



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

407 W. WASHINGTON ST Rockwall TX 75082

SUBDIVISION

Lowe & Allen Addition

LOT

212

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

R-1

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Hubb Properties LP

APPLICANT

CONTACT PERSON

Jimmy McClinton

CONTACT PERSON

ADDRESS

3021 Ridge Rd Aubrey

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75082

CITY, STATE & ZIP

PHONE

972-443-7222

PHONE

E-MAIL

luc@we@gmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jimmy McClinton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 600.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF February, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

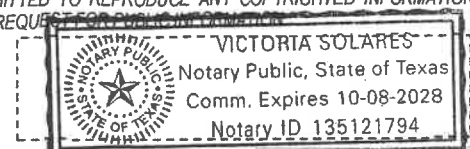
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF February, 2025.

OWNER'S SIGNATURE

Jimmy McClinton

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Victoria Solares



MY COMMISSION EXPIRES



ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087

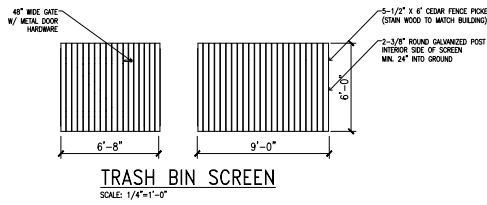
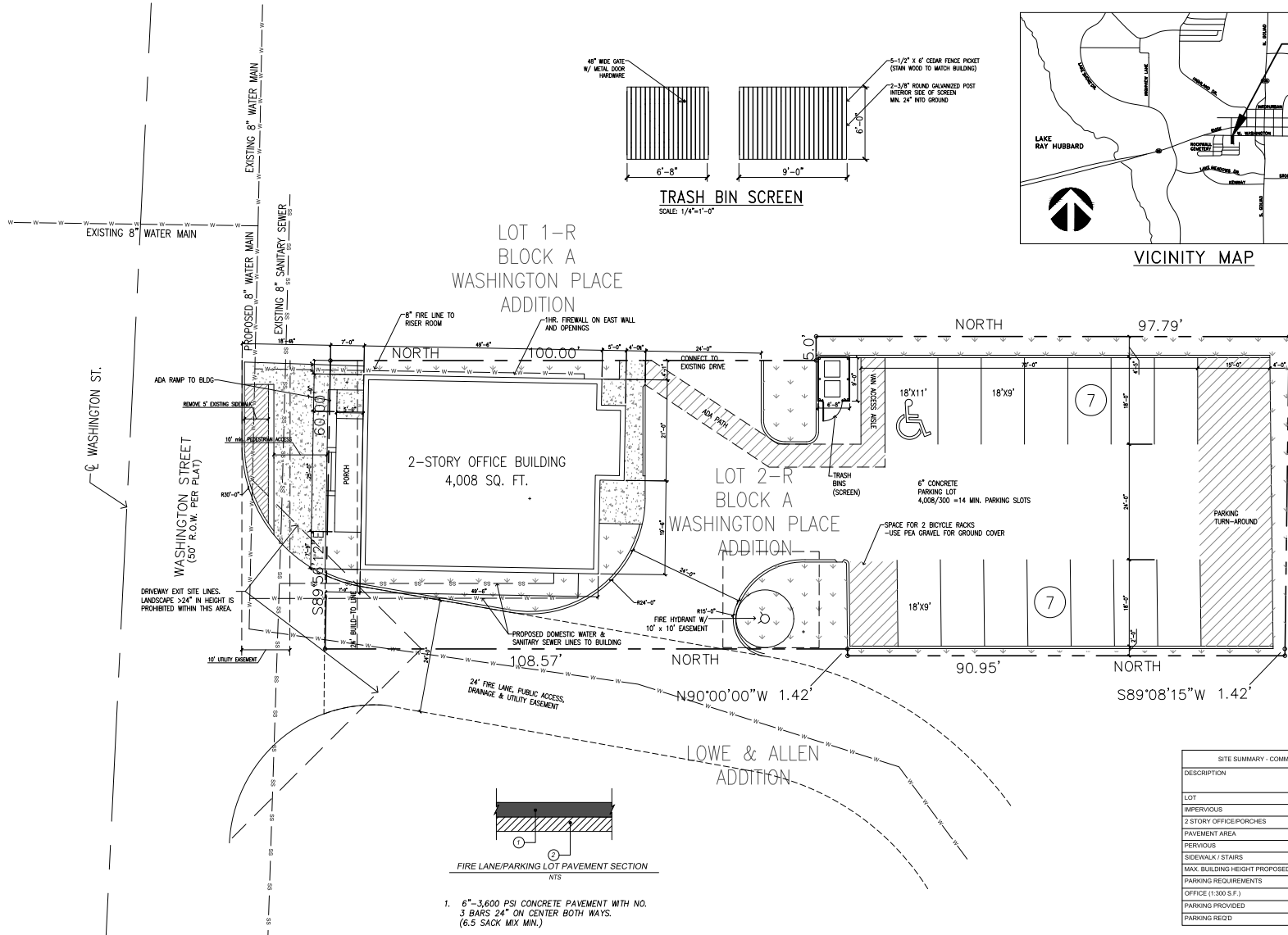
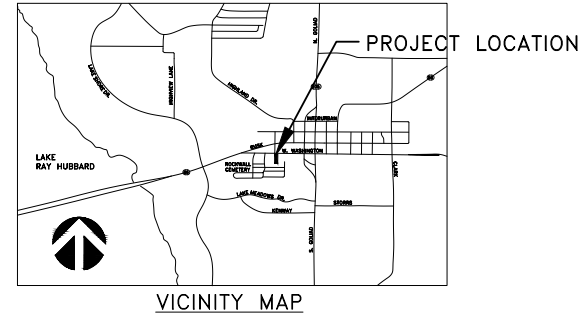


REV.	DATE	DESCRIPTION
1		RESPONSE TO CITY COMMENTS

PROJECT NAME AND ADDRESS:
LMCC, LLC OFFICE
 407 W WASHINGTON
 ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	06/28/2021
SCALE	1" = 10'
SHEET No.	of

DRAWING NAME:
SITE PLAN
 S1.0
 SP2020-017



CITY CEMETARY
 LOWE & ALLEN
 BLOCK 6
 EXEMPT

SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION	LOT	PERCENTAGE
LOT	12,363	100 %
IMPERVIOUS	10,323	84%
2 STORY OFFICE/PORCHES	2,247	18%
PAVEMENT AREA	7,783	64%
PERVIOUS	2,080	16%
SIDEWALK/ STAIRS	293	2%
MAX. BUILDING HEIGHT PROPOSED	27'-6"	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,008 S.F.	
PARKING PROVIDED	14	
PARKING REQ'D	14	

FIRE LANE/PARKING LOT PAVEMENT SECTION
 NTS

- 6" - 3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 2021.
 WITNESS OUR HANDS, THIS _____ DAY OF _____, 2021.

BUILDERS COPY
 Keep On Job Site At All Times
 For Inspection Use

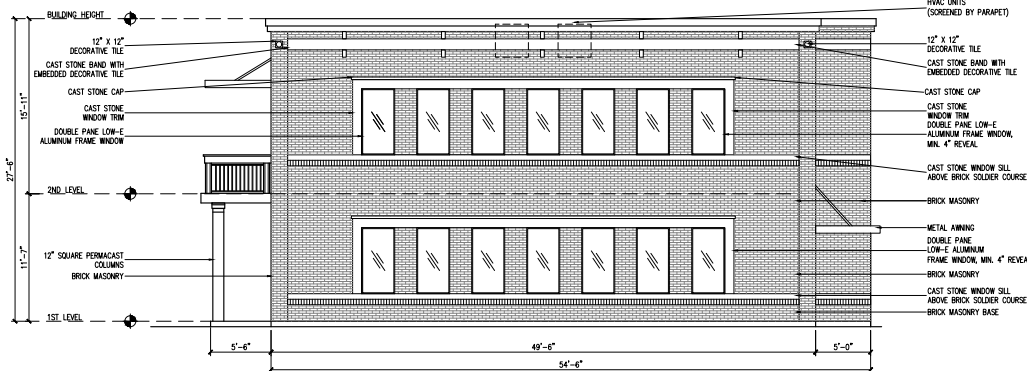


SITE PLAN
 SCALE: 1"=10'

OWNER/DEVELOPER:
 LMCC, LLC
 JIMMY MCCLINTOCK
 (972)983-2222
 3021 RIDGE RD.
 ROCKWALL, TEXAS 75087

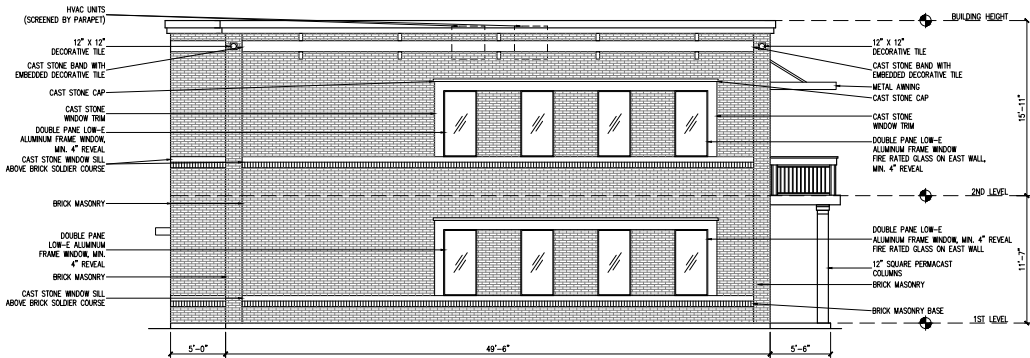
ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (214)536-5306
 2235 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING



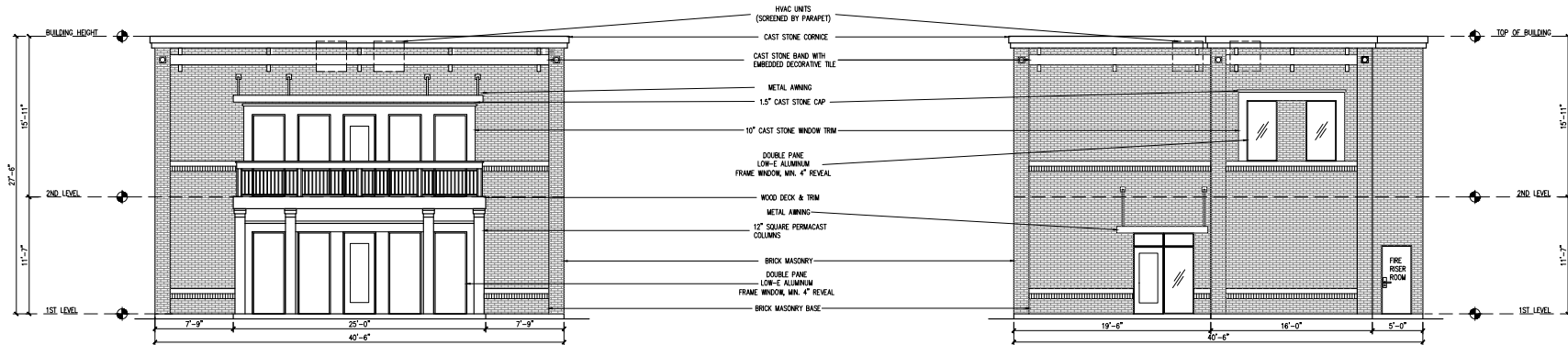
WEST ELEVATION

SCALE: 3/16" = 1'



EAST ELEVATION

SCALE: 3/16" = 1'



NORTH ELEVATION (FACING W. WASHINGTON)

SCALE: 3/16" = 1'

SOUTH ELEVATION

SCALE: 3/16" = 1'

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		216	
ACCOUNTABLE AREA		1,370	100%
MASONRY - BRICK		1,176	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		144	
ACCOUNTABLE AREA		1,442	100%
MASONRY - BRICK		1,248	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - NORTH (FACING WASHINGTON)			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		294	
ACCOUNTABLE AREA		863	100%
MASONRY - BRICK		621	72%
CAST STONE		242	28%

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		219	
ACCOUNTABLE AREA		908	100%
MASONRY - BRICK		790	86%
CAST STONE		128	14%

APPROVED:

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WITNESS OUR HANDS, THIS ____ DAY OF ____

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

BUILDERS COPY

Keep On Job Site At All Times
For Inspection Use



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



DATE	REVISION
06/28/2021	1 RESPONSE TO CITY COMMENTS

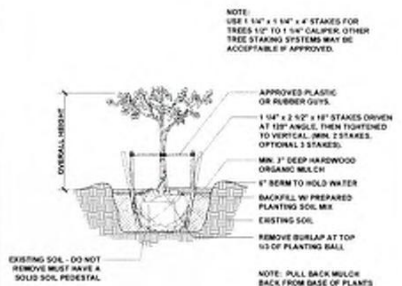
PROJECT NAME AND ADDRESS:
LMGC, LLC OFFICE
407 W WASHINGTON
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	06/28/2021
SCALE	
SHEET NO.	08
DRAWING NAME:	

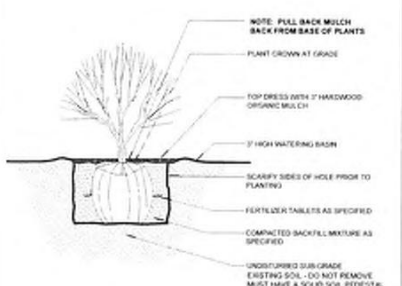
ELEVATIONS

A2.0

SP2020-017



C TREE PLANTING DETAIL



D SHRUB PLANTING DETAIL

EXCERPTS FROM ROCKWALL LANDSCAPE STANDARDS

Sec. 5.7 - Street Landscaping

A street landscape buffer strip with a minimum width of ten feet, must be provided along the entire length of the property to be developed that is adjacent to a major arterial or collector street, as defined in the city's comprehensive plan, exclusive of driveways and access ways. Large trees, as herein defined, shall be provided in the required buffer in numbers equal to one tree for each 50 feet of street frontage.

Sec. 5.8 - Right-of-way Landscaping Requirements

All street lights of any located adjacent to the proposed development shall be provided with grass or ground cover material and shall be maintained. It shall be the responsibility of the developer to design the irrigation system within the lot to ensure that the grass placed in the right-of-way is watered and maintained and to ensure that normal water will enter the street duct. The designer of the irrigation system shall have the design on the ultimate proposed width of the street when designing the system. The plans for design of the irrigation system shall be approved by the city prior to installation.

Sec. 5.9 - Parking lot landscaping

A. Any parking lot with more than two rows of spaces shall have a minimum of five percent or 200 square feet, whichever is greater, in the interior of the parking lot in landscaping. Such landscaping shall be contained toward the lot landscaping.

B. If the parking and maneuvering space exceeds 20,000 square feet one large canopy tree for every ten required parking spaces shall be required adjacent to the parking lot. No tree shall be planted closer than 21 feet to the pavement.

1 No required parking space may be located more than 80 feet from the trunk of a large canopy tree.

2 No tree may be planted closer than 25 feet to the pavement.

3 All trees must be adjacent to the parking lot.

Sec. 5.11 - Distribution of Landscaping

All required landscaping shall be no less than ten feet wide and a minimum of 25 square feet in area unless it is within ten feet of the building.

Sec. 5.12 - Required Landscaping

A. Amount of Landscaping

- Minimum square footage requirements for landscaping shall be provided and maintained in the zoning districts set forth as follows. The requirements shall be applied to the total site area to be developed.

Commercial 15 33

The total site area required for landscaping may be reduced by no more than five percent in accordance with the provisions of section 6. For example, the required percentage of 15 percent for commercial zoning could be reduced to a total of ten percent under the terms of section 6.

A. Location of Landscaping: No less than 50 percent of the total requirement shall be located in front of and along side buildings with street frontage in the following zoning districts: "M", "L", "C", "T", and "H". One hundred percent of the total requirement shall be located in front of and along side buildings with street frontage in the following zoning districts: "H1", "L1", "L2", "H2", and "H3".

B. Selection of Trees: Selection trees shall be landscaped in a natural manner using ground cover, grasses, shrubs and trees in all dry land areas. There shall be a minimum of one tree for each 150 square feet of dry land area.

SECTION - LANDSCAPE CREDITS

Credits toward achieving landscape requirements may be achieved as follows:

Sec. 6.3 - Credits for required landscape buffer strips between residential and nonresidential zoning.

The overall landscaping requirement may be reduced by 2.5 percent when a parking lot located adjacent to a public street is landscaped as follows:

- The system must be inventory, not required by this Unified Development Code.
- The screening must be located along the entire length of street frontage of the parking lot, exclusive of driveways, accessways, and visibility triangles. Visibility triangles will be maintained at all driveway intersections.
- The screening must be at least three feet in height utilizing only evergreen planting materials, bushes, and/or masonry walls.
- The adjacent street must be generally at the same grade level of the parking lot or below for each credit to qualify.

Sec. 6.3 - Credit for right-of-way landscaping - ROCKWALL LANSCLAPING STANDARDS

The overall landscaping requirement may be reduced by 2.5 percent when the public right-of-way adjacent to a proposed development is landscaped meeting the following requirements:

- All landscaping in the right of way shall be provided sufficient irrigation for maintenance.
- Plants used in landscaping in the right-of-way shall only be varieties included on the approved plant list.
- The plan for landscaping in-right-of-way shall be submitted and approved by the city prior to any work being done in the right-of-way.
- In certain cases, the city may determine that landscaping in the right-of-way may be infeasible and in such cases this credit shall not apply.
- Landscaping shall include ground cover, shrubs, trees and/or other plant materials and must cover at least 50 percent of the adjacent right-of-way, exclusive of driveways, to qualify for this credit. Grass areas shall not qualify for this credit.
- If the city has an adopted landscaping plan for the street adjacent to the proposed project, any proposed improvements must be in compliance with said plan.

The overall landscaping requirement may be reduced by 2.5 percent when the planning director or his/her designee determines that the standards established by section 5.10, landscaping standards, of this article have been satisfied.

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT.	QTY	MITIGATION
	01	Chippewa / Lucretia Hamilton / Desert Willow 2" cal. *ROCKWALL APPROVED TREE	8.8.9	1	3"
	P6	Pinus edulis / Palau Pine 1 1/2" cal. *ROCKWALL APPROVED TREE	8.8.9	1	6"
	26	Sophora secundiflora / Texas Mountain Laurel 2" cal.	20' Box	1	2"
	V6	Viburnum acerifolium / Chaste Tree 2" cal.	8.8.9	1	3"
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	B9	Buxus microphylla / Lateral Boxwood	3 gal.	10	
	10	Hesperaloe parviflora / Red Yucca *ROCKWALL APPROVED PLANT	5 gal.	10	
	19	Lantana montevidensis - New Gold / Gold Lantana	5 gal.	13	
	18	Leucosiphum fulvescens - Green Cloud / Texas Ramper *ROCKWALL APPROVED PLANT	5 gal.	9	
	L3	Ligustrum sinense - Sunshiner / Sunshiner Ligustrum	5 gal.	8	
	L6	Conoclinium coelestinum - Prairie Diamond / Fringe Flower *ROCKWALL APPROVED PLANT	5 gal.	3	
	M6	Melissa - Soft Canes / Soft Canes Melissa	3 gal.	11	
	M4	Mocimetus tenuis - Adagio / Desert Maiden Grass *ROCKWALL APPROVED PLANT	5 gal.	1	
	M	Muhlenbergia capillaris / Muly Grass *ROCKWALL APPROVED PLANT	3 gal.	9	
	P6	Panicum a - Hameln / Desert Fountain Grass *ROCKWALL APPROVED PLANT	5 gal.	13	
	PV	Pithecolobium tobira - Viregata / Viregated Mock Orange	5 gal.	20	
	Rg	Rosemarinus officinalis - Prostratus - Trailing Rosemary *ROCKWALL APPROVED PLANT	1 gal.	6	
	Sg	Salvia greggii - Pink / Pink Autumn Sage	3 gal.	3	
GRASS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	A1	Agave ovatifolia - Freshly Blue / White's Tongue Agave	5 gal.	2	
GROUND COVER	CODE	BOTANICAL / COMMON NAME	CONT.	QTY	
	Ch	Cynodon dactylon - 419 Hybrid / Bermuda Grass *ROCKWALL APPROVED PLANT	661	294 sf	
	Dg	Decomposed Granite 1/4" minus screened Orange D.G. over filter fabric	2" deep	163 sf	
	Hs	Hardwood / Mulch	2" deep	834 sf	
	Ts	Terra Black / S/P	2" deep	663 sf	

B PLANT SCHEDULE

SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT	PERCENTAGE
LOT	12,383	100%
IMPERVIOUS	10,323	84%
2 STORY OFFICE/RETAIL	2,247	18%
PAVEMENT AREA	7,763	64%
PORVIOUS	2,566	16%
SIDEWALK - STAIRS	250	2%
MAX. BUILDING HEIGHT PROPOSED	27'-0"	
PARKING REQUIREMENTS	4,000 S.P.	
OFFICE/300 S.P.		
PARKING PROVIDED	14	
PARKING REQ'D	14	



REQUIRED PLANTINGS

A. STREET TREES: 1 TREE FOR EVERY 50 L.F. OF FRONTAGE W Washington Street - 60 / 50 = 1.2 (1) 3" TREE REQUIRED (1) 3" TREE PROVIDED

THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A 8-STATION SMART CONTROLLER WITH WIFI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION: BACKFLOW WYE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF ROCKWALL STANDARD IRRIGATION REQUIREMENTS.

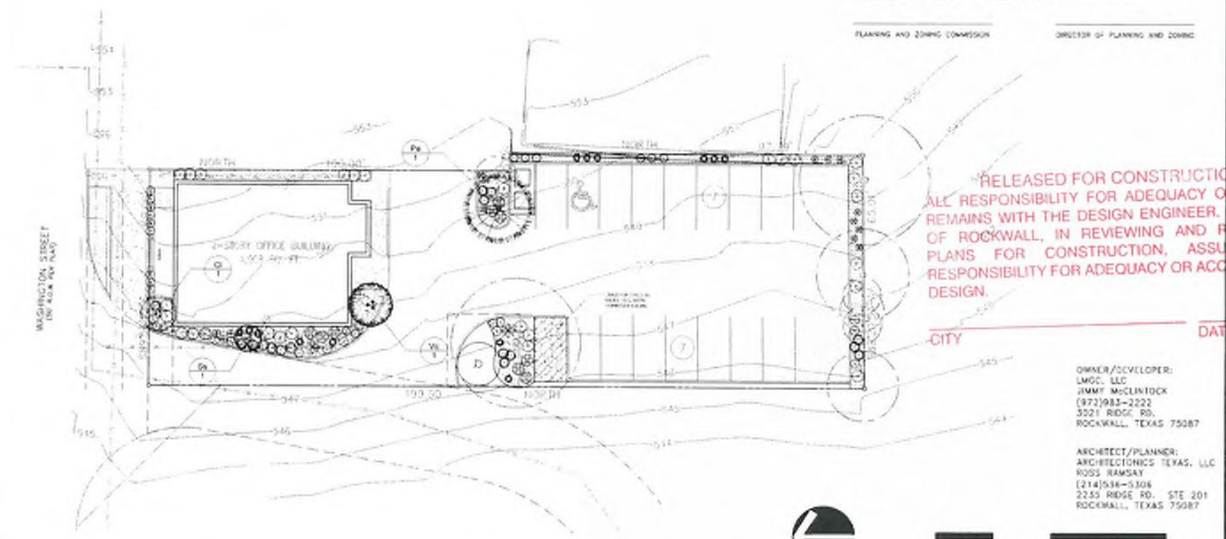
NOTE: NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____

WITNESS OUR HANDS, THIS ___ DAY OF _____

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING



A PLANTING PLAN

NORTH
GRAPHIC SCALE
SCALE: 1/16" = 1'-0"

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING THESE PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER/DEVELOPER:
LMGC, LLC
21455 WASHINGTON ST
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
8025 RAUSAY
(214)538-5308
2255 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087

407 W WASHINGTON
LANDSCAPE PLANS

MAYER
LANDSCAPE STUDIO

2682 Jansen Lane
Rockwall, TX 75087
voice (972) 339-6825
mike@mayerlandscapestudio.com

ROCKWALL LANDSCAPE PLANNING COMMISSION
STATE OF TEXAS

PLANNING PLAN

DATE: _____

SCALE: 1/16" = 1'-0"

20-10-103
SEPTEMBER 11, 2020

L2.1

TREES TO BE PRESERVED

TREE PROTECTION SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
1	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
2	Fraxinus texensis	Texas Ash	PROTECTED	STANDARD	8"	1 : 1	8"	PROTECT
3	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
4	Carya texana	Bishk Honey	PROTECTED	STANDARD	17"	1 : 1	17"	PROTECT
5	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
6	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	8"	1 : 0.5	4"	PROTECT
7	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
8	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	13"	1 : 0.5	6.5"	PROTECT
TOTAL CALIPER INCHES OF TREES TO BE PRESERVED							69.2"	

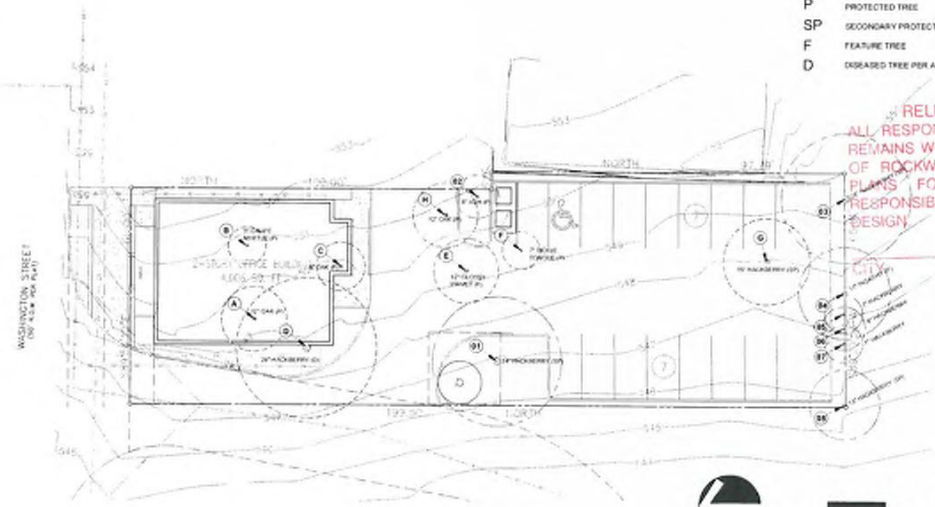
TREES TO BE REMOVED

TREE REMOVAL SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
1	Quercus sp.	Oak	PROTECTED	STANDARD	12"	1 : 1	12"	REMOVE
2	Ligustrum indica	Crape Myrtle	PROTECTED	MULTI	7"	1 : 1	7"	REMOVE
3	Quercus sp.	Oak	PROTECTED	STANDARD	9"	1 : 1	9"	REMOVE
4	Celtis occidentalis	Hackberry	DAMAGED	STANDARD	25"	1 : 0.0	0"	REMOVE
5	Ligustrum lucidum	Glossy Privet	PROTECTED	MULTI	12"	1 : 1	12"	REMOVE
6	Zanthoxylum clavatum	Tickle Tongue tree	PROTECTED	STANDARD	7"	1 : 1	7"	REMOVE
7	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	16"	1 : 0.5	8"	REMOVE
8	Quercus sp.	Oak	PROTECTED	STANDARD	12"	1 : 1	12"	REMOVE
TOTAL CALIPER INCHES OF TREES TO BE REMOVED							60"	

55' x 20% = 11 x \$100 = 1,340 \$1,340 to be paid to the City of Rockwall tree fund
 55' x 60% = 44 44' minimum to be planted as mitigation
 The City of Rockwall has agreed to waive mitigation requirements on tree 1' - 12" Oak.
 Tree D is diseased and should be removed to prevent property damage.

B TREE SCHEDULES



A TREESCAPE PLAN



SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT PERCENTAGE
LOT	12.383
IMPERVIOUS	19.373
2 STORY OFFICE/PORCHES	2.241
PAVEMENT AREA	7.783
PERVAOUS	2.266
SCREENING / STAIRS	263
MAX BUILDING HEIGHT PROPOSED	27' 6"
PARKING REQUIREMENTS	
OFFICE (1'300 S.F.)	4,698 S.F.
PARKING PROVIDED	14
PARKING REQ'D	14

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2020.

WITNESS OUR HANDS, THIS ____ DAY OF _____.

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

The intent of this drawing is to show existing trees to be preserved or removed in order to develop the proposed project. Property owner will be responsible for any fees or penalties owed at the discretion of the City of Rockwall. Demolition contractor is responsible for ensuring all required permits and paperwork from the City of Rockwall are in place before beginning demolition.

Refer to The City of Rockwall - Article 84 - TREE PRESERVATION

also The City of Rockwall - Article VIII - LANDSCAPE STANDARDS

THERE IS ONE EXISTING FEATURE TREES ON THIS SITE (ie 25" caliper or more of the protected species) THAT TREE IS TO BE REMOVED - THE TREE IS DAMAGED AND ROTTING.

NOTE ALL BOUNDARY TREES ALONG THE SOUTH PROPERTY LINE ARE TO REMAIN. PROTECT ANY TREES THAT ARE CLOSE PROXIMITY TO GRADING OR CONSTRUCTION ACTIVITIES.

SECTION 5 - TREE MITIGATION REQUIREMENTS

The tree mitigation requirements shall apply for all properties that do not fall under the exemptions listed in section 1.3. Exemptions, if this article, in addition, if a landscape plan or tree removal permit allows for the removal of a protected or feature tree, the applicant and/or property owner shall account for the number of inches of tree being removed using the following criteria:

- Primary protected trees: Primary protected trees measuring four inches through 24 inches DBH shall be replaced on an inch-for-inch basis (i.e. the total number of caliper inches of tree being replaced shall equal the total number of caliper inches being removed).
- Secondary protected trees: Hackberry and cedar trees measuring 11 inches through 25 inches DBH shall be replaced with a half-inch for every inch removed (i.e. the total number of caliper inches of tree required to be replaced shall be half (1/2) of the inches being removed).
- Featured trees: Featured trees (i.e. all trees greater than 25 inches) shall be replaced with twice the number of inches being removed (i.e. the total number of caliper inches of tree being replaced shall be twice the number of caliper inches being removed).
- Non-protected tree: No mitigation will be required for the removal of any tree that is less than four inches DBH or less than 11 inches DBH for hackberry and cedar trees. In addition, no mitigation shall be required for the removal of live oaks, yellow redbarked, locust and Chinese trees.
- Tree preservation credits: For each saved oak, pecan or elm trunk 25 inches DBH or greater the mitigation balance can be reduced on an inch-for-inch basis for up to 20 percent of the total mitigation balance (i.e. total mitigation balance + 20 percent = total eligible tree preservation credits).
- Mitigation balance: The total mitigation balance (i.e. mitigation balance - tree preservation credits + total mitigation balance) may be satisfied through one or a combination of the following:
 - The developer/property owner can provide the required number of trees three-inch caliper DBH minimum on the subject property to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be planted on site to satisfy the mitigation requirements).
 - The developer/property owner may petition the parks and recreation department to accept the required number of trees three-inch caliper DBH minimum to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be submitted to the parks and recreation department to satisfy the mitigation requirements). Depending on the number of trees being submitted the director of parks and recreation or his/her designee could require a facility agreement be approved prior to accepting the trees.
 - Tree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20 percent of the total replacement inches (e.g. if total mitigation required was 100 inches the developer/property owner could pay a total of \$4,000.00 (i.e. 20% x 100) + \$200.00 = \$4,200.00) into the city's tree fund. However, the developer/property owner would still be required to satisfy a remaining tree mitigation balance of 80 inches. In addition, if the developer/property owner plants a tree on (i) the property for which the tree preservation credit was awarded or on a location that is mutually agreed upon by the city and the developer/property owner, the developer/property owner shall be eligible for a reduction in the cost of tree preservation credits of up to 50 percent. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street right-of-way, or other similar areas as determined by the parks and recreation department.
 - Trees required by article VIII, landscape standards, of the Unified Development Code shall be permitted to be subtracted from the total mitigation balance if provided on site as part of the proposed landscaping.
- Alternative tree mitigation/alternatives: In certain cases, the city council, upon recommendation from the planning and zoning commission, may consider an alternative tree mitigation/alternatives agreement. Due to this flexibility, the applicant is advised to meet the requirements of the article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street right-of-way, or other similar areas as determined by the parks and recreation department.

C TREE PRESERVATION NOTES

407 W WASHINGTON, LANDSCAPE PLANS

2617 Jamboree Lane
 Rockwall, TX 75087
 Phone: (972) 339-1825
 Email: mayer@mayersstudio.com

MAYER
 LANDSCAPE STUDIO



DATE: _____

DATE: _____

DATE: _____

FOR: LMGC, LLC OFFICE
 407 W WASHINGTON ST
 ROCKWALL, TX 75087

20-10-103

SEPTEMBER 11, 2020

L1.1



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

407 W. WASHINGTON ST Rockwall TX 75082

SUBDIVISION

Lowe & Allen Addition

LOT

212

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

R-1

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Huybb Properties LP

APPLICANT

CONTACT PERSON

Jimmy McClintonck

CONTACT PERSON

ADDRESS

3021 Ridge Rd Aubrey

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75082

CITY, STATE & ZIP

PHONE

972-443-7222

PHONE

E-MAIL

luc@we@gmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jimmy McClintonck [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

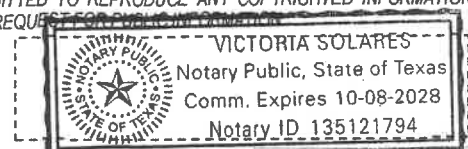
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 600.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF February, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF February, 2025.

OWNER'S SIGNATURE

Jimmy McClintonck
Victoria Solares

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

SF-7
0 25 50 100 150 200 Feet

SP2025-003: Amended Site Plan for 407 W. Washington Street

S SECOND ST

66

DT

S FIRST ST

CEM

Case Location Map = 

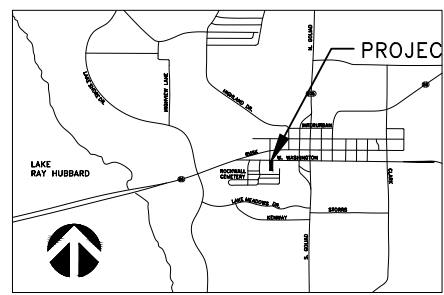
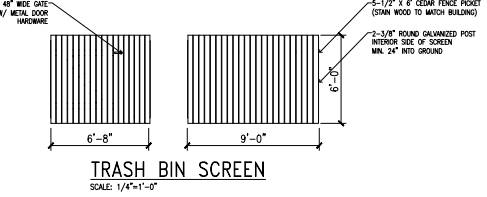
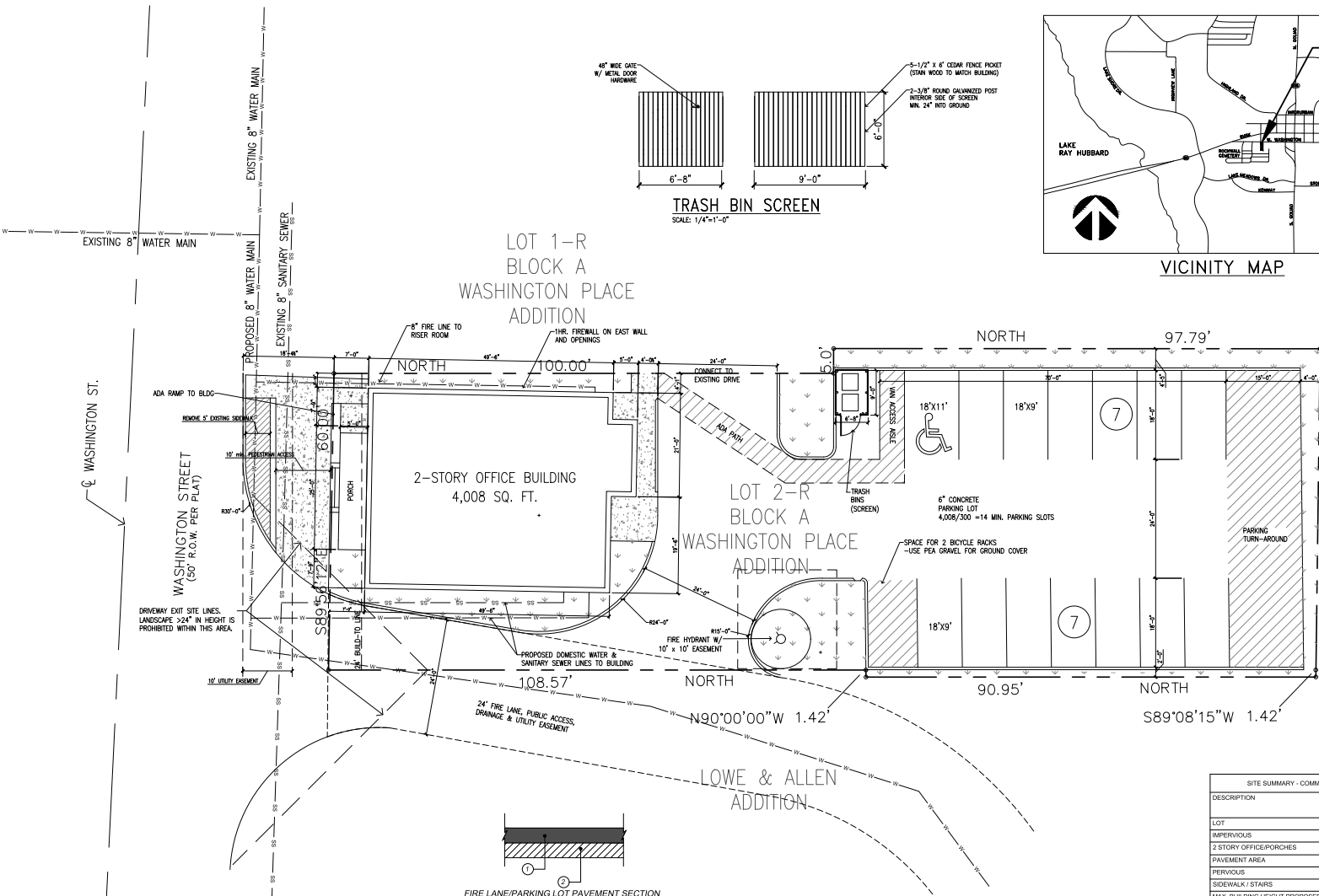


City of Rockwall

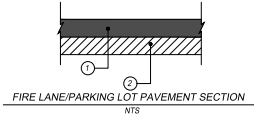
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CITY CEMETARY
LOWE & ALLEN
BLOCK 6
EXEMPT



- 8" - 3,600 PS CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT AREA	PERCENTAGE
LOT	12,363	100%
IMPERVIOUS	10,323	84%
2 STORY OFFICE/PORCHES	2,247	18%
PAVEMENT AREA	7,783	64%
PERVIOUS	2,080	16%
SIDEWALK/STAIRS	293	2%
MAX. BUILDING HEIGHT PROPOSED	27'-0"	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,008 S.F.	
PARKING PROVIDED	14	
PARKING REQ'D	14	

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____
WITNESS OUR HANDS, THIS ____ DAY OF ____

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use



OWNER/DEVELOPER:
LMGC, LLC
JIMMY MCCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087

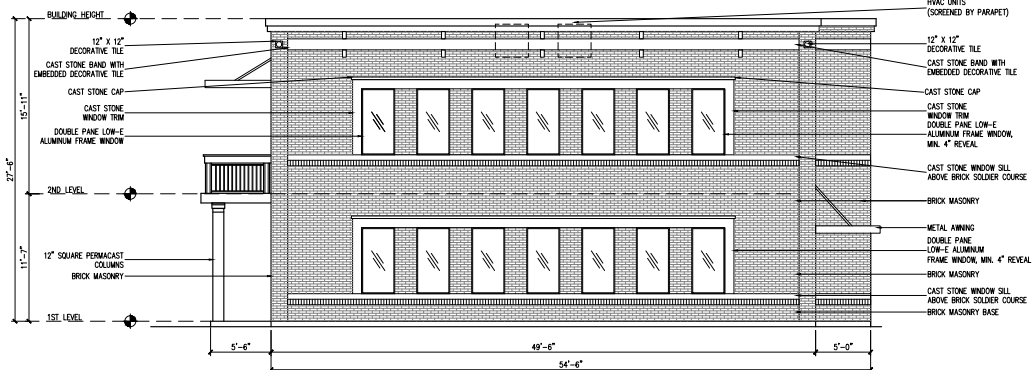
ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087

LMGC, LLC OFFICE
407 W WASHINGTON
ROCKWALL, TX 75087

SITE PLAN

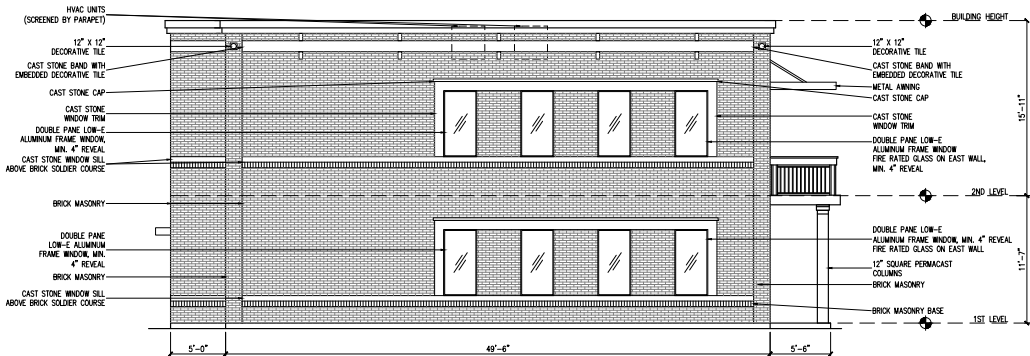
S1.0

SP2020-017



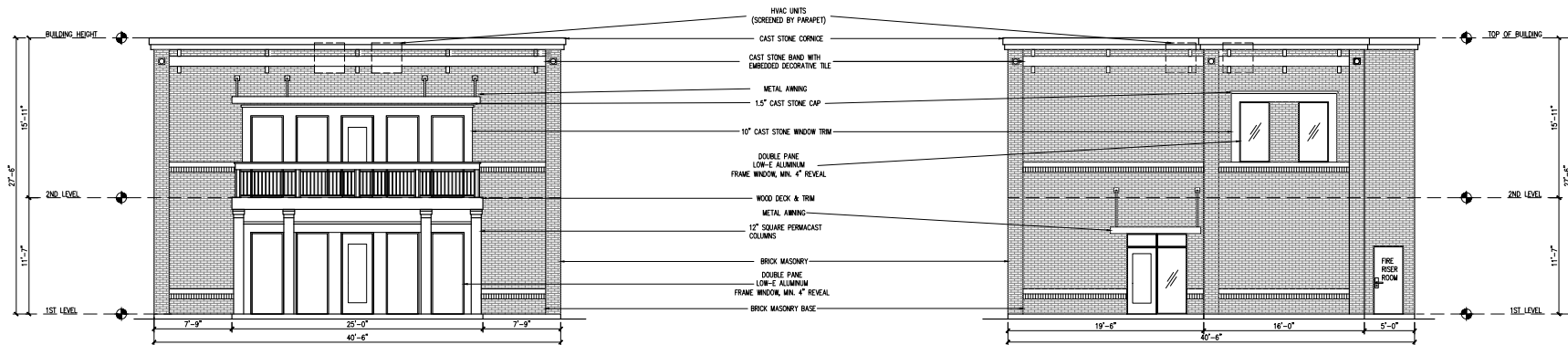
WEST ELEVATION

SCALE: 3/16" = 1'



EAST ELEVATION

SCALE: 3/16" = 1'



NORTH ELEVATION (FACING W. WASHINGTON)

SCALE: 3/16" = 1'

SOUTH ELEVATION

SCALE: 3/16" = 1'

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		216	
ACCOUNTABLE AREA		1,370	100%
MASONRY - BRICK		1,176	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		144	
ACCOUNTABLE AREA		1,442	100%
MASONRY - BRICK		1,248	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - NORTH (FACING WASHINGTON)			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		294	
ACCOUNTABLE AREA		863	100%
MASONRY - BRICK		621	72%
CAST STONE		242	28%

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		219	
ACCOUNTABLE AREA		908	100%
MASONRY - BRICK		790	86%
CAST STONE		128	14%

APPROVED:

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WITNESS OUR HANDS, THIS ____ DAY OF ____

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

BUILDERS COPY

Keep On Job Site At All Times
For Inspection Use



ARCHITECTONICS TEXAS, LLC

ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



DATE	REVISION
06/28/2021	1 RESPONSE TO CITY COMMENTS

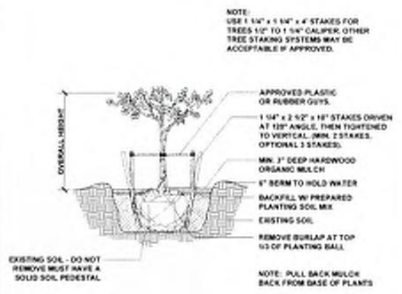
PROJECT NAME AND ADDRESS	PROJECT NO.
LMGC, LLC OFFICE	
407 W WASHINGTON ROCKWALL, TX 75087	

PROJECT NO.	DRAWN BY	CHECKED BY	DATE	SCALE	SHEET NO.	TOTAL SHEETS
			06/28/2021		06	06

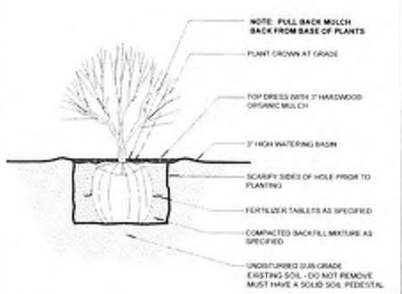
ELEVATIONS

A2.0

SP2020-017



C TREE PLANTING DETAIL



D SHRUB PLANTING DETAIL

EXCERPTS FROM ROCKWALL LANDSCAPE STANDARDS:
 Sec. 5.7 - Street Landscaping
 A street landscape buffer strip with a minimum width of ten feet, must be provided along the entire length of the property to be developed that is adjacent to a major arterial or collector street, as defined in the city's thoroughfare plan, exclusive of driveways and access ways. Large trees, as herein defined, shall be provided in the required buffer in numbers equal to one tree for each 50 feet of street frontage.
 Sec. 5.8 - Right-of-way Landscaping Requirements
 All street rights-of-way located adjacent to the proposed development shall be improved with grass or ground cover material and shall be maintained. It shall be the responsibility of the developer to design the irrigation system within the lot to ensure that the grass planted in the right-of-way is watered and maintained and to ensure that excess water will enter the street drain. The design of the irrigation system shall have the design on the ultimate proposed width of the street when designing the system. The plans for design of the irrigation system shall be approved by the city prior to installation.
 Sec. 5.9 - Parking lot Landscaping
 A. Any parking lot with more than two rows of spaces shall have a minimum of five percent or 200 square feet, whichever is greater, in the interior of the parking lot in landscaping. Such landscaping shall be counted toward the total landscaping.
 B. If the parking and maneuvering space exceeds 20,000 square feet one large canopy tree for every ten required parking spaces shall be required internal to the parking lot. No tree shall be planted closer than 21 feet to the pavement.
 1. No required parking space may be located more than 80 feet from the trunk of a large canopy tree.
 2. No tree may be planted closer than 25 feet to the pavement.
 3. All trees must be internal to the parking lot.
 Sec. 5.11 - Discontinuity of Landscaping
 All required landscaping shall be no less than five feet wide and a minimum of 25 square feet in area unless it is within ten feet of the building.
 Sec. 5.12 - Required Landscaping
 A. Amount of Landscaping
 1. Minimum square footage requirements for landscaping shall be provided and maintained in the zoning districts set forth as follows. The requirements shall be applied to the total site area to be developed.
 Commercial 15 33
 The total site area required for landscaping may be reduced by no more than five percent in accordance with the provisions of section 6. For example, the required percentage of 15 percent for commercial zoning could be reduced to a total of ten percent under the terms of section 6.

A. Location of Landscaping: No less than 50 percent of the total requirement shall be located in front of and along side buildings with street frontage on the following zoning districts: "M", "L", "C", "T", "U", and "R1". One hundred percent of the total requirement shall be located in front of and along side buildings with street frontage on the following zoning districts: "IC", "L1", "L2", "L3", "L4", "L5", "L6", "L7", "L8", "L9", "L10", "L11", "L12", "L13", "L14", "L15", "L16", "L17", "L18", "L19", "L20", "L21", "L22", "L23", "L24", "L25", "L26", "L27", "L28", "L29", "L30", "L31", "L32", "L33", "L34", "L35", "L36", "L37", "L38", "L39", "L40", "L41", "L42", "L43", "L44", "L45", "L46", "L47", "L48", "L49", "L50", "L51", "L52", "L53", "L54", "L55", "L56", "L57", "L58", "L59", "L60", "L61", "L62", "L63", "L64", "L65", "L66", "L67", "L68", "L69", "L70", "L71", "L72", "L73", "L74", "L75", "L76", "L77", "L78", "L79", "L80", "L81", "L82", "L83", "L84", "L85", "L86", "L87", "L88", "L89", "L90", "L91", "L92", "L93", "L94", "L95", "L96", "L97", "L98", "L99", "L100".
 B. Selection of Trees: Selection of trees shall be landscaped in a natural manner using ground cover, grasses, shrubs and trees in all dry land areas. There shall be a minimum of one tree for each 150 square feet of dry land area.
 SECTION - LANDSCAPE CREDITS
 Credits toward achieving landscape requirements may be achieved as follows:
 Sec. 6.1 - Credits for required landscape buffer strips between residential and nonresidential zoning.
 The overall landscaping requirement may be reduced by 2.5 percent when a surface parking lot located adjacent to a public street is situated as follows:
 A. The system must be voluntary, not required by this Unified Development Code.
 B. The screening must be located along the entire length of street frontage of the parking lot, exclusive of driveways, accessways, and visibility triangles. Visibility triangles will be maintained at all driveway intersections.
 C. The screening must be at least three feet in height utilizing only evergreen planting materials, bushes, and/or masonry walls.
 D. The adjacent street must be generally at the same grade level of the parking lot or below for each credit to qualify. Sec. 6.3 - Credit for right-of-way landscaping. ROCKWALL LANDSCAPE STANDARDS
 The overall landscaping requirement may be reduced by 2.5 percent when the public right-of-way adjacent to a proposed development is landscaped meeting the following requirements:
 A. All landscaping in the right-of-way shall be provided sufficient irrigation for maintenance.
 B. Plants used in landscaping in the right-of-way shall only be varieties included on the approved plant list.
 C. The plan for landscaping in right-of-way shall be submitted and approved by the city prior to any work being done in the right-of-way.
 D. In certain cases, the city may determine that landscaping in the right-of-way may be infeasible and in such cases this credit shall not apply.
 E. Landscaping shall include ground cover, shrubs, trees and/or other plant materials and must cover at least 50 percent of the adjacent right-of-way, exclusive of driveways, to qualify for this credit. Grass areas shall not qualify for this credit.
 F. If the city has an adopted landscape plan for the street adjacent to the proposed project, any proposed improvements must be in compliance with said plan. Sec. 6.4 - Credit for screening.
 The overall landscaping requirement may be reduced by 2.5 percent when the planning director or his/her designee determines that the standards stipulated by section 5.10, landscaping standards, of this article have been satisfied.

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT.	QTY.	MITIGATION
	O	Chippewa / Lucena Hamilton / Desert Willow 2" cal. *ROCKWALL APPROVED TREE	0.8.0	1	3"
	Pe	Pinus edulis / Palau Pine 1" cal. *ROCKWALL APPROVED TREE	0.8.0	1	6"
	Sa	Saphora secundiflora / Texas Mountain Laurel 2" cal.	20' Box	1	2"
	Vc	Vincetoxicum / Chaste Tree 2" cal.	0.8.0	1	3"
SHRUBS					14"
	Bry	Buxus microphylla / Lateral Boxwood	3 gal.	10	
	Hr	Heptamelia parviflora / Red Yucca *ROCKWALL APPROVED PLANT	5 gal.	10	
	Lr	Lantana montevidensis / New Gold / Gold Lantana	1 gal.	13	
	Lc	Leucophyllum fulgens / Green Cloud / Texas Ramper *ROCKWALL APPROVED PLANT	5 gal.	9	
	Ls	Ligustrum sinense / Sunshine / Sunshine Ligustrum	5 gal.	8	
	Ld	Leucophaea divaricata / Purple Diamond / Freesia Flower *ROCKWALL APPROVED PLANT	5 gal.	3	
	Mh	Muhlenbergia capillaris / Soft Grass Muhlenbergia	3 gal.	11	
	Ml	Mocanthis sinensis / Adagio / Desert Maiden Grass *ROCKWALL APPROVED PLANT	5 gal.	1	
	M	Muhlenbergia capillaris / Muley Grass *ROCKWALL APPROVED PLANT	3 gal.	9	
	Ph	Perovskia atrorubra / Hainan / Desert Fountain Grass *ROCKWALL APPROVED PLANT	5 gal.	13	
	Pv	Pithecolobium tobira / Variegated Mock Orange	5 gal.	20	
	Rp	Rosemaria officinalis / Prostratus / Trailing Rosemary *ROCKWALL APPROVED PLANT	1 gal.	6	
	Sg	Salvia greggii / Pink / Pink Autumn Sage	3 gal.	3	
CACTI					
	At	Agave ovatifolia / Freely Blue / White's Tongue Agave	5 gal.	2	
GROUND COVERS					
	Ch	Cynodon dactylon / 419 Hybrid / Bermuda Grass *ROCKWALL APPROVED PLANT	sq ft	204 sf	
	Dg	Decomposed Granite 1/4" minus screened Orange D.G. over filter fabric	2" deep	163 sf	
	Hm	Hardwood / Mulch	2" deep	834 sf	
	Ts	Texas Black / SIF	2" deep	963 sf	

B PLANT SCHEDULE

SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT PERCENTAGE
LOT	12.383
IMPERVIOUS	10.323
2 STORY OFFICE/RESOURCES	2.247
PAVEMENT AREA	7.763
PERVIOUS	2.966
SIDEWALK SPACES	290
MAX. BUILDING HEIGHT PROPOSED	27'-0"
OFFICE (1300 S.F.)	4200 S.F.
PARKING PROVIDED	14
PARKING REQ'D	14



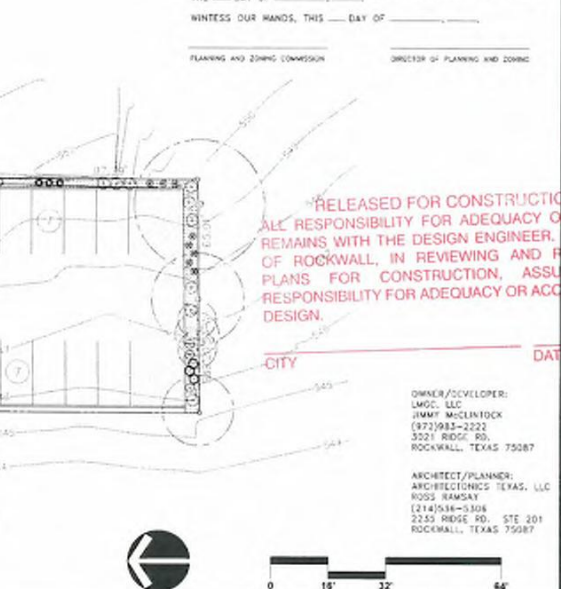
REQUIRED PLANTINGS

A. STREET TREES:
 1 TREE FOR EVERY 50 L.F. OF FRONTAGE
 W Washington Street - 60 / 50 = 1.2 (1) 3" TREE REQUIRED (1) 3" TREE PROVIDED

THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A B-STATION SMART CONTROLLER WITH WIFI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION, BACKFLOW WYE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF ROCKWALL STANDARD IRRIGATION REQUIREMENTS.

NOTE:
 NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL, TEXAS, ON THE _____ DAY OF _____, 20____.
 WITNESS OUR HANDS, THIS _____ DAY OF _____, 20____.
 PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING



A PLANTING PLAN

407 W WASHINGTON
 LANDSCAPE PLANS

Landscaping Architecture
 EN ARCHITECTURE
 2613 Junction Lane
 Rockwall, TX 75087
 voice (750) 359-0825
 email@mayerstudio.com

MAYER
 LANDSCAPE STUDIO

ROCKWALL LANDSCAPE PLANS
 STATE OF TEXAS
 COUNTY OF DALLAS

PLANTING PLAN

DATE: _____

SCALE: 1/16" = 1'-0"

OWNER/DEVELOPER:
 LMGC, LLC
 21401 MACLENDICK
 (972) 983-2222
 3021 RIDGE RD.
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 8032 RAMSAY
 (214) 538-5308
 2255 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087

20-10-103
 SEPTEMBER 11, 2020
 L2.1

TREES TO BE PRESERVED

TREE PROTECTION SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
1	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
2	Fraxinus texensis	Texas Ash	PROTECTED	STANDARD	8"	1 : 1	8"	PROTECT
3	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
4	Carya texana	Black Hickory	PROTECTED	STANDARD	17"	1 : 1	17"	PROTECT
5	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
6	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	8"	1 : 0.5	4"	PROTECT
7	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
8	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	13"	1 : 0.5	6.5"	PROTECT
TOTAL CALIPER INCHES OF TREES TO BE PRESERVED							69.5"	

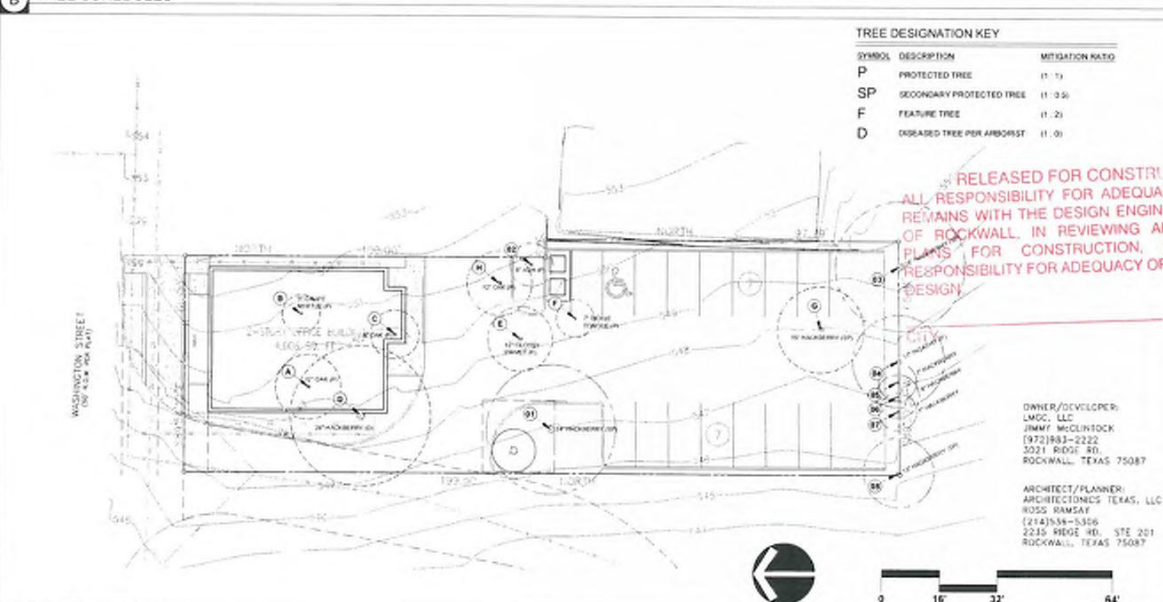
TREES TO BE REMOVED

TREE REMOVAL SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
1	Quercus sp	Oak	PROTECTED	STANDARD	12"	1 : 1	12"	REMOVE
2	Ligustrum indica	Crape Myrtle	PROTECTED	MULTI	7"	1 : 1	7"	REMOVE
3	Quercus sp	Oak	PROTECTED	STANDARD	9"	1 : 1	9"	REMOVE
4	Celtis occidentalis	Hackberry	DAMAGED	STANDARD	25"	1 : 0.0	0"	REMOVE
5	Ligustrum lucidum	Glossy Privet	PROTECTED	MULTI	12"	1 : 1	12"	REMOVE
6	Zanthoxylum clavatum	Tickle Tongue tree	PROTECTED	STANDARD	7"	1 : 1	7"	REMOVE
7	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	16"	1 : 0.5	8"	REMOVE
8	Quercus sp	Oak	PROTECTED	STANDARD	12"	1 : 1	12"	REMOVE
TOTAL CALIPER INCHES OF TREES TO BE REMOVED							60"	

55' x 20" x 11 x \$100 = 1,340 \$1,100 to be paid to the City of Rockwall tree fund
 55' x 60% = 44 44' minimum to be planted as mitigation
 The City of Rockwall has agreed to waive mitigation requirements on tree 1' - 12" Oak.
 Tree D is diseased and should be removed to prevent property damage.

B TREE SCHEDULES



TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1 : 1)
SP	SECONDARY PROTECTED TREE	(1 : 0.5)
F	FEATURE TREE	(1 : 2)
D	DISEASED TREE PER ARBORIST	(1 : 0)

RELEASED FOR CONSTRUCTION
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
 REMAINS WITH THE DESIGN ENGINEER. THE CITY
 OF ROCKWALL, IN REVIEWING AND RELEASING
 PLANS FOR CONSTRUCTION, ASSUMES NO
 RESPONSIBILITY FOR ADEQUACY OR
 ACCURACY OF
 DESIGN.

OWNER/DEVELOPER:
 LMGC, LLC
 2145 WASHINGTON ST
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 2215 REGE RD, STE 201
 ROCKWALL, TEXAS 75087

The intent of this drawing is to show existing trees to be preserved or removed in order to develop the proposed project. Property owner will be responsible for any fees or penalties owed at the discretion of the City of Rockwall. Demolition contractor is responsible for ensuring all required permits and paperwork from the City of Rockwall are in place before beginning demolition.

Refer to The City of Rockwall - Article 14 - TREE PRESERVATION
 also The City of Rockwall - Article VII - LANDSCAPE STANDARDS

THERE IS ONE EXISTING FEATURE TREE ON THIS SITE (ie 25" caliper or more of the protected species) THAT TREE IS TO BE REMOVED - THE TREE IS DAMAGED AND ROTTING.

NOTE
 ALL BOUNDARY TREES ALONG THE SOUTH PROPERTY LINE ARE TO REMAIN. PROTECT ANY TREES THAT ARE CLOSE PROXIMITY TO GRADING OR CONSTRUCTION ACTIVITIES.

SECTION 5 - TREE MITIGATION REQUIREMENTS

The tree mitigation requirements shall apply for all properties that do not fall under the exemptions listed in section 1.3. Exemptions, if this article, in addition, if a landscape plan or tree removal permit allows for the removal of a protected or feature tree, the applicant and/or property owner shall account for the number of inches of tree being removed using the following criteria:

- Primary protected trees: Primary protected trees measuring four inches through 24 inches DBH shall be replaced on an inch-for-inch basis (i.e. the total number of caliper inches of tree being replaced shall equal the total number of caliper inches being removed).
- Secondary protected trees: Hackberry and cedar trees measuring 11 inches through 25 inches DBH shall be replaced with a half-inch for every inch removed (i.e. the total number of caliper inches of tree required to be replaced shall be half (1/2) of the inches being removed).
- Featured trees: Featured trees (i.e. all trees greater than 25 inches) shall be replaced with twice the number of inches being removed (i.e. the total number of caliper inches of tree being replaced shall be twice the number of caliper inches being removed).
- Non-protected tree: No mitigation will be required for the removal of any tree that is less than four inches DBH or less than 11 inches DBH for hackberry and cedar trees. In addition, no mitigation shall be required for the removal of live oaks, yellow pines, live oaks, and Chinese trees.
- Tree preservation credits: For each saved oak, pecan or elm trunk 25 inches DBH or greater the mitigation balance can be reduced on an inch-for-inch basis for up to 20 percent of the total mitigation balance (i.e. total mitigation balance + 20 percent = total eligible tree preservation credits).
- Mitigation balance: The total mitigation balance (i.e. mitigation balance - tree preservation credits + total mitigation balance) may be satisfied through one or a combination of the following:
 - The developer/property owner can provide the required number of trees three-inch caliper DBH minimum on the subject property to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be planted on site to satisfy the mitigation requirements).
 - The developer/property owner may petition the parks and recreation department to accept the required number of trees three-inch caliper DBH minimum to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be submitted to the parks and recreation department to satisfy the mitigation requirements). Depending on the number of trees being submitted the director of parks and recreation or his/her designee could require a facility agreement be approved prior to accepting the trees.
 - Tree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20 percent of the total replacement inches (e.g. if total mitigation required was 100 inches the developer/property owner could pay a total of \$4,000.00 (i.e. 20% x 100) + \$200.00 = \$4,200.00) into the city's tree fund. However, the developer/property owner would still be required to satisfy a remaining tree mitigation balance of 80 inches. In addition, if the developer/property owner places a tree on (i) the property for which the tree preservation credit was awarded or on a location that is mutually agreed upon by the city and the developer/property owner, the developer/property owner shall be eligible for a reduction in the cost of tree preservation credits of up to 50 percent. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.
 - Trees required by article VIII, landscape standards, of the Unified Development Code shall be permitted to be subtracted from the total mitigation balance if provided on site as part of the proposed landscaping.
- Alternative tree mitigation/offset agreements: In certain cases, the city council, upon recommendation from the planning and zoning commission, may consider an alternative tree mitigation/offset agreement. Due to the fact that the applicant is unable to meet the requirements of the article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant, these funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.

C TREE PRESERVATION NOTES

A TREESCAPE PLAN



SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT PERCENTAGE
LOT	12.3%
IMPERVIOUS	10.3%
2 STORY OFFICE/PORCHES	2.4%
PAVEMENT AREA	7.1%
PERVAOUS	2.3%
SCREENING / STAIRS	2%
MAX BUILDING HEIGHT PROPOSED	27' 6"
PLANNING REQUIREMENTS	
OFFICE (1'300 S.F.)	4,000 S.F.
PARKING PROVIDED	14
PARKING REQ'D	14

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 2020.
 WITNESS OUR HANDS, THIS ____ DAY OF ____
 PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

407 W WASHINGTON
 LANDSCAPE PLANS

2617 Jamboree Lane
 Rockwall, TX 75087
 Phone: (972) 339-1825
 Email: mayer@mayersstudio.com

MAYER
 LANDSCAPE STUDIO



DATE: _____

BY: _____

FOR: _____

DATE: _____

FOR: _____

DATE: _____

DATE: _____

FOR: _____

DATE: _____

DATE: _____

FOR: _____

DATE: _____



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: February 25, 2025
SUBJECT: SP2025-003; *Site Plan for 407 W. Washington Street*

The applicant, Jimmy McClintock of Highway 66 Properties, LP, is requesting the approval of a Site Plan for a two (2) story, 4,008 SF *office building*. The subject property was annexed prior to 1959, is zoned Downtown (DT) District, and is situated within the SH-66 Overlay (SH-66OV) District. On July 6, 2020, the City Council approved a replat [Case No. P2020-025] of Lots 4 & 5, Block A, Washington Place Addition. On August 11, 2020, the Planning and Zoning Commission approved a Site Plan [Case No. SP2020-017] for a two (2) story, 4,008 SF *office building* on the subject property. The site plan approval was set to expire on August 11, 2022 in accordance with Subsection 03.05(A), *Site Plan Expiration*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC); however, at that time the applicant had an active Engineering submittal [Case No. E2020-132]. The Engineering Plans were approved on January 6, 2021, and were considered to be valid for a period of one (1) year. On May 25, 2021, the applicant submitted a Building Permit [Case No. COM2021-2619]; however, this permit expired due to inactivity on November 25, 2021. Since the Building Permit was expired, both the Site Plan and Engineering Plans also expired.

In response to this expiration, the applicant resubmitted the same Site Plan on February 14, 2025. The submitted Site Plan was the same as the original Site Plan approved under Case No. SP2020-017, with the exception of minor changes being made to the Photometric Plan. As part of the review for this case, staff has indicated to the applicant that the Photometric Plan will need to be changed to meet the lighting and photometric standards of the Unified Development Code (UDC), and this is considered to be a condition of approval for this case. Staff has attached the original Site Plan case memo since nothing has changed in the requirements of the Downtown (DT) District that would affect the approval of this case. As part of this case, the Planning and Zoning Commission will be tasked with reviewing the previous Site Plan approval -- *including the variances/exceptions that were granted* -- and determining if the proposal meets the criteria for Site Plan approval as outlined in Subsection 03.04, *Site Plan Review*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). In addition, staff will be taking the proposed building elevations back to the Architectural Review Board (ARB) prior to the meeting on February 25, 2025, and will provide an updated recommendation from the ARB to the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the February 25, 2025 Planning and Zoning Commission meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 11, 2020
APPLICANT: Jimmy McClintock; *Hwy 66 Properties, LP*
CASE NUMBER: SP2020-017; *Site Plan for an Office Building at 407 W. Washington Street*

SUMMARY

Discuss and consider a request by Jimmy McClintock of HWY 66 Properties, LP for the approval of a Site Plan for an *office building* on a 0.28-acre parcel of land identified as Lot 2-R, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 407 W. Washington Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1959, is zoned Downtown (DT) District, is situated within the SH-66 Overlay (SH-66 OV) District, and is considered to be a part of one of the original areas of the City of Rockwall. As a note, on January 14, 2020, the Planning and Zoning Commission approved a site plan [*i.e. SP2019-044*] for the adjacent property at 409 W. Washington Street for the applicant that proposed a ~16,502 SF office building. The applicants' intent is to provide a building that will stylistically compliment this adjacent office building when constructed.

PURPOSE

The applicant has submitted a request for approval of a site plan for an office building on the subject property. The proposed two (2) story office building will be a ~4,440 SF and will be clad with brick and cast stone accents, and will utilize a flat roof system, which is typical of the existing buildings within the Downtown (DT) District.

ADJACENT LAND USES AND ACCESS

The subject property is located at 407 W. Washington Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the property is W. Washington Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan. Following this, there is a vacant tract of land and W. Rusk Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan. Beyond this, there are several single-family homes. These areas are zoned Downtown (DT) and Single-Family 7 (SF-7) District.

South: Directly south of the subject property, there is a cemetery that is owned by the City of Rockwall. Following this, there are two (2) single-family residential subdivisions (*i.e. Stonebridge Meadows, Phases 4, 3, & 2; and Ridgeview Subdivisions*) and a condominium complex (*i.e. Bent Tree Condominiums*). These areas are zoned Cemetery (CEM), Single-Family 7 (SF-7) and Multi-Family 14 (MF-14) Districts.

East: Directly east of the subject property, there is a vacant tract of land, a real estate office (*i.e. Gold Key Realty*), and a daycare facility (*i.e. Marigold Learning Academy*). Following this, there several vacant tracts of land, a city-owned parking lot, and N. Goliad Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan.

West: Directly west of the subject property, is 409 W Washington Street, which is has an approved site plan for an office building followed by a single-family home and a City-owned cemetery. Following this, there is a daycare facility

(i.e. *Children's Park Day Care*), a vacant tract of land, an office building, and a veterinary hospital (i.e. *Avery Veterinary Clinic*). Beyond this, there is a retail store with gasoline sales (i.e. *Shell*), a single-family residential subdivision (i.e. *Stonebridge Meadows, Phases 4 & 5*) and S. Lakeshore Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. These areas are zoned Downtown (DT), Cemetery (CEM), General Retail (GR), Single-Family 7 (SF-7), and Single-Family 10 (SF-10) Districts.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) the proposed office building is permitted by-right in the Downtown (DT) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within the Downtown (DT) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Building Height</i>	<i>Min. 2 Stories; Max. 4 Stories</i>	<i>x=2 Stories; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>24-Feet</i>	<i>x=24-Feet; In Conformance</i>
<i>Pedestrian Walkway Width</i>	<i>10-Feet</i>	<i>x=10-Feet; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>100% Brick</i>	<i>x=100%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>14 Spaces</i>	<i>x=14 Spaces; In Conformance</i>
<i>Bicycle Parking Spaces</i>	<i>2 Spaces</i>	<i>x=2 Spaces; In Conformance</i>

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 67-caliper inches to be removed from the site and the provision of one (1), six (6) inch caliper tree that counts towards the mitigation total with the proposed development. This will leave a mitigation balance due of 61-caliper inches. According to Section 05(F), of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), the applicant may satisfy the tree mitigation balance by: [1] paying into the tree fund, [2] planting trees on site, and/or [3] providing the trees to the Parks and Recreation Department. In this case, the applicant has indicated their intention is to provide 20% of the mitigation balance to the City's Tree Fund totaling \$1,340.00 (i.e. 67" x 20% = 13.4" x \$100 = \$1,340.00) and providing the remaining balance of 48-inches to satisfy the mitigation balance. This has been added as a condition of approval.

CONFORMANCE WITH THE CITY'S CODES

The proposed office building conforms to the requirements stipulated in Subsection 04.07, *Downtown (DT) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) as follows:

- (1) Function/Land Use. Retail, personal service, residential, and office uses shall be allowed throughout the district. In this case, the proposed use is an office building and conforms to this requirement.
- (2) Block Face. Building walls should be continuous along block faces to create a strong edge to the street and contribute to creating an attractive and active pedestrian environment. In this case, the building utilizes a design that will be complementary to the adjacent property which will have an appearance of two (2) buildings with a continuous block face. The proposed office building will also utilize contrasting brick patterns/colors that blend with the surrounding downtown theme.
- (3) Building Form. Buildings shall be designed and constructed in a tri-partite architecture so that they have a distinct base, middle, and top. The proposed building elevations appear to conform to this requirement.
- (4) External Facade Materials. Ground floor exterior walls, excluding windows and doors, shall be constructed of 100% brick. The applicant is proposing to utilize 100% brick.
- (5) Color. The dominant color of all buildings shall be muted shades of warm grey, red, green, beige, or brown. Black, gold, and stark white shall not be used except as an accent color. The submitted building elevations indicate that the brick will be brown and conform to the district standards.
- (6) Non-Residential at Grade. The ground floor entry must be located at the approximate elevation of the adjacent sidewalk. All of the proposed entryways conform to this requirement.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, indicates that the subject property is located within the Downtown District and is designated for Downtown (DT) land uses. The Downtown District is considered to be the cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall. Being the original town area, this district is significantly developed and contains the City's oldest residential and commercial buildings. It is expected that the Downtown District will continue to prosper through investments in appropriate infill development and adaptive reuse of existing structures. New development in this area should be held to a higher level of scrutiny than other areas of the City to ensure that the district retains its small-town character. The Downtown (DT) land use designation should include a combination of land uses that are complementary to the existing development pattern and are intended to add the attractive, pedestrian-oriented environment of Rockwall's historic downtown. In addition, this area is the historic core of the City and should continue to be a symbol of community life in Rockwall. Primary land uses include office, retail restaurant, and residential land uses while secondary land uses include institutional and civic land uses. In this case, the proposed office building is considered to be a primary use within the Downtown District and appears to be in conformance with the policies and goals contained in the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

On July 28, 2020, the Architectural Review Board (ARB) reviewed the proposed building elevations and recommended that the applicant not incorporate a stone wainscot, rather use the white washed brick to meet the Downtown (DT) District's requirement of 100% brick. Additionally, the ARB recommended the columns on the front elevation be square and constructed with the white washed brick. They also recommended that the square ornamental emblems be changed to round emblems to provide more interest. The ARB will review the revisions at the August 11, 2020 meeting and forward a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve of the applicant's request for a site plan for an office building, then staff would propose the following conditions of approval:

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit; and,
- (2) The applicant will be required to satisfy the outstanding balance of 48-inches of tree mitigation prior to the issuance of a building permit; and
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/21/2025

PROJECT NUMBER: SP2025-003
PROJECT NAME: Amended Site Plan for 407 W. Washington Street
SITE ADDRESS/LOCATIONS: 407 W WASHINGTON ST

CASE CAPTION: Discuss and consider a request by Jimmy McClintock of Highway 66 Properties, LP for the approval of a Site Plan for an Office Building on a 0.28-acre parcel of land identified as Lot 5, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 407 W. Washington Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	02/19/2025	Approved w/ Comments

02/19/2025: SP2025-003; Site Plan for 407 W. Washington Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jimmy McClintock of Highway 66 Properties, LP for the approval of a Site Plan for an Office Building on a 0.28-acre parcel of land identified as Lot 5, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, and addressed as 407 W. Washington Street.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2025-003) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 On August 11, 2020, the Planning and Zoning Commission approved a Site Plan [Case No. SP2020-017] for a two (2) story, 4,008 SF office building on the subject property. The site plan approval was set to expire on August 11, 2022 in accordance with Subsection 03.05(A), Site Plan Expiration, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC); however, at that time the applicant had an active Engineering submittal [Case No. E2020-132]. The Engineering Plans were approved on January 6, 2021, and were considered to be valid for a period of one (1) year. On May 25, 2021, the applicant submitted a Building Permit [Case No. COM2021-2619]; however, this permit expired due to inactivity on November 25, 2021. Since the Building Permit was expired, both the Site Plan and Engineering Plans also expired.

M.5 Photometric Plan. Please provide a photometric plan that meets the requirements of the UDC. The allowable maximum light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 of one (1) footcandle or 0.2 FC.

I.6 Please note that failure to address all comments provided by staff by 3:00 PM on March 4, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.7 Please note the scheduled meetings for this case:

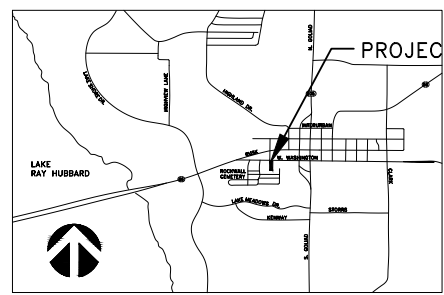
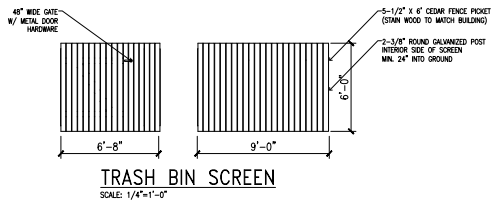
(1) Planning & Zoning Work Session meeting will be held on February 25, 2025.

I.8 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/21/2025	Approved w/ Comments
02/21/2025: 1. Engineering plans will have to be reviewed. 2. SH66			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/18/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/18/2025	Approved w/ Comments

02/18/2025: There are better varieties of turfgrass available now such as Tif Tuf, Latitude 36 or Tahoma 31 that are more shade, drought, wear and cold tolerant

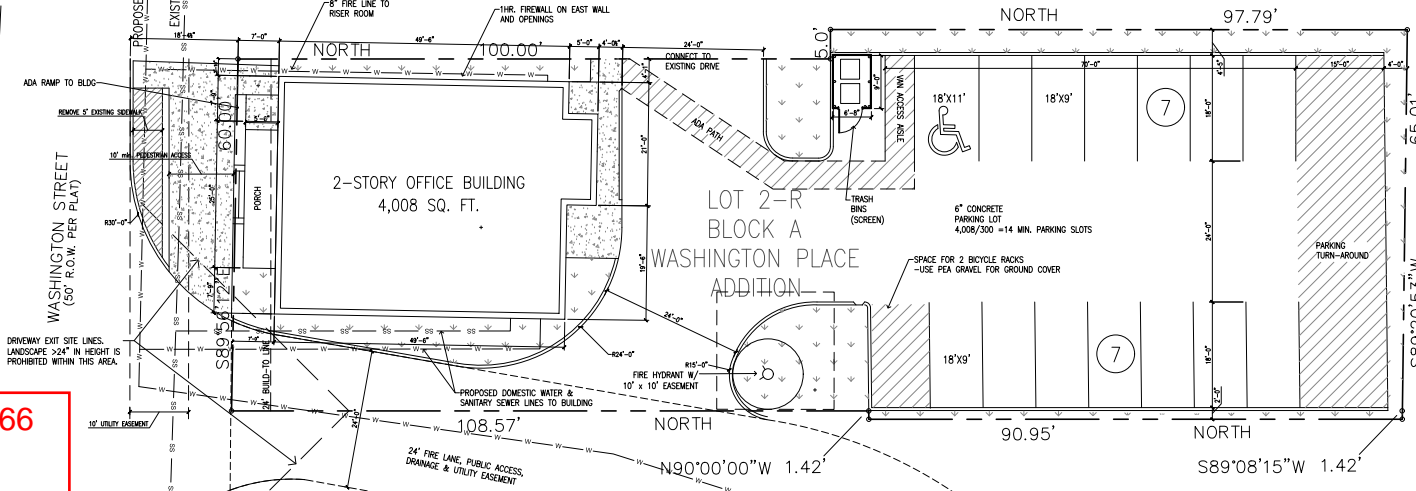
Engineering plans will have to be reviewed.



PROJECT LOCATION

VICINITY MAP

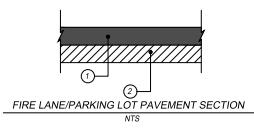
LOT 1-R
BLOCK A
WASHINGTON PLACE
ADDITION



CITY CEMETARY
LOWE & ALLEN
BLOCK 6
EXEMPT

SH66

SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION	LOT	PERCENTA GE
LOT	12,363	100 %
IMPERVIOUS	10,323	84%
2 STORY OFFICE/PORCHES	2,247	18%
PAVEMENT AREA	7,793	64%
PERVIOUS	2,060	16%
SIDEWALK/ STAIRS	293	2%
MAX. BUILDING HEIGHT PROPOSED	27'-6"	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,008 S.F.	
PARKING PROVIDED	14	
PARKING REQ'D	14	



- 8"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 8" COMPACTED LIME STABILIZED SUBGRADE SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____
WITNESS OUR HANDS, THIS ____ DAY OF ____
PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use



SITE PLAN
SCALE: 1"=10'
0' 10' 20'

OWNER/DEVELOPER:
LMGC, LLC
JIMMY MCCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



DATE	REVISIONS
06/28/2021 <td>1 RESPONSE TO CITY COMMENTS </td>	1 RESPONSE TO CITY COMMENTS

PROJECT NAME AND ADDRESS:
LMGC, LLC OFFICE
407 W WASHINGTON
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	06/28/2021
SCALE	1" = 10'
SHEET No.	of

DRAWING NAME:
SITE PLAN

S1.0

SP2020-017



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

407 W. WASHINGTON ST Rockwall TX 75087

SUBDIVISION

Lowe & Allen Addition

LOT

212

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

1

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Huybb Properties LP

APPLICANT

CONTACT PERSON

Jimmy McClinton

CONTACT PERSON

ADDRESS

3021 Ridge Rd Aubrey

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75087

CITY, STATE & ZIP

PHONE

972-443-7222

PHONE

E-MAIL

luc@we@gmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jimmy McClinton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 600.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF February, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

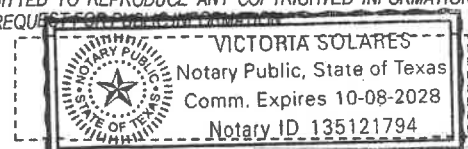
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF February, 2025.

OWNER'S SIGNATURE

Jimmy McClinton

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Victoria Solares



MY COMMISSION EXPIRES

SF-7
0 25 50 100 150 200 Feet

SP2025-003: Amended Site Plan for 407 W. Washington Street

S SECOND ST

66

DT

S FIRST ST

CEM

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REV.	DATE	DESCRIPTION
1		RESPONSE TO CITY COMMENTS

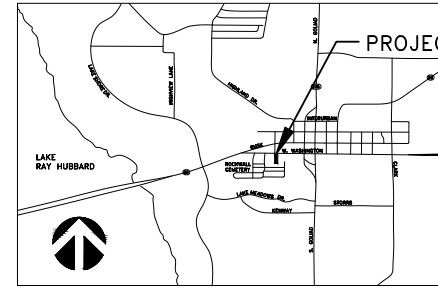
PROJECT NAME AND ADDRESS
LMCC, LLC OFFICE
407 W WASHINGTON
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	06/28/2021
SCALE	1" = 10'
SHEET No.	of

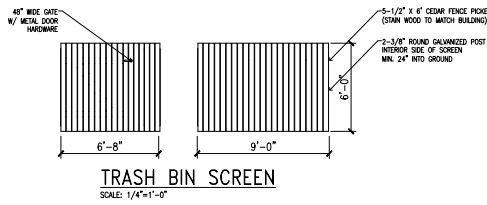
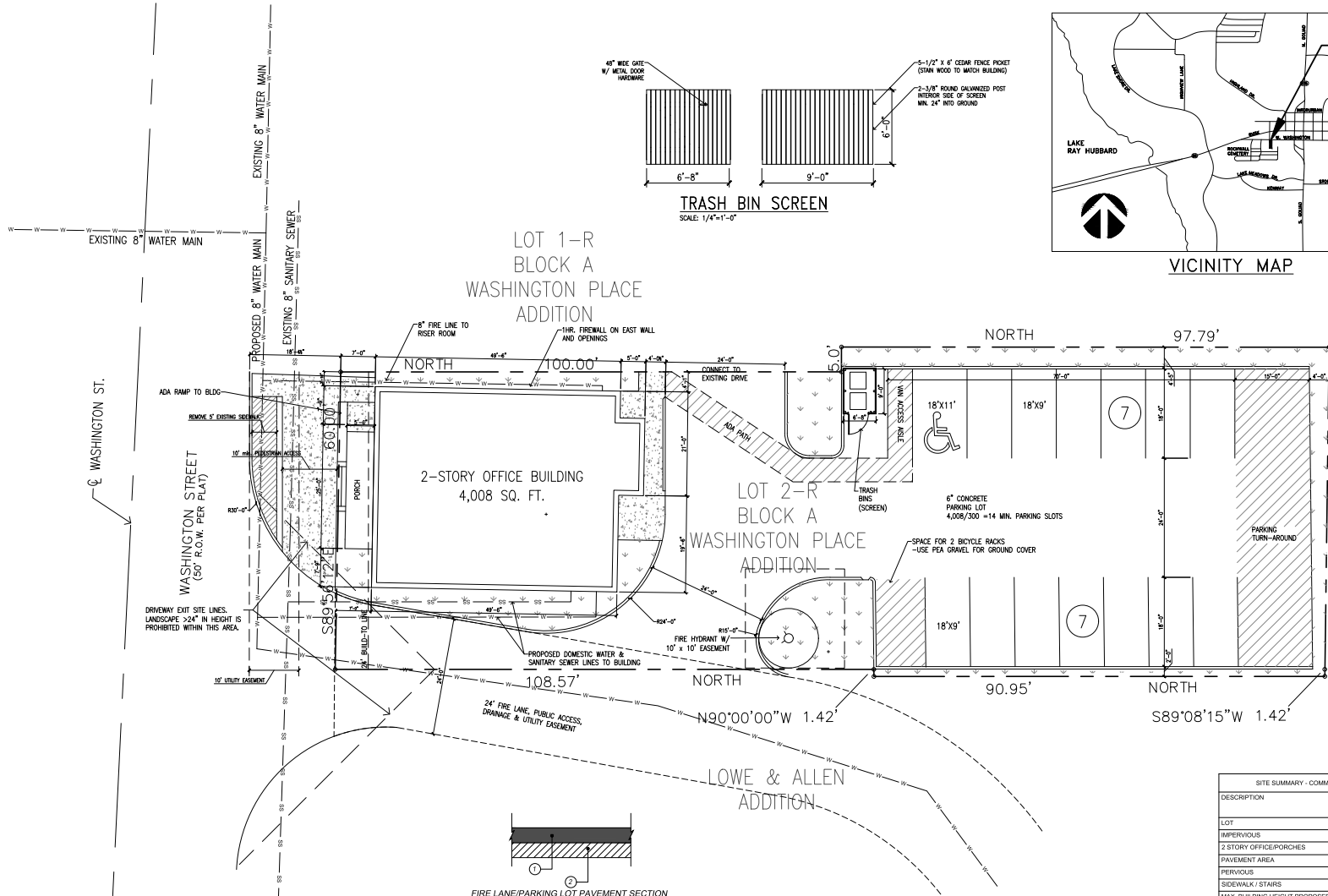
DRAWING NAME:
SITE PLAN

S1.0

SP2020-017



VICINITY MAP



CITY CEMETARY
LOWE & ALLEN
BLOCK 6
EXEMPT

SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION	LOT	PERCENTAGE
LOT	12,363	100 %
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SIDEWALK/STAIRS	293	2%
MAX. BUILDING HEIGHT PROPOSED	27'-6"	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,008 S.F.	
PARKING PROVIDED	14	
PARKING REQ'D	14	

FIRE LANE/PARKING LOT PAVEMENT SECTION
NTS

- 8"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 8" COMPACTED LIME STABILIZED SUBGRADE SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

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PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

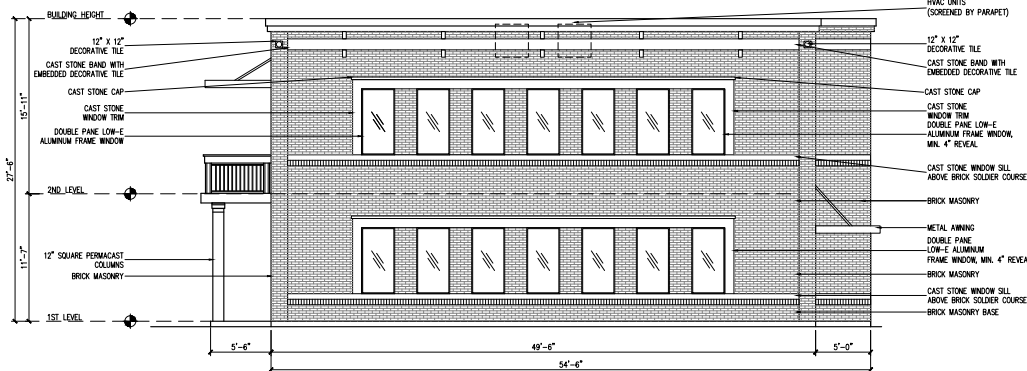
BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use



SITE PLAN
SCALE: 1"=10'
0' 10' 20'

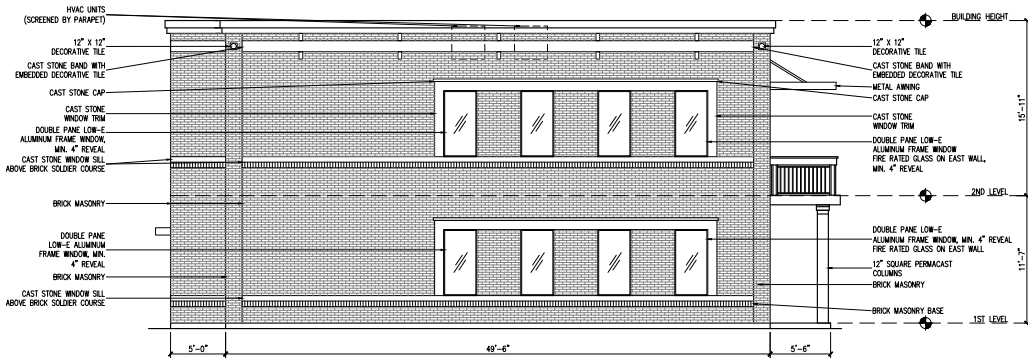
OWNER/DEVELOPER:
LMCC, LLC
JIMMY MCCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

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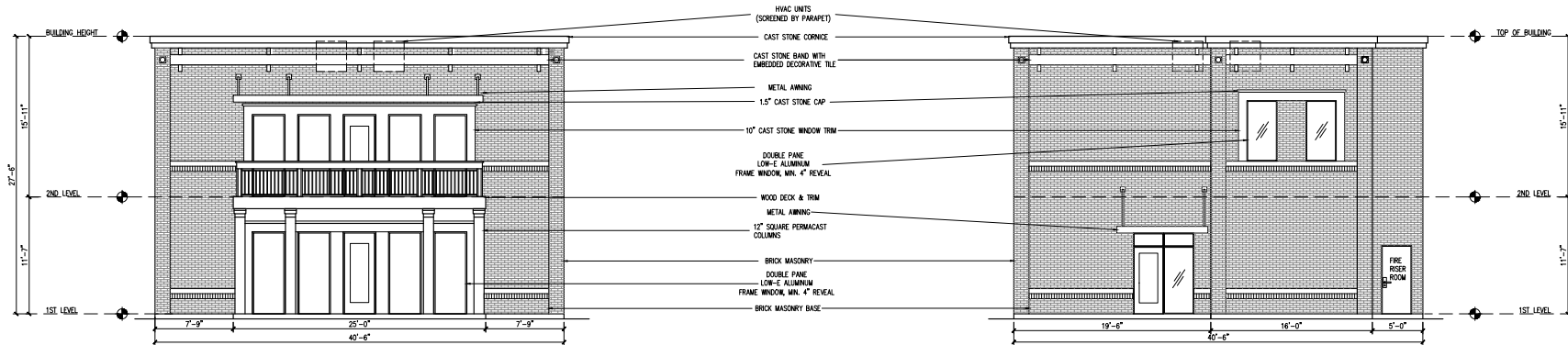
WEST ELEVATION

SCALE: 3/16" = 1'



EAST ELEVATION

SCALE: 3/16" = 1'



NORTH ELEVATION (FACING W. WASHINGTON)

SCALE: 3/16" = 1'

SOUTH ELEVATION

SCALE: 3/16" = 1'

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		216	
ACCOUNTABLE AREA		1,370	100%
MASONRY - BRICK		1,176	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		144	
ACCOUNTABLE AREA		1,442	100%
MASONRY - BRICK		1,248	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - NORTH (FACING WASHINGTON)			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		294	
ACCOUNTABLE AREA		863	100%
MASONRY - BRICK		621	72%
CAST STONE		242	28%

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		219	
ACCOUNTABLE AREA		908	100%
MASONRY - BRICK		790	86%
CAST STONE		128	14%

APPROVED:

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WITNESS OUR HANDS, THIS ____ DAY OF ____

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

BUILDERS COPY

Keep On Job Site At All Times
For Inspection Use



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



DATE	REVISION
06/28/2021	1 RESPONSE TO CITY COMMENTS

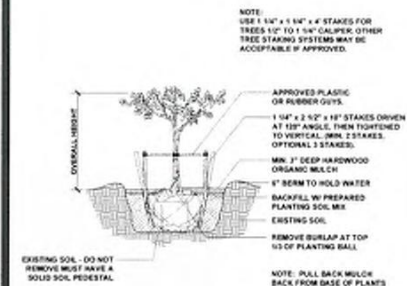
PROJECT NAME AND ADDRESS:
LMGC, LLC OFFICE
407 W WASHINGTON
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	06/28/2021
SCALE	
SHEET NO.	of
DRAWING NAME:	

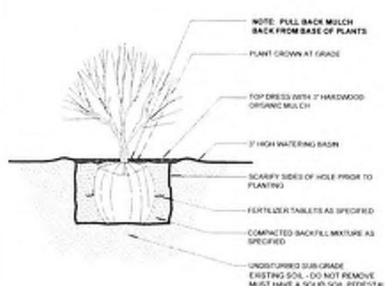
ELEVATIONS

A2.0

SP2020-017



C TREE PLANTING DETAIL



D SHRUB PLANTING DETAIL

EXCERPTS FROM ROCKWALL LANDSCAPE STANDARDS:

Sec. 5.7 - Street Landscaping
 A street landscape buffer strip with a minimum width of ten feet, must be provided along the entire length of the property to be developed that is adjacent to a major arterial or collector street, as defined in the city's thoroughfare plan, exclusive of driveways and access ways. Large trees, as herein defined, shall be provided in the required buffer in numbers equal to one tree for each 50 feet of street frontage.

Sec. 5.8 - Right-of-way Landscaping Requirements
 All street rights-of-way located adjacent to the proposed development shall be improved with grass, or ground cover material and shall be maintained. It shall be the responsibility of the developer to design the irrigation system within the lot to ensure that the grass planted in the right-of-way is watered and maintained and to ensure that excess water will enter the street drain. The design of the irrigation system shall have the design on the ultimate proposed width of the street when designing the system. The plans for design of the irrigation system shall be approved by the city prior to installation.

Sec. 5.9 - Parking lot Landscaping
 A. Any parking lot with more than two rows of spaces shall have a minimum of five percent or 200 square feet, whichever is greater, in the interior of the parking lot in landscaping. Such landscaping shall be counted toward the total landscaping.
 B. If the parking and maneuvering space exceeds 20,000 square feet one large canopy tree for every ten required parking spaces shall be required internal to the parking lot. No tree shall be planted closer than 21 feet to the pavement.
 1. No required parking space may be located more than 80 feet from the trunk of a large canopy tree.
 2. No tree may be planted closer than 25 feet to the pavement.
 3. All trees must be internal to the parking lot.

Sec. 5.11 - Distribution of Landscaping
 All required landscaping shall be no less than five feet wide and a minimum of 25 square feet in area unless it is within ten feet of the building. **Sec. 5.12 - Required Landscaping**
 A. Amount of Landscaping
 1. Minimum square footage requirements for landscaping shall be provided and maintained in the zoning districts set forth as follows. The requirements shall be applied to the total site area to be developed.
 Commercial 15 33

The total site area required for landscaping may be reduced by no more than five percent in accordance with the provisions of section 6. For example, the required percentage of 15 percent for commercial zoning could be reduced to a total of ten percent under the terms of section 6.

A. Location of Landscaping. No less than 50 percent of the total requirement shall be located in front of and along side buildings with street frontage in the following zoning districts: "R", "C", "M", "I", "U", "T", and "M". One hundred percent of the total requirement shall be located in front of and along side buildings with street frontage in the following zoning districts: "C", "M", "I", "U", "T".

B. Orientation of Trees. Orientation trees shall be landscaped in a natural manner using ground cover, grasses, shrubs and trees in all dry land areas. There shall be a minimum of one tree for each 150 square feet of dry land area.

SECTION - LANDSCAPE CREDITS
 Credits toward achieving landscape requirements may be achieved as follows:

Sec. 6.1 - Credits for Required Landscape Buffers Buffers for new residential and commercial zoning.
 The overall landscaping requirement may be reduced by 25 percent when a surface parking lot located adjacent to a public street is situated as follows:
 A. The system must be required, not required by this Unified Development Code.
 B. The screening must be located along the entire length of street frontage of the parking lot, exclusive of driveways, accessways, and visibility triangles. Visibility triangles will be maintained at all driveway intersections.
 C. The screening must be at least three feet in height utilizing only evergreen planting materials, bushes, and/or masonry walls.
 D. The adjacent street must be generally at the same grade level of the parking lot or below for each credit to qualify. **Sec. 6.2 - Credits for Right-of-way Landscaping - ROCKWALL LANDSCAPE STANDARDS**
 The overall landscaping requirement may be reduced by 25 percent when the public right-of-way adjacent to a proposed development is landscaped meeting the following requirements:
 A. All landscaping in the right-of-way shall be provided sufficient irrigation for maintenance.
 B. Plants used in landscaping in the right-of-way shall only be varieties included on the approved plant list.
 C. The plan for landscaping in right-of-way shall be submitted and approved by the city prior to any work being done in the right-of-way.
 D. In certain cases, the city may determine that landscaping in the right-of-way may be infeasible and in such cases this credit shall not apply.
 E. Landscaping shall include ground cover, shrubs, trees and/or other plant materials and must cover at least 50 percent of the adjacent right-of-way, exclusive of driveways, to qualify for this credit. Grass alone shall not qualify for this credit.
 F. If the city has an adopted landscape plan for the street adjacent to the proposed project, any proposed improvements must be in compliance with said plan. **Sec. 6.4 - Credits for Screening**
 The overall landscaping requirement may be reduced by 25 percent when the planning director or his/her designee determines that the standards stipulated by sections 5.10, landscaping standards of this article have been satisfied.

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT.	QTY.	MITIGATION
(Tree Symbol)	O	Chippewal / Lucena Hamilton / Desert Willow 2" cal. *ROCKWALL APPROVED TREE	0.8 B	1	3"
(Tree Symbol)	Pe	Pinus edulis / Engelm Pine 1" cal. *ROCKWALL APPROVED TREE	0.8 B	1	6"
(Tree Symbol)	Sa	Sapindus saponaria / Texas Mountain Laurel 2" cal.	20' Box	1	2"
(Tree Symbol)	Vc	Vincetoxicum / Chinese Tree 2" cal.	0.8 B	1	3"
					14"
SHRUBS					
(Shrub Symbol)	Sm	Suaeda frutescens / Liveoak 3 gal.			
(Shrub Symbol)	Hr	Hesperaloe parviflora / Red Yucca *ROCKWALL APPROVED PLANT	5 gal.	10	
(Shrub Symbol)	Lh	Lantana montevidensis / New Gold / Gold Lantana	1 gal.	13	
(Shrub Symbol)	Lc	Leucophyllum frutescens / Green Cloud / Texas Ranger *ROCKWALL APPROVED PLANT	5 gal.	9	
(Shrub Symbol)	Ls	Liquidambar styraciflua / Sweetgum / Sunshine Liquidambar	5 gal.	8	
(Shrub Symbol)	Lp	Lopatiolobium laevigatum / Pink Diamond / Fragrant Flower *ROCKWALL APPROVED PLANT	5 gal.	3	
(Shrub Symbol)	Mh	Melissa / Soft Caress / Soft Caress Melissa	3 gal.	11	
(Shrub Symbol)	Ma	Muhlenbergia sp. / Dandelion Grass *ROCKWALL APPROVED PLANT	5 gal.	1	
(Shrub Symbol)	Mm	Muhlenbergia capillaris / Muley Grass *ROCKWALL APPROVED PLANT	5 gal.	9	
(Shrub Symbol)	Ph	Perovosium sp. / Hansoni / Desert Fountain Grass *ROCKWALL APPROVED PLANT	5 gal.	13	
(Shrub Symbol)	Pv	Pithecomora toba / Viregata / Viregated Mock Orange	5 gal.	20	
(Shrub Symbol)	Rp	Rosa rugosa / Prairie Rose / Trailing Rosemary *ROCKWALL APPROVED PLANT	1 gal.	6	
(Shrub Symbol)	Sg	Salvia greggii / Pink / Pink Autumn Sage	3 gal.	3	
GRASSES					
(Grass Symbol)	Al	Agave ovatifolia / Freely Blue / White's Tongue Agave	5 gal.	2	
GROUND COVERS					
(Ground Cover Symbol)	Oh	Oenothera biennis / Bluebonnet / Bermuda Grass *ROCKWALL APPROVED PLANT	sq ft	294 sf	
(Ground Cover Symbol)	Dg	Decomposed Granite 1/4" minus screened Orange D.G. over filter fabric	2" deep	163 sf	
(Ground Cover Symbol)	Hs	Hardwood / Mulch	2" deep	834 sf	
(Ground Cover Symbol)	Ts	Topsoil Black / Silt	2" deep	863 sf	

B PLANT SCHEDULE

SITE SUMMARY - COMMERCIAL ZONING

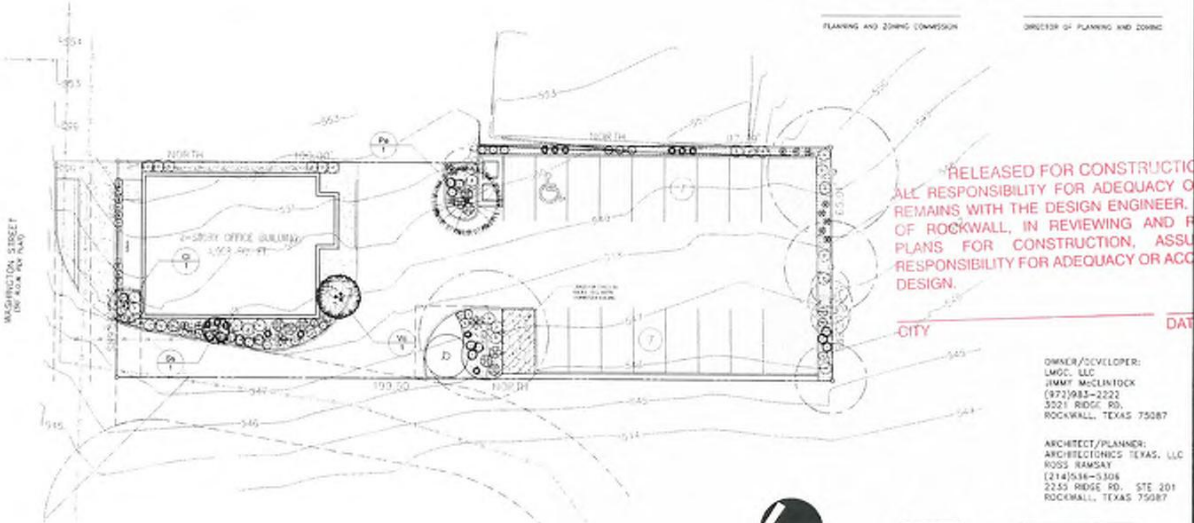
DESCRIPTION	LOT PERCENTAGE
LOT	12.383
IMPERVIOUS	10.323
2 STORY OFFICE BODIES	2.247
PAVEMENT AREA	7.763
PERVIOUS	2.966
SIDEWALK / STAIRS	290
MAX. BUILDING HEIGHT PROPOSED	27'-0"
OFFICE (300 S.F.)	4200 S.F.
PARKING PROVIDED	14
PARKING REQ'D	14



REQUIRED PLANTINGS
 A. STREET TREES:
1 TREE FOR EVERY 50 L.F. OF FRONTAGE **W Washington Street - 60 / 50 = 12** **(1) 3" TREE REQUIRED**
(1) 3" TREE PROVIDED

THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A B-STATION SMART CONTROLLER WITH WIFI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH INLINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION: BACKFLOW WYE STRAINER AND SHUT-OFF VALVE TO BE INSTALLED PER CITY OF ROCKWALL STANDARD IRRIGATION REQUIREMENTS.

NOTE:
 NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES



A PLANTING PLAN

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 20__.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

RELEASED FOR CONSTRUCTION. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING THESE PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER/DEVELOPER:
 LMGCC, LLC
 2145F MACLIN DCK
 (972) 983-2222
 3021 RODE RD.
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
 ARCH ELECTRONICS TEXAS, LLC
 8032 RAMSAY
 (214) 538-5308
 2255 RODE RD., STE 201
 ROCKWALL, TEXAS 75087

GRAPHIC SCALE
 0 15' 30' 45'

SCALE: 1/16" = 1'-0"

PLANTING PLAN
 DATE: _____

FOR LMGCC, LLC OFFICE
 407 W WASHINGTON ST
 ROCKWALL, TX 75087

20-10-103
 SEPTEMBER 11, 2020
 L2.1

**407 W WASHINGTON
 LANDSCAPE PLANS**

Landscape Architecture
 EN. ARCHITECT. ARTS

2033 Junction Lane
 Rockwall, TX 75087
 phone (702) 339-0825
 mlayer@mayerdesignstudio.com

MAYER
 DESIGN STUDIO

ROCKWALL LANDSCAPE PLANS
 SEP 11, 2020

STATE OF TEXAS

TREES TO BE PRESERVED

TREE PROTECTION SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
1	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
2	Fraxinus texensis	Texas Ash	PROTECTED	STANDARD	8"	1 : 1	8"	PROTECT
3	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
4	Carya texana	Black Hickory	PROTECTED	STANDARD	17"	1 : 1	17"	PROTECT
5	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
6	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	8"	1 : 0.5	4"	PROTECT
7	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
8	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	13"	1 : 0.5	6.5"	PROTECT
TOTAL CALIPER INCHES OF TREES TO BE PRESERVED							69.2"	

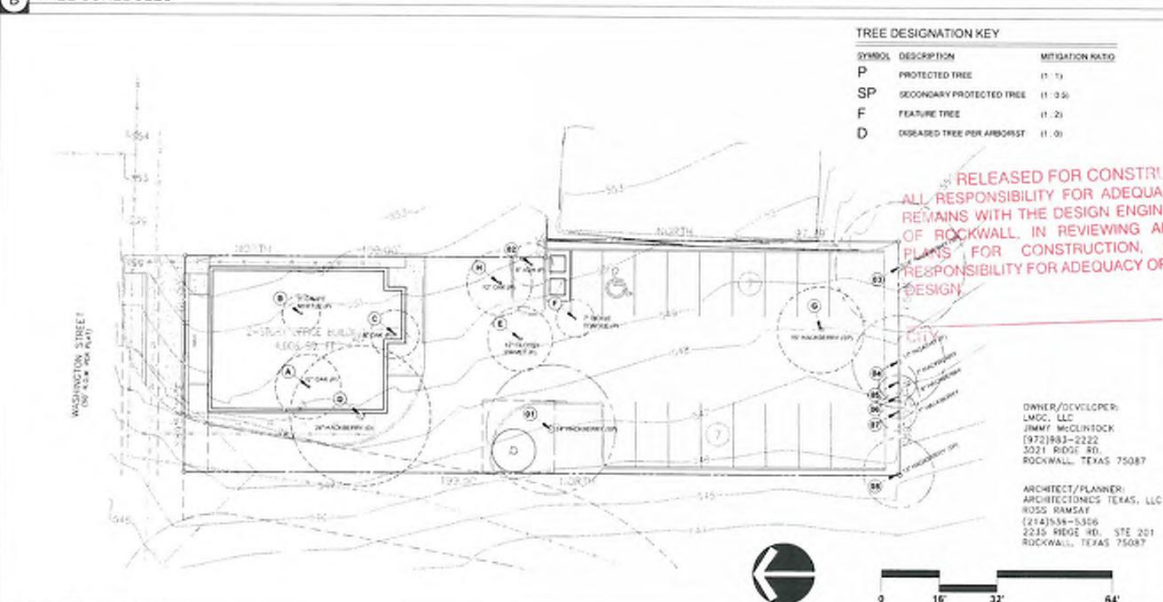
TREES TO BE REMOVED

TREE REMOVAL SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
1	Quercus sp	Oak	PROTECTED	STANDARD	12"	1 : 1	12"	REMOVE
2	Ligustrum indica	Crape Myrtle	PROTECTED	MULTI	7"	1 : 1	7"	REMOVE
3	Quercus sp	Oak	PROTECTED	STANDARD	9"	1 : 1	9"	REMOVE
4	Celtis occidentalis	Hackberry	DAMAGED	STANDARD	25"	1 : 0.0	0"	REMOVE
5	Ligustrum lucidum	Glossy Privet	PROTECTED	MULTI	12"	1 : 1	12"	REMOVE
6	Zanthoxylum clavatum	Tickle Tongue tree	PROTECTED	STANDARD	7"	1 : 1	7"	REMOVE
7	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	16"	1 : 0.5	8"	REMOVE
8	Quercus sp	Oak	PROTECTED	STANDARD	12"	1 : 1	12"	REMOVE
TOTAL CALIPER INCHES OF TREES TO BE REMOVED							60"	

55' x 20% = 11 x \$100 = 1,340 \$1,340 to be paid to the City of Rockwall tree fund
 55' x 60% = 44 44' minimum to be planted as mitigation
 The City of Rockwall has agreed to waive mitigation requirements on tree 1' - 12" Oak.
 Tree D is diseased and should be removed to prevent property damage.

B TREE SCHEDULES

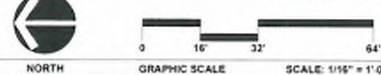


TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1 : 1)
SP	SECONDARY PROTECTED TREE	(1 : 0.5)
F	FEATURE TREE	(1 : 2)
D	DISEASED TREE PER ARBORIST	(1 : 0)

OWNER/DEVELOPER:
 LMGC, LLC
 2145 WASHINGTON ST
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 2215 REGE RD, STE 201
 ROCKWALL, TEXAS 75087



The intent of this drawing is to show existing trees to be preserved or removed in order to develop the proposed project. Property owner will be responsible for any fees or penalties owed at the discretion of the City of Rockwall. Demolition contractor is responsible for ensuring all required permits and paperwork from the City of Rockwall are in place before beginning demolition.

Refer to The City of Rockwall - Article 84 - TREE PRESERVATION
 also The City of Rockwall - Article VIII - LANDSCAPE STANDARDS

THERE IS ONE EXISTING FEATURE TREE ON THIS SITE (ie 25" caliper or more of the protected species) THAT TREE IS TO BE REMOVED - THE TREE IS DAMAGED AND ROTTING.

NOTE
 ALL BOUNDARY TREES ALONG THE SOUTH PROPERTY LINE ARE TO REMAIN. PROTECT ANY TREES THAT ARE CLOSE PROXIMITY TO GRADING OR CONSTRUCTION ACTIVITIES.

SECTION 5 - TREE MITIGATION REQUIREMENTS

The tree mitigation requirements shall apply for all properties that do not fall under the exemptions listed in section 1.3. Exemptions, if this article, in addition, if a landscape plan or tree removal plan allows for the removal of a protected or feature tree, the applicant and/or property owner shall account for the number of inches of tree being removed using the following criteria:

- Primary protected trees: Primary protected trees measuring four inches through 24 inches DBH shall be replaced on an inch-for-inch basis (i.e. the total number of caliper inches of tree being replaced shall equal the total number of caliper inches being removed).
- Secondary protected trees: Hackberry and cedar trees measuring 11 inches through 25 inches DBH shall be replaced with a half-inch for every inch removed (i.e. the total number of caliper inches of tree required to be replaced shall be half (1/2) of the inches being removed).
- Featured trees: Featured trees (i.e. all trees greater than 25 inches) shall be replaced with twice the number of inches being removed (i.e. the total number of caliper inches of tree being replaced shall be twice the number of caliper inches being removed).
- Non-protected tree: No mitigation will be required for the removal of any tree that is less than four inches DBH or less than 11 inches DBH for hackberry and cedar trees. In addition, no mitigation shall be required for the removal of live oaks, yellow redbarked, loblolly, and Chinquapin trees.
- Tree preservation credits: For each saved oak, pecan or elm trunk 25 inches DBH or greater the mitigation balance can be reduced on an inch-for-inch basis for up to 20 percent of the total mitigation balance (i.e. total mitigation balance + 20 percent = total eligible tree preservation credits).
- Mitigation balance: The total mitigation balance (i.e. mitigation balance - tree preservation credits + total mitigation balance) may be satisfied through one or a combination of the following:
 - The developer/property owner can provide the required number of trees three-inch caliper DBH minimum on the subject property to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be planted on site to satisfy the mitigation requirements).
 - The developer/property owner may petition the parks and recreation department to accept the required number of trees three-inch caliper DBH minimum to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be submitted to the parks and recreation department to satisfy the mitigation requirements). Depending on the number of trees being submitted the director of parks and recreation or his/her designee could require a facility agreement be approved prior to accepting the trees.
 - Tree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20 percent of the total replacement inches (e.g. if total mitigation required was 100 inches the developer/property owner could pay a total of \$4,000.00 (i.e. 20% x 100) = \$200.00 = \$4,000.00) into the city's tree fund. However, the developer/property owner would still be required to satisfy a remaining tree mitigation balance of 80 inches. In addition, if the developer/property owner plants a tree on (i) the property for which the tree preservation credit was awarded or on a location that is mutually agreed upon by the city and the developer/property owner, the developer/property owner shall be eligible for a reduction in the cost of tree preservation credits of up to 50 percent. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.
 - Trees required by article VIII, landscape standards, of the Unified Development Code shall be permitted to be subtracted from the total mitigation balance if provided on site as part of the proposed landscaping.
- Alternative tree mitigation/offset agreements: In certain cases, the city council, upon recommendation from the planning and zoning commission, may consider an alternative tree mitigation/offset agreement. Due to the fact that the applicant is unable to meet the requirements of the article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant, these funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.

C TREE PRESERVATION NOTES

A TREESCAPE PLAN



407 W WASHINGTON
 LANDSCAPE PLANS

2617 JAMESON BLVD
 ROCKWALL, TX 75087
 PHONE: (972) 339-6825
 MIA@MAYERMAYERS.COM

MAYER
 LANDSCAPE STUDIO



DATE: _____

BY: _____

FOR: _____

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2020.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2020.

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

RELEASED FOR CONSTRUCTION DESIGN
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

DATE: _____

FOR: LMGC, LLC OFFICE
 407 W WASHINGTON ST
 ROCKWALL, TX 75087

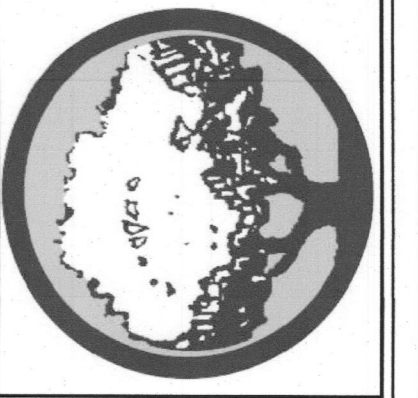
20-10-103

SEPTEMBER 11, 2020

L1.1



ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



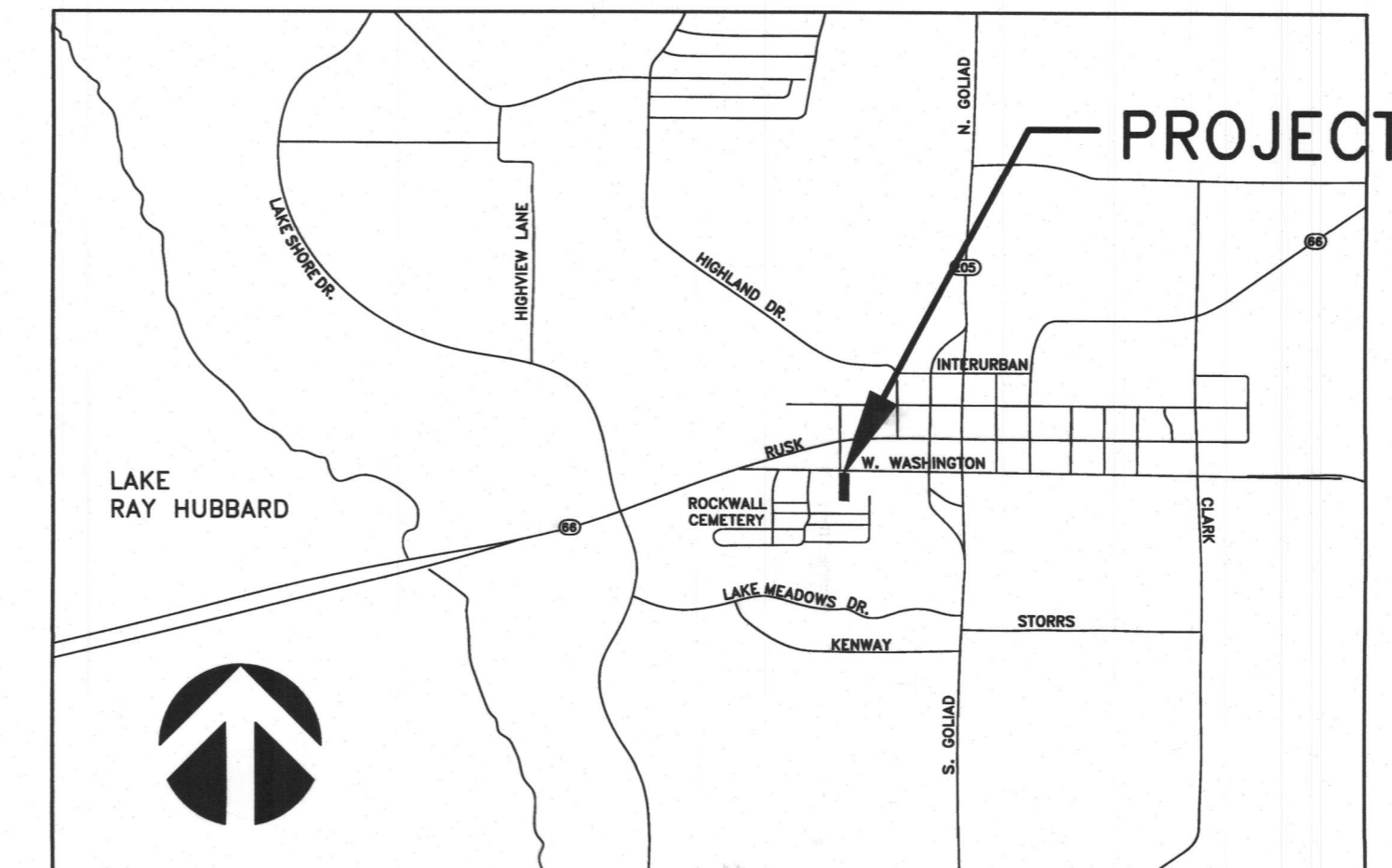
NO.	REVISIONS	DATE

PROJECT NAME AND ADDRESS:
LMGC, LLC OFFICE
 407 W WASHINGTON
 ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	09/02/2020
SCALE	1" = 10'
SHEET NO.	of

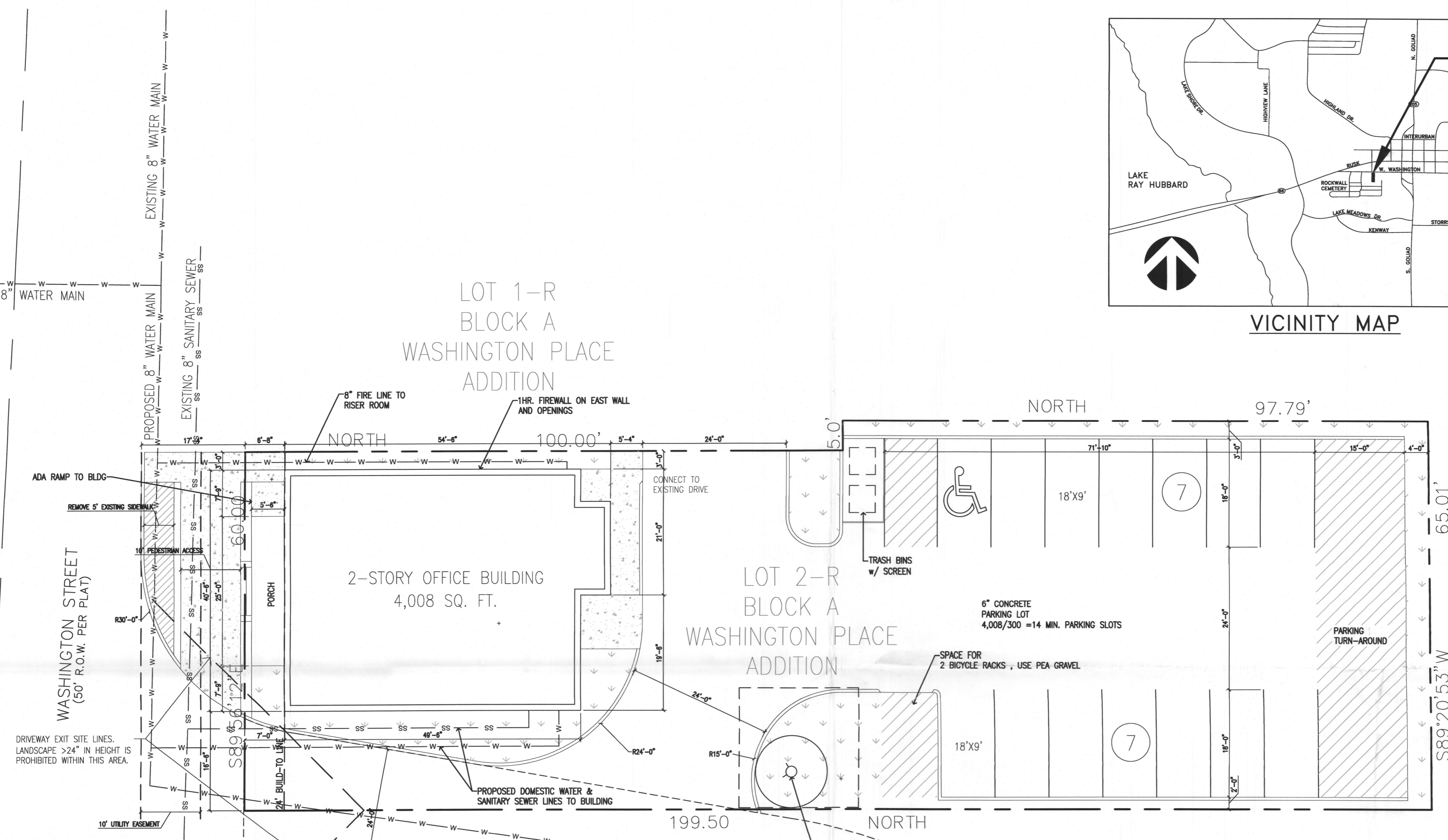
DRAWING NAME:
SITE PLAN

S1.0
 SP2020-017



VICINITY MAP

PROJECT LOCATION



CITY CEMETARY
 LOWE & ALLEN
 BLOCK 6
 EXEMPT

APPROVED:

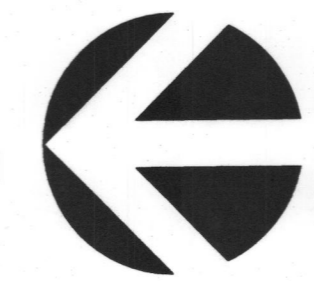
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15 DAY OF September, 2020

WITNESS OUR HANDS, THIS 15 DAY OF September, 2020
 [Signature] DIRECTOR OF PLANNING AND ZONING
 [Signature] PLANNING AND ZONING COMMISSION

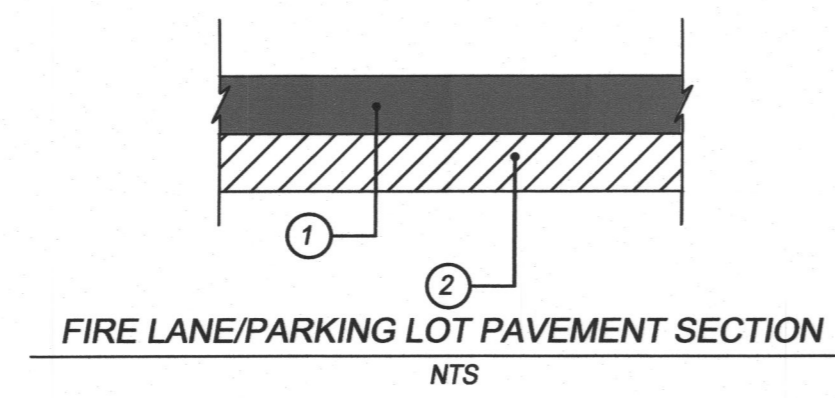
SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION		LOT PERCENTAGE
LOT	12,383	100 %
IMPERVIOUS	10,323	84%
2 STORY OFFICE/PORCHES	2,247	18%
PAVEMENT AREA	7,783	64%
PERVIOUS	2,060	16%
SIDEWALK / STAIRS	293	2%
MAX. BUILDING HEIGHT PROPOSED	27'-6"	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,008 S.F.	
PARKING PROVIDED	14	
PARKING REQ'D	14	

OWNER/DEVELOPER:
 LMGCC, LLC
 JIMMY McCLINTOCK
 (972)983-2222
 3021 RIDGE RD.
 ROCKWALL, TEXAS 75087

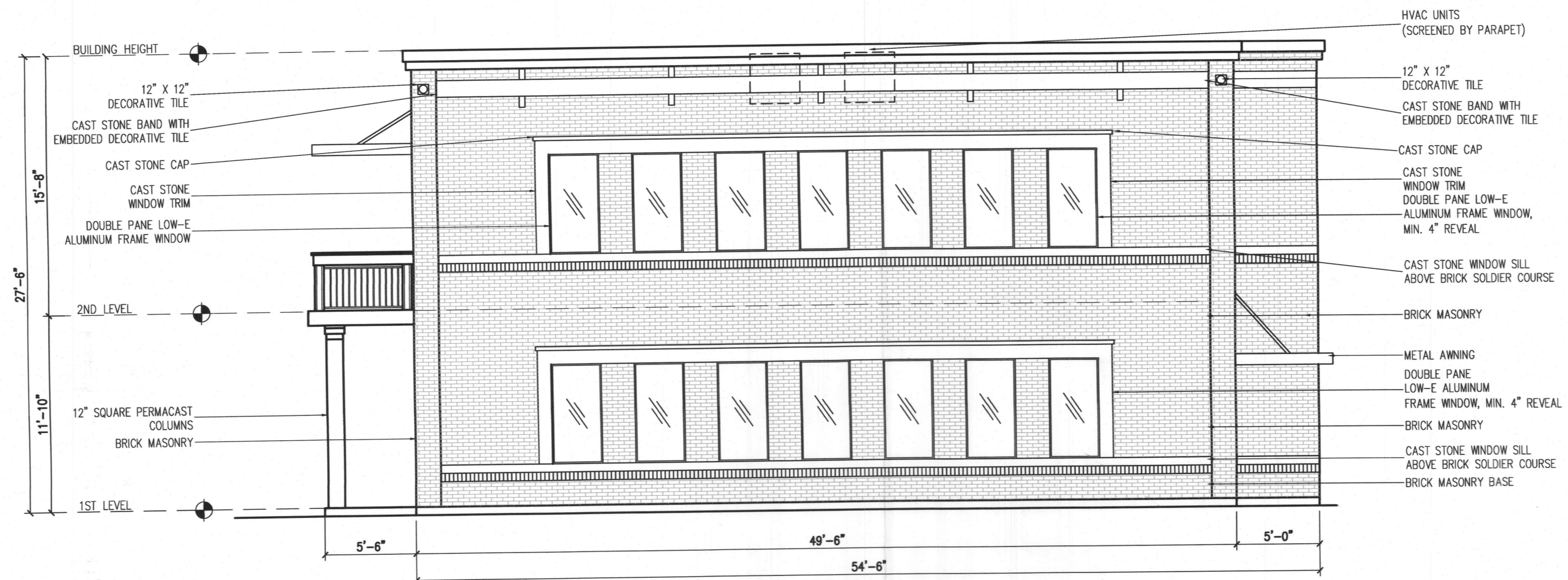
ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (214)536-5306
 2235 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087



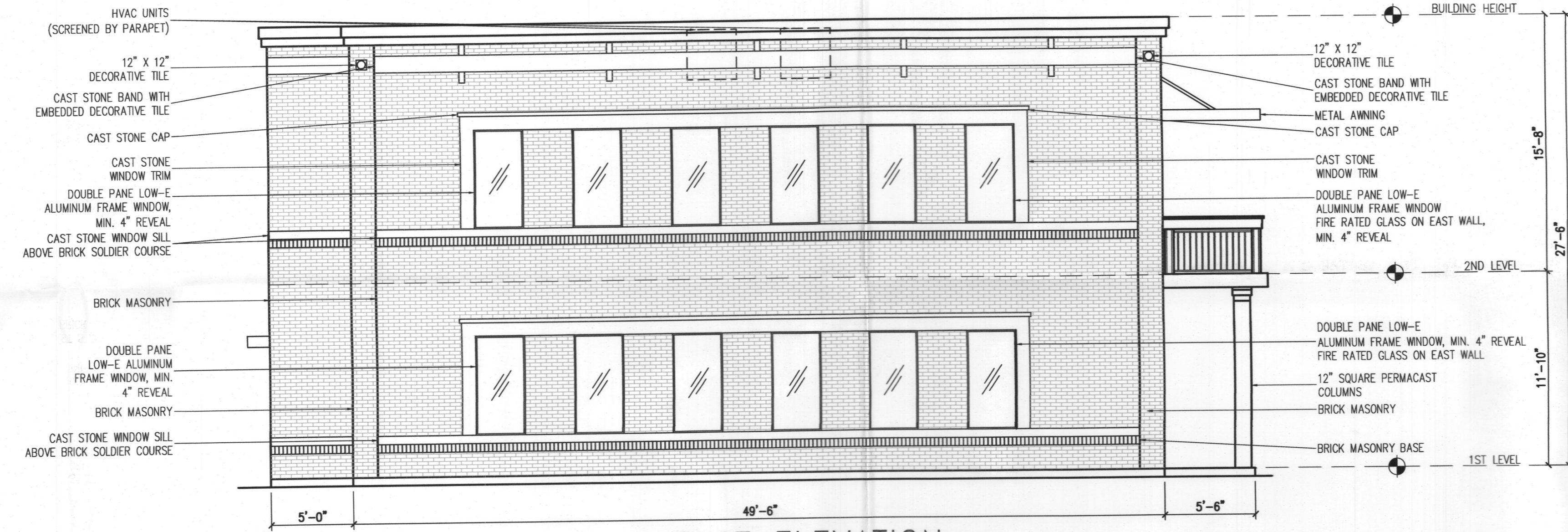
SITE PLAN
 SCALE: 1"=10'



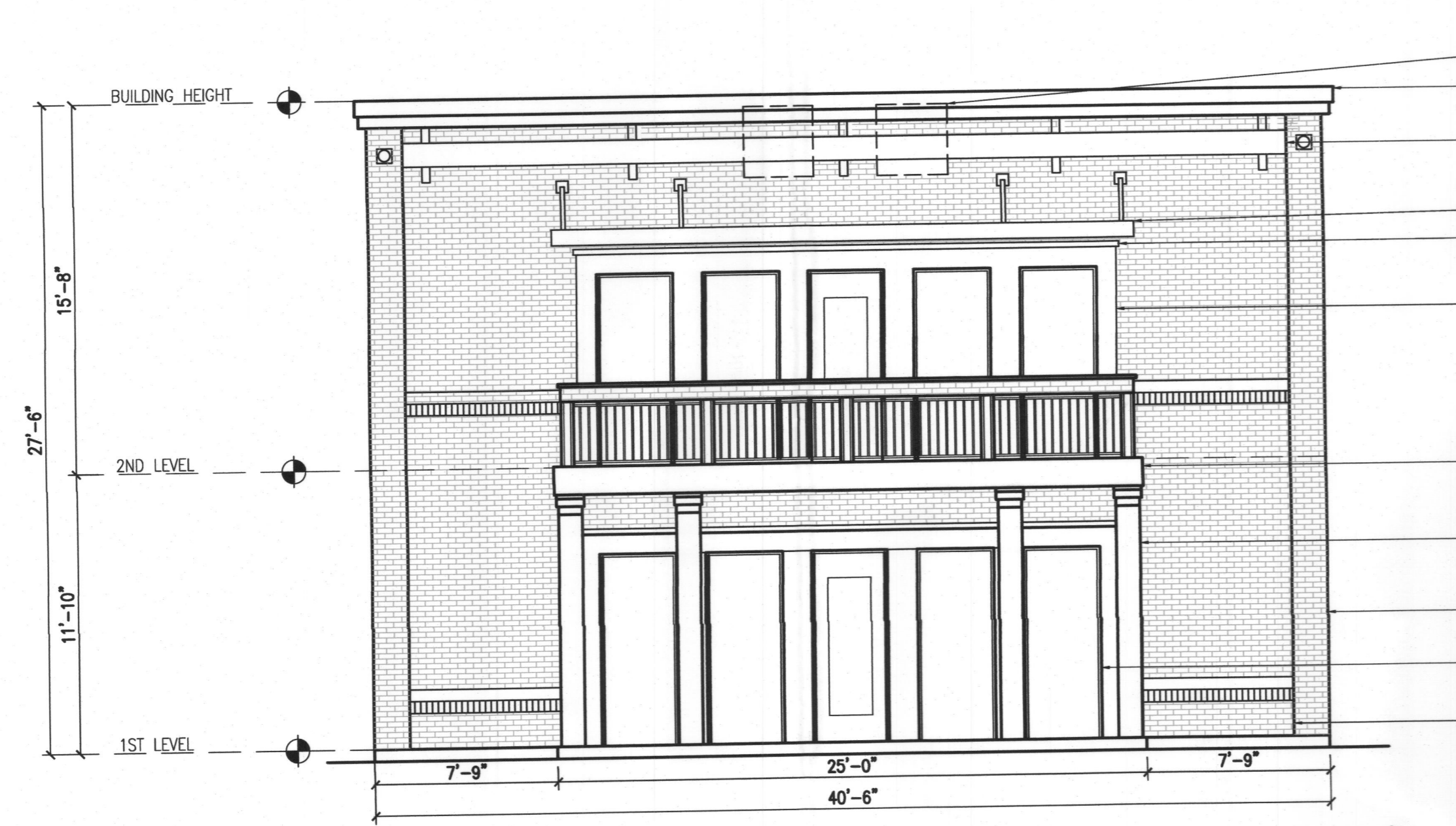
- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



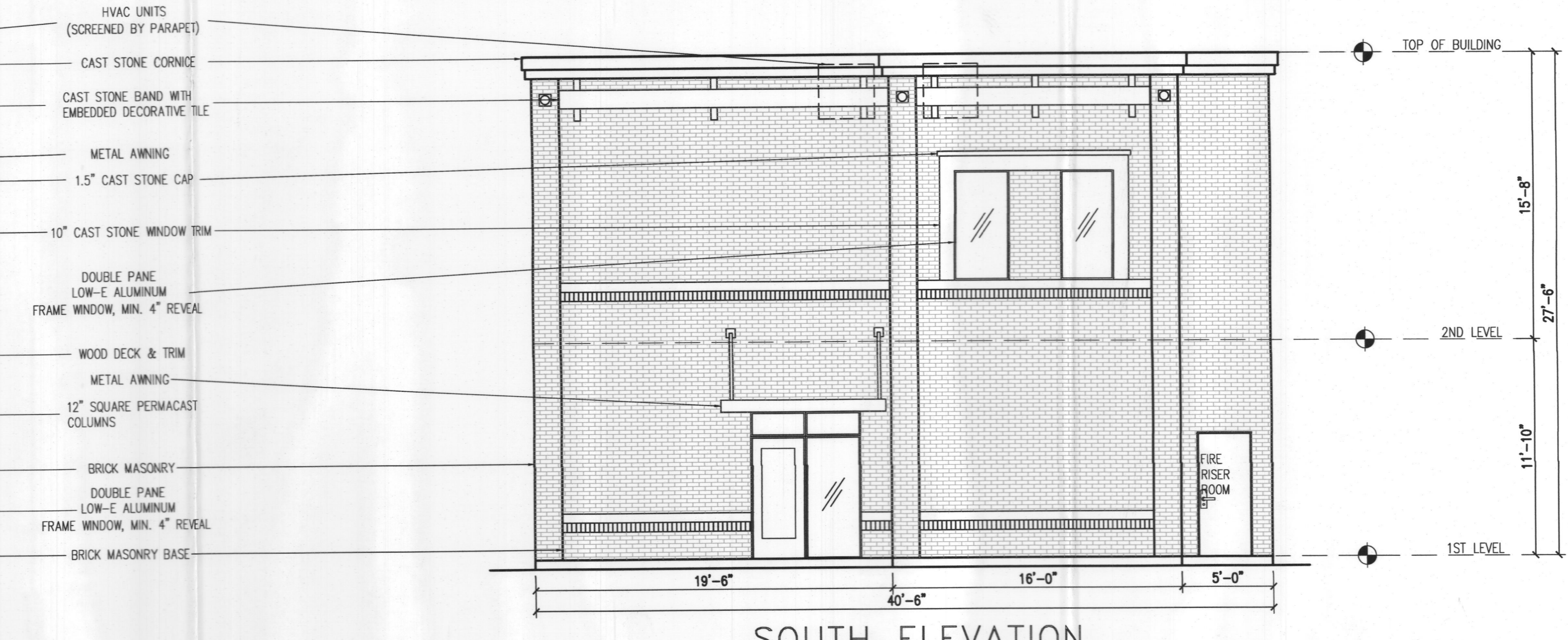
WEST ELEVATION
SCALE: 3/16" = 1'



EAST ELEVATION
SCALE: 3/16" = 1'



NORTH ELEVATION (FACING W. WASHINGTON)
SCALE: 3/16" = 1'



SOUTH ELEVATION
SCALE: 3/16" = 1'

MATERIAL USAGE (%) - WEST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		216	
ACCOUNTABLE AREA		1,370	100%
MASONRY - BRICK		1,176	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - EAST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		216	
ACCOUNTABLE AREA		1,370	100%
MASONRY - BRICK		1,176	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - NORTH (FACING WASHINGTON)

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		264	
ACCOUNTABLE AREA		863	100%
MASONRY - BRICK		621	72%
CAST STONE		242	28%

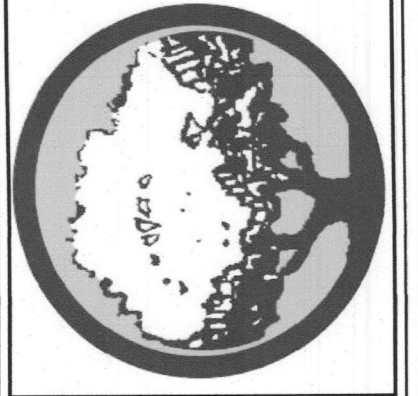
MATERIAL USAGE (%) - SOUTH

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		219	
ACCOUNTABLE AREA		908	100%
MASONRY - BRICK		780	86%
CAST STONE		128	14%

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15 DAY OF September, 2020.
WITNESS OUR HANDS, THIS 15 DAY OF September, 2020.
[Signature]
PLANNING AND ZONING COMMISSION
[Signature]
DIRECTOR OF PLANNING AND ZONING



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



NO.	REVISIONS	DATE

PROJECT NAME AND ADDRESS:
LMCC, LLC OFFICE
407 W WASHINGTON
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	09/02/2020
SCALE	
SHEET NO.	of

DRAWING NAME:
ELEVATIONS

A1.0
SP2020-017

BY: _____

DATE: _____

REVISIONS: _____

PLANTING PLAN

JOB: **LMGC, LLC OFFICE**
407 W WASHINGTON ST
ROCKWALL, TX 75087

20-10-103

SEPTMBER 11, 2020

L2.1

SECTION 6. - LANDSCAPE CREDITS

Credits toward achieving landscape requirements may be achieved as follows.

Sec. 6.1. - Credit for required landscape buffer-strips between residential and nonresidential zoning.

The overall landscaping requirement may be reduced by 2.5 percent when the buffer-strip, whether required or not, has a minimum average width of 15 feet or greater and contains at least one large tree every 40 feet, or large shrubs at least every ten feet the entire length of the perimeter adjacent to property with residential zoning. This perimeter must equal at least 25 percent of the total perimeter of all adjacent private property.

Sec. 6.2. - Credit for surface parking screening.

The overall landscaping requirement may be reduced by 2.5 percent when a surface parking lot located adjacent to a public street is screened as follows:

- A. The screen must be voluntary, not required by this Unified Development Code.
- B. The screening must be located along the entire length of street frontage of the parking lot, exclusive of driveways, accessways, and visibility triangles. Visibility triangles will be maintained at all driveway intersections.
- C. The screening must be at least three feet in height utilizing only evergreen planting materials, berms, and/or masonry walls.
- D. The adjacent street must be generally at the same grade level of the parking lot or below for such credit to qualify.

Sec. 6.3. - Credit for right-of-way landscaping. ROCKWALL LANDSCAPE STANDARDS

The overall landscaping requirement may be reduced by 2.5 percent when the public right-of-way adjacent to a proposed development is landscaped meeting the following requirements:

- A. All landscaping in the right-of-way shall be provided sufficient irrigation for maintenance.
- B. Plants used in landscaping in the right-of-way shall only be varieties included on the approved plant list.
- C. The plan for landscaping in right-of-way shall be submitted and approved by the city prior to any work being done in the right-of-way.
- D. In certain cases, the city may determine that landscaping in the right-of-way may be infeasible and in such cases this credit shall not apply.
- E. Landscaping shall include ground cover, shrubs, trees and/or other plant materials and must cover at least 50 percent of the adjacent right-of-way, exclusive of driveways, to qualify for this credit. Grass alone shall not qualify for this credit.
- F. If the city has an adopted landscape plan for the street adjacent to the proposed project, any proposed improvements must be in compliance with said plan.

Sec. 6.4. - Credit for xeriscaping.

The overall landscaping requirement may be reduced by 2.5 percent when the planning director or his/her designee determines that the standards stipulated by section 5.10, xeriscaping standards, of this article have been satisfied.

EXCERPTS FROM ROCKWALL LANDSCAPE STANDARDS:

Sec. 5.7. - Street landscaping.

A street landscape buffer-strip with a minimum width of ten feet, must be provided along the entire length of the property to be developed that is adjacent to a major arterial or collector street, as defined in the city's thoroughfare plan, exclusive of driveways and accessways. Large trees, as herein defined, shall be provided in the required buffer in numbers equal to one tree for each 50 feet of street frontage.

Sec. 5.8. - Right-of-way landscaping requirements.

All street rights-of-way located adjacent to the proposed development shall be improved with grass or ground cover material and shall be maintained. It shall be the responsibility of the developer to design the irrigation system within the lot to ensure that the grass placed in the right-of-way is watered and maintained and to ensure that minimal water will enter the street itself. The designer of the irrigation system shall base the design on the ultimate proposed width of the street when designing the system. The plans for design of the irrigation system shall be approved by the city prior to installation.

Sec. 5.9. - Parking lot landscaping.

- A. Any parking lot with more than two rows of spaces shall have a minimum of five percent or 200 square feet, whichever is greater, in the interior of the parking lot in landscaping. Such landscaping shall be counted toward the total landscaping.
- B. If the parking and maneuvering space exceeds 20,000 square feet one large canopy tree for every ten required parking spaces shall be required internal to the parking lot. No tree shall be planted closer than 2 1/2 feet to the pavement.
 - No required parking space may be located more than 80 feet from the trunk of a large canopy tree.
 - No tree may be planted closer than 2 1/2 feet to the pavement.
- C. All trees must be internal to the parking lot.

Sec. 5.11. - Dimensions of landscaping.

All required landscaping shall be no less than five feet wide and a minimum of 25 square feet in area unless it is within ten feet of the building.

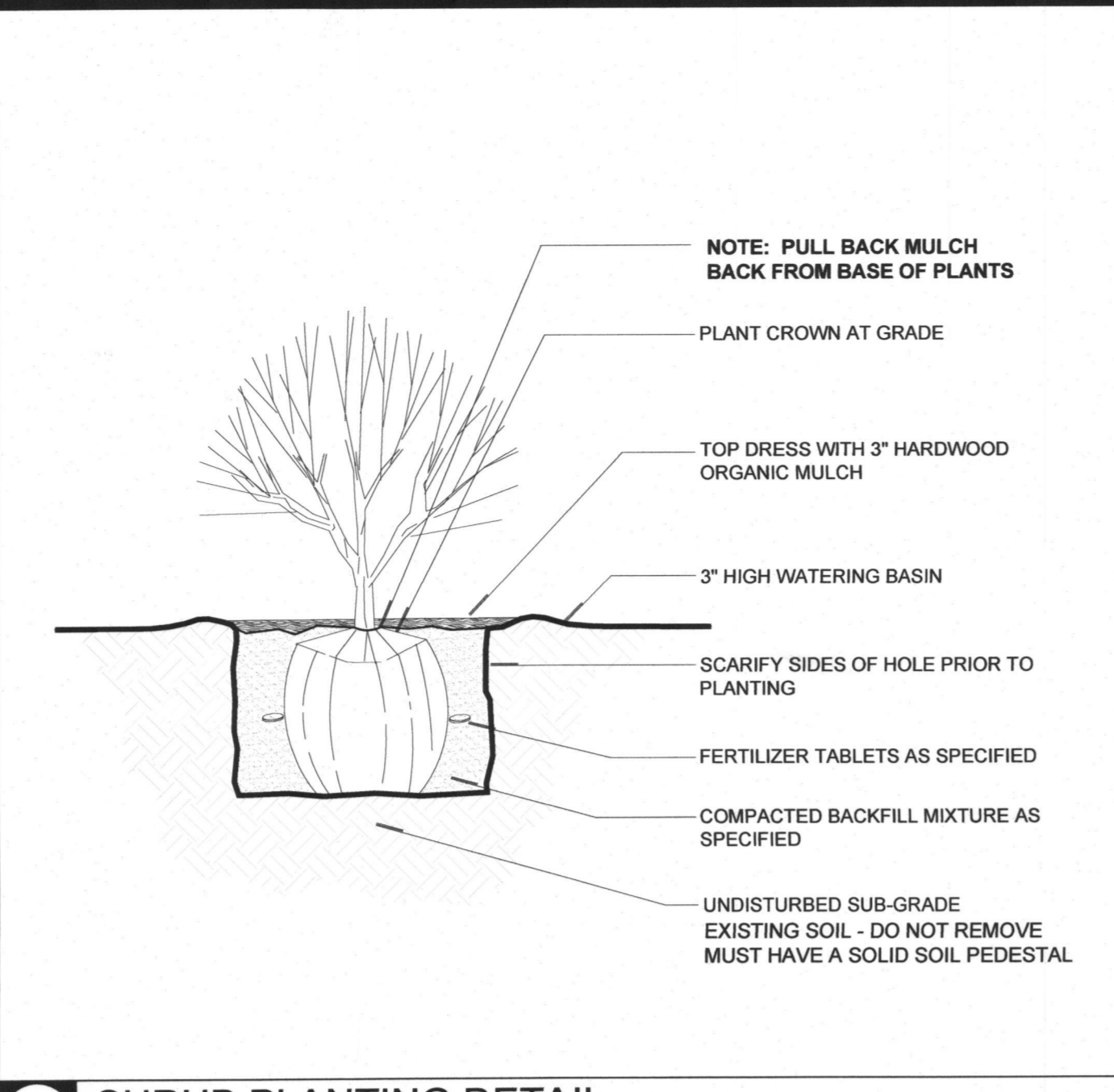
Sec. 5.12. - Required landscaping.

A. Amount of landscaping.

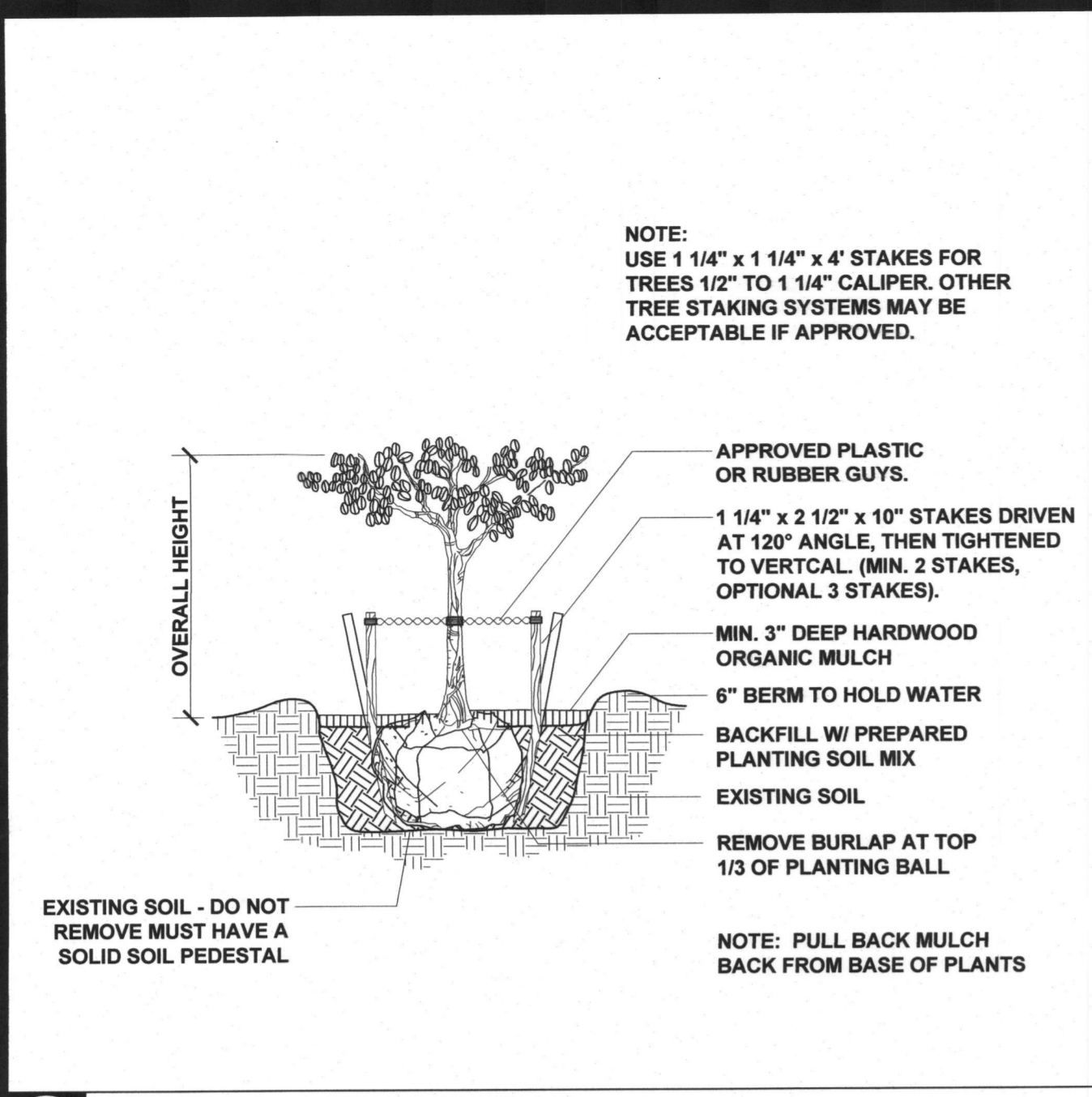
- Minimum square footage requirements for landscaping shall be provided and maintained in the zoning districts set forth as follows. The requirements shall be applied to the total site area to be developed:

Commercial	15	10
------------	----	----

The total site area required for landscaping may be reduced by no more than five percent in accordance with the provisions of section 6. For example, the required percentage of 15 percent for commercial zoning could be reduced to a total of ten percent under the terms of section 6.



D SHRUB PLANTING DETAIL



C TREE PLANTING DETAIL

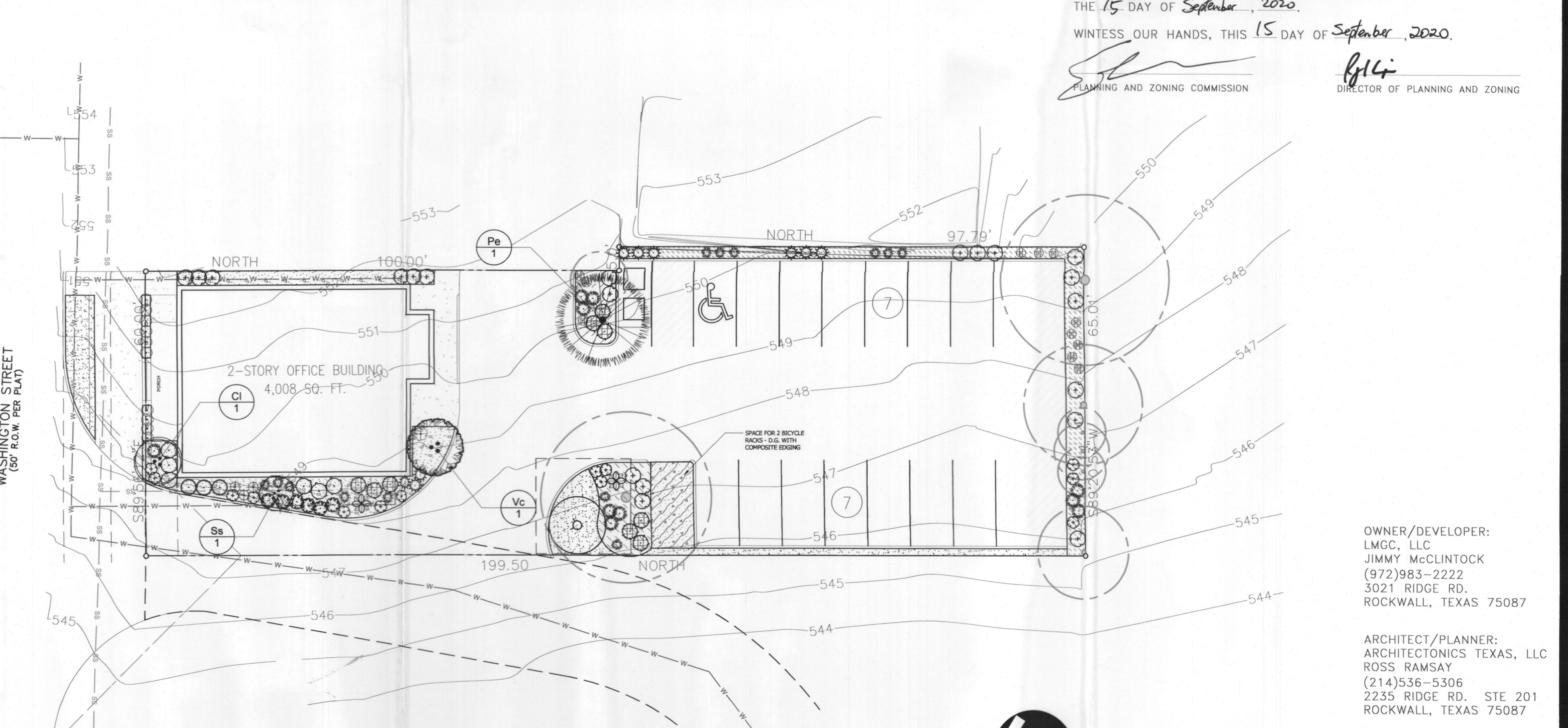
PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY	MITIGATION
	Cl	Chilopsis l. 'Lucretia Hamilton' / Desert Willow 3" cal. * ROCKWALL APPROVED TREE	B & B	1	3"
	Pe	Pinus elliottiana / Afghan Pine 6" cal. * ROCKWALL APPROVED TREE	B & B	1	6"
	Ss	Sophora secundiflora / Texas Mountain Laurel 2" cal.	20" Box	1	2"
	Vc	Vitex agnus-castus / Chaste Tree 3" cal.	B & B	1	3"
SHRUBS					
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	Bmj	Buxus microphylla / Littleleaf Boxwood	3 gal	10	14"
	Hp	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT	5 gal	10	
	Lm	Lantana montevidensis 'New Gold' / Gold Lantana	1 gal	13	
	Lg	Leucophyllum frutescens 'Green Cloud' / Texas Ranger * ROCKWALL APPROVED PLANT	5 gal	9	
	Ls	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum	5 gal	6	
	Lp	Loropetalum chinense 'Purple Diamond' / Fringe Flower * ROCKWALL APPROVED PLANT	5 gal	3	
	Msc	Mahonia 'Soft Caress' / Soft Caress Mahonia	3 gal	11	
	Ma	Miscanthus sinensis 'Adagio' / Dwarf Maiden Grass * ROCKWALL APPROVED PLANT	5 gal	1	
	Mr	Muhlenbergia capillaris / Muhly Grass * ROCKWALL APPROVED PLANT	5 gal	9	
	Ph	Pennisetum a. 'Hameln' / Dwarf Fountain Grass * ROCKWALL APPROVED PLANT	5 gal	13	
	Ptv	Pittosporum tobira 'Variegata' / Variegated Mock Orange	5 gal	20	
	Rop	Rosmarinus officinalis 'Prostratus' / Trailing Rosemary * ROCKWALL APPROVED PLANT	1 gal	6	
	Sg	Salvia greggii 'Pink' / Pink Autumn Sage	3 gal	3	
CACTI					
CACTI	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	Af	Agave ovatifolia 'Frosty Blue' / Whale's Tongue Agave	5 gal	2	
GROUND COVERS					
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	QTY	
	Ch	Cynodon dactylon '419 Hybrid' / Bermuda Grass * ROCKWALL APPROVED PLANT	sod	294 sf	
	Dg	Decomposed Granite 1/4" minus screened Orange D.G. over filter fabric	2" deep	163 sf	
	Hm	Hardwood / Mulch	2" deep	834 sf	
	Tb	Tejas Black / 5/8"	2" deep	669 sf	

B PLANT SCHEDULE

SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT PERCENTAGE
LOT	12,383 100%
IMPERVIOUS	10,323 84%
2 STORY OFFICE/PORCHES	2,247 18%
PAVEMENT AREA	7,783 64%
PERVIOUS	2,060 16%
SIDEWALK / STAIRS	293 2%
MAX. BUILDING HEIGHT PROPOSED	27'-6"
PARKING REQUIREMENTS	
OFFICE (1:300 S.F.)	4,008 S.F.
PARKING PROVIDED	14
PARKING REQ'D	14



A PLANTING PLAN

REQUIRED PLANTINGS

A. STREET TREES:
1 TREE FOR EVERY 50 L.F. OF FRONTAGE W Washington Street - 60 / 50 = 1.2 (1) 3" TREE REQUIRED (1) 3" TREE PROVIDED

THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A 8 STATION SMART CONTROLLER WITH WI-FI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION, BACKFLOW, WYE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF ROCKWALL STANDARD IRRIGATION REQUIREMENTS.

NOTE:
NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15 DAY OF September, 2020.

WITNESS OUR HANDS, THIS 15 DAY OF September, 2020.

[Signature]
PLANNING AND ZONING COMMISSION

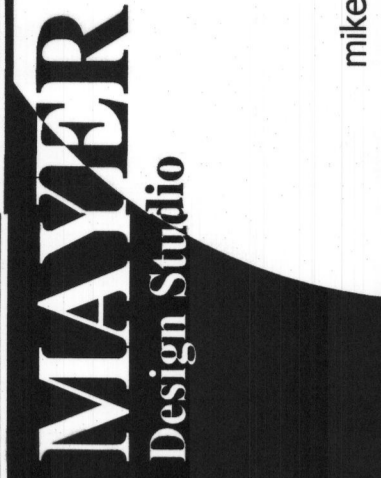
[Signature]
DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
LMGC, LLC
JIMMY McCLINTOCK
(972) 983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

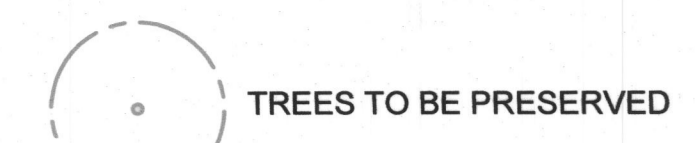
ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214) 536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



Landscape Architecture
TX #2629 NV #583
2617 Jasmine Lane
Plano, TX 75074
voice (702) 339-0825
mike@mayerdesignstudio.com



REVISIONS	DATE	BY



TREE PROTECTION SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
01	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
02	Fraxinus texensis	Texas Ash	PROTECTED	STANDARD	8"	1:1	8"	PROTECT
03	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
04	Carya texana	Black Hickory	PROTECTED	STANDARD	17"	1:1	17"	PROTECT
05	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
06	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	8"	1 : 0.5	4"	PROTECT
07	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
08	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	13"	1 : 0.5	6.5"	PROTECT
TOTAL CALIPER INCHES OF TREES TO BE PRESERVED:							66.5"	



TREE REMOVAL SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
A	Quercus sp	Oak	PROTECTED	STANDARD	12"	1:1	12"	REMOVE
B	Lagerstroemia indica	Crape Myrtle	PROTECTED	MULTI	7"	1:1	7"	REMOVE
C	Quercus sp	Oak	PROTECTED	STANDARD	9"	1:1	9"	REMOVE
D	Celtis occidentalis	Hackberry	DAMAGED	STANDARD	26"	1 : 0.0	0"	REMOVE
E	Ligustrum lucidum	Glossy Privet	PROTECTED	MULTI	12"	1:1	12"	REMOVE
F	Zanthoxylum clava-herculis	Tickle Tongue Tree	PROTECTED	STANDARD	7"	1:1	7"	REMOVE
G	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	16"	1 : 0.5	8"	REMOVE
H	Quercus sp	Oak	PROTECTED	STANDARD	12"	1:1	* 0"	REMOVE
TOTAL CALIPER INCHES OF TREES TO BE REMOVED:							55"	

55" x 20% = 11 x \$100 = 1,340 \$1,100 to be paid to The City of Rockwall tree fund.
 55" x 80% = 44 44" minimum to be planted as mitigation
 The City of Rockwall has agreed to waive mitigation requirements on tree 'H' - 12" Oak.
 Tree 'D' is diseased and should be removed to prevent property damage.

SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT	PERCENTAGE
LOT	12,383	100 %
IMPERVIOUS	10,323	84%
2 STORY OFFICE/PORCHES	2,247	18%
PAVEMENT AREA	7,783	64%
PERVIOUS	2,060	16%
SIDEWALK / STAIRS	293	2%
MAX. BUILDING HEIGHT PROPOSED	27'-6"	
PARKING REQUIREMENTS		
OFFICE (1,300 S.F.)	4,008 S.F.	
PARKING PROVIDED	14	
PARKING REQ'D	14	

APPROVED:
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 WITNESS OUR HANDS, THIS 15 DAY OF September, 2020
 [Signature] [Signature]
 PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

The intent of this drawing is to show existing trees to be preserved or removed in order to develop the proposed project. Property owner will be responsible for any fees or penalties owed at the discretion of The City of Rockwall. Demolition contractor is responsible for ensuring all required permits and paperwork from the City of Rockwall are in place before beginning demolition.

Refer to The City of Rockwall - Article IX - TREE PRESERVATION
 also The City of Rockwall - Article VIII - LANDSCAPE STANDARDS

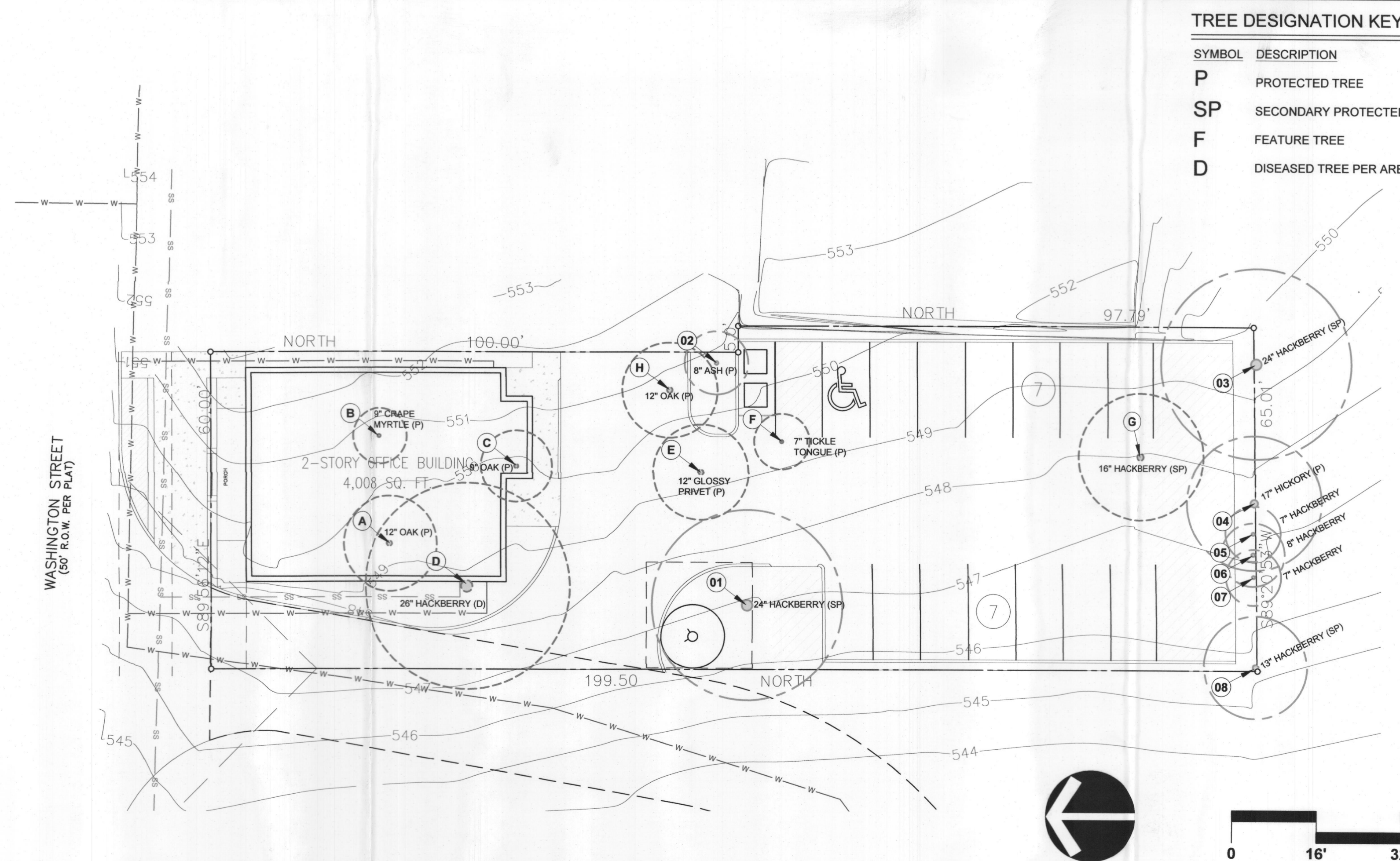
THERE IS ONE EXISTING FEATURE TREES ON THIS SITE (ie. 25" caliper or more of the protected species) THAT TREE IS TO BE REMOVED - THE TREE IS DAMAGED AND ROTTING.

NOTE:
 ALL BOUNDARY TREES ALONG THE SOUTH PROPERTY LINE ARE TO REMAIN. PROTECT ANY TREES THAT ARE CLOSE PROXIMITY TO GRADING OR CONSTRUCTION ACTIVITIES.

SECTION 5. - TREE MITIGATION REQUIREMENTS

- The tree mitigation requirements shall apply for all properties that do not fall under the exemptions listed in section 1.3, Exemptions, of this article. In addition, if a treescape plan or tree removal permit allows for the removal of a protected or feature tree(s), the applicant and/or property owner shall account for the number of inches of tree being removed using the following criteria:
- Primary protected trees.** Primary protected trees measuring four inches through 25 inches DBH shall be replaced on an inch-for-inch basis (i.e. the total number of caliper inches of tree being replaced shall equal the total number of caliper inches being removed).
 - Secondary protected trees.** Hackberry and cedar trees measuring 11 inches through 25 inches DBH shall be replaced with a half-inch for every inch removed (i.e. the total number of caliper inches of tree required to be replaced shall be half (1/2) of the inches being removed).
 - Featured trees.** Featured trees (i.e. all trees greater than 25 inches) shall be replaced with twice the number of inches being removed (i.e. the total number of caliper inches of tree being replaced shall be twice the number of caliper inches being removed).
 - Non-protected tree.** No mitigation will be required for the removal of any tree that is less than four inches DBH or less than 11 inches DBH for hackberry and cedar trees. In addition, no mitigation shall be required for the removal of Bois d'Arc, willow, cottonwood, locust and Chinaberry trees.
 - Tree preservation credits.** For each saved oak, pecan or elm tree(s) 25 inches DBH or greater the mitigation balance can be reduced on an inch-for-inch basis for up to 20 percent of the total mitigation balance (i.e. total mitigation balance x 20 percent = Total eligible tree preservation credit).
 - Mitigation balance.** The total mitigation balance (i.e. mitigation balance - tree preservation credits = total mitigation balance) may be satisfied through one or a combination of the following:
 - The developer/property owner can provide the required number of trees—three-inch caliper DBH minimum—on the subject property to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be planted on-site to satisfy the mitigation requirements).
 - The developer/property owner may petition the parks and recreation department to accept the required number of trees—three-inch caliper DBH minimum—to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be submitted to the parks and recreation department to satisfy the mitigation requirements). Depending on the number of trees being submitted the director of parks and recreation or his/her designee could require a facilities agreement be approved prior to accepting the trees.
 - Tree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20 percent of the total replacement inches (e.g. if total mitigation required was 100 inches the developer/property owner could pay a total of \$4,000.00 (i.e. (20% x 100) x \$200.00 = \$4,000.00) into the city's tree fund; however, the developer/property owner would still be required to satisfy a remaining tree mitigation balance of 80 inches). In addition, if the developer/property owner plants a tree on (i) the property for which the tree preservation credit was assessed or (ii) a location that is mutually agreed upon by the city and the developer/property owner, the developer/property owner shall be eligible for a reduction in the cost of tree preservation credits of up to 50 percent. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.
 - Trees required by article VIII, landscape standards, of this Unified Development Code shall be permitted to be subtracted from the total mitigation balance if provided on site as part of the required landscaping.
 - Alternative tree mitigation settlement agreements.** In certain cases, the city council—upon recommendation from the planning and zoning commission—may consider an alternative tree mitigation settlement agreement where, due to hardship, the applicant is unable to meet the requirements of this article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.

B TREE SCHEDULES



TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1 : 1)
SP	SECONDARY PROTECTED TREE	(1 : 0.5)
F	FEATURE TREE	(1 : 2)
D	DISEASED TREE PER ARBORIST	(1 : 0)

C TREE PRESERVATION NOTES

A TREESCAPE PLAN

TREESCAPE PLAN

OWNER/DEVELOPER:
 LMGC, LLC
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (214) 536-5306
 2235 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087

DATE: 20-10-103
 SEPTEMBER 11, 2020

L1.1

LITHONIA LIGHTING

LF-1
COLOR - BLACK
DOWN LIGHT MODEL

FEATURES & SPECIFICATIONS

INTENDED USE
 Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION
 Cast aluminum housing with corrosion-resistant paint in either dark bronze or white finish. ADA compliant.

OPTICS
 4000K CCT LEDs.
 Polycarbonate lens protects the LED from moisture, dirt and other contaminants.
LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL
 MVOLT driver operates on any line voltage from 120-277V
 Operating temperature -30°C to 40°C.
 1KV surge protection standard.

INSTALLATION
 Surface mounts to universal junction box (provided by others).

LISTINGS
 UL Listed to U.S. and Canadian safety standards for wet locations.
 Tested in accordance with EISA 184-79 and 184-80 standards.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.
 All values are design or typical values, measured under laboratory conditions at 25 °C.
 Specifications subject to change without notice.

OUTDOOR GENERAL PURPOSE
OLLWD & OLLWU
 LED WALL CYLINDER LIGHT

Specifications
 All dimensions are inches (centimeters)

ORDERING INFORMATION For shortest lead times, configure products using **bolded options**. Example: OLLWD LED P1 40K MVOLT DDB

Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWD LED Downlight	P1	40K 4000K	MVOLT 120V-277V	DDB Dark bronze
OLLWD LED Up & downlight			120 120V	WB White

Notes
 1. Only available with OLLWU and in DDB.
 2. Only available with OLLWU.

DECORATIVE INDOOR & OUTDOOR

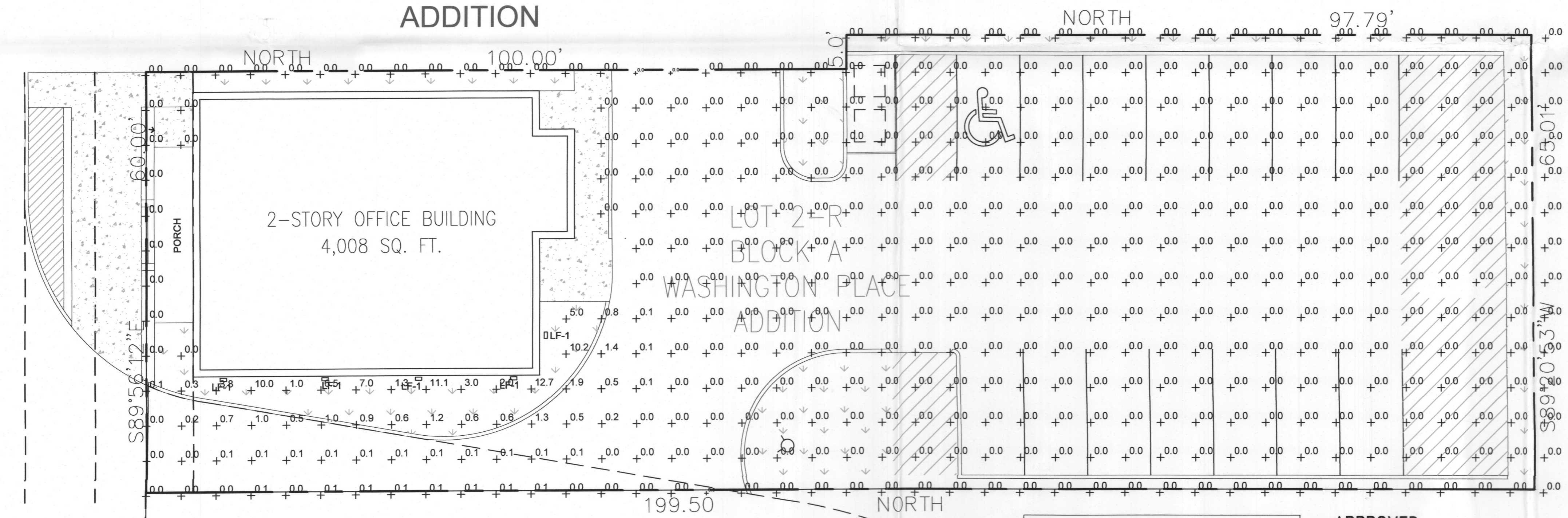
ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087

DATE	REVISIONS	DESCRIPTIONS/ISSUE
	No.	

PROJECT NAME AND ADDRESS:
LMGC, LLC OFFICE
 407 W WASHINGTON
 ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	09/02/2020
SCALE	
SHEET No.	of
DRAWING NAME:	
PHOTOMETRIC PLAN	
P1.0	
SP2020-017	

**LOT 1-R
 BLOCK A
 WASHINGTON PLACE
 ADDITION**



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OWNER/DEVELOPER:
 LMGC, LLC
 JIMMY McCLINTOCK
 (972)983-2222
 3021 RIDGE RD.
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (214)536-5306
 2235 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087



WASHINGTON STREET
 (50' R.O.W. PER PLAT)

WASHINGTON STREET
 (50' R.O.W. PER PLAT)

LOWE & ALLEN
 ADDITION

CITY CEMETARY
 LOWE & ALLEN
 BLOCK 6
 EXEMPT



DATE: February 26, 2025

TO: Jimmy McClintock
3021 Ridge Road
Rockwall, Texas 75032

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2025-003; *Amended Site Plan for 407 W. Washington Street*

Jimmy,

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on February 25, 2025. The following is a record of all recommendations, voting records:

Planning and Zoning Commission

On February 25, 2025, the Planning and Zoning Commission approved a motion to approve the *Amended Site Plan* by a vote of 5-0, with Commissioners Deckard and Thompson absent.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me at (972) 772-6488.

Sincerely,

A handwritten signature in cursive script that reads "Bethany Ross". The signature is written in black ink and is positioned above the printed name and title.

Bethany Ross, *Planner*
City of Rockwall Planning and Zoning Department