREA	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7058 ALABASTER	
EX-WF-1	LOCATION: EXTERIOR FACADE MATERIAL: EXISTING STONE FINISH: PAINTED COLOR: SW 7052 GRAY AREA	LOCATION: ROOF MATERIAL: EXTERIOR PAINT FINISH: LOW SHEEN COLOR: SW 7059 IRON ORE	
PT-111	LOCATION: CANOPY MATERIAL: EXTERIOR PAINT FINISH: EGGSHELL COLOR: SW 7059 IRON ORE	LOCATION: PARAPET MATERIAL: METAL COPING MANUFACTURER: PAC CLAD COLOR: BLACK	
SD-1	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT BLACK	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT WHITE	

STORE NO:  
**TX #1745**

SHAKE SHACK  
ROCKWALL, TX  
8501 ROCKWALL BLVD  
SUITE 100  
ROCKWALL, TX 75087

REVISION		
Δ	DATE	DESCRIPTION

STATUS:  
**75% CD PROGRESS SET**

PRELIMINARY:  
Preliminary Documents Are for Design Review only and not intended for bidding, permitting, or construction purposes. They were prepared by or under the supervision of Zebra Projects, INC.

**NOT FOR CONSTRUCTION**

FIELD VERIFICATION:  
The contractor shall verify all signed dimensions and location at the project site and notify Zebra Projects, INC. of any dimensional errors, or omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

COPYRIGHT © 2025:  
Zebra Projects, INC. shall retain all common law, statutory, and all other reserved rights. Neither the documents nor the information herein is to be reproduced, distributed, modified or otherwise without the written consent of Zebra Projects, INC.

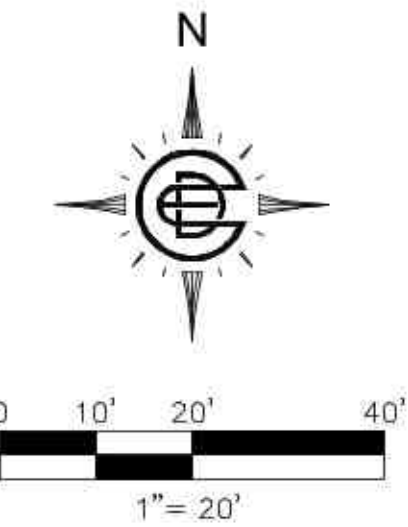
SHEET NAME:  
**COLORED ELEVATIONS**

DATE: 04/16/25 PROJECT NO: 40402

DRAWN: JF SCALE:

SHEET NO:  
**A204**

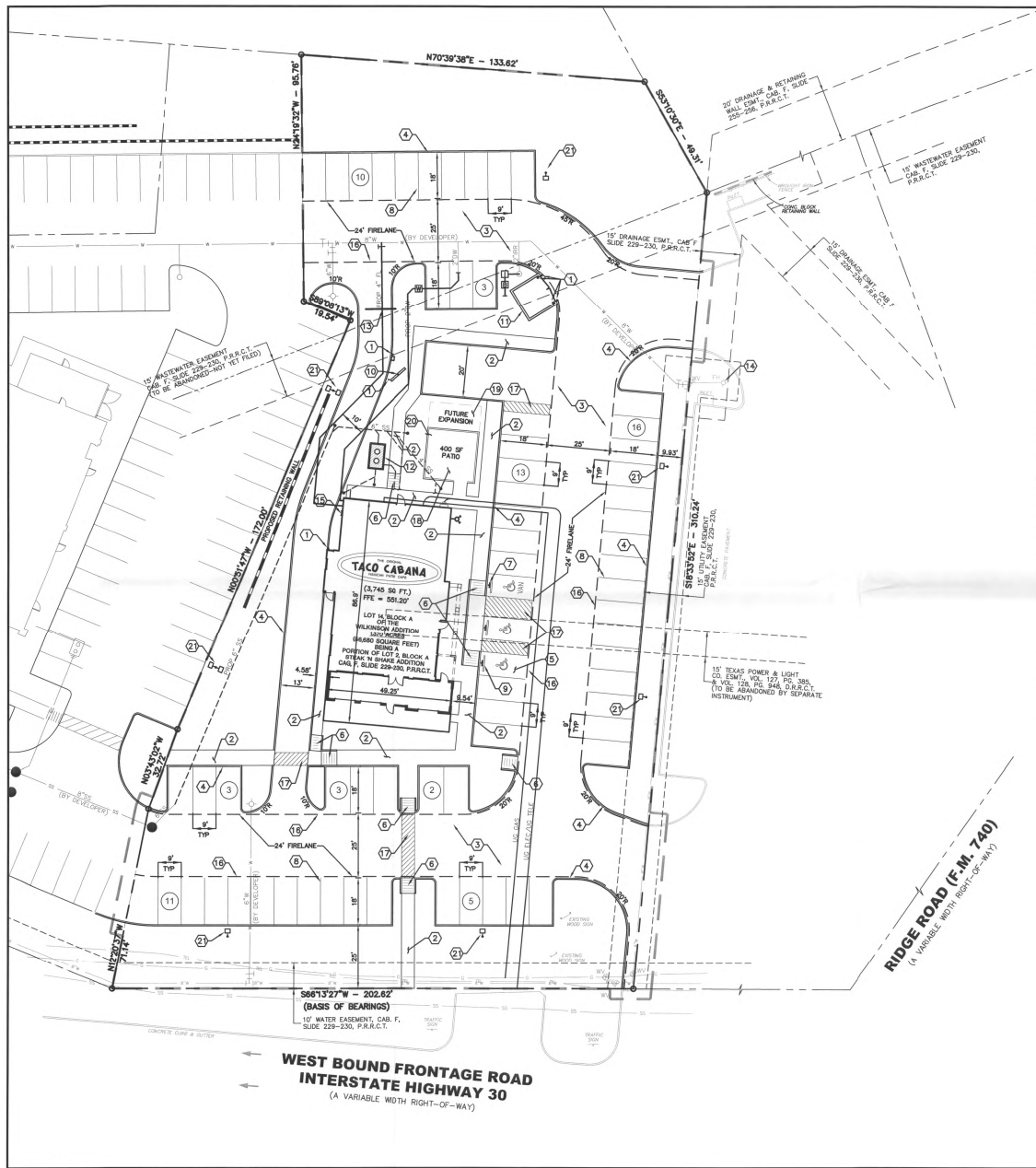




VICINITY MAP  
1" = 500'

CONCEPT SITE PLAN	
RESTAURANT	
568 E INTERSTATE 30	
CITY OF ROCKWALL, TEXAS	
	ENGINEER  5300 TOWN & COUNTRY BOULEVARD, SUITE 100 FRISCO, TEXAS 75034 469-850-0900   dec-en.com TBP# FIRM NO. F-20255
	ISSUE DATE 04/16/25
	DEC FILE NO. 105621
	CITY FILE NO. PSP



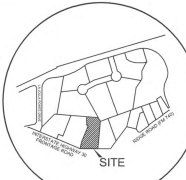


# KEY NOTES:

1. BOLLARD (SEE DETAIL)
2. SIDEWALK (SEE DETAIL)
3. PAVEMENT (SEE DETAIL)
4. CURB (SEE DETAIL)
5. HANDICAP PARKING (SEE DETAIL)
6. HANDICAP RAMP (SEE DETAIL)
7. HANDICAP SIGN (SEE DETAIL)
8. 4" YELLOW STRIPING (SEE NOTE 4, THIS SHEET)
9. WHEEL STOP (SEE DETAIL)
10. MENU BOARD (SEE DETAIL 6.11)
11. DUMPSTER ENCLOSURE (SEE STRUCTURAL PLANS)
12. GREASE TRAP (SEE MEP PLANS)
13. TRAFFIC CLEARANCE BAR (SEE DETAIL)
14. EXISTING FIRE HYDRANT
15. ROOF ACCESS LADDER (SEE ARCH)
16. FIRE LANE STRIPING (SEE DETAIL)
17. 4" YELLOW STRIPING @ 45°
18. OUTDOOR PATIO AREA
19. FUTURE EXPANSION AREA
20. METAL RAILING & GATE (SEE ARCH)
21. LIGHT POST (SEE PHOTOMETRIC PLAN)

# SITE SUMMARY

LOT AREA - 1.37 AC. 59,668.62 SQ. FT.	4,180/100-HZ SPACES
PROPOSED USE - RESTAURANT	69 SPACES
PERMANENT MAP - 48047-0000, DATED JUNE 16, 1992	2 STD. 1 VAN
PARKING PROVIDED (1 PER 100 SF)	2 STD. 1 VAN
PARKING PROVIDED	2 STD. 1 VAN
HANDICAP PARKING PROVIDED	2 STD. 1 VAN
BUILDING SQUARE FOOTAGE	3,745 SQ. FT.
BUILDING HEIGHT	28.00'
LOT COVERAGE	6.28%
SQUARE FOOTAGE OF IMPERVIOUS SURFACE	38,078.03 SQ. FT.
LANDSCAPED OPEN SPACE REQUIRED	8,890.29 SQ. FT.
(10% OF TOTAL SITE AREA)	20,701.98 SQ. FT.
LANDSCAPED OPEN SPACE PROVIDED	34.69%
OPEN SPACE	



VICINITY MAP

# LEGEND

EXISTING	PROPOSED
1/2" IRON ROD SET	1/2" IRON ROD SET
IRON PIPE FOUND	IRON PIPE FOUND
RAIL FOUND	RAIL FOUND
COMPUTED POINT	COMPUTED POINT
MONUMENT FOUND	MONUMENT FOUND
POINT OF BEGINNING	POINT OF BEGINNING
BENCHMARK	BENCHMARK
RECORD INFORMATION	RECORD INFORMATION
LIGHT POLE	LIGHT POLE
POWER POLE	POWER POLE
DOWN CUT	DOWN CUT
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
WATER METER	WATER METER
GAS METER	GAS METER
MONITORING WELL	MONITORING WELL
WIRE FENCE	WIRE FENCE
WOOD FENCE	WOOD FENCE
CHAIN LINK FENCE	CHAIN LINK FENCE
ELECTRICAL MANHOLE	ELECTRICAL MANHOLE
WASTEWATER MANHOLE	WASTEWATER MANHOLE
STORMWATER MANHOLE	STORMWATER MANHOLE
WATER MANHOLE	WATER MANHOLE
CLEAN OUT	CLEAN OUT
DRAINAGE INLET	DRAINAGE INLET
CURB INLET	CURB INLET
CURB & GUTTER	CURB & GUTTER
FIRE LANE	FIRE LANE
HANDICAPPED PARKING SPACE	HANDICAPPED PARKING SPACE
SIGN	SIGN
VARIABLE HEIGHT WALL	VARIABLE HEIGHT WALL
ELECTRIC PULL BOX	ELECTRIC PULL BOX
ELECTRIC METER	ELECTRIC METER
TELEPHONE SERVICE BOX	TELEPHONE SERVICE BOX
BOLLARD	BOLLARD
OVER HEAD ELEC. LINE	OVER HEAD ELEC. LINE
OVER HEAD TELEPHONE	OVER HEAD TELEPHONE
3/4" HWM LINK LINE	3/4" HWM LINK LINE
WATER LINE	WATER LINE
WASTEWATER LINE	WASTEWATER LINE
FORCE MAIN	FORCE MAIN
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
GAS LINE	GAS LINE
PROPERTY LINE	PROPERTY LINE
LEASE LINE	LEASE LINE
CONTOUR	CONTOUR
SPOT ELEVATION	SPOT ELEVATION
TOP OF CURB ELEVATION	TOP OF CURB ELEVATION
EDGE OF PAVEMENT ELEVATION	EDGE OF PAVEMENT ELEVATION
GUTTER ELEVATION	GUTTER ELEVATION
CUT/FILL SLOPES	CUT/FILL SLOPES
FLOW DIRECTION	FLOW DIRECTION
CONCRETE SURFACE	CONCRETE SURFACE
LEVEL AREA	LEVEL AREA
MIN. 2% SLOPE ANY DIRECTION	MIN. 2% SLOPE ANY DIRECTION
NUMBER OF PARKING SPACES	NUMBER OF PARKING SPACES
LIMITS OF CONSTRUCTION	LIMITS OF CONSTRUCTION
FIRE LANE	FIRE LANE
LIGHT POLE FIXTURES	LIGHT POLE FIXTURES
4' FROM BACK-OF-CURB	4' FROM BACK-OF-CURB

# NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB.
2. ALL RADI ARE 2.0' UNLESS OTHERWISE NOTED.
3. ALL PROPOSED PARKING SHALL BE 9.0'x18.0' UNLESS OTHERWISE NOTED.
4. STRIPING SHALL BE SHOWN WILLIAMS PRO-MAR TRAFFIC MARKING PAINT - YELLOW.
5. LIGHT POLE FOUNDATION, STAND AND FIXTURE TO MATCH EXISTING LIGHTING WITHIN SHOOTING CENTER. LIGHT POLE FIXTURES TO BE LOCATED FOUR FEET FROM BACK-OF-CURB.

# LEGAL DESCRIPTION:

A 1.37 ACRE TRACT OF LAND SITUATED IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF LOT 2, BLOCK A, STEVEN SHAW ADDITION, ACCORDING TO PLAT 1 RECORDS IN CABINET F, SLIDE 228-230, AND BEING A PORTION OF LOT 1, BLOCK A, LA JOLLA POINTS ADDITION, ACCORDING TO PLAT RECORDS IN CABINET F, SLIDE 205, SAID TRACT ALSO BEING A PART OF THE LA JOLLA POINTS ADDITION-PHASE 2 ACCORDING TO PLAT RECORDS IN CABINET C, SLIDE 131 AND 132.

# BENCHMARK NOTE:

BRAS MONUMENT IN CONCRETE 1 (ONE) FOOT WEST OF BACK OF CURB, 8 FEET NORTHEAST OF AN EXISTING WYE INLET, 40 FEET SOUTH OF ENTRANCE OF LAKESIDE VILLAGE ON VILLAGE ROAD. ELEVATION=508.05

**Bury+Partners**  
ENGINEERING SOLUTIONS  
10000 N. DALLAS STREET, SUITE 100  
DALLAS, TEXAS 75243  
TEL: (972) 991-0011 FAX: (972) 991-0077  
BURY+PARTNERS@BURY.COM

**PRELIMINARY FOR REVIEW ONLY**  
Not for Construction or Permit Preparation  
Project: TACO CABANA  
Drawn By: SMH  
Checked By: SMH  
File: F:\30109-133\109133SPN.dwg  
Project No.: 30109-133  
Date: 03-30-07

THE ORIGINAL  
**TACO CABANA**  
MEXICAN EATERY CAFE

**SITE PLAN**  
**TACO CABANA**  
PROPOSED LOT 14, BLOCK A  
ROCKWALL, TEXAS

Scale: 1"=20'  
Date: 03-30-07  
Drawn By: SMH  
Checked By: SMH  
File: F:\30109-133\109133SPN.dwg  
Project No.: 30109-133

**SHEET**  
**C3**



DATE: June 23, 2025

TO: Regina Laman  
225 Varick Street, Suite 301  
New York, NY 10014

CC: Erika Lizardo  
225 Varick Street, Suite 301  
New York, NY 10014

FROM: Angelica Guevara, *Planning Technician*  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2025-019; *Administrative Site Plan for 568 E. IH-30 (Shake Shack)*

Mrs. Laman:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Director on June 16, 2025. The following is a record of all recommendations, voting records and conditions of approval:

Conditions of Approval

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6438.

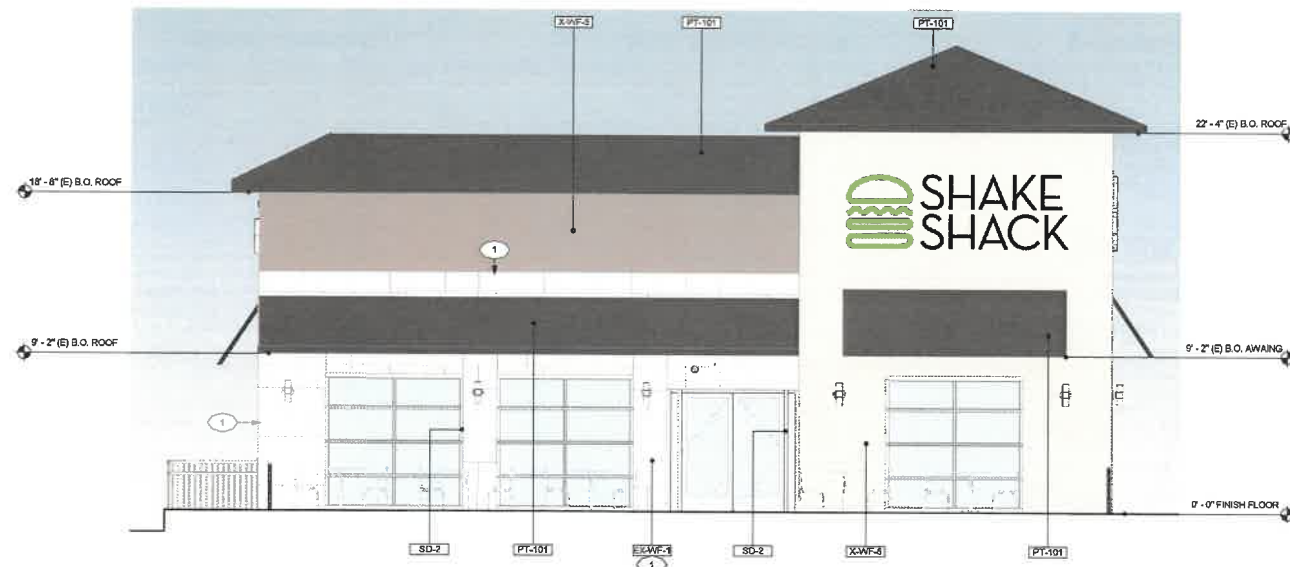
Sincerely,

Angelica Guevara, *Planning Technician*  
City of Rockwall Planning and Zoning Department

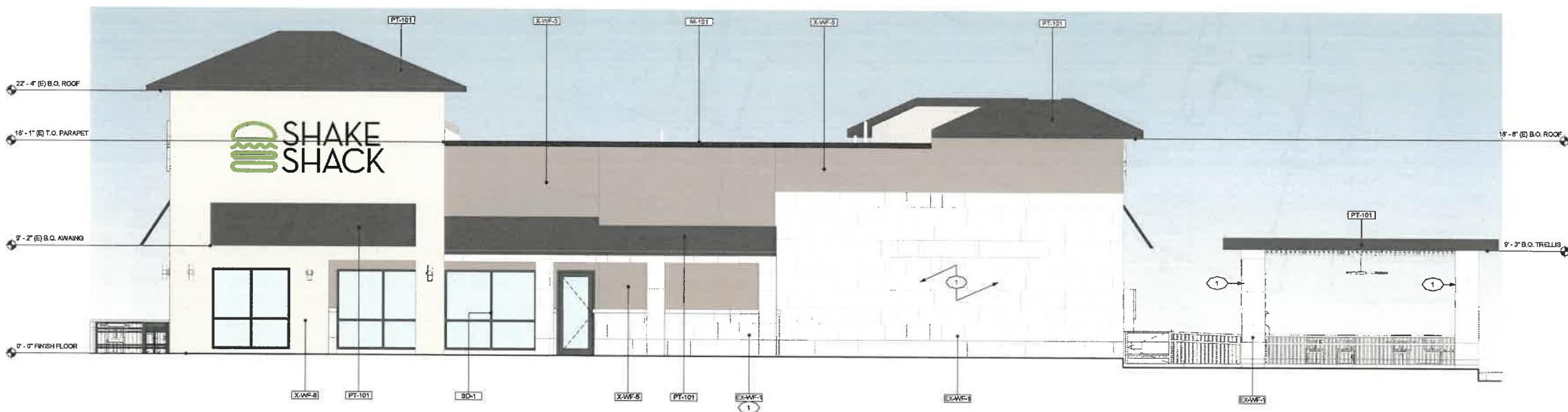




E  
D  
C  
B  
A



EXTERIOR ELEVATION - EAST  
SCALE: 1/4" = 1'-0" C3



EXTERIOR ELEVATION - NORTH  
SCALE: 1/4" = 1'-0" A1

### EXTERIOR FINISH LEGEND

LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7062 GRAY AREA	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7006 ALABASTER
LOCATION: EXTERIOR FACADE MATERIAL: EXISTING STONE NOTE: TO REMAIN AS IS, PATCH AND REPAIR AS NEEDED	LOCATION: ROOF MATERIAL: EXTERIOR PAINT FINISH: LOW SHEEN COLOR: SW 7069 IRON ORE
LOCATION: CANOPY MATERIAL: EXTERIOR PAINT FINISH: EGGSHELL COLOR: SW 7099 IRON ORE	LOCATION: PARAPET MATERIAL: METAL COPING MANUFACTURER: PAC CLAD COLOR: BLACK
LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL FINISH: NEW PAINT COLOR: BLACK	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL FINISH: NEW PAINT COLOR: WHITE

### KEYNOTES

- 1 (E) STONE TO REMAIN AS IS, PATCH AND REPAIR AS NEEDED.

zebra

ZEBRA PROJECTS, INC.  
1464-N KIERLAND BLVD SUITE 4000  
SCOTTSDALE, ARIZONA 85254  
PHONE: 480.912.1169 zbr.global

STORE NO:  
TX #1745

SHAKE SHACK  
ROCKWALL, TX  
10000 ROCKWALL AVENUE  
ROCKWALL, TX 75087

APPROVED:  
I hereby certify that the above and foregoing site plan for  
development in the City of Rockwall, Texas, was approved by the  
Planning & Zoning Director on the 16 day of June,  
2025

*[Signature]*  
Director of Planning & Zoning

### REVISION

DATE	DESCRIPTION

STATUS:  
PERMIT SET / BID SET

PRELIMINARY:  
Preliminary Documents are for Design Purposes only and are  
intended for planning, engineering, permitting or construction  
programs. They are prepared by or under the supervision of  
a Licensed Professional Engineer.

NOT FOR  
CONSTRUCTION

FIELD VERIFICATION:  
The engineer shall verify all field dimensions and  
conditions at the project site and only Zebra Projects, Inc.  
or any designated agent, or consultant or subcontractor  
shall be responsible for field verification.

COPYRIGHT © 2025:  
Zebra Projects, Inc. and/or its affiliates or licensors have  
all other reserved rights. No part of this document may be  
reproduced or transmitted in any form or by any means  
electronic or mechanical, including photocopying and  
recording, or by any information storage and retrieval  
system, without permission in writing from Zebra  
Projects, Inc.

SHEETNAME:  
COLORED ELEVATIONS










DATE:  
06/05/25

PROJECT NO:  
40402

DRAWN:  
JF

SCALE:  
AS SHOWN

SHEET NO:  
A203

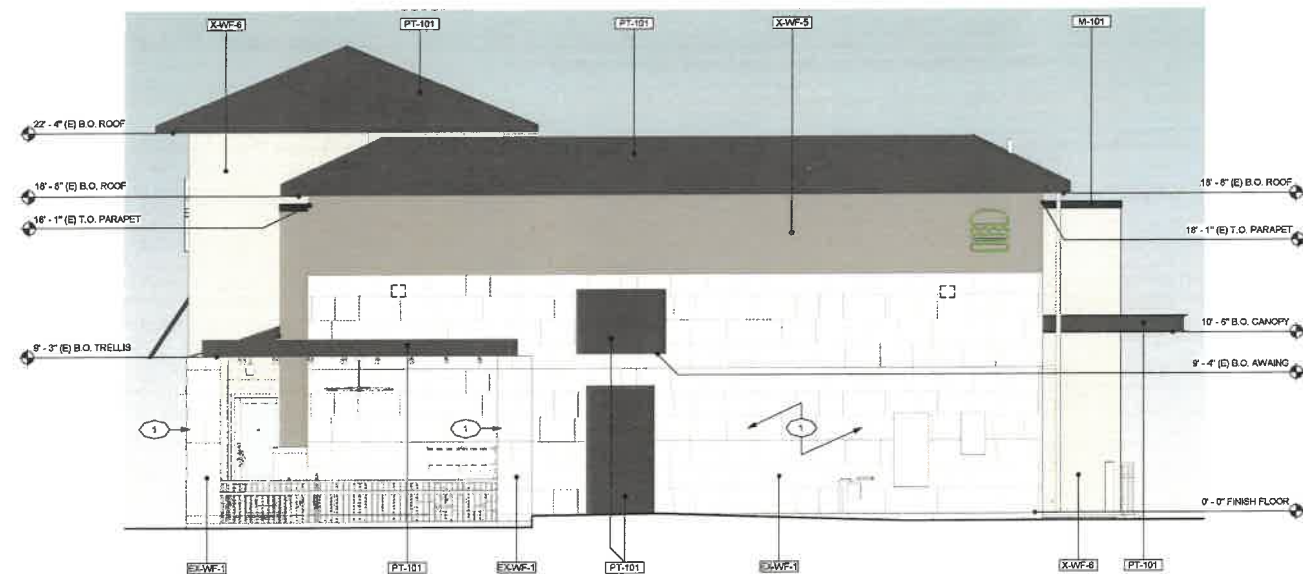
XMF-6	<p>LOCATION: EXTERIOR FACADE          MATERIAL: PLASTER          FINISH: STUCCO          COLOR: SW 7056 GRAY AREA</p> 	XMF-8	<p>LOCATION: EXTERIOR FACADE          MATERIAL: PLASTER          FINISH: STUCCO          COLOR: SW 7006 ALABASTER</p> 
EXMF-1	<p>LOCATION: EXTERIOR FACADE          MATERIAL: EXISTING STONE          NOTE: TO REMAIN AS IS, PATCH AND REPAIR AS NEEDED</p> 	PF-101	<p>LOCATION: ROOF          MATERIAL: EXTERIOR PAINT          FINISH: LOW SHEEN          COLOR: SW 7089 IRON ORE</p> 
PT111	<p>LOCATION: CANOPY          MATERIAL: EXTERIOR PAINT          FINISH: EGGSHELL          COLOR: SW 7039 IRON ORE</p> 	M-101	<p>LOCATION: PARAPET          MATERIAL: METAL COPING          MANUFACTURE: PAC CLAD          COLOR: BLACK</p> 
SD-1	<p>LOCATION: EXTERIOR FACADE          MATERIAL: (6) STOREFRONT METAL ALUMINUM          FINISH: NEW PAINT          COLOR: BLACK</p> 	SD-2	<p>LOCATION: EXTERIOR FACADE          MATERIAL: (6) STOREFRONT METAL ALUMINUM          FINISH: NEW PAINT          WHITE</p> 
<div style="display: flex; align-items: center; justify-content: center;">  <h2 style="margin: 0 20px;">KEYNOTES</h2> </div>			
<p>1 (6) STONE TO REMAIN AS IS, PATCH AND REPAIR AS NEEDED.</p>			

STORE NO: TX #1745

**SHAKE SHACK®**  
ROCKWALL, TX  
560 E INTERSTATE 30,  
ROCKWALL, TX 75087

APPROVED:  
I hereby certify that the above and foregoing site plan for  
development in the City of Rockwall, Texas, was approved by the  
Planning & Zoning Director on the 16 day of June,  
2025

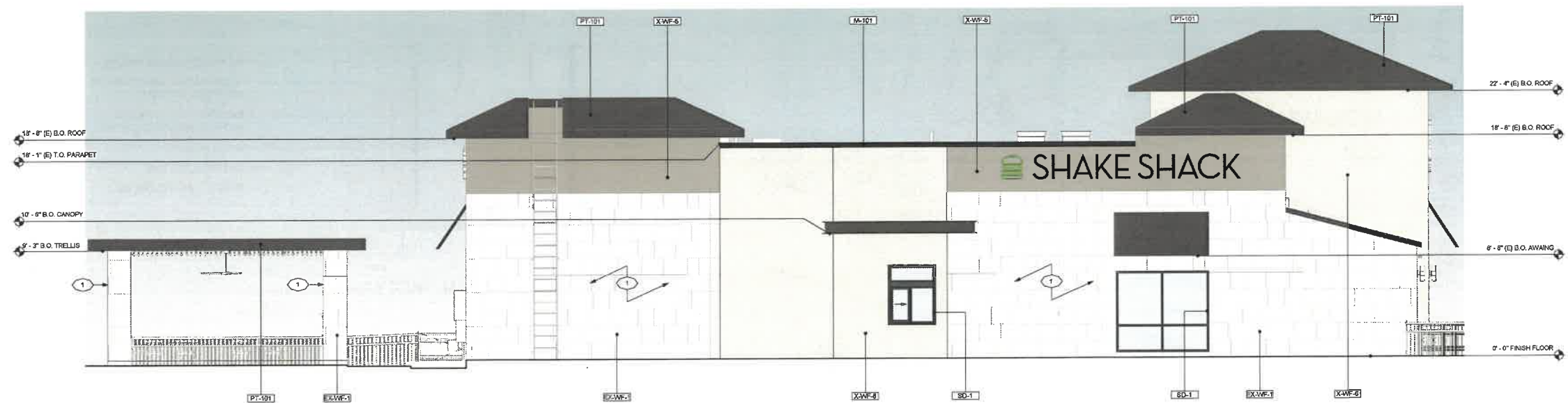
6/14  
Director of Planning & Zoning



EXTERIOR ELEVATION - WEST

SCALE: 1/4" = 1'-0"

C3



EXTERIOR ELEVATION - SOUTH A1

REVISION	
DATE	DESCRIPTION

STATUS:  
PERMIT SET / BID SET

**PRELIMINARY:**  
Preliminary Documents Are for Design Review only and not intended for bidding, negotiating, permitting or construction purposes. They were prepared by or under the supervision of Zales Projects, INC.

NOT FOR CONSTRUCTION

**FIELD VERIFICATION:**  
The contractor shall verify all figured dimensions and conditions of the project site and notify Zales Projects, INC. of any dimensional variances, or omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

**COPYRIGHT © 2025:**  
Zales Projects, INC. shall retain all common law, statutory and all other reserved rights. Neither the dimensions nor the information herein is to be reproduced, distributed, disclosed or otherwise without the written consent of Zales Projects, INC.

SHEET NAME:

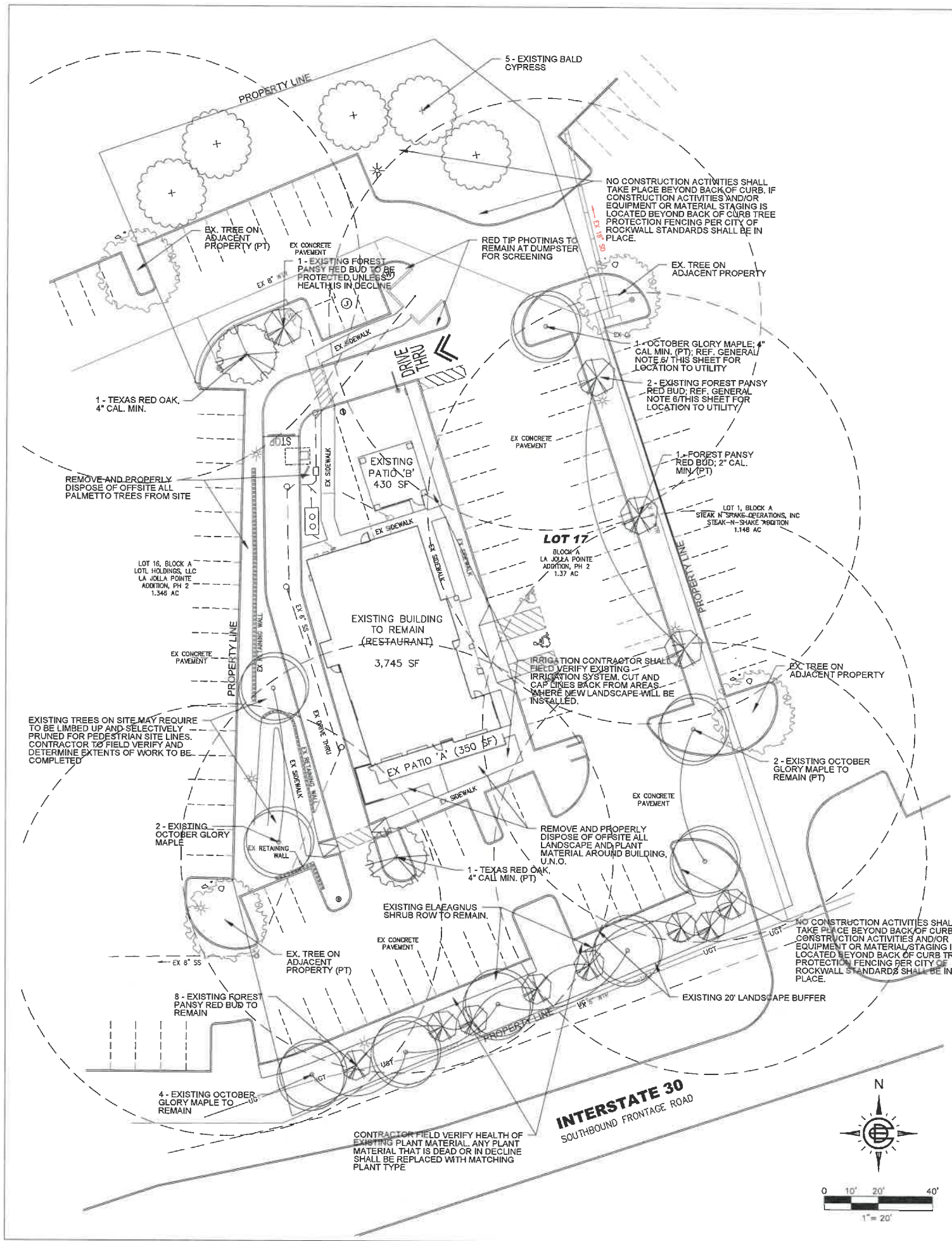
**COLORED ELEVATIONS**

DATE: 08/05/25	PROJECT NO: 40102
DRAWN:	SCALE:

SHEET NO:


A204





SITE DATA	
LOT AREA:	1.37 ACRES (59,877 SF)
ZONING:	C (COMMERCIAL)
CURRENT USE:	RESTAURANT
PROPOSED USE:	RESTAURANT
BUILDING AREA:	3,745 SQ. FT.
FLOOR/AREA RATIO:	0.08
PARKING REQUIRED:	38 SPACES (1/100 SF)
PARKING PROVIDED:	68 SPACES (1/55 SF)

TREE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
CANOPY AND ORNAMENTAL TREES				
	1 EA	OCTOBER GLORY MAPLE	<i>Acer rubrum 'October Glory'</i>	100 gal.; 8'-10' ht. x 6" sp., 4" caliper min.
	2 EA	TEXAS RED OAK	<i>Quercus buckleyi</i>	100 gal.; 8'-10' ht. x 6" sp., 4" caliper min.
	1 EA	FOREST PANSY RED BUD	<i>Cercis canadensis 'Forest Pansy'</i>	45 gal.; 6'-8' ht. x 6" sp., 2" caliper min.

\*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Director on the 14 day of June 2025

Director of Planning & Zoning

TREE LEGEND

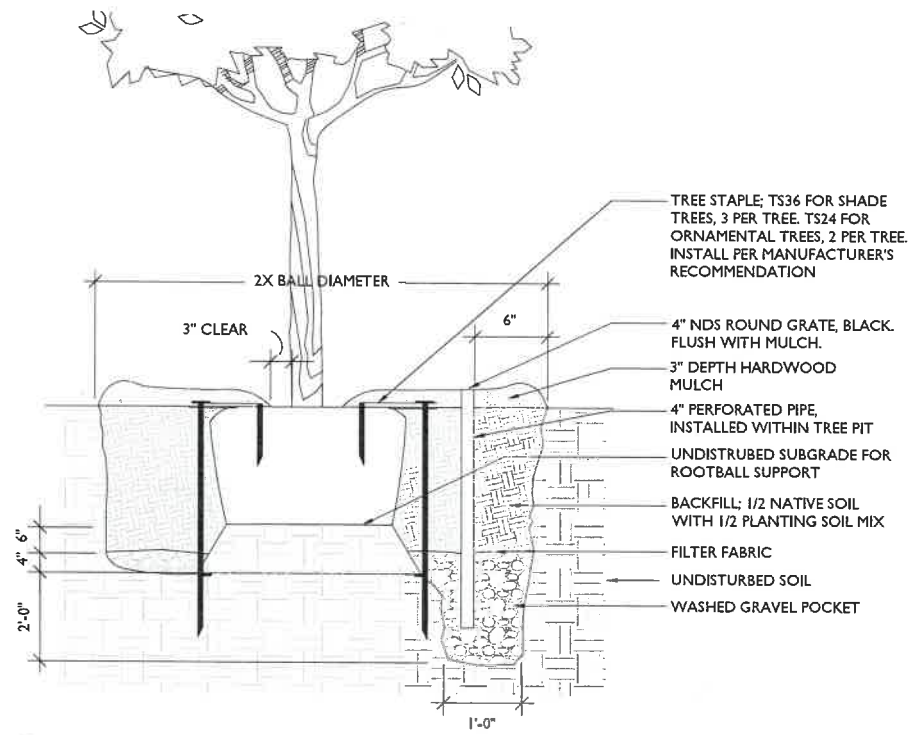
PT = PARKING LOT TREES

SITE TREE REQUIREMENTS

- REQUIRED:
- 10' MIN. WIDTH LANDSCAPE BUFFER ALONG I-30 FRONTAGE
- STREET TREES:
- 1 CANOPY AND 1 ORNAMENTAL (ACCENT) TREE PER 50 LINEAR FEET FRONTAGE
- SITE AND PARKING TREES:
- 1 TREE PER 10 PARKING SPACES  
68 PARKING SPACES = 7 TREES
- ALL PARKING SPACES REQUIRED TO BE WITHIN 80' OF A TREE PROVIDED.
- 20' WIDTH EXISTING LANDSCAPE BUFFER ALONG I-30 FRONTAGE
- STREET TREES:
- EXISTING TREES ALONG STREET FRONTAGE TO REMAIN  
4 CANOPY TREES AND 8 ORNAMENTAL (ACCENT TREES)
- SITE AND PARKING TREES:
- 5 TREES LOCATED WITHIN ISLANDS AT PARKING STALLS MIX OF EXISTING AND REPLACEMENT. 2 ADDITIONAL TREES LOCATED ON ADJACENT PROPERTY IN ISLANDS (WEST SIDE OF SITE) WHERE PARKING TERMINATES MEET PARKING REQUIREMENTS.
- ALL TREES PROVIDED ARE WITHIN 80' OF A PARKING SPACE

GENERAL NOTES

- REFERENCE LANDSCAPE PLAN, L1.2, FOR ADDITIONAL INFORMATION.
- EXISTING PLANT MATERIAL TO REMAIN IS LABELED AND IDENTIFIED BASED ON APPROVED LANDSCAPE PLAN PREPARED BY OTHERS FROM 2007 FOR PREVIOUS OCCUPANT.
- ANY EXISTING PLANT MATERIAL THAT IS LABELED TO REMAIN THAT IS NOT IN HEALTHY STATE SHALL BE REPLACED WITH THE SAME PLANT SPECIES. CONTRACTOR SHALL FIELD VERIFY AND REPLACE PLANT MATERIAL AS NEEDED.
- CONTRACTOR SHALL PROTECT TREES FROM DAMAGE THAT ARE LOCATED ON PROPERTY AND ADJACENT PROPERTIES DURING CONSTRUCTION, IF APPLICABLE.
- CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
- NEWLY PLANTED TREES SHALL NOT BE PLANTED WITHIN 5' FROM ANY WATER AND WASTEWATER LINES THAT ARE 10" OR LESS. TREES SHALL BE PLANTED NO CLOSER THAN 10 FEET FROM WATER OR WASTEWATER LINES THAT ARE 10" IN DIAMETER OR LARGER. CONTRACTOR TO FIELD VERIFY PRIOR TO FINAL TREE LOCATIONS BEING DETERMINED.
- A PERMANENT, AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM EXISTS ON SITE AND WILL BE REPROFITED TO MEET THE PROPOSED SITE IMPROVEMENTS. CONTRACTOR SHALL FIELD VERIFY EXTENTS OF SYSTEM AND CUT AND CAP LINE BACK PRIOR TO START OF CONSTRUCTION ACTIVITIES.



A CANOPY AND ORNAMENTAL TREE STAKING SECTION NOT TO SCALE

OVERALL TREE AND LANDSCAPE DEMOLITION PLAN

RESTAURANT	
568 E INTERSTATE 30	
CITY OF ROCKWALL, TEXAS	
ENGINEER	
PRELIMINARY FOR REVIEW ONLY These documents are for Design Review and not intended for Construction, Building or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806	
CROSS TIMBERS STUDIO	
CLIFTON HALL, ASLA GRANDVIEW, TX 76050 PH: 972-896-1900 TBAE REG. NUMBER: BR 3558	
ISSUE DATE 06/13/25	DEC FILE NO. 105621
CITY FILE NO. -	SHEET NO. L1.1



SITE DATA	
LOT AREA:	1.37 ACRES (59,677 SF)
ZONING:	C (COMMERCIAL)
CURRENT USE:	RESTAURANT
PROPOSED USE:	RESTAURANT
BUILDING AREA:	3,745 SQ. FT.
FLOOR/AREA RATIO:	0.06
PARKING REQUIRED:	38 SPACES (1/100 SF)
PARKING PROVIDED:	68 SPACES (1/55 SF)

LANDSCAPE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
SHRUBS/ORNAMENTAL PLANTS				
19 EA		GULF MUHLY REGAL MIST (GM)	<i>Muhlenbergia capillaris 'Regal Mist'</i>	7 gal., 12"-15" ht. x 8"-10" sp., full
32 EA		DWARF INDIAN HAWTHORNE 'CLARA' (IH)	<i>Raphiolepis indica 'Clara'</i>	5 gal., 12"-15" ht. x 8"-10" sp., full
44 EA		SUNJOY MINI SAFFRON BARBERRY (SJ)	<i>Barbaris thunbergii 'Kasia'</i>	3 gal., 6"-8" ht. x 8"-10" sp.
8 EA		COLOR GUARD YUCCA (CY)	<i>Yucca filamentosa 'Color Guard'</i>	3 gal., 6"-8" ht. x 8"-10" sp.
GROUND COVER				
169 EA		ELIJAH BLUE FESCUE (BF)	<i>Festuca glauca 'Elijah Blue'</i>	1 gal., 5"-6" ht. x 5"-6" sp, 12" o.c. spacing
TURF AND AGGREGATE				
±1,692 SF		GRASS - SOD	N/A	sod, full, match existing grass type on site
±1,228 SF		DECORATIVE GRAVEL		6" depth, chipped basalt, or .5" to 1" aggregate, or other Owner selection

\*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.

SITE LANDSCAPE REQUIREMENTS

REQUIRED:  
10' MIN. WIDTH LANDSCAPE BUFFER ALONG I-30 FRONTAGE  
COMMERCIAL (C) DIST. = 20% REQUIRED LANDSCAPING  
SITE 59,677 SF x 20% = 11,935 SF  
50% OF REQUIRED LOCATED IN FRONT AND SIDE OF BUILDING = 5,968 SF  
PROVIDED:  
20' WIDTH EXISTING LANDSCAPE BUFFER ALONG I-30 FRONTAGE  
COMMERCIAL (C) DIST. PROVIDED LANDSCAPE = 19,846 SF  
LANDSCAPE AT FRONT AND SIDE OF BUILDING = 6,032 SF

GENERAL NOTES

- REFERENCE LANDSCAPE DETAILS, L1.3, FOR ADDITIONAL INFORMATION.
- EXISTING PLANT MATERIAL TO REMAIN IS LABELED AND IDENTIFIED BASED ON APPROVED LANDSCAPE PLAN PREPARED BY OTHERS FROM 2007 FOR PREVIOUS OCCUPANT.
- ANY EXISTING PLANT MATERIAL THAT IS LABELED TO REMAIN THAT IS NOT IN HEALTHY STATE SHALL BE REPLACED WITH THE SAME PLANT SPECIES AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL. CONTRACTOR SHALL FIELD VERIFY AND REPLACE PLANT MATERIAL AS NEEDED.
- CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
- A PERMANENT, AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM EXISTS ON SITE AND WILL BE RETROFITTED TO MEET THE PROPOSED SITE IMPROVEMENTS. CONTRACTOR SHALL FIELD VERIFY EXTENTS OF SYSTEM AND CUT AND CAP LINE BACK PRIOR TO START OF CONSTRUCTION ACTIVITIES.

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Director on the 16 day of June, 2025  
gll  
Director of Planning & Zoning

LANDSCAPE PLAN	
RESTAURANT	
568 E INTERSTATE 30	
CITY OF ROCKWALL, TEXAS	
PRELIMINARY FOR REVIEW ONLY These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806	ENGINEER <b>DEC</b> 5300 TOWN & COUNTRY BOULEVARD, SUITE 190 FRIEDRICH, TEXAS 75040 409-850-0080   dec-en.com TYPE 1906 NO. F-00035 ISSUE DATE: 06/13/25 CITY FILE NO.: - DEC FILE NO.: 105621 SHEET NO.: L1.2

CROSS TIMBERS STUDIO  
CLIFTON HALL, ASLA  
GRANDVIEW, TX 76050  
PH: 972-896-1900  
TBAE REG. NUMBER: BR 3558