

### CASE COVER SHEET

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

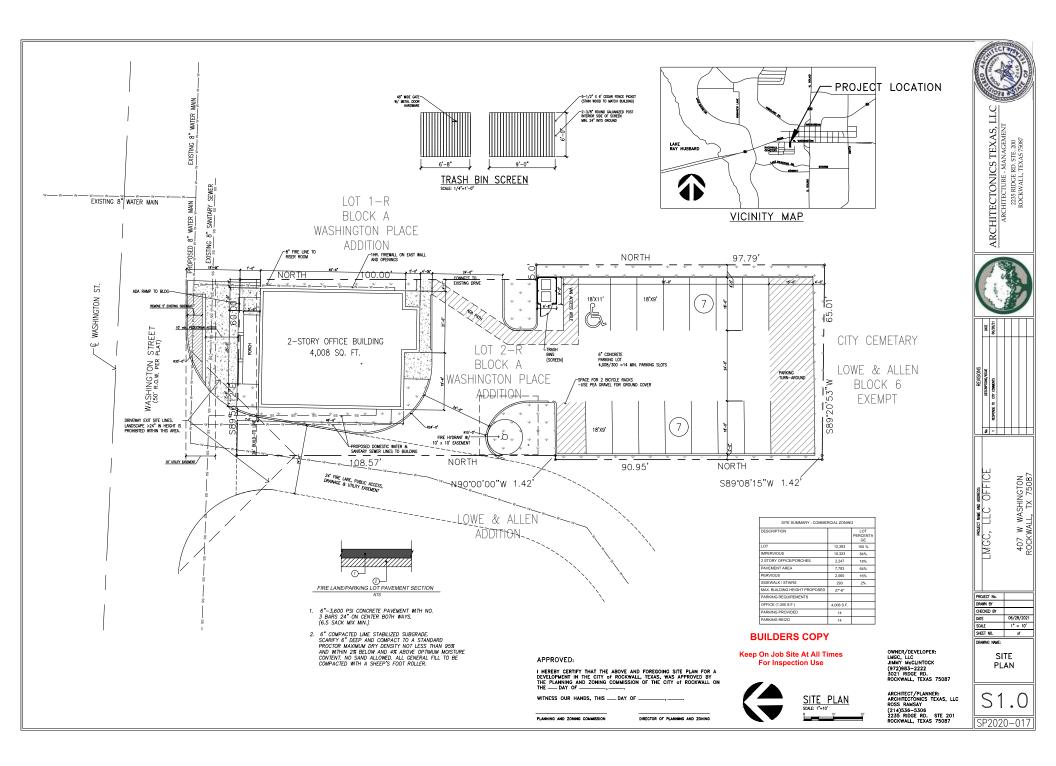
**PLANNING & ZONING FEE** 

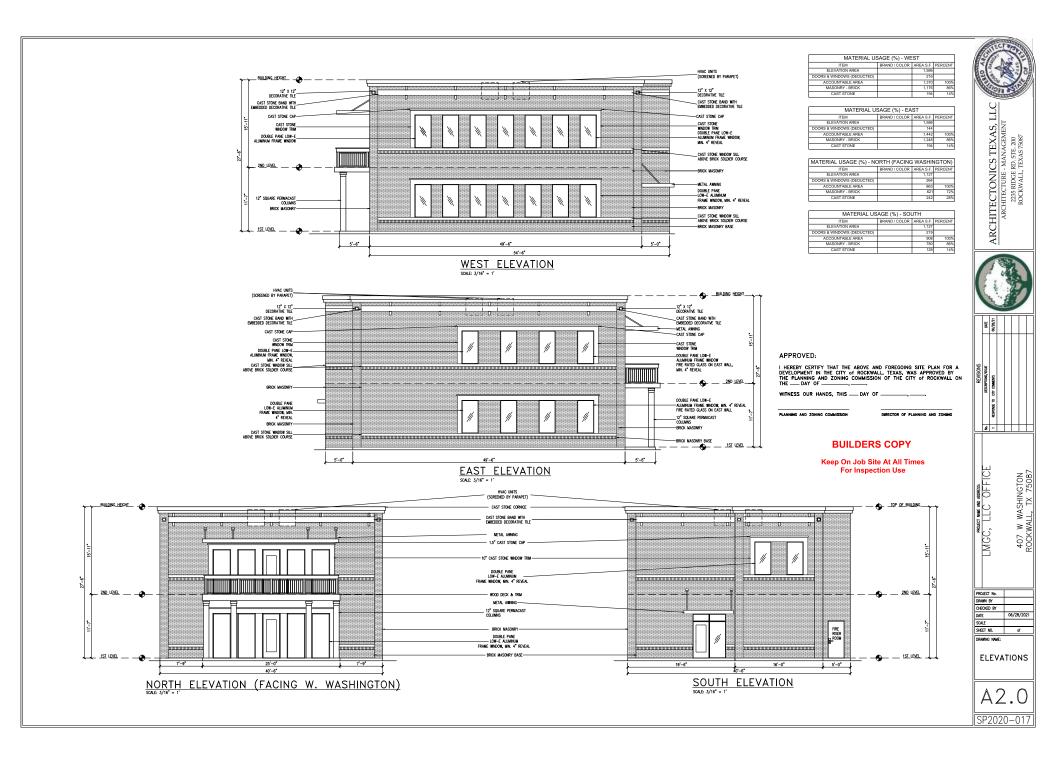
PLATTING APPLICATION MASTER PLAT PRELIMINARY PLAT FINAL PLAT REPLAT AMENDING OR MINOR PLAT PLAT REINSTATEMENT REQUEST SITE PLAN APPLICATION SITE PLAN AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING	ZONING APPLICATION ZONING CHANGE SPECIFIC USE PERMIT PD DEVELOPMENT PLAN OTHER APPLICATION TREE REMOVAL VARIANCE REQUEST/SPECIAL EXCEPTIONS
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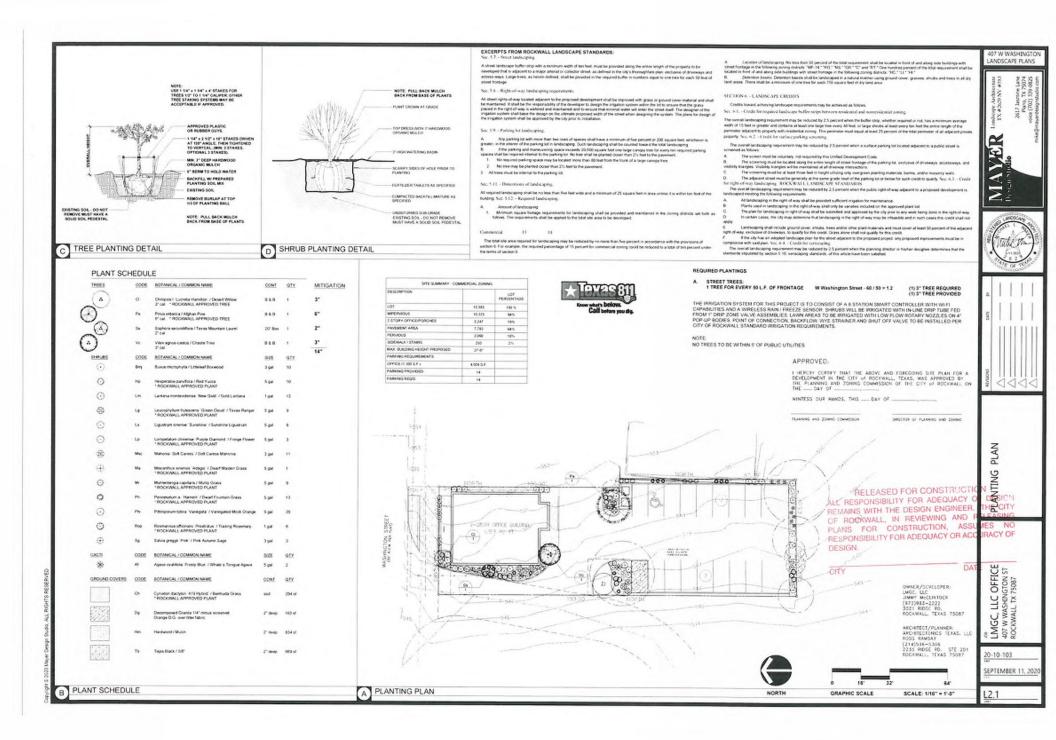
### **RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

ARCHITECTURE REVIEW BOARD	CITY COUNCIL READING #2
PLANNING AND ZONING COMMISSION	CONDITIONS OF APPROVAL
CITY COUNCIL READING #1	NOTES

City of Rockwa	Zoning Department reet	STAFF USE ONLY         PLANNING & ZONING CASE NO. <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE         CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE         SIGNED BELOW.         DIRECTOR OF PLANNING:         CITY ENGINEER:		
PLEASE CHECK THE APPROPRIATE BOX BELC	W TO INDICATE THE TYPE OF DEVELOPM	IENT REQUEST [SELECT ONLY ONE BOX]:		
PLATTING APPLICATION FEES:         MASTER PLAT (\$100.00 + \$15.00 ACRE) 1         PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1         FINAL PLAT (\$300.00 + \$20.00 ACRE) 1         REPLAT (\$300.00 + \$20.00 ACRE) 1         AMENDING OR MINOR PLAT (\$150.00)         PLAT REINSTATEMENT REQUEST (\$100.	CRE) <sup>1</sup> CRE) <sup>1</sup>	<b>G APPLICATION FEES:</b> NING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup> ECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 &amp; 2</sup> DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup> <b>R APPLICATION FEES:</b> EE REMOVAL (\$75.00) RIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>		
SITE PLAN APPLICATION FEES:		Ermining the FEE, please use the exact acreage when multiplying by the E amount. For requests on less than one acre, round up to one (1) acre <u>00.00</u> FEE will be added to the application fee for any request tha Is construction without or not in compliance to an approved building		
PROPERTY INFORMATION [PLEASE PR	RINT]			
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SUBDIVISION LOWE 4 A	HEL Allition	LOT 2 BLOCK A		
GENERAL LOCATION	yes realized			
ZONING, SITE PLAN AND PLATTING				
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	PROPOS	SED USE		
ACREAGE	LOTS [CURRENT]	LOTS [PROPOSED]		
SITE PLANS AND PLATS: BY CHECKING TH	IS BOX YOU ACKNOWLEDGE THAT DUE TO T	THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY MENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR		
OWNER/APPLICANT/AGENT INFOR	MATION IPLEASE PRINT/CHECK THE PRIN	MARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]		
WOWNER Yuy 66 PAPO	arkey U DAPP	LICANT		
CONTACT PERSON Junin Lie	Climbock CONTACT P	ERSON		
ADDRESS 3021 ALDC	F DD PHBNY AD	DRESS		
CITY, STATE & ZIP	HLTOZI CITY, STAT	E & ZIP		
PHONE 972-643-	-71-12	PHONE		
E-MAIL LMGC. MDD	(mai), com	E-MAIL		
NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON T STATED THE INFORMATION ON THIS APPLICATION	HIS DAY PERSONALLY APPEARED	MULTIOTOCK [OWNER] THE UNDERSIGNED,		
\$ 600 WF TO COVER TH	HE COST OF THIS APPLICATION, HAS BEEN PAID TH IGNING THIS APPLICATION, I AGREE THAT THE C N TO-THE PUBLICS THE CITY IS ALSO AUTHON	XTY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PR RIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORM		
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON T OWNER'S SIGNATURE		2015 Notary Public, State of Tex Comm. Expires 10-08-202		
OWNER'S SIGNATORE	VINA IN IN	MY COMMISSION EXPIRES		
DEVELOPMENT APPLICATION	N . CITY OF KOCKWALL . 385 SOUTH GOLIAD	STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745		

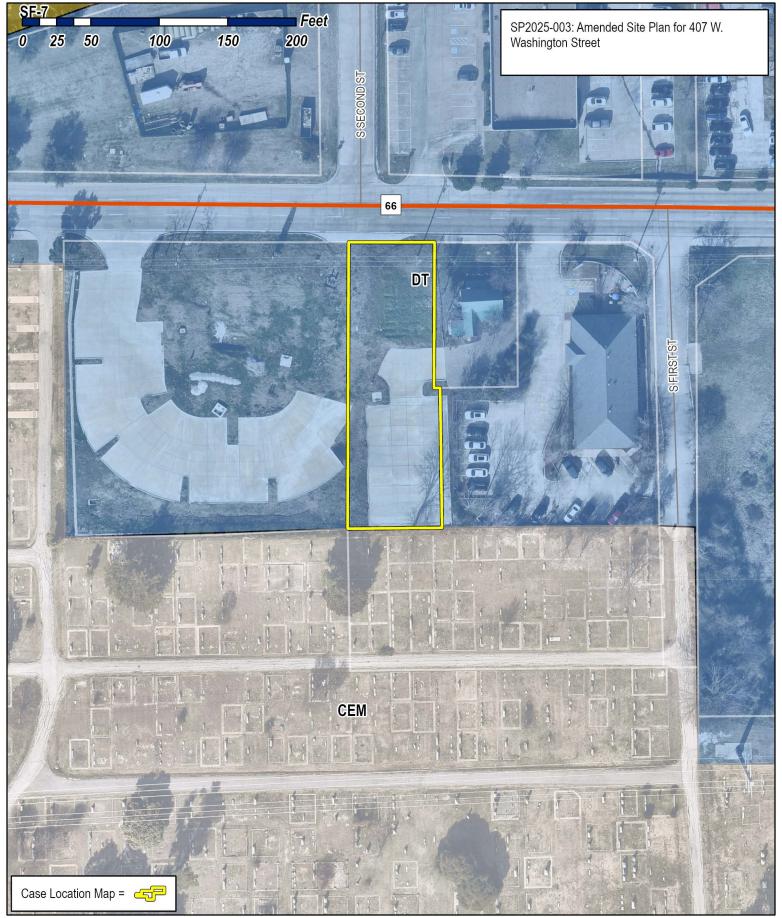






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City of Rockwa	Zoning Department reet	STAFF USE ONLY         PLANNING & ZONING CASE NO. <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE         CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE         SIGNED BELOW.         DIRECTOR OF PLANNING:         CITY ENGINEER:		
PLEASE CHECK THE APPROPRIATE BOX BELC	W TO INDICATE THE TYPE OF DEVELOPM	IENT REQUEST [SELECT ONLY ONE BOX]:		
PLATTING APPLICATION FEES:         MASTER PLAT (\$100.00 + \$15.00 ACRE) 1         PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1         FINAL PLAT (\$300.00 + \$20.00 ACRE) 1         REPLAT (\$300.00 + \$20.00 ACRE) 1         AMENDING OR MINOR PLAT (\$150.00)         PLAT REINSTATEMENT REQUEST (\$100.	CRE) <sup>1</sup> CRE) <sup>1</sup>	<b>G APPLICATION FEES:</b> NING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup> ECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 &amp; 2</sup> DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup> <b>R APPLICATION FEES:</b> EE REMOVAL (\$75.00) RIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>		
SITE PLAN APPLICATION FEES:		Ermining the FEE, please use the exact acreage when multiplying by the E amount. For requests on less than one acre, round up to one (1) acre <u>00.00</u> FEE will be added to the application fee for any request tha Is construction without or not in compliance to an approved building		
PROPERTY INFORMATION [PLEASE PR	RINT]			
ADDRESS YOF W.	WASHINGTONSt Rou	elivele TX 95032		
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OWNER/APPLICANT/AGENT INFOR	MATION IPLEASE PRINT/CHECK THE PRIN	IARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]		
WOWNER Yuy 66 PAPO	arkey U DAPP	LICANT		
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ADDRESS 3021 ALDC	F DD PHBNY AD	DRESS		
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PHONE 972-643-	-71-12	PHONE		
E-MAIL LMGC. MDD	(mai), com	E-MAIL		
NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON T STATED THE INFORMATION ON THIS APPLICATION	HIS DAY PERSONALLY APPEARED	MULTOCK [OWNER] THE UNDERSIGNED,		
\$ 600 WF TO COVER TH	HE COST OF THIS APPLICATION, HAS BEEN PAID TH IGNING THIS APPLICATION, I AGREE THAT THE C N TO-THE PUBLICS THE CITY IS ALSO AUTHON	XTY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PR RIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORM		
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON T OWNER'S SIGNATURE		2015 Notary Public, State of Tex Comm. Expires 10-08-202		
OWNER'S SIGNATORE	VINA IN IN	MY COMMISSION EXPIRES		
DEVELOPMENT APPLICATIO	N . CITY OF KOCKWALL . 385 SOUTH GOLIAD	STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745		

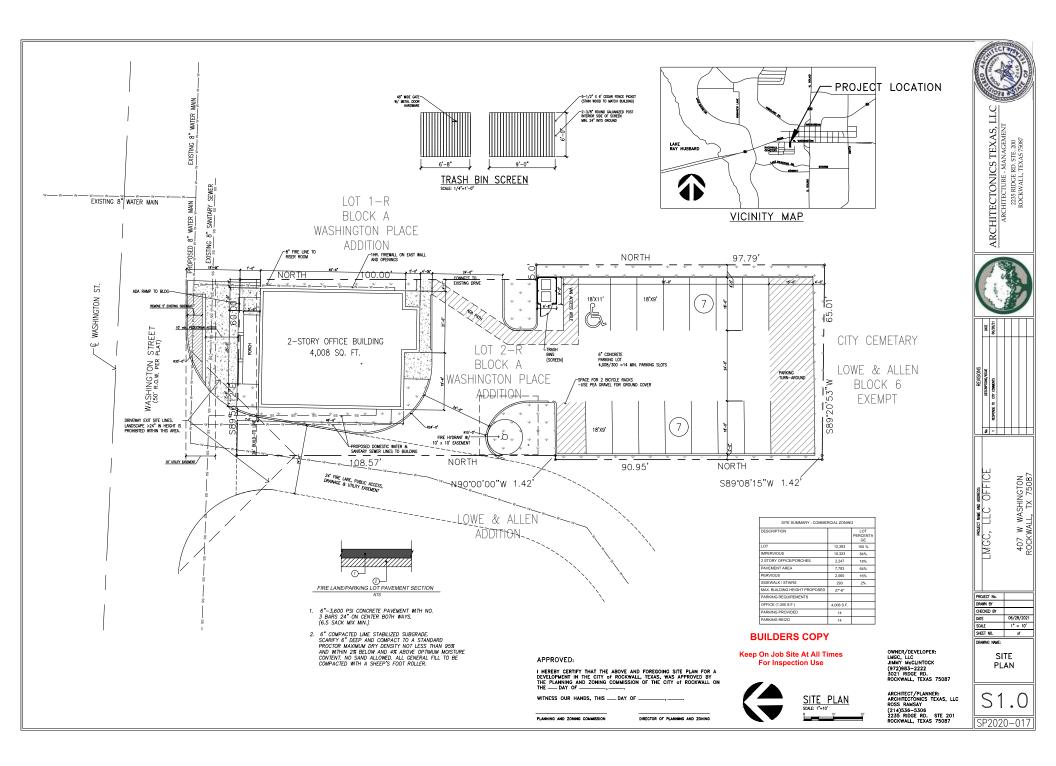


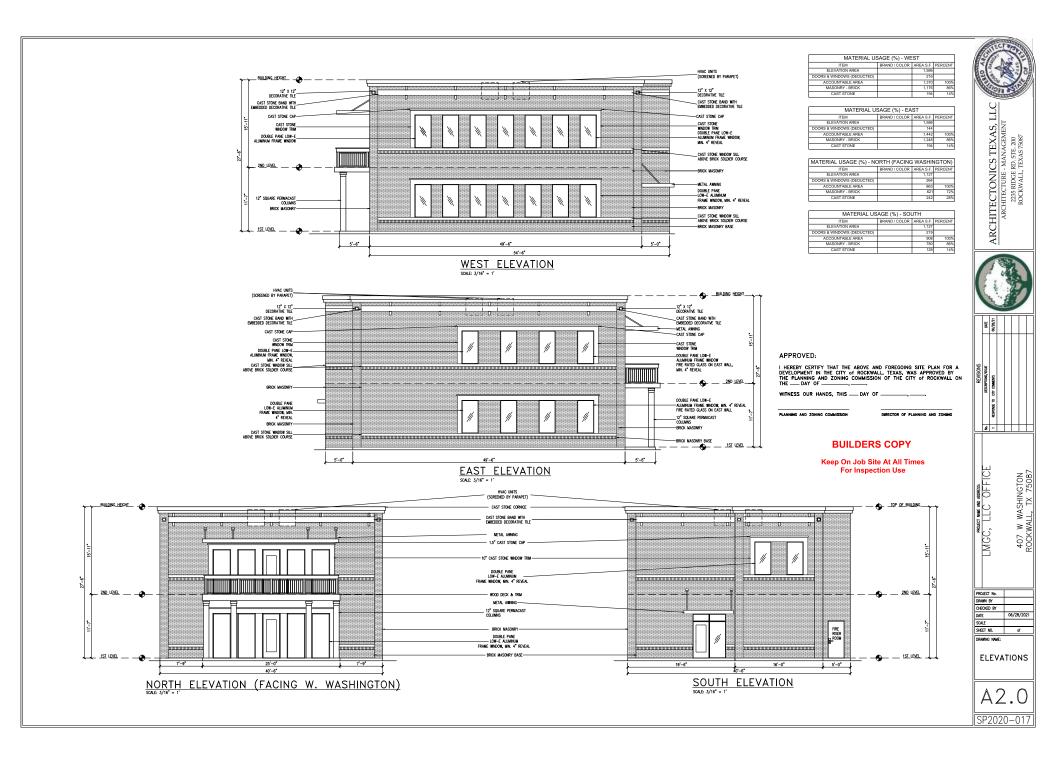


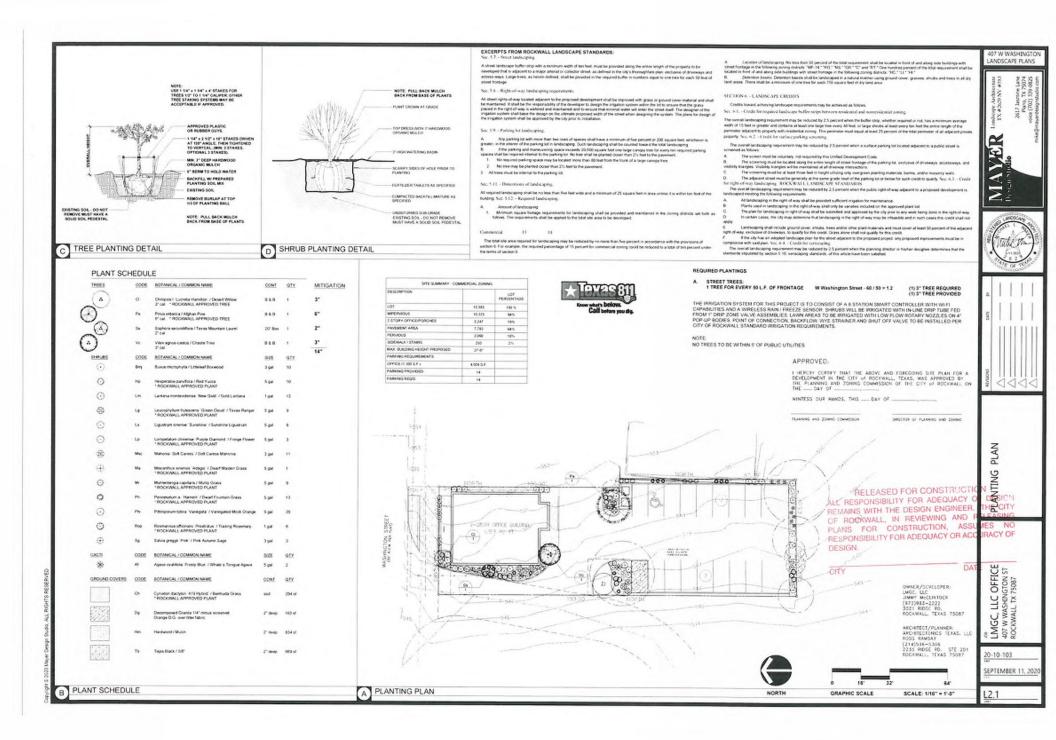
City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









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### CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Bethany Ross, <i>Planner</i>
DATE:	February 25, 2025
SUBJECT:	SP2025-003; Site Plan for 407 W. Washington Street

The applicant, Jimmy McClintock of Highway 66 Properties, LP, is requesting the approval of a Site Plan for a two (2) story, 4,008 SF office building. The subject property was annexed prior to 1959, is zoned Downtown (DT) District, and is situated within the SH-66 Overlay (SH-66OV) District. On July 6, 2020, the City Council approved a replat [*Case No. P2020-025*] of Lots 4 & 5, Block A, Washington Place Addition. On August 11, 2020, the Planning and Zoning Commission approved a Site Plan [*Case No. SP2020-017*] for a two (2) story, 4,008 SF office building on the subject property. The site plan approval was set to expire on August 11, 2022 in accordance with Subsection 03.05(A), *Site Plan Expiration*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC); however, at that time the applicant had an active Engineering submittal [*Case No. E2020-132*]. The Engineering Plans were approved on January 6, 2021, and were considered to be valid for a period of one (1) year. On May 25, 2021, the applicant submitted a Building Permit [*Case No. COM2021-2619*]; however, this permit expired due to inactivity on November 25, 2021. Since the Building Permit was expired, both the Site Plan and Engineering Plans also expired.

In response to this expiration, the applicant resubmitted the same Site Plan on February 14, 2025. The submitted Site Plan was the same as the original Site Plan approved under *Case No. SP2020-017*, with the exception of minor changes being made to the Photometric Plan. As part of the review for this case, staff has indicated to the applicant that the Photometric Plan will need to be changed to meet the lighting and photometric standards of the Unified Development Code (UDC), and this is considered to be a condition of approval for this case. Staff has attached the original Site Plan case memo since nothing has changed in the requirements of the Downtown (DT) District that would affect the approval of this case. As part of this case, the Planning and Zoning Commission will be tasked with reviewing the previous Site Plan approval *-- including the variances/exceptions that were granted --* and determining if the proposal meets the criteria for Site Plan approval as outlined in Subsection 03.04, *Site Plan Review*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). In addition, staff will be taking the proposed building elevations back to the Architectural Review Board (ARB) prior to the meeting on February 25, 2025, and will provide an updated recommendation from the ARB to the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the <u>February 25, 2025</u> Planning and Zoning Commission meeting.



### CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	August 11, 2020
APPLICANT:	Jimmy McClintock; Hwy 66 Properties, LP
CASE NUMBER:	SP2020-017; Site Plan for an Office Building at 407 W. Washington Street

#### <u>SUMMARY</u>

Discuss and consider a request by Jimmy McClintock of HWY 66 Properties, LP for the approval of a <u>Site Plan</u> for an office building on a 0.28-acre parcel of land identified as Lot 2-R, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 407 W. Washington Street, and take any action necessary.

#### BACKGROUND

The subject property was annexed prior to 1959, is zoned Downtown (DT) District, is situated within the SH-66 Overlay (SH-66 OV) District, and is considered to be a part of one of the original areas of the City of Rockwall. As a note, on January 14, 2020, the Planning and Zoning Commission approved a site plan [*i.e. SP2019-044*] for the adjacent property at 409 W. Washington Street for the applicant that proposed a ~16,502 SF office building. The applicants' intent is to provide a building that will stylistically compliment this adjacent office building when constructed.

#### <u>PURPOSE</u>

The applicant has submitted a request for approval of a site plan for an office building on the subject property. The proposed two (2) story office building will be a  $\sim$ 4,440 SF and will be clad with brick and cast stone accents, and will utilize a flat roof system, which is typical of the existing buildings within the Downtown (DT) District.

#### ADJACENT LAND USES AND ACCESS

The subject property is located at 407 W. Washington Street. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the property is W. Washington Street, which is identified as a *P3U* (*principle arterial, three [3]-lane, undivided roadway*) on the City's Master Thoroughfare Plan. Following this, there is a vacant tract of land and W. Rusk Street, which is identified as a *P3U* (*principle arterial, three [3]-lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this, there are several single-family homes. These areas are zoned Downtown (DT) and Single-Family 7 (SF-7) District.
- <u>South</u>: Directly south of the subject property, there is a cemetery that is owned by the City of Rockwall. Following this, there are two (2) single-family residential subdivisions (*i.e. Stonebridge Meadows, Phases 4, 3, & 2; and Ridgeview Subdivisions*) and a condominium complex (*i.e. Bent Tree Condominiums*). These areas are zoned Cemetery (CEM), Single-Family 7 (SF-7) and Multi-Family 14 (MF-14) Districts.
- <u>East</u>: Directly east of the subject property, there is a vacant tract of land, a real estate office (*i.e. Gold Key Realty*), and a daycare facility (*i.e. Marigold Learning Academy*). Following this, there several vacant tracts of land, a city-owned parking lot, and N. Goliad Street, which is identified as a *P3U* (*principle arterial, three [3]-lane, undivided roadway*) on the City's Master Thoroughfare Plan.
- <u>West</u>: Directly west of the subject property, is 409 W Washington Street, which is has an approved site plan for an office building followed by a single-family home and a City-owned cemetery. Following this, there is a daycare facility

(*i.e. Children's Park Day Care*), a vacant tract of land, an office building, and a veterinary hospital (*i.e. Avery Veterinary Clinic*). Beyond this, there is a retail store with gasoline sales (*i.e. Shell*), a single-family residential subdivision (*i.e. Stonebridge Meadows, Phases 4 & 5*) and S. Lakeshore Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. These areas are zoned Downtown (DT), Cemetery (CEM), General Retail (GR), Single-Family 7 (SF-7), and Single-Family 10 (SF-10) Districts.

#### DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) the proposed office building is permitted by-right in the Downtown (DT) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within the Downtown (DT) District. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Building Height	Min. 2 Stories; Max. 4 Stories	x=2 Stories; In Conformance
Minimum Front Yard Setback	24-Feet	x=24-Feet; In Conformance
Pedestrian Walkway Width	10-Feet	x=10-Feet; In Conformance
Minimum Masonry Requirement	100% Brick	x=100%; In Conformance
Minimum Number of Parking Spaces	14 Spaces	x=14 Spaces; In Conformance
Bicycle Parking Spaces	2 Spaces	x=2 Spaces; In Conformance

#### TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 67-caliper inches to be removed from the site and the provision of one (1), six (6) inch caliper tree that counts towards the mitigation total with the proposed development. This will leave a mitigation balance due of 61-caliper inches. According to Section 05(F), of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), the applicant may satisfy the tree mitigation balance by: [1] paying into the tree fund, [2] planting trees on site, and/or [3] providing the trees to the Parks and Recreation Department. In this case, the applicant has indicated their intention is to provide 20% of the mitigation balance to the City's Tree Fund totaling \$1,340.00 (i.e. 67" x 20% = 13.4" x \$100 = \$1,340.00) and providing the remaining balance of 48-inches to satisfy the mitigation balance. This has been added as a condition of approval.

#### CONFORMANCE WITH THE CITY'S CODES

The proposed office building conforms to the requirements stipulated in Subsection 04.07, *Downtown (DT) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) as follows:

- (1) *Function/Land Use.* Retail, personal service, residential, and office uses shall be allowed throughout the district. In this case, the proposed use is an office building and conforms to this requirement.
- (2) <u>Block Face.</u> Building walls should be continuous along block faces to create a strong edge to the street and contribute to creating and attractive and active pedestrian environment. In this case, the building utilizes a design that will be complementary to the adjacent property which will have an appearance of two (2) buildings with a continuous block face. The proposed office building will also utilize contrasting brick patterns/colors that blend with the surrounding downtown theme.
- (3) <u>Building Form.</u> Buildings shall be designed and constructed in a tri-partite architecture so that they have a distinct base, middle, and top. The proposed building elevations appear to conform to this requirement.
- (4) <u>External Facade Materials.</u> Ground floor exterior walls, excluding windows and doors, shall be constructed of 100% brick. The applicant is proposing to utilize 100% brick.
- (5) <u>Color.</u> The dominant color of all buildings shall be muted shades of warm grey, red, green, beige, or brown. Black, gold, and stark white shall not be used except as an accent color. The submitted building elevations indicate that the brick will be brown and conform to the district standards.
- (6) <u>Non-Residential at Grade</u>. The ground floor entry must be located at the approximate elevation of the adjacent sidewalk. All of the proposed entryways conform to this requirement.

#### CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, indicates that the subject property is located within the Downtown District and is designated for <u>Downtown (DT)</u> land uses. The Downtown District is considered to be the cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall. Being the original town area, this district is significantly developed and contains the City's oldest residential and commercial buildings. It is expected that the Downtown District will continue to prosper through investments in appropriate infill development and adaptive reuse of existing structures. New development in this area should be held to a higher level of scrutiny than other areas of the City to ensure that the district retains its small-town character. The <u>Downtown (DT)</u> land use designation should include a combination of land uses that are complementary to the existing development pattern and are intended to add the attractive, pedestrian-oriented environment of Rockwall's historic downtown. In addition, this area is the historic core of the City and should continue to be a symbol of community life in Rockwall. Primary land uses. In this case, the proposed office building is considered to be a primary use within the Downtown District and appears to be in conformance with the policies and goals contained in the Comprehensive Plan.

#### ARCHITECTURAL REVIEW BOARD (ARB):

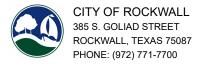
On July 28, 2020, the Architectural Review Board (ARB) reviewed the proposed building elevations and recommended that the applicant not incorporate a stone wainscot, rather use the white washed brick to meet the Downtown (DT) District's requirement of 100% brick. Additionally, the ARB recommended the columns on the front elevation be square and constructed with the white washed brick. They also recommended that the square ornamental emblems be changed to round emblems to provide more interest. The ARB will review the revisions at the <u>August 11, 2020</u> meeting and forward a recommendation to the Planning and Zoning Commission.

#### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve of the applicant's request for a site plan for an office building, then staff would propose the following conditions of approval:

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit; and,
- (2) The applicant will be required to satisfy the outstanding balance of 48-inches of tree mitigation prior to the issuance of a building permit; and
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# **PROJECT COMMENTS**



#### DATE: 2/21/2025

PROJECT NUMBER:SP2025-003PROJECT NAME:Amended Site Plan for 407 W. Washington StreetSITE ADDRESS/LOCATIONS:407 W WASHINGTON ST

CASE CAPTION: Discuss and consider a request by Jimmy McClintock of Highway 66 Properties, LP for the approval of a Site Plan for an Office Building on a 0.28-acre parcel of land identified as Lot 5, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 407 W. Washington Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Bethany Ross	02/19/2025	Approved w/ Comments	

02/19/2025: SP2025-003; Site Plan for 407 W. Washington Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jimmy McClintock of Highway 66 Properties, LP for the approval of a Site Plan for an Office Building on a 0.28-acre parcel of land identified as Lot 5, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, and addressed as 407 W. Washington Street.

1.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2025-003) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

1.4 On August 11, 2020, the Planning and Zoning Commission approved a Site Plan [Case No. SP2020-017] for a two (2) story, 4,008 SF office building on the subject property. The site plan approval was set to expire on August 11, 2022 in accordance with Subsection 03.05(A), Site Plan Expiration, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC); however, at that time the applicant had an active Engineering submittal [Case No. E2020-132]. The Engineering Plans were approved on January 6, 2021, and were considered to be valid for a period of one (1) year. On May 25, 2021, the applicant submitted a Building Permit [Case No. COM2021-2619]; however, this permit expired due to inactivity on November 25, 2021. Since the Building Permit was expired, both the Site Plan and Engineering Plans also expired.

M.5 Photometric Plan. Please provide a photometric plan that meets the requirements of the UDC. The allowable maximum light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 of one (1) footcandle or 0.2 FC.

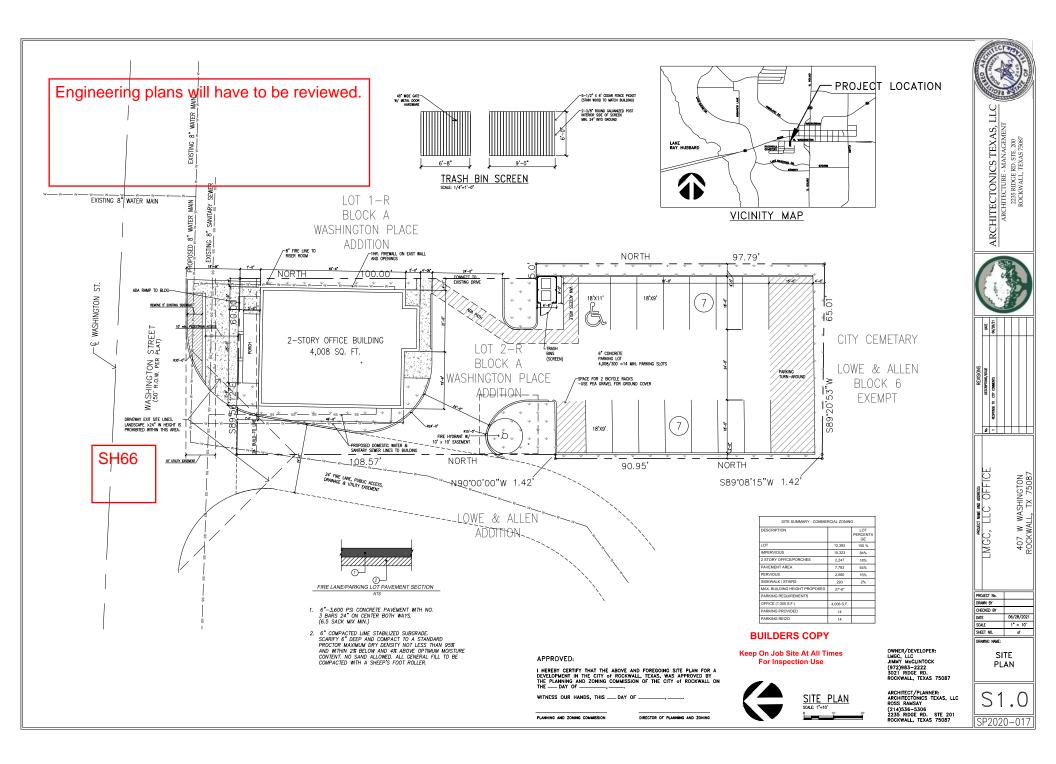
1.6 Please note that failure to address all comments provided by staff by 3:00 PM on March 4, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

- I.7 Please note the scheduled meetings for this case:
- (1) Planning & Zoning Work Session meeting will be held on February 25, 2025.

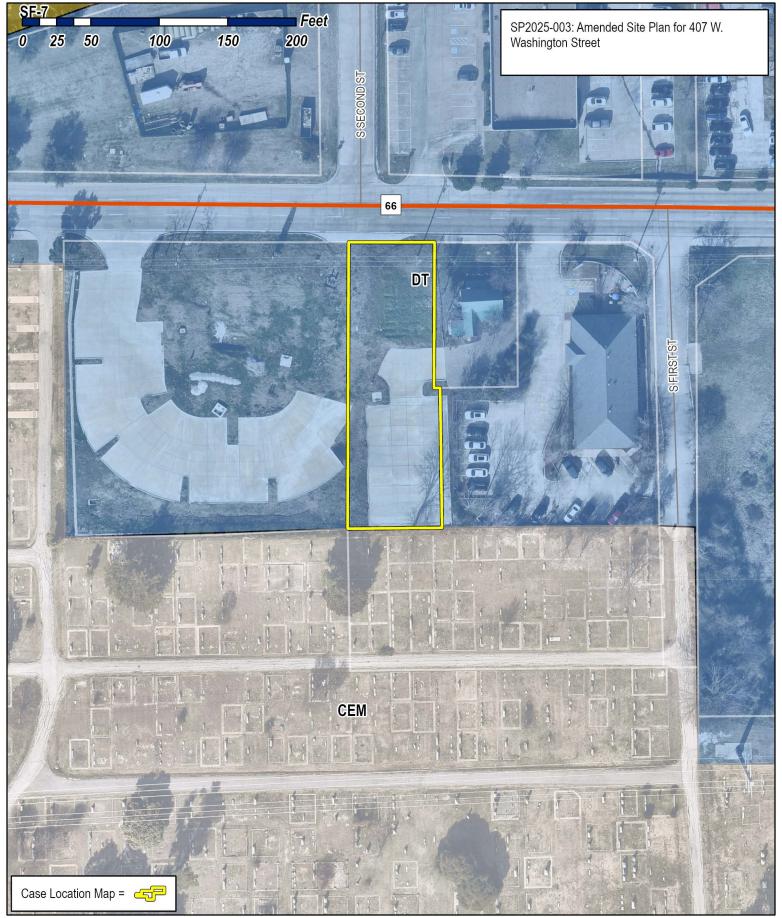
1.8 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/21/2025	Approved w/ Comments
02/21/2025: 1. Engineering place	ns will have to be reviewed.		
2. SH66			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/18/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/18/2025	Approved w/ Comments

02/18/2025: There are better varieties of turfgrass available now such as Tif Tuf, Lattitude 36 or Tahoma 31 that are more shade, drought, wear and cold tolerant



City of Rockwa	Zoning Department reet	STAFF USE ONLY         PLANNING & ZONING CASE NO. <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE         CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE         SIGNED BELOW.         DIRECTOR OF PLANNING:         CITY ENGINEER:		
PLEASE CHECK THE APPROPRIATE BOX BELC	W TO INDICATE THE TYPE OF DEVELOPM	IENT REQUEST [SELECT ONLY ONE BOX]:		
PLATTING APPLICATION FEES:         MASTER PLAT (\$100.00 + \$15.00 ACRE) 1         PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1         FINAL PLAT (\$300.00 + \$20.00 ACRE) 1         REPLAT (\$300.00 + \$20.00 ACRE) 1         AMENDING OR MINOR PLAT (\$150.00)         PLAT REINSTATEMENT REQUEST (\$100.	CRE) <sup>1</sup> CRE) <sup>1</sup>	<b>G APPLICATION FEES:</b> NING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup> ECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 &amp; 2</sup> DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup> <b>R APPLICATION FEES:</b> EE REMOVAL (\$75.00) RIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>		
SITE PLAN APPLICATION FEES:		Ermining the FEE, please use the exact acreage when multiplying by the E amount. For requests on less than one acre, round up to one (1) acre <u>00.00</u> FEE will be added to the application fee for any request tha Is construction without or not in compliance to an approved building		
PROPERTY INFORMATION [PLEASE PR	RINT]			
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ACREAGE	LOTS [CURRENT]	LOTS [PROPOSED]		
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OWNER/APPLICANT/AGENT INFOR	MATION IPLEASE PRINT/CHECK THE PRIN	IARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]		
WOWNER Yuy 66 PAPO	arkey U DAPP	LICANT		
CONTACT PERSON Junin Lie	Climbock CONTACT P	ERSON		
ADDRESS 3021 ALDC	F DD PHBNY AD	DRESS		
CITY, STATE & ZIP	HLTOZI CITY, STAT	E & ZIP		
PHONE 972-643-	-71-12	PHONE		
E-MAIL LMGC. MDD	(mai), com	E-MAIL		
NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON T STATED THE INFORMATION ON THIS APPLICATION	HIS DAY PERSONALLY APPEARED	MULTOCK [OWNER] THE UNDERSIGNED,		
\$ 600 WF TO COVER TH	HE COST OF THIS APPLICATION, HAS BEEN PAID TH IGNING THIS APPLICATION, I AGREE THAT THE C N TO-THE PUBLICS THE CITY IS ALSO AUTHON	XTY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PR RIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORM		
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON T OWNER'S SIGNATURE		2015 Notary Public, State of Tex Comm. Expires 10-08-202		
OWNER'S SIGNATORE	VINA IN IN	MY COMMISSION EXPIRES		
DEVELOPMENT APPLICATIO	N . CITY OF KOCKWALL . 385 SOUTH GOLIAD	STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745		

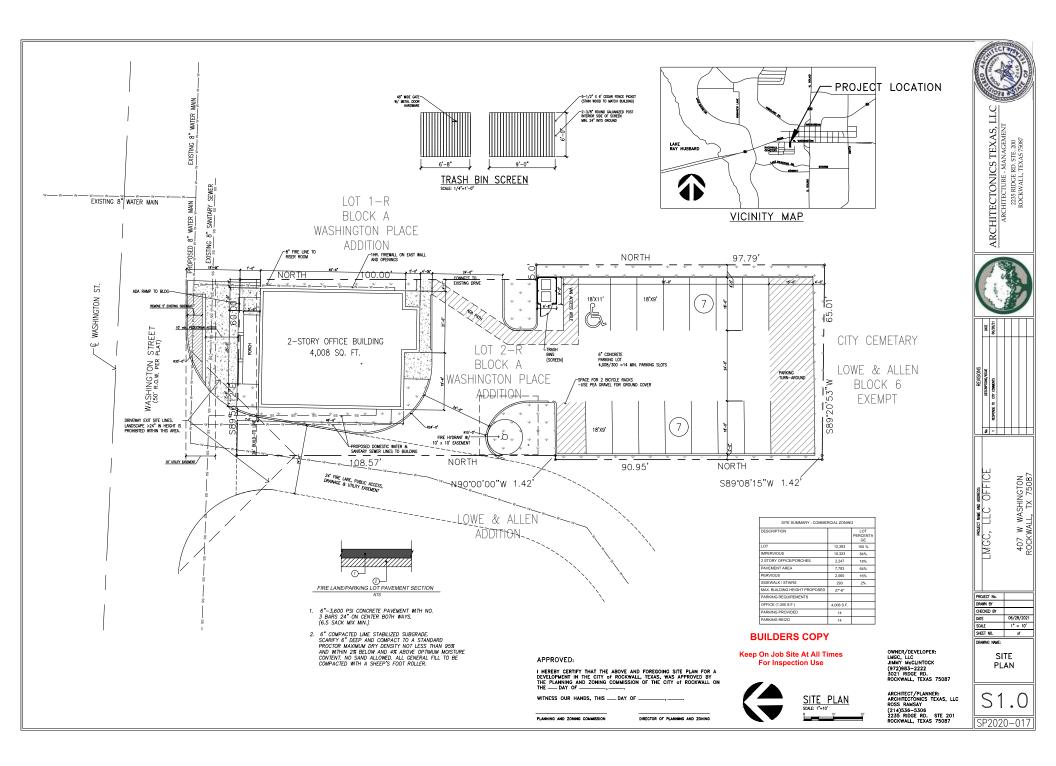


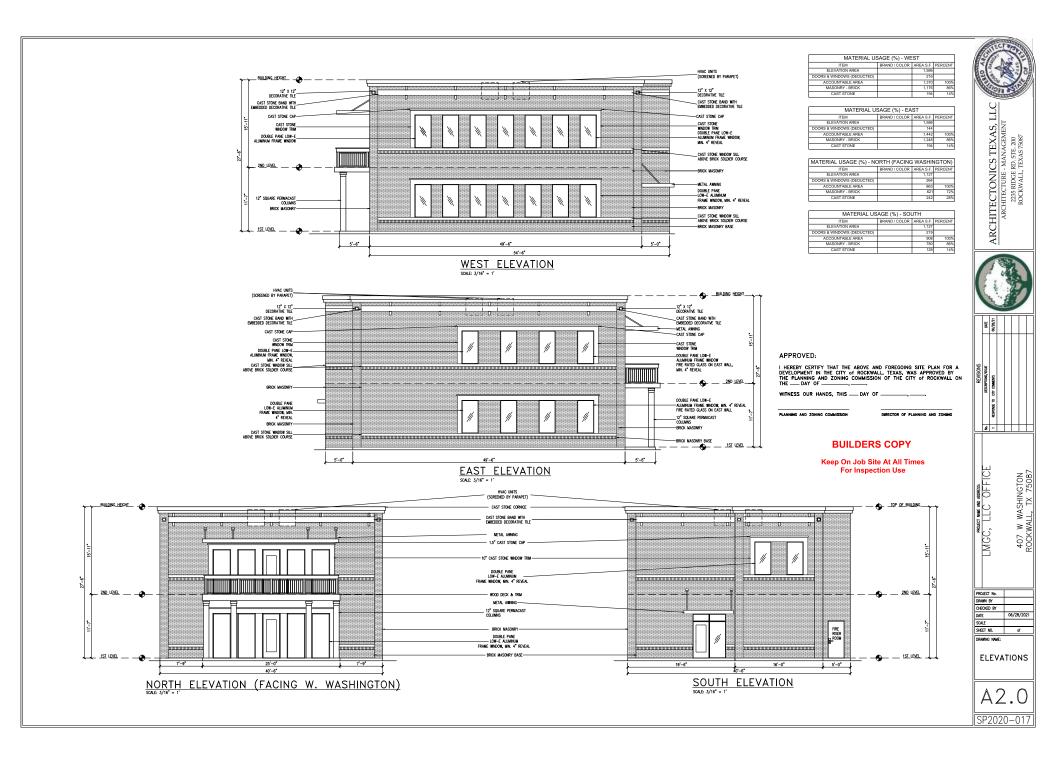


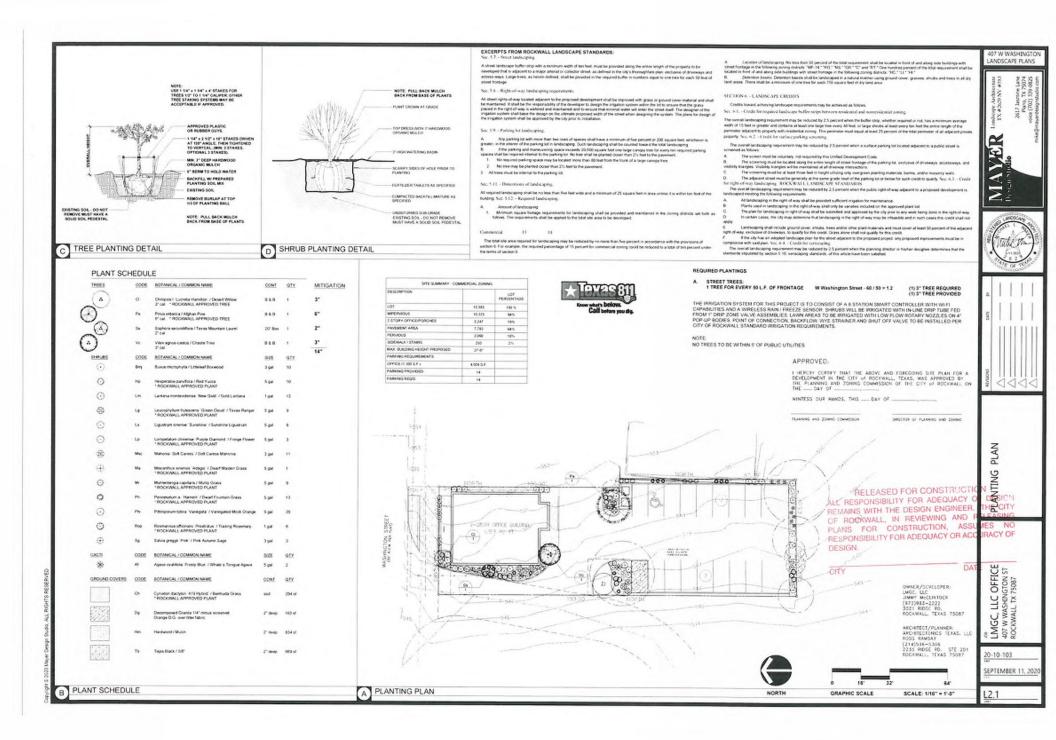
City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

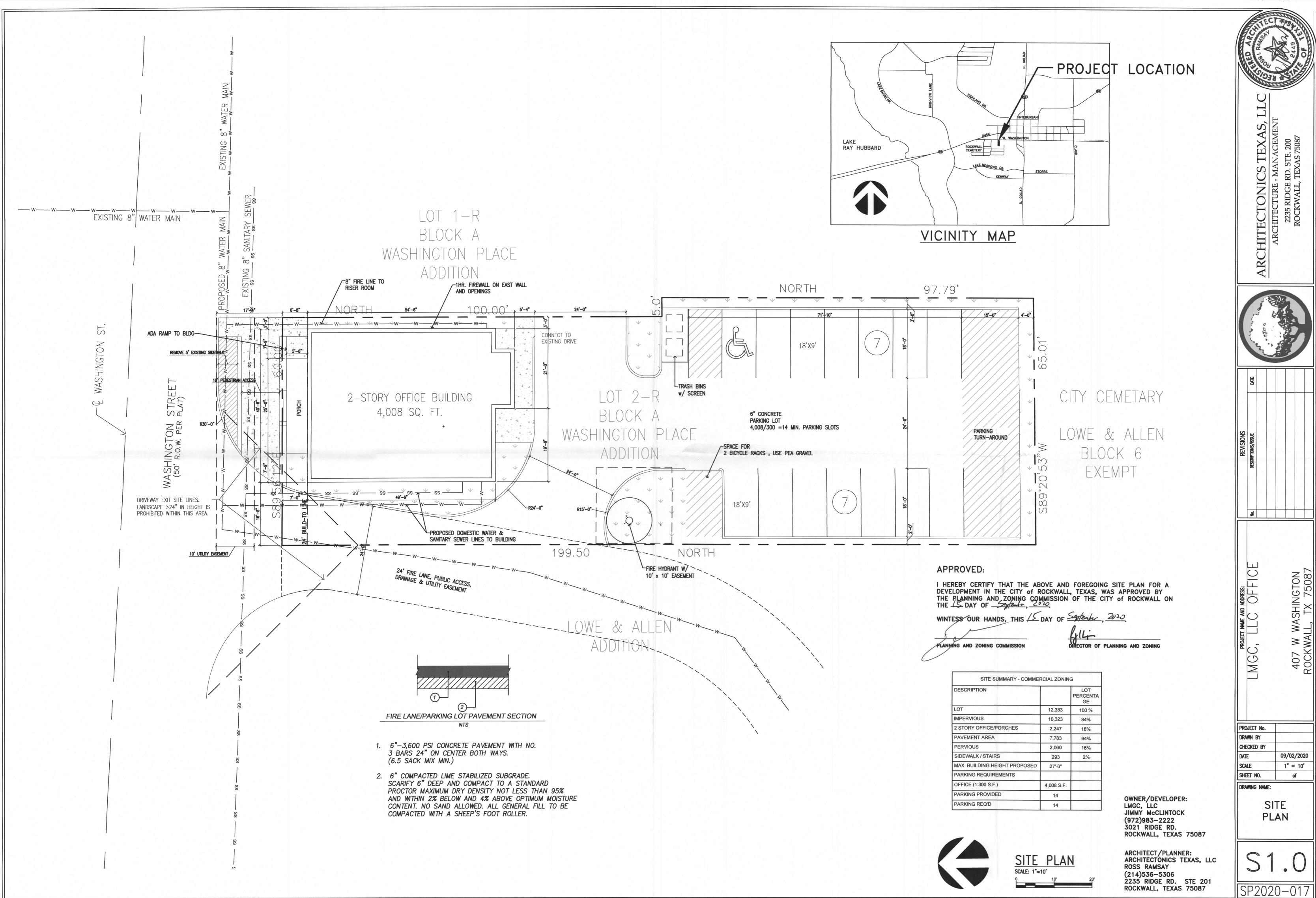






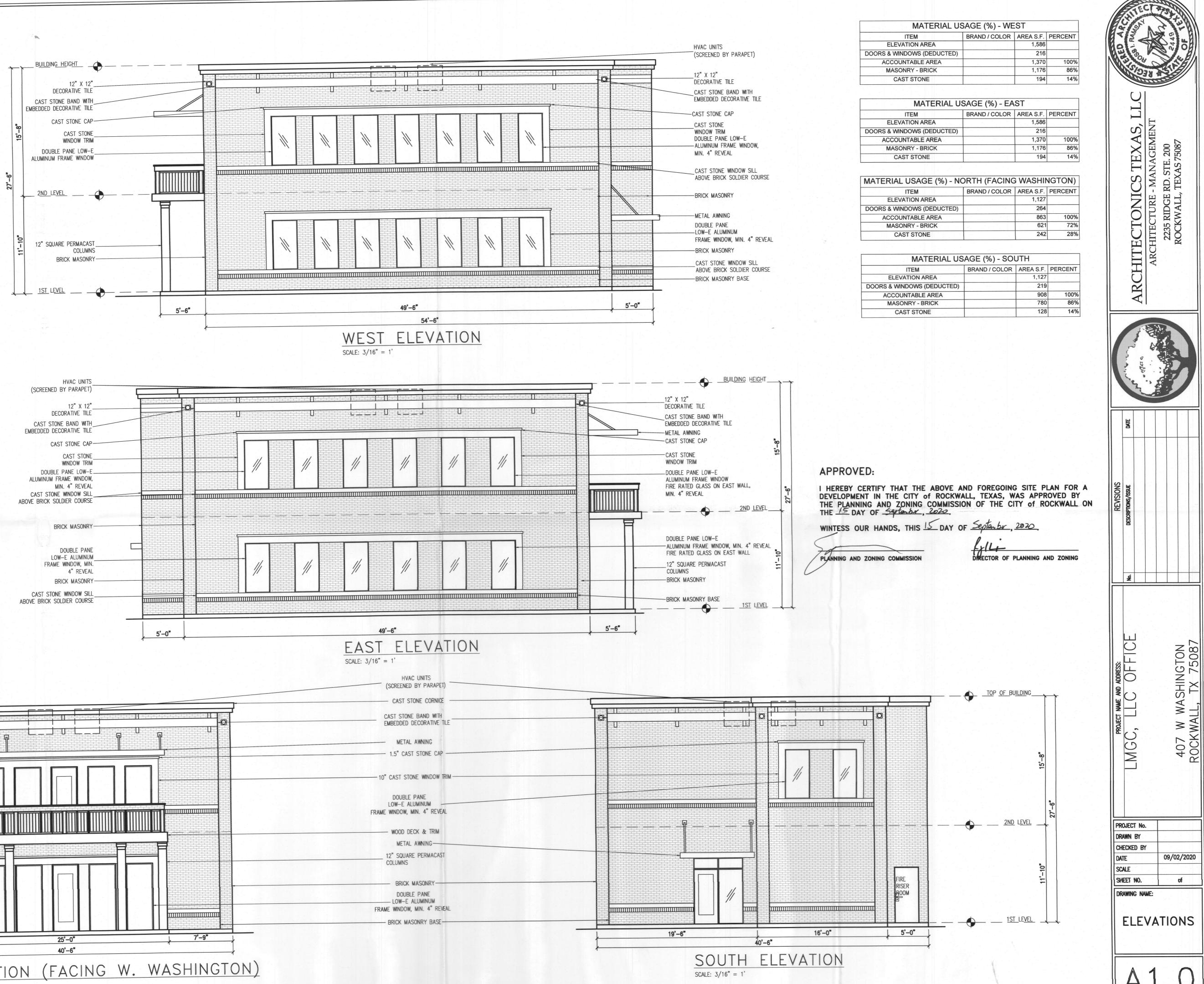


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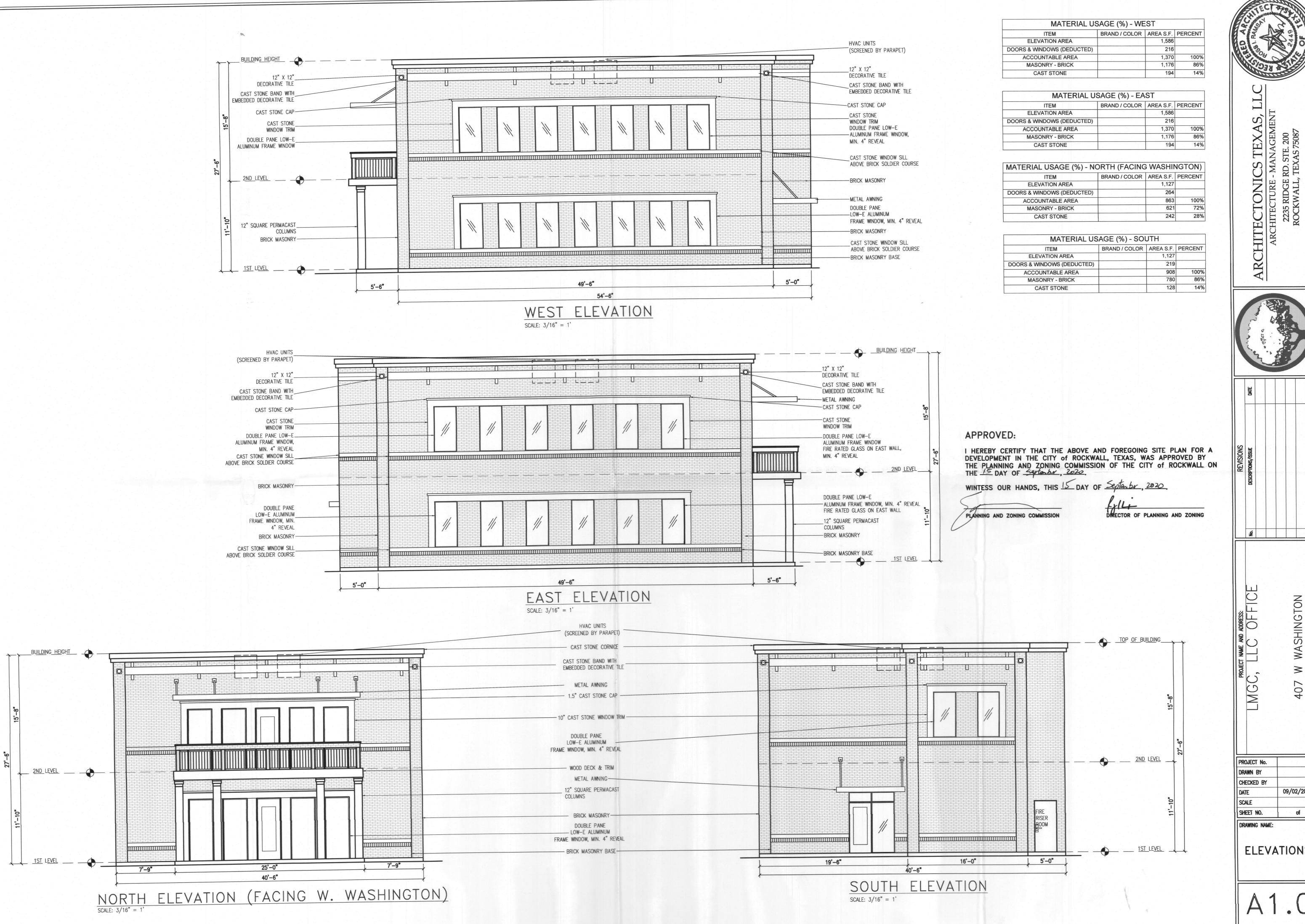


DESCRIPTION		LOT PERCENTA GE
LOT	12,383	100 %
IMPERVIOUS	10,323	84%
2 STORY OFFICE/PORCHES	2,247	18%
PAVEMENT AREA	7,783	64%
PERVIOUS	2,060	16%
SIDEWALK / STAIRS	293	2%
MAX. BUILDING HEIGHT PROPOSED	27'-6"	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,008 S.F.	
PARKING PROVIDED	14	
PARKING REQ'D	14	

ROCKWALL, TEXAS 75087



HVAC UNITS		
(SCREENED BY PARAPET)		
(SUREENED DI LANALLI)		
12" X 12"		
DECORATIVE TILE		서
DECONATIVE TILL		
CAST STONE BAND WITH		
EMBEDDED DECORATIVE TILE		
CAST STONE CAP		
CAST STUNE CAP		
OACT STONE		
CAST STONE		++
WINDOW TRIM		Ŧ
DOUBLE PANE LOW-E		1
ALUMINUM FRAME WINDOW,		÷Ŧ
MIN. 4" REVEAL		규
CAST STONE WINDOW SILL		
ABOVE BRICK SOLDIER COURSE		규
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DOUBLE PANE		
LOW-E ALUMINUM		
FRAME WINDOW, MIN.		
4" REVEAL		
		FT.
BRICK MASONRY		1
CAST STONE WINDOW SILL		
ABOVE BRICK SOLDIER COURSE		
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	5'-0"	
	* * *	



SP2020-017

									RPTS FROM RO	CKWALL LANDSCA
								A street develope	landscape buffer-str ed that is adjacent to	rip with a minimum width o o a major arterial or collec is herein defined, shall be
		NOTE:						street fro	Ũ	ndscaping requirements
		USE 1 1/4" x 1 1/4" x 4' STAKES FOR TREES 1/2" TO 1 1/4" CALIPER. OTHER					NOTE: PULL BACK MULCH BACK FROM BASE OF PLANTS	All stree	t rights-of-way locate	ed adjacent to the propos
		TREE STAKING SYSTEMS MAY BE ACCEPTABLE IF APPROVED.			NWWWW		- PLANT CROWN AT GRADE	placed in irrigation	n the right-of-way is system shall base t	e responsibility of the dev watered and maintained the design on the ultimate e approved by the city prio
		APPROVED PLASTIC OR RUBBER GUYS.					- TOP DRESS WITH 3" HARDWOOD ORGANIC MULCH	Sec. 5.9	Parking lot land	scaping.
EIGHT		1 1/4" x 2 1/2" x 10" STAKES DRIVEN		_			ORGANIC MULCH	A. greater		th more than two rows of parking lot in landscapin
	a de la de l	AT 120° ANGLE, THEN TIGHTENED TO VERTCAL. (MIN. 2 STAKES, OPTIONAL 3 STAKES).				/	- 3" HIGH WATERING BASIN	B.	If the parking and	maneuvering space exce ernal to the parking lot. N
		MIN. 3" DEEP HARDWOOD ORGANIC MULCH				$\prec$	_	1. 2.		g space may be located anted closer than 2½ feet
	PAR - PART	6" BERM TO HOLD WATER	×				- SCARIFY SIDES OF HOLE PRIOR TO PLANTING	3. All t	trees must be interna	al to the parking lot.
		BACKFILL W/ PREPARED PLANTING SOIL MIX					-FERTILIZER TABLETS AS SPECIFIED		1 Dimensions of	
		EXISTING SOIL					- COMPACTED BACKFILL MIXTURE AS SPECIFIED		Sec. 5.12 Requir	all be no less than five feo red landscaping.
	<u></u>	1/3 OF PLANTING BALL					- UNDISTURBED SUB-GRADE	A. 1.	Amount of landsca Minimum square for	aping. ootage requirements for
IOVE MUST HAVE A LID SOIL PEDESTAL		NOTE: PULL BACK MULCH BACK FROM BASE OF PLANTS					EXISTING SOIL - DO NOT REMOVE MUST HAVE A SOLID SOIL PEDESTAL		ollows. The requirem	nents shall be applied to t
								Comme	rcial 15	10
						тац		section 6	6. For example, the	ed for landscaping may be required percentage of 15
TREE PLANTIN	G DET/	AIL	D	SHRUB	PLANTING DE	TAIL		the term	s of section 6.	
PLANT SCI	HEDUL	E					SITE SUMMARY - CON	MERCIAL ZONING		
TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY	MITIGATION	C.	DESCRIPTION		LOT	
	CI	Chilopsis I `Lucretia Hamilton` / Desert Willow 3" cal. * ROCKWALL APPROVED TREE	B & B	1	3"		ОТ	12,383	PERCENTAGE	
And the second s	Pe	Pinus eldarica / Afghan Pine	B & B	1	6"		MPERVIOUS	10,323	84%	
The March and Ma		6" cal. * ROCKWALL APPROVED TREE	20" Box	1	2"		2 STORY OFFICE/PORCHES	2,247 7,783	18% 64%	
and the second s	Ss	Sophora secundiflora / Texas Mountain Laurel 2" cal.	20 803				PERVIOUS	2,060	16%	
	Vc	Vitex agnus-castus / Chaste Tree 3" cal.	B & B	1	3"		SIDEWALK / STAIRS MAX. BUILDING HEIGHT PROPOSED	293 27'-6"	2%	
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY			PARKING REQUIREMENTS	4,008 S.F.		
0							JEFICE (1.300 S.F.)			
(•)	Bmj	Buxus microphylla / Littleleaf Boxwood	3 gal	10			PARKING PROVIDED	14		all and a
No.	Bmj Hp	Hesperaloe parviflora / Red Yucca	3 gal 5 gal	10 10		F				
NUM AND						F	PARKING PROVIDED	14		
	Hp Lm	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT Lantana montevidensis `New Gold` / Gold Lantana	5 gal 1 gal	10 13		F	PARKING PROVIDED	14		
Mark Market	Нр	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT	5 gal 1 gal 5 gal	10		F	PARKING PROVIDED PARKING REQ'D	14		
	Hp Lm	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT Lantana montevidensis `New Gold` / Gold Lantana Leucophyllum frutescens `Green Cloud` / Texas Ranger	5 gal 1 gal	10 13		F	PARKING PROVIDED	14		
	Hp Lm Lg	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT Lantana montevidensis `New Gold` / Gold Lantana Leucophyllum frutescens `Green Cloud` / Texas Ranger * ROCKWALL APPROVED PLANT	5 gal 1 gal 5 gal	10 13		F	PARKING PROVIDED PARKING REQ'D	14		
	Hp Lm Lg Ls	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT Lantana montevidensis `New Gold` / Gold Lantana Leucophyllum frutescens `Green Cloud` / Texas Ranger * ROCKWALL APPROVED PLANT Ligustrum sinense `Sunshine` / Sunshine Ligustrum Loropetalum chinense `Purple Diamond` / Fringe Flower	5 gal 1 gal 5 gal 5 gal	10 13		F	PARKING PROVIDED PARKING REQ'D	14		
	Hp Lm Lg Ls Lp	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT Lantana montevidensis `New Gold` / Gold Lantana Leucophyllum frutescens `Green Cloud` / Texas Ranger * ROCKWALL APPROVED PLANT Ligustrum sinense `Sunshine` / Sunshine Ligustrum Loropetalum chinense `Purple Diamond` / Fringe Flower * ROCKWALL APPROVED PLANT	5 gal 1 gal 5 gal 5 gal 5 gal	10 13 9 6 3		F	PARKING PROVIDED PARKING REQ'D	14		-553-
	Hp Lm Lg Ls Lp Msc	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT Lantana montevidensis `New Gold` / Gold Lantana Leucophyllum frutescens `Green Cloud` / Texas Ranger * ROCKWALL APPROVED PLANT Ligustrum sinense `Sunshine` / Sunshine Ligustrum Loropetalum chinense `Purple Diamond` / Fringe Flower * ROCKWALL APPROVED PLANT Mahonia `Soft Caress` / Soft Caress Mahonia Miscanthus sinensis `Adagio` / Dwarf Maiden Grass * ROCKWALL APPROVED PLANT Muhlenbergia capillaris / Muhly Grass	5 gal 1 gal 5 gal 5 gal 5 gal 3 gal	10 13 9 6 3		F	PARKING PROVIDED PARKING REQ'D	14 14 NORTH		100.00'
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	Hp Lm Lg Ls Lp Msc Ma Mr Ph Ptv Rop Sg <u>CODE</u> Af Ch Dg	<ul> <li>Hesperaloe parviflora / Red Yucca <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>Lantana montevidensis 'New Gold / Gold Lantana</li> <li>Leucophyllum frutescens 'Green Cloud' / Texas Ranger <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>Ligustrum sinense 'Sunshine' / Sunshine Ligustrum</li> <li>Loropetalum chinense 'Purple Diamond' / Fringe Flower <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>Mahonia 'Soft Caress' / Soft Caress Mahonia</li> <li>Miscanthus sinensis 'Adagio' / Dwarf Maiden Grass <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>Muhenbergia capillaris / Muhly Grass <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>Muhenbergia capillaris / Muhly Grass <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>Muscanthus sinensis 'Adagio' / Dwarf Maiden Grass <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>Muscanthus sinensis 'Adagio' / Dwarf Maiden Grass <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>Muscanthus sinensis 'Adagio' / Dwarf Maiden Grass <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>Pennesetum a. 'Hameln' / Dwarf Fountain Grass <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>Pitosporum tobira 'Variegata' / Variegated Mock Orange</li> <li>Rosmarinus officinalis 'Prostratus' / Trailing Rosemary <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>BOTANICAL / COMMON NAME</li> <li>Agave ovatifolia 'Frosty Blue' / Whale's Tongue Agave</li> <li>DTANICAL / COMMON NAME</li> <li>Cynodon dactylon '419 Hybrid' / Bermuda Grass <ul> <li>ROCKWALL APPROVED PLANT</li> </ul> </li> <li>Decomposed Granite 1/4" minus screened Orange D.G. over filter fabric</li> </ul>	5 gal 1 gal 5 gal 5 gal 5 gal 5 gal 5 gal 5 gal 5 gal 1 gal 3 gal 3 gal <u>SIZE</u> 5 gal <u>SIZE</u> 5 gal 2 gal	10 13 9 6 3 11 1 9 13 20 6 3 20 6 3 <u>QTY</u> 2 <u>QTY</u> 2 94 sf 163 sf			PARKING PROVIDED	14       14       14       NORTH       Nos       2-STORY       1       4,00	OFFICE BUILDIN 08 SQ. FT.	

B PLANT SCHEDULE

## APE STANDARDS:

Ith of ten feet, must be provided along the entire length of the property to be lector street, as defined in the city's thoroughfare plan, exclusive of driveways and be provided in the required buffer in numbers equal to one tree for each 50 feet of

osed development shall be improved with grass or ground cover material and shall eveloper to design the irrigation system within the lot to ensure that the grass ed and to ensure that minimal water will enter the street itself. The designer of the ate proposed width of the street when designing the system. The plans for design of prior to installation.

of spaces shall have a minimum of five percent or 200 square feet, whichever is ing. Such landscaping shall be counted toward the total landscaping. ceeds 20,000 square feet one large canopy tree for every ten required parking No tree shall be planted closer than 21/2 feet to the pavement.

d more than 80 feet from the trunk of a large canopy tree. et to the pavement.

eet wide and a minimum of 25 square feet in area unless it is within ten feet of the

r landscaping shall be provided and maintained in the zoning districts set forth as the total site area to be developed:

be reduced by no more than five percent in accordance with the provisions of f 15 percent for commercial zoning could be reduced to a total of ten percent under

Know what's Deloy

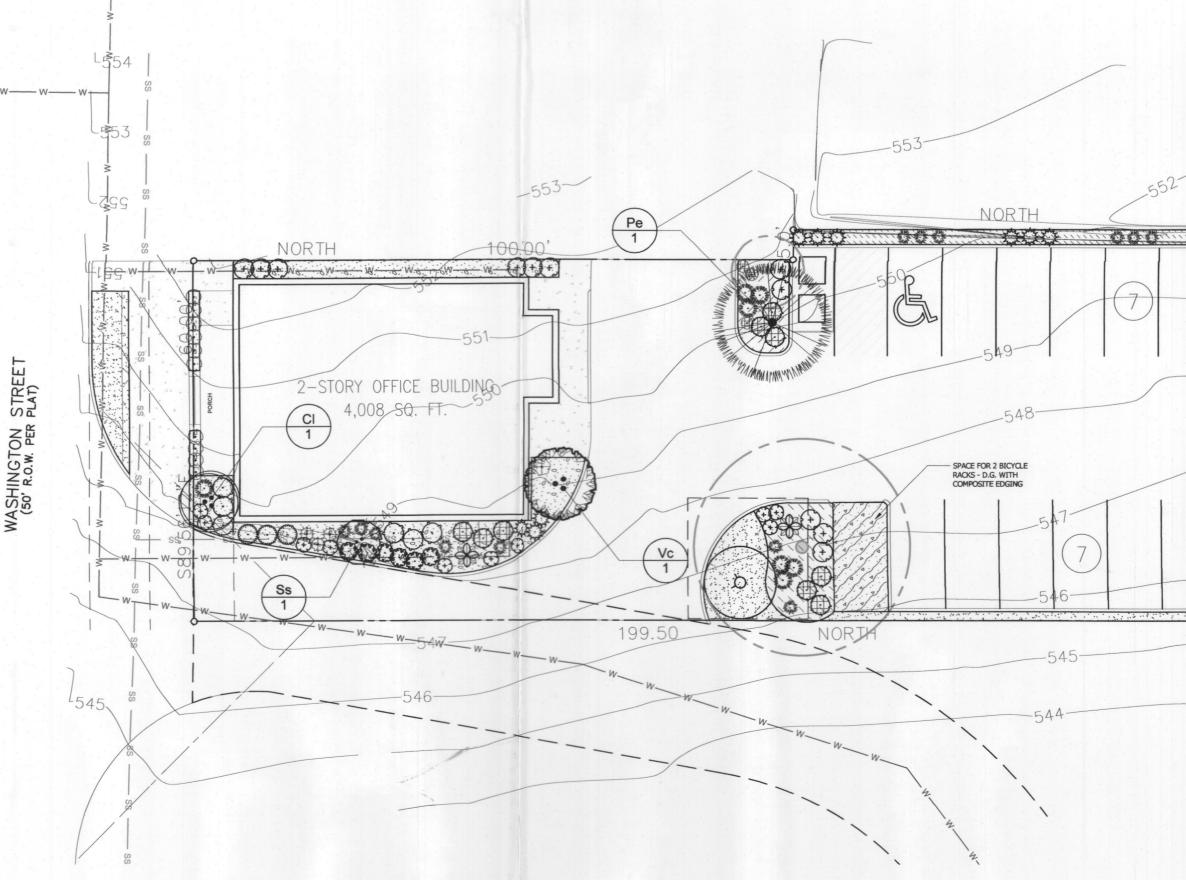
**Call before you dig** 

**REQUIRED PLANTINGS** 

## A. STREET TREES:

THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A 8 STATION SMART CONTROLLER WITH WI-FI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION, BACKFLOW, WYE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF ROCKWALL STANDARD IRRIGATION REQUIREMENTS.

NOTE:



Location of landscaping. No less than 50 percent of the total requirement shall be located in front of and along side buildings with street frontage in the following zoning districts: "MF-14," "RO," "NS," "GR," "C" and "RT." One hundred percent of the total requirement shall be located in front of and along side buildings with street frontage in the following zoning districts: "HC," "LI," "HI."

Detention basins. Detention basins shall be landscaped in a natural manner using ground cover, grasses, shrubs and trees in all dry land areas. There shall be a minimum of one tree for each 750 square feet of dry land area.

**SECTION 6. - LANDSCAPE CREDITS** 

A.

B.

A.

B.

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Credits toward achieving landscape requirements may be achieved as follows.

Sec. 6.1. - Credit for required landscape buffer-strips between residential and nonresidential zoning.

The overall landscaping requirement may be reduced by 2.5 percent when the buffer-strip, whether required or not, has a minimum average width of 15 feet or greater and contains at least one large tree every 40 feet, or large shrubs at least every ten feet the entire length of the perimeter adjacent to property with residential zoning. This perimeter must equal at least 25 percent of the total perimeter of all adjacent private property. Sec. 6.2. - Credit for surface parking screening.

The overall landscaping requirement may be reduced by 2.5 percent when a surface parking lot located adjacent to a public street is screened as follows:

The screen must be voluntary, not required by this Unified Development Code.

The screening must be located along the entire length of street frontage of the parking lot, exclusive of driveways, accessways, and visibility triangles. Visibility triangles will be maintained at all driveway intersections.

The screening must be at least three feet in height utilizing only evergreen planting materials, berms, and/or masonry walls. The adjacent street must be generally at the same grade level of the parking lot or below for such credit to qualify. Sec. 6.3. - Credit for right-of-way landscaping. ROCKWALL LANDSCAPE STANDARDS

The overall landscaping requirement may be reduced by 2.5 percent when the public right-of-way adjacent to a proposed development is landscaped meeting the following requirements:

All landscaping in the right-of-way shall be provided sufficient irrigation for maintenance.

Plants used in landscaping in the right-of-way shall only be varieties included on the approved plant list.

The plan for landscaping in right-of-way shall be submitted and approved by the city prior to any work being done in the right-of-way. In certain cases, the city may determine that landscaping in the right-of-way may be infeasible and in such cases this credit shall not

Landscaping shall include ground cover, shrubs, trees and/or other plant materials and must cover at least 50 percent of the adjacent right-of-way, exclusive of driveways, to qualify for this credit. Grass alone shall not qualify for this credit. If the city has an adopted landscape plan for the street adjacent to the proposed project, any proposed improvements must be in

compliance with said plan. Sec. 6.4. - Credit for xeriscaping. The overall landscaping requirement may be reduced by 2.5 percent when the planning director or his/her designee determines that the

standards stipulated by section 5.10, xeriscaping standards, of this article have been satisfied.

1 TREE FOR EVERY 50 L.F. OF FRONTAGE W Washington Street - 60 / 50 = 1.2

(1) 3" TREE REQUIRED (1) 3" TREE PROVIDED

NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES

(+)(+)(+)

### **APPROVED:**

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY of ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY of ROCKWALL ON THE 15 DAY OF September, 2020. WINTESS OUR HANDS, THIS 15 DAY OF September, 2020.

ANKING AND ZONING COMMISSION

birector of planning and zoning

OWNER/DEVELOPER: LMGC, LLC JIMMY McCLINTOCK (972)983-2222 3021 RIDGE RD. ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER: ARCHITECTONICS TEXAS, LLC ROSS RAMSAY (214)536 - 53062235 RIDGE RD. STE 201 ROCKWALL, TEXAS 75087

SCALE: 1/16" = 1'-0"

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NORTH

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C

**GRAPHIC SCALE** 

16'

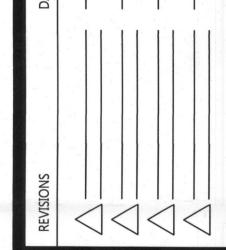
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407 W WASHINGTON LANDSCAPE PLANS

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LD HOT ROC 20-10-103 JOB#:

SEPTEMBER 11, 2020

L2.1

The intent of this drawing is to show existing trees to be preserved or removed in order to develop the proposed project. Property owner will be responsible for any fees or penalties owed at the discretion of The City of Rockwall. Demolition contractor is responsible for ensuring all required permits and paperwork from the City of Rockwall are in place before beginning demolition.

Refer to The City of Rockwall - Article IX - TREE PRESERVATION

also The City of Rockwall - Article VIII - LANDSCAPE STANDARDS

THERE IS ONE EXISTING FEATURE TREES ON THIS SITE (ie. 25" caliper or more of the protected species) THAT TREE IS TO BE **REMOVED - THE TREE IS DAMAGED AND ROTTING.** 

#### NOTE:

ALL BOUNDARY TREES ALONG THE SOUTH PROPERTY LINE ARE TO REMAIN. PROTECT ANY TREES THAT ARE CLOSE PROXIMITY TO GRADING OR CONSTRUCTION ACTIVITIES.

SECTION 5. - TREE MITIGATION REQUIREMENTS

The tree mitigation requirements shall apply for all properties that do not fall under the exemptions listed in section 1.3, Exemptions, of this article. In addition, if a treescape plan or tree removal permit allows for the removal of a protected or feature tree(s), the applicant and/or property owner shall account for the number of inches of tree being removed using the following criteria:

- 1. Primary protected trees. Primary protected trees measuring four inches through 25 inches DBH shall be replaced on an inch-for-inch basis (i.e. the total number of caliper inches of tree being replaced shall equal the total number of caliper inches being removed).
- 2. Secondary protected trees. Hackberry and cedar trees measuring 11 inches through 25 inches DBH shall be replaced with a half-inch for every inch removed (i.e. the total number of caliper inches of tree required to be replaced shall be half (1/2) of the inches being removed).
- 3. Featured trees. Featured trees (i.e. all trees greater than 25 inches) shall be replaced with twice the number of inches being removed (i.e. the total number of caliper inches of tree being replaced shall be twice the number of caliper inches being removed).
- 4. Non-protected tree. No mitigation will be required for the removal of any tree that is less than four inches DBH or less than 11 inches DBH for hackberry and cedar trees. In addition, no mitigation shall be required for the removal of Bois d'Arc, willow, cottonwood, locust and Chinaberry trees.
- 5. Tree preservation credits. For each saved oak, pecan or elm tree(s) 25 inches DBH or greater the mitigation balance can be reduced on an inch-for-inch basis for up to 20 percent of the total mitigation balance (i.e. total mitigation balance × 20 percent = Total eligible tree preservation credit).
- 6. Mitigation balance. The total mitigation balance (i.e. mitigation balance tree preservation credits = total mitigation balance) may be satisfied through one or a combination of the following:
- (a) The developer/property owner can provide the required number of trees--three-inch caliper DBH minimum--on the subject property to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be planted on-site to satisfy the mitigation requirements).
- (b) The developer/property owner may petition the parks and recreation department to accept the required number of trees--three-inch caliper DBH minimum-to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be submitted to the parks and recreation department to satisfy the mitigation requirements). Depending on the number of trees being submitted the director of parks and recreation or his/her designee could require a facilities agreement be approved prior to accepting the trees.
- (c) Tree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20 percent of the total replacement inches (e.g. if total mitigation required was 100 inches the developer/property owner could pay a total of \$4,000.00 (i.e. (20% × 100) × \$200.00 = \$4,000.00) into the city's tree fund; however, the developer/property owner would still be required to satisfy a remaining tree mitigation balance of 80 inches). In addition, if the developer/property owner plants a tree on (i) the property for which the tree preservation credit was assessed or (ii) a location that is mutually agreed upon by the city and the developer/property owner, the developer/property owner shall be eligible for a reduction in the cost of tree preservation credits of up to 50 percent. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.
- (d) Trees required by article VIII, landscape standards, of this Unified Development Code shall be permitted to be subtracted from the total mitigation balance if provided on site as part of the required landscaping.
- 7. Alternative tree mitigation settlement agreements. In certain cases, the city council--upon recommendation from the planning and zoning commission--may consider an alternative tree mitigation settlement agreement where, due to hardship, the applicant is unable to meet the requirements of this article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.



TREES TO BE PRESERVED

### TREE PROTECTION SCHEDULE

TF NO.	SCIENTIFIC NAME	ON SCHEDULE COMMON NAME	ΤΥΡΕ	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
(01)	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1:0.5	12"	PROTECT
02	Fraxinus texensis	Texas Ash	PROTECTED	STANDARD	8"	1:1	8"	PROTECT
03	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
04	Carya texana	Black Hickory	PROTECTED	STANDARD	17"	1:1	17"	PROTECT
05	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
06	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	8"	1 : 0.5	4"	PROTECT
07	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
08	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	13"	1 : 0.5	6.5"	PROTECT
Т	OTAL CALIPER INCHES	OF TREES TO BE PR	RESERVED:				66.5"	

TREES TO BE REMOVED

## TREE REMOVAL SCHEDULE

	REE REMOVAL S	CHEDULE COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
	Quercus sp	Oak	PROTECTED	STANDARD	12"	1:1	12"	REMOVE
B	Lagerstroemia indica	Crape Myrtle	PROTECTED	MULTI	7"	1:1	7"	REMOVE
C	Quercus sp	Oak	PROTECTED	STANDARD	9"	1:1	9"	REMOVE
0	Celtis occidentalis	Hackberry	DAMAGED	STANDARD	26"	1:0.0	0"	REMOVE
E	Ligustrum lucidum	Glossy Privet	PROTECTED	MULTI	12"	1:1	12"	REMOVE
F	Zanthoxylem clava-herculis	Tickle Tongue Tree	PROTECTED	STANDARD	7"	1:1	7"	REMOVE
G	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	16"	1:0.5	8"	REMOVE
H	Quercus sp	Oak	PROTECTED	STANDARD	12"	1:1	* 0"	REMOVE
-								
T	OTAL CALIPER INCHES O	OF TREES TO BE RE	MOVED:				55"	

### TOTAL CALIPER INCHES OF TREES TO BE REMOVED:

\$1,100 to be paid to The City of Rockwall tree fund.

44" minimum to be planted as mitigation

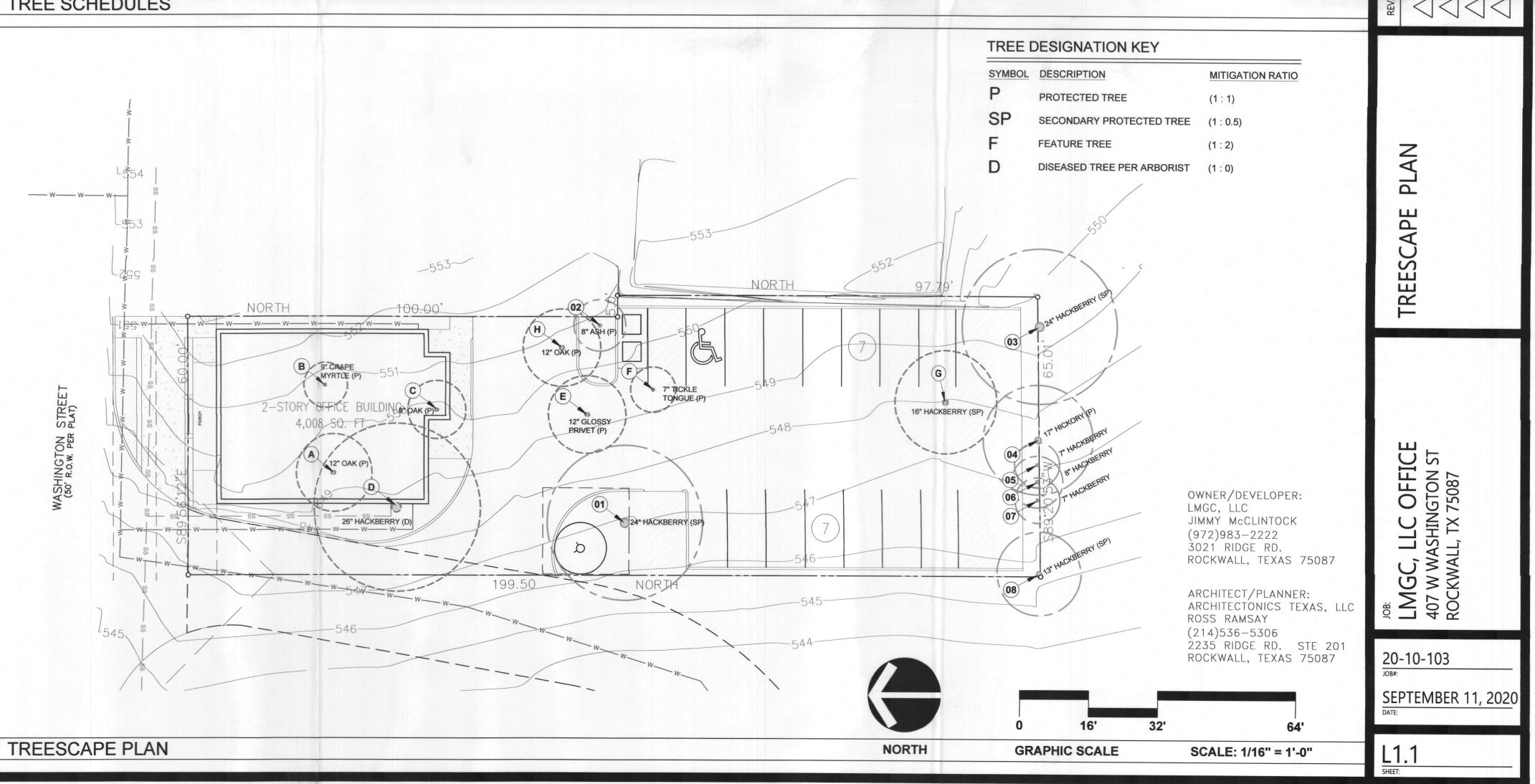
55" x 80% = 44

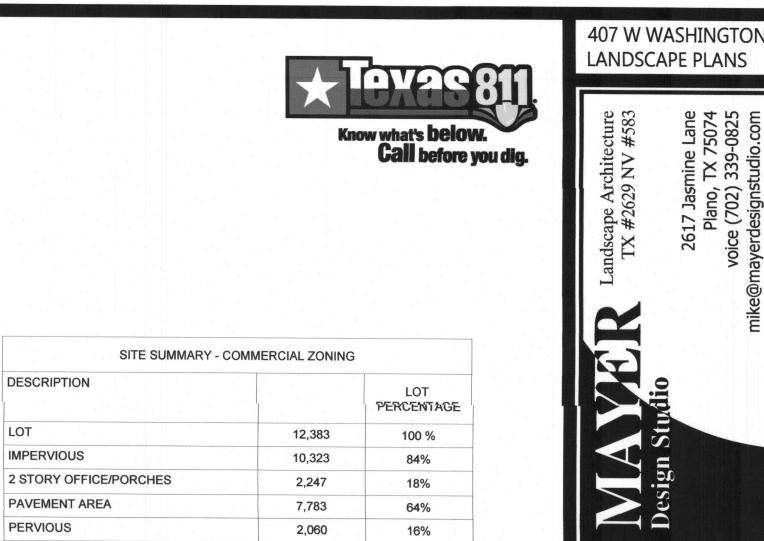
 $55'' \times 20\% = 11 \times $100 = 1,340$ 

The City of Rockwall has agreed to waive mitigation requirements on tree 'H' - 12" Oak.

Tree 'D' is diseased and should be removed to prevent property damage.

### **B** TREE SCHEDULES





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293

27'-6"

4,008 S.F.

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I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY of ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY of ROCKWALL ON THE S DAY OF September, 2020.

yllip

RECTOR OF PLANNING AND ZONING

WINTERS OUR HANDS, THIS 15 DAY OF September 2020 PLANNING AND ZONING COMMISSION

DESCRIPTION

**IMPERVIOUS** 

PERVIOUS

PAVEMENT AREA

SIDEWALK / STAIRS

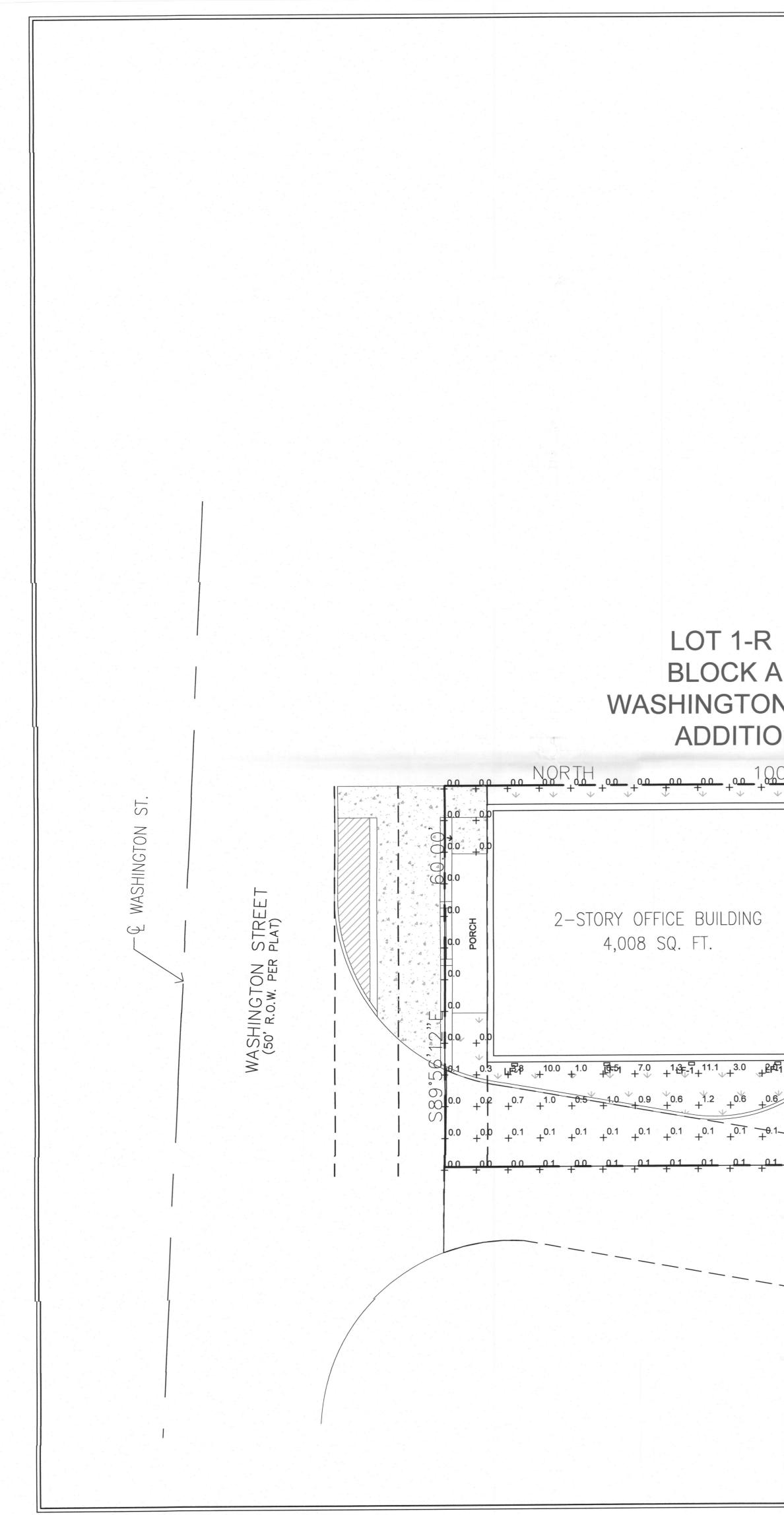
OFFICE (1:300 S.F.)

PARKING PROVIDED

PARKING REQ'D

PARKING REQUIREMENTS

MAX. BUILDING HEIGHT PROPOSED



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CONTRUCTION CAST-aluminum housing with corrosion-resistant paint in either dark bronze or white finish. ADA compliant.	Notes COLOR - BLACK	C)
<ul> <li>DOTICS</li> <li>4000K CCT LEDs.</li> <li>Polycarbonate lens protects the LED from moisture, dirt and other contaminants.</li> <li>LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED III Lighting Facts label on page 2 for performance details.</li> <li>ELECTRICAL</li> <li>MVOLT driver operates on any line voltage from 120-277V</li> <li>Operating temperature -30°C to 40°C.</li> <li>TKV surge protection standard.</li> <li>INSTALLATION</li> <li>Surface mounts to universal junction box (provided by others).</li> <li>LISTINGS</li> <li>UL Listed to U.S. and Canadian safety standards for wet locations.</li> <li>Tested in accordance with IESNA LM-79 and LM-80 standards.</li> <li>WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions</li> <li>Note: Actual performance may differ as a result of end-user environment and application.</li> <li>All values are design or typical values, measured under laboratory conditions at 25 °C.</li> <li>Specifications subject to change without notice.</li> </ul>		ARCHITECTONICS TEXAS, LLC ARCHITECTURE - MANAGEMENT 2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087
ORDERING INFORMATION         For shortest lead times, configure products using bolded op           Series         Performance Package         Color temperate           OLLWD LED         Downlight         P1         40K         4000K		DATE
DECORATIVE INDOOR & OUTDOOR	OLLWD-OLLWU	
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$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	E & ALLEN OCK 6 (EMPT	PROJECT NAME AND ADDRESS: LMGC, LLC OFFIC 407 W WASHINGTON ROCKWALL, TX 75087
$D_{1}^{0} \rightarrow 0^{0} \rightarrow $	SITE PLAN FOR A	PROJECT No.
IN THE CITY of ROCKWALL, TEXAS, WAS G AND ZONING COMMISSION OF THE CITY OF <u>September</u> , <u>2020</u> . HANDS, THIS <u>IS</u> DAY OF <u>September</u> , 2	f of ROCKWALL ON	DRAWN BY CHECKED BY DATE 09/02/2020 SCALE
ONING COMMISSION DIRECTOR OF PL	ANNING AND ZONING OWNER/DEVELOPER: LMGC, LLC JIMMY McCLINTOCK (972)983-2222 3021 RIDGE RD. ROCKWALL, TEXAS 75087	DRAWING NAME: PHOTOMETRIC PLAN
SITE PLA SCALE: 1"=10"	ARCHITECT /PI ANNER	P1.0 SP2020-017



- DATE: February 26, 2025
- TO: Jimmy McClintock 3021 Ridge Road Rockwall, Texas 75032
- FROM: Bethany Ross City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, TX 75087
- SUBJECT: SP2025-003; Amended Site Plan for 407 W. Washington Street

Jimmy,

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on February 25, 2025. The following is a record of all recommendations, voting records:

#### Planning and Zoning Commission

On February 25, 2025, the Planning and Zoning Commission approved a motion to approve the *Amended Site Plan* by a vote of 5-0, with Commissioners Deckard and Thompson absent.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me at (972) 772-6488.

Sincerely,

Bethany Ross, *Planner* City of Rockwall Planning and Zoning Department