



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE RESTAURANT/RETAIL/OFFICE

PROPOSED ZONING PD-32

PROPOSED USE RESTAURANT/RETAIL/OFFICE

ACREAGE 2.893 ACRES

LOTS [CURRENT] 2

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER HH RETAIL CENTER, LP

☒ APPLICANT STROHMEYER ARCHITECTS INC.

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE., STE 610

ADDRESS 2701 SUNSET RIDGE., STE 601

CITY, STATE & ZIP ROCKWALL, TX, 75032

CITY, STATE & ZIP ROCKWALL, TX, 75032

PHONE 214-553-5505

PHONE 214-497-2057

E-MAIL DWBOBST@TRENDHR.COM

E-MAIL JIMMY@STROHMEYERARCHITECTS.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Daniel W Bobst [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

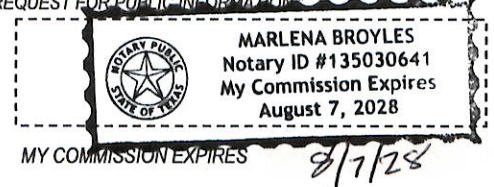
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF April, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF April, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature of Daniel W Bobst]





CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

CASE NUMBER:

REVIEWED BY:

OVERLAY DISTRICT:

REVIEW DATE:

1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04, of Art. 11
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	No existing trees.	-
✓ Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	§03.04.A, of Art. 11
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") folded copies and one (1) PDF digital copy of each plan is required at the time of submittal.	§03.04.A, of Art. 11
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	§03.04.A, of Art. 11
Case Number	<input type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	§03.04.A, of Art. 11
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	§03.04.A, of Art. 11
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	§03.04.A, of Art. 11
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	§03.04.A, of Art. 11
Signature Block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	§03.04.A, of Art. 11
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	§03.04.A, of Art. 11
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	§03.04.A, of Art. 11
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	§03.04.B, of Art. 11

Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	§03.04.B, of Art. 11
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	§03.04.B, of Art. 11
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	§03.04.B, of Art. 11
Distance Between Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	§03.04.B, of Art. 11
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	§03.04.B, of Art. 11
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	§03.04.B, of Art. 11
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	§03.04.B, of Art. 11
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	§03.04.B, of Art. 11
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Fire Lanes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	§03.04.B, of Art. 11
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	§03.04.B, of Art. 11
Adjacent Street Right-Of-Way	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	§03.04.B, of Art. 11
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	§03.04.B, of Art. 11
Adjacent Street Centerlines	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	§03.04.B, of Art. 11
Median Breaks in Adjacent Streets	<input type="checkbox"/>	<input checked="" type="checkbox"/>		§03.04.B, of Art. 11

2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	§05.03, of Art. 06
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	§05.01, of Art. 06
Handicap Parking Spaces Shown	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing on site.	§05.04, of Art. 06
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference Table 3 of Article VI.	Table 5, Art. 06
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (<i>Check w/ the Engineering Department</i>).	§05.03.C, of Art. 06
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer (<i>Art. VI 6.5 Loading Requirements</i>).	§06.04, of Art. 06
Adequate Loading Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	It is also the purpose of this Article to require allocation of sufficient off-street/on-site loading facilities by businesses and industry to ensure that the loading and unloading of vehicles will not interfere with traffic flow or block roadways or fire lanes.	§01.02, of Art. 06
Type and Depth of Paving Material	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	§03.02, of Art. 06

2.3 SITE PLAN: SIGNAGE

Requirements	✓= OK	N/A	Comments	UDC Reference
NOTE: All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				

Proposed or Existing Signage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	\$06.02.F, of Art. 05
------------------------------	--------------------------	-------------------------------------	---	-----------------------

2.4 SITE PLAN: SCREENING

Requirements	✓= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Label the height and type of fence proposed or existing.	\$08.02.F, of Art. 08
Utility Equipment Screening (Pad or Ground Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	\$01.05.C, of Art. 05
Utility Equipment Screening (Roof Mounted)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	\$01.05.C, of Art. 05
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening – screening wall – and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan.	\$01.05.D, of Art. 05
Dumpster Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	\$01.05.B, of Art. 05
Outside Storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	\$01.05.A, of Art. 05
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	\$01.06, of Art. 05
Residential Adjacency Standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

3.1 LANDSCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	\$01.01.B, of Art. 05
Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	\$05.03.B, of Art. 08
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	\$05.03.B, of Art. 08
Location of Water Courses and Significant Drainage Features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	\$05.01, of Art. 08

Acceptable Landscape Materials:				Sec. 04., of Art. 08
✓ Trees allowed in Street Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix C
✓ Trees not allowed in Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix C
Protected Trees (That Will Remain On-Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Prior to any construction or land development, the developer shall clearly mark all protected and feature trees with an aluminum tag -- indicating the trees relationship to the treescape plan -- and flag (i.e. bright fluorescent red vinyl tape). In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required.	§07.01, of Art. 09
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square footage included in the parking area, and the number and location of required off-street parking and loading spaces.	§05.03.E, of Art. 08
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	-
Identify Visibility Triangles	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	§01.08, of Art. 05
Landscape Buffer - Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	§05.01, of Art. 08
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	§05.03.E, of Art. 08
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	§05.04, of Art. 08
Hydro mulch (or non-sod option)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City.	Sec. 4.2, Coverage, Engr Standards of Design and Construction
Rights-of-Way & Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).	§05.03.G, of Art. 08

4.1 TREESCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	§03.01.A, of Art. 09
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>		§03.01.C, of Art. 09

Protected Trees (To Remain On Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	§03.01.E, of Art. 09
Protected Trees (To be Removed from the Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	§03.01.F, of Art. 09
Treescape Table	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	§03.01.G, of Art. 09

5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	See Sec. 2.1 of this checklist -
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	§03.03, of Art. 07
Adjacent Property with Common Lot Lines:				
✓ Residential Use	<input type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	§03.03.B, of Art. 07
✓ Commercial Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	§03.03.C, of Art. 07
Under-Canopy Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	§03.03.E.1, of Art. 07
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	§03.03.E.2, of Art. 07
Lighting in Parking Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Exceptions: (1) under canopy lighting and (2) motor vehicle dealerships)	§03.03.G, of Art. 07
Building and Pole Mounted Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	§03.03.E, of Art. 07
Indicate the Mounting Height for all Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	§03.03.D of Art. 07
Indicate the Wattage of all Light Sources	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line.	§03.03.A, of Art. 07
Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	§03.03, of Art. 07

6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	North South <u>East</u> <u>West</u> (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> South <u>East</u> West (Circle all that apply)	-
Minimum 90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§06.02.C, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§06.02.C, of Art. 05
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	§04.01, of Art. 05
Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	§04.01, of Art. 05
Indicate the Roofing Materials and Color	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

Indicate Parapet Wall Height **(If Applicable, finish the interior side of the parapet wall)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck. **Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.	§04.01, of Art. 05
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	§01.05.C, of Art. 05
Indicate Any Additional Design Elements Proposed (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	§07.03 of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 25% x L 4. Wall Projection = 25% x H 5. Primary Entry/Arch. Element Width = 2 x (25% x L) 6. Projection Height = 25% x H 7. Primary Entry/Arch. Element Length = 2 x (25% x L)	§04.01.C.1, of Art. 05
Secondary Facades	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 15% x L 4. Secondary Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§04.01.C.2, of Art. 05

6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
NOTE: Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
Minimum 90% Masonry Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§05.01.A.1, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§05.01.A.1.a.1, of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 4 x H 3. Wall Projection = 25% x H 4. Entry/Arch. Element Length = 33% x L 5. Projection Height = 25% x H 6. Entry/Arch. Element Width = 2 x (25% x H)	§05.01.C.1, of Art. 05
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Entry/Arch. Element Length = 15% x L 4. Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§05.01.C.2, of Art. 05

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

HARBOR
HEIGHTS
BLDG. #4

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeyer Architects, Inc.

Revisions:

[illegible]

Sheet Title:

SITE PLAN

SITE INFORMATION

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	15,030 S.F. RESTAURANT
	12,600 S.F. OFFICE
	7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
	REQUESTING 31 CITY ADJACENT SPACES 31
	TOTAL PROVIDED 192
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)



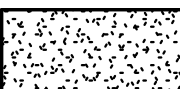

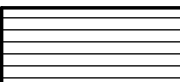











* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

<u>TIME OF DAY</u>	<u>OFFICE PARKING</u>	<u>RETAIL PARKING</u>	<u>RESTAURANT PARKING</u>	<u>TOTAL REQ'D</u>
12PM-1PM	37.80	46.40	108	192
4PM-6PM	19.74	41.76	130	192

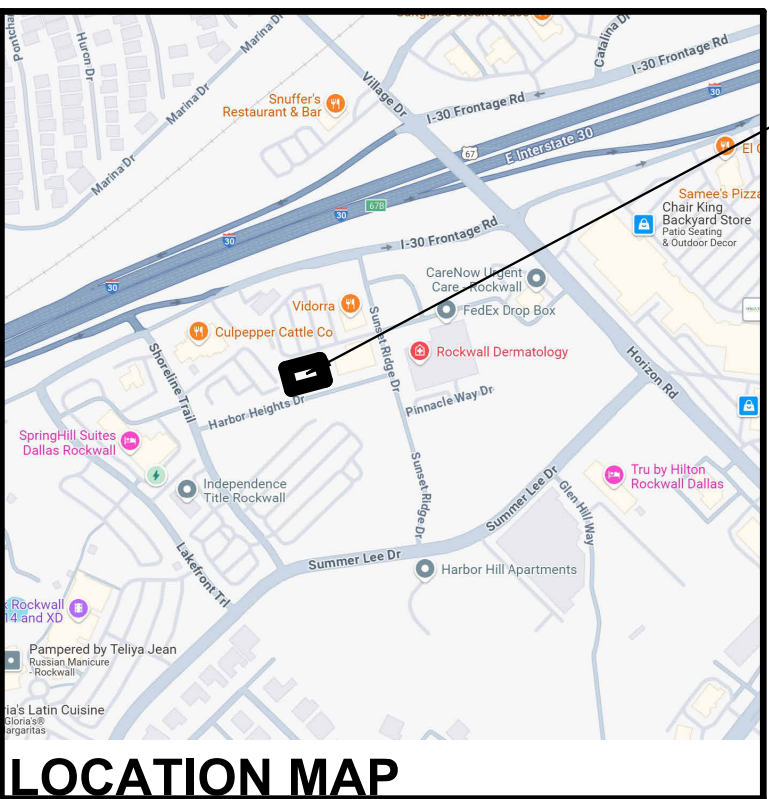
SITE NOTES:

1. PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
3. DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED

LEGEND:

	PROPOSED CONCRETE SIDEWALK		EXISTING AT&T MANHOLE
	GRASS		EXISTING WATER METER
	WOOD DECK		EXISTING ELECTRICAL MANHOLE
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING SEWER MANHOLE
	EXISTING SEWER LINE		EXISTING POWER POLE
	EXISTING WATER LINE		EXISTING LIGHT POLE
	EXISTING GAS LINE		EXISTING FIRE HYDRANT
	EXISTING TELEPHONE DUCT BANK		
	EXISTING ELECTRICAL DUCT BANK		

PROJECT LOCATION



OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

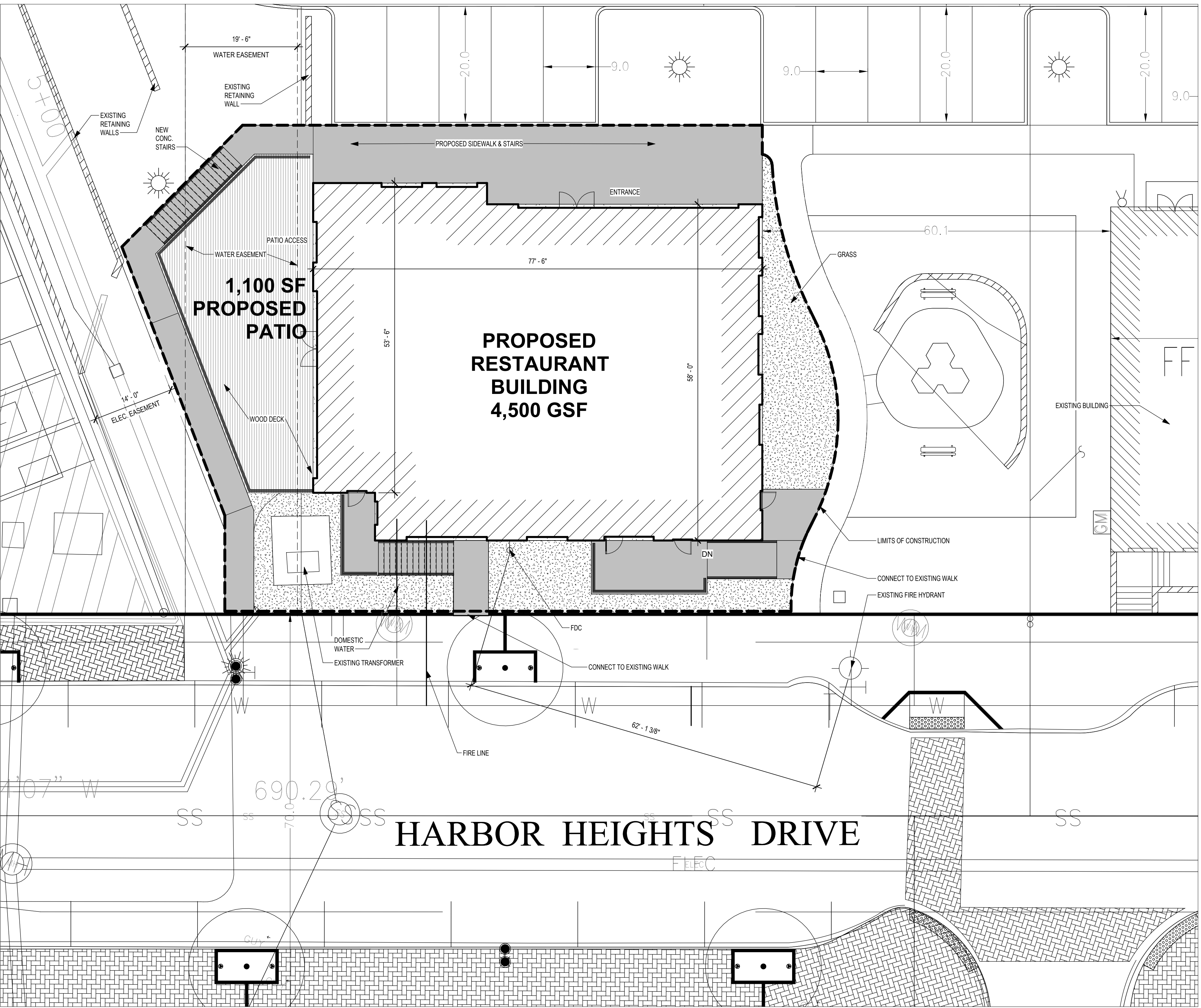
LOCATION MAP

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2025.

WITNESS OUR HANDS, this _____ day of _____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



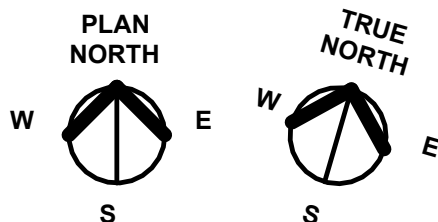
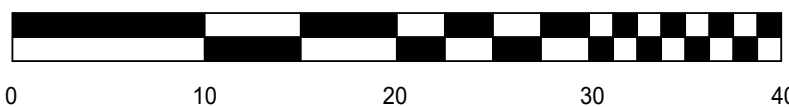
LEGAL DESCRIPTION:

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

4 SITE PLAN

1" = 10'-0"

GRAPHIC SCALE

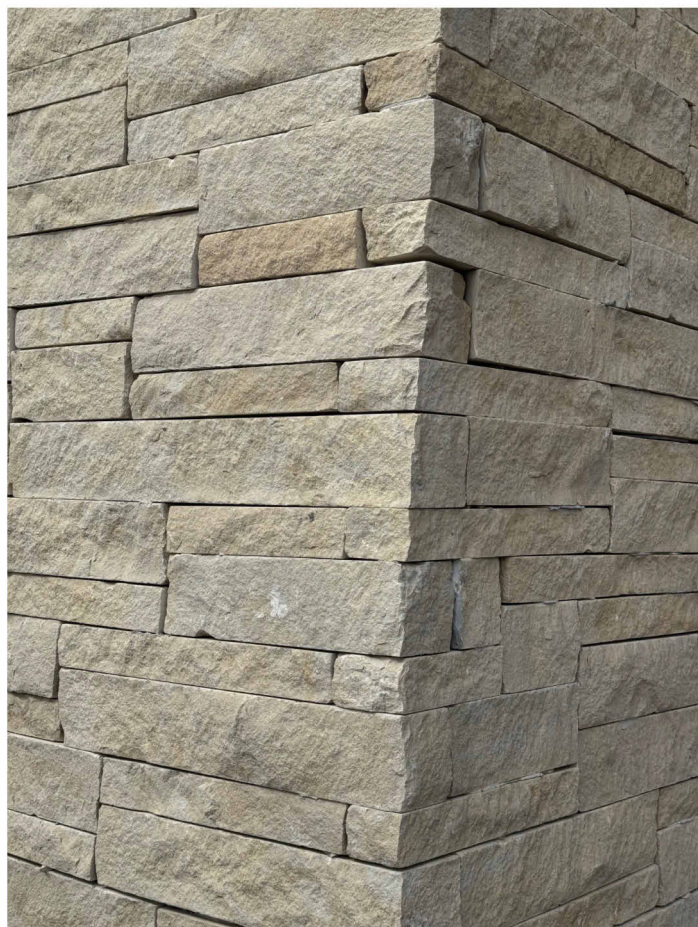


MATERIAL CALCULATIONS

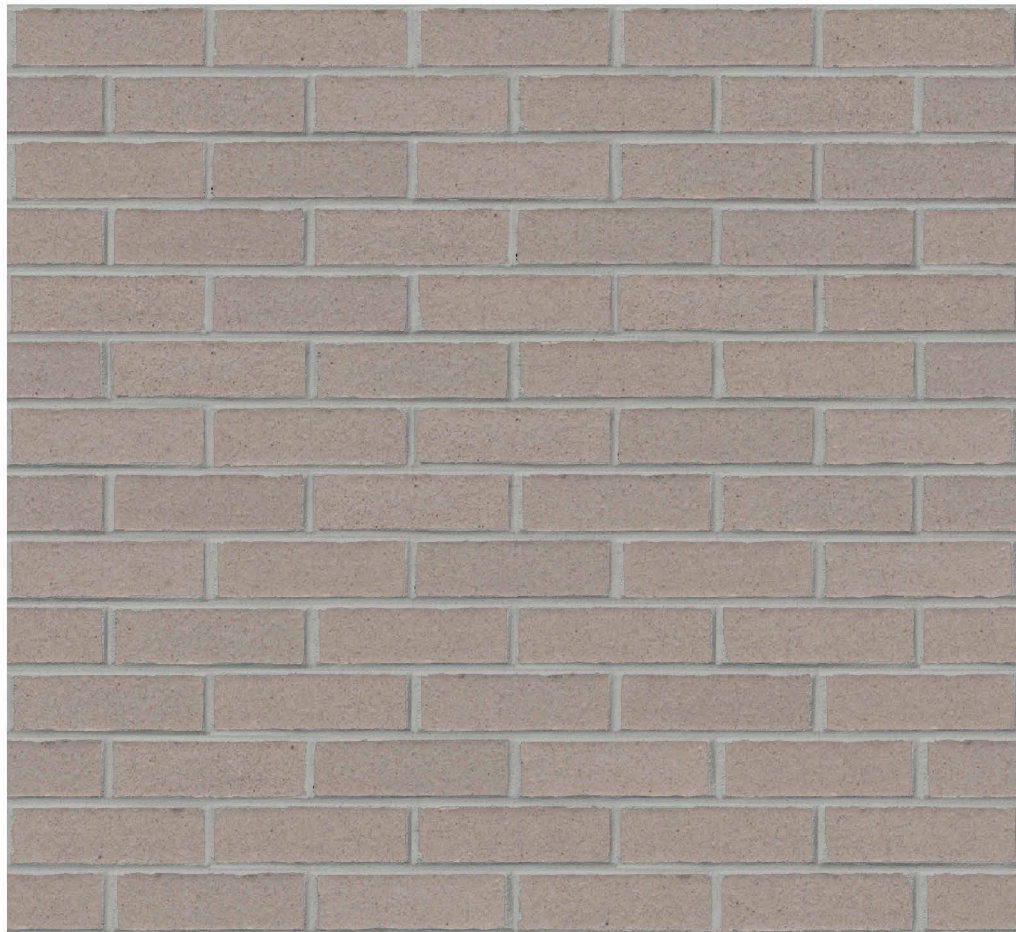
NORTH ELEVATION		%	
TOTAL AREA	1699		
STONE	480	28%	
BRICK	1014	60%	
STUCCO	205	12%	
SOUTH ELEVATION			
TOTAL AREA	1699		
STONE	761	45%	
BRICK	485	29%	
STUCCO	453	27%	
EAST ELEVATION			
TOTAL AREA	1351		
STONE	433	32%	
BRICK	740	55%	
STUCCO	178	13%	
WEST ELEVATION			
TOTAL AREA	1351		
STONE	269	20%	
BRICK	725	54%	
STUCCO	357	26%	

MATERIALS:

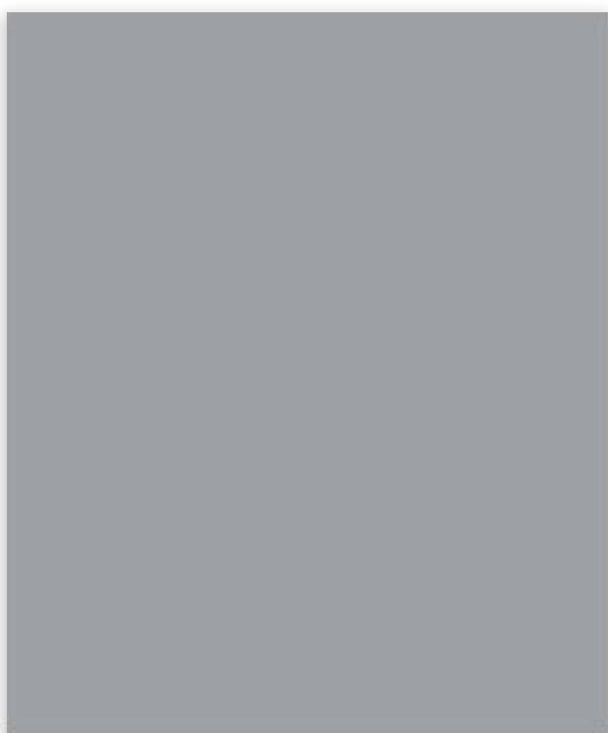
ROOFING: TPO WHITE
BRICK VENEER: ACME MARBLE GRAY - KING SIZE
NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.
STUCCO CAP: DRYVIT 3 PART - COLOR 133 DRIFTWOOD
STUCCO WALL: DRYVIT 3 PART - COLOR 152 ANTHRICITE COAL.
METAL AWNING: PAINT SW 6258 TRICORN BLACK



NATURAL STONE VENEER



BRICK VENEER



133 Driftwood
RGB 158 161 164



152 Anthracite Coal
RGB 85 85 86



TRICORN BLACK SW 6258

STUCCO CAP -
DRYVIT COLOR 133 DRIFTWOOD

STUCCO - DRYVIT
COLOR 152 ANTHRICITE COAL

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

BRICK VENEER -
ACME MARBLE
GRAY - KING SIZE

NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS



2 WEST ELEVATION
3/16" = 1'-0"

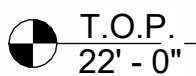
STUCCO CAP -
DRYVIT COLOR 133 DRIFTWOOD

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

STUCCO - DRYVIT
COLOR 152 ANTHRICITE COAL

NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS

BRICK VENEER -
ACME MARBLE
GRAY - KING SIZE



1 SOUTH ELEVATION
3/16" = 1'-0"



OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

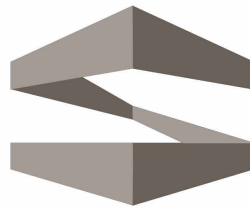
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

HARBOR
HEIGHTS
BLDG. #4

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description
---	---------------	----------------------

Sheet Title:

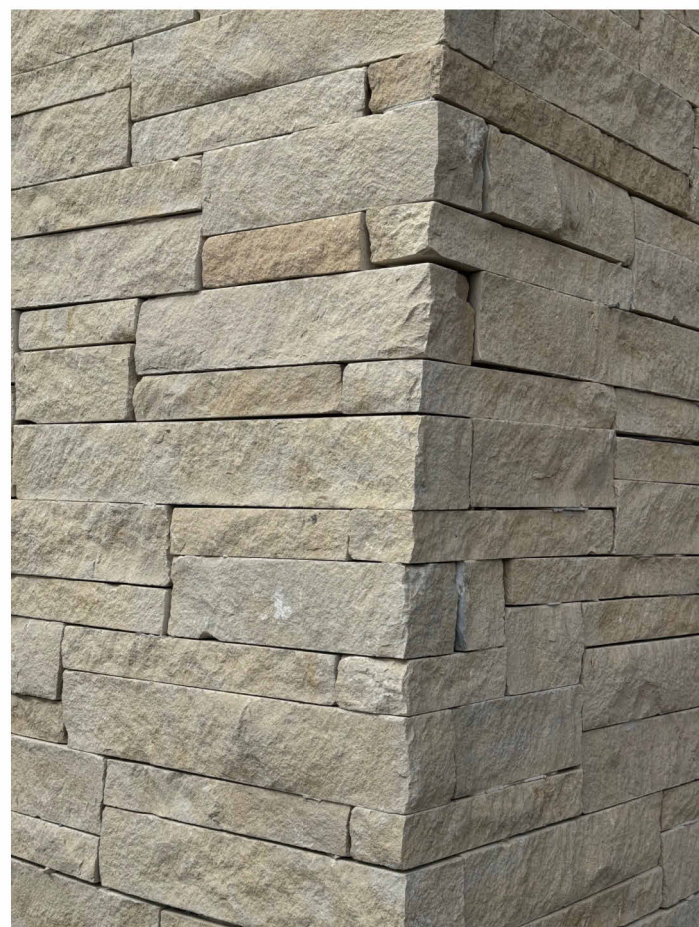
EXTERIOR
ELEVATIONS

A400

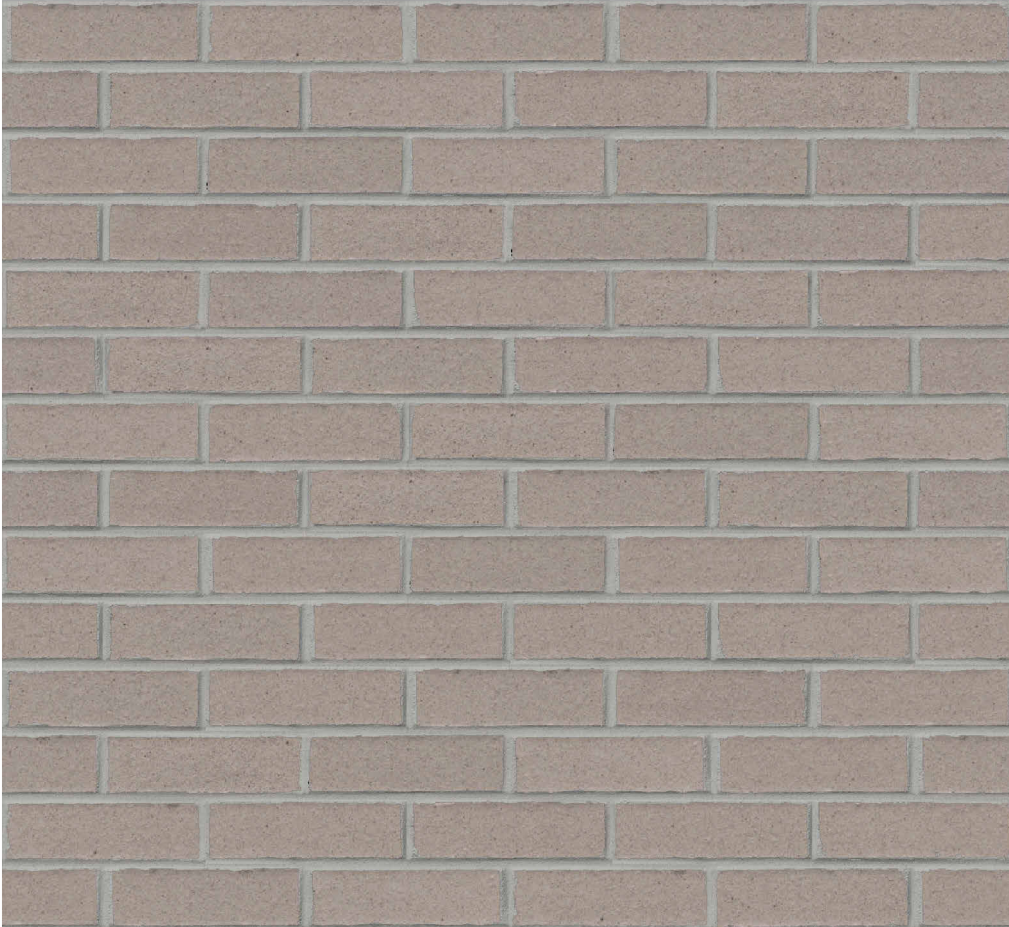
MATERIAL CALCULATIONS		
NORTH ELEVATION		%
TOTAL AREA	1699	
STONE	480	28%
BRICK	1014	60%
STUCCO	205	12%
SOUTH ELEVATION		
TOTAL AREA	1699	
STONE	761	45%
BRICK	485	29%
STUCCO	453	27%
EAST ELEVATION		
TOTAL AREA	1351	
STONE	433	32%
BRICK	740	55%
STUCCO	178	13%
WEST ELEVATION		
TOTAL AREA	1351	
STONE	269	20%
BRICK	725	54%
STUCCO	357	26%

MATERIALS:

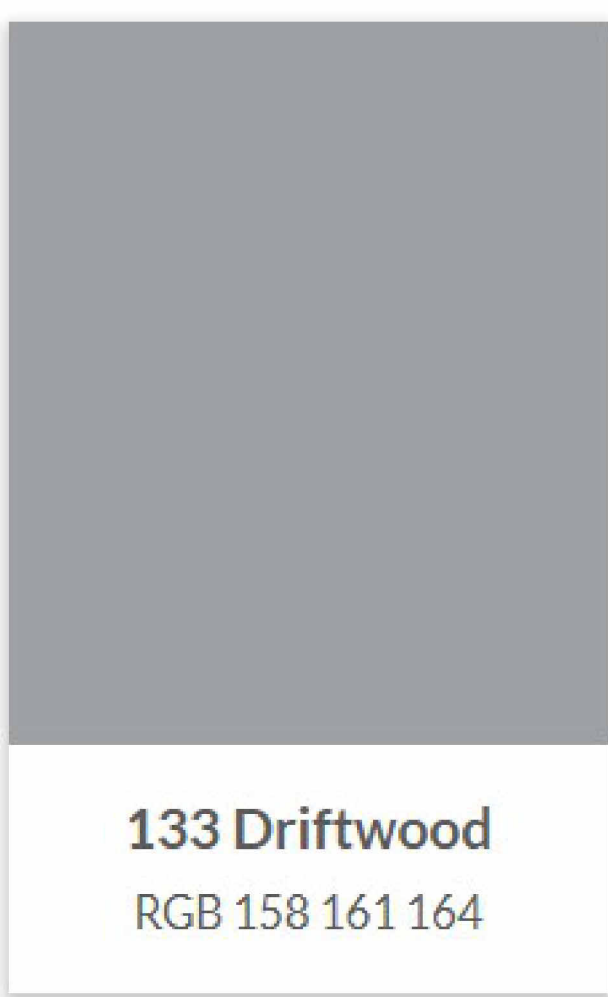
ROOFING: TPO WHITE
BRICK VENEER: ACME MARBLE GRAY - KING SIZE
NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.
STUCCO CAP: DRYVIT 3 PART - COLOR 133 DRIFTWOOD
STUCCO WALL: DRYVIT 3 PART - COLOR 152 ANTHRICITE COAL.
METAL AWNING: PAINT SW 6258 TRICORN BLACK



NATURAL STONE VENEER



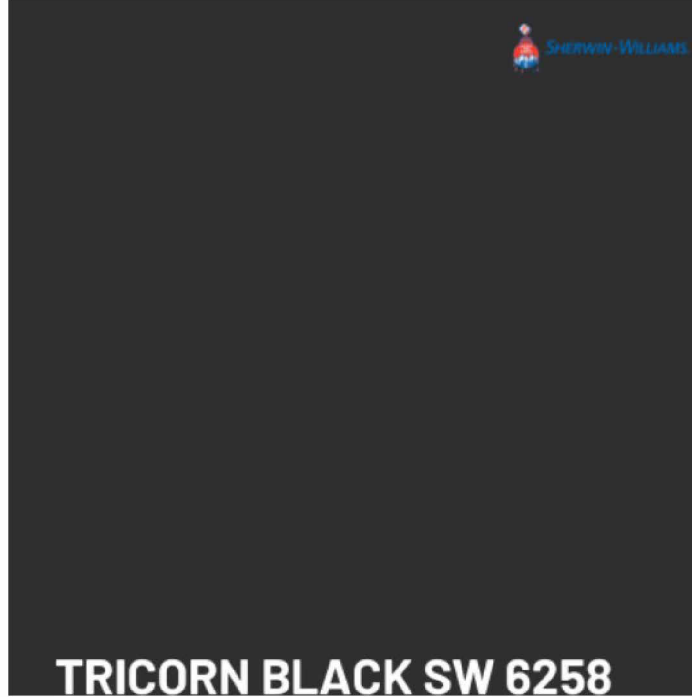
BRICK VENEER



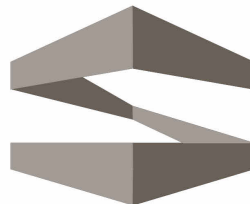
133 Driftwood
RGB 158 161 164



152 Anthracite Coal
RGB 85 85 86



TRICORN BLACK SW 6258



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

HARBOR HEIGHTS BLDG. #4

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: Author
Checked: Checker
Scale: As indicated

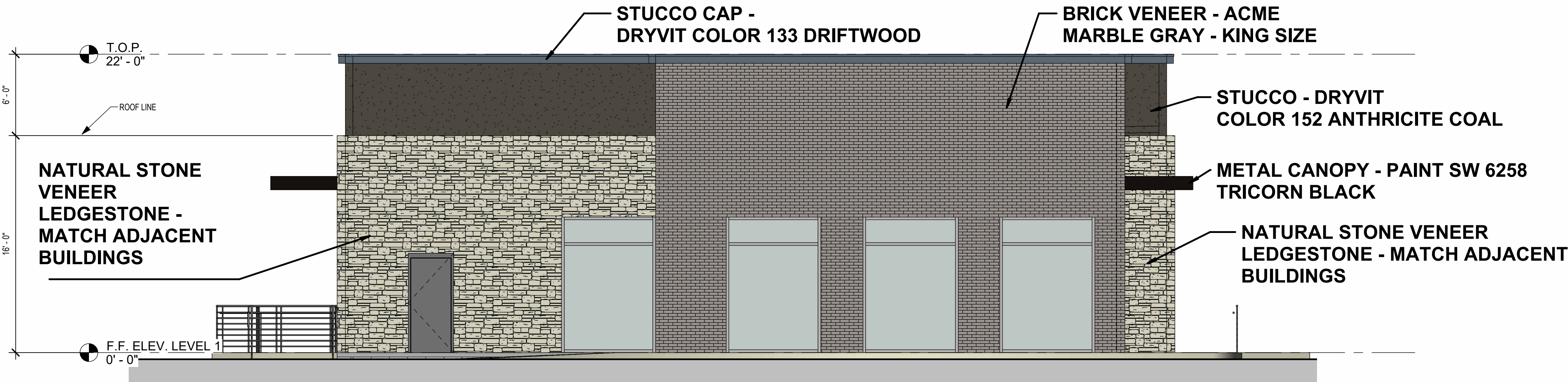
© 2025 Strohmeier Architects, Inc.

Revisions:

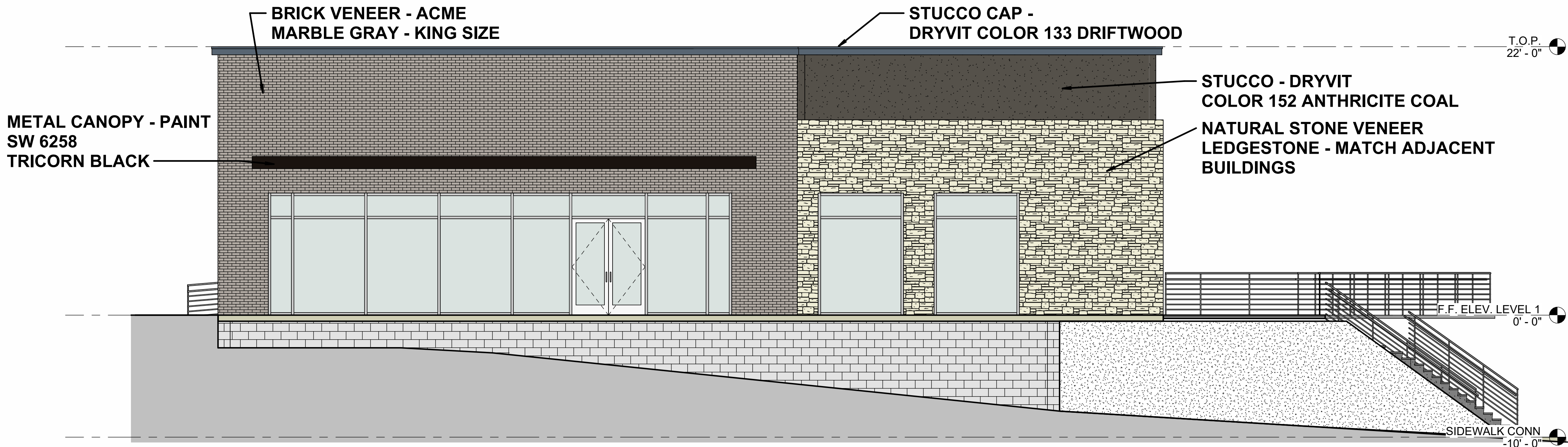
#	Revision Date	Revision Description

Sheet Title:

EXTERIOR
ELEVATIONS



2 EAST ELEVATION
3/16" = 1'-0"



OWNER INFORMATION:
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

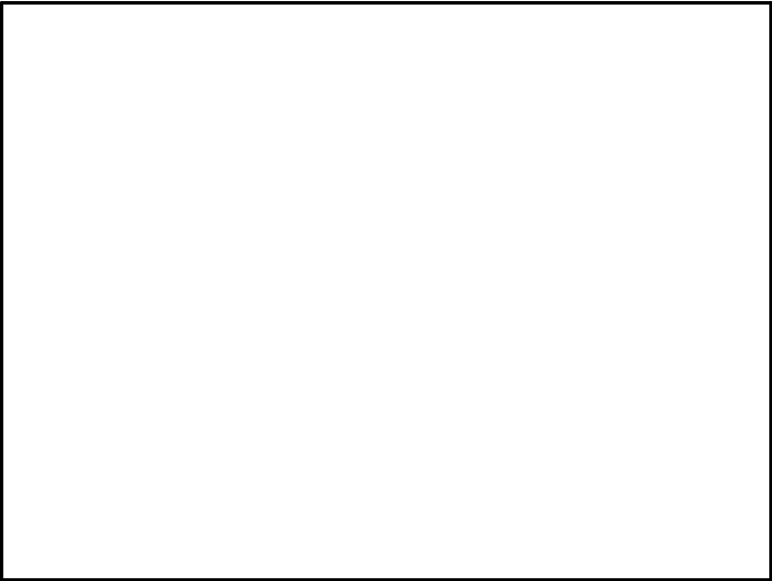
WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

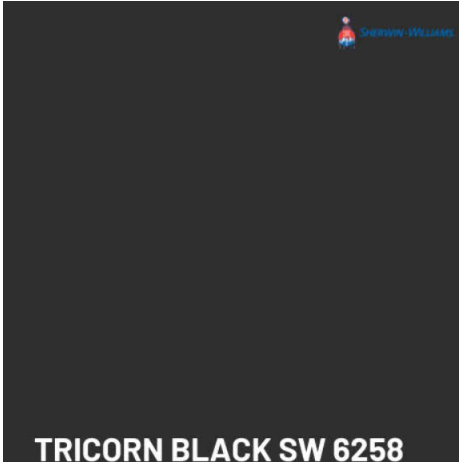


NATURAL STONE VENEER

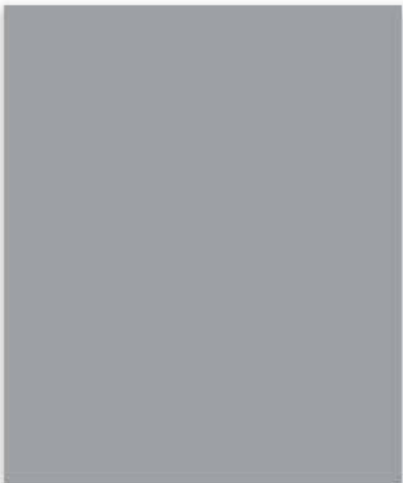


BRICK VENEER

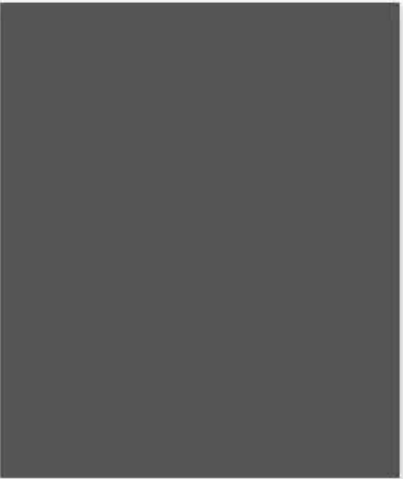
HARBOR HEIGHTS BLDG. #4



METAL AWNING



133 Driftwood
RGB 158 161 164



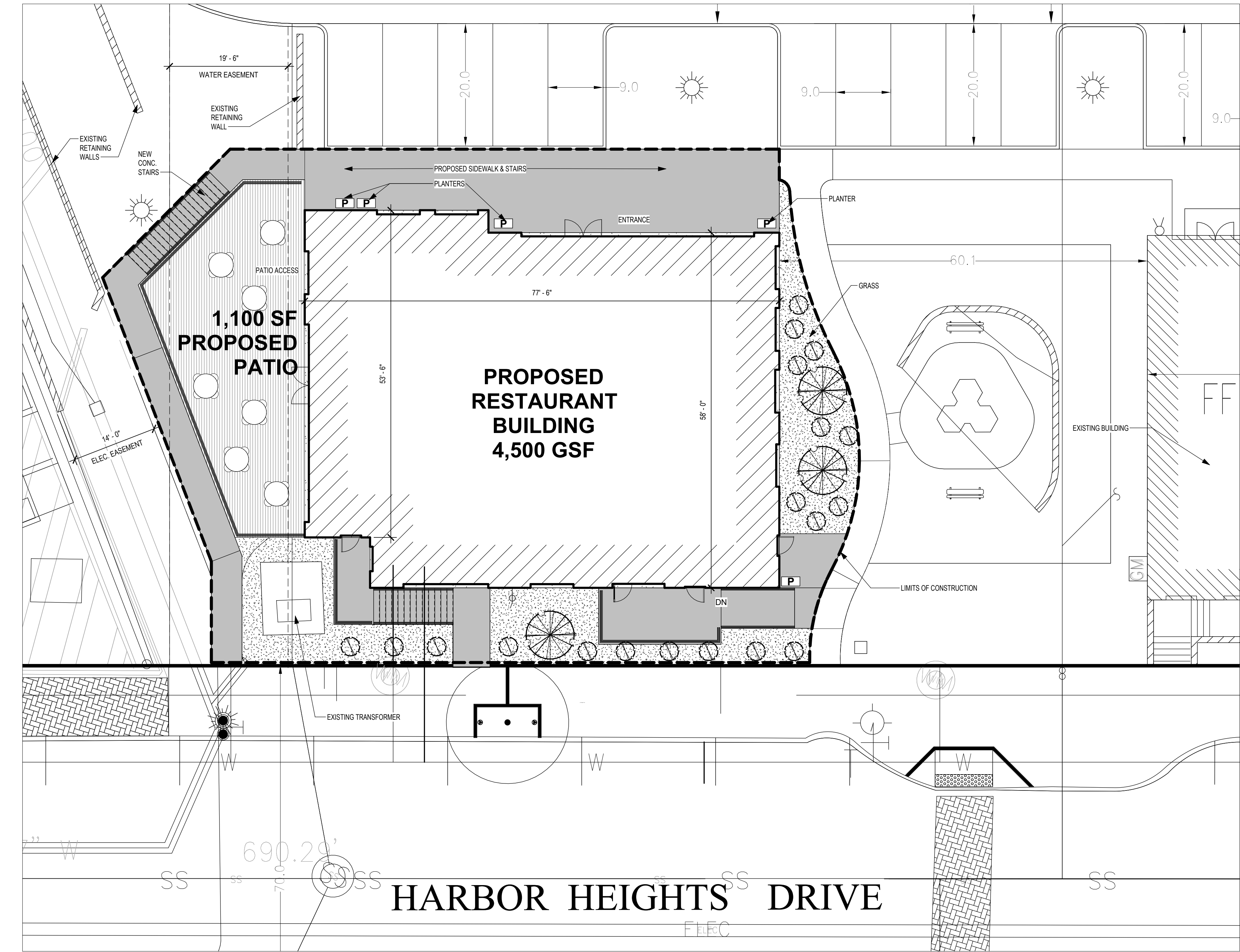
152 Anthracite Coal
RGB 85 85 86

3 PART STUCCO



STROHMEYER
ARCHITECTS INC.

Autodesk Docs//HHRR BLDG #4/ARCH_BLDG 4 HHRR.rvt



LEGEND

QTY	P	STONEWARE GRECIAN SERIES - EQUAL PLANTING BOX
19		SHRUB DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX, 16" HIGH AT TIME OF PLANTING DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX, 30" HIGH AT TIME OF PLANTING
		PATIO TABLES
3		CANOPY TREE LIVE OAK, "LC" 100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 8 FT. CEDAR ELM "CA" 100 GAL, 4.0"-4.5" CAL 12-14 FT. HIGH, CLEAR TRUNK TO 8 FT.



PLANTER POT EXAMPLE

SITE INFORMATION

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	15,030 S.F. RESTAURANT 12,600 S.F. OFFICE 7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
REQUESTING 31 CITY ADJACENT SPACES	31
IMPERVIOUS AREA:	TOTAL PROVIDED 192
LANDSCAPE AREA REQUIRED:	80,954 S.F.
LANDSCAPE AREA PROVIDED:	0 S.F. 45,064 S.F. (1.035 ACRES)

(A) General Irrigation Requirements.
The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall:
(1) Provide a moisture level in an amount and frequency adequate to sustain growth of the plant materials on a permanent basis.
(2) Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).
(3) Be maintained and kept operational at all times to provide for efficient water distribution.

LANDSCAPING NOTE:
TREES SHALL BE MIN. 5'-0" FROM ALL UNDERGROUND EXISTING OR PROPOSED UTILITY LINES 10" OR SMALLER & 10'-0" AWAY FROM LINES 12" OR GREATER.

OWNER INFORMATION:

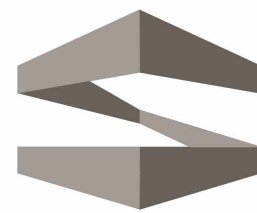
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

**HARBOR
HEIGHTS
BLDG. #4**

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411

Drawing Date: 4.15.2025

Drawn: PC

Checked: JS

Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

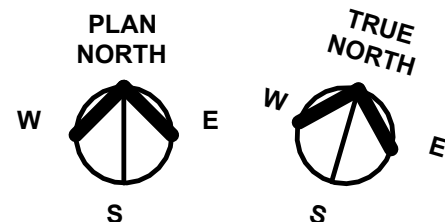
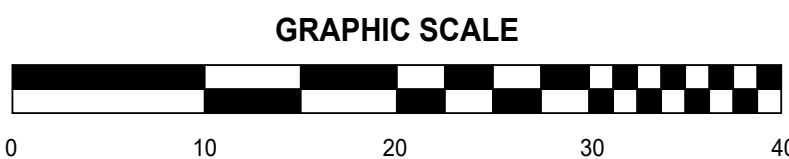
#	Revision Date	Revision Description
---	---------------	----------------------

Sheet Title:

LANDSCAPE PLAN

LANDSCAPE PLAN

1" = 10'-0"



LEGAL DESCRIPTION:

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

SITE LIGHTING LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	LAMPS		TOTAL FIXT WATTS	VOLTS	ARRANGEMENT	INSTALLATION	MANUFACTURER MODEL#	REMARKS
		NO.	TYPE						
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4 W LED 4045 LUMENS	UNIV	--	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2	1,3
WPE	OVER-DOOR LED OUTDOOR EGRESS EMERGENCY AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4W LED 4045 LUMENS	UNIV	--	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2-BBB EMERGENCY BATTERY	1,3
P1	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SL4-HSS GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON	ALL
P2	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SWQ GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON	ALL
<div>NOTES: 1. APPROVED EQUALS ARE COOPER, COLUMBIA, PHILIPS AND LITHONIA. 2. REFER TO DETAIL SHEET FOR CONCRETE BASE. 3. FINISHES BY ARCHITECT. 4. PROVIDE 3 FT ROUND CONCRETE BASES. 5. TOTAL HEIGHT OF POLES INCLUDING BASE SHALL BE 25 FEET. 6. CUT OFF AT SITE BOUNDARIES SHALL BE LES THAN 0.2 FOOTCANDLES. LIGHTING REP OF ASSISTANCE WAS CHAD HANEY AT TEXAS LIGHTING, 817-714-2444. PLEASE CALL CHAD HANEY FOR PRICING</div>									

- GENERAL NOTES
1. REFER TO E0.00 FOR COMPLETE LIST OF GENERAL NOTES.

2. MH IS THE MOUNTING HEIGHT OF THE LIGHT POLE OR BUILDING LIGHT FIXTURE. THE HEIGHT OF THE POLE INCLUDES ITS BASE. SEE SCHEDULES AND DETAILS.

3. PROVIDE CONCRETE BASES FOR POLE FIXTURES. REFER TO CIVIL HEIGHT OF POLES ON EXTERIOR LIGHTING SCHEDULE INCLUDES THE 3 FOOT BASES OR AS CIVIL PROVIDES.

4. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH PHOTOCELL LIGHTING RELAY PANEL LOCATED IN A MAIN EQUIPMENT ROOM AS INDICATED.

5. ACTUAL PHOTOMETRIC WILL VARY DEPENDING ON THE COLOR OF THE WALLS, SURFACE TEXTURE, LANDSCAPING, AND OTHER SITE FEATURES.

6. ACTUAL FIXTURE LAYOUT AND PHOTOMETRICS MAY VARY BASED ON FINAL LOCATION OF FIXTURES. FIXTURES SHALL BE FIELD ADJUSTED BASED ON ACTUAL BUILDING AND SITE CONDITIONS.

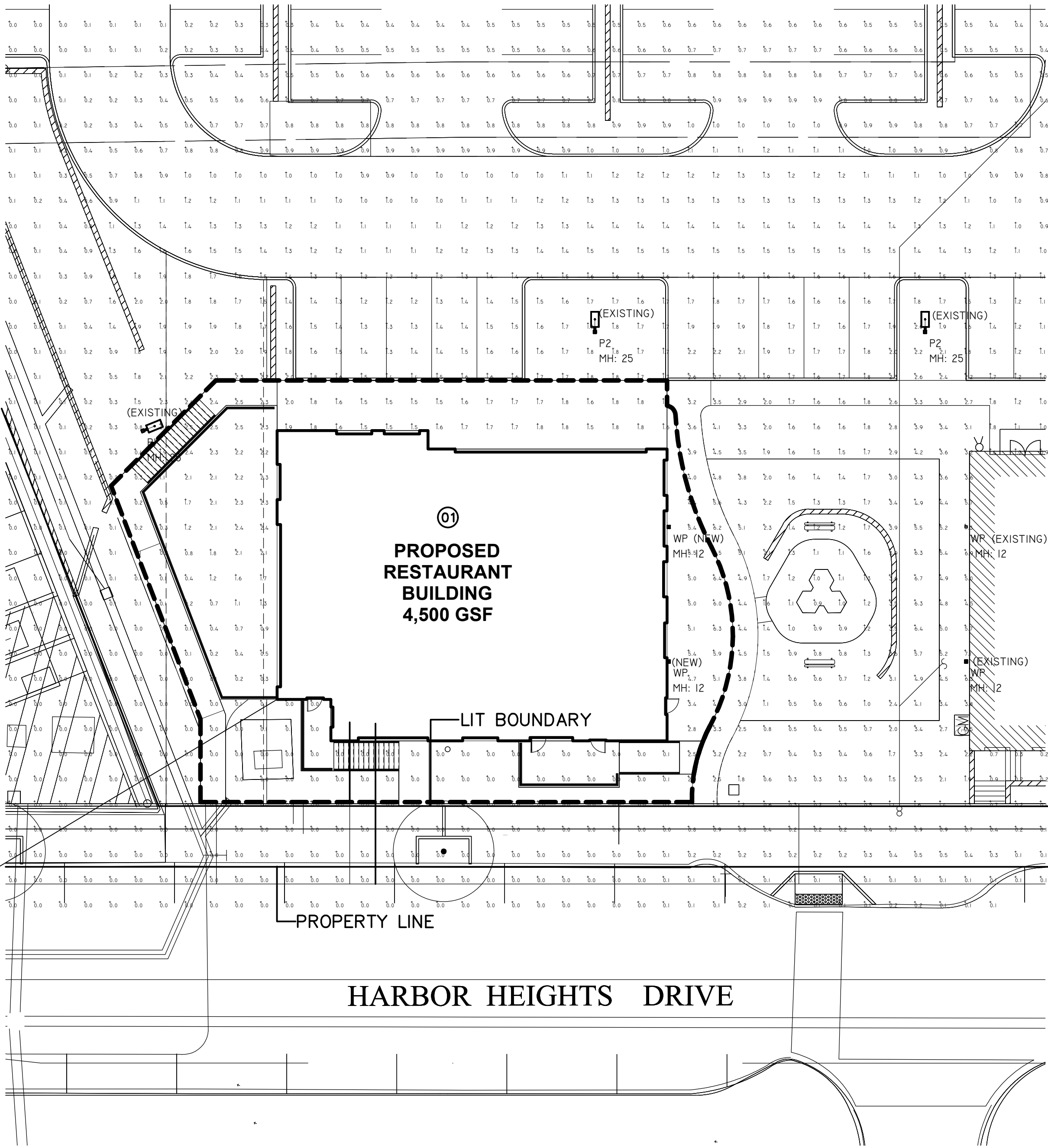
7. CALCULATIONS ARE BASED ON CITY ORDINANCE: ON THE PARKING AREA SURFACE, AN AVERAGE OF AT LEAST 2 FC, INITIAL MEASUREMENT, AND A MINIMUM AVERAGE OF 1 FC ON A MAINTAINED BASIS.

8. CUT OFF AT SITE BOUNDARIES SHALL BE LESS THAT 0.2 FC.

9. PROVIDE CAULKING AROUND ALL SEAMS ON EXTERIOR LIGHTING AND POWER OUTLETS TO PREVENT MOISTURE BUILDUP.

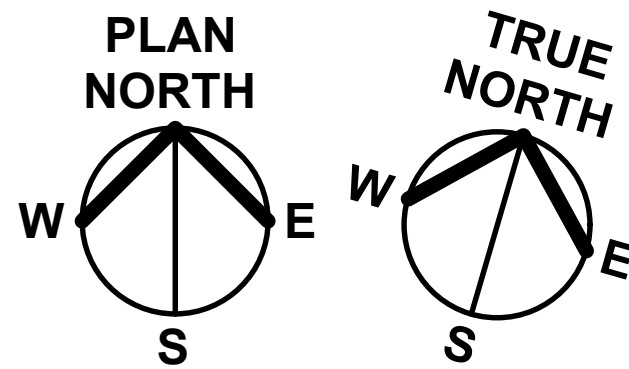
10. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH LIGHTING RELAY PANEL.

- KEYED NOTES DESIGNATED BY "Ⓢ" "Ⓣ"
1. ALL EXTERIOR LIGHTING SHALL BE CONTROLLED THRU A PHOTOCELL. REFER TO ELECTRICAL PANEL SCHEDULES FOR RELAY PANEL.

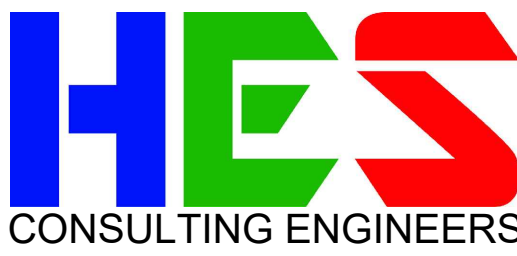


SITE PLAN
ELECTRICAL LIGHTING

1/16" = 1'-0"



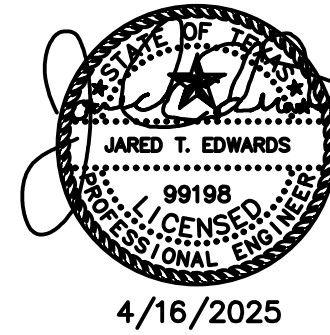
ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032



HES ENGINEERS
2626 COLE AVENUE
SUITE 300
DALLAS, TEXAS 75204

CIVIL
FC CUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING, INC.
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035



PERMIT
HARBOR HEIGHTS
RESTAURANT &
RETAIL
BUILDING D
ROCKWALL, TEXAS

Project Number: 82401
Drawing Date: 03.24.25
Drawn:
Checked:

© 2024 Strohmeyer Architects, Inc.

#	Revision Date	Revision Description
1		

Sheet Title:

SITE PLAN -
ELECTRICAL
LIGHTING

E1.01



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE RESTAURANT/RETAIL/OFFICE

PROPOSED ZONING PD-32

PROPOSED USE RESTAURANT/RETAIL/OFFICE

ACREAGE 2.893 ACRES

LOTS [CURRENT]

2

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER HH RETAIL CENTER, LP

☒ APPLICANT STROHMEYER ARCHITECTS INC.

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE., STE 610

ADDRESS 2701 SUNSET RIDGE., STE 601

CITY, STATE & ZIP ROCKWALL, TX, 75032

CITY, STATE & ZIP ROCKWALL, TX, 75032

PHONE 214-553-5505

PHONE 214-497-2057

E-MAIL DWBOBST@TRENDHR.COM

E-MAIL JIMMY@STROHMEYERARCHITECTS.COM

NOTARY VERIFICATION [REQUIRED]

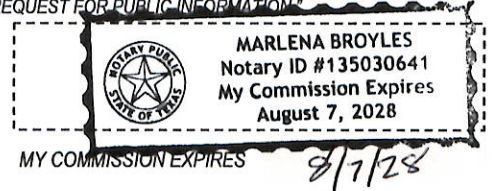
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Daniel W Bobst [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

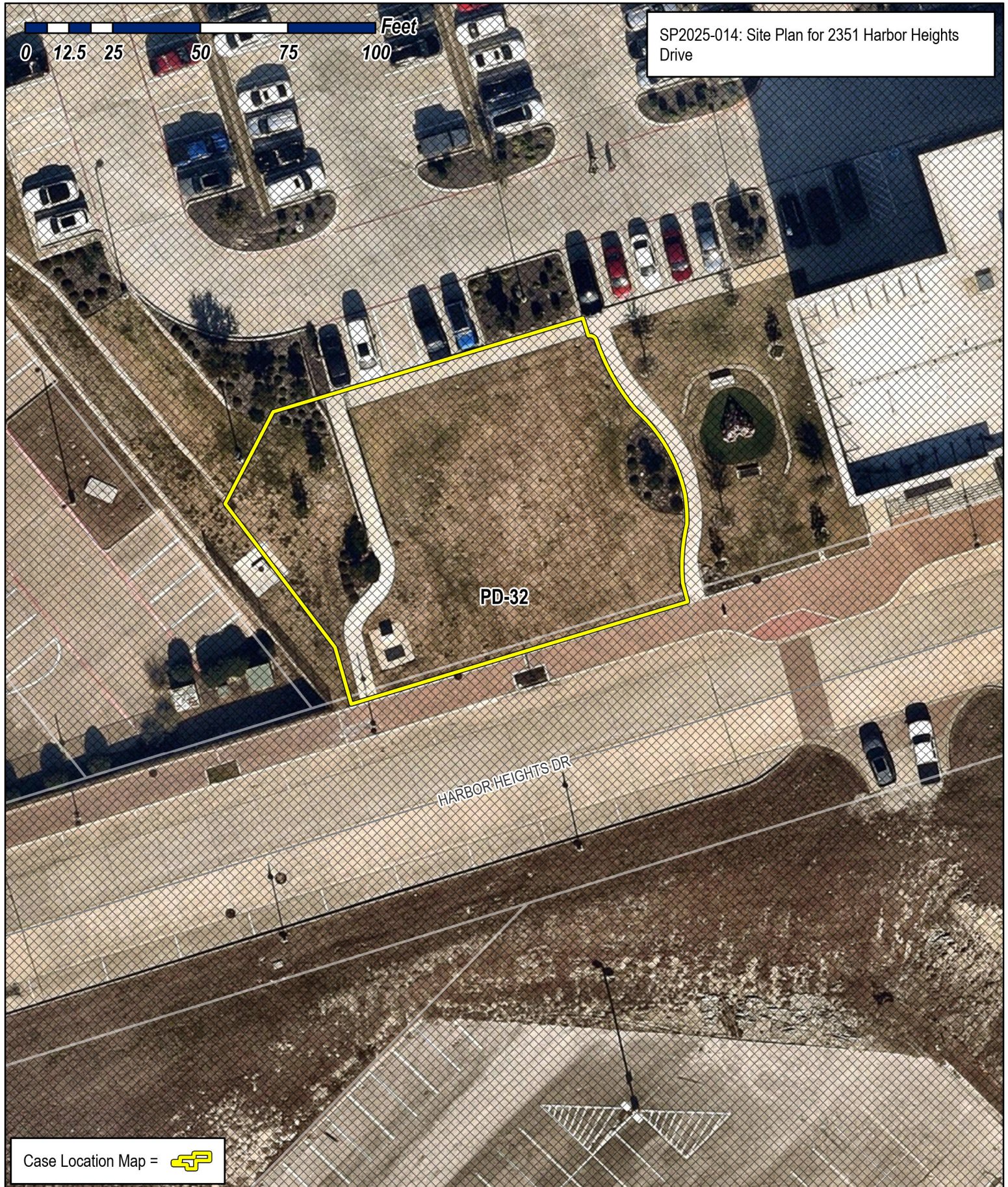
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF April, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF April, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2025-014: Site Plan for 2351 Harbor Heights Drive

PD-32

HARBOR HEIGHTS DR

Case Location Map = 

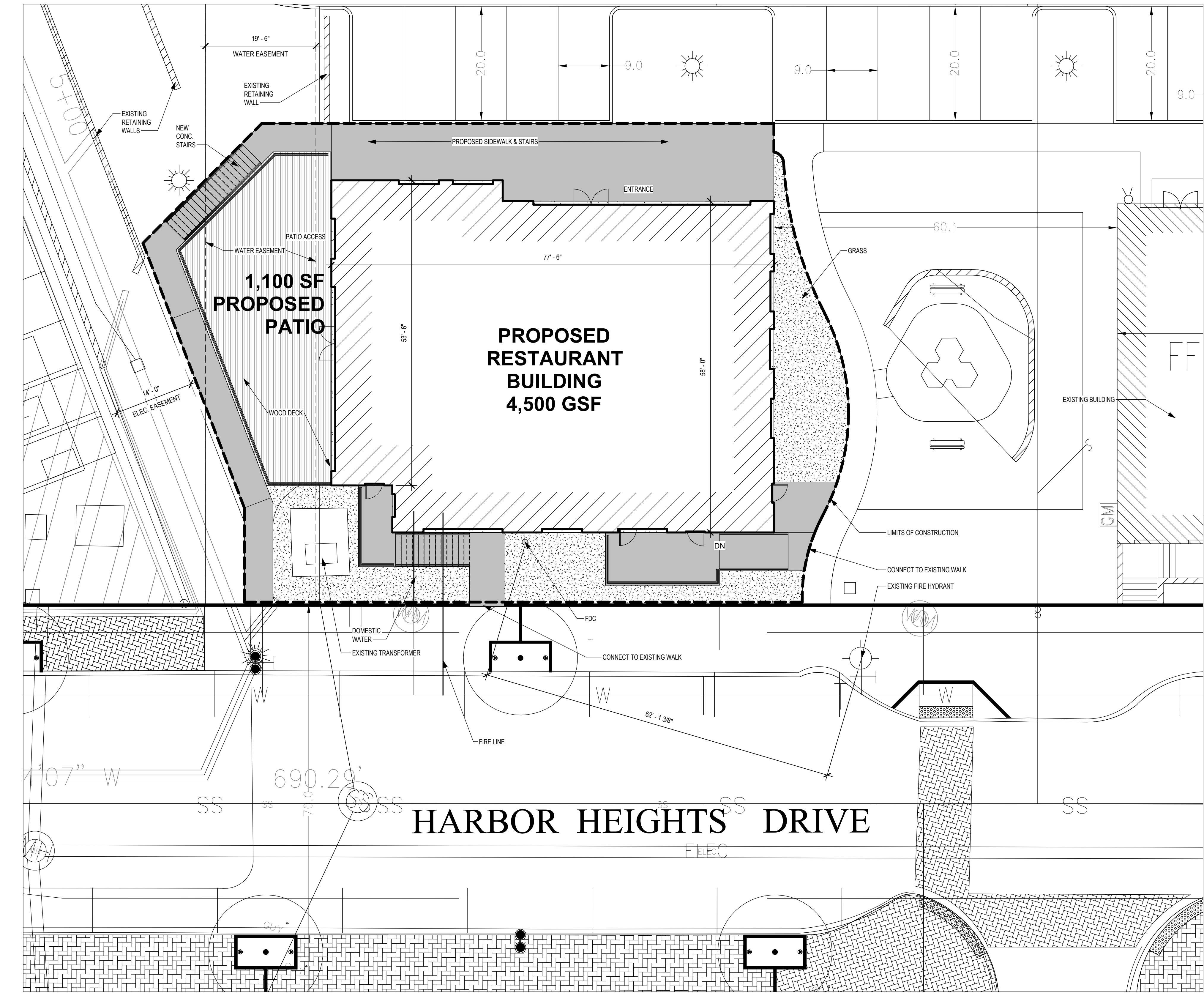


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

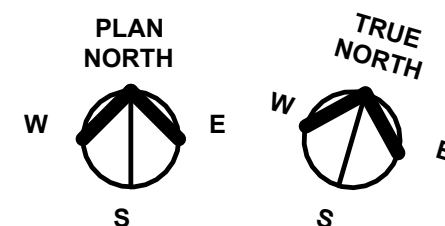
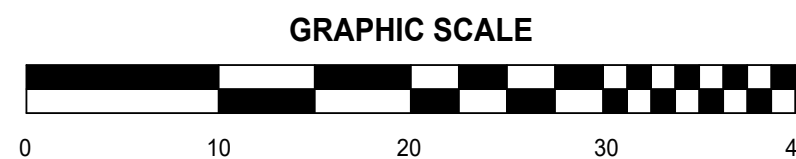
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





1 SITE PLAN

1" = 10'-0"



LEGAL DESCRIPTION:
LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS, BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

SITE INFORMATION

LAND AREA: 2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING: PD-32
EXISTING USE: RESTAURANT/RETAIL/OFFICE
PROPOSED USE: RESTAURANT/RETAIL/OFFICE
BUILDING AREA: 15,030 S.F. RESTAURANT
12,600 S.F. OFFICE
7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE: 35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT: VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING: 192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED: 161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
REQUESTING 31 CITY ADJACENT SPACES 31 TOTAL PROVIDED 192
IMPERVIOUS AREA: 80,954 S.F.
LANDSCAPE AREA REQUIRED: 0 S.F.
LANDSCAPE AREA PROVIDED: 45,064 S.F. (1.035 ACRES)

* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

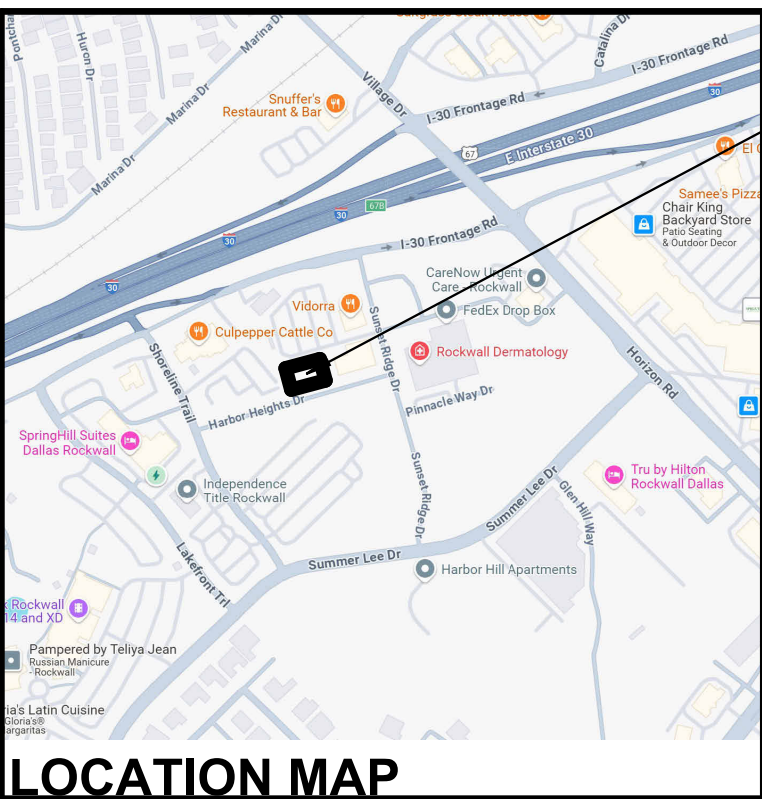
TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQ'D
12PM-1PM	37.80	46.40	108	192
4PM-6PM	19.74	41.76	130	192

SITE NOTES:

- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
- DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED

LEGEND:

	PROPOSED CONCRETE SIDEWALK		EXISTING AT&T MANHOLE
	GRASS		EXISTING WATER METER
	WOOD DECK		EXISTING ELECTRICAL MANHOLE
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING SEWER MANHOLE
	EXISTING SEWER LINE		EXISTING POWER POLE
	EXISTING WATER LINE		EXISTING LIGHT POLE
	EXISTING GAS LINE		EXISTING FIRE HYDRANT
	EXISTING TELEPHONE DUCT BANK		
	EXISTING ELECTRICAL DUCT BANK		



PROJECT LOCATION

OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

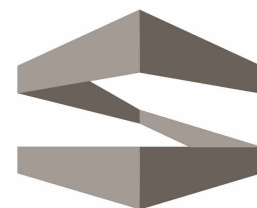
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

**HARBOR
HEIGHTS
BLDG. #4**

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description

Sheet Title:

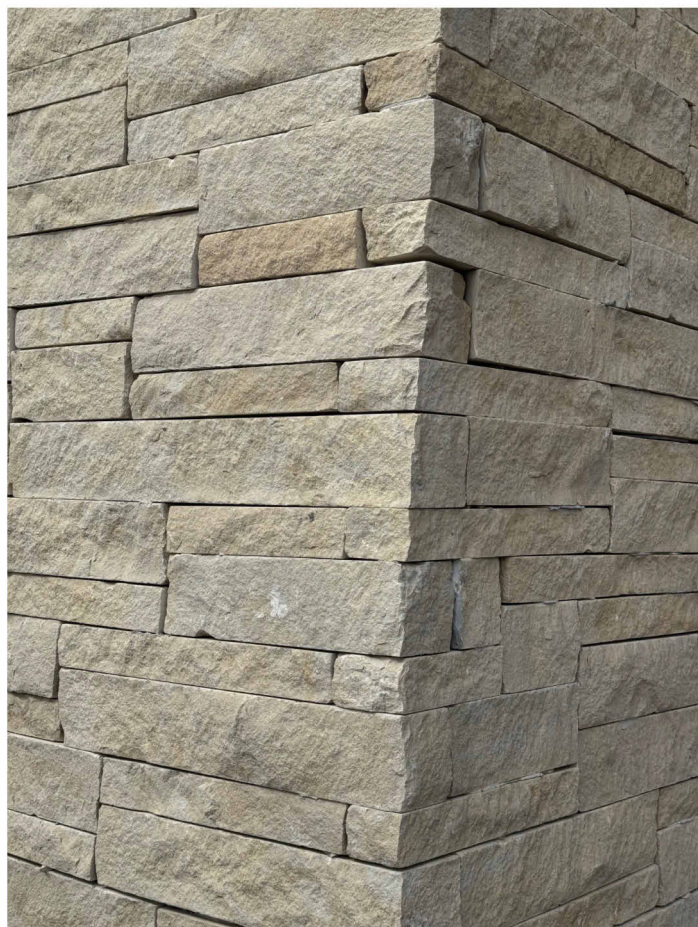
SITE PLAN

MATERIAL CALCULATIONS

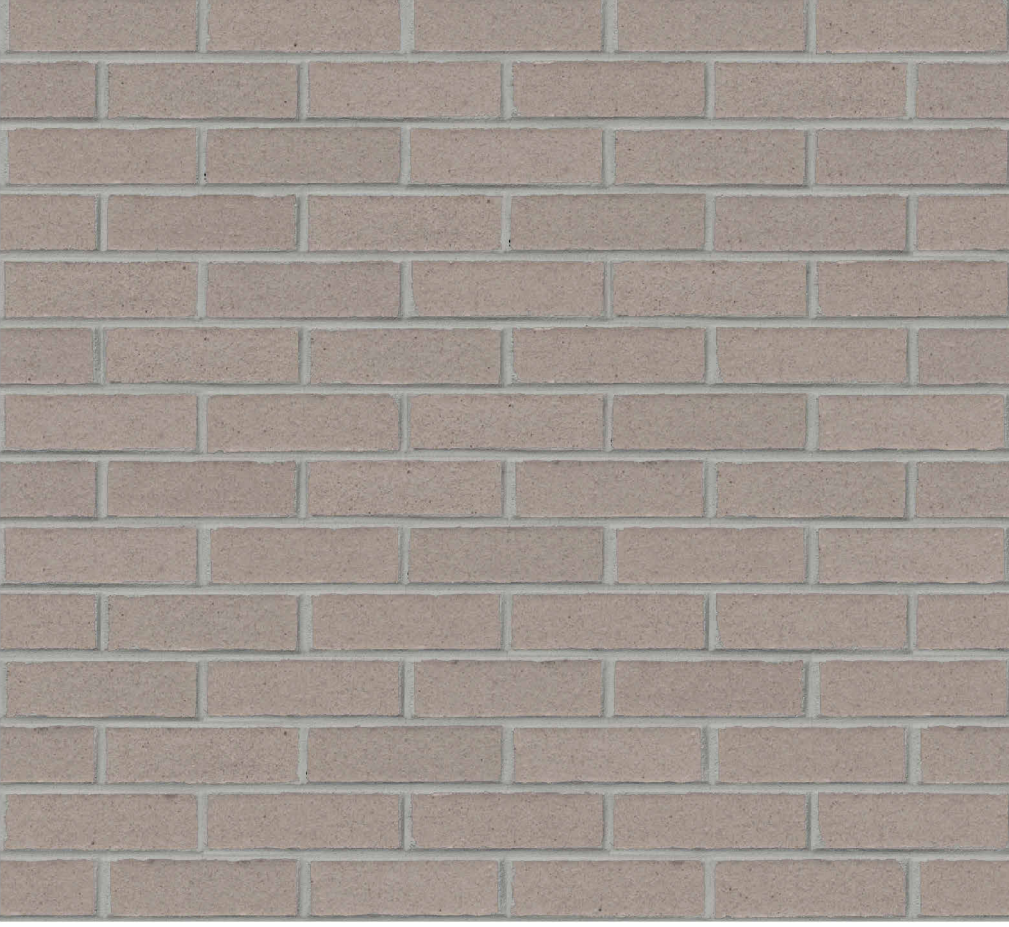
NORTH ELEVATION		%	
TOTAL AREA	1699		
STONE	480	28%	
BRICK	1014	60%	
STUCCO	205	12%	
SOUTH ELEVATION			
TOTAL AREA	1699		
STONE	761	45%	
BRICK	485	29%	
STUCCO	453	27%	
EAST ELEVATION			
TOTAL AREA	1351		
STONE	433	32%	
BRICK	740	55%	
STUCCO	178	13%	
WEST ELEVATION			
TOTAL AREA	1351		
STONE	269	20%	
BRICK	725	54%	
STUCCO	357	26%	

MATERIALS:

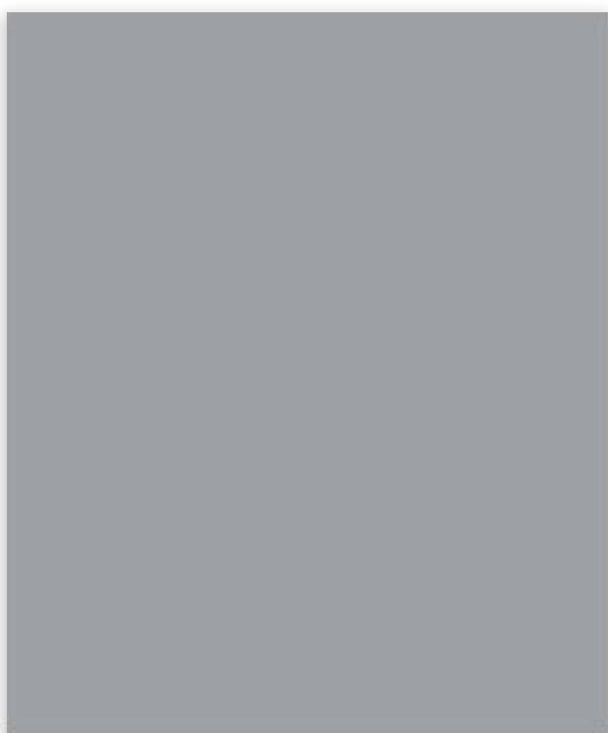
ROOFING: TPO WHITE
BRICK VENEER: ACME MARBLE GRAY - KING SIZE
NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.
STUCCO CAP: DRYVIT 3 PART - COLOR 133 DRIFTWOOD
STUCCO WALL: DRYVIT 3 PART - COLOR 152 ANTHRICITE COAL.
METAL AWNING: PAINT SW 6258 TRICORN BLACK



NATURAL STONE VENEER



BRICK VENEER



133 Driftwood
RGB 158 161 164



152 Anthracite Coal
RGB 85 85 86



TRICORN BLACK SW 6258

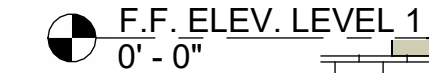
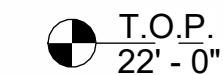
STUCCO CAP -
DRYVIT COLOR 133 DRIFTWOOD

STUCCO - DRYVIT
COLOR 152 ANTHRICITE COAL

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

BRICK VENEER -
ACME MARBLE
GRAY - KING SIZE

NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS



2 WEST ELEVATION
3/16" = 1'-0"

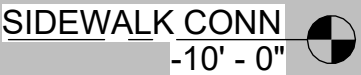
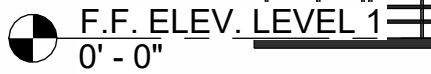
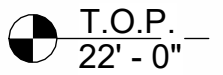
STUCCO CAP -
DRYVIT COLOR 133 DRIFTWOOD

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

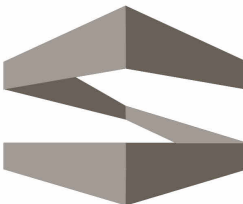
STUCCO - DRYVIT
COLOR 152 ANTHRICITE COAL

NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS

BRICK VENEER -
ACME MARBLE
GRAY - KING SIZE



1 SOUTH ELEVATION
3/16" = 1'-0"



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

HARBOR
HEIGHTS
BLDG. #4

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description
---	---------------	----------------------

Sheet Title:

EXTERIOR
ELEVATIONS

OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

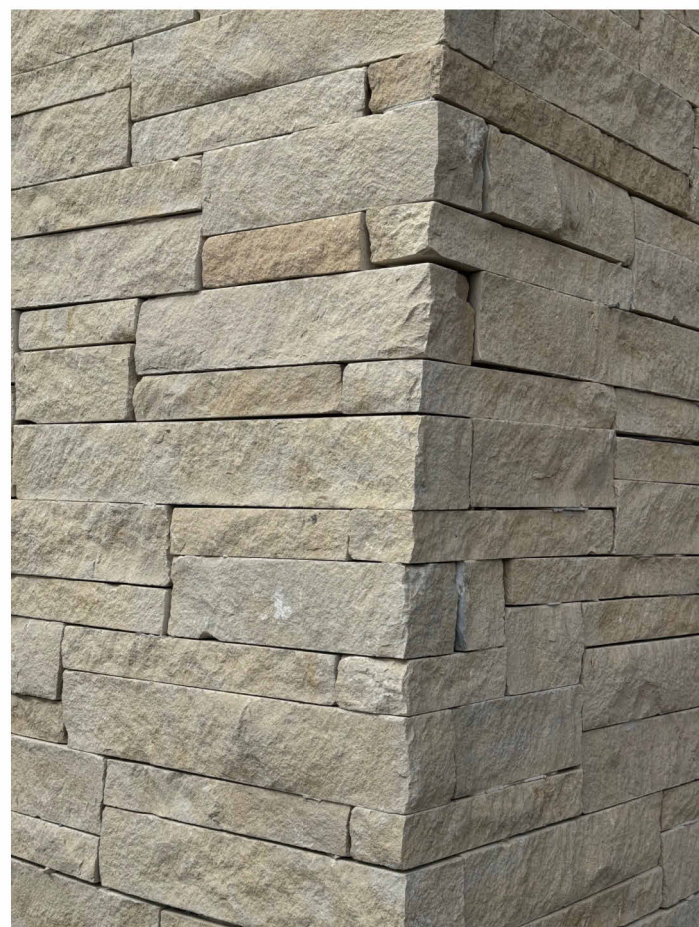
Director of Planning and Zoning

A400

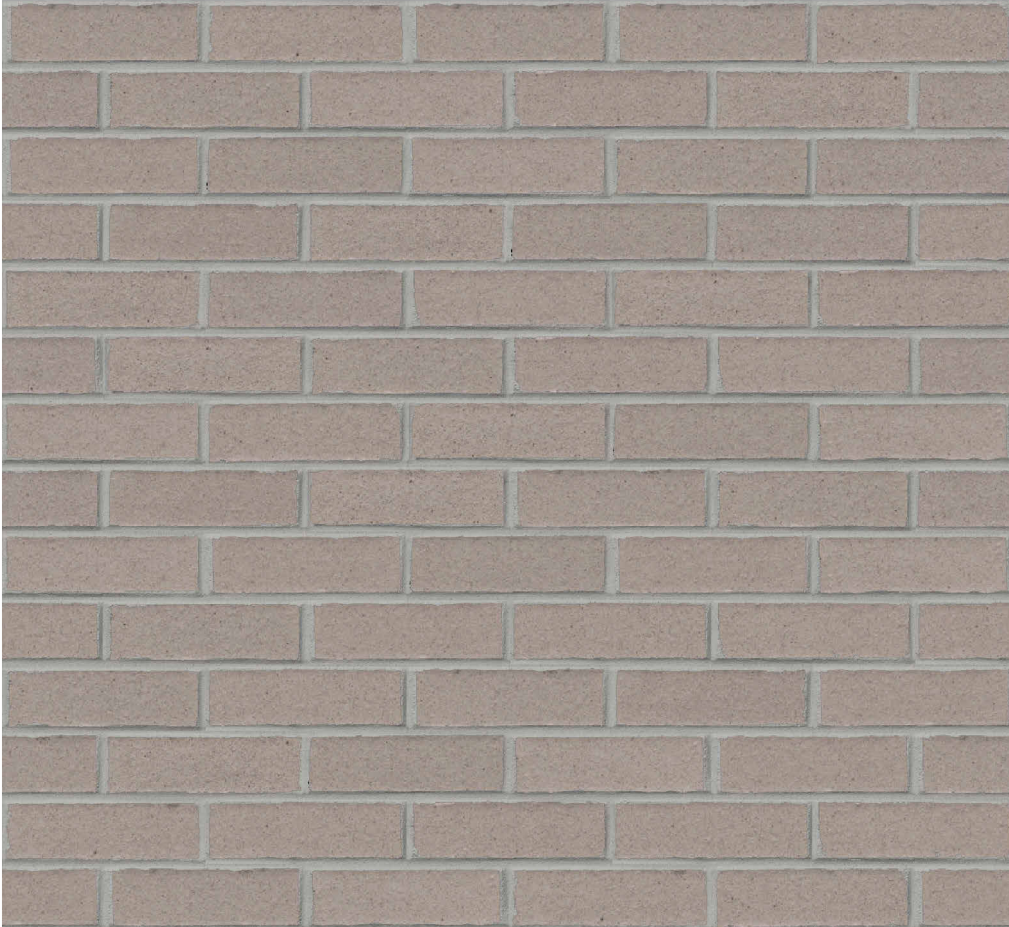
MATERIAL CALCULATIONS			
NORTH ELEVATION			%
TOTAL AREA	1699		
STONE	480	28%	
BRICK	1014	60%	
STUCCO	205	12%	
SOUTH ELEVATION			
TOTAL AREA	1699		
STONE	761	45%	
BRICK	485	29%	
STUCCO	453	27%	
EAST ELEVATION			
TOTAL AREA	1351		
STONE	433	32%	
BRICK	740	55%	
STUCCO	178	13%	
WEST ELEVATION			
TOTAL AREA	1351		
STONE	269	20%	
BRICK	725	54%	
STUCCO	357	26%	

MATERIALS:

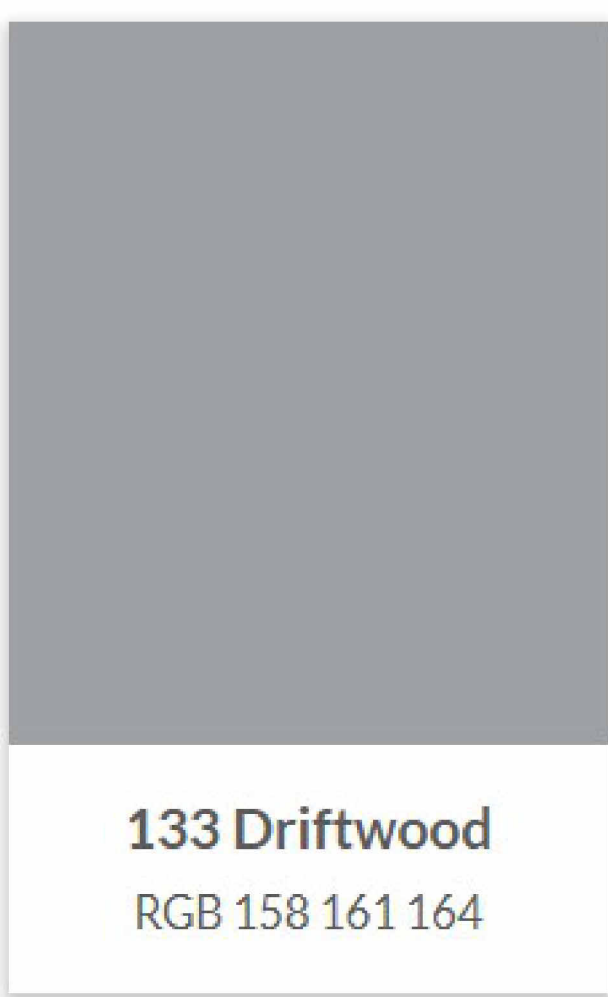
ROOFING: TPO WHITE
BRICK VENEER: ACME MARBLE GRAY - KING SIZE
NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.
STUCCO CAP: DRYVIT 3 PART - COLOR 133 DRIFTWOOD
STUCCO WALL: DRYVIT 3 PART - COLOR 152 ANTHRICITE COAL.
METAL AWNING: PAINT SW 6258 TRICORN BLACK



NATURAL STONE VENEER



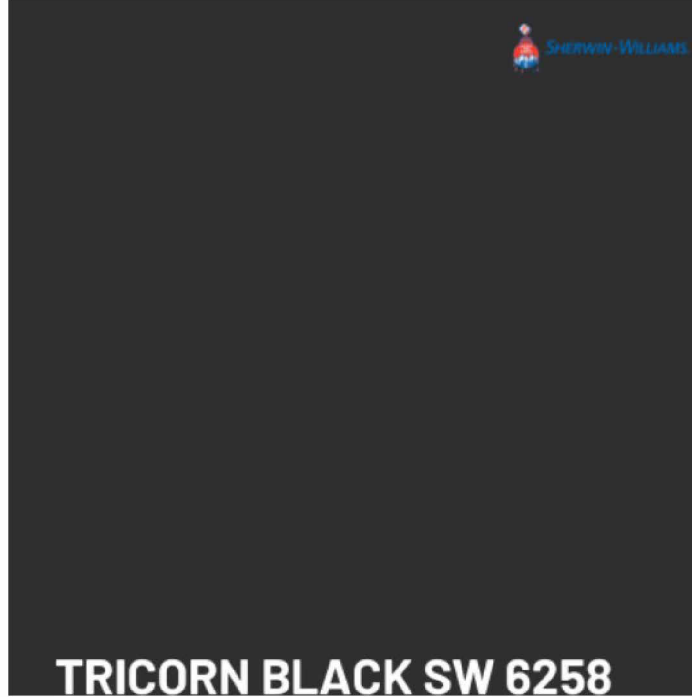
BRICK VENEER



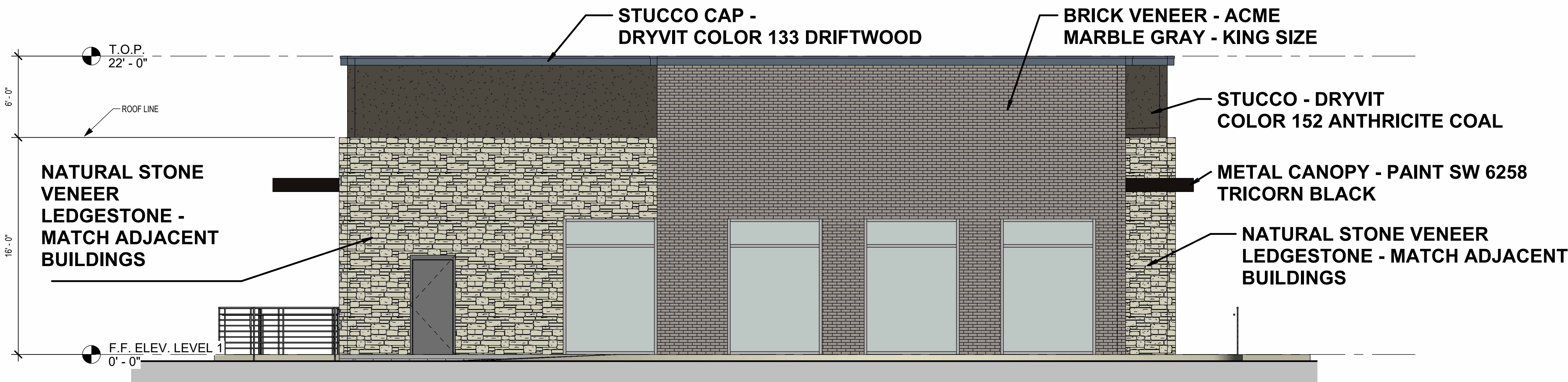
133 Driftwood
RGB 158 161 164



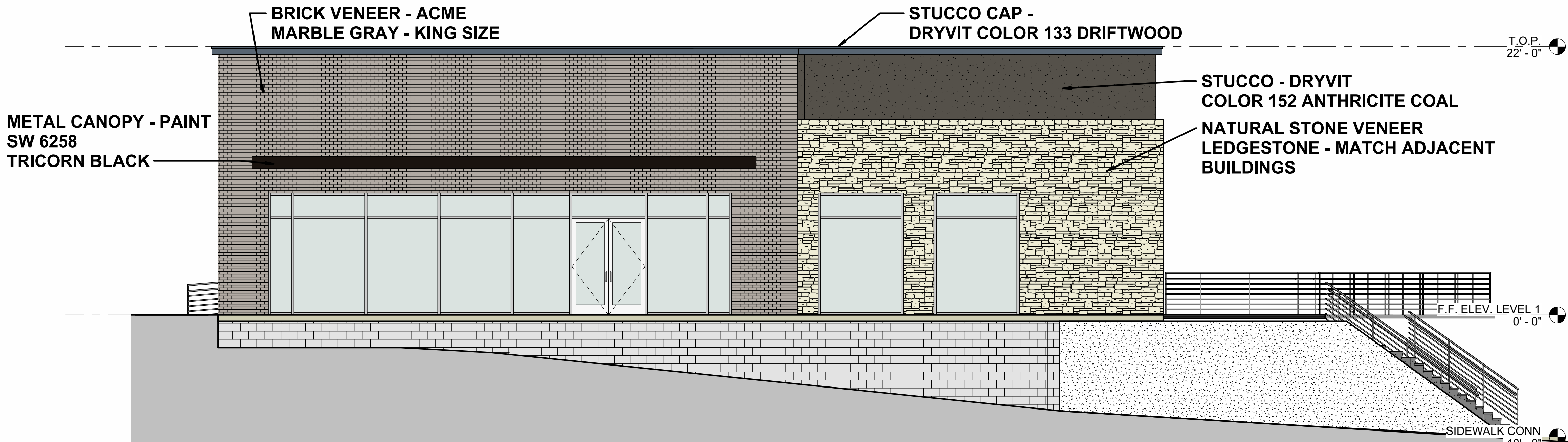
152 Anthracite Coal
RGB 85 85 86



TRICORN BLACK SW 6258



2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

OWNER INFORMATION:

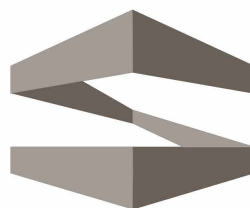
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

HARBOR HEIGHTS BLDG. #4

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: Author
Checked: Checker
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

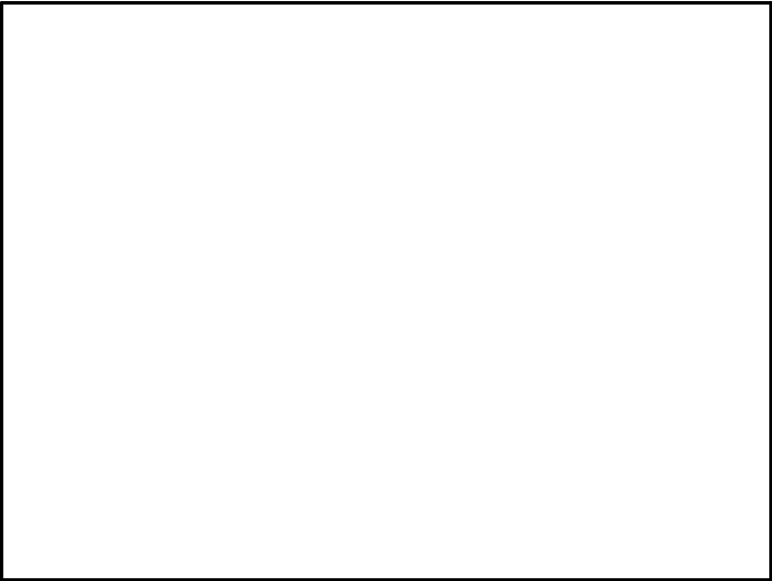
#	Revision Date	Revision Description

Sheet Title:

**EXTERIOR
ELEVATIONS**

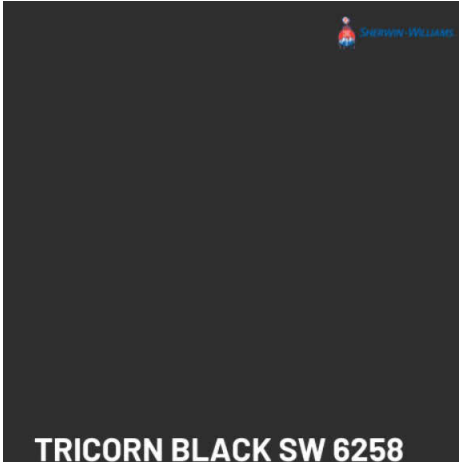


NATURAL STONE VENEER

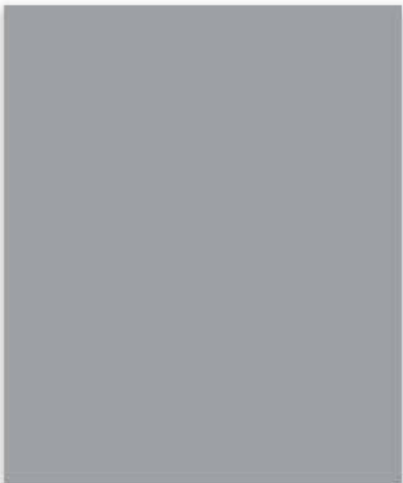


BRICK VENEER

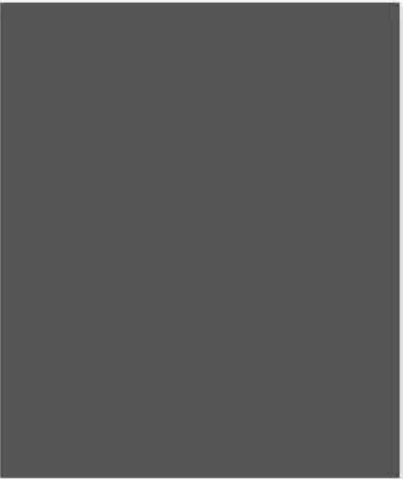
HARBOR HEIGHTS BLDG. #4



METAL AWNING



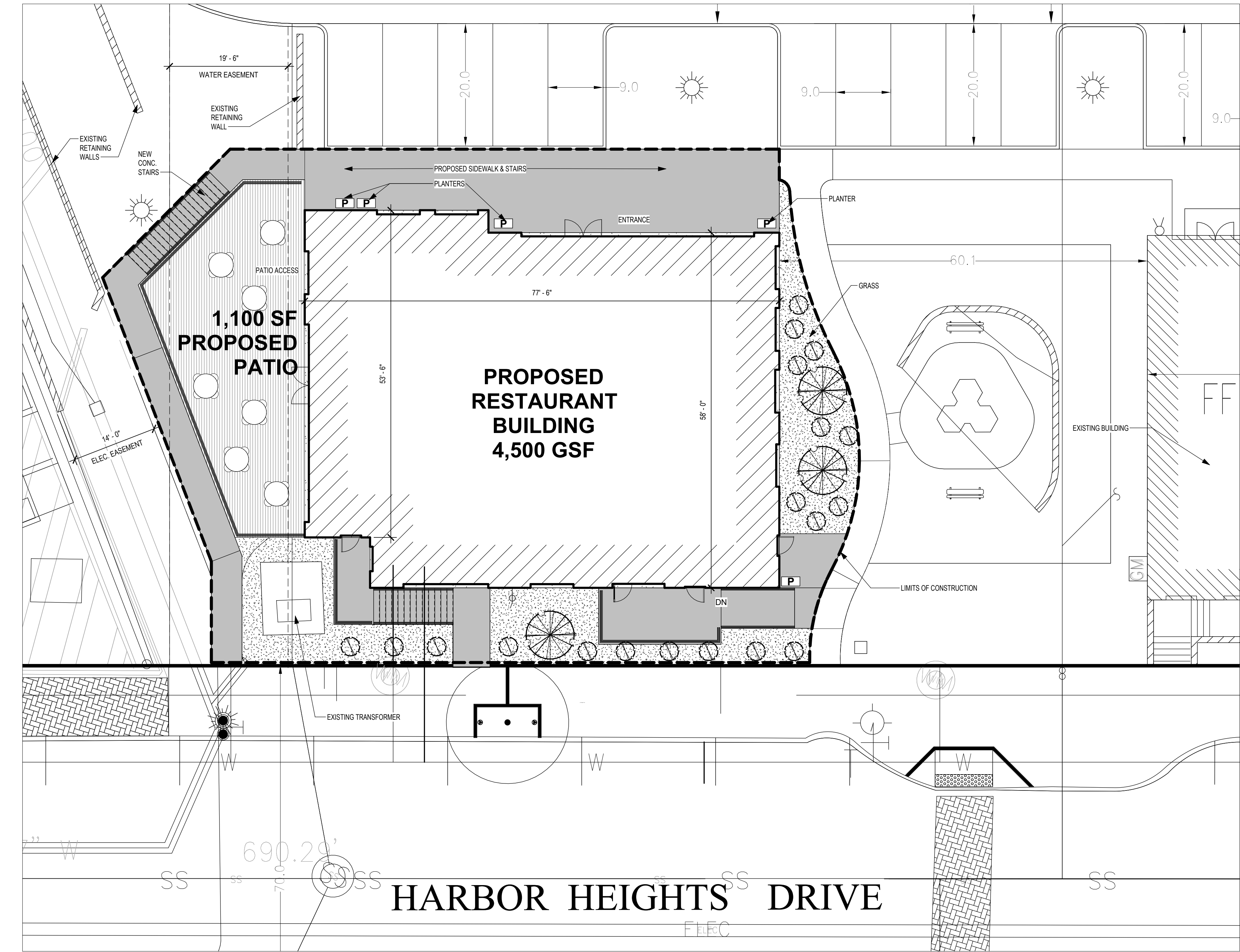
133 Driftwood
RGB 158 161 164



152 Anthracite Coal
RGB 85 85 86

3 PART STUCCO

Autodesk Docs//HHRR BLDG #4/ARCH_BLDG 4 HHRR.rvt



LEGEND

QTY	P	STONEWARE GRECIAN SERIES - EQUAL PLANTING BOX
19		SHRUB DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX, 16" HIGH AT TIME OF PLANTING DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX, 30" HIGH AT TIME OF PLANTING
		PATIO TABLES
3		CANOPY TREE LIVE OAK, "LC" 100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 8 FT. CEDAR ELM "CA" 100 GAL, 4.0"-4.5" CAL 12-14 FT. HIGH, CLEAR TRUNK TO 8 FT.



PLANTER POT EXAMPLE

SITE INFORMATION

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	15,030 S.F. RESTAURANT 12,600 S.F. OFFICE 7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
REQUESTING 31 CITY ADJACENT SPACES	31
IMPERVIOUS AREA:	TOTAL PROVIDED 192
LANDSCAPE AREA REQUIRED:	80,954 S.F.
LANDSCAPE AREA PROVIDED:	0 S.F. 45,064 S.F. (1.035 ACRES)

(A) General Irrigation Requirements.
The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall:
(1) Provide a moisture level in an amount and frequency adequate to sustain growth of the plant materials on a permanent basis.
(2) Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).
(3) Be maintained and kept operational at all times to provide for efficient water distribution.

LANDSCAPING NOTE:
TREES SHALL BE MIN. 5'-0" FROM ALL UNDERGROUND EXISTING OR PROPOSED UTILITY LINES 10" OR SMALLER & 10'-0" AWAY FROM LINES 12" OR GREATER.

OWNER INFORMATION:

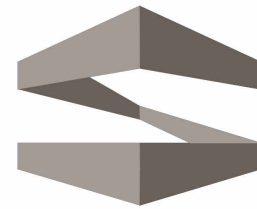
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

**HARBOR
HEIGHTS
BLDG. #4**

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411

Drawing Date: 4.15.2025

Drawn: PC

Checked: JS

Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

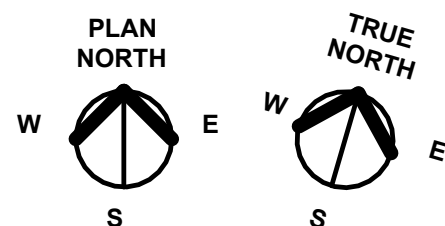
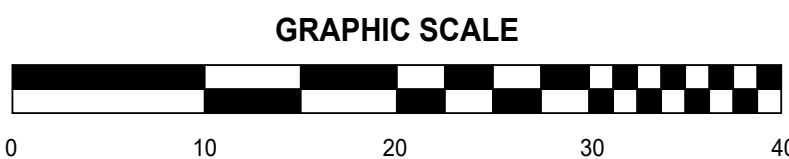
#	Revision Date	Revision Description
---	---------------	----------------------

Sheet Title:

LANDSCAPE PLAN

LANDSCAPE PLAN

1" = 10'-0"



LEGAL DESCRIPTION:

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

SITE LIGHTING LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	LAMPS		TOTAL FIXT WATTS	VOLTS	ARRANGEMENT	INSTALLATION	MANUFACTURER MODEL#	REMARKS
		NO.	TYPE						
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4 W LED 4045 LUMENS	UNIV	---	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2	1,3
WPE	OVER-DOOR LED OUTDOOR EGRESS EMERGENCY AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4W LED 4045 LUMENS	UNIV	---	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2-BBB EMERGENCY BATTERY	1,3
P1	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SL4-HSS GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON	ALL
P2	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SWQ GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON	ALL
NOTES: 1. APPROVED EQUALS ARE COOPER, COLUMBIA, PHILIPS AND LITHONIA. 2. REFER TO DETAIL SHEET FOR CONCRETE BASE. 3. FINISHES BY ARCHITECT. 4. PROVIDE 3 FT ROUND CONCRETE BASES. 5. TOTAL HEIGHT OF POLES INCLUDING BASE SHALL BE 25 FEET. 6. CUT OFF AT SITE BOUNDARIES SHALL BE LES THAN 0.2 FOOTCANDLES. LIGHTING REP OF ASSISTANCE WAS CHAD HANEY AT TEXAS LIGHTING, 817-714-2444. PLEASE CALL CHAD HANEY FOR PRICING									

- GENERAL NOTES
1. REFER TO E0.00 FOR COMPLETE LIST OF GENERAL NOTES.

2. MH IS THE MOUNTING HEIGHT OF THE LIGHT POLE OR BUILDING LIGHT FIXTURE. THE HEIGHT OF THE POLE INCLUDES ITS BASE. SEE SCHEDULES AND DETAILS.

3. PROVIDE CONCRETE BASES FOR POLE FIXTURES. REFER TO CIVIL HEIGHT OF POLES ON EXTERIOR LIGHTING SCHEDULE INCLUDES THE 3 FOOT BASES OR AS CIVIL PROVIDES.

4. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH PHOTOCELL LIGHTING RELAY PANEL LOCATED IN A MAIN EQUIPMENT ROOM AS INDICATED.

5. ACTUAL PHOTOMETRIC WILL VARY DEPENDING ON THE COLOR OF THE WALLS, SURFACE TEXTURE, LANDSCAPING, AND OTHER SITE FEATURES.

6. ACTUAL FIXTURE LAYOUT AND PHOTOMETRICS MAY VARY BASED ON FINAL LOCATION OF FIXTURES. FIXTURES SHALL BE FIELD ADJUSTED BASED ON ACTUAL BUILDING AND SITE CONDITIONS.

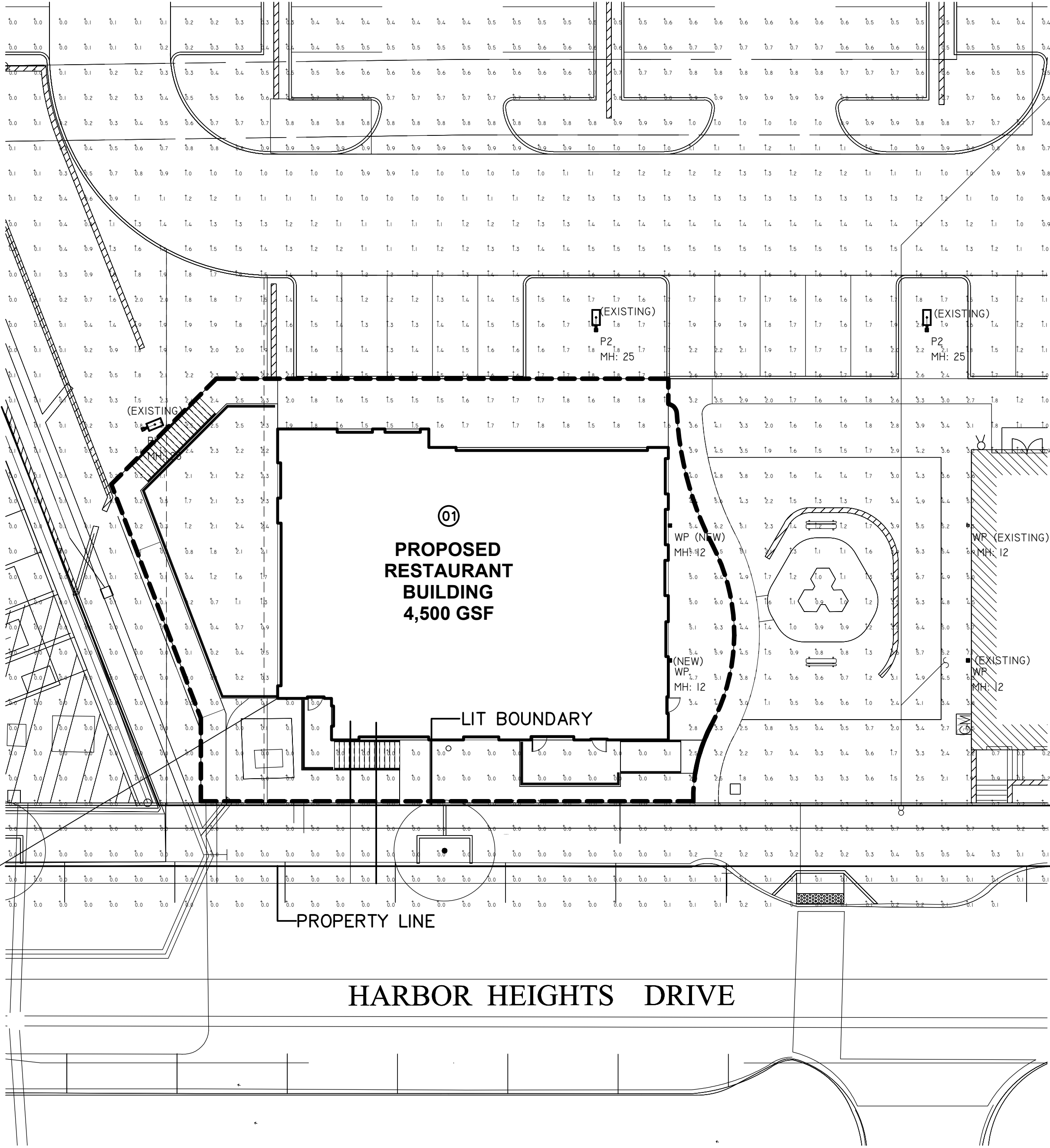
7. CALCULATIONS ARE BASED ON CITY ORDINANCE: ON THE PARKING AREA SURFACE, AN AVERAGE OF AT LEAST 2 FC, INITIAL MEASUREMENT, AND A MINIMUM AVERAGE OF 1 FC ON A MAINTAINED BASIS.

8. CUT OFF AT SITE BOUNDARIES SHALL BE LESS THAT 0.2 FC.

9. PROVIDE CAULKING AROUND ALL SEAMS ON EXTERIOR LIGHTING AND POWER OUTLETS TO PREVENT MOISTURE BUILDUP.

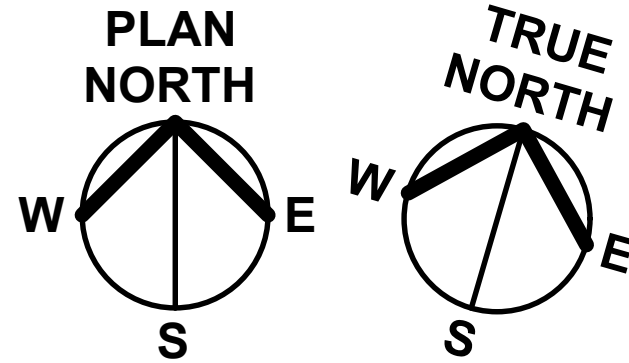
10. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH LIGHTING RELAY PANEL.

- KEYED NOTES DESIGNATED BY "Ⓢ" "Ⓣ"
1. ALL EXTERIOR LIGHTING SHALL BE CONTROLLED THRU A PHOTOCELL. REFER TO ELECTRICAL PANEL SCHEDULES FOR RELAY PANEL.

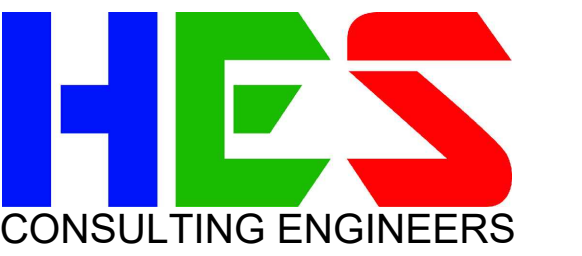


SITE PLAN
ELECTRICAL LIGHTING

1/16" = 1'-0"



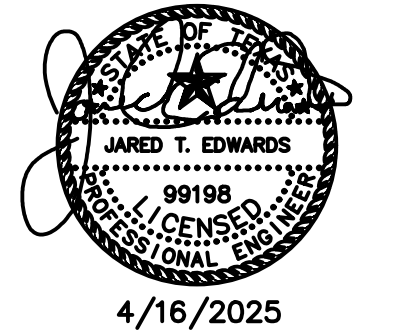
ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032



HES ENGINEERS
2626 COLE AVENUE
SUITE 300
DALLAS, TEXAS 75204

CIVIL
FC CUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING, INC.
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035



PERMIT
HARBOR HEIGHTS
RESTAURANT &
RETAIL
BUILDING D
ROCKWALL, TEXAS

Project Number: 82401
Drawing Date: 03.24.25
Drawn:
Checked:

© 2024 Strohmeyer Architects, Inc.

#	Revision Date	Revision Description
1		

Sheet Title:

SITE PLAN -
ELECTRICAL
LIGHTING

E1.01

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/24/2025

PROJECT NUMBER: SP2025-014
PROJECT NAME: Site Plan for a Retail/Office Building
SITE ADDRESS/LOCATIONS: 2351 HARBOR HEIGHTS DR

CASE CAPTION: Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a Retail/Office Building on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2351 Harbor Heights Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/24/2025	Needs Review

04/24/2025: SP2025-014 Site Plan for 2351 Harbor Heights Drive

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Retail/Office Building on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, and addressed as 2351 Harbor Heights Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

I.3 The subject property will be required to be replatted after the engineering process to establish the new easements. All pedestrian access easements/pedestrian ways shall be required to be dedicated as easements at the time the property is replatted.

M.4 For reference, include the case number (SP2025-014) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, of the UDC)

M.5 Site Plan

(1) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings berms, or walls matching the main structure. (Subsection 01.05.C, Article 05, of the UDC) Please indicate on your site plan if there are any pad mounted utility equipment. Utility equipment will be subject to screening if found later at engineering or building permit.

(2) The maximum parking required for this lot is 186 parking spaces according to the updated shared parking calculation attached. This lot is short 25 parking spaces.

(3) The maximum square footage for this building is 4,000 SF according to the PD Development Plan [Ordinance No. 19-25]. This will be a variance to the PD Development Plan.

M.6 Photometric Plan

(1) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one-foot candle. (Subsection 3.03.C, of Article 07, of the UDC)

(2) Please provide lighting cut sheets that indicate the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03.A, of Article 07, of the UDC)

M.7 Building Elevations

- (1) Indicate exterior elevations adjacent to public right-of-way.
- (2) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. (Subsection 01.05.C, of Article 05, of the UDC)
- (3) All parapets shall be extended back and finished on the interior side using the same materials as the exterior facing walls. (Subsection 04.01, of Article 05, of the UDC)
- (4) The proposed buildings' facades do not meet the Commercial Building Articulation Standards for wall projections. (Subsection 04.01.C, of Article 05, of the UDC) This will require a variance from the Planning and Zoning Commission.
- (5) All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. (Subsection 06.02.C.2, of Article 05, of the UDC) This will require a variance from the Planning and Zoning Commission.
- (6) All buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. (Subsection 06.02.5, of Article 05, of the UDC and Planned Development District 32 [Ordinance 19-25]). This will require a variance from the Planning and Zoning Commission.

M.8 Landscape Plan

- 1) Provide evergreen shrubs screening the existing transformer. (Subsection 01.05.C, Article 05, of the UDC)

M.9 Based on the materials submitted staff has identified the following exceptions and variances for this project:

- (1) Four-sided Architecture. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), “all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building.” In this case, the proposed building does not meet the articulation standards for all four (4) facades.
- (2) Roof Design Standards. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), “(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent public right-of-way shall be prohibited.” In this case, the proposed building has a flat roof and therefore does not meet this standard.

M. 10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11, of the UDC). Compensatory measures to consider:

- (1) Additional landscaping.
- (2) Increased building articulation.
- (3) Increased architectural elements.

M.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on April 29, 2025
- (2) Planning & Zoning meeting/public hearing meeting will be held on May 13, 2025

I.13 All meetings will be held in person and in the City’s Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

04/22/2025: 1. New construction to meet the utility, drainage, and grading requirements as constructed with the Harbor Heights Restaurant and Retail as-built plans.
2. All drainage is required to drain to existing drop inlet. No drainage allowed to Harbor Heights.
3. Ex. 8' water will need to be relocated away from patio or any other structures including walls. Existing easement to be abandoned, and new easement dedicated. No structures, including stairs, within easement or over water main.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements.
- No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences within easements.
- All utilities must be underground.
- Additional comments may be provided at time of Engineering.
- Will be required to replat due to moving the water line

Drainage Items:

- Existing flow patterns must be maintained.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- Grate inlets are not allowed.
- Dumpsters must drain to an oil/water separator and then into the storm drainage system.

Water and Wastewater Items:

- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Minimum public sewer is 8". Minimum private sewer service is 6".
- All commercial sewer connections must be made by a proposed or existing manhole.
- Water and sanitary sewer and storm sewer must be 10' apart.
- All public utilities must be centered in an easement. Min 20' utility easements.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.

Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Drive isles to be minimum 24' wide.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	04/23/2025	Approved w/ Comments

04/23/2025: * NEED TO SEE ADA PARKING AND ACCESS TO THE BUILDING

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/24/2025	Approved w/ Comments
04/24/2025: Fire department connection (FDC) will need to be coordinated with the fire department to ensure proper access.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/23/2025	Approved w/ Comments
04/23/2025: Assigned address is 2351 HARBOR HEIGHTS DR, ROCKWALL, TEXAS 75032			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/21/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/21/2025	Approved
No Comments			

Shared Parking Calculation

Case No. SP2025-014

Land Use	SF	UDC SF Requirement	Parking Required
Restaurant	18,519	100	185
Retail	7,600	200	38
Office	12,600	300	42
		Required Parking	265
		Parking Provided	142
		Total Required	123
		City Parking Available	19
		Parking Deficiency	104

Time of Day	Office	Restaurant	Total Required	Provided	Deficiency	City Parking	Total Deficiency
6:00 AM-12:00 PM	42	92.6	135	142	(7)	19	(26)
12:00 PM-1:00 PM	37.80	129.6	167	142	25	19	6
1:00 PM-4:00 PM	40.74	111.1	152	142	10	19	(9)
4:00 PM-6:00 PM	19.74	166.7	186	142	44	19	25
6:00 PM-8:00 PM	2.94	167	170	142	28	19	9
8:00 PM-12:00 AM	1.26	185	186	142	44	19	25

Square Footages

Finch	5,604	SF
Viddora (Includes Patio)	7,315	SF
Retail (1st Floor)	7,600	SF
Office (2nd Floor)	10,100	SF
Office (Bank - 1st Floor)	2,500	SF
Restaurant (Includes Patio)	5,600	SF
	<u>38,719</u>	SF

New construction to meet the utility, drainage, and grading requirements as constructed with the Harbor Heights Restaurant and Retail as-built plans.

All drainage is required to drain to existing drop inlet. No drainage allowed to Harbor Heights

Ex. 8" water will need to be relocated away from patio or any other structures including walls. Existing easement to be abandoned, and new easement dedicated. No structures, including stairs, within easement or over water main.

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements.
- No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences within easements.
- All utilities must be underground.
- Additional comments may be provided at time of Engineering.
- Will be required to replat due to moving the water line

Drainage Items:

- Existing flow patterns must be maintained.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- Grate inlets are not allowed.
- Dumpsters must drain to an oil/water separator and then into the storm drainage system.

Water and Wastewater Items:

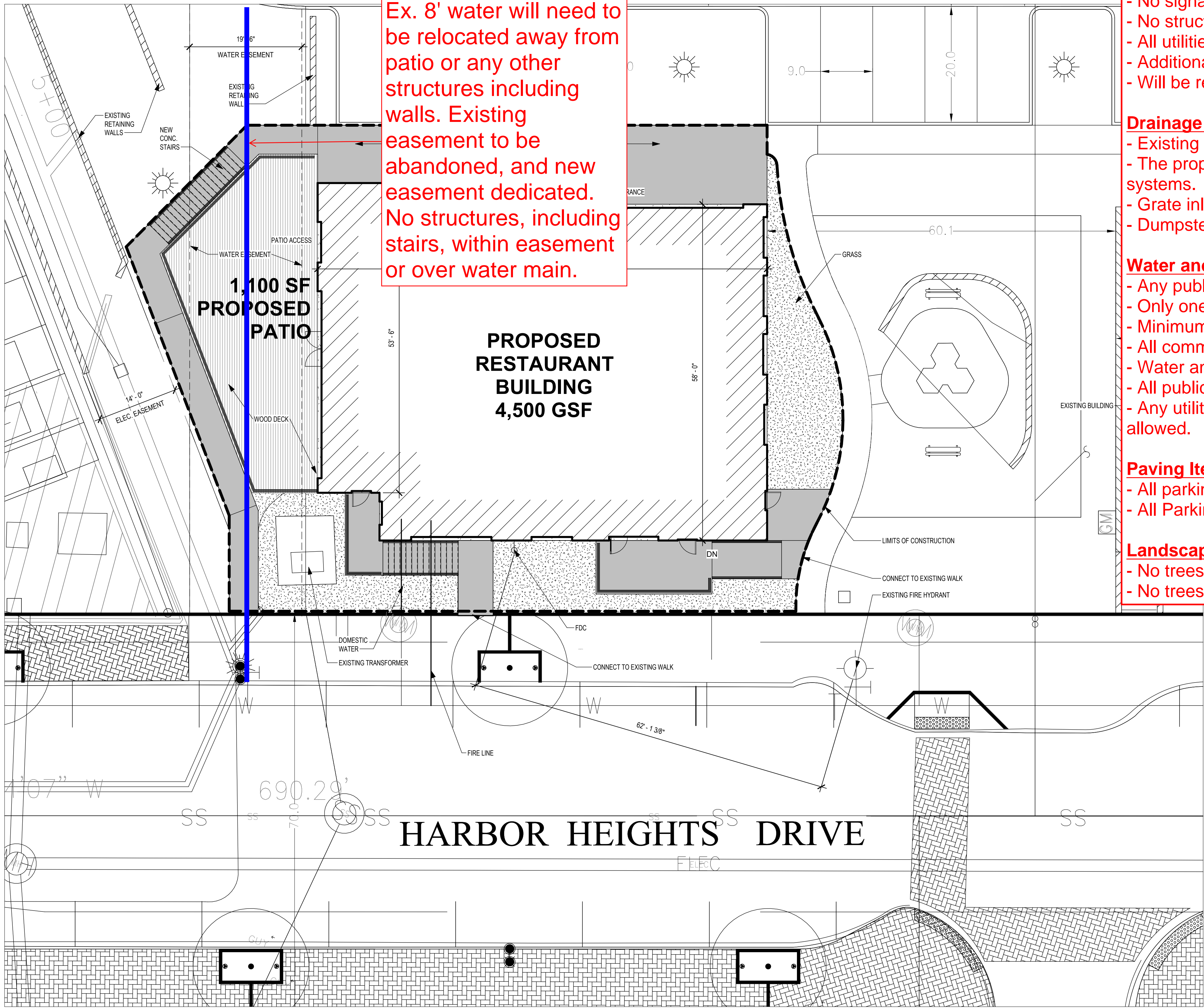
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Minimum public sewer is 8". Minimum private sewer service is 6".
- All commercial sewer connections must be made by a proposed or existing manhole.
- Water and sanitary sewer and storm sewer must be 10' apart.
- All public utilities must be centered in an easement. Min 20' utility easements.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.

Paving Items:

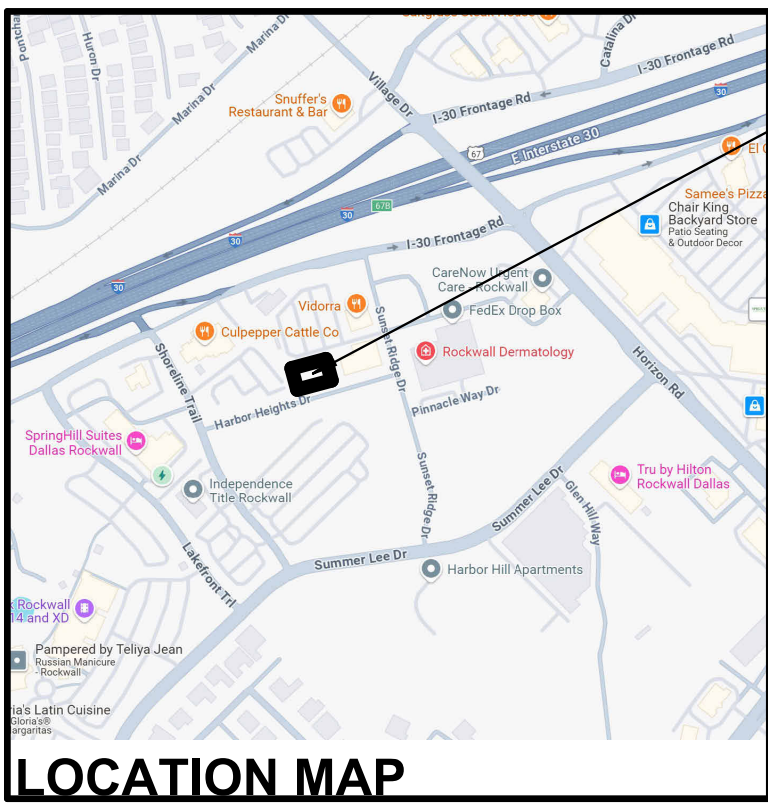
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Drive isles to be minimum 24' wide.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



—SS—	EXISTING SEWER LINE	EXISTING FIRE HYDRANT
—W—	EXISTING WATER LINE	
—GAS—	EXISTING GAS LINE	
—TELE—	EXISTING TELEPHONE DUCT BANK	
—ELEC—	EXISTING ELECTRICAL DUCT BANK	



OWNER INFORMATION:
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.
WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

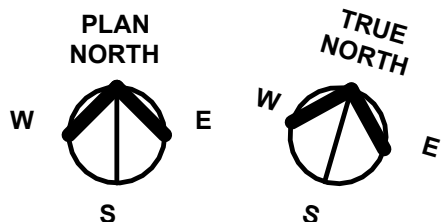
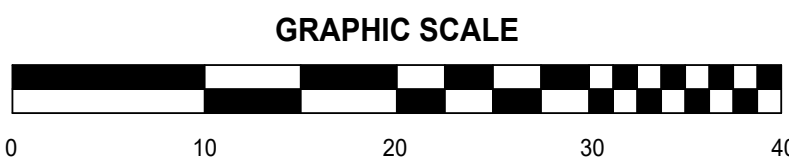
Revisions:

#	Revision Date	Revision Description

Sheet Title:

SITE PLAN

1 SITE PLAN
1" = 10'-0"



LEGAL DESCRIPTION:
LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS, BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE RESTAURANT/RETAIL/OFFICE

PROPOSED ZONING PD-32

PROPOSED USE RESTAURANT/RETAIL/OFFICE

ACREAGE 2.893 ACRES

LOTS [CURRENT] 2

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER HH RETAIL CENTER, LP

☒ APPLICANT STROHMEYER ARCHITECTS INC.

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE., STE 610

ADDRESS 2701 SUNSET RIDGE., STE 601

CITY, STATE & ZIP ROCKWALL, TX, 75032

CITY, STATE & ZIP ROCKWALL, TX, 75032

PHONE 214-553-5505

PHONE 214-497-2057

E-MAIL DWBOBST@TRENDHR.COM

E-MAIL JIMMY@STROHMEYERARCHITECTS.COM

NOTARY VERIFICATION [REQUIRED]

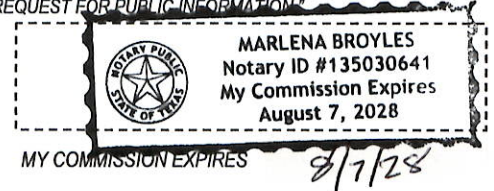
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Daniel W Bobst [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

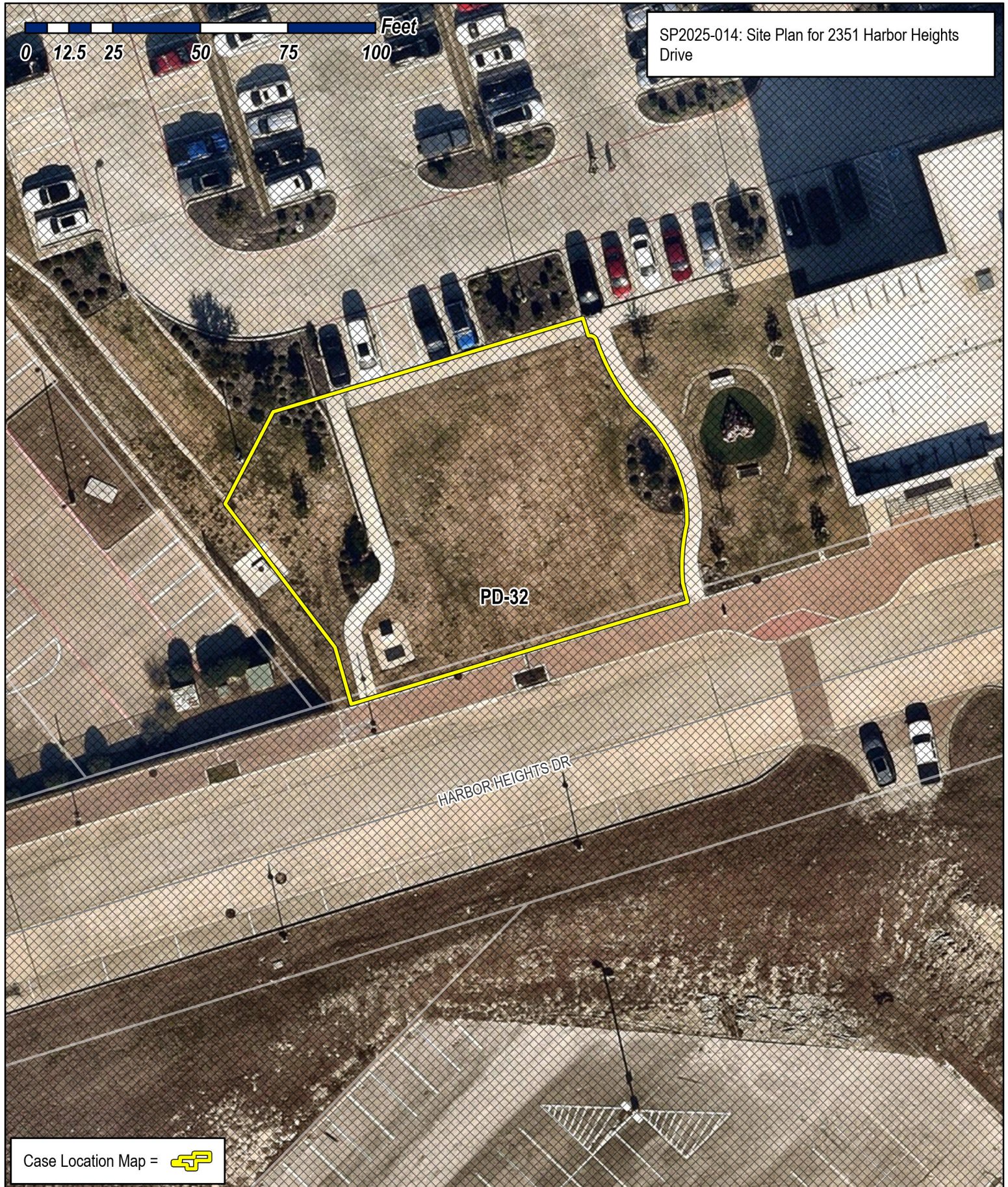
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF April, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF April, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2025-014: Site Plan for 2351 Harbor Heights Drive

PD-32

HARBOR HEIGHTS DR

Case Location Map = 

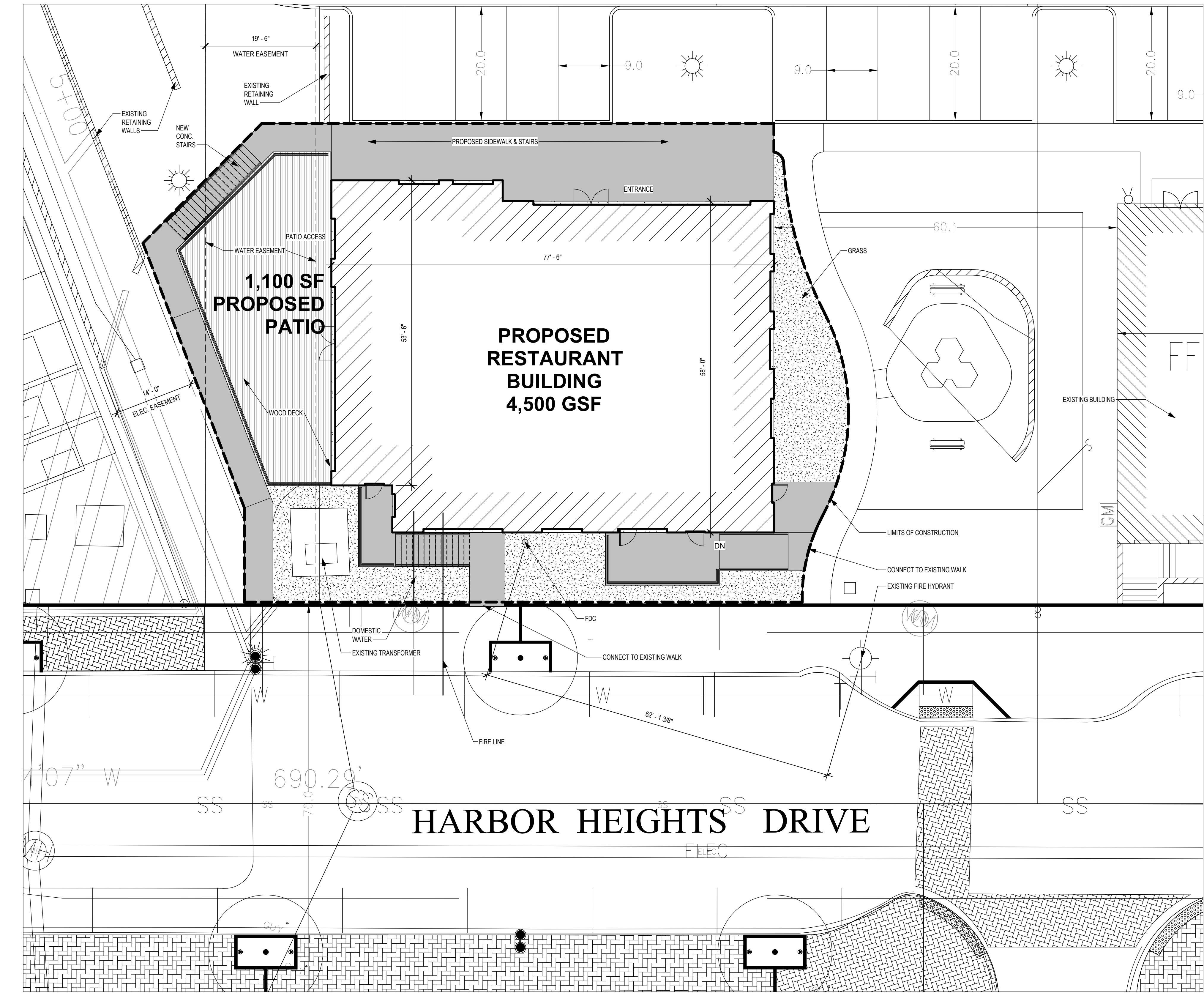


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

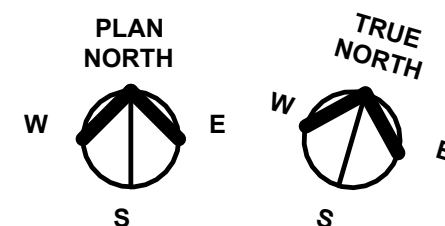
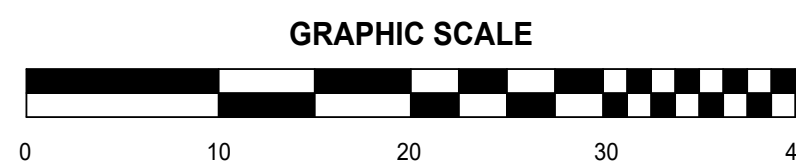
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





1 SITE PLAN

1" = 10'-0"



LEGAL DESCRIPTION:
LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS, BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

SITE INFORMATION

LAND AREA: 2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING: PD-32
EXISTING USE: RESTAURANT/RETAIL/OFFICE
PROPOSED USE: RESTAURANT/RETAIL/OFFICE
BUILDING AREA: 15,030 S.F. RESTAURANT
12,600 S.F. OFFICE
7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE: 35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT: VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING: 192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED: 161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
REQUESTING 31 CITY ADJACENT SPACES 31 TOTAL PROVIDED 192
IMPERVIOUS AREA: 80,954 S.F.
LANDSCAPE AREA REQUIRED: 0 S.F.
LANDSCAPE AREA PROVIDED: 45,064 S.F. (1.035 ACRES)

* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

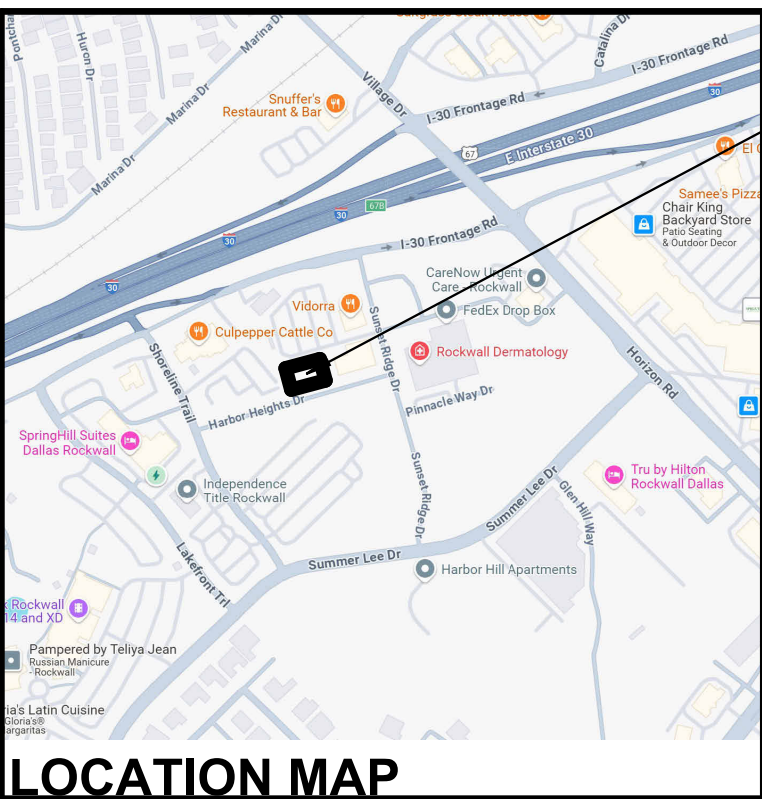
TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQ'D
12PM-1PM	37.80	46.40	108	192
4PM-6PM	19.74	41.76	130	192

SITE NOTES:

1. PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
3. DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED

LEGEND:

	PROPOSED CONCRETE SIDEWALK		EXISTING AT&T MANHOLE
	GRASS		EXISTING WATER METER
	WOOD DECK		EXISTING ELECTRICAL MANHOLE
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING SEWER MANHOLE
	EXISTING SEWER LINE		EXISTING POWER POLE
	EXISTING WATER LINE		EXISTING LIGHT POLE
	EXISTING GAS LINE		EXISTING FIRE HYDRANT
	EXISTING TELEPHONE DUCT BANK		
	EXISTING ELECTRICAL DUCT BANK		



PROJECT LOCATION

OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

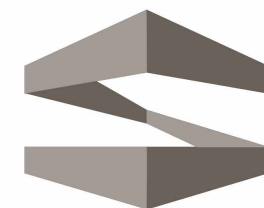
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

**HARBOR
HEIGHTS
BLDG. #4**

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description

Sheet Title:

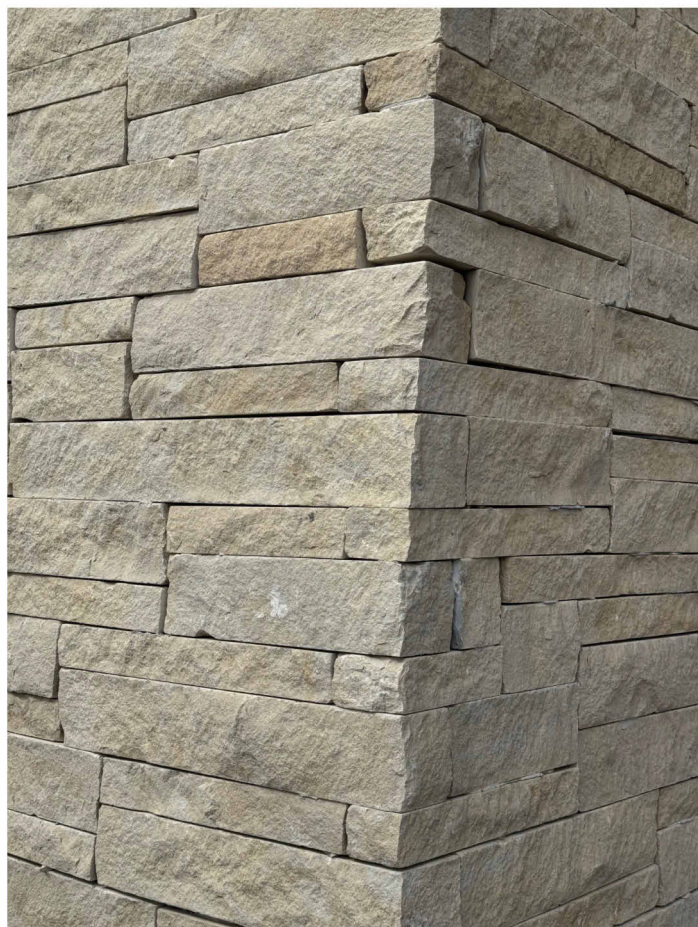
SITE PLAN

MATERIAL CALCULATIONS

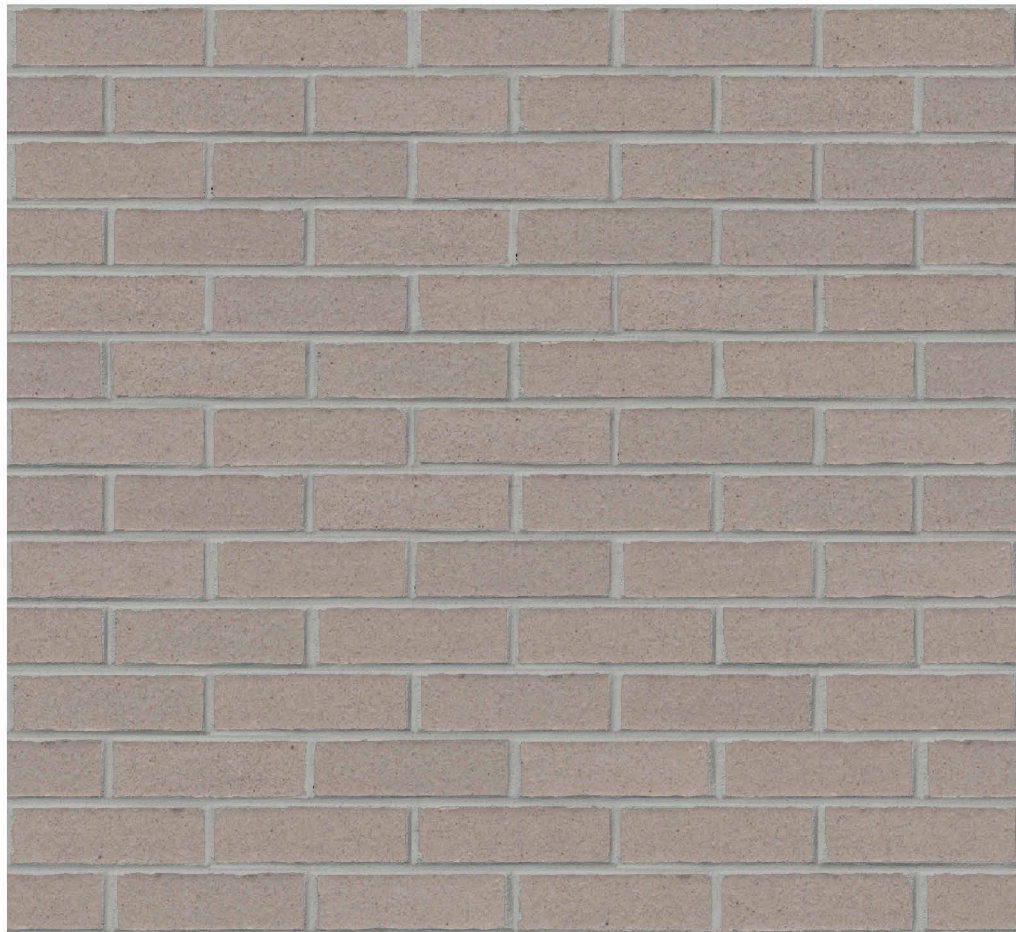
NORTH ELEVATION		%	
TOTAL AREA	1699		
STONE	480	28%	
BRICK	1014	60%	
STUCCO	205	12%	
SOUTH ELEVATION			
TOTAL AREA	1699		
STONE	761	45%	
BRICK	485	29%	
STUCCO	453	27%	
EAST ELEVATION			
TOTAL AREA	1351		
STONE	433	32%	
BRICK	740	55%	
STUCCO	178	13%	
WEST ELEVATION			
TOTAL AREA	1351		
STONE	269	20%	
BRICK	725	54%	
STUCCO	357	26%	

MATERIALS:

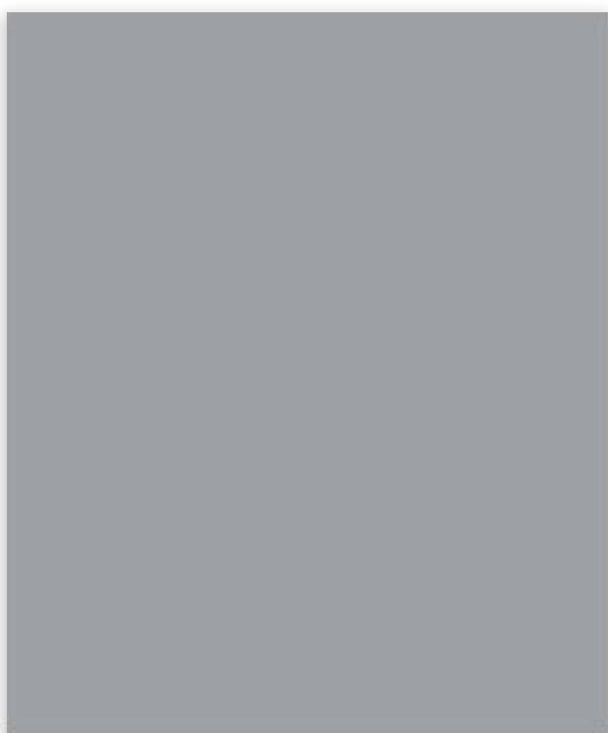
ROOFING: TPO WHITE
BRICK VENEER: ACME MARBLE GRAY - KING SIZE
NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.
STUCCO CAP: DRYVIT 3 PART - COLOR 133 DRIFTWOOD
STUCCO WALL: DRYVIT 3 PART - COLOR 152 ANTHRICITE COAL.
METAL AWNING: PAINT SW 6258 TRICORN BLACK



NATURAL STONE VENEER



BRICK VENEER



133 Driftwood
RGB 158 161 164



152 Anthracite Coal
RGB 85 85 86



TRICORN BLACK SW 6258

STUCCO CAP -
DRYVIT COLOR 133 DRIFTWOOD

STUCCO - DRYVIT
COLOR 152 ANTHRICITE COAL

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

BRICK VENEER -
ACME MARBLE
GRAY - KING SIZE

NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS



2 WEST ELEVATION
3/16" = 1'-0"

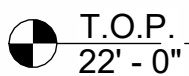
STUCCO CAP -
DRYVIT COLOR 133 DRIFTWOOD

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

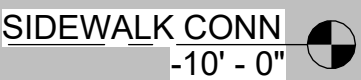
STUCCO - DRYVIT
COLOR 152 ANTHRICITE COAL

NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS

BRICK VENEER -
ACME MARBLE
GRAY - KING SIZE



1 SOUTH ELEVATION
3/16" = 1'-0"



OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

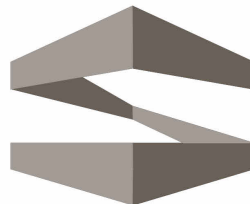
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

HARBOR
HEIGHTS
BLDG. #4

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description
---	---------------	----------------------

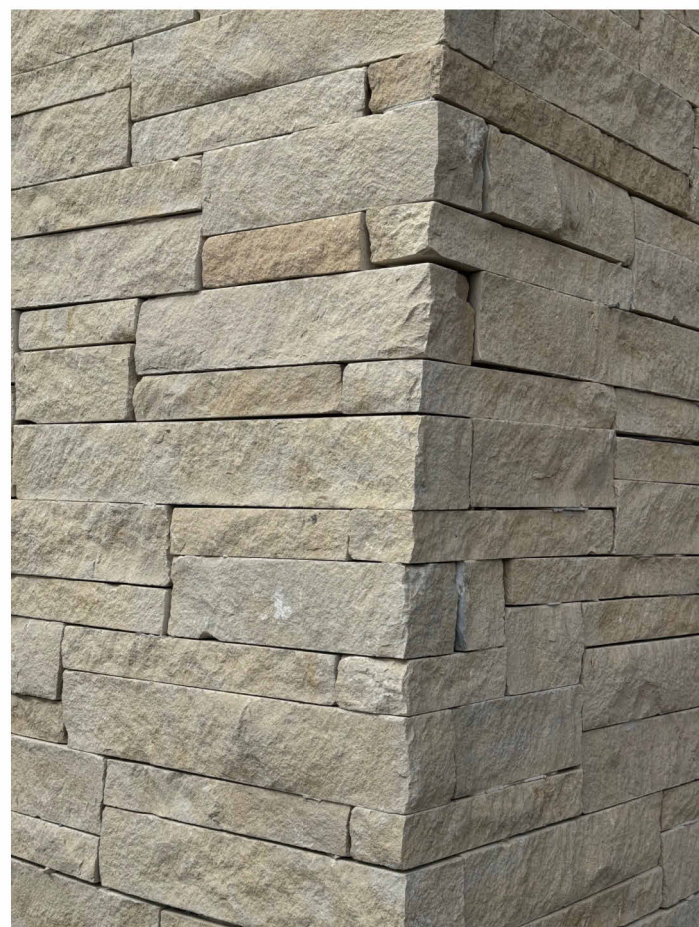
Sheet Title:

EXTERIOR
ELEVATIONS

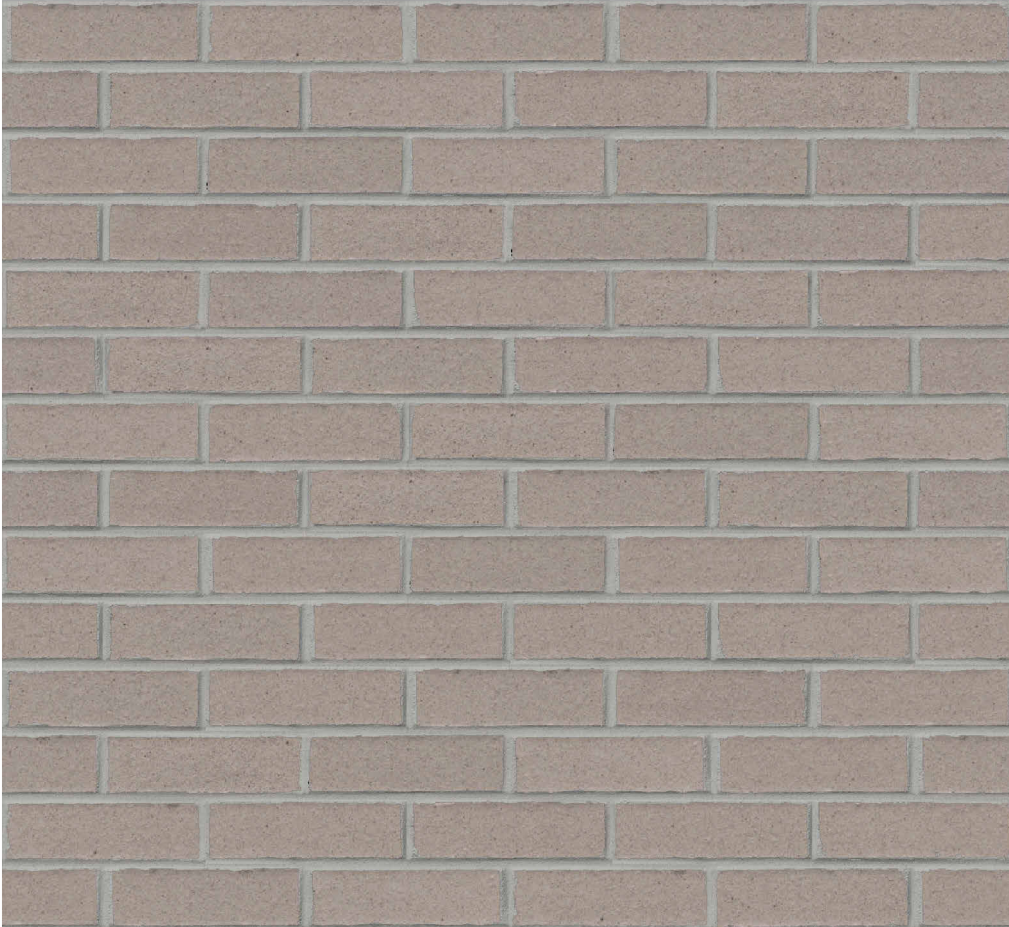
MATERIAL CALCULATIONS			
NORTH ELEVATION		%	
TOTAL AREA	1699		
STONE	480	28%	
BRICK	1014	60%	
STUCCO	205	12%	
SOUTH ELEVATION			
TOTAL AREA	1699		
STONE	761	45%	
BRICK	485	29%	
STUCCO	453	27%	
EAST ELEVATION			
TOTAL AREA	1351		
STONE	433	32%	
BRICK	740	55%	
STUCCO	178	13%	
WEST ELEVATION			
TOTAL AREA	1351		
STONE	269	20%	
BRICK	725	54%	
STUCCO	357	26%	

MATERIALS:

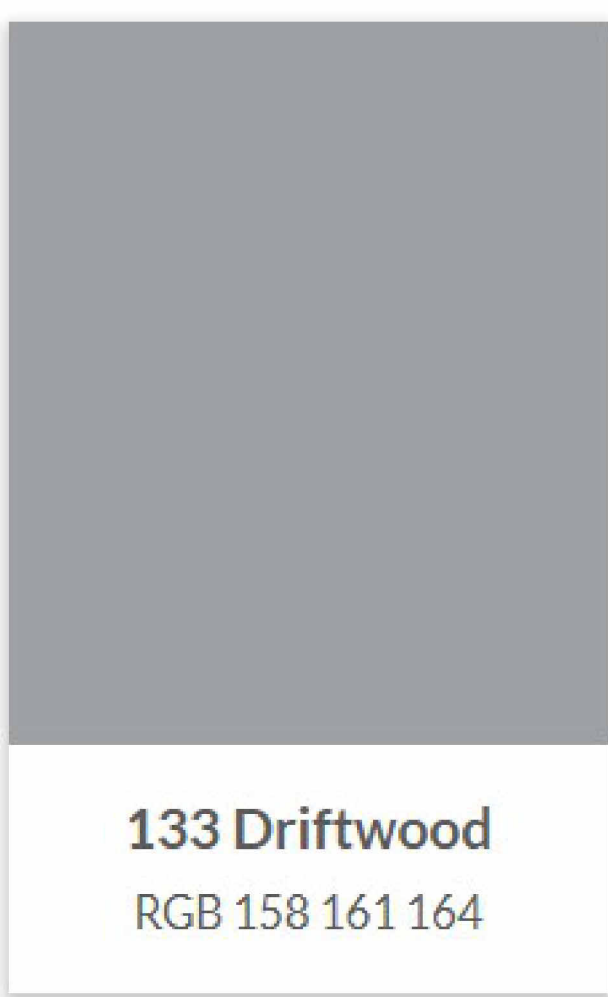
ROOFING: TPO WHITE
BRICK VENEER: ACME MARBLE GRAY - KING SIZE
NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.
STUCCO CAP: DRYVIT 3 PART - COLOR 133 DRIFTWOOD
STUCCO WALL: DRYVIT 3 PART - COLOR 152 ANTHRICITE COAL.
METAL AWNING: PAINT SW 6258 TRICORN BLACK



NATURAL STONE VENEER



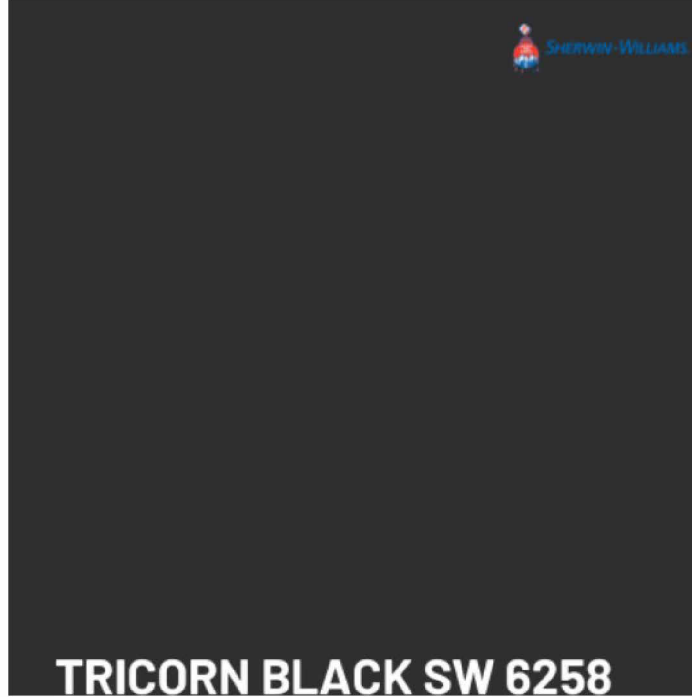
BRICK VENEER



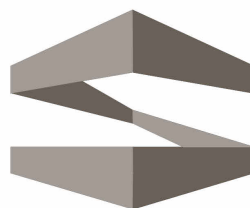
133 Driftwood
RGB 158 161 164



152 Anthracite Coal
RGB 85 85 86



TRICORN BLACK SW 6258



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

HARBOR HEIGHTS BLDG. #4

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: Author
Checked: Checker
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

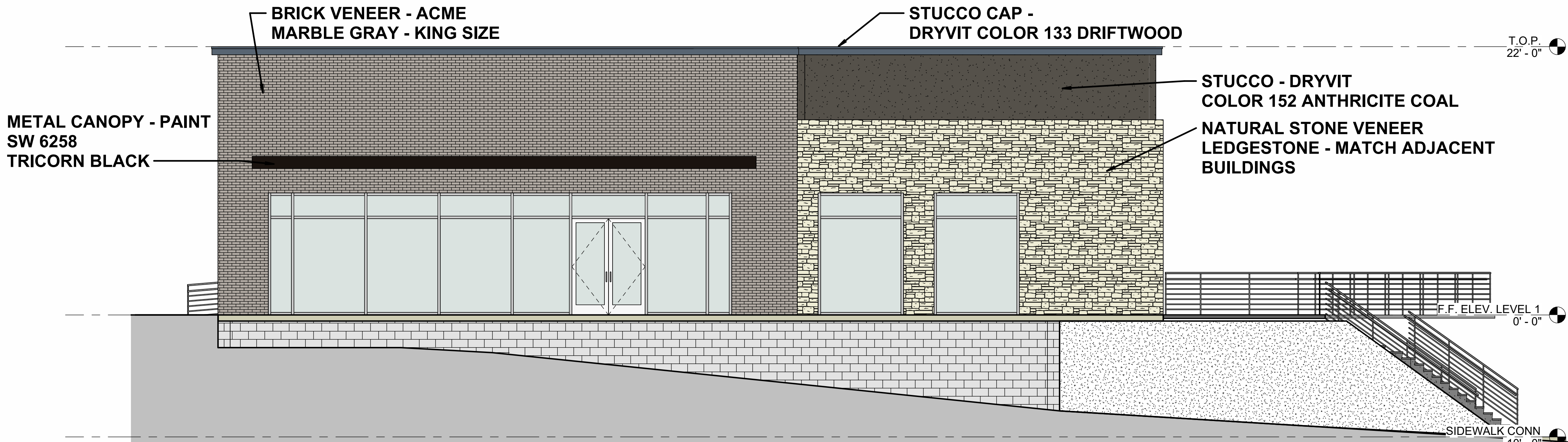
#	Revision Date	Revision Description

Sheet Title:

EXTERIOR
ELEVATIONS



2 EAST ELEVATION
3/16" = 1'-0"



OWNER INFORMATION:
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

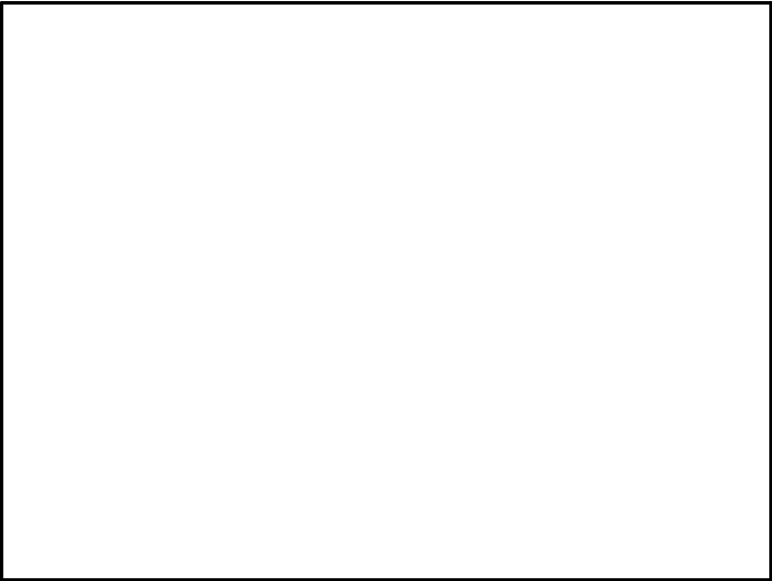
WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

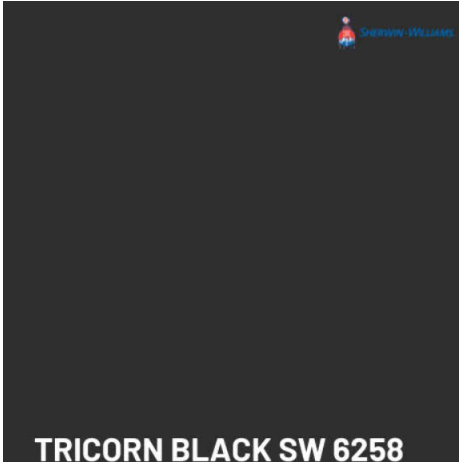


NATURAL STONE VENEER

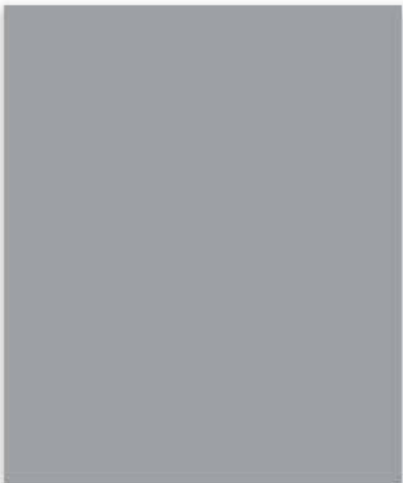


BRICK VENEER

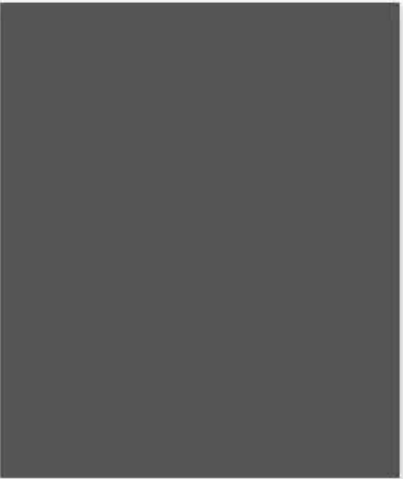
HARBOR HEIGHTS BLDG. #4



METAL AWNING



133 Driftwood
RGB 158 161 164



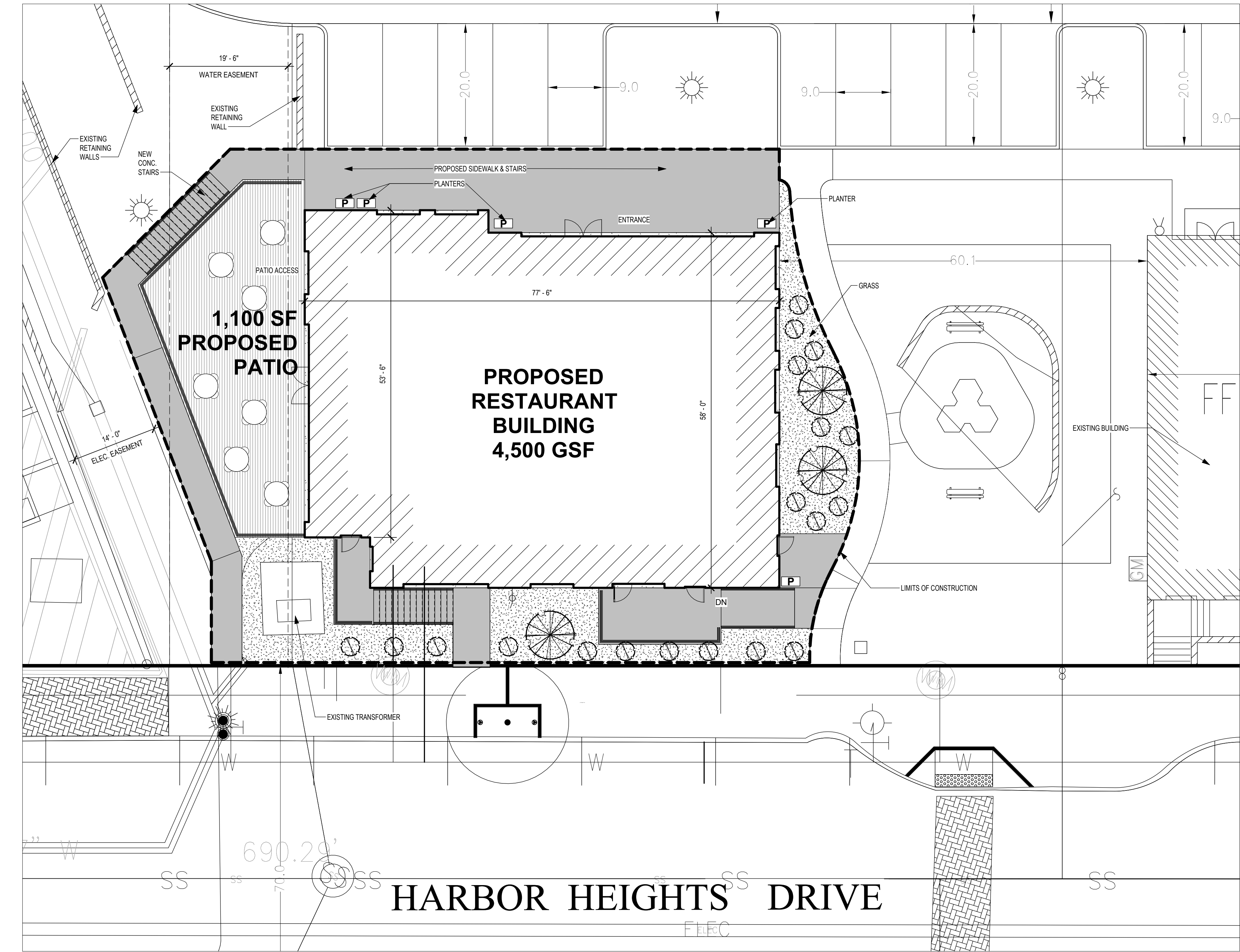
152 Anthracite Coal
RGB 85 85 86

3 PART STUCCO



STROHMEYER
ARCHITECTS INC.

Autodesk Docs//HHRR BLDG #4/ARCH_BLDG 4 HHRR.rvt



LEGEND

QTY	P	STONEWARE GRECIAN SERIES - EQUAL PLANTING BOX
19		SHRUB DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX, 16" HIGH AT TIME OF PLANTING DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX, 30" HIGH AT TIME OF PLANTING
		PATIO TABLES
3		CANOPY TREE LIVE OAK, "LC" 100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 8 FT. CEDAR ELM "CA" 100 GAL, 4.0"-4.5" CAL 12-14 FT. HIGH, CLEAR TRUNK TO 8 FT.



PLANTER POT EXAMPLE

SITE INFORMATION

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	15,030 S.F. RESTAURANT 12,600 S.F. OFFICE 7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
REQUESTING 31 CITY ADJACENT SPACES	31
IMPERVIOUS AREA:	TOTAL PROVIDED 192
LANDSCAPE AREA REQUIRED:	80,954 S.F.
LANDSCAPE AREA PROVIDED:	0 S.F. 45,064 S.F. (1.035 ACRES)

(A) General Irrigation Requirements.
The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall:
(1) Provide a moisture level in an amount and frequency adequate to sustain growth of the plant materials on a permanent basis.
(2) Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).
(3) Be maintained and kept operational at all times to provide for efficient water distribution.

LANDSCAPING NOTE:
TREES SHALL BE MIN. 5'-0" FROM ALL UNDERGROUND EXISTING OR PROPOSED UTILITY LINES 10" OR SMALLER & 10'-0" AWAY FROM LINES 12" OR GREATER.

OWNER INFORMATION:

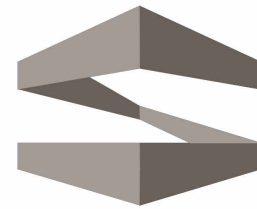
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

**HARBOR
HEIGHTS
BLDG. #4**

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

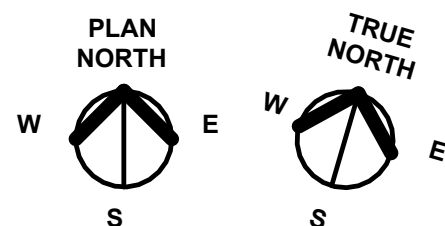
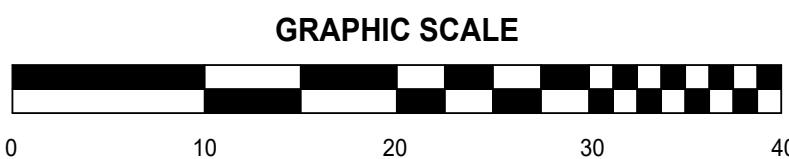
#	Revision Date	Revision Description

Sheet Title:

LANDSCAPE PLAN

LANDSCAPE PLAN

1" = 10'-0"



LEGAL DESCRIPTION:

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

SITE LIGHTING LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	LAMPS		TOTAL FIXT WATTS	VOLTS	ARRANGEMENT	INSTALLATION	MANUFACTURER MODEL#	REMARKS
		NO.	TYPE						
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4 W LED 4045 LUMENS	UNIV	---	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2	1,3
WPE	OVER-DOOR LED OUTDOOR EGRESS EMERGENCY AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4W LED 4045 LUMENS	UNIV	---	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2-BBB EMERGENCY BATTERY	1,3
P1	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SL4-HSS GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON	ALL
P2	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SWQ GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON	ALL
NOTES: 1. APPROVED EQUALS ARE COOPER, COLUMBIA, PHILIPS AND LITHONIA. 2. REFER TO DETAIL SHEET FOR CONCRETE BASE. 3. FINISHES BY ARCHITECT. 4. PROVIDE 3 FT ROUND CONCRETE BASES. 5. TOTAL HEIGHT OF POLES INCLUDING BASE SHALL BE 25 FEET. 6. CUT OFF AT SITE BOUNDARIES SHALL BE LES THAN 0.2 FOOTCANDLES. LIGHTING REP OF ASSISTANCE WAS CHAD HANEY AT TEXAS LIGHTING, 817-714-2444. PLEASE CALL CHAD HANEY FOR PRICING									

- GENERAL NOTES
1. REFER TO E0.00 FOR COMPLETE LIST OF GENERAL NOTES.

2. MH IS THE MOUNTING HEIGHT OF THE LIGHT POLE OR BUILDING LIGHT FIXTURE. THE HEIGHT OF THE POLE INCLUDES ITS BASE. SEE SCHEDULES AND DETAILS.

3. PROVIDE CONCRETE BASES FOR POLE FIXTURES. REFER TO CIVIL HEIGHT OF POLES ON EXTERIOR LIGHTING SCHEDULE INCLUDES THE 3 FOOT BASES OR AS CIVIL PROVIDES.

4. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH PHOTOCELL LIGHTING RELAY PANEL LOCATED IN A MAIN EQUIPMENT ROOM AS INDICATED.

5. ACTUAL PHOTOMETRIC WILL VARY DEPENDING ON THE COLOR OF THE WALLS, SURFACE TEXTURE, LANDSCAPING, AND OTHER SITE FEATURES.

6. ACTUAL FIXTURE LAYOUT AND PHOTOMETRICS MAY VARY BASED ON FINAL LOCATION OF FIXTURES. FIXTURES SHALL BE FIELD ADJUSTED BASED ON ACTUAL BUILDING AND SITE CONDITIONS.

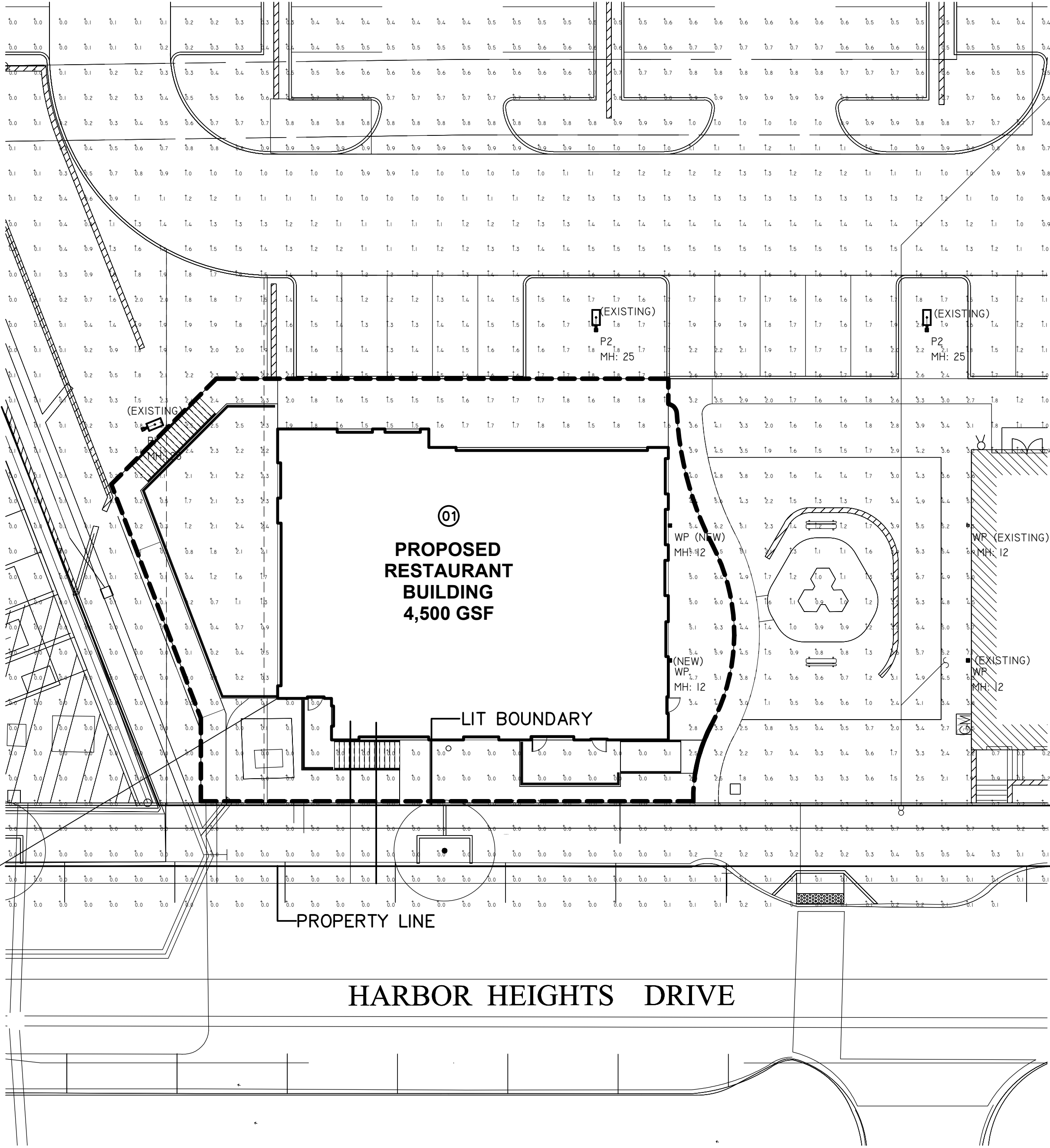
7. CALCULATIONS ARE BASED ON CITY ORDINANCE: ON THE PARKING AREA SURFACE, AN AVERAGE OF AT LEAST 2 FC, INITIAL MEASUREMENT, AND A MINIMUM AVERAGE OF 1 FC ON A MAINTAINED BASIS.

8. CUT OFF AT SITE BOUNDARIES SHALL BE LESS THAT 0.2 FC.

9. PROVIDE CAULKING AROUND ALL SEAMS ON EXTERIOR LIGHTING AND POWER OUTLETS TO PREVENT MOISTURE BUILDUP.

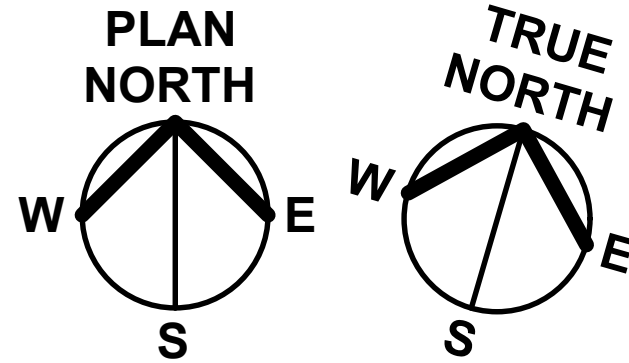
10. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH LIGHTING RELAY PANEL.

- KEYED NOTES DESIGNATED BY "Ⓢ" "Ⓢ"
1. ALL EXTERIOR LIGHTING SHALL BE CONTROLLED THRU A PHOTOCELL. REFER TO ELECTRICAL PANEL SCHEDULES FOR RELAY PANEL.

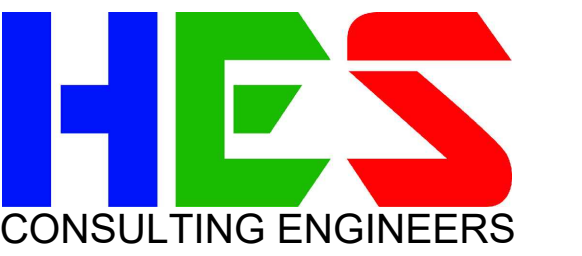


SITE PLAN
ELECTRICAL LIGHTING

1/16" = 1'-0"



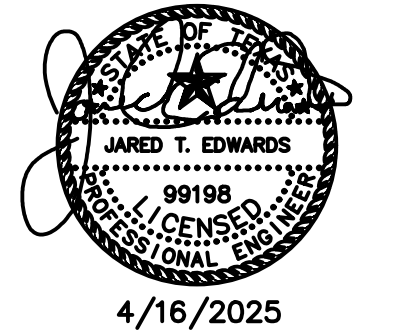
ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032



HES ENGINEERS
2626 COLE AVENUE
SUITE 300
DALLAS, TEXAS 75204

CIVIL
FC CUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING, INC.
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035



PERMIT
HARBOR HEIGHTS
RESTAURANT &
RETAIL
BUILDING D
ROCKWALL, TEXAS

Project Number: 82401
Drawing Date: 03.24.25
Drawn:
Checked:

© 2024 Strohmeyer Architects, Inc.

#	Revision Date	Revision Description
1		

Sheet Title:

SITE PLAN -
ELECTRICAL
LIGHTING

E1.01



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 27, 2025
APPLICANT: Jimmy Stohmeyer; *Strohmeier Architects, Inc.*
CASE NUMBER: SP2025-014: *Site Plan for 2351 Harbor Heights Drive*

SUMMARY

Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a *Retail/Office Building* on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2351 Harbor Heights Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the city on September 5, 1960 by *Ordinance No. 60-02 [Case No. A1960-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's historic zoning maps, at some point between September 5, 1960 and January 3, 1972, the zoning changed from an Agricultural (AG) District to a Commercial (C) District. On September 20, 2010, the City Council passed *Ordinance No. 10-21 [Planned Development District 32 (PD-32)]*, which established a concept plan and development standards for the approximate 78.89-acre tract of land commonly referred to as PD-32 or the *Harbor District*. Within the approved concept plan, PD-32 was divided into ten (10) subdistricts that contained individual development and land use standards. On November 17, 2014, the City Council adopted *Ordinance No. 14-51*, which contained a PD Development Plan for a 2.893-acre tract of land located in the *Hillside Subdistrict (i.e. the subject property)*. This PD Development Plan showed a series of buildings would be constructed along Harbor Heights Drive and Sunset Ridge Drive in conformance to the requirements of *Ordinance No. 10-21*. With the approval of *Ordinance No. 14-51*, the City Council also approved waivers to the building placement requirements and pedestrian access requirements to allow retaining walls ranging from seven (7) to nine (9) feet in height to be established along Harbor Heights Drive. The approval of these walls was tied to building elevations submitted by the applicant and which were tied down as a part of the City Council's approval. On May 1, 2017, the City Council adopted *Ordinance No. 17-22*, which amended *Ordinance No. 10-21* to update various exhibits in the ordinance; however, no changes were made to the requirements of the *Hillside Subdistrict* or for the subject property.

On May 15, 2019, the applicant -- *Jimmy Strohmeier of Strohmeier Architects, Inc.* -- submitted an application requesting to amend *Ordinance No. 14-51* to change the PD Development Plan approved for the subject property (*i.e. Case No. Z2019-013*). The new PD Development Plan showed additional buildings being added along Sunset Ridge Drive and a central green space being incorporated adjacent to Harbor Heights Drive. This request was approved on July 1, 2019 by *Ordinance No. 19-25*. On September 10, 2019, the Planning and Zoning Commission approved a site plan [SP2019-033] for a retail and restaurant development on the subject property, which included all areas with the exception of the subject property. On May 9, 2023, the Planning and Zoning Commission approved a Site Plan [SP2023-015] for a retail and restaurant development on a portion of the subject property. Currently existing on the subject property are three (3) buildings; a 5,530 SF *restaurant*, a 5,000 SF *restaurant*, and a 17,204 SF *office/retail* building.

PURPOSE

The applicant -- *Jimmy Strohmeier of Strohmeier Architects, Inc.* -- is requesting the approval of a Site Plan for a *Restaurant with 2,000 SF or more without Drive-Through or Drive-in* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2351 Harbor Heights Drive. The land uses adjacent to the subject property are as follows:

- North:** Directly north of the subject property is the eastbound frontage road for IH-30, followed by the main lanes of IH-30, and the westbound frontage road for IH-30. IH-30 is identified as a TXDOT 6D (*i.e. Texas Department of Transportation, six (6) lane, principal arterial roadway*).
- South:** Directly south of the subject property is Harbor Heights Drive, which is classified as a *Street Type 'D'* according to Planned Development District 32 (PD-32) [Ordinance No. 17-22] which is defined as "...a primary connector to the existing harbor development with adjacent subdistricts". Beyond this is a 6.1978-acre tract of land owned by the City of Rockwall, and which currently has a parking lot that serves the greater *Harbor District*. This property is zoned Planned Development District 32 (PD-32) and is located within the *Hillside Mixed-Use Subdistrict*.
- East:** Directly east of the subject property is Sunset Ridge Drive, which is identified as a *Street Type 'B' and 'E'* according to Planned Development District 32 (PD-32) [Ordinance No. 17-22]. East of this roadway is a 0.900-acre parcel of land (*i.e. lot 5, block A, Harbor District Addition*), which is currently vacant but was approved for a site plan on April 13, 2021 (SP2021-005) and again on February 25, 2025 (SP2025-005) for a restaurant on the subject property. This property is zoned Planned Development District 32 (PD-32) and is located within the *Summit Mixed-Use Subdistrict*.
- West:** Directly west of the subject property is a 0.2930-acre tract of land (*i.e. Tract 17, of the M.J. Barksdale Survey, Abstract No. 11*) zoned Planned Development District 32 (PD-32) and is located within the *Hillside Subdistrict*. Beyond this is a restaurant (*i.e. Culpepper Steakhouse*), which is situated on a 1.40-acre parcel of land that is located within the *Hillside Subdistrict*. Beyond this is Shoreline Trail, which is identified as a *Street Type 'A'* according to Planned Development District 32 (PD-32) [Ordinance No. 17-22], which is defined as "...a primary entry in to the Harbor District from the Eastbound Interstate 30 off ramp." Beyond this is a restaurant (*i.e. the Oar House*), which is situated on a 0.65-acre parcel of land that is located within the *Freeway Frontage Subdistrict*.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to *Exhibit D, Subdistrict Land Use Chart*, of Planned Development District 32 (PD-32) [Ordinance No. 10-21], a *Restaurant with 2,000 SF or more without Drive-Through or Drive-In* is permitted *by-right* within the *Hillside Subdistrict* of Planned Development District 32 (PD-32). With the exception of the variances being requested, the submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the *PD Development Plan* approved with Ordinance No. 19-25, the design guidelines contained in Resolution No. 10-40, the technical requirements contained within Ordinance No. 17-22, and the UDC for a property located within the *Hillside Subdistrict* of Planned Development District 32 (PD-32). A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Build-To-Line (Distance from ROW Line)</i>	8' (Harbor Heights Drive) 4' (Sunset Ridge Drive)	Approved Per Ord. 19-25; In Conformance
<i>Minimum Setback from ROW</i>	250' (IH-30 Frontage Road) 5' (Harbor Heights & Sunset Ridge)	Approved Per Ord. 19-25; In Conformance
<i>Minimum Building Façade along ROW</i>	85% (Harbor Heights) 100% (Harbor Heights & Sunset Ridge)	Approved Per Ord. 19-25; In Conformance
<i>Maximum Lot Coverage</i>	30%	27.9%; In Conformance
<i>Maximum Building Height</i>	2 Stories or 35'	X=22'; In Conformance
<i>Surface Parking Setbacks</i>	10'	X>10'; In Conformance
<i>Surface Parking</i>	100% ¹	100%; In Conformance
<i>Minimum Pedestrian Ways</i>	2	2; In Conformance
<i>Minimum Stone Requirement</i>	20%	X>20%; In Conformance

NOTES:

¹: PARKING WAS ESTABLISHED THROUGH THE APPROVAL OF THE SITE PLAN [SP2019-033], THE DEVELOPER PROVIDED A SHARED PARKING CALCULATION FOR RETAIL, RESTAURANT, AND OFFICE PARKING.

CONFORMANCE WITH THE CITY'S CODES

Planned Development District 32 (PD-32) [Ordinance No. 17-22], provides flexibility in order to create high quality projects for the Harbor District. Non-residentially zoned projects are to generally conform to the Commercial (C) District standards. In this case, the subject property is located in the Hillside Subdistrict and is within the IH-30 Overlay (IH-30 OV) District, which is more restrictive than the Design Guidelines [Resolution No. 10-40] required by PD-32. With this being said, the standards of the IH-30 OV (i.e. Subsection 06.02, Art. 05, UDC) shall apply to the development of the subject property. The Hillside Subdistrict is intended to provide a cluster of restaurant anchors that contribute to the creation of a vibrant, pedestrian oriented character within the Harbor District. This district also takes advantage of existing slopes, which adds to the characteristics of the Hillside Subdistrict. In this case, the applicant's proposal is adjacent to the IH-30 Frontage Road and is accessible from Sunset Ridge Drive. Additionally, by virtue of being in Planned Development District 32 (PD-32) and generally conforming to Ordinance No. 19-25, the proposed site plan appears to be in conformance to the majority of the requirements intended for properties within the Hillside Subdistrict.

VARIANCES BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance:

Variances:

- (1) Primary Building Facades. According to Subsection 04.01(C)(1) of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) primary building façade is any building façade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residentially used property." In this case the PD Development Plan recorded in *Ordinance No. 19-25 also states that*, "(a)ll buildings throughout the development shall be constructed with a consistent design scheme, incorporate four (4) sided architecture that creates a dual entry appearance". The applicant is required to meet the building articulation standards for the primary building façade on all sides of the building. Given the proposed building elevations, the applicant does not meet the wall projection requirements. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (2) Roof Design Standards. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent public right-of-way shall be prohibited." In this case, the proposed building does not meet this standard; however, this is not atypical for buildings situated within the IH-30 corridor, and the proposed building matches the existing development on the remainder of the subject property. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (3) Parking Requirements. According to Subsection 03.03 (B), *Joint Use of Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), (p)arking adjustments may be allowed according to the following percentages by time of day:

TABLE 1: JOINT USE OF PARKING CALCULATIONS

TIME OF DAY	OFFICE	RETAIL	RESTAURANT	THEATER	HOTEL
6:00 AM - 12:00 PM	1.00	0.97	0.50	0.30	1.00
12:00 PM - 1:00PM	0.90	1.00	0.70	0.70	0.30
1:00 PM - 4:00 PM	0.97	0.97	0.60	0.70	0.45
4:00 PM - 6:00 PM	0.47	0.82	0.90	0.80	0.70
6:00 PM - 8:00 PM	0.07	0.89	1.00	1.00	1.00
8:00 PM - 12:00 AM	0.03	0.61	1.00	1.00	1.00

Staff has provided a shared parking requirement table in the attached packet that outlines the required parking for the development based on the current and proposed land uses. In this case, the applicant is required 186 parking spaces at peak time; however, the applicant has only provided 142 parking spaces throughout the development. The original zoning request allocated 19 city parking spaces from the *Trend Tower Parking Garage* for the development. With these parking spaces, the development is still deficient 25 parking spaces. To remedy this deficiency, the applicant has indicated that they will be providing a stairwell to the City of Rockwall parking lot on a 6.1978-acre tract of land which serves the greater *Harbor District* as depicted on the proposed Site Plan. Staff should point out that the proposed stairwell will have benefit to not just the subject property, but also the surrounding properties and appears to be a good compensatory measure to account for the parking deficiency.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant exceptions and variances to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] to construct a stairway down to the City of Rockwall parking lot south of the development, [2] to construct a sidewalk and curb ramps along the city parking lot, and [3] provide additional landscaping. Requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. *six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

By virtue of being in Planned Development District 32 (PD-32), generally conforming to *Ordinance No. 17-22* and the approved PD Development Plan (i.e. *Ordinance No. 19-25*), the proposed site plan conforms to the majority of the district strategies intended for properties in the *Harbor District* as stipulated by the *Land Use Plan* outlined in the *OURHometown Vision 2040 Comprehensive Plan*.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On April 29, 2025, the Architecture Review Board (ARB) reviewed the proposed building elevations provided by the applicant on April 17, 2025 and recommended that the applicant provide an awning on the west elevation and provide a similar rust colored brick to other buildings on the subject property. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the May 13, 2025 Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a *Restaurant with 2,000 SF or more without Drive-Through or Drive-in* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The proposed stairwell, ramps, and sidewalk will be required to be constructed prior to a Certificate of Occupancy being issued for the proposed building on the subject property.

- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE RESTAURANT/RETAIL/OFFICE

PROPOSED ZONING PD-32

PROPOSED USE RESTAURANT/RETAIL/OFFICE

ACREAGE 2.893 ACRES

LOTS [CURRENT] 2

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER HH RETAIL CENTER, LP

☒ APPLICANT STROHMEYER ARCHITECTS INC.

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE., STE 610

ADDRESS 2701 SUNSET RIDGE., STE 601

CITY, STATE & ZIP ROCKWALL, TX, 75032

CITY, STATE & ZIP ROCKWALL, TX, 75032

PHONE 214-553-5505

PHONE 214-497-2057

E-MAIL DWBOBST@TRENDHR.COM

E-MAIL JIMMY@STROHMEYERARCHITECTS.COM

NOTARY VERIFICATION [REQUIRED]

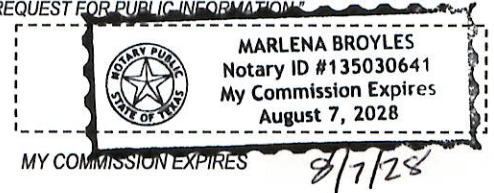
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Daniel W Bobst [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

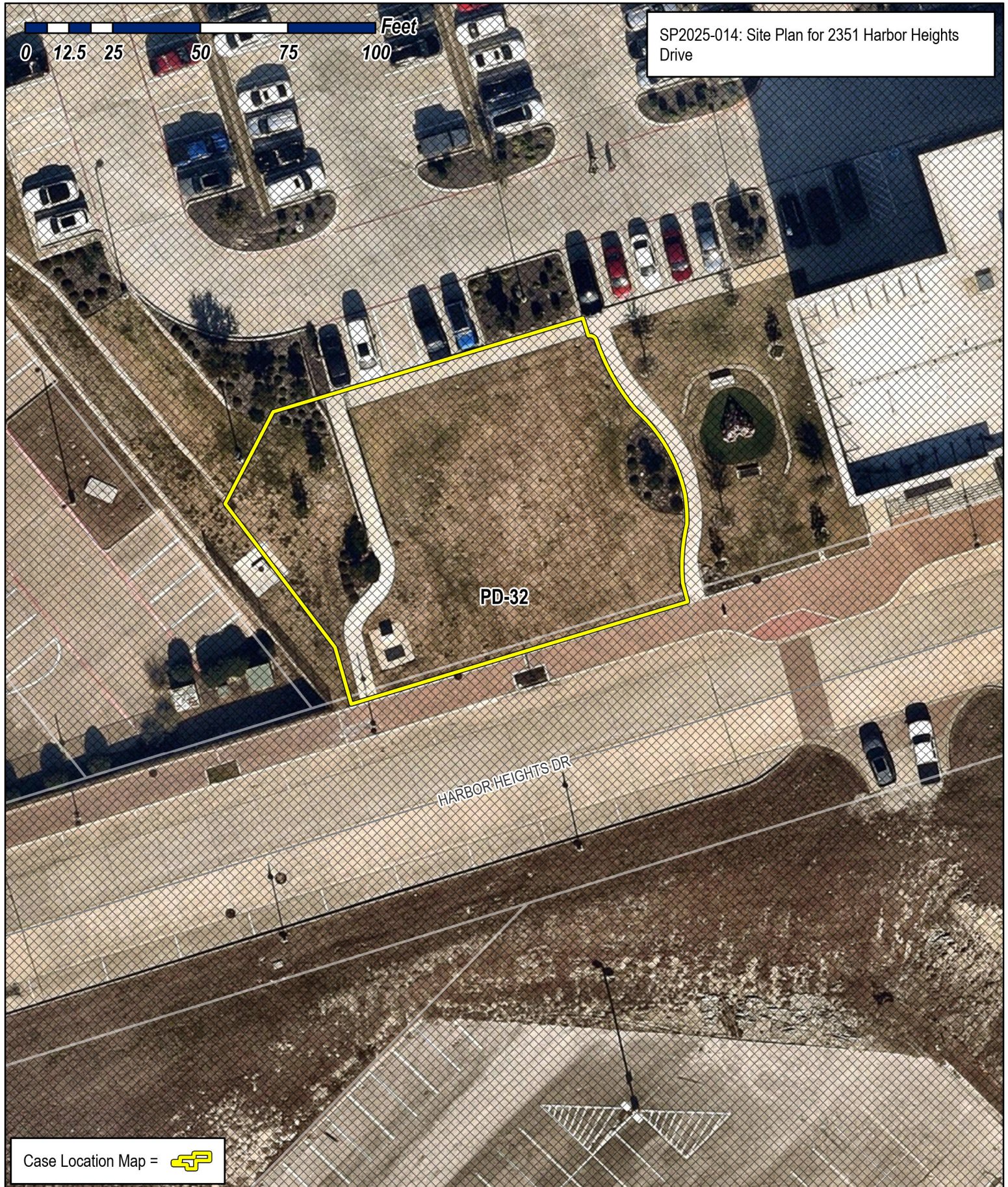
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF April, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF April, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2025-014: Site Plan for 2351 Harbor Heights Drive

PD-32

HARBOR HEIGHTS DR

Case Location Map = 

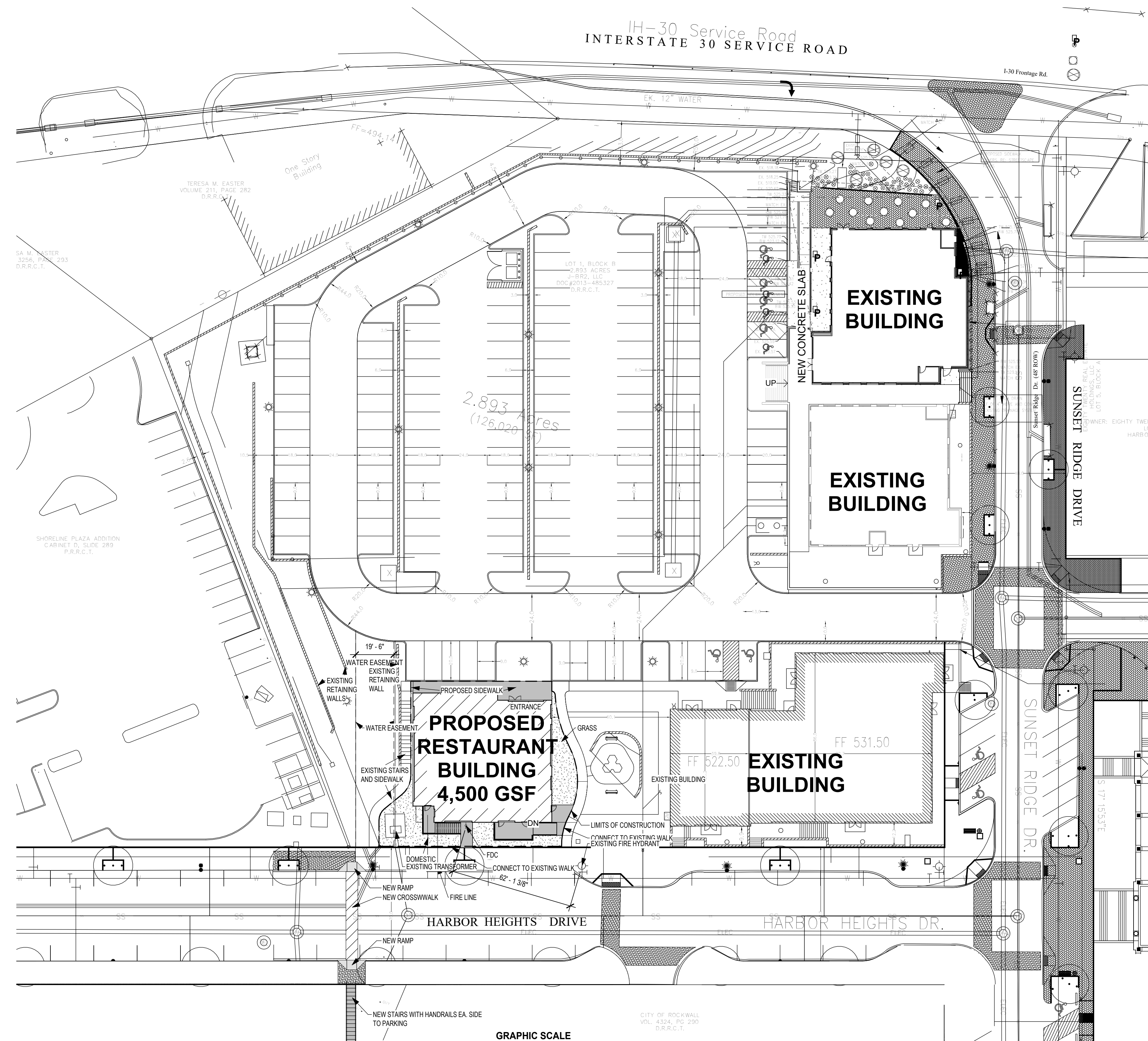


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

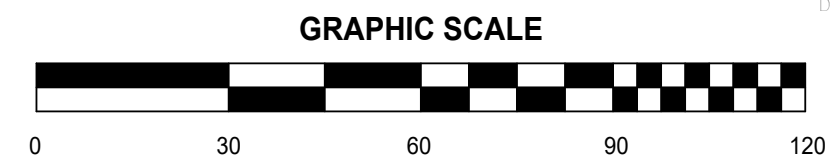
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





1 OVERALL SITE PLAN

1" = 30'-0"



OWNER INFORMATION:
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

LEGAL DESCRIPTION:
LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 202000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS, BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

HARBOR HEIGHTS BLDG. #4

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.20.2025
Drawn: PC
Checked: JS
Scale: As indicated

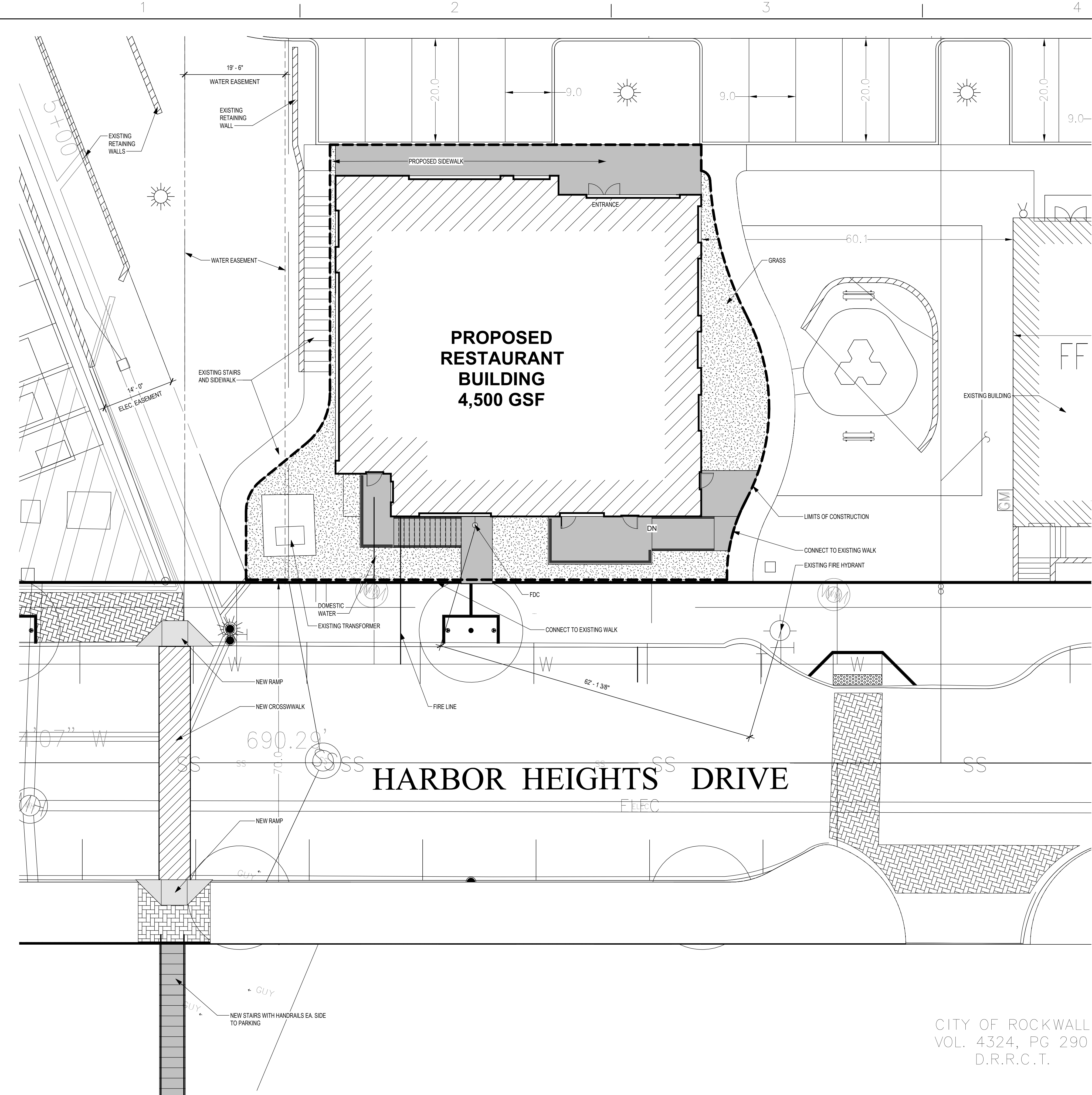
© 2025 Strohmeier Architects, Inc.

Revisions:		
#	Revision Date	Revision Description

Sheet Title:

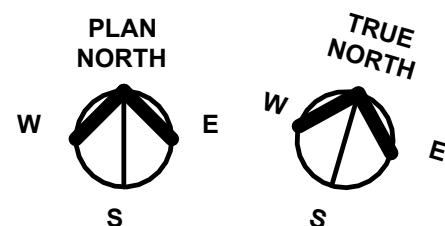
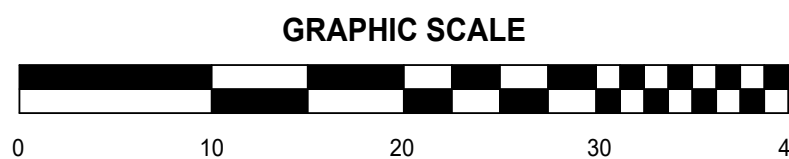
OVERALL SITE PLAN

A100



1 SITE PLAN

1" = 10'-0"



LEGAL DESCRIPTION:
LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

SITE INFORMATION

LAND AREA: 2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING: PD-32
EXISTING USE: RESTAURANT/RETAIL/OFFICE
PROPOSED USE: RESTAURANT/RETAIL/OFFICE
BUILDING AREA: 15,030 S.F. RESTAURANT
12,600 S.F. OFFICE
7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE: 35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT: VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING: 192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED: 161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
REQUESTING 31 CITY ADJACENT SPACES 31
TOTAL PROVIDED 192
IMPERVIOUS AREA: 80,954 S.F.
LANDSCAPE AREA REQUIRED: 0 S.F.
LANDSCAPE AREA PROVIDED: 45,064 S.F. (1.035 ACRES)

* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

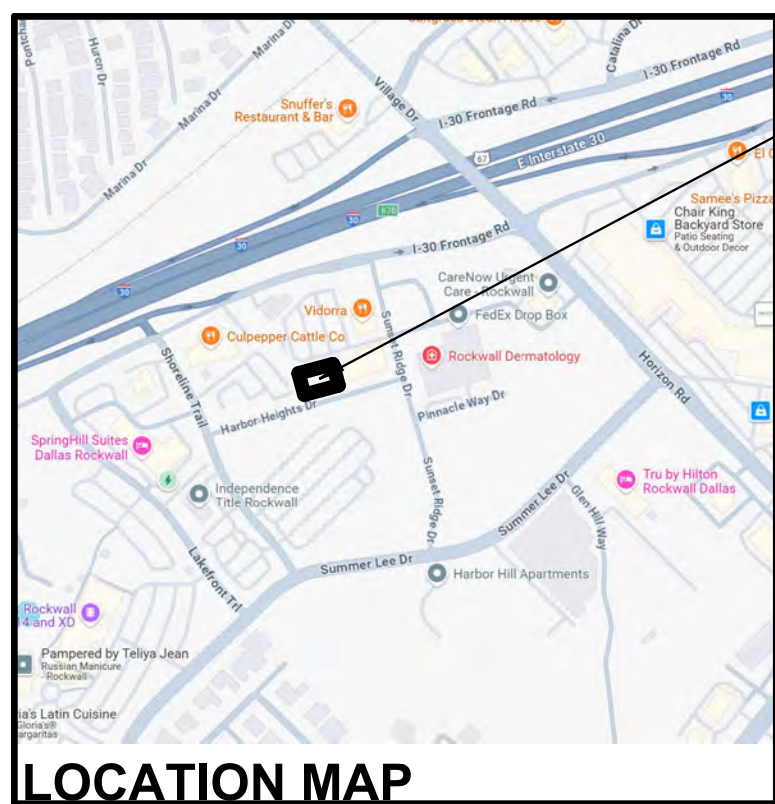
TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQ'D
12PM-1PM	37.80	46.40	108	192
4PM-6PM	19.74	41.76	130	192

SITE NOTES:

- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
- DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED

LEGEND:

	PROPOSED CONCRETE SIDEWALK		EXISTING AT&T MANHOLE
	GRASS		EXISTING WATER METER
	WOOD DECK		EXISTING ELECTRICAL MANHOLE
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING SEWER MANHOLE
	EXISTING SEWER LINE		EXISTING POWER POLE
	EXISTING WATER LINE		EXISTING LIGHT POLE
	EXISTING GAS LINE		EXISTING FIRE HYDRANT
	EXISTING TELEPHONE DUCT BANK		
	EXISTING ELECTRICAL DUCT BANK		



PROJECT LOCATION

OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

**HARBOR
HEIGHTS
BLDG. #4**

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.20.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description

Sheet Title:

SITE PLAN

SP2025-014

A101

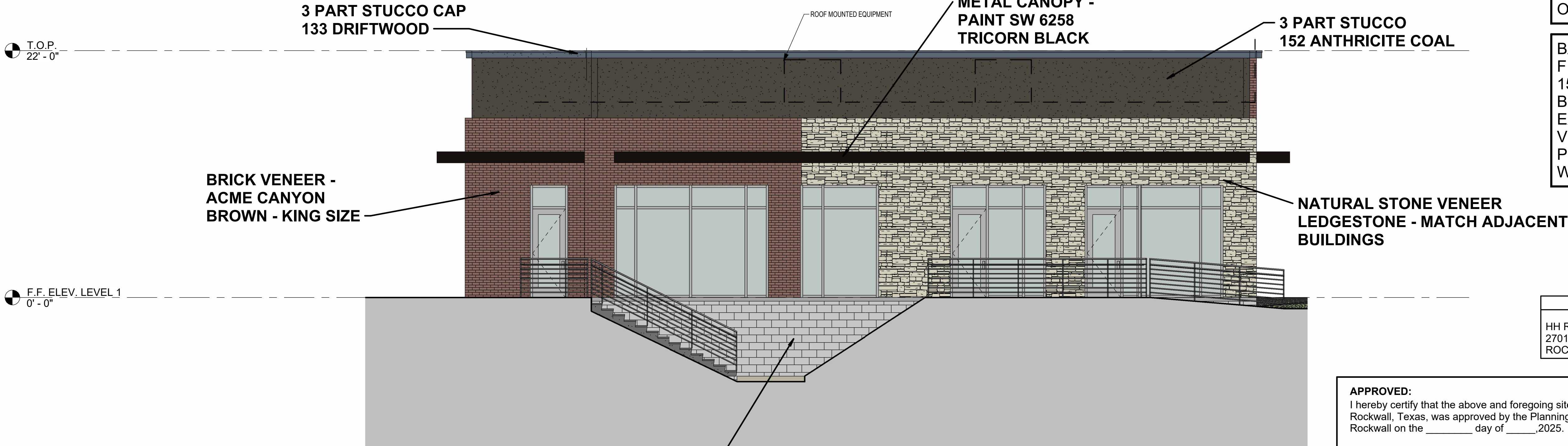
Autodesk Docs//HHRR BLDG #4/ARCH_BLDG 4 HHRR.rvt

5/22/2025 10:51:53 AM

1

SOUTH ELEVATION

3/16" = 1'-0"



MATERIALS:

ROOFING: TPO WHITE
BRICK VENEER: ACME CANYON BROWN - KING SIZE
NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.
STUCCO CAP: 3 PART STUCCO - COLOR 133 DRIFTWOOD
STUCCO WALL: 3 PART STUCCO - COLOR 152 ANTHRICITE COAL.
METAL AWNING: PAINT SW 6258 TRICORN BLACK

2

WEST ELEVATION

3/16" = 1'-0"



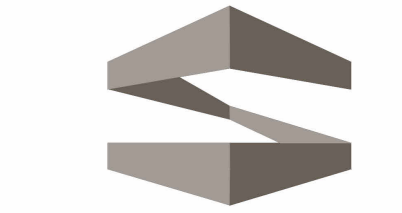
NATURAL STONE VENEER

BRICK VENEER

133 Driftwood
RGB 158 161 164

152 Anthracite Coal
RGB 85 85 86

TRICORN BLACK SW 6258



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

HARBOR HEIGHTS BLDG. #4

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.20.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description
---	---------------	----------------------

Sheet Title:

**EXTERIOR
ELEVATIONS**

SP2025-014

A400

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

ALL RTU'S SHALL BE
SCREENED BY PARAPET
OR ROOFTOP SCREEN.

BACK SIDE OF PARAPET -
FINISH - 3 PART STUCCO
152 ANTHRICITE COAL. OR
BRICK VENEER TO MATCH
EXTERIOR FINISH, WHERE
VISIBLE FROM ADJ.
PROPERTY / RIGHT OF
WAY.

Autodesk Docs//HHRR BLDG #4//ARCH BLDG 4 HHRR.rvt

5/22/2025 10:51:59 AM

MATERIALS:

ROOFING: TPO WHITE

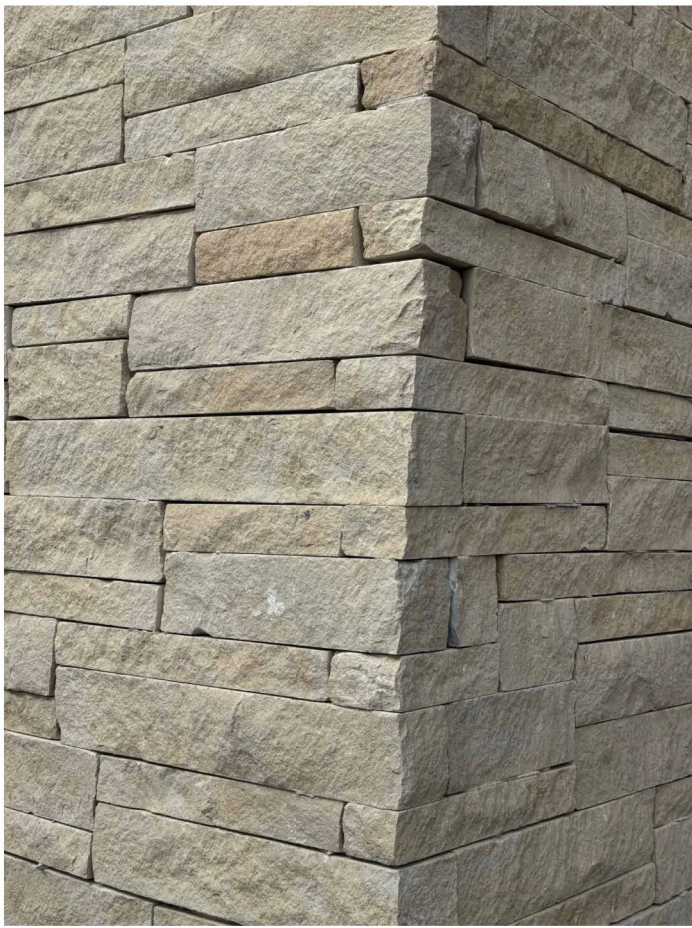
BRICK VENEER: ACME CANYON BROWN - KING SIZE

NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.

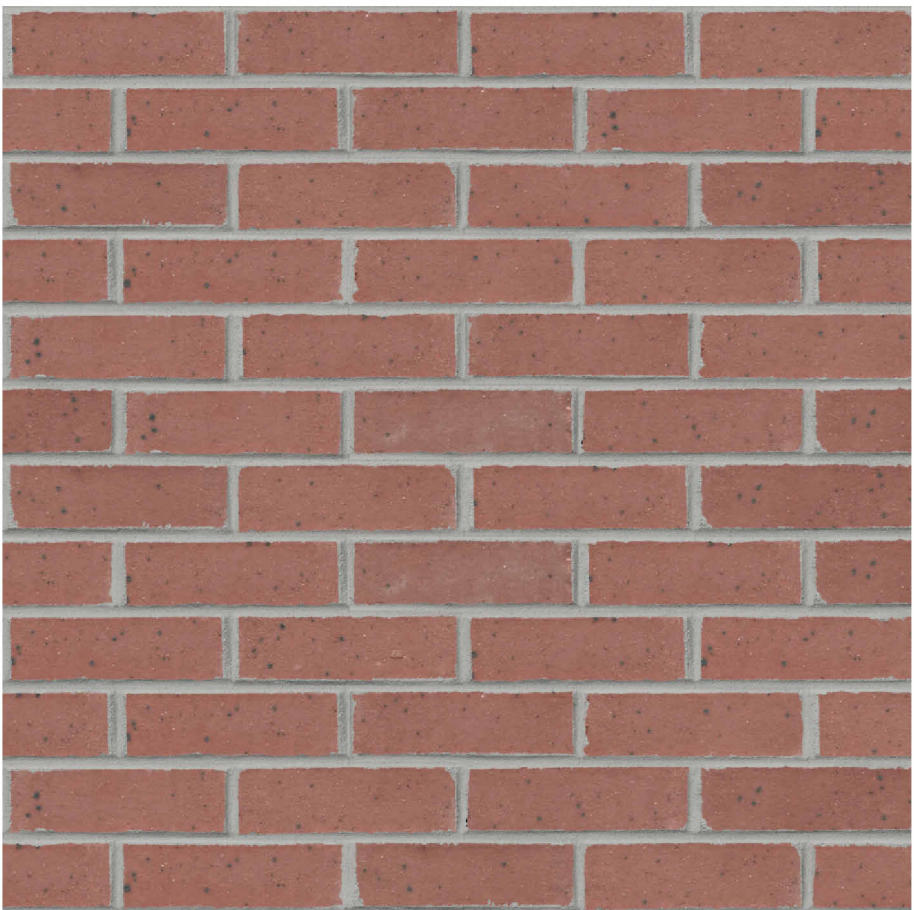
STUCCO CAP: 3 PART STUCCO - COLOR 133 DRIFTWOOD

STUCCO WALL: 3 PART STUCCO - COLOR 152 ANTHRICITE COAL.

METAL AWNING: PAINT SW 6258 TRICORN BLACK



NATURAL STONE VENEER

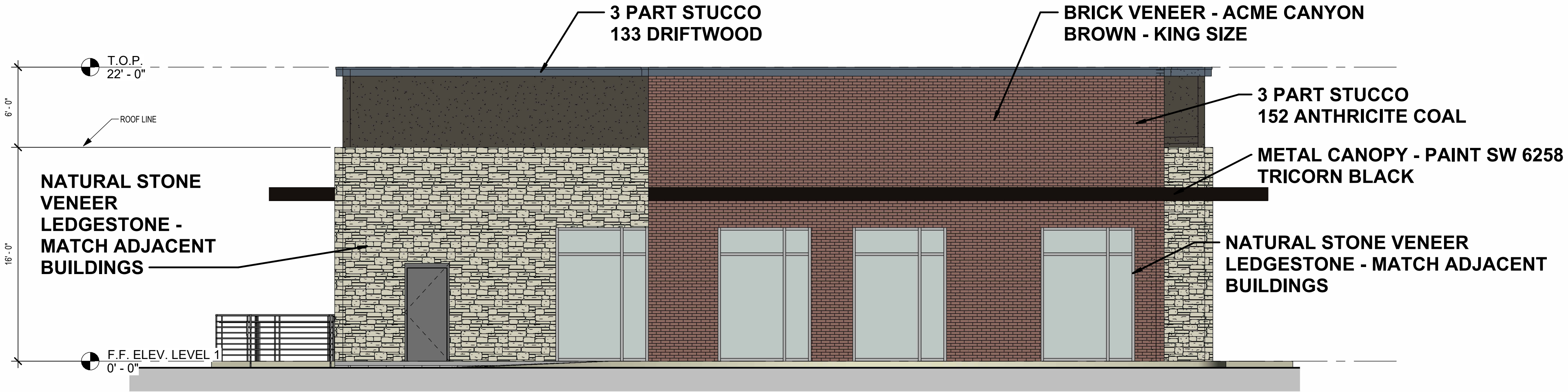


BRICK VENEER

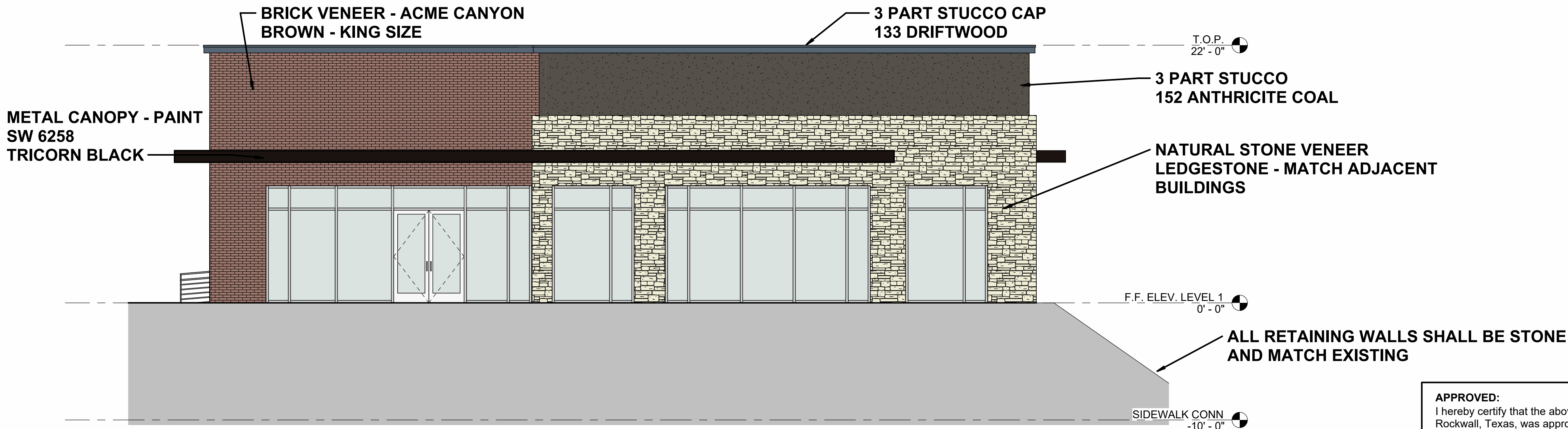
133 Driftwood
RGB 158 161 164

152 Anthracite Coal
RGB 85 85 86

TRICORN BLACK SW 6258



2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

BACK SIDE OF PARAPET - FINISH - 3 PART STUCCO 152 ANTHRICITE COAL. OR BRICK VENEER TO MATCH EXTERIOR FINISH, WHERE VISIBLE FROM ADJ. PROPERTY / RIGHT OF WAY.

ALL RTU'S SHALL BE SCREENED BY PARAPET OR ROOFTOP SCREEN.

OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

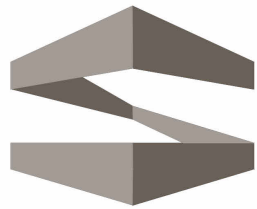
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

HARBOR
HEIGHTS
BLDG. #4

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.20.2025
Drawn: Author
Checked: Checker
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description
---	---------------	----------------------

Sheet Title:

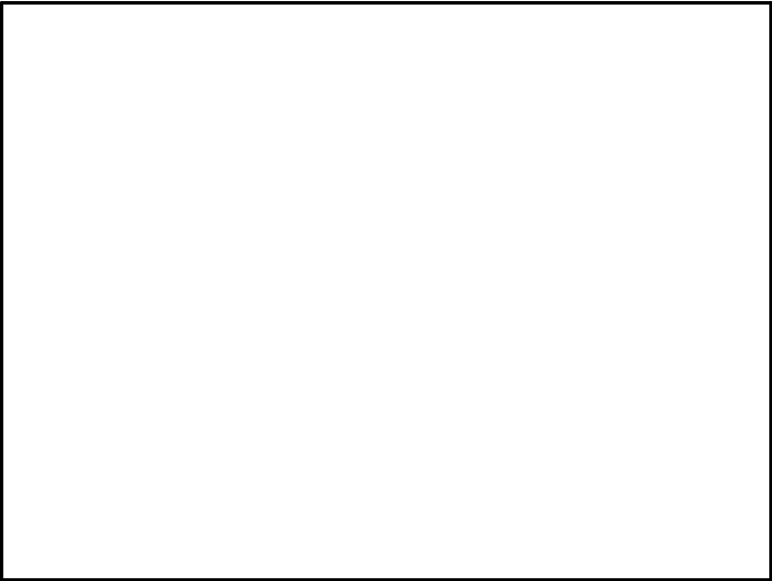
EXTERIOR
ELEVATIONS

SP2025-014

A401

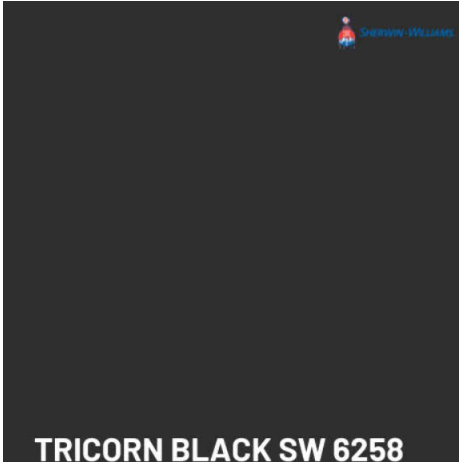


NATURAL STONE VENEER

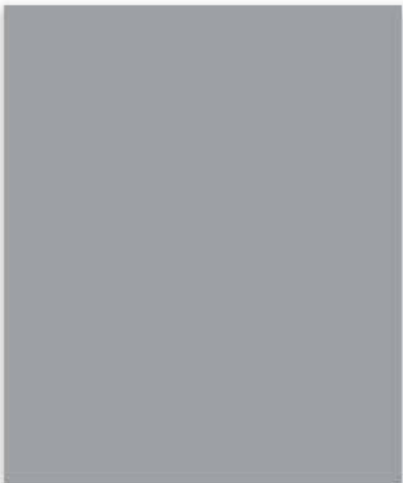


BRICK VENEER

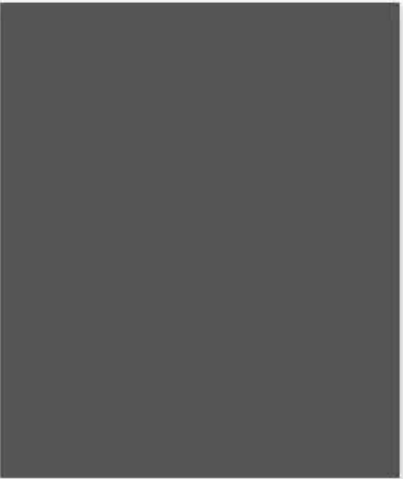
HARBOR HEIGHTS BLDG. #4



METAL AWNING



133 Driftwood
RGB 158 161 164



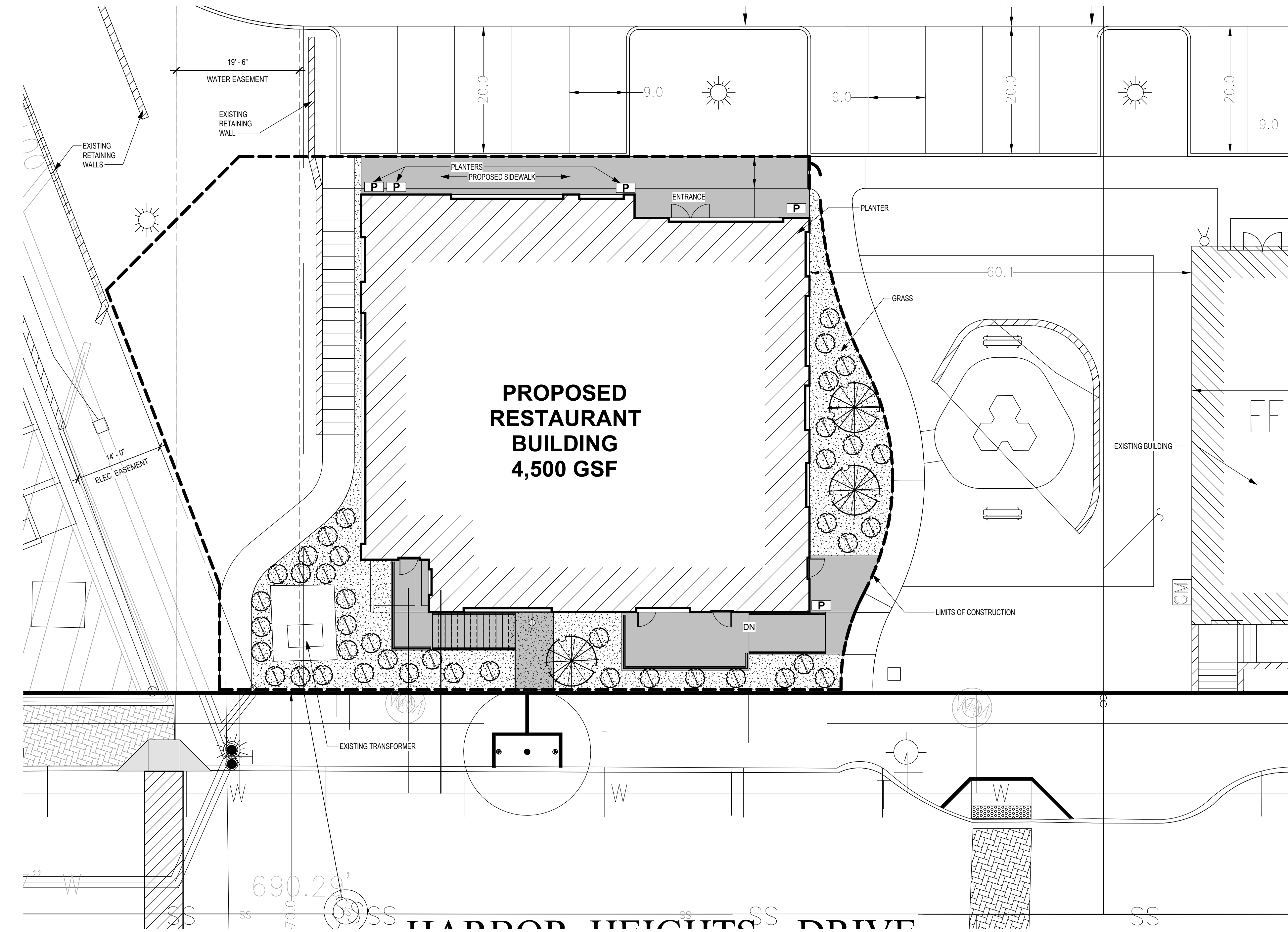
152 Anthracite Coal
RGB 85 85 86

3 PART STUCCO



STROHMEYER
ARCHITECTS INC.

Autodesk Docs//HHRR BLDG #4/ARCH_BLDG 4 HHRR.rvt



LEGEND

QTY	P	STONEWARE GRECIAN SERIES - EQUAL PLANTING BOX
4		
42		SHRUB DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX, 16" HIGH AT TIME OF PLANTING DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX, 30" HIGH AT TIME OF PLANTING
3		CANOPY TREE LIVE OAK, "LC" 100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 8 FT. CEDAR ELM "CA" 100 GAL, 4.0"-4.5" CAL 12-14 FT. HIGH, CLEAR TRUNK TO 8 FT.



PLANTER POT EXAMPLE

SITE INFORMATION

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	15,030 S.F. RESTAURANT 12,600 S.F. OFFICE 7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
REQUESTING 31 CITY ADJACENT SPACES	31
IMPERVIOUS AREA:	TOTAL PROVIDED 192
LANDSCAPE AREA REQUIRED:	80,954 S.F.
LANDSCAPE AREA PROVIDED:	0 S.F. 45,064 S.F. (1.035 ACRES)

(A) General Irrigation Requirements.
The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall:
(1) Provide a moisture level in an amount and frequency adequate to sustain growth of the plant materials on a permanent basis.
(2) Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).
(3) Be maintained and kept operational at all times to provide for efficient water distribution.

LANDSCAPING NOTE:
TREES SHALL BE MIN. 5'-0" FROM ALL UNDERGROUND EXISTING OR PROPOSED UTILITY LINES 10" OR SMALLER & 10'-0" AWAY FROM LINES 12" OR GREATER.

OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

**HARBOR
HEIGHTS
BLDG. #4**

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411

Drawing Date: 4.20.2025

Drawn: PC

Checked: JS

Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description

Sheet Title:

LANDSCAPE PLAN

SP2025-014

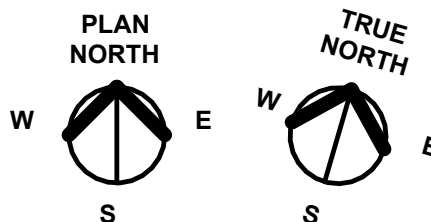
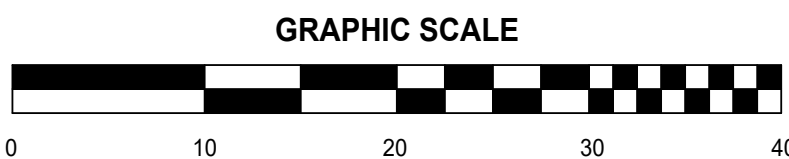
A102

5/20/2025 11:47:48 AM

1

LANDSCAPE PLAN

1" = 10'-0"



LEGAL DESCRIPTION:

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS, BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

SITE LIGHTING LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	LAMPS		TOTAL FIXT WATTS	VOLTS	ARRANGEMENT	INSTALLATION	MANUFACTURER MODEL#	REMARKS
		NO.	TYPE						
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4 W LED 4045 LUMENS	UNIV	---	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2	1,3
WPE	OVER-DOOR LED OUTDOOR EGRESS EMERGENCY AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4W LED 4045 LUMENS	UNIV	---	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2-BBB EMERGENCY BATTERY	1,3
P1	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SL4-HSS GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON	ALL
P2	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SWQ GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON	ALL
NOTES: 1. APPROVED EQUALS ARE COOPER, COLUMBIA, PHILIPS AND LITHONIA. 2. REFER TO DETAIL SHEET FOR CONCRETE BASE. 3. FINISHES BY ARCHITECT. 4. PROVIDE 3 FT ROUND CONCRETE BASES. 5. TOTAL HEIGHT OF POLES INCLUDING BASE SHALL BE 25 FEET. 6. CUT OFF AT SITE BOUNDARIES SHALL BE LES THAN 0.2 FOOTCANDLES. LIGHTING REP OF ASSISTANCE WAS CHAD HANEY AT TEXAS LIGHTING, 817-714-2444. PLEASE CALL CHAD HANEY FOR PRICING									

- GENERAL NOTES
1. REFER TO E0.00 FOR COMPLETE LIST OF GENERAL NOTES.

2. MH IS THE MOUNTING HEIGHT OF THE LIGHT POLE OR BUILDING LIGHT FIXTURE. THE HEIGHT OF THE POLE INCLUDES ITS BASE. SEE SCHEDULES AND DETAILS.

3. PROVIDE CONCRETE BASES FOR POLE FIXTURES. REFER TO CIVIL HEIGHT OF POLES ON EXTERIOR LIGHTING SCHEDULE INCLUDES THE 3 FOOT BASES OR AS CIVIL PROVIDES.

4. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH PHOTOCELL LIGHTING RELAY PANEL LOCATED IN A MAIN EQUIPMENT ROOM AS INDICATED.

5. ACTUAL PHOTOMETRIC WILL VARY DEPENDING ON THE COLOR OF THE WALLS, SURFACE TEXTURE, LANDSCAPING, AND OTHER SITE FEATURES.

6. ACTUAL FIXTURE LAYOUT AND PHOTOMETRICS MAY VARY BASED ON FINAL LOCATION OF FIXTURES. FIXTURES SHALL BE FIELD ADJUSTED BASED ON ACTUAL BUILDING AND SITE CONDITIONS.

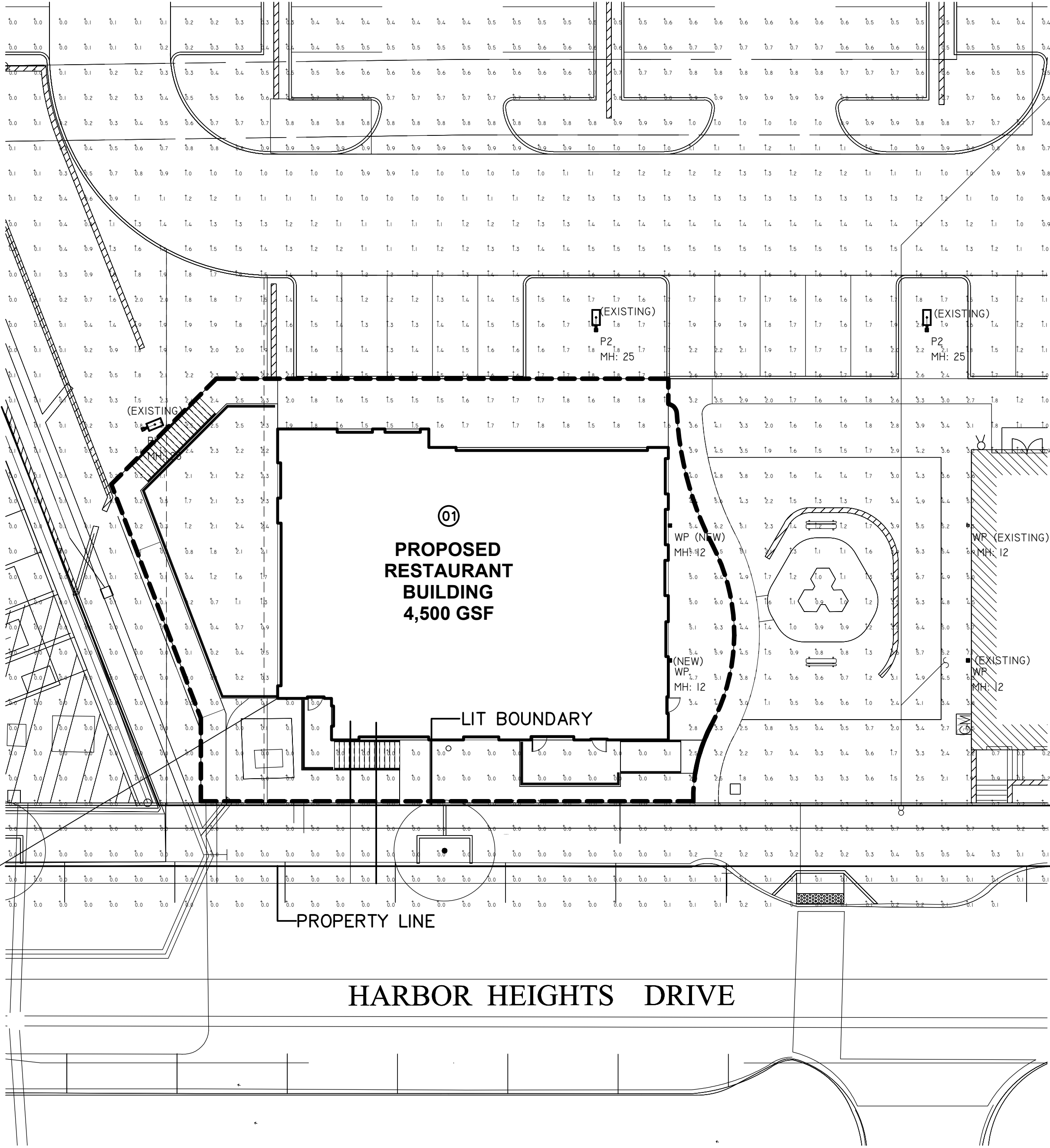
7. CALCULATIONS ARE BASED ON CITY ORDINANCE: ON THE PARKING AREA SURFACE, AN AVERAGE OF AT LEAST 2 FC, INITIAL MEASUREMENT, AND A MINIMUM AVERAGE OF 1 FC ON A MAINTAINED BASIS.

8. CUT OFF AT SITE BOUNDARIES SHALL BE LESS THAT 0.2 FC.

9. PROVIDE CAULKING AROUND ALL SEAMS ON EXTERIOR LIGHTING AND POWER OUTLETS TO PREVENT MOISTURE BUILDUP.

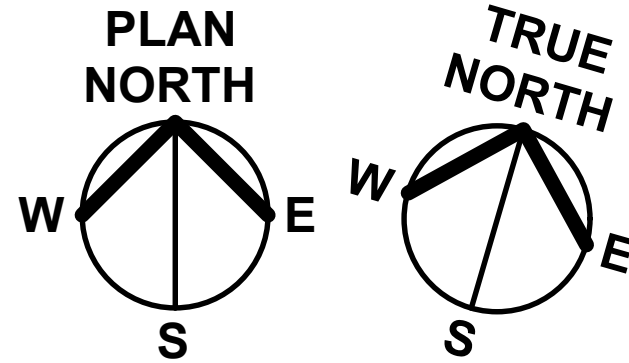
10. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH LIGHTING RELAY PANEL.

- KEYED NOTES DESIGNATED BY "Ⓢ" "Ⓣ"
1. ALL EXTERIOR LIGHTING SHALL BE CONTROLLED THRU A PHOTOCELL. REFER TO ELECTRICAL PANEL SCHEDULES FOR RELAY PANEL.

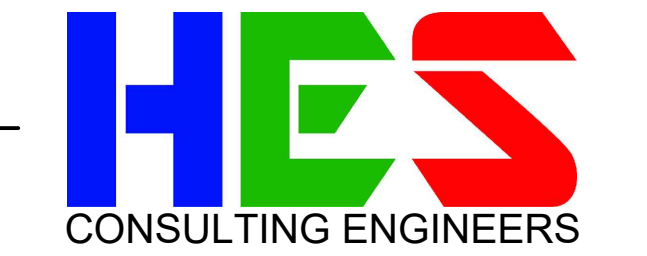


SITE PLAN
ELECTRICAL LIGHTING

1/16" = 1'-0"



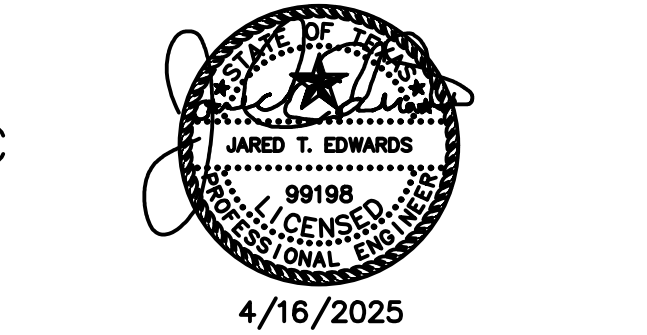
ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032



HES ENGINEERS
2626 COLE AVENUE
SUITE 300
DALLAS, TEXAS 75204

CIVIL
FC CUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING, INC.
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035



PERMIT
HARBOR HEIGHTS
RESTAURANT &
RETAIL
BUILDING D
ROCKWALL, TEXAS

Project Number: 82401
Drawing Date: 03.24.25
Drawn:
Checked:

© 2024 Strohmeyer Architects, Inc.

#	Revision Date	Revision Description
1		

Sheet Title:
SITE PLAN -
ELECTRICAL
LIGHTING

E1.01



DATE: May 29, 2025

TO: Jimmy Strohmeyer
2701 Sunset Ridge
Suite 601
Rockwall, Texas 75032

CC: Dan Bobst
2701 Sunset Ridge
Suite 610
Rockwall, Texas 75032

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2025-014; *Site Plan for 2351 Harbor Heights Drive*

Jimmy,

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on May 27, 2025. The following is a record of all recommendations, voting records:

Conditions of approval:


- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The proposed stairwell, ramps, and sidewalk will be required to be constructed prior to a Certificate of Occupancy being issued for the proposed building on the subject property.
- (3) The building elevation shall use the marble grey brick as presented in the updated building elevations submitted by the applicant on May 28, 2025.
- (4) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On May 27, 2025, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 5-0, with Commissioner Hustings absent and one (1) vacant seat.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me at (972) 772-6488.

Sincerely,


Bethany Ross, Planner
City of Rockwall Planning and Zoning Department

From: [Lee, Henry](#)
To: jimmy@strohmeierarchitects.com
Cc: dwbobst@trendhr.com; [Ross, Bethany](#)
Subject: Project Comments SP2025-014
Date: Friday, April 25, 2025 1:45:58 PM
Attachments: [Engineering Markups \(04.23.2025\).pdf](#)
[Project Comments \(04.24.2025\).pdf](#)
[Shared Parking Requirements \(06.12.2019\).pdf](#)

Good Afternoon,

Attached are the project comments for your case. Revisions for this case are due May 6, 2025. The meeting schedule for this case is as follows:

Planning and Zoning Commission: April 29, 2025

Planning and Zoning Commission: May 13, 2025

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is required to be at all meetings. Should you have any questions please let me know.

Thank you,



Henry Lee, AICP
Senior Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

From: [Miller, Ryan](#)
To: jimmy@strohmeierarchitects.com
Cc: [Ross, Bethany](#)
Subject: RE: Harbor Heights Pad 4
Date: Tuesday, May 6, 2025 9:57:34 AM

Jimmy ... Just submit a request to Bethany to table for two (2) weeks and we can get them approved May 27, 2025 meeting. This means that you will have to have revisions into us by May 20, 2025. If you have any additional questions please let me know. Thanks.



RYAN C. MILLER, AICP
DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

HELPFUL LINKS | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [UNIFIED DEVELOPMENT CODE](#)

NOTES:

- 1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD.

From: jimmy@strohmeierarchitects.com <jimmy@strohmeierarchitects.com>
Sent: Tuesday, May 6, 2025 9:30 AM
To: Miller, Ryan <RMiller@rockwall.com>
Subject: Harbor Heights Pad 4

If we can't get the revisions in today (had several call in sick), do we need to pull and resubmit or can it be pushed to the next cycle?

Thanks!

Jimmy

Jimmy Strohmeier, AIA, NCARB
Managing Principal and CEO

Strohmeier Architects, Inc
2701 Sunset Ridge, Suite 601
Rockwall, Texas 75032
Jimmy@StrohmeierArchitects.com



STROHMEYER
ARCHITECTS INC.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.