



## CASE COVER SHEET

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

### **PLATTING APPLICATION**

MASTER PLAT  
PRELIMINARY PLAT  
FINAL PLAT  
REPLAT  
AMENDING OR MINOR PLAT  
PLAT REINSTATEMENT REQUEST

### **SITE PLAN APPLICATION**

SITE PLAN  
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

### **ZONING APPLICATION**

ZONING CHANGE  
SPECIFIC USE PERMIT  
PD DEVELOPMENT PLAN

### **OTHER APPLICATION**

TREE REMOVAL  
VARIANCE REQUEST/SPECIAL EXCEPTIONS

## **RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>  
☒ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
☐ AMENDING OR MINOR PLAT (\$150.00)  
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>  
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>  
☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)  
☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

## NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1230 Streetman Road - Property ID# 114821

SUBDIVISION The Landon Phase Two

LOT

BLOCK

GENERAL LOCATION Lot 20 of the Landon/South of the Streetman Road and S. Munson road intersection

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING ETJ

CURRENT USE SINGLE FAMILY

PROPOSED ZONING ETJ

PROPOSED USE SINGLE FAMILY

ACREAGE 93.357

LOTS [CURRENT] 1

LOTS [PROPOSED] 50

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Harlan Properties, Inc.

☒ APPLICANT Carroll Consulting Group, Inc.

CONTACT PERSON Jim Bell

CONTACT PERSON Sam Carroll

ADDRESS 2404 Texas Dr.  
Suite 103

ADDRESS 203 W. FM 6

CITY, STATE & ZIP Irving, TX 75062

CITY, STATE & ZIP Nevada, TX 75173

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

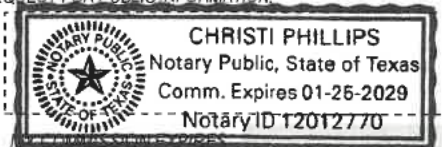
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sam Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

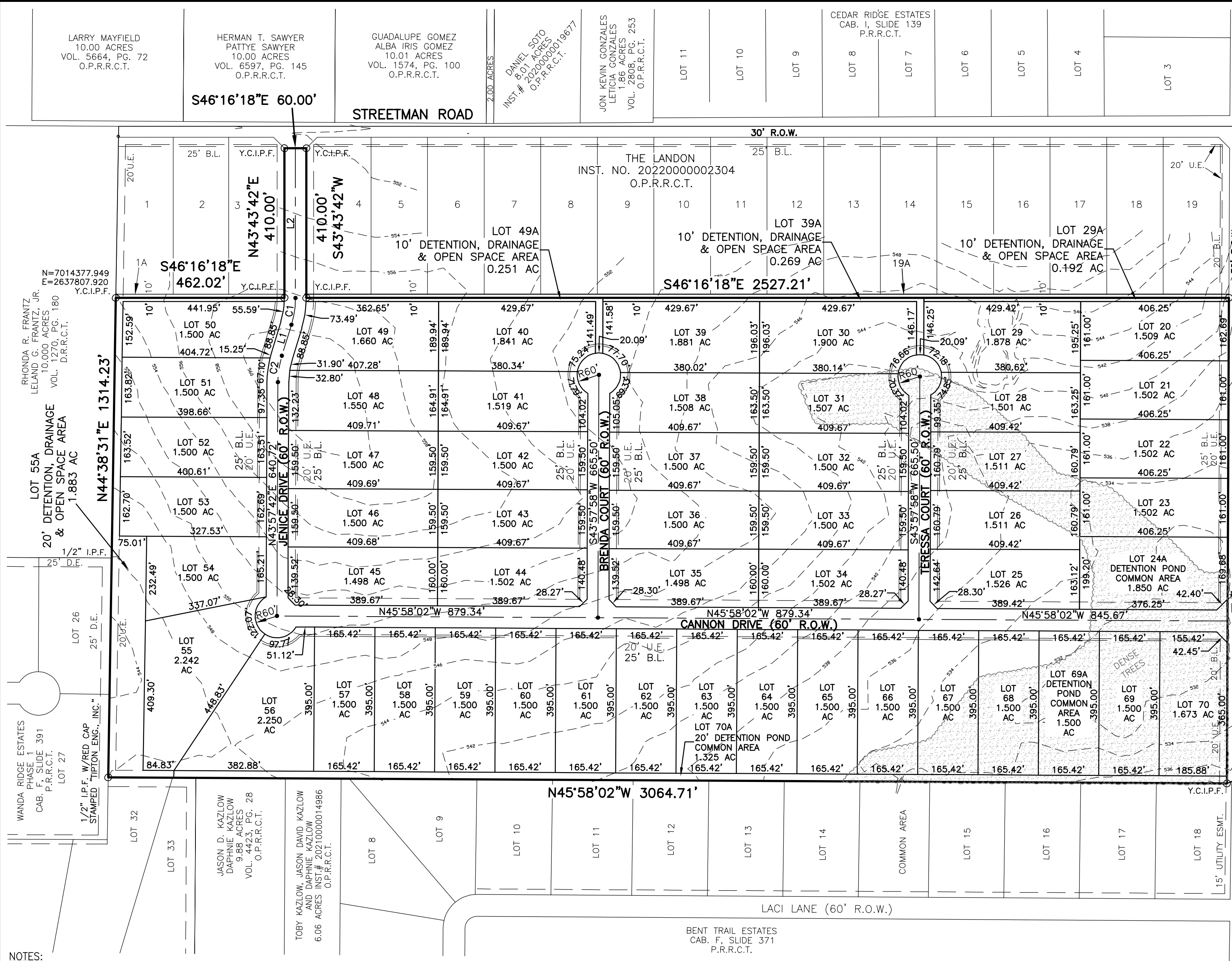
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,600.36 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF October, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





- NOTES:
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.
  6. 1.8 Dwelling units per acre.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

CARROLL CONSULTING GROUP, INC.

203 W. FM 6  
NEVADA, TEXAS 75173

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PHONE (972) 840-1506

TBPELS REGISTRATION NO.: F-21608

TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

LEGEND

M.N.S. — MAG NAIL SET

I.P.F. — IRON PIN FOUND

D.R.R.C.T. — DEED RECORDS, ROCKWALL COUNTY, TEXAS

O.P.R.R.C.T. — OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

Y.C.I.P.F. — 1/2" IRON PIN FOUND WITH YELLOW CAP STAMPED "CCG INC RPLS 5129"

ALL CORNERS SHALL BE A 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129" UNLESS OTHERWISE NOTED.

FLOOD NOTE:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

OWNER:  
HARLAN PROPERTIES, INC.  
2404 TEXAS DR., SUITE 103  
IRVING, TEXAS 75062

SH 276

STREETMAN

COUNTY MANOR

STREETMAN

S. MUNSON

POETRY

FM 548

SITE

LOCATION MAP (N.T.S.)

N=7014377.949  
E=2637807.920  
Y.C.I.P.F.

RICHARD A. GRESCHAW  
MARY J. GRESCHAW  
5.500 ACRES  
VOL. 1636 PG. 251  
O.P.R.R.C.T.

LARRY CALDWELL 5.00 ACRES  
VOL. 6028, PG. 287

RALPH MAXWELL BUTLER & KAY ANN BUTLER  
24.32 ACRES INST.# 20170000021259

SUSAN P. DEWITT  
6.50 ACRES  
VOL. 6510, PG. 272  
O.P.R.R.C.T.

FELIX DIAZ  
10.000 ACRES  
INST.# 20160000009790

JOHN D. BISHOP  
AUDREY K. BISHOP  
30.09 ACRES  
VOL. 6742, PG. 25  
O.P.R.R.C.T.

SUSAN J. DAHSE  
WALTER D. DAYSE  
12.000 ACRES  
VOL. 5357, PG. 124  
O.P.R.R.C.T.

200 0 100 200 400

GRAPHIC SCALE

( IN FEET )

1 inch = 200 ft.

Line Table

Line #	Direction	Length
L1	N60°48'44"E	88.85'
L2	N43°43'42"E	410.00'

Curve Table

Curve #	Length	Radius	Delta	CHORD
C1	74.54'	250.00'	17°05'03"	N52°16'13"E, 74.27'
C2	73.53'	250.00'	16°51'03"	N52°23'13"E, 73.26'

POINT OF BEGINNING

N=7011312.668  
E=2639087.792

PRELIMINARY PLAT  
THE LANDON PHASE TWO  
LOTS 20-70 & LOTS 29A, 39A, 49A,  
55A, 69A & 70A, BLOCK A  
50 Residential Lots  
93.357 Acres of Land  
Being a replat of Lot 20 of The Landon  
Inst. No. 20220000002304, O.P.R.R.C.T.  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)  
of the City of Rockwall  
Rockwall County, Texas  
Case No.:



STATE OF TEXAS  
COUNTY OF ROCKWALL

Whereas, Harlan Properties, Inc. is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being all of Lot 20, Block A of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 20220000002304, Official Public Records, Rockwall County, Texas and as conveyed to Harlan Properties, Inc. by deed recorded in Instrument No. 20240000000232, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the south corner of said Lot 20 and being on the northeast line of Bent Trail Estates, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 371, Plat Records, Rockwall County, Texas and the northwest right-of-way line of S. Munson Road;

Thence, North 45°58'02" West, along the southwest line of said Lot 20, the northeast line of said Bent Trail Estates, the northeast line of a 6.06 acre tract of land conveyed to Toby Kazlow, Jason David Kazlow and Daphnie Kazlow by deed recorded in Instrument No. 20210000014986, Official Public Records, Rockwall County, Texas, the northeast line of a 9.88 acre tract of land conveyed to Jason D. Kazlow and Daphnie Kazlow by deed recorded in Volume 4423, Page 28, Official Public Records, Rockwall County, Texas and a northeast line of Wanda Ridge Estates Phase 1, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 391, Plat Records, Rockwall County, Texas, a distance of 3064.71 feet to a 1/2" iron pin found with red cap stamped "TIPTON ENG. INC." for the west corner of said Lot 20 and a re-entrant corner of said Wanda Ridge Estates Phase 1;

Thence, North 44°38'31" East, along the northwest line of said Lot 20, a southeast line of said Wanda Ridge Estates Phase 1 and the southeast line of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas, a distance of 1314.23 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for a north corner of said Lot 20 and the west corner of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 20220000002304, Official Public Records, Rockwall County, Texas;

Thence, southeasterly, along the common lines of said Lot 20 and The Landon the following:

South 46°16'18" East, a distance of 462.02 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

North 43°43'42" East, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 60.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 43°43'42" West, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 2527.21 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the east corner of said Lot 20 and the south corner of said The Landon, and being on the northwest right-of-way line of S. Munson Road;

Thence, South 43°57'58" West, along the southeast line of said Lot 20 and the northwest right-of-way line of S. Munson Road, a distance of 1330.36 feet to the Point of Beginning and containing 4,066,627 square feet or 93.357 acres of land.

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE TWO subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase Two subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.  
(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2025.

Harlan Properties, Inc., Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2025.

Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

PRELIMINARY PLAT

THE LANDON PHASE TWO  
LOTS 20-70 & LOTS 29A, 39A, 49A,  
55A, 69A & 70A, BLOCK A  
50 Residential Lots  
93.357 Acres of Land  
Being a replat of Lot 20 of The Landon  
Inst. No. 20220000002304, O.P.R.R.C.T.  
Samuel McFadgin Survey, Abstract No. 142  
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OWNER:  
HARLAN PROPERTIES, INC.  
2404 TEXAS DR., SUITE 103  
IRVING, TEXAS 75062

of the City of Rockwall  
Rockwall County, Texas  
Case No.:

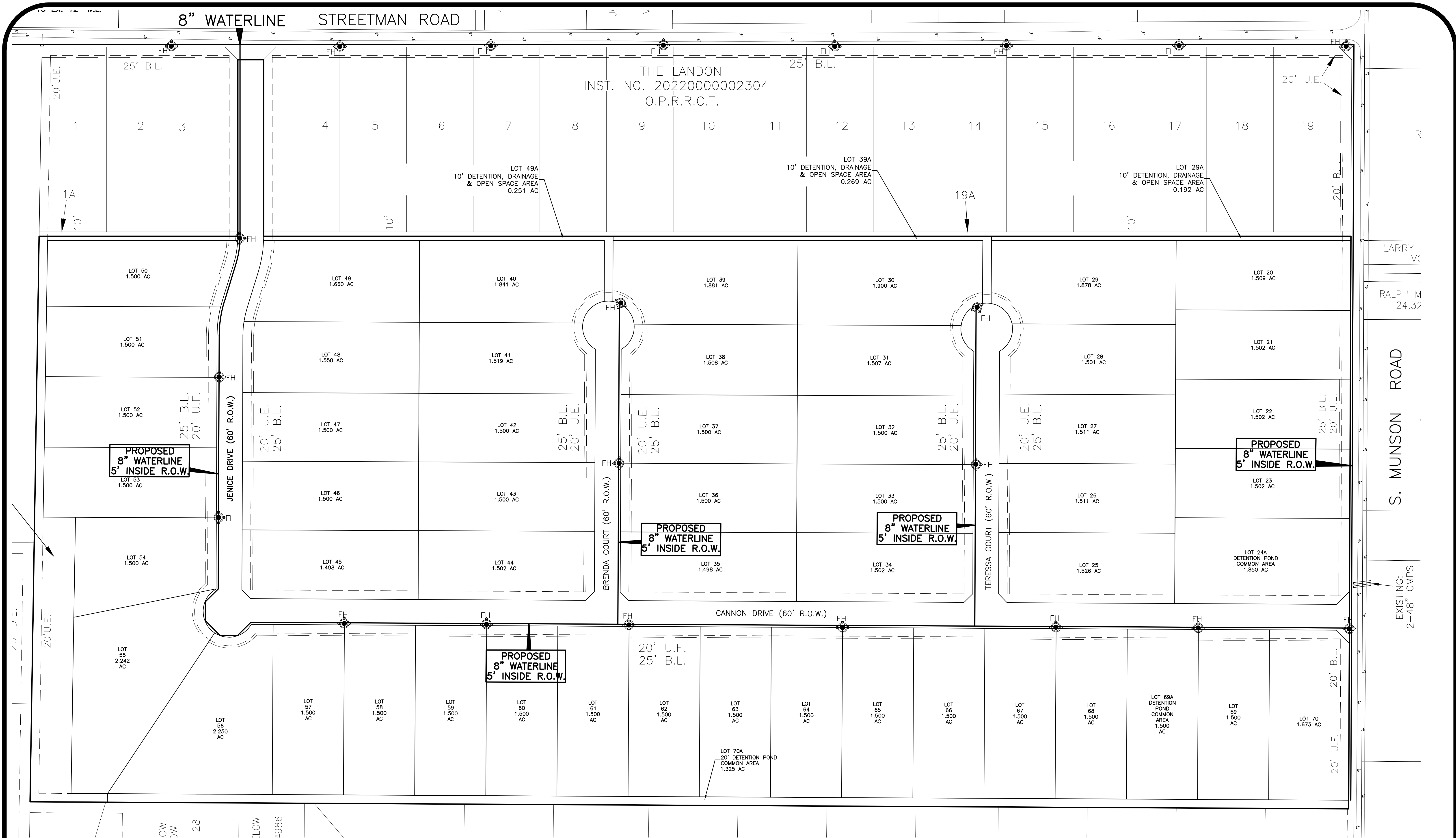
CARROLL CONSULTING GROUP, INC.

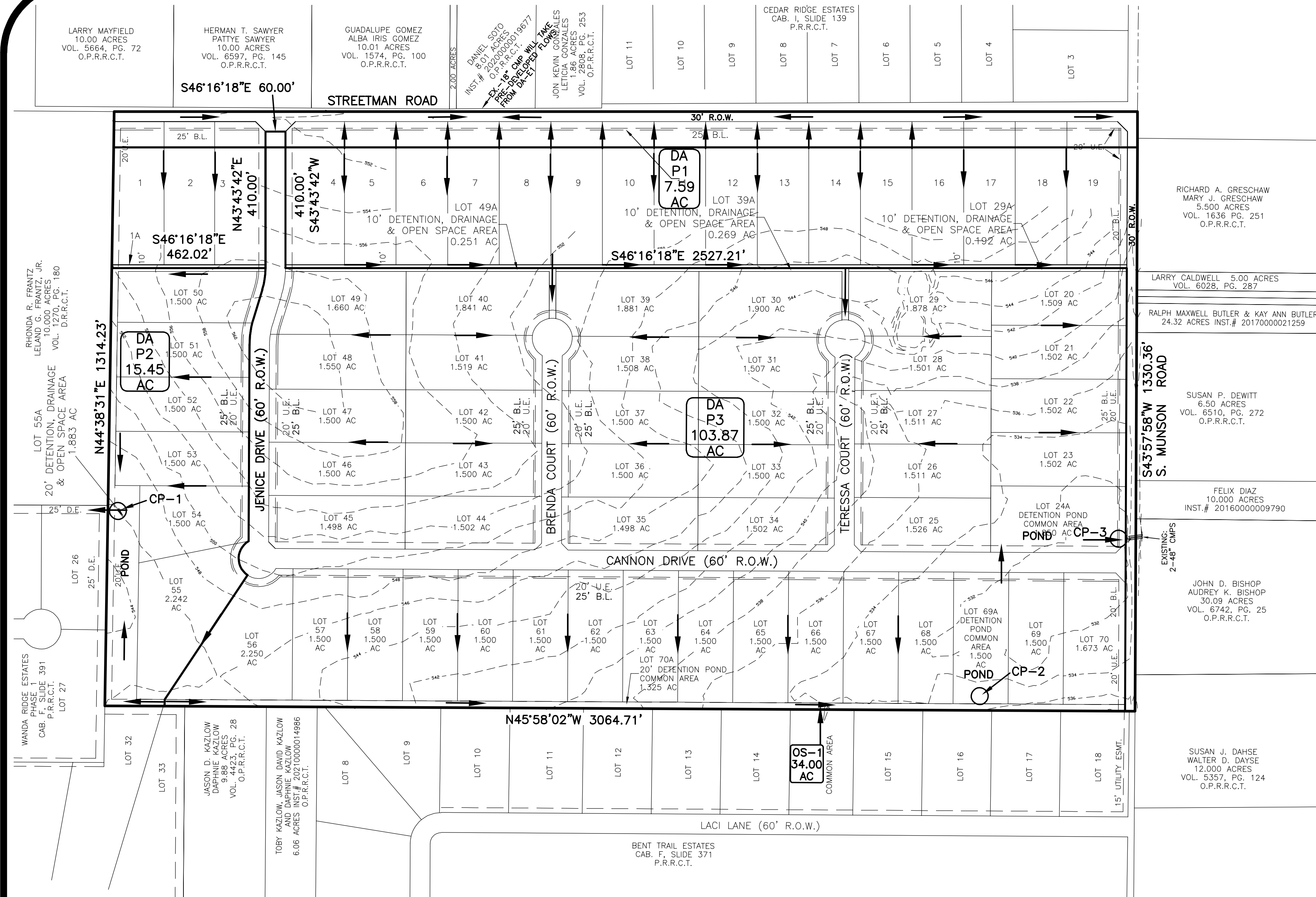
203 W. FM 6  
NEVADA, TEXAS 75173  
PHONE (972) 840-1506  
TBPELS REGISTRATION NO.: F-21608  
TEXAS FIRM REGISTRATION NO.: 10007200

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JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

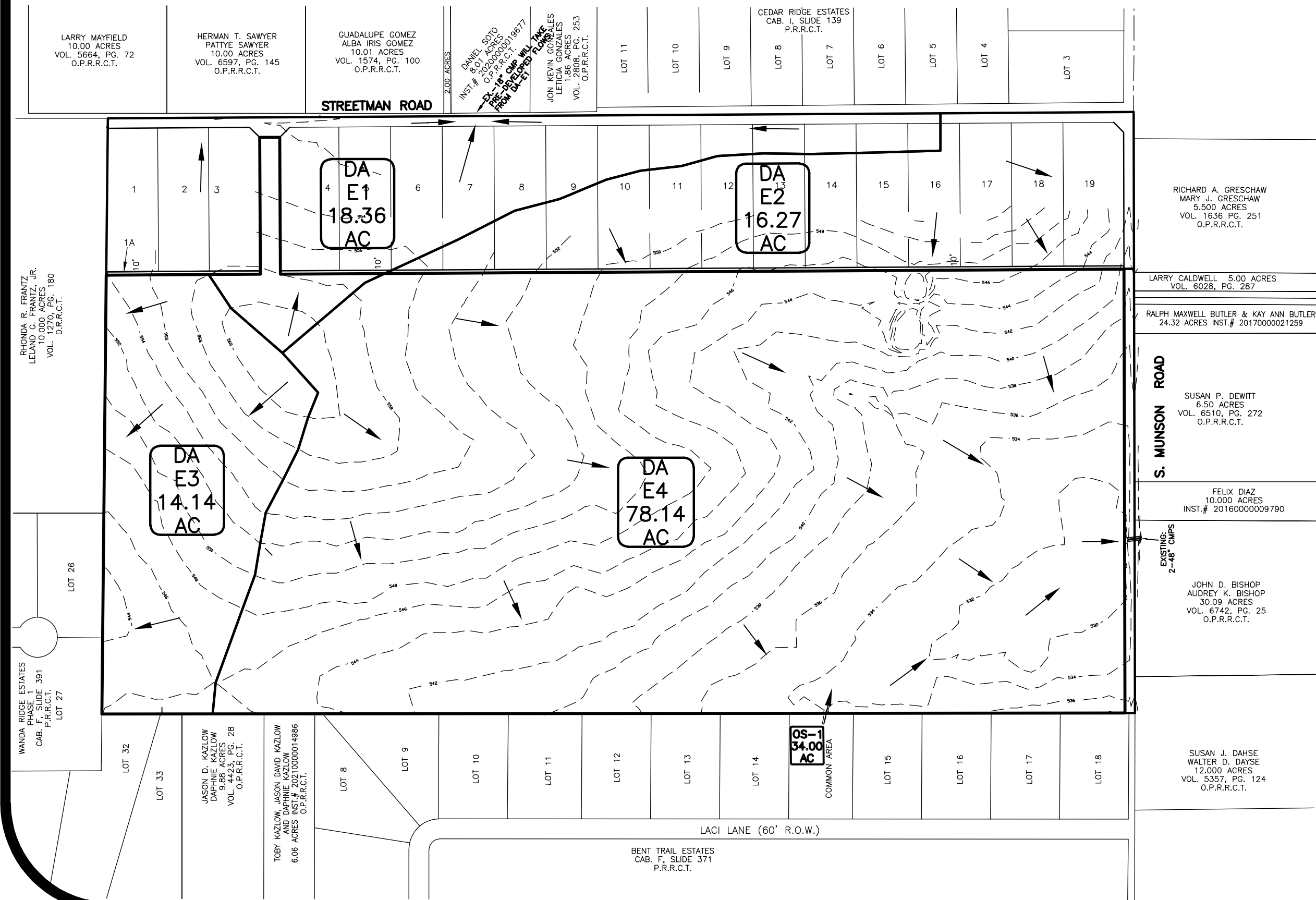
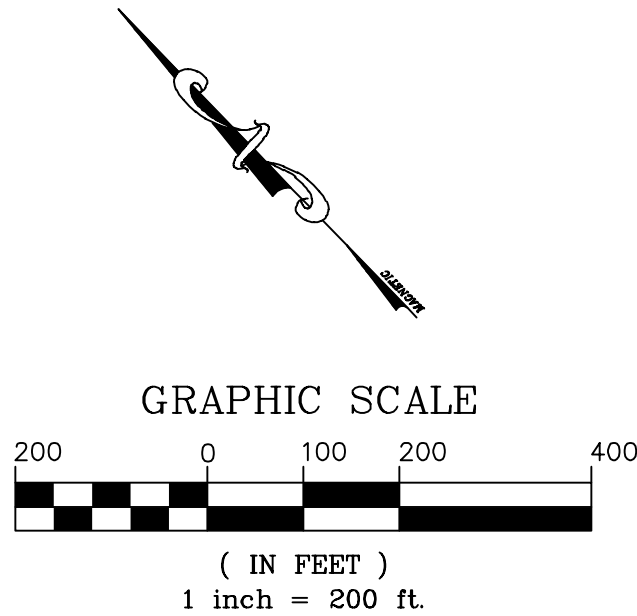






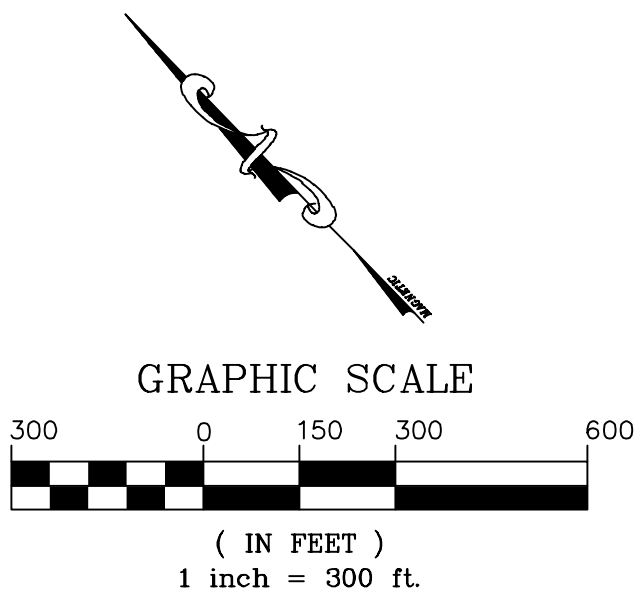
PROPOSED DRAINAGE AREAS

PROPOSED DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q100 cfs	
Tc = 10 min.					
DA-P1	7.59	0.500	9.80	37.19	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-P2	15.45	0.500	9.80	75.71	DRAINS TO CP-1, POND
DA-P3	103.87	0.500	9.80	508.96	DRAINS TO CP-3, POND TO 2-48" RCPS
OS-1	34.00	0.500	9.80	166.60	DRAINS TO PR-3, SWALE TO CP-2, POND
TOTALS	160.91			788.46	



EXISTING DRAINAGE AREAS

EXISTING DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q.cfs	
Tc = 20 min.					
DA-E1	18.36	0.350	8.30	53.34	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-E2	16.27	0.350	8.30	47.26	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E3	14.14	0.350	8.30	41.08	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E4	78.14	0.350	8.30	227.00	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
OS-1	34.00	0.500	9.80	166.60	OUTFALL STRUCTURE DRAINS OUT TO 2-48" R.C.P.S.
TOTALS	160.91			535.27	



3

PRELIMINARY DRAINAGE PLAN

Case No.:

THE LANDON PHASE TWO

CARROLL CONSULTING GROUP, INC.

203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608  
NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE	SCALE:	DRAWN BY:
THE LANDON-2	OCTOBER 17, 2025	1"=200' & 300'	CP

## BOUNDARY CLOSURE REPORT

### THE LANDON PHASE TWO

North: 7011312.6680' East: 2639087.7930'

Segment #1 : Line

Course: N45° 58' 01.51"W Length: 3064.714'

North: 7013442.8633' East: 2636884.4456'

Segment #2 : Line

Course: N44° 38' 31.33"E Length: 1314.227'

North: 7014377.9499' East: 2637807.9204'

Segment #3 : Line

Course: S46° 16' 18.09"E Length: 462.018'

North: 7014058.5848' East: 2638141.7865'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 410.000'

North: 7014354.8614' East: 2638425.1947'

Segment #5 : Line

Course: S46° 16' 18.09"E Length: 60.000'

North: 7014313.3870' East: 2638468.5523'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 410.000'

North: 7014017.1104' East: 2638185.1441'

Segment #7 : Line

Course: S46° 16' 18.09"E Length: 2527.215'

North: 7012270.1995' East: 2640011.3746'

Segment #8 : Line

Course: S43° 57' 57.75"W Length: 1330.364'

North: 7011312.6682' East: 2639087.7935'

Perimeter: 9578.537' Area: 4066627.24 Sq. Ft.

Error Closure: 0.0004 Course: N65° 24' 54.37"E

Error North: 0.00018 East: 0.00040

Precision 1: 23946345.000





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

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CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

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- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>  
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☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
☐ AMENDING OR MINOR PLAT (\$150.00)  
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>  
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>  
☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)  
☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

## NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1230 Streetman Road - Property ID# 114821

SUBDIVISION The Landon Phase Two

LOT

BLOCK

GENERAL LOCATION Lot 20 of the Landon/South of the Streetman Road and S. Munson road intersection

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING ETJ

CURRENT USE SINGLE FAMILY

PROPOSED ZONING ETJ

PROPOSED USE SINGLE FAMILY

ACREAGE 93.357

LOTS [CURRENT] 1

LOTS [PROPOSED] 50

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Harlan Properties, Inc.

☒ APPLICANT Carroll Consulting Group, Inc.

CONTACT PERSON Jim Bell

CONTACT PERSON Sam Carroll

ADDRESS 2404 Texas Dr.  
Suite 103

ADDRESS 203 W. FM 6

CITY, STATE & ZIP Irving, TX 75062

CITY, STATE & ZIP Nevada, TX 75173

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

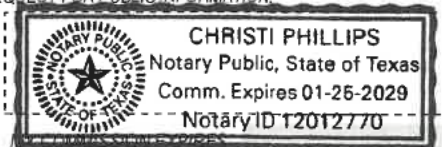
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sam Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,600.36 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

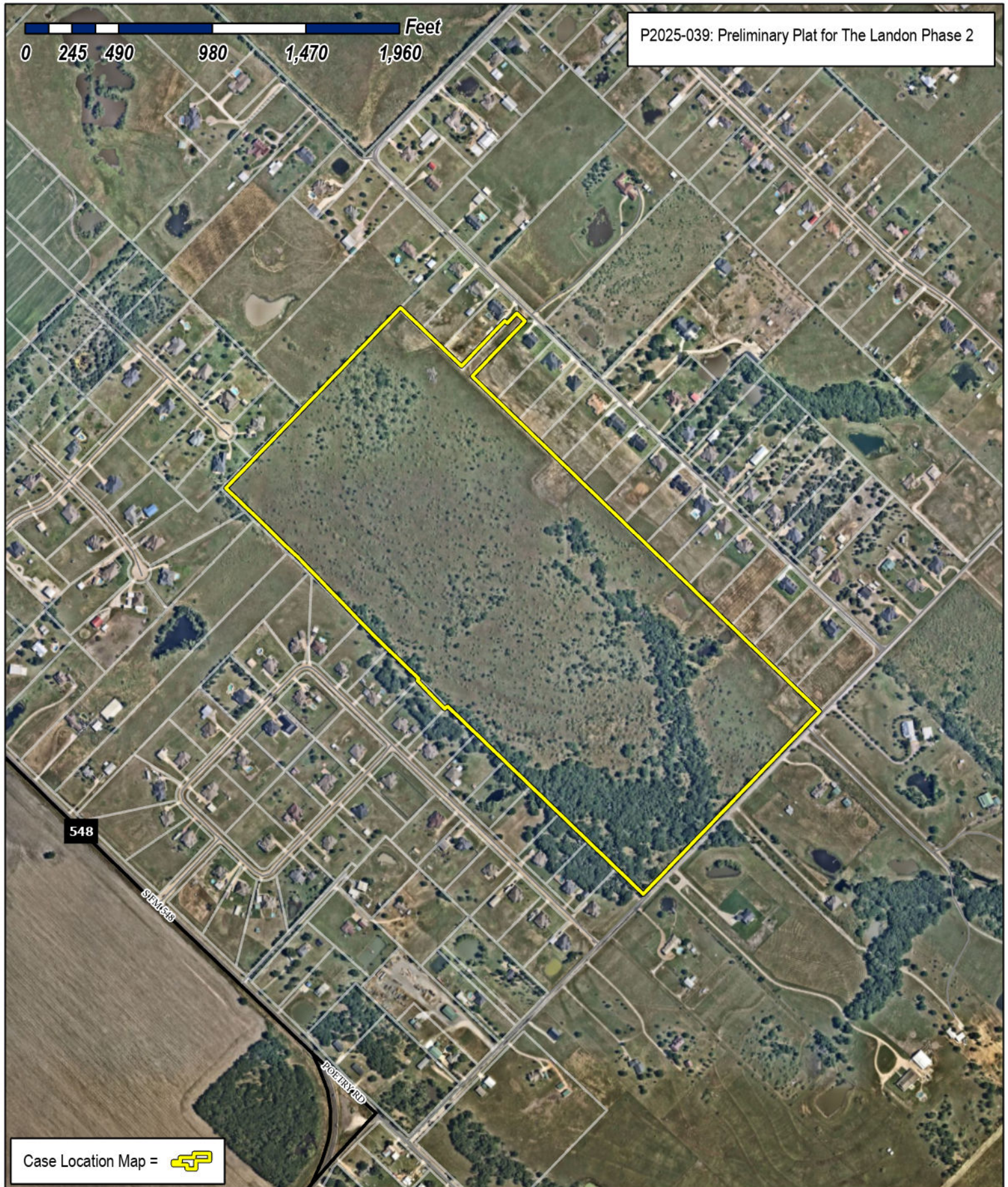
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF October, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Case Location Map =



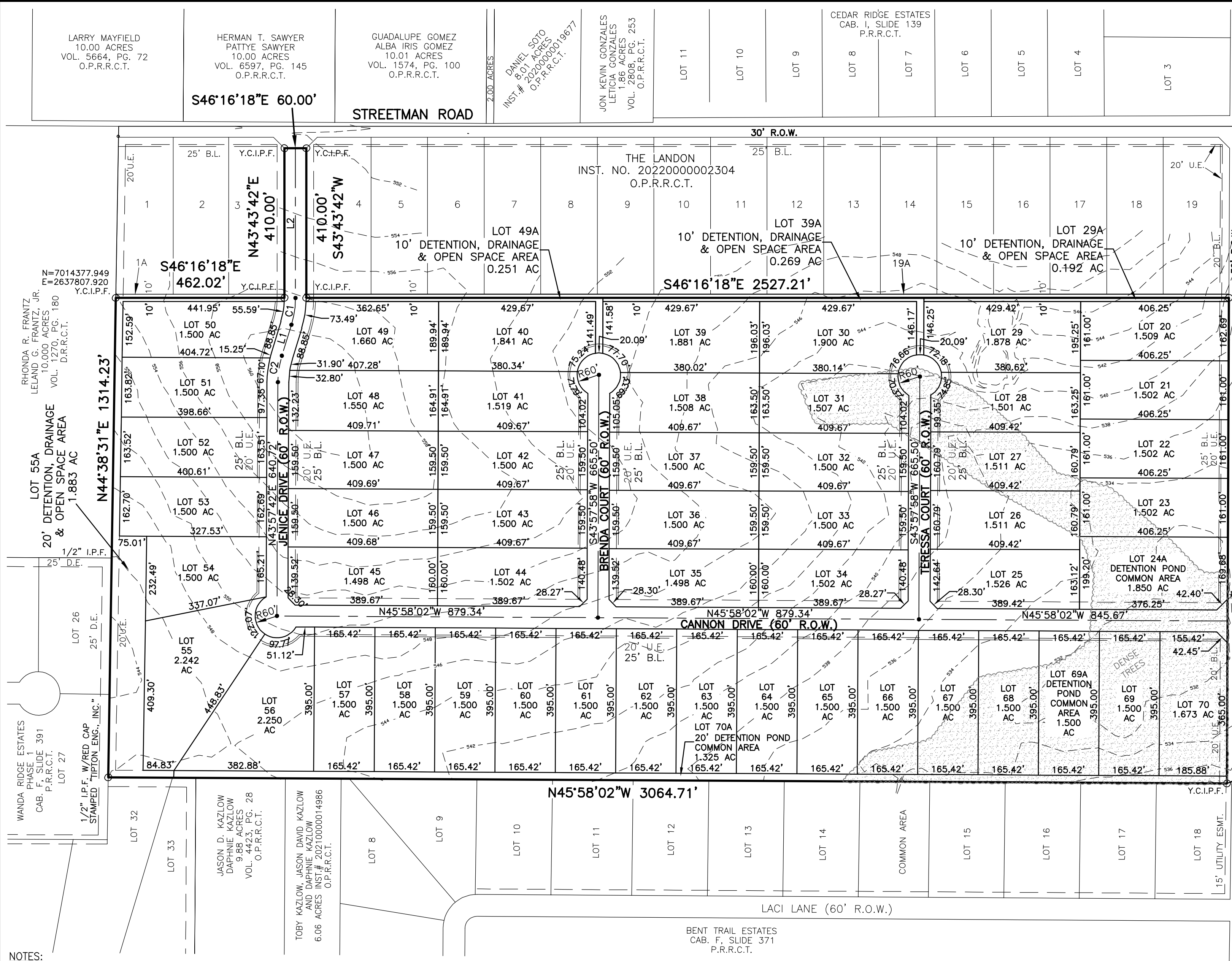
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







- NOTES:
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.
  6. 1.8 Dwelling units per acre.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

CARROLL CONSULTING GROUP, INC.

203 W. FM 6  
NEVADA, TEXAS 75173

COPYRIGHT © CARROLL CONSULTING GROUP

PHONE (972) 840-1506

TBPELS REGISTRATION NO.: F-21608

TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

LEGEND

M.N.S. — MAG NAIL SET

I.P.F. — IRON PIN FOUND

D.R.R.C.T. — DEED RECORDS, ROCKWALL COUNTY, TEXAS

O.P.R.R.C.T. — OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

Y.C.I.P.F. — 1/2" IRON PIN FOUND WITH YELLOW CAP STAMPED "CCG INC RPLS 5129"

ALL CORNERS SHALL BE A 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129" UNLESS OTHERWISE NOTED.

FLOOD NOTE:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

OWNER:  
HARLAN PROPERTIES, INC.  
2404 TEXAS DR., SUITE 103  
IRVING, TEXAS 75062

PRELIMINARY PLAT

THE LANDON PHASE TWO

LOTS 20-70 & LOTS 29A, 39A, 49A,  
55A, 69A & 70A, BLOCK A

50 Residential Lots

93.357 Acres of Land

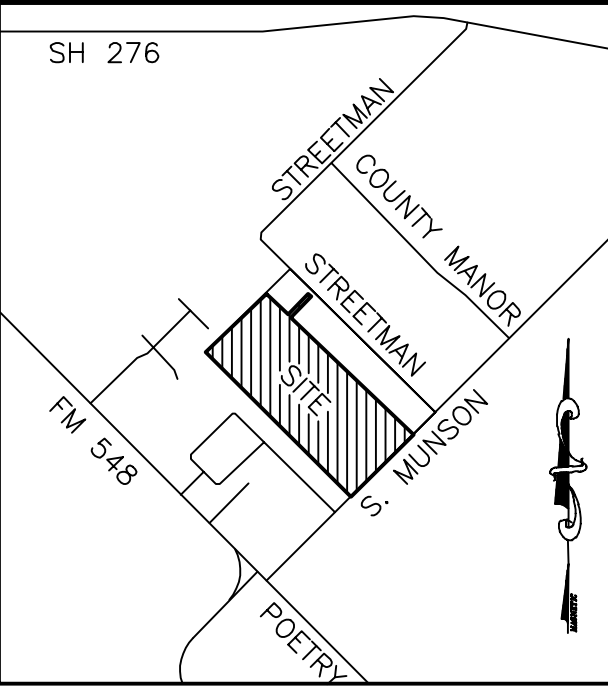
Being a replat of Lot 20 of The Landon  
Inst. No. 20220000002304, O.P.R.R.C.T.

Samuel McFadgin Survey, Abstract No. 142

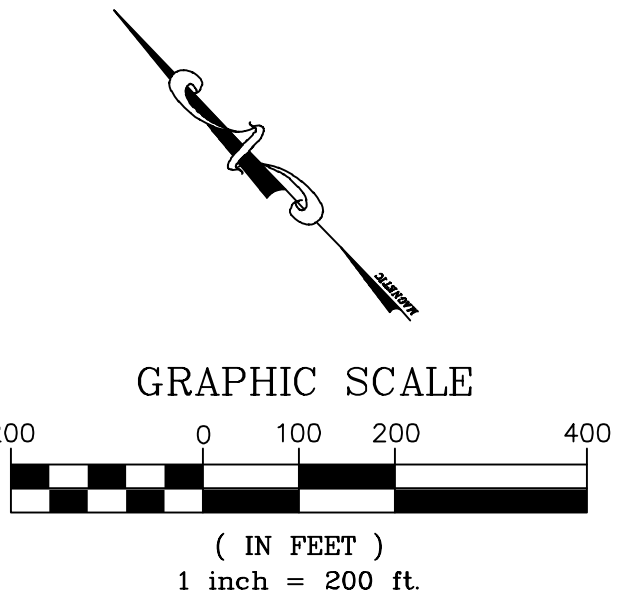
Situated within the  
Extraterritorial Jurisdiction (ETJ)

of the City of Rockwall  
Rockwall County, Texas

Case No.:



LOCATION MAP  
(N.T.S.)



Line Table		
Line #	Direction	Length
L1	N60°48'44"E	88.85'
L2	N43°43'42"E	410.00'

Curve Table				
Curve #	Length	Radius	Delta	CHORD
C1	74.54'	250.00'	17°05'03"	N52°16'13"E, 74.27'
C2	73.53'	250.00'	16°51'03"	N52°23'13"E, 73.26'

POINT OF  
BEGINNING  
N=7011312.668  
E=2639087.792

SUSAN J. DAHSE  
WALTER D. DAYSE  
12.000 ACRES  
VOL. 5357, PG. 124  
O.P.R.R.C.T.

FELIX DIAZ  
10.000 ACRES  
INST.# 20160000009790

SUSAN P. DEWITT  
6.50 ACRES  
VOL. 6510, PG. 272  
O.P.R.R.C.T.

RALPH MAXWELL BUTLER & KAY ANN BUTLER  
24.32 ACRES INST.# 20170000021259

LARRY CALDWELL 5.00 ACRES  
VOL. 6028, PG. 287

N=7014377.949  
E=2637807.920  
Y.C.I.P.F.

RICHARD A. GRESCHAW  
MARY J. GRESCHAW  
5.500 ACRES  
VOL. 1636 PG. 251  
O.P.R.R.C.T.



STATE OF TEXAS  
COUNTY OF ROCKWALL

Whereas, Harlan Properties, Inc. is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being all of Lot 20, Block A of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 20220000002304, Official Public Records, Rockwall County, Texas and as conveyed to Harlan Properties, Inc. by deed recorded in Instrument No. 20240000000232, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the south corner of said Lot 20 and being on the northeast line of Bent Trail Estates, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 371, Plat Records, Rockwall County, Texas and the northwest right-of-way line of S. Munson Road;

Thence, North 45°58'02" West, along the southwest line of said Lot 20, the northeast line of said Bent Trail Estates, the northeast line of a 6.06 acre tract of land conveyed to Toby Kazlow, Jason David Kazlow and Daphnie Kazlow by deed recorded in Instrument No. 20210000014986, Official Public Records, Rockwall County, Texas, the northeast line of a 9.88 acre tract of land conveyed to Jason D. Kazlow and Daphnie Kazlow by deed recorded in Volume 4423, Page 28, Official Public Records, Rockwall County, Texas and a northeast line of Wanda Ridge Estates Phase 1, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 391, Plat Records, Rockwall County, Texas, a distance of 3064.71 feet to a 1/2" iron pin found with red cap stamped "TIPTON ENG. INC." for the west corner of said Lot 20 and a re-entrant corner of said Wanda Ridge Estates Phase 1;

Thence, North 44°38'31" East, along the northwest line of said Lot 20, a southeast line of said Wanda Ridge Estates Phase 1 and the southeast line of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas, a distance of 1314.23 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for a north corner of said Lot 20 and the west corner of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 20220000002304, Official Public Records, Rockwall County, Texas;

Thence, southeasterly, along the common lines of said Lot 20 and The Landon the following:

South 46°16'18" East, a distance of 462.02 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

North 43°43'42" East, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 60.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 43°43'42" West, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 2527.21 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the east corner of said Lot 20 and the south corner of said The Landon, and being on the northwest right-of-way line of S. Munson Road;

Thence, South 43°57'58" West, along the southeast line of said Lot 20 and the northwest right-of-way line of S. Munson Road, a distance of 1330.36 feet to the Point of Beginning and containing 4,066,627 square feet or 93.357 acres of land.

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE TWO subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase Two subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.  
(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2025.

Harlan Properties, Inc., Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2025.

Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

PRELIMINARY PLAT

THE LANDON PHASE TWO  
LOTS 20-70 & LOTS 29A, 39A, 49A,  
55A, 69A & 70A, BLOCK A  
50 Residential Lots  
93.357 Acres of Land  
Being a replat of Lot 20 of The Landon  
Inst. No. 20220000002304, O.P.R.R.C.T.  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)

OWNER:  
HARLAN PROPERTIES, INC.  
2404 TEXAS DR., SUITE 103  
IRVING, TEXAS 75062

of the City of Rockwall  
Rockwall County, Texas

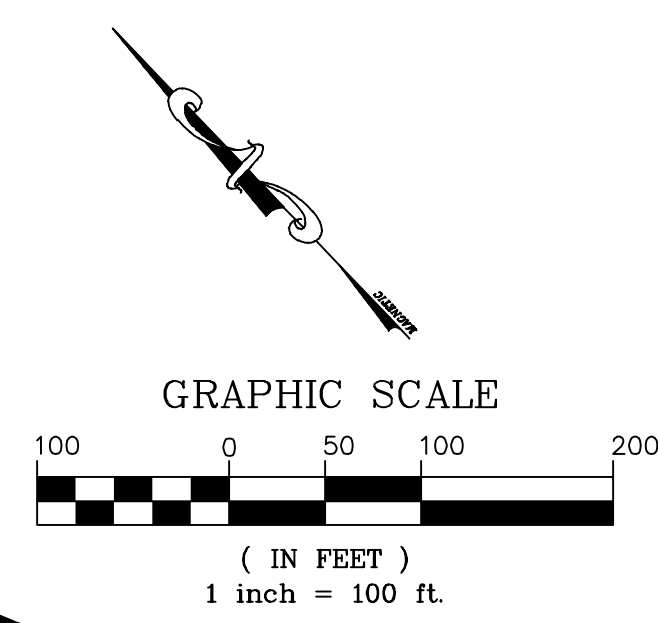
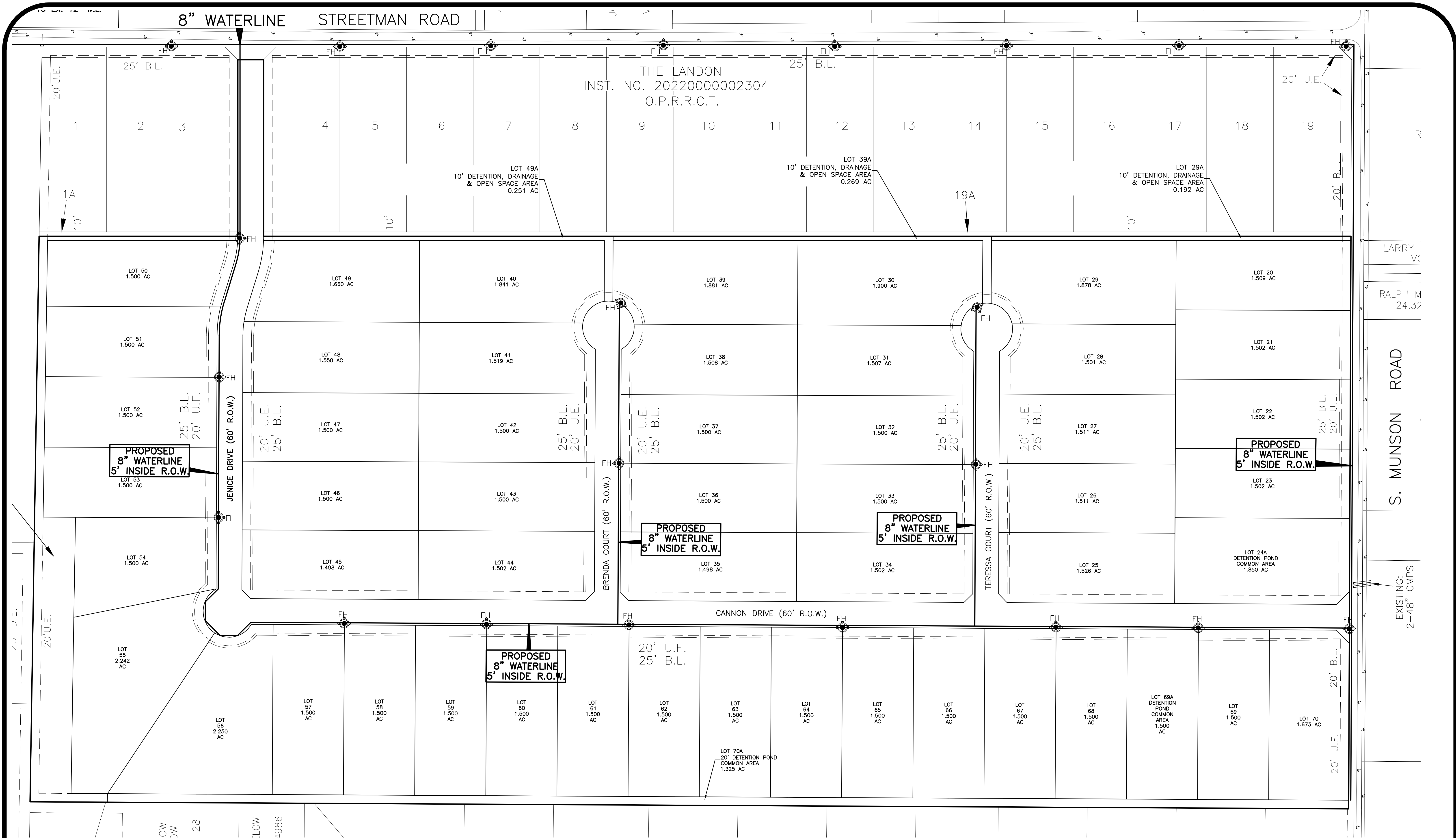
Case No.:

CARROLL CONSULTING GROUP, INC.

203 W. FM 6  
NEVADA, TEXAS 75173  
PHONE (972) 840-1506  
TBPELS REGISTRATION NO.: F-21608  
TEXAS FIRM REGISTRATION NO.: 10007200

COPYRIGHT © CARROLL CONSULTING GROUP

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP



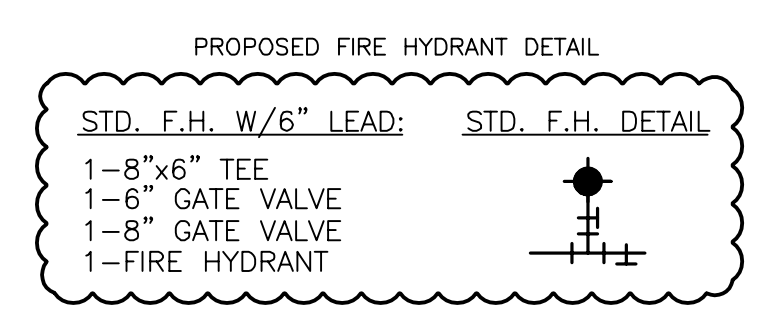
ALL INITIAL DEADEND WATER LINES NEED TO HAVE A FIRE HYDRANT WITH AUTOMATIC FLUSHING MECHANISM INSTALLED AT END.

ANY WATER VALVES DEEPER THAN 6 FEET NEED TO HAVE VALVE EXTENSIONS.

UTILITY CONTRACTORS TO PROVIDE AND INSTALL DUAL CHECK VALVES AT METER SERVICES.

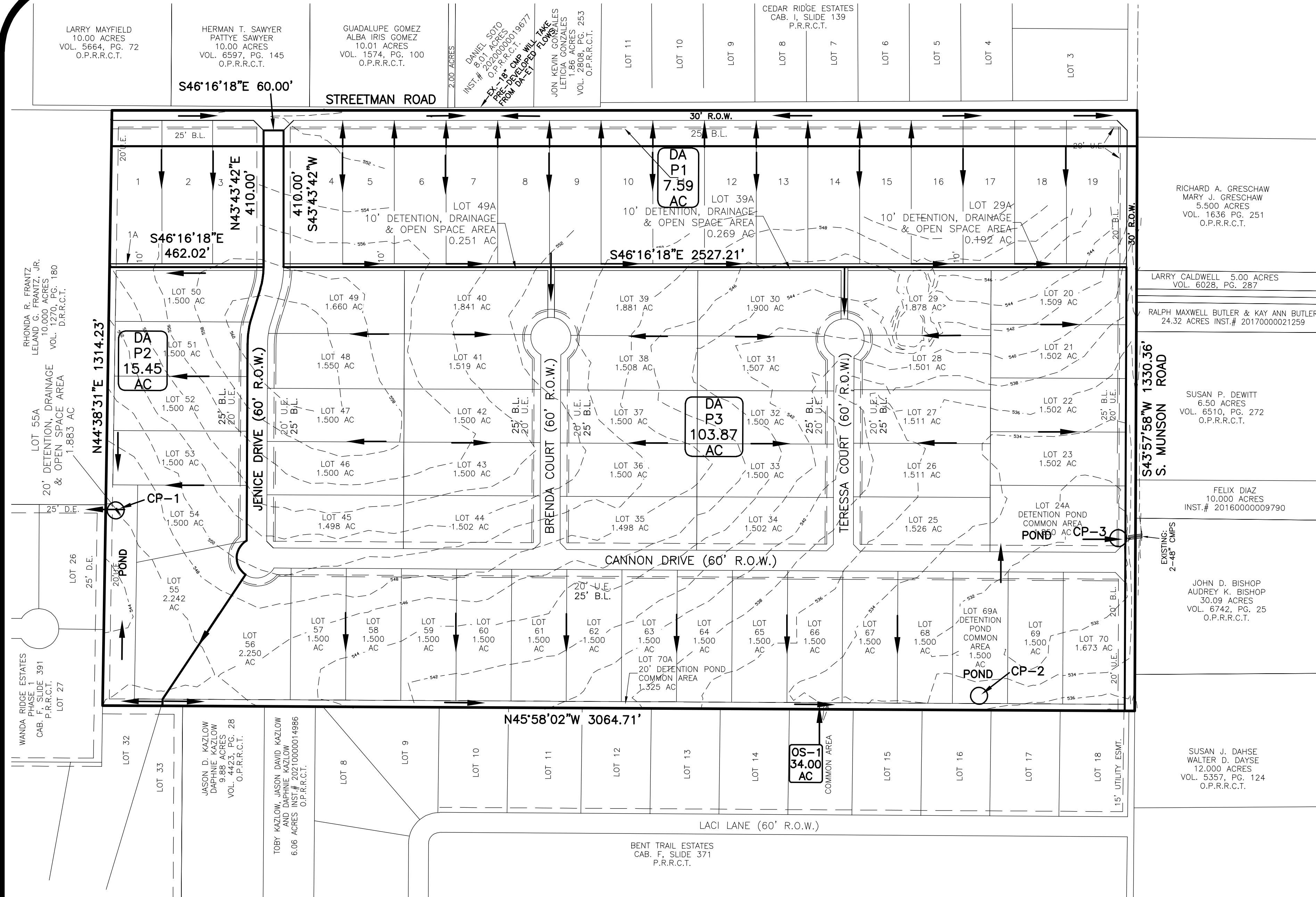
ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250/HS (HIGH SECURITY)

ALL WATER FITTINGS SHALL BE AWWA C-153 COMPACT DUCTILE IRON.



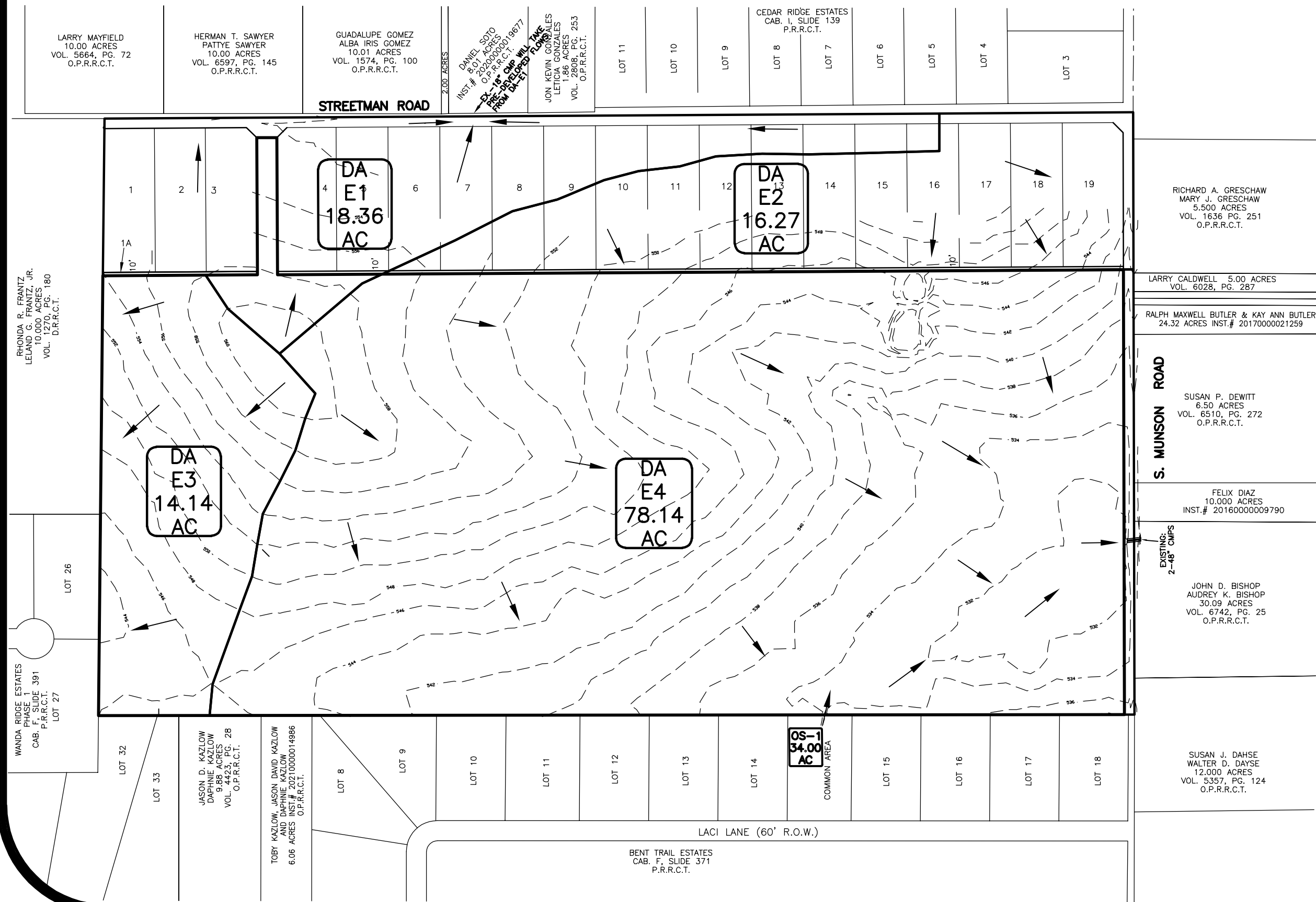
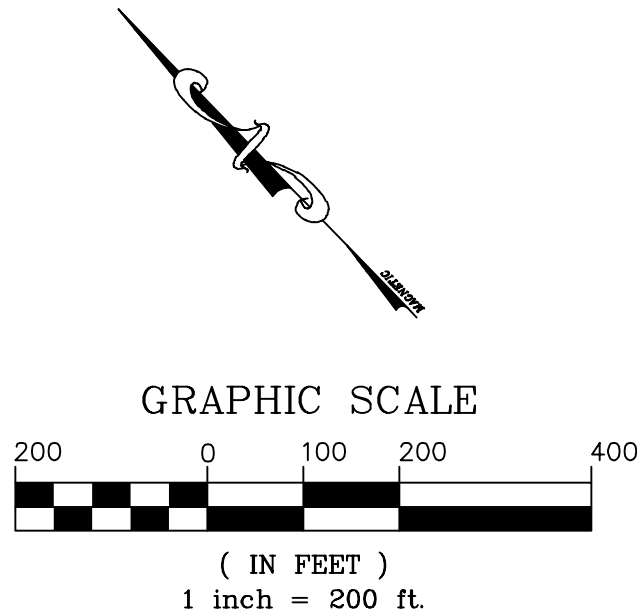
— PROPOSED FIRE HYDRANT

PRELIMINARY WATER PLAN			
Case No.:			
THE LONDON PHASE TWO			
CARROLL CONSULTING GROUP, INC.			
203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608 NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200			
DWG:	DATE	SCALE:	DRAWN BY:
THE LONDON-2	OCTOBER 17, 2025	1"=100'	CP



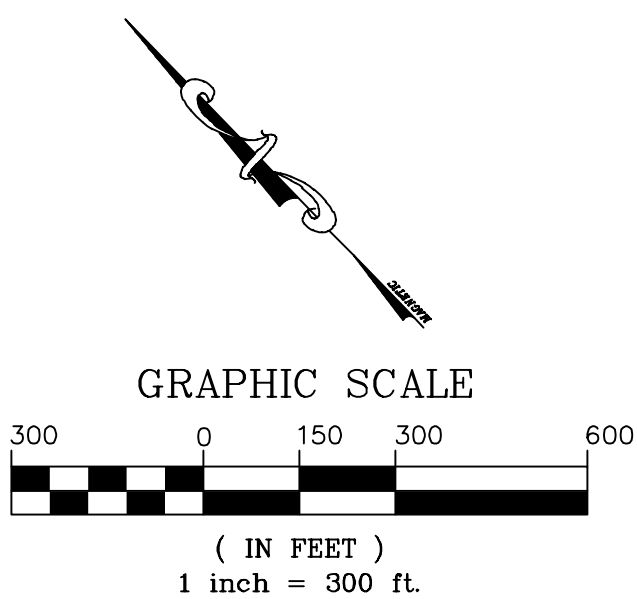
PROPOSED DRAINAGE AREAS

PROPOSED DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q100 cfs	
Tc = 10 min.					
DA-P1	7.59	0.500	9.80	37.19	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-P2	15.45	0.500	9.80	75.71	DRAINS TO CP-1, POND
DA-P3	103.87	0.500	9.80	508.96	DRAINS TO CP-3, POND TO 2-48" RCPS
OS-1	34.00	0.500	9.80	166.60	DRAINS TO PR-3, SWALE TO CP-2, POND
TOTALS	160.91			788.46	



EXISTING DRAINAGE AREAS

EXISTING DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q.cfs	
Tc = 20 min.					
DA-E1	18.36	0.350	8.30	53.34	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-E2	16.27	0.350	8.30	47.26	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E3	14.14	0.350	8.30	41.08	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E4	78.14	0.350	8.30	227.00	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
OS-1	34.00	0.500	9.80	166.60	OUTFALL STRUCTURE DRAINS OUT TO 2-48" R.C.P.S.
TOTALS	160.91			535.27	



PRELIMINARY DRAINAGE PLAN

Case No.:

THE LANDON PHASE TWO

CARROLL CONSULTING GROUP, INC.

203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608  
NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE	SCALE:	DRAWN BY:
THE LANDON-2	OCTOBER 17, 2025	1"=200' & 300'	CP



## BOUNDARY CLOSURE REPORT

### THE LANDON PHASE TWO

North: 7011312.6680' East: 2639087.7930'

Segment #1 : Line

Course: N45° 58' 01.51"W Length: 3064.714'

North: 7013442.8633' East: 2636884.4456'

Segment #2 : Line

Course: N44° 38' 31.33"E Length: 1314.227'

North: 7014377.9499' East: 2637807.9204'

Segment #3 : Line

Course: S46° 16' 18.09"E Length: 462.018'

North: 7014058.5848' East: 2638141.7865'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 410.000'

North: 7014354.8614' East: 2638425.1947'

Segment #5 : Line

Course: S46° 16' 18.09"E Length: 60.000'

North: 7014313.3870' East: 2638468.5523'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 410.000'

North: 7014017.1104' East: 2638185.1441'

Segment #7 : Line

Course: S46° 16' 18.09"E Length: 2527.215'

North: 7012270.1995' East: 2640011.3746'

Segment #8 : Line

Course: S43° 57' 57.75"W Length: 1330.364'

North: 7011312.6682' East: 2639087.7935'

Perimeter: 9578.537' Area: 4066627.24 Sq. Ft.

Error Closure: 0.0004 Course: N65° 24' 54.37"E

Error North: 0.00018 East: 0.00040

Precision 1: 23946345.000

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 10/23/2025

PROJECT NUMBER: P2025-039  
PROJECT NAME: Preliminary Plat for The Landon Phase 2  
SITE ADDRESS/LOCATIONS: 1230 Streetman

CASE CAPTION: Discuss and consider a request by Sam Carroll of Carroll Consulting Group, Inc. on behalf of Jim Bell of Harlan Properties, Inc. for the approval of a Preliminary Plat for The Landon Phase 2 Subdivision being a 93.357-acre parcel of land identified as Lot 20, Block A, The Landon Addition, Rockwall County, Texas, generally located northeast of the intersection of S. Munson Road and Laci Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	10/21/2025	Approved w/ Comments

10/21/2025: P2025-039; Preliminary Plat for Phase 2 of the Landon Subdivision

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for The Landon Phase 2 Subdivision being a 93.357-acre parcel of land identified as Lot 20, Block A, The Landon Addition, Rockwall County, Texas, and generally located northeast of the intersection of S. Munson Road and Laci Lane.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (P2025-039) in the lower right-hand corner of all pages of all revised plan submittals.

I.4 This project is subject to all requirements stipulated by Chapter 38, Subdivisions of the Code of Ordinances of The City of Rockwall and the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall (ILA). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

M.5 Please update the title block to read:

PRELIMINARY PLAT  
LOTS 20-77, BLOCK A  
THE LANDON PHASE 2  
BEING  
50 RESIDENTIAL LOTS AND  
SEVEN (7) OPEN SPACE LOTS  
93.357 ACRES OF LAND  
SITUATED WITHIN THE  
SAMUEL MCFADGIN SURVEY, ABSTRACT NO. 142,  
ROCKWALL COUNTY, TEXAS

M.6 Please change all Open Space/Drainage lots to a single number with no letter designation (i.e. Lot 29A should be Lot 71, etc)

M.7 Label all proposed streets with the proposed names for GIS approval. Contact Lance Singleton, GIS Supervisor for street name approval at LSingleton@rockwall.com

M.8 Remove the density calculation.

M.9 This is in Rockwall County. Please change any mention of Collin County to Rockwall County.

M.10 Provide two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).

M.11 All lots shall have a frontage of 150-feet. In cul-de-sacs, the minimum frontage is 80 feet. On curvilinear lots, the lot frontage shall be measured by the cord length along the curve. (Subsection C(2), of Exhibit A, of the Interim Interlocal Cooperative Agreement for Subdivision Regulation (ILA) Please update the los along the cul-de-sacs of Brenda Court and Teresa Court to at least 80 feet.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff by November 4, 2025, and provide any additional information that is requested.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 28, 2025
- 2) Planning & Zoning Regular meeting will be held on November 11, 2025
- 3) City Council meeting will be held on November 17, 2025

I.14 Staff requires that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person and in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2025	Approved w/ Comments

10/23/2025: 1. Drainage easements minimum 20'.

2. Dead end water mains not allowed. Must loop water mains.

3. Detention/Drainage Calculations will be reviewed at Engineering.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- Minimum easement width is 20' for new easements.
- No structures including walls allowed within easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
- The property must be platted.
- Tree mitigation will be required when removing existing trees on the property.
- Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
- Additional comments may be provided at time of Engineering.

Streets/Paving:



- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Must construct Munson Road and Streetmen Road to City Standards. Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Streets adjacent to a public park or open space must have 60' ROW and 41' B-B street section.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Cul-de-sac dimensions must meet City of Rockwall Standards.
- All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
- City driveway spacing requirements must be met.
- Any medians must be curbed, and streets draining away from medians.
- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.

#### Water and Wastewater Items:

- Must submit a letter from Blackland WSC or CASH SUD (or both) stating that they can supply regulated domestic and fire flows.
- Must loop min 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must be 1.50 acre tracks with on-site sanitary sewer facilities (septic systems).
- An Infrastructure Study will be required. Review fees apply.
- Must construct a 12" water main on the north side of the property from the NW to the NE per the Master Water Plan. Dedicate Easements.
- Must construct a 6" sewer main from the West side of the property to the East side of the property per the Master Sewer Plan. Dedicate Easements.
- Minimum easement width is 20' for all easements.
- Must follow and construct per the City's master water and sanitary sewer plans, or requirements of the infrastructure study, whichever is most stringent.
- Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
- Water mains must be looped. Dead end not allowed.
- Public utilities may not be in detention ponds.

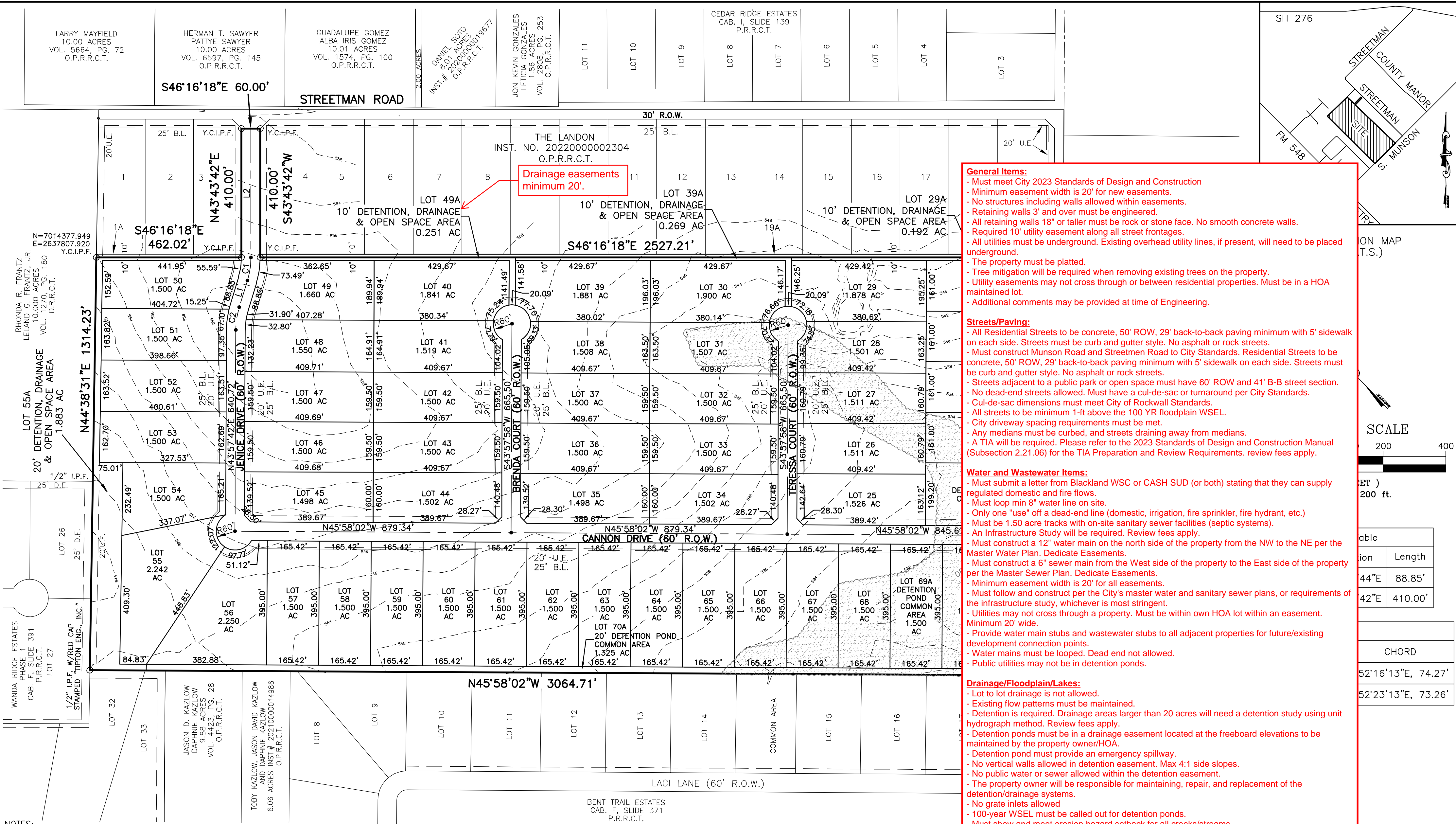
#### Drainage/Floodplain/Lakes:

- Lot to lot drainage is not allowed.
- Existing flow patterns must be maintained.
- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention ponds must be in a drainage easement located at the freeboard elevations to be maintained by the property owner/HOA.
- Detention pond must provide an emergency spillway.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- Must show and meet erosion hazard setback for all creeks/streams.
- Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA and now in ROW.
- Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Lot to Lot drainage is not allowed.
- Drainage must be at sheet flow conditions at the property line or an easement on the neighboring property is required, all the way to the creek.

#### Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/23/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2025	Approved w/ Comments
10/21/2025: Cannon Dr will not be allowed due to one already existing in Rockwall County. Please submit different name. Rockwall County will also have to approve final naming list.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2025	Approved
No Comments			



- NOTES:
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.
  6. 1.8 Dwelling units per acre.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

CARROLL CONSULTING GROUP, INC.

203 W. FM 6  
NEVADA, TEXAS 75173

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PHONE (972) 840-1506

TBPELS REGISTRATION NO.: F-21608

TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

LEGEND

M.N.S. — MAG NAIL SET

I.P.F. — IRON PIN FOUND

D.R.R.C.T. — DEED RECORDS, ROCKWALL COUNTY, TEXAS

O.P.R.R.C.T. — OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

Y.C.I.P.F. — 1/2" IRON PIN FOUND WITH YELLOW CAP STAMPED "CCG INC RPLS 5129"

ALL CORNERS SHALL BE A 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129" UNLESS OTHERWISE NOTED.

FLOOD NOTE:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

- General Items:

  - Must meet City 2023 Standards of Design and Construction
  - Minimum easement width is 20' for new easements.
  - No structures including walls allowed within easements.
  - Retaining walls 3' and over must be engineered.
  - All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
  - Required 10' utility easement along all street frontages.
  - All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
  - The property must be platted.
  - Tree mitigation will be required when removing existing trees on the property.
  - Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
  - Additional comments may be provided at time of Engineering.
- Streets/Paving:

  - All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
  - Must construct Munson Road and Streetmen Road to City Standards. Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
  - Streets adjacent to a public park or open space must have 60' ROW and 41' B-B street section.
  - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
  - Cul-de-sac dimensions must meet City of Rockwall Standards.
  - All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
  - City driveway spacing requirements must be met.
  - Any medians must be curbed, and streets draining away from medians.
  - A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
- Water and Wastewater Items:

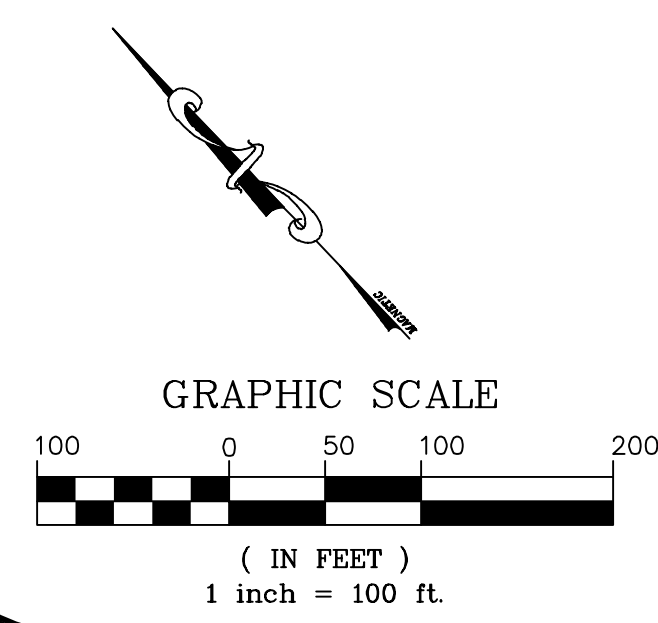
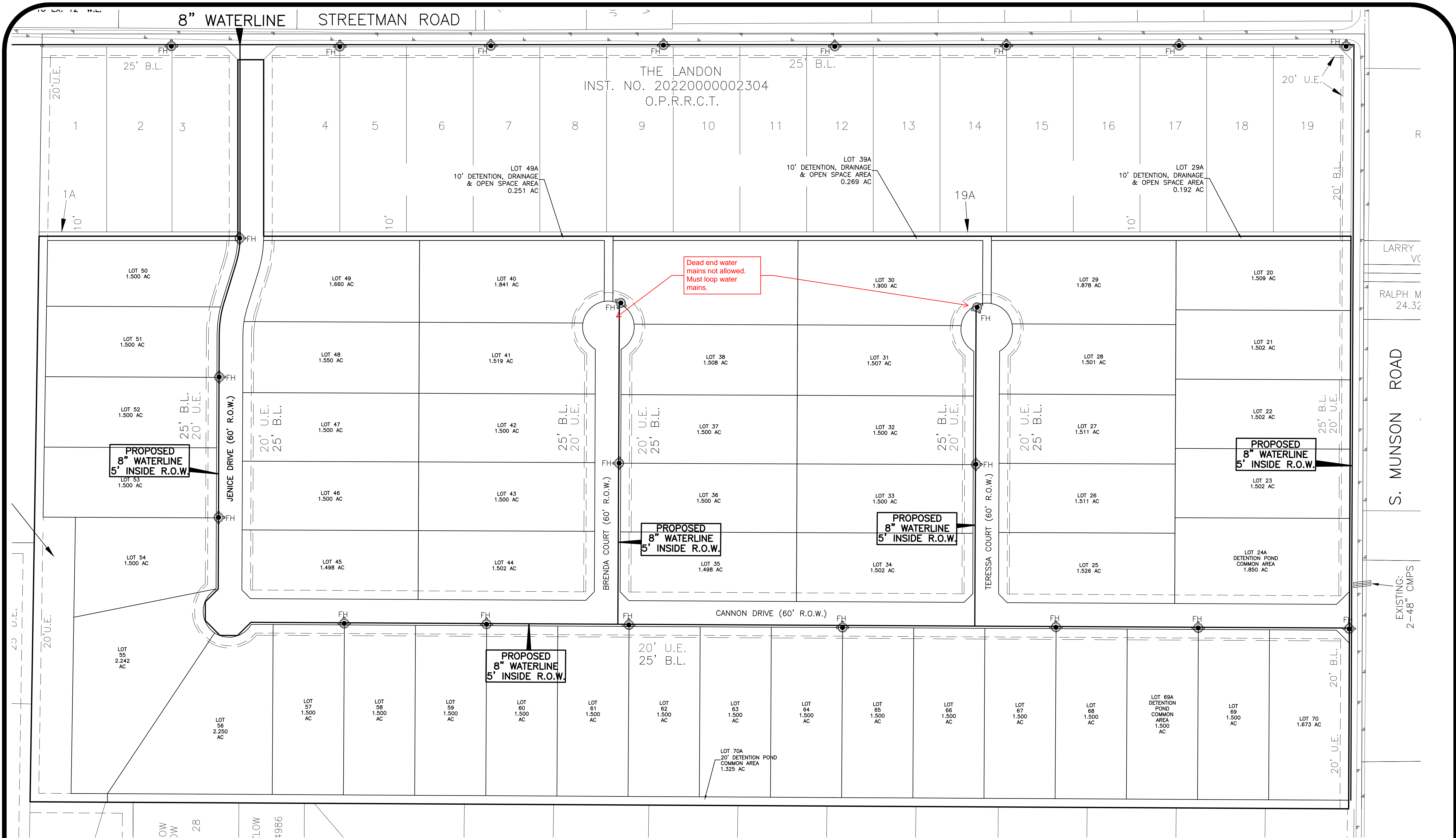
  - Must submit a letter from Blackland WSC or CASH SUD (or both) stating that they can supply regulated domestic and fire flows.
  - Must loop min 8" water line on site.
  - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
  - Must be 1.50 acre tracks with on-site sanitary sewer facilities (septic systems).
  - An Infrastructure Study will be required. Review fees apply.
  - Must construct a 12" water main on the north side of the property from the NW to the NE per the Master Water Plan. Dedicate Easements.
  - Must construct a 6" sewer main from the West side of the property to the East side of the property per the Master Sewer Plan. Dedicate Easements.
  - Minimum easement width is 20' for all easements.
  - Must follow and construct per the City's master water and sanitary sewer plans, or requirements of the infrastructure study, whichever is most stringent.
  - Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
  - Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
  - Water mains must be looped. Dead end not allowed.
  - Public utilities may not be in detention ponds.
- Drainage/Floodplain/Lakes:

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  - Existing flow patterns must be maintained.
  - Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
  - Detention ponds must be in a drainage easement located at the freeboard elevations to be maintained by the property owner/HOA.
  - Detention pond must provide an emergency spillway.
  - No vertical walls allowed in detention easement. Max 4:1 side slopes.
  - No public water or sewer allowed within the detention easement.
  - The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
  - No grate inlets allowed
  - 100-year WSEL must be called out for detention ponds.
  - Must show and meet erosion hazard setback for all creeks/streams.
  - Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA and now in ROW.
  - Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
  - Lot to Lot drainage is not allowed.
  - Drainage must be at sheet flow conditions at the property line or an easement on the neighboring property is required, all the way to the creek.
- Landscaping:

  - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
  - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
  - Landscape berms may not be on top of City utilities or within easements.

Being a replat of Lot 20 of The Landon  
Inst. No. 2022000002304, O.P.R.R.C.T.  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)  
of the City of Rockwall  
Rockwall County, Texas  
Case No.:





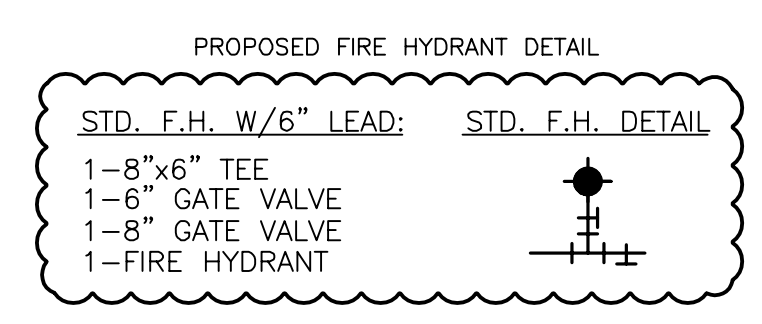
ALL INITIAL DEADEND WATER LINES NEED TO HAVE A FIRE HYDRANT WITH AUTOMATIC FLUSHING MECHANISM INSTALLED AT END.

ANY WATER VALVES DEEPER THAN 6 FEET NEED TO HAVE VALVE EXTENSIONS.

UTILITY CONTRACTORS TO PROVIDE AND INSTALL DUAL CHECK VALVES AT METER SERVICES.

ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250/HS (HIGH SECURITY)

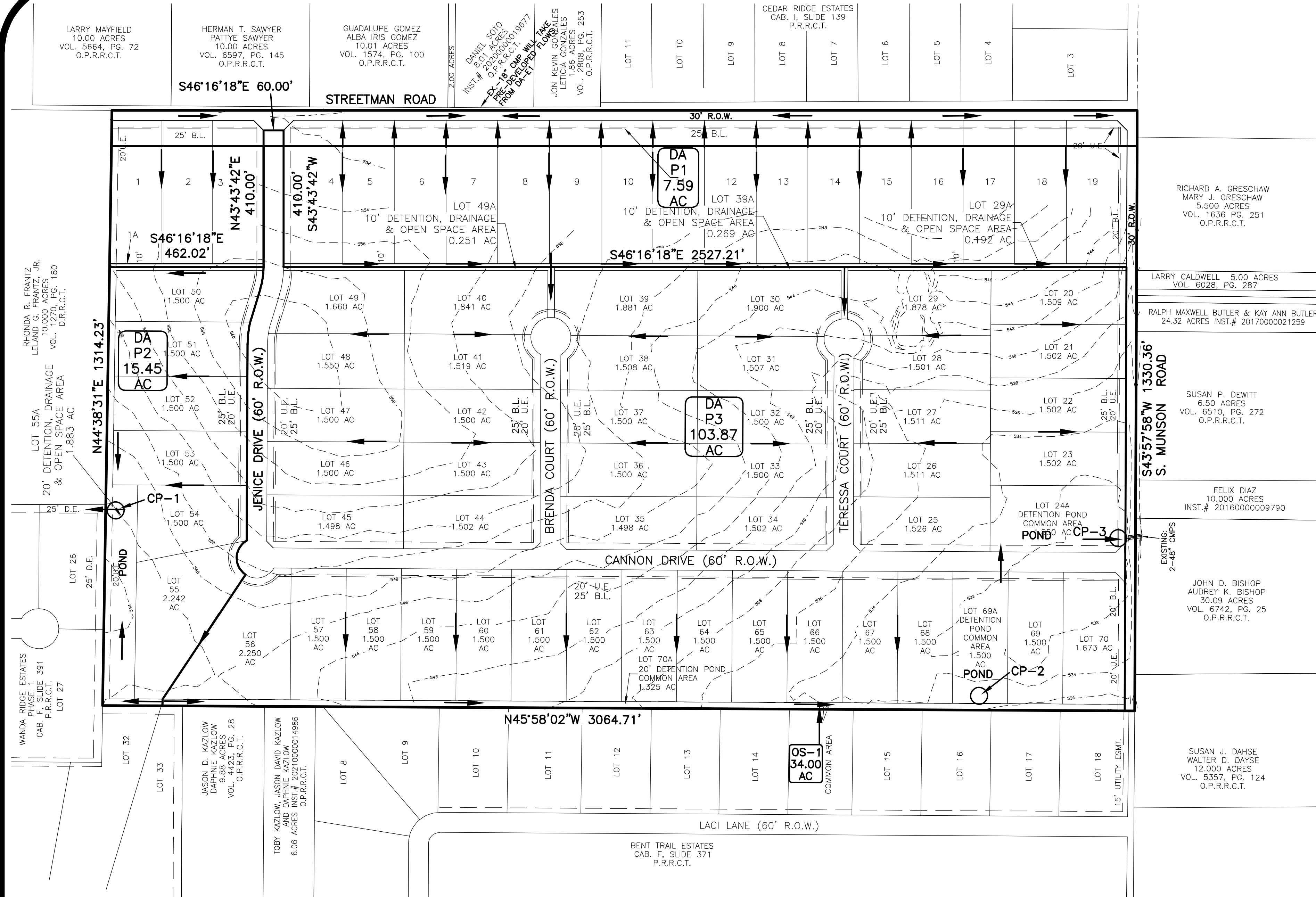
ALL WATER FITTINGS SHALL BE AWWA C-153 COMPACT DUCTILE IRON.



— PROPOSED FIRE HYDRANT

PRELIMINARY WATER PLAN			
Case No.:			
THE LONDON PHASE TWO			
CARROLL CONSULTING GROUP, INC.			
203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608 NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200			
DWG:	DATE	SCALE:	DRAWN BY:
THE LONDON-2	OCTOBER 17, 2025	1"=100'	CP

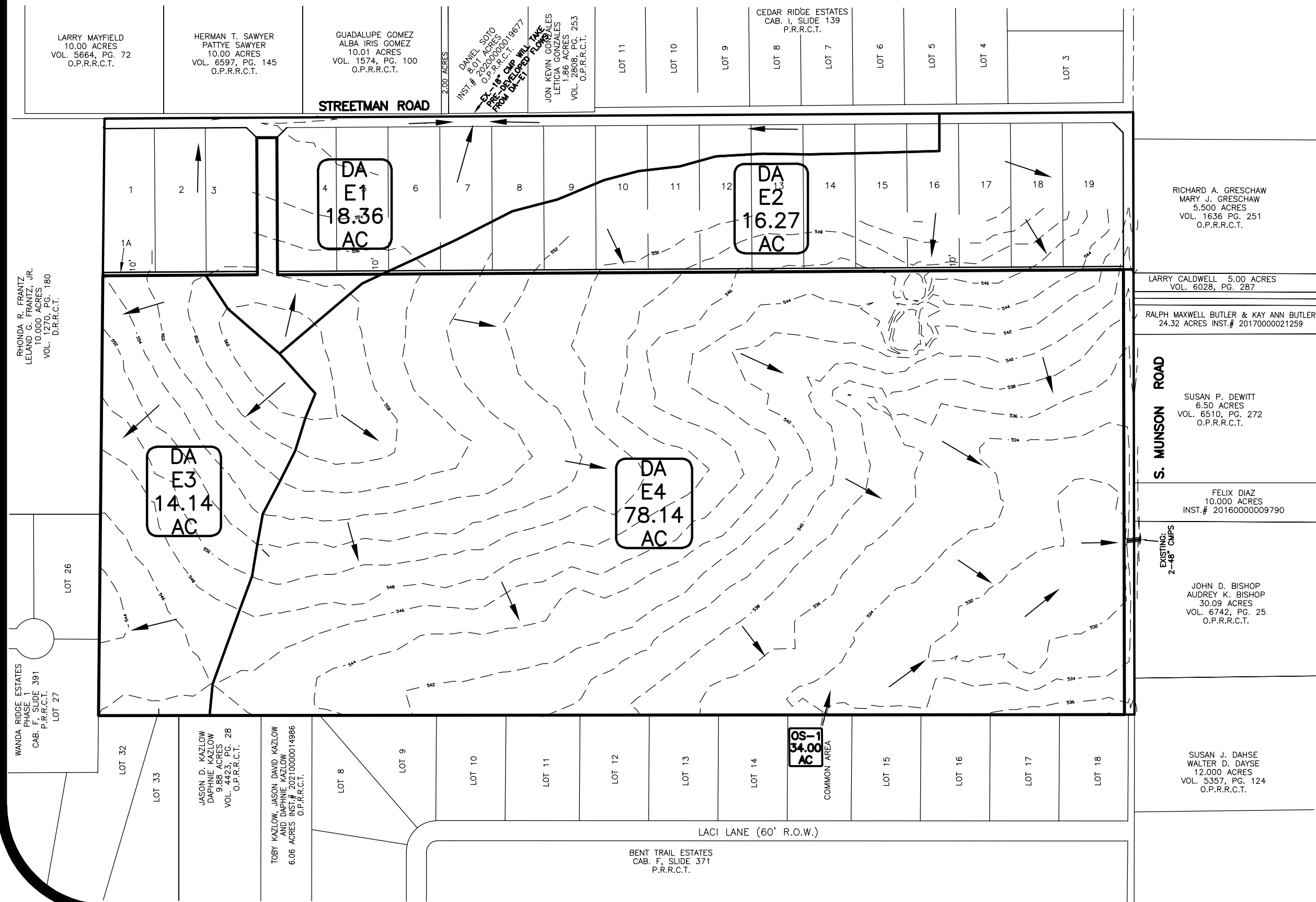
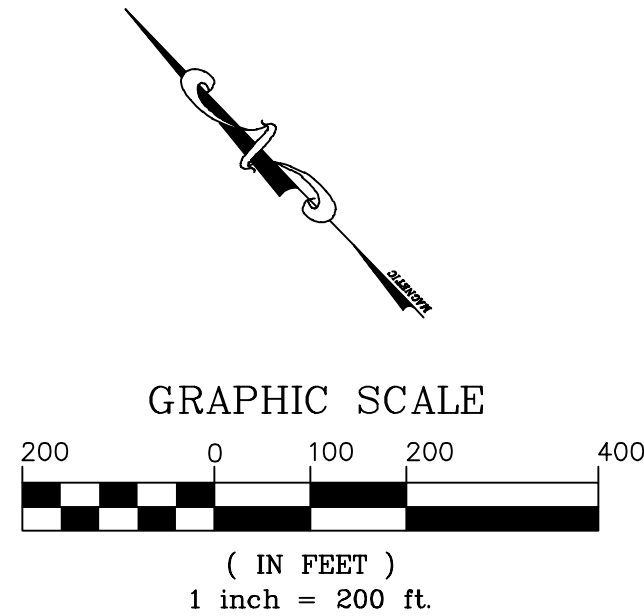




PROPOSED DRAINAGE AREAS

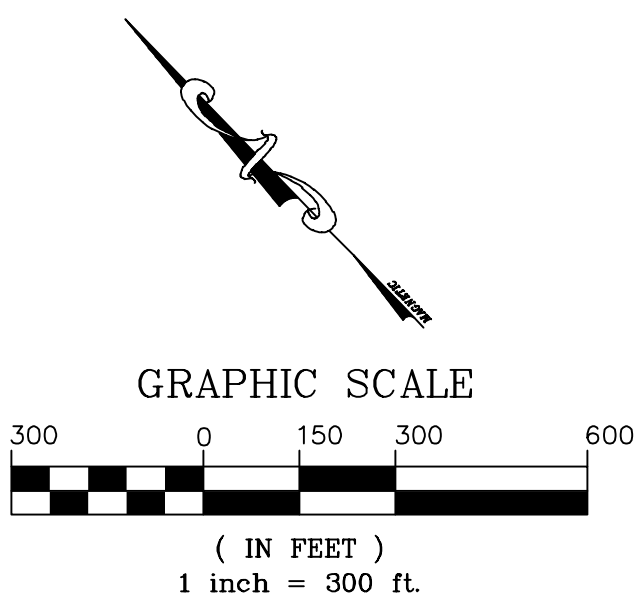
PROPOSED DRAINAGE AREAS					NOTES
Tc = 10 min.					
DA	ACRES	C	I100	Q100 cfs	
DA-P1	7.59	0.500	9.80	37.19	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-P2	15.45	0.500	9.80	75.71	DRAINS TO CP-1, POND
DA-P3	103.87	0.500	9.80	508.96	DRAINS TO CP-3, POND TO 2-48" RCPS
OS-1	34.00	0.500	9.80	166.60	DRAINS TO PR-3, SWALE TO CP-2, POND
TOTALS	160.91			788.46	

Detention/Drainage Calculations  
will be reviewed at Engineering.



EXISTING DRAINAGE AREAS

EXISTING DRAINAGE AREAS					NOTES
Tc = 20 min.					
DA	ACRES	C	I100	Q cfs	
DA-E1	18.36	0.350	8.30	53.34	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-E2	16.27	0.350	8.30	47.26	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E3	14.14	0.350	8.30	41.08	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E4	78.14	0.350	8.30	227.00	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
OS-1	34.00	0.500	9.80	166.60	OUTFALL STRUCTURE DRAINS OUT TO 2-48" R.C.P.S.
TOTALS	160.91			535.27	



3

PRELIMINARY DRAINAGE PLAN

Case No.:

THE LANDON PHASE TWO

CARROLL CONSULTING GROUP, INC.

203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608  
NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE	SCALE:	DRAWN BY:
THE LANDON-2	OCTOBER 17, 2025	1"=200' & 300'	CP





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>  
☒ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
☐ AMENDING OR MINOR PLAT (\$150.00)  
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>  
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>  
☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)  
☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

## NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1230 Streetman Road - Property ID# 114821

SUBDIVISION The Landon Phase Two

LOT

BLOCK

GENERAL LOCATION Lot 20 of the Landon/South of the Streetman Road and S. Munson road intersection

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING ETJ

CURRENT USE SINGLE FAMILY

PROPOSED ZONING ETJ

PROPOSED USE SINGLE FAMILY

ACREAGE 93.357

LOTS [CURRENT] 1

LOTS [PROPOSED] 50

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Harlan Properties, Inc.

☒ APPLICANT Carroll Consulting Group, Inc.

CONTACT PERSON Jim Bell

CONTACT PERSON Sam Carroll

ADDRESS 2404 Texas Dr.  
Suite 103

ADDRESS 203 W. FM 6

CITY, STATE & ZIP Irving, TX 75062

CITY, STATE & ZIP Nevada, TX 75173

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

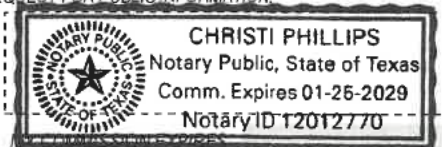
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sam Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,600.36 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

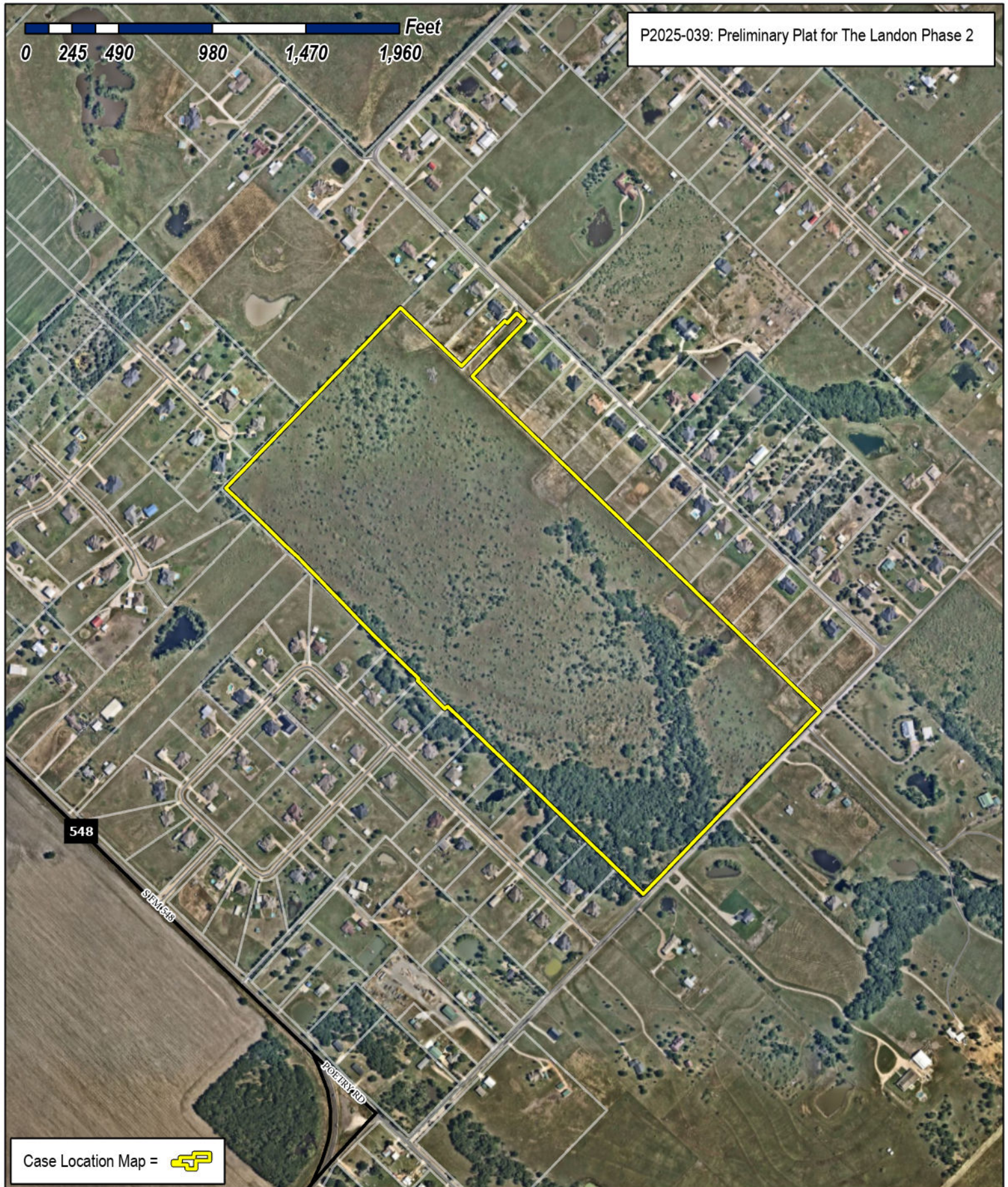
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF October, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Case Location Map =



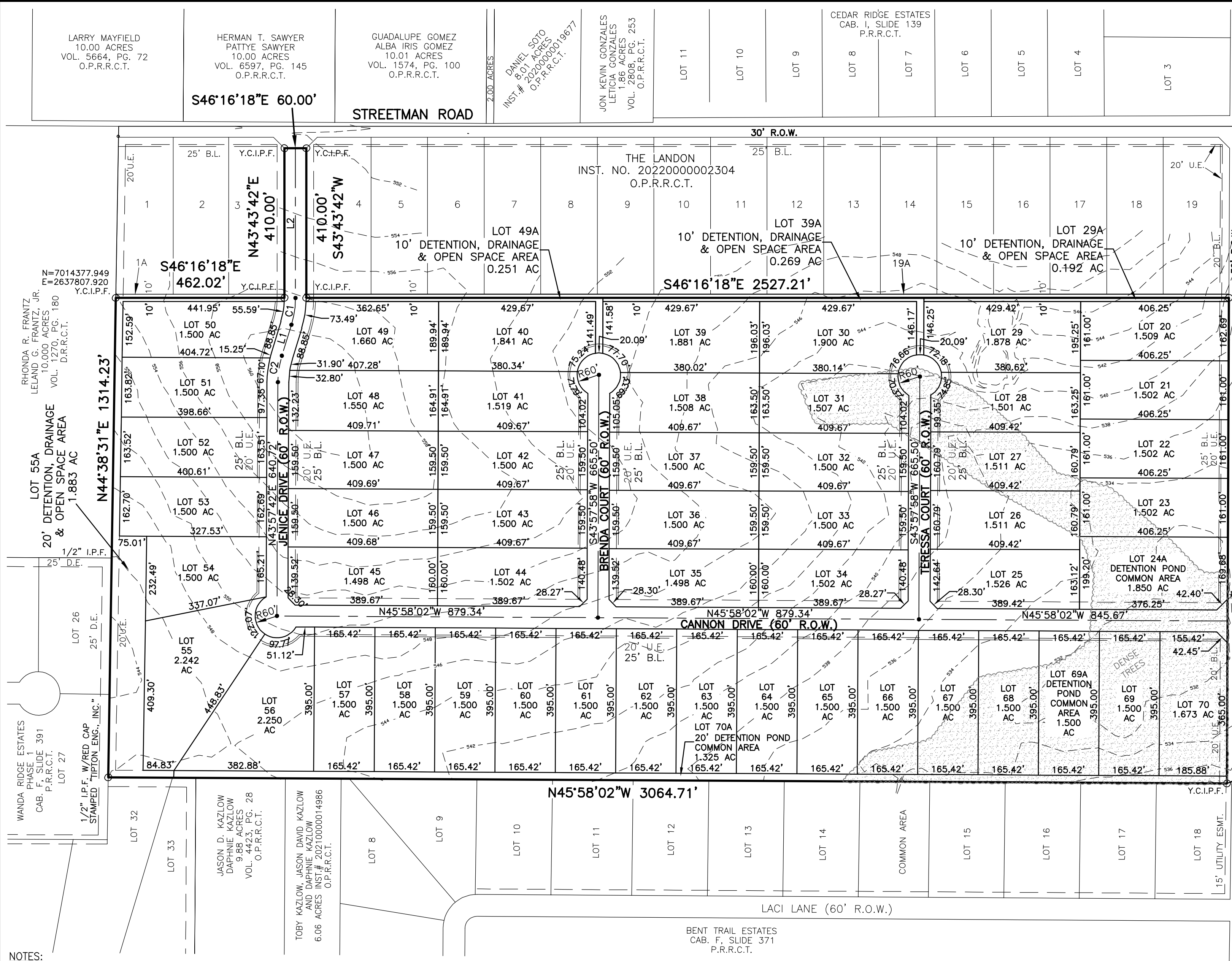
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







- NOTES:
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.
  6. 1.8 Dwelling units per acre.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

**CARROLL CONSULTING GROUP, INC.**  
203 W. FM 6  
NEVADA, TEXAS 75173  
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PHONE (972) 840-1506  
TBPELS REGISTRATION NO.: F-21608  
TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

**LEGEND**

M.N.S. — MAG NAIL SET  
I.P.F. — IRON PIN FOUND  
D.R.R.C.T. — DEED RECORDS, ROCKWALL COUNTY, TEXAS  
O.P.R.R.C.T. — OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS  
Y.C.I.P.F. — 1/2" IRON PIN FOUND WITH YELLOW CAP STAMPED "CCG INC RPLS 5129"

ALL CORNERS SHALL BE A 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129" UNLESS OTHERWISE NOTED.

FLOOD NOTE:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**OWNER:**  
HARLAN PROPERTIES, INC.  
2404 TEXAS DR., SUITE 103  
IRVING, TEXAS 75062

**LOCATION MAP (N.T.S.)**  
SH 276  
STREETMAN  
COUNTY MANOR  
STREETMAN  
SITE  
S. MUNSON  
POETRY  
FM 548

**GRAPHIC SCALE**  
200 0 100 200 400  
( IN FEET )  
1 inch = 200 ft.

Line Table		
Line #	Direction	Length
L1	N60°48'44"E	88.85'
L2	N43°43'42"E	410.00'

Curve Table				
Curve #	Length	Radius	Delta	CHORD
C1	74.54'	250.00'	17°05'03"	N52°16'13"E, 74.27'
C2	73.53'	250.00'	16°51'03"	N52°23'13"E, 73.26'

**POINT OF BEGINNING**  
N=7011312.668  
E=2639087.792

**SUSAN J. DAHSE**  
WALTER D. DAYSE  
12.000 ACRES  
VOL. 5357, PG. 124  
O.P.R.R.C.T.

**EXISTING:**  
2-48 CMPS

**TERESSA COURT (60' R.O.W.)**  
N45°58'02"W 845.67'

**CANNON DRIVE (60' R.O.W.)**  
N45°58'02"W 879.34'

**BRENDA COURT (60' R.O.W.)**  
N45°58'02"W 879.34'

**JENICE DRIVE (60' R.O.W.)**  
N43°57'42"E 640.72'

**LOT 24A DETENTION POND COMMON AREA**  
1.850 AC

**LOT 69A DETENTION POND COMMON AREA**  
1.500 AC

**LOT 70A DETENTION POND COMMON AREA**  
1.325 AC

**LOT 20-70 & LOTS 29A, 39A, 49A, 55A, 69A & 70A, BLOCK A**  
50 Residential Lots  
93.357 Acres of Land  
Being a replat of Lot 20 of The Landon  
Inst. No. 20220000002304, O.P.R.R.C.T.  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)  
of the City of Rockwall  
Rockwall County, Texas  
Case No.:

RICHARD A. GRESCHAW  
MARY J. GRESCHAW  
5.500 ACRES  
VOL. 1636 PG. 251  
O.P.R.R.C.T.

N=7014377.949  
E=2637807.920  
Y.C.I.P.F.

LARRY CALDWELL 5.00 ACRES  
VOL. 6028, PG. 287

RALPH MAXWELL BUTLER & KAY ANN BUTLER  
24.32 ACRES INST.# 20170000021259

SUSAN P. DEWITT  
6.50 ACRES  
VOL. 6510, PG. 272  
O.P.R.R.C.T.

FELIX DIAZ  
10.000 ACRES  
INST.# 20160000009790

JOHN D. BISHOP  
AUDREY K. BISHOP  
30.09 ACRES  
VOL. 6742, PG. 25  
O.P.R.R.C.T.



STATE OF TEXAS  
COUNTY OF ROCKWALL

Whereas, Harlan Properties, Inc. is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being all of Lot 20, Block A of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 20220000002304, Official Public Records, Rockwall County, Texas and as conveyed to Harlan Properties, Inc. by deed recorded in Instrument No. 20240000000232, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the south corner of said Lot 20 and being on the northeast line of Bent Trail Estates, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 371, Plat Records, Rockwall County, Texas and the northwest right-of-way line of S. Munson Road;

Thence, North 45°58'02" West, along the southwest line of said Lot 20, the northeast line of said Bent Trail Estates, the northeast line of a 6.06 acre tract of land conveyed to Toby Kazlow, Jason David Kazlow and Daphnie Kazlow by deed recorded in Instrument No. 20210000014986, Official Public Records, Rockwall County, Texas, the northeast line of a 9.88 acre tract of land conveyed to Jason D. Kazlow and Daphnie Kazlow by deed recorded in Volume 4423, Page 28, Official Public Records, Rockwall County, Texas and a northeast line of Wanda Ridge Estates Phase 1, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 391, Plat Records, Rockwall County, Texas, a distance of 3064.71 feet to a 1/2" iron pin found with red cap stamped "TIPTON ENG. INC." for the west corner of said Lot 20 and a re-entrant corner of said Wanda Ridge Estates Phase 1;

Thence, North 44°38'31" East, along the northwest line of said Lot 20, a southeast line of said Wanda Ridge Estates Phase 1 and the southeast line of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas, a distance of 1314.23 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for a north corner of said Lot 20 and the west corner of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 20220000002304, Official Public Records, Rockwall County, Texas;

Thence, southeasterly, along the common lines of said Lot 20 and The Landon the following:

South 46°16'18" East, a distance of 462.02 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

North 43°43'42" East, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 60.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 43°43'42" West, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 2527.21 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the east corner of said Lot 20 and the south corner of said The Landon, and being on the northwest right-of-way line of S. Munson Road;

Thence, South 43°57'58" West, along the southeast line of said Lot 20 and the northwest right-of-way line of S. Munson Road, a distance of 1330.36 feet to the Point of Beginning and containing 4,066,627 square feet or 93.357 acres of land.

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE TWO subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase Two subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- (1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- (2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- (3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

- (4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- (5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

- (6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

- (7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2025.

Harlan Properties, Inc., Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2025.

Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

PRELIMINARY PLAT

THE LANDON PHASE TWO  
LOTS 20-70 & LOTS 29A, 39A, 49A,  
55A, 69A & 70A, BLOCK A  
50 Residential Lots  
93.357 Acres of Land  
Being a replat of Lot 20 of The Landon  
Inst. No. 20220000002304, O.P.R.R.C.T.  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)

of the City of Rockwall  
Rockwall County, Texas

Case No.:

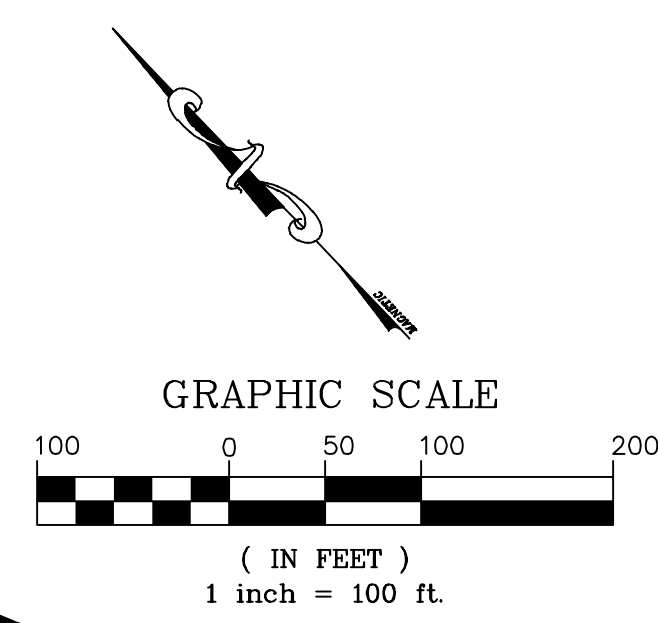
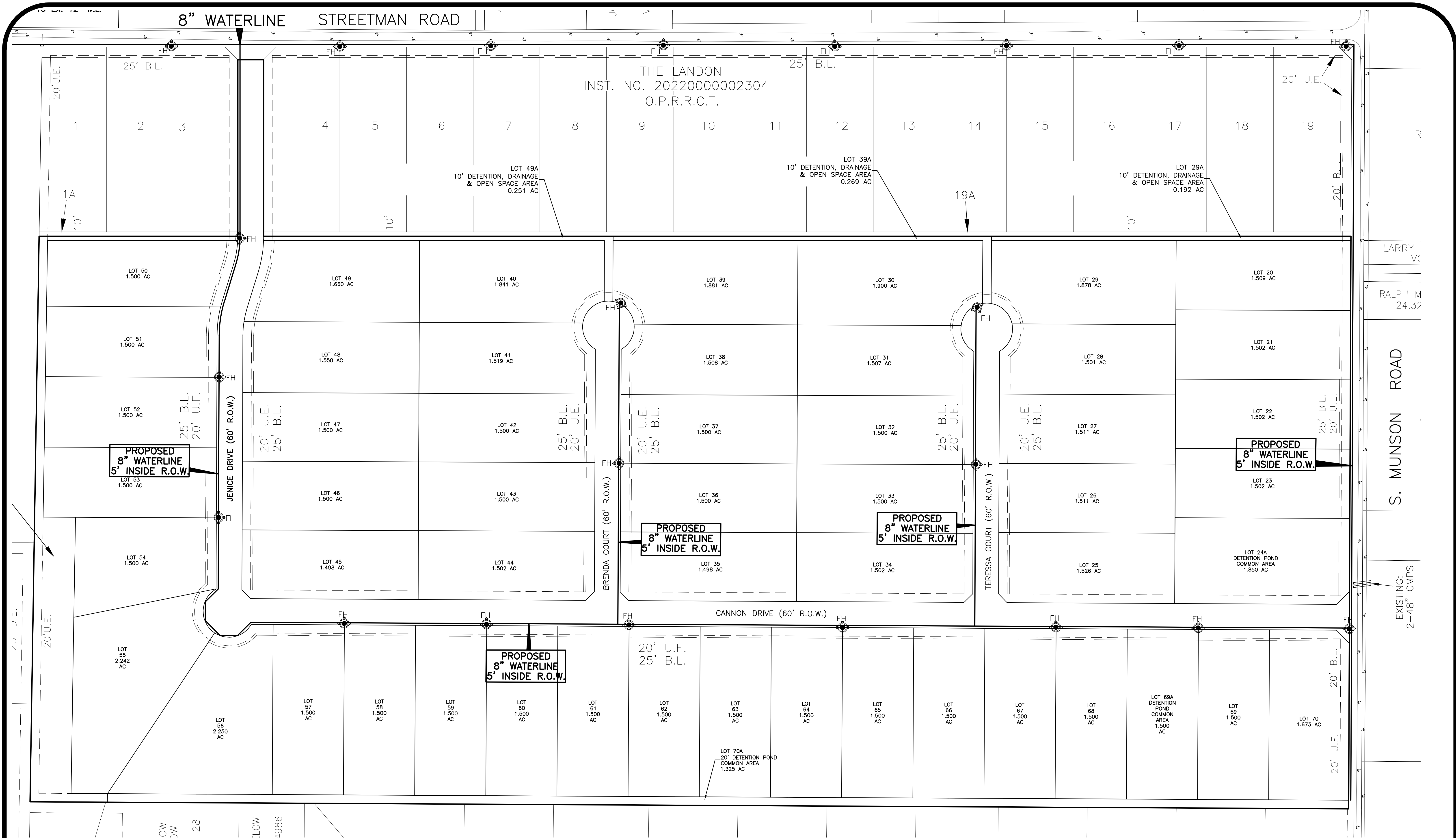
OWNER:  
HARLAN PROPERTIES, INC.  
2404 TEXAS DR., SUITE 103  
IRVING, TEXAS 75062

CARROLL CONSULTING GROUP, INC.

203 W. FM 6  
NEVADA, TEXAS 75173  
PHONE (972) 840-1506  
TBPELS REGISTRATION NO.: F-21608  
TEXAS FIRM REGISTRATION NO.: 10007200

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JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP



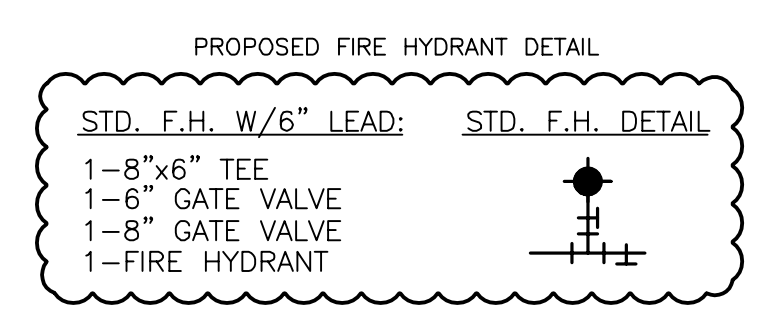
ALL INITIAL DEADEND WATER LINES NEED TO HAVE A FIRE HYDRANT WITH AUTOMATIC FLUSHING MECHANISM INSTALLED AT END.

ANY WATER VALVES DEEPER THAN 6 FEET NEED TO HAVE VALVE EXTENSIONS.

UTILITY CONTRACTORS TO PROVIDE AND INSTALL DUAL CHECK VALVES AT METER SERVICES.

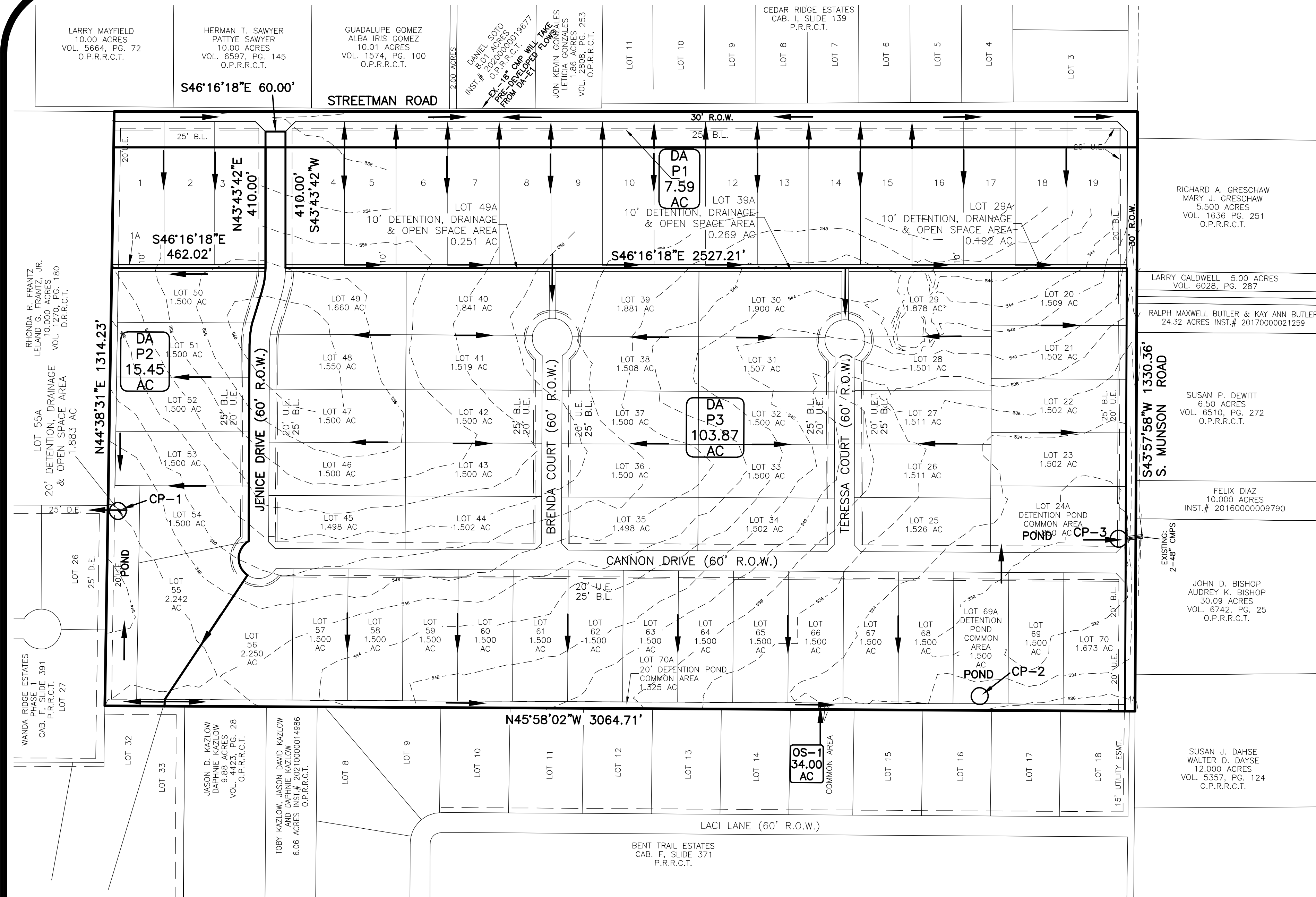
ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250/HS (HIGH SECURITY)

ALL WATER FITTINGS SHALL BE AWWA C-153 COMPACT DUCTILE IRON.



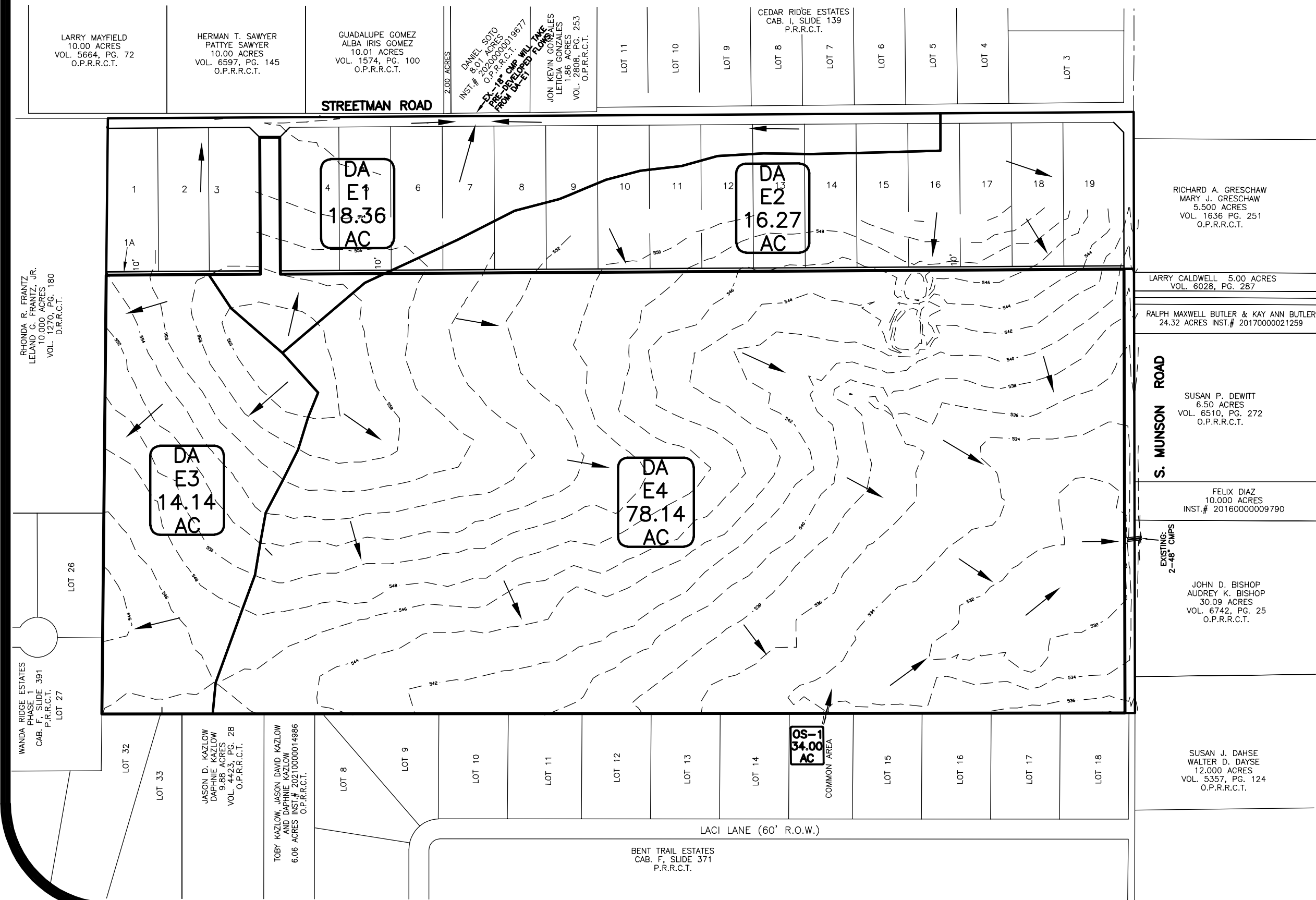
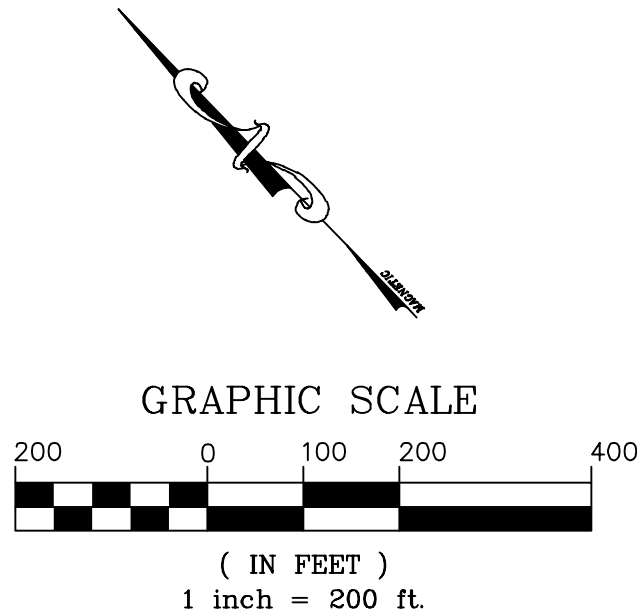
— PROPOSED FIRE HYDRANT

PRELIMINARY WATER PLAN			
Case No.:			
THE LONDON PHASE TWO			
CARROLL CONSULTING GROUP, INC.			
203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608 NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200			
DWG:	DATE	SCALE:	DRAWN BY:
THE LONDON-2	OCTOBER 17, 2025	1"=100'	CP



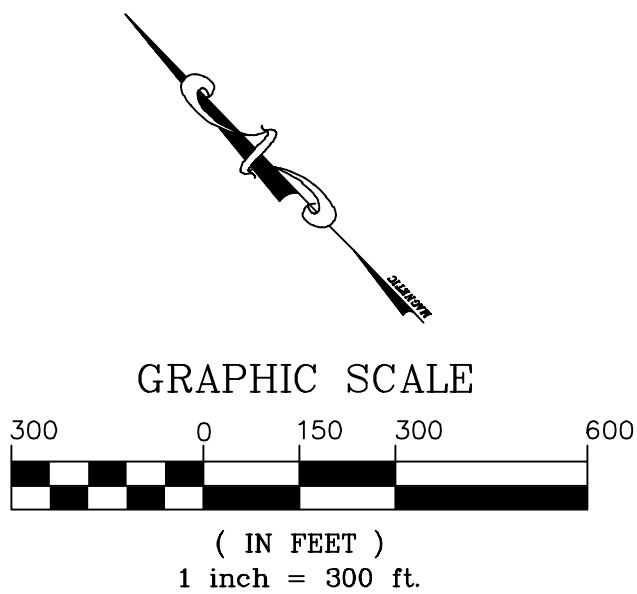
PROPOSED DRAINAGE AREAS

PROPOSED DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q100 cfs	
Tc = 10 min.					
DA-P1	7.59	0.500	9.80	37.19	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-P2	15.45	0.500	9.80	75.71	DRAINS TO CP-1, POND
DA-P3	103.87	0.500	9.80	508.96	DRAINS TO CP-3, POND TO 2-48" RCPS
OS-1	34.00	0.500	9.80	166.60	DRAINS TO PR-3, SWALE TO CP-2, POND
TOTALS	160.91			788.46	



EXISTING DRAINAGE AREAS

EXISTING DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q.cfs	
Tc = 20 min.					
DA-E1	18.36	0.350	8.30	53.34	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-E2	16.27	0.350	8.30	47.26	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E3	14.14	0.350	8.30	41.08	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E4	78.14	0.350	8.30	227.00	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
OS-1	34.00	0.500	9.80	166.60	OUTFALL STRUCTURE DRAINS OUT TO 2-48" R.C.P.S.
TOTALS	160.91			535.27	



3

PRELIMINARY DRAINAGE PLAN

Case No.:

THE LANDON PHASE TWO

CARROLL CONSULTING GROUP, INC.

203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608  
NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE	SCALE:	DRAWN BY:
THE LANDON-2	OCTOBER 17, 2025	1"=200' & 300'	CP



## BOUNDARY CLOSURE REPORT

### THE LANDON PHASE TWO

North: 7011312.6680' East: 2639087.7930'

Segment #1 : Line

Course: N45° 58' 01.51"W Length: 3064.714'

North: 7013442.8633' East: 2636884.4456'

Segment #2 : Line

Course: N44° 38' 31.33"E Length: 1314.227'

North: 7014377.9499' East: 2637807.9204'

Segment #3 : Line

Course: S46° 16' 18.09"E Length: 462.018'

North: 7014058.5848' East: 2638141.7865'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 410.000'

North: 7014354.8614' East: 2638425.1947'

Segment #5 : Line

Course: S46° 16' 18.09"E Length: 60.000'

North: 7014313.3870' East: 2638468.5523'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 410.000'

North: 7014017.1104' East: 2638185.1441'

Segment #7 : Line

Course: S46° 16' 18.09"E Length: 2527.215'

North: 7012270.1995' East: 2640011.3746'

Segment #8 : Line

Course: S43° 57' 57.75"W Length: 1330.364'

North: 7011312.6682' East: 2639087.7935'

Perimeter: 9578.537' Area: 4066627.24 Sq. Ft.

Error Closure: 0.0004 Course: N65° 24' 54.37"E

Error North: 0.00018 East: 0.00040

Precision 1: 23946345.000



## CITY OF ROCKWALL

### PLANNING AND ZONING COMMISSION CASE MEMO

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Planning and Zoning Commission  
**DATE:** November 11, 2025  
**APPLICANT:** Sam Carroll; *Carroll Consulting Group, Inc.*  
**CASE NUMBER:** P2025-039; *Preliminary Plat for the Landon, Phase 2*

---

#### **SUMMARY**

Consider a request by Sam Carroll of Carroll Consulting Group, Inc. on behalf of Jim Bell of Harlan Properties, Inc. for the approval of a Preliminary Plat for The Landon Phase 2 Subdivision being a 93.357-acre parcel of land identified as Lot 20, Block A, The Landon Addition, Rockwall County, Texas, generally located northeast of the intersection of S. Munson Road and Laci Lane, and take any action necessary.

#### **PLAT INFORMATION**

- ☑ Purpose. The purpose of the applicant's request is to Preliminary Plat a 93.357-acre parcel of land (i.e. Lot 20, Block A, The Landon Addition) to show the future establishment of 50 single-family residential lots and six (6) open space lots. The proposed Preliminary Plat also lays out the necessary easements (e.g. right-of-way, utilities, and drainage) for the future development of a residential subdivision on the subject property.
- ☑ Requirements. The proposed Preliminary Plat is subject to the requirements of Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interlocal Agreement between Rockwall County and the City of Rockwall*.
- ☑ Conformance to the Rockwall County Interlocal Agreement. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of *Exhibit 'A' of the Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.
- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional Approval. Conditional approval of this Preliminary Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

#### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the Preliminary Plat for the *Landon, Phase 2* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Preliminary Plat; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city

adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1230 Streetman Road - Property ID# 114821

SUBDIVISION The Landon Phase Two

LOT

BLOCK

GENERAL LOCATION Lot 20 of the Landon/South of the Streetman Road and S. Munson road intersection

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING ETJ

CURRENT USE SINGLE FAMILY

PROPOSED ZONING ETJ

PROPOSED USE SINGLE FAMILY

ACREAGE 93.357

LOTS [CURRENT] 1

LOTS [PROPOSED] 50

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Harlan Properties, Inc.

☒ APPLICANT Carroll Consulting Group, Inc.

CONTACT PERSON Jim Bell

CONTACT PERSON Sam Carroll

ADDRESS 2404 Texas Dr.  
Suite 103

ADDRESS 203 W. FM 6

CITY, STATE & ZIP Irving, TX 75062

CITY, STATE & ZIP Nevada, TX 75173

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

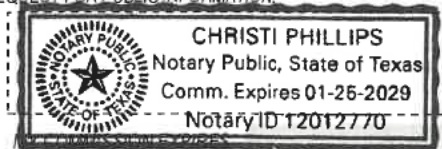
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sam Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,600.36 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

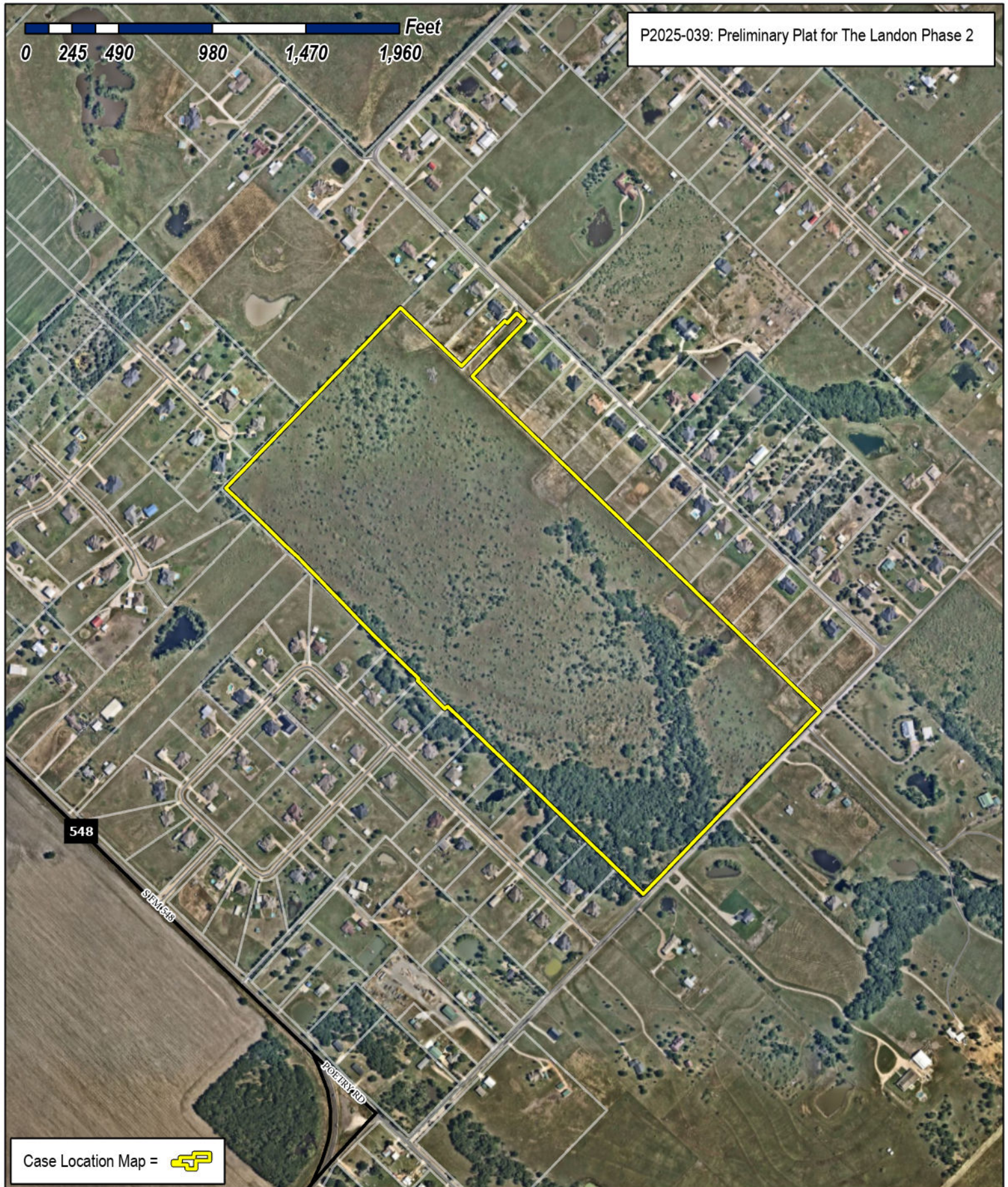
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF October, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







0 245 490 980 1,470 1,960 Feet

P2025-039: Preliminary Plat for The Landon Phase 2

548

STANLEY

POETRY RD

Case Location Map =



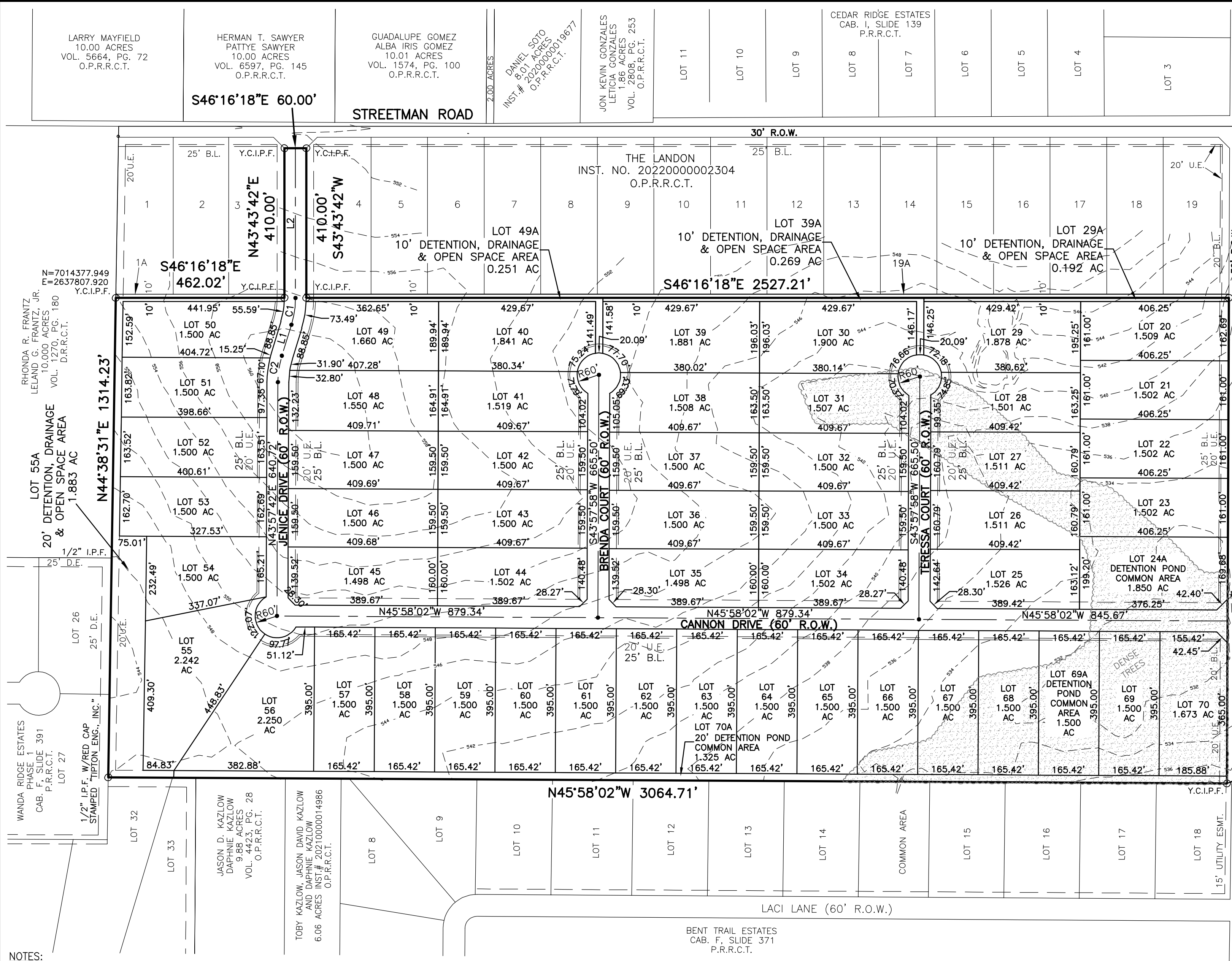
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







- NOTES:
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.
  6. 1.8 Dwelling units per acre.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

**CARROLL CONSULTING GROUP, INC.**  
203 W. FM 6  
NEVADA, TEXAS 75173  
COPYRIGHT © CARROLL CONSULTING GROUP

PHONE (972) 840-1506  
TBPELS REGISTRATION NO.: F-21608  
TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

LEGEND

M.N.S. — MAG NAIL SET

I.P.F. — IRON PIN FOUND

D.R.R.C.T. — DEED RECORDS, ROCKWALL COUNTY, TEXAS

O.P.R.R.C.T. — OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

Y.C.I.P.F. — 1/2" IRON PIN FOUND WITH YELLOW CAP STAMPED "CCG INC RPLS 5129"

ALL CORNERS SHALL BE A 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129" UNLESS OTHERWISE NOTED.

FLOOD NOTE:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

OWNER:  
HARLAN PROPERTIES, INC.  
2404 TEXAS DR., SUITE 103  
IRVING, TEXAS 75062

SH 276  
STREETMAN  
COUNTY MANOR  
STREETMAN  
SITE  
S. MUNSON  
POETRY  
FM 548

LOCATION MAP  
(N.T.S.)

GRAPHIC SCALE  
200 0 100 200 400  
( IN FEET )  
1 inch = 200 ft.

Line Table

Line #	Direction	Length
L1	N60°48'44"E	88.85'
L2	N43°43'42"E	410.00'

Curve Table

Curve #	Length	Radius	Delta	CHORD
C1	74.54'	250.00'	17°05'03"	N52°16'13"E, 74.27'
C2	73.53'	250.00'	16°51'03"	N52°23'13"E, 73.26'

POINT OF BEGINNING

N=7011312.668  
E=2639087.792

SUSAN J. DAHSE  
WALTER D. DAYSE  
12.000 ACRES  
VOL. 5357, PG. 124  
O.P.R.R.C.T.

PRELIMINARY PLAT

THE LANDON PHASE TWO

LOTS 20-70 & LOTS 29A, 39A, 49A,  
55A, 69A & 70A, BLOCK A

50 Residential Lots

93.357 Acres of Land

Being a replat of Lot 20 of The Landon  
Inst. No. 20220000002304, O.P.R.R.C.T.

Samuel McFadgin Survey, Abstract No. 142

Situated within the  
Extraterritorial Jurisdiction (ETJ)

of the City of Rockwall  
Rockwall County, Texas

Case No.:

Page 1 of 2

STATE OF TEXAS  
COUNTY OF ROCKWALL

Whereas, Harlan Properties, Inc. is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being all of Lot 20, Block A of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 20220000002304, Official Public Records, Rockwall County, Texas and as conveyed to Harlan Properties, Inc. by deed recorded in Instrument No. 20240000000232, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the south corner of said Lot 20 and being on the northeast line of Bent Trail Estates, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 371, Plat Records, Rockwall County, Texas and the northwest right-of-way line of S. Munson Road;

Thence, North 45°58'02" West, along the southwest line of said Lot 20, the northeast line of said Bent Trail Estates, the northeast line of a 6.06 acre tract of land conveyed to Toby Kazlow, Jason David Kazlow and Daphnie Kazlow by deed recorded in Instrument No. 20210000014986, Official Public Records, Rockwall County, Texas, the northeast line of a 9.88 acre tract of land conveyed to Jason D. Kazlow and Daphnie Kazlow by deed recorded in Volume 4423, Page 28, Official Public Records, Rockwall County, Texas and a northeast line of Wanda Ridge Estates Phase 1, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 391, Plat Records, Rockwall County, Texas, a distance of 3064.71 feet to a 1/2" iron pin found with red cap stamped "TIPTON ENG. INC." for the west corner of said Lot 20 and a re-entrant corner of said Wanda Ridge Estates Phase 1;

Thence, North 44°38'31" East, along the northwest line of said Lot 20, a southeast line of said Wanda Ridge Estates Phase 1 and the southeast line of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas, a distance of 1314.23 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for a north corner of said Lot 20 and the west corner of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 20220000002304, Official Public Records, Rockwall County, Texas;

Thence, southeasterly, along the common lines of said Lot 20 and The Landon the following:

South 46°16'18" East, a distance of 462.02 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

North 43°43'42" East, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 60.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 43°43'42" West, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 2527.21 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the east corner of said Lot 20 and the south corner of said The Landon, and being on the northwest right-of-way line of S. Munson Road;

Thence, South 43°57'58" West, along the southeast line of said Lot 20 and the northwest right-of-way line of S. Munson Road, a distance of 1330.36 feet to the Point of Beginning and containing 4,066,627 square feet or 93.357 acres of land.

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE TWO subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase Two subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- (1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- (2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- (3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

- (4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- (5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

- (6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

- (7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2025.

Harlan Properties, Inc., Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2025.

Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

PRELIMINARY PLAT

THE LANDON PHASE TWO  
LOTS 20-70 & LOTS 29A, 39A, 49A,  
55A, 69A & 70A, BLOCK A  
50 Residential Lots  
93.357 Acres of Land  
Being a replat of Lot 20 of The Landon  
Inst. No. 20220000002304, O.P.R.R.C.T.  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)

of the City of Rockwall  
Rockwall County, Texas

Case No.:

OWNER:  
HARLAN PROPERTIES, INC.  
2404 TEXAS DR., SUITE 103  
IRVING, TEXAS 75062

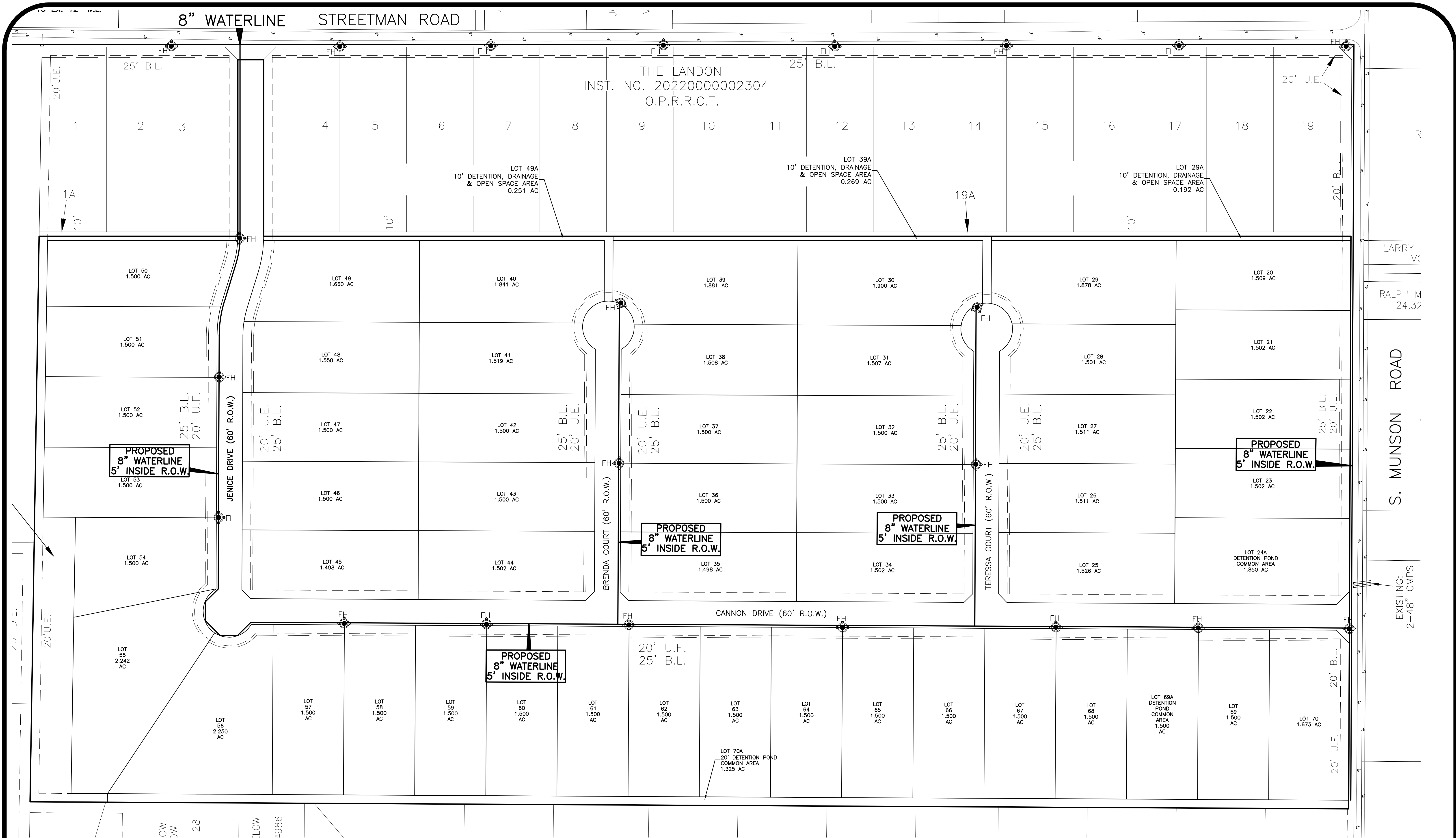
CARROLL CONSULTING GROUP, INC.

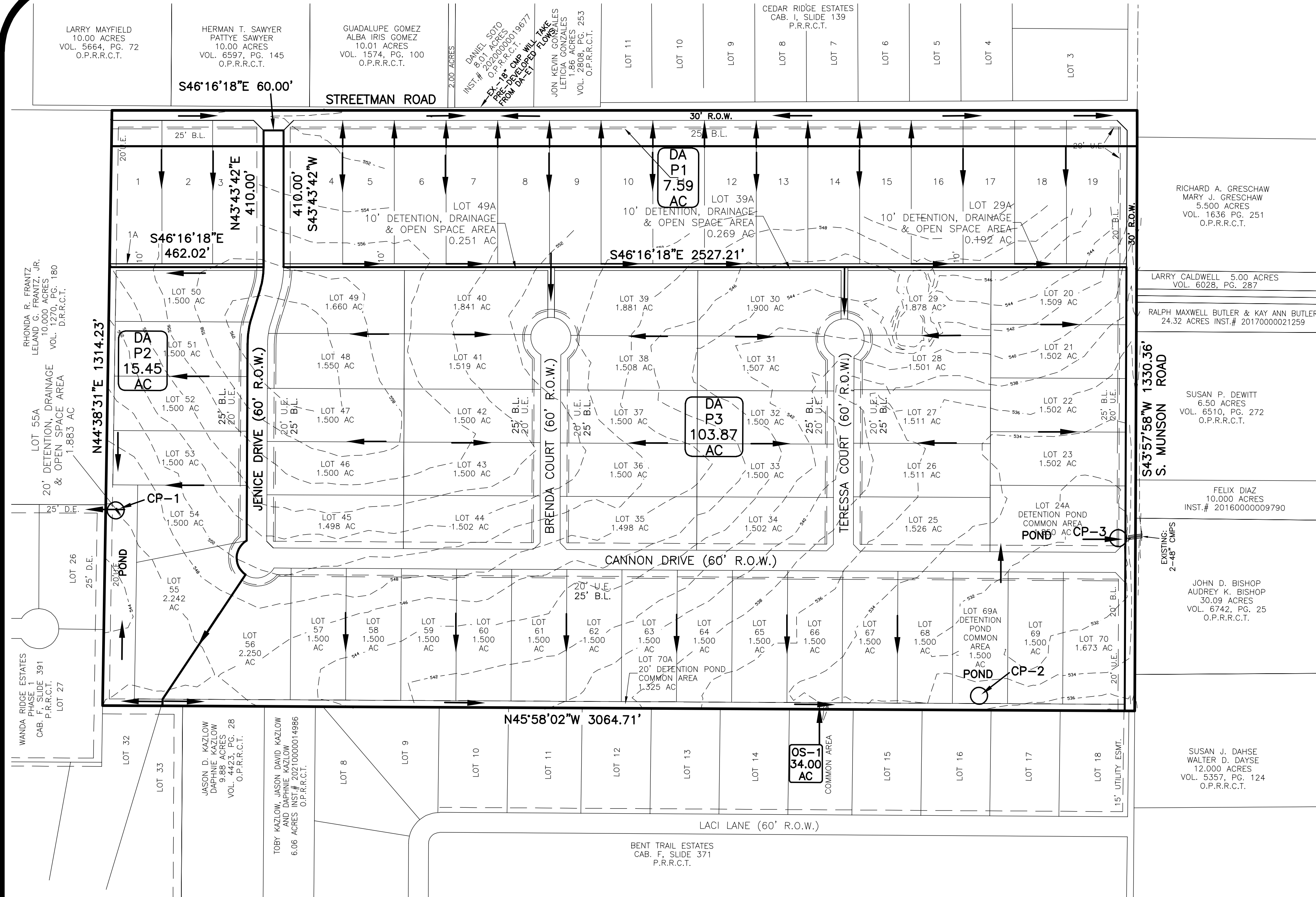
203 W. FM 6  
NEVADA, TEXAS 75173  
PHONE (972) 840-1506  
TBPELS REGISTRATION NO.: F-21608  
TEXAS FIRM REGISTRATION NO.: 10007200

COPYRIGHT © CARROLL CONSULTING GROUP

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

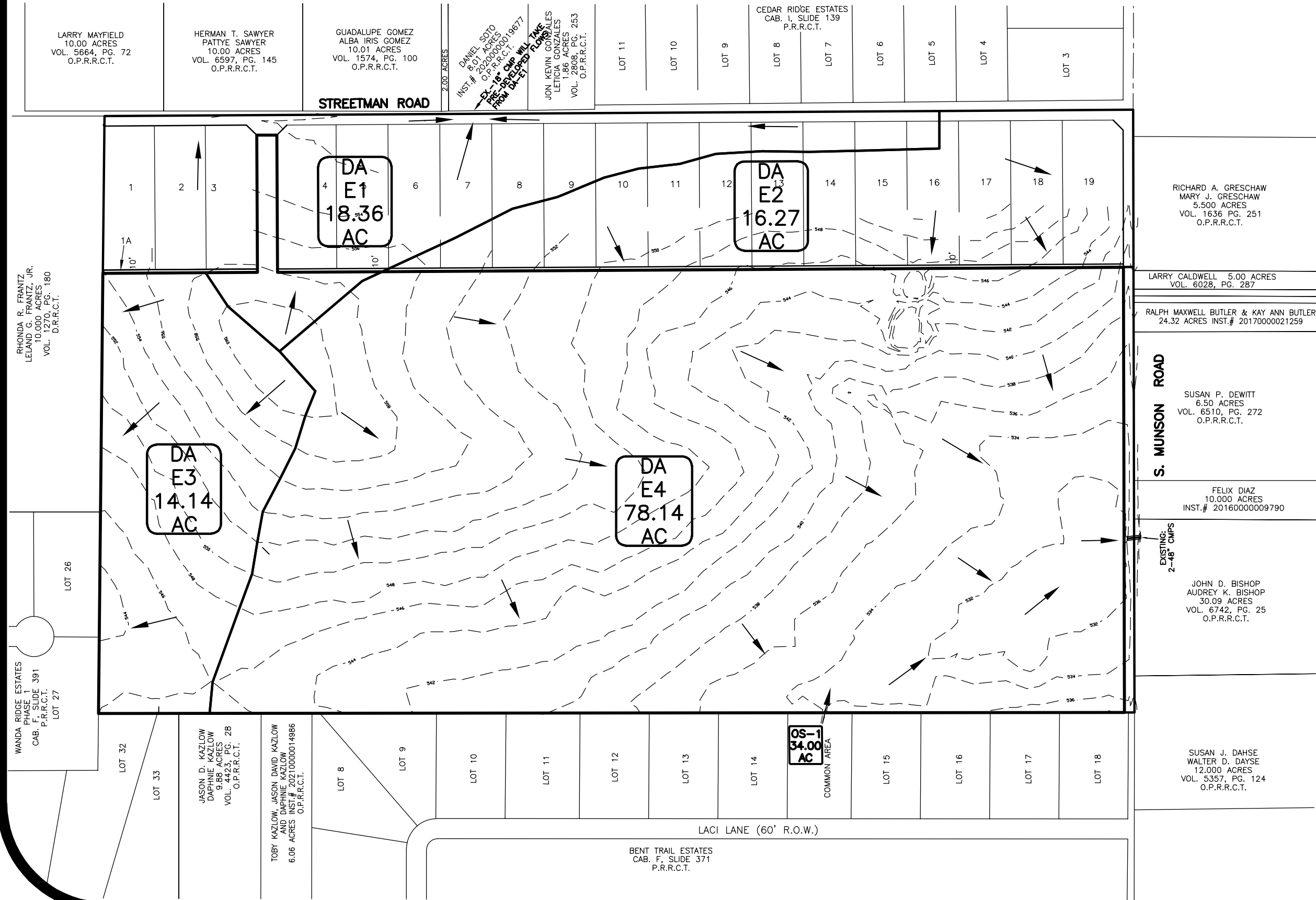
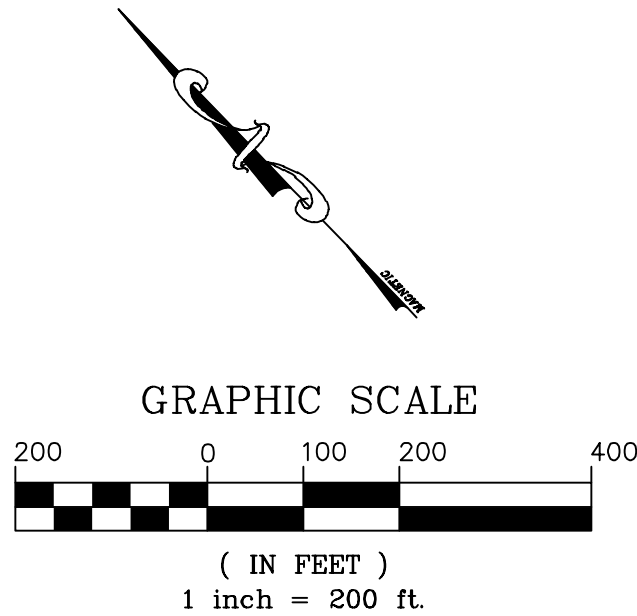






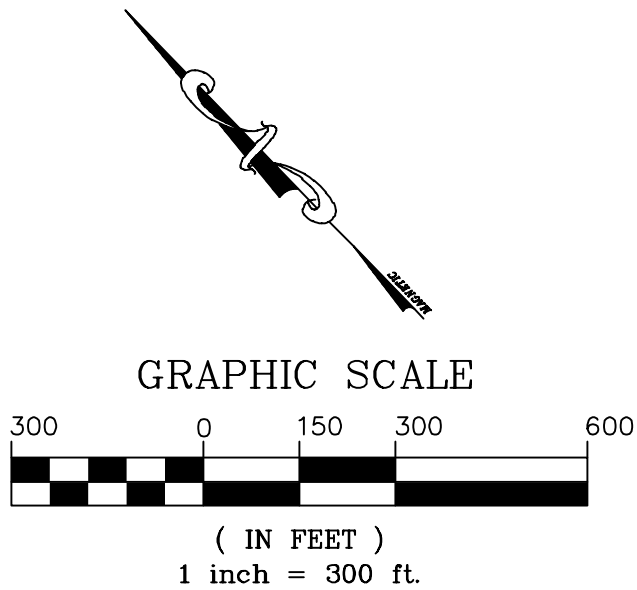
PROPOSED DRAINAGE AREAS

PROPOSED DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q100 cfs	
Tc = 10 min.					
DA-P1	7.59	0.500	9.80	37.19	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-P2	15.45	0.500	9.80	75.71	DRAINS TO CP-1, POND
DA-P3	103.87	0.500	9.80	508.96	DRAINS TO CP-3, POND TO 2-48" RCPS
OS-1	34.00	0.500	9.80	166.60	DRAINS TO PR-3, SWALE TO CP-2, POND
TOTALS	160.91			788.46	



EXISTING DRAINAGE AREAS

EXISTING DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q.cfs	
Tc = 20 min.					
DA-E1	18.36	0.350	8.30	53.34	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-E2	16.27	0.350	8.30	47.26	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E3	14.14	0.350	8.30	41.08	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E4	78.14	0.350	8.30	227.00	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
OS-1	34.00	0.500	9.80	166.60	OUTFALL STRUCTURE DRAINS OUT TO 2-48" R.C.P.S.
TOTALS	160.91			535.27	



3

PRELIMINARY DRAINAGE PLAN

Case No.:

THE LANDON PHASE TWO

CARROLL CONSULTING GROUP, INC.

203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608  
NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE	SCALE:	DRAWN BY:
THE LANDON-2	OCTOBER 17, 2025	1"=200' & 300'	CP

## BOUNDARY CLOSURE REPORT

### THE LANDON PHASE TWO

North: 7011312.6680' East: 2639087.7930'

Segment #1 : Line

Course: N45° 58' 01.51"W Length: 3064.714'

North: 7013442.8633' East: 2636884.4456'

Segment #2 : Line

Course: N44° 38' 31.33"E Length: 1314.227'

North: 7014377.9499' East: 2637807.9204'

Segment #3 : Line

Course: S46° 16' 18.09"E Length: 462.018'

North: 7014058.5848' East: 2638141.7865'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 410.000'

North: 7014354.8614' East: 2638425.1947'

Segment #5 : Line

Course: S46° 16' 18.09"E Length: 60.000'

North: 7014313.3870' East: 2638468.5523'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 410.000'

North: 7014017.1104' East: 2638185.1441'

Segment #7 : Line

Course: S46° 16' 18.09"E Length: 2527.215'

North: 7012270.1995' East: 2640011.3746'

Segment #8 : Line

Course: S43° 57' 57.75"W Length: 1330.364'

North: 7011312.6682' East: 2639087.7935'

Perimeter: 9578.537' Area: 4066627.24 Sq. Ft.

Error Closure: 0.0004 Course: N65° 24' 54.37"E

Error North: 0.00018 East: 0.00040

Precision 1: 23946345.000





# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** November 17, 2025  
**APPLICANT:** Sam Carroll; *Carroll Consulting Group, Inc.*  
**CASE NUMBER:** P2025-039; *Preliminary Plat for the Landon, Phase 2*

---

### SUMMARY

Consider a request by Sam Carroll of Carroll Consulting Group, Inc. on behalf of Jim Bell of Harlan Properties, Inc. for the approval of a Preliminary Plat for The Landon Phase 2 Subdivision being a 93.357-acre parcel of land identified as Lot 20, Block A, The Landon Addition, Rockwall County, Texas, generally located northeast of the intersection of S. Munson Road and Laci Lane, and take any action necessary.

### PLAT INFORMATION

- ☑ Purpose. The purpose of the applicant's request is to Preliminary Plat a 93.357-acre parcel of land (i.e. Lot 20, Block A, The Landon Addition) to show the future establishment of 50 single-family residential lots and six (6) open space lots. The proposed Preliminary Plat also lays out the necessary easements (e.g. right-of-way, utilities, and drainage) for the future development of a residential subdivision on the subject property.
- ☑ Requirements. The proposed Preliminary Plat is subject to the requirements of Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interlocal Agreement between Rockwall County and the City of Rockwall*.
- ☑ Conformance to the Rockwall County Interlocal Agreement. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of *Exhibit 'A' of the Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.
- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional Approval. Conditional approval of this Preliminary Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

### CONDITIONS OF APPROVAL

If the City Council chooses to approve of the Preliminary Plat for the *Landon, Phase 2* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Preliminary Plat; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city

adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On November 11, 2025, the Planning and Zoning Commission approved a motion to approve the Preliminary Plat by a vote of 6-0, with Commissioner Hustings absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>  
☒ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
☐ AMENDING OR MINOR PLAT (\$150.00)  
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>  
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>  
☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)  
☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

## NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1230 Streetman Road - Property ID# 114821

SUBDIVISION The Landon Phase Two

LOT

BLOCK

GENERAL LOCATION Lot 20 of the Landon/South of the Streetman Road and S. Munson road intersection

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING ETJ

CURRENT USE SINGLE FAMILY

PROPOSED ZONING ETJ

PROPOSED USE SINGLE FAMILY

ACREAGE 93.357

LOTS [CURRENT] 1

LOTS [PROPOSED] 50

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Harlan Properties, Inc.

☒ APPLICANT Carroll Consulting Group, Inc.

CONTACT PERSON Jim Bell

CONTACT PERSON Sam Carroll

ADDRESS 2404 Texas Dr.  
Suite 103

ADDRESS 203 W. FM 6

CITY, STATE & ZIP Irving, TX 75062

CITY, STATE & ZIP Nevada, TX 75173

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

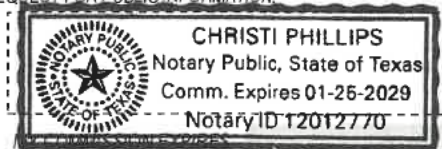
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sam Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,600.36 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

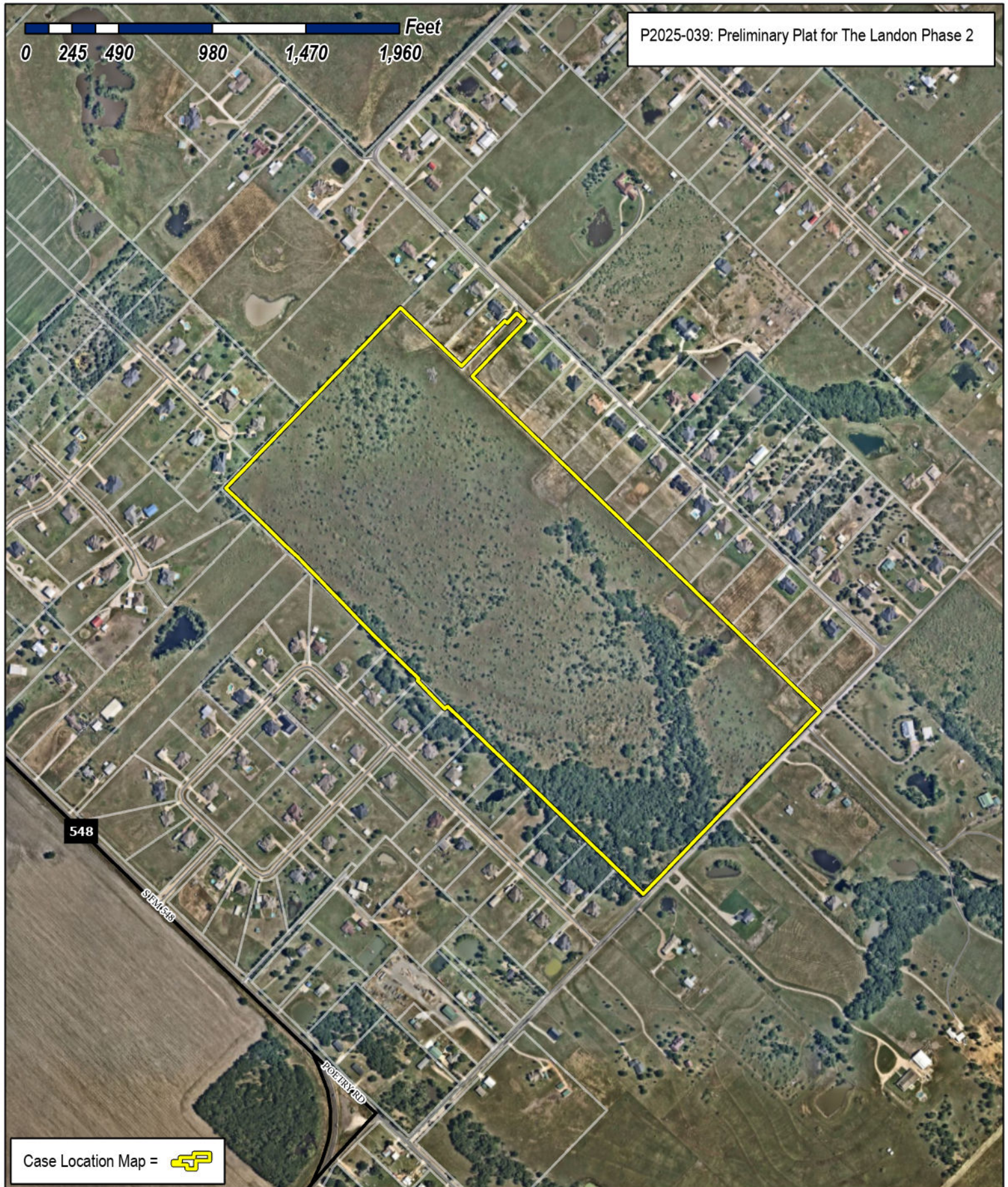
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF October, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Case Location Map =



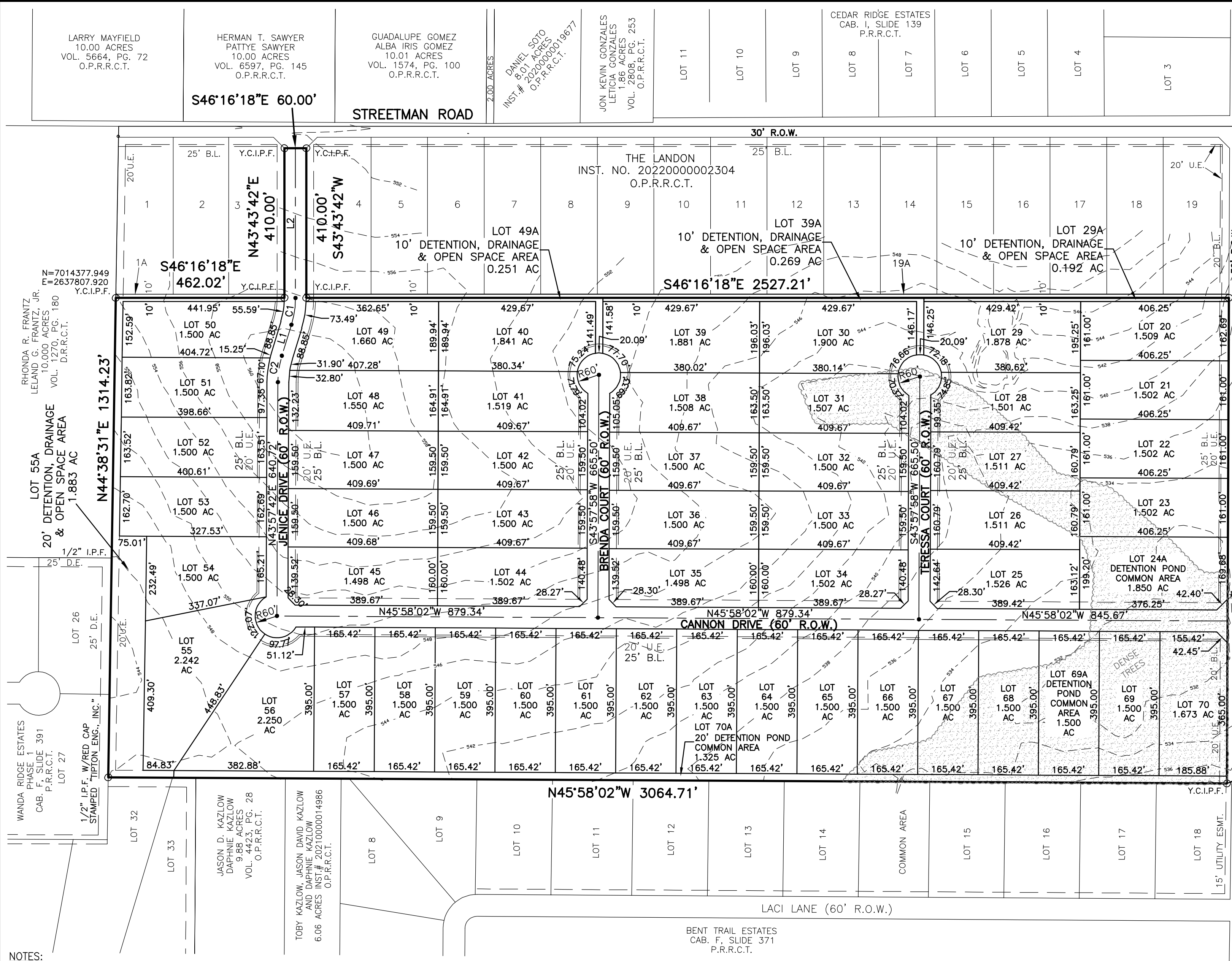
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







- NOTES:
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.
  6. 1.8 Dwelling units per acre.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

**CARROLL CONSULTING GROUP, INC.**

203 W. FM 6  
NEVADA, TEXAS 75173

COPYRIGHT © CARROLL CONSULTING GROUP

PHONE (972) 840-1506

TBPELS REGISTRATION NO.: F-21608

TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

LEGEND

M.N.S. — MAG NAIL SET

I.P.F. — IRON PIN FOUND

D.R.R.C.T. — DEED RECORDS, ROCKWALL COUNTY, TEXAS

O.P.R.R.C.T. — OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

Y.C.I.P.F. — 1/2" IRON PIN FOUND WITH YELLOW CAP STAMPED "CCG INC RPLS 5129"

ALL CORNERS SHALL BE A 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129" UNLESS OTHERWISE NOTED.

FLOOD NOTE:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

OWNER:  
HARLAN PROPERTIES, INC.  
2404 TEXAS DR., SUITE 103  
IRVING, TEXAS 75062

SH 276

STREETMAN

COUNTY MANOR

STREETMAN

FM 548

POETRY

S. MUNSON

SITE

LOCATION MAP (N.T.S.)

N=7014377.949  
E=2637807.920  
Y.C.I.P.F.

RICHARD A. GRESCHAW  
MARY J. GRESCHAW  
5.500 ACRES  
VOL. 1636 PG. 251  
O.P.R.R.C.T.

LARRY CALDWELL 5.00 ACRES  
VOL. 6028, PG. 287

RALPH MAXWELL BUTLER & KAY ANN BUTLER  
24.32 ACRES INST.# 20170000021259

SUSAN P. DEWITT  
6.50 ACRES  
VOL. 6510, PG. 272  
O.P.R.R.C.T.

FELIX DIAZ  
10.000 ACRES  
INST.# 20160000009790

JOHN D. BISHOP  
AUDREY K. BISHOP  
30.09 ACRES  
VOL. 6742, PG. 25  
O.P.R.R.C.T.

SUSAN J. DAHSE  
WALTER D. DAYSE  
12.000 ACRES  
VOL. 5357, PG. 124  
O.P.R.R.C.T.

GRAPHIC SCALE

200 0 100 200 400

( IN FEET )  
1 inch = 200 ft.

Line Table

Line #	Direction	Length
L1	N60°48'44"E	88.85'
L2	N43°43'42"E	410.00'

Curve Table

Curve #	Length	Radius	Delta	CHORD
C1	74.54'	250.00'	17°05'03"	N52°16'13"E, 74.27'
C2	73.53'	250.00'	16°51'03"	N52°23'13"E, 73.26'

POINT OF BEGINNING

N=7011312.668  
E=2639087.792

PRELIMINARY PLAT  
THE LANDON PHASE TWO  
LOTS 20-70 & LOTS 29A, 39A, 49A,  
55A, 69A & 70A, BLOCK A  
50 Residential Lots  
93.357 Acres of Land  
Being a replat of Lot 20 of The Landon  
Inst. No. 20220000002304, O.P.R.R.C.T.  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)  
of the City of Rockwall  
Rockwall County, Texas  
Case No.:

OWNER’S CERTIFICATE  
STATE OF TEXAS  
COUNTY OF ROCKWALL

Whereas, Harlan Properties, Inc. is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being all of Lot 20, Block A of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 20220000002304, Official Public Records, Rockwall County, Texas and as conveyed to Harlan Properties, Inc. by deed recorded in Instrument No. 20240000000232, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 1/2” iron pin found with yellow cap stamped “CCG INC RPLS 5129” for the south corner of said Lot 20 and being on the northeast line of Bent Trail Estates, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 371, Plat Records, Rockwall County, Texas and the northwest right–of–way line of S. Munson Road;

Thence, North 45°58’02” West, along the southwest line of said Lot 20, the northeast line of said Bent Trail Estates, the northeast line of a 6.06 acre tract of land conveyed to Toby Kazlow, Jason David Kazlow and Daphnie Kazlow by deed recorded in Instrument No. 20210000014986, Official Public Records, Rockwall County, Texas, the northeast line of a 9.88 acre tract of land conveyed to Jason D. Kazlow and Daphnie Kazlow by deed recorded in Volume 4423, Page 28, Official Public Records, Rockwall County, Texas and a northeast line of Wanda Ridge Estates Phase 1, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 391, Plat Records, Rockwall County, Texas, a distance of 3064.71 feet to a 1/2” iron pin found with red cap stamped “TIPTON ENG. INC.” for the west corner of said Lot 20 and a re–entrant corner of said Wanda Ridge Estates Phase 1;

Thence, North 44°38’31” East, along the northwest line of said Lot 20, a southeast line of said Wanda Ridge Estates Phase 1 and the southeast line of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas, a distance of 1314.23 feet to a 1/2” iron pin found with yellow cap stamped “CCG INC RPLS 5129” for a north corner of said Lot 20 and the west corner of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 20220000002304, Official Public Records, Rockwall County, Texas;

Thence, southeasterly, along the common lines of said Lot 20 and The Landon the following:

South 46°16’18” East, a distance of 462.02 feet to a 1/2” iron pin found with yellow cap stamped “CCG INC RPLS 5129” for corner;

North 43°43’42” East, a distance of 410.00 feet to a 1/2” iron pin found with yellow cap stamped “CCG INC RPLS 5129” for corner;

South 46°16’18” East, a distance of 60.00 feet to a 1/2” iron pin found with yellow cap stamped “CCG INC RPLS 5129” for corner;

South 43°43’42” West, a distance of 410.00 feet to a 1/2” iron pin found with yellow cap stamped “CCG INC RPLS 5129” for corner;

South 46°16’18” East, a distance of 2527.21 feet to a 1/2” iron pin found with yellow cap stamped “CCG INC RPLS 5129” for the east corner of said Lot 20 and the south corner of said The Landon, and being on the northwest right–of–way line of S. Munson Road;

Thence, South 43°57’58” West, along the southeast line of said Lot 20 and the northwest right–of–way line of S. Munson Road, a distance of 1330.36 feet to the Point of Beginning and containing 4,066,627 square feet or 93.357 acres of land.

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE TWO subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase Two subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.  
(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County’s chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner’s Court of Rockwall County.

I further acknowledge that the dedications and/or exaction’s made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2025.

Harlan Properties, Inc., Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2025.

Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

PRELIMINARY PLAT

THE LANDON PHASE TWO  
LOTS 20–70 & LOTS 29A, 39A, 49A,  
55A, 69A & 70A, BLOCK A  
50 Residential Lots  
93.357 Acres of Land  
Being a replat of Lot 20 of The Landon  
Inst. No. 20220000002304, O.P.R.R.C.T.  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)

OWNER:  
HARLAN PROPERTIES, INC.  
2404 TEXAS DR., SUITE 103  
IRVING, TEXAS 75062

of the City of Rockwall  
Rockwall County, Texas  
Case No.:

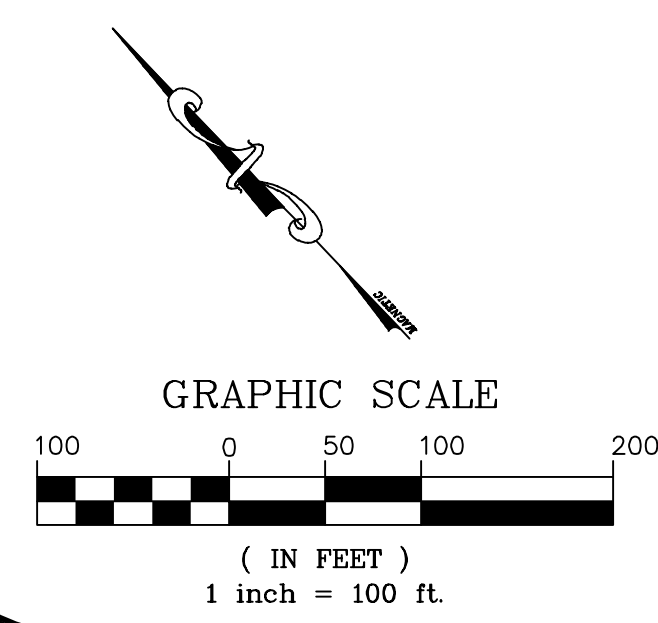
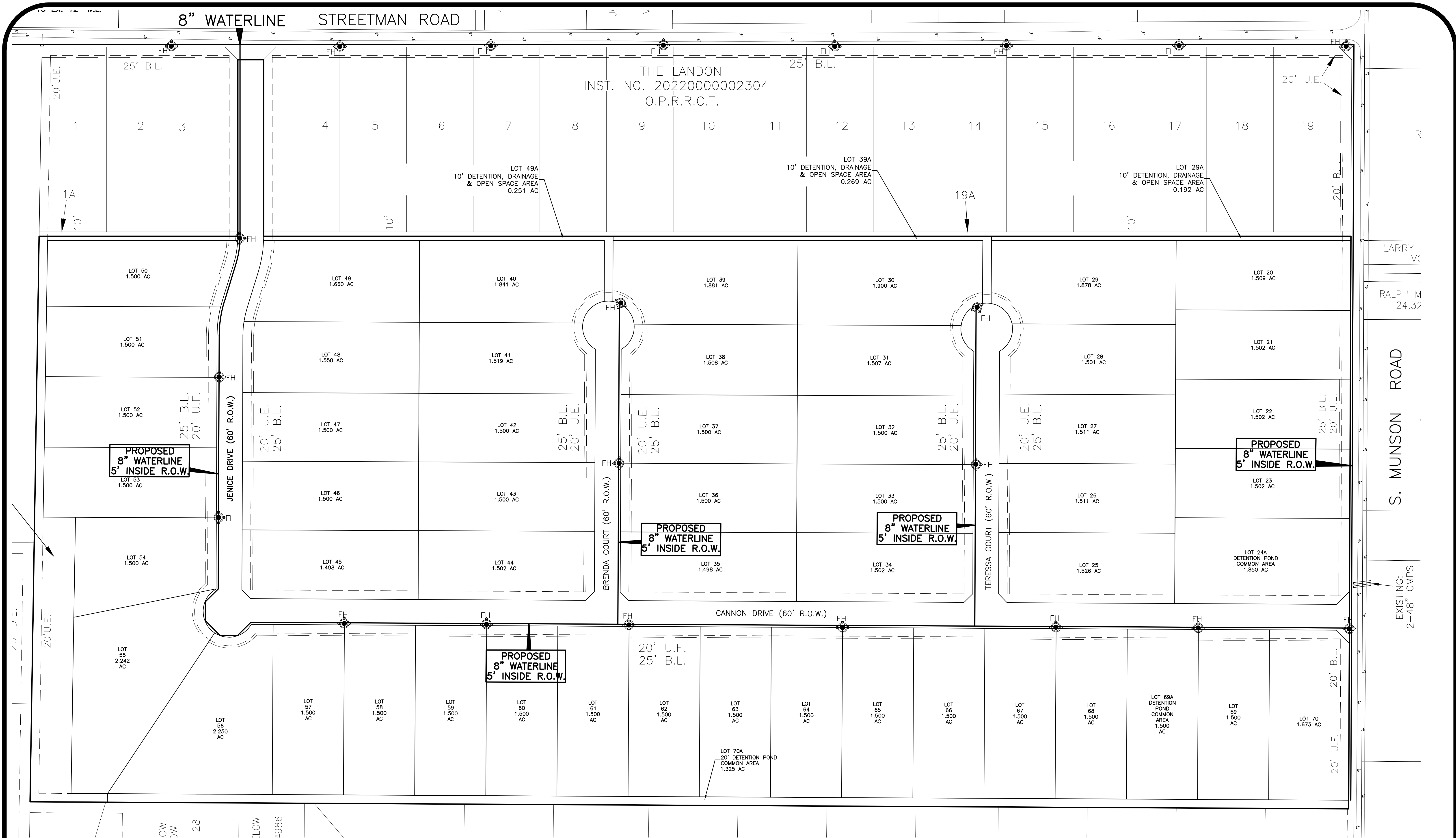
CARROLL CONSULTING GROUP, INC.

203 W. FM 6  
NEVADA, TEXAS 75173  
PHONE (972) 840–1506  
TBPELS REGISTRATION NO.: F–21608  
TEXAS FIRM REGISTRATION NO.: 10007200

COPYRIGHT © CARROLL CONSULTING GROUP

JOB No.	SCALE:	DATE	DRAWN BY:
3693–25	1”=200’	OCTOBER 17, 2025	CP





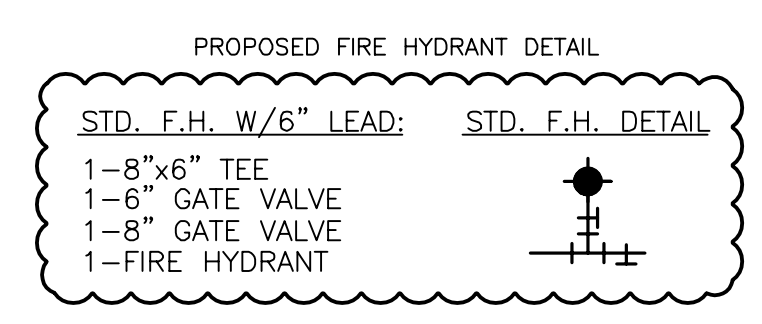
ALL INITIAL DEADEND WATER LINES NEED TO HAVE A FIRE HYDRANT WITH AUTOMATIC FLUSHING MECHANISM INSTALLED AT END.

ANY WATER VALVES DEEPER THAN 6 FEET NEED TO HAVE VALVE EXTENSIONS.

UTILITY CONTRACTORS TO PROVIDE AND INSTALL DUAL CHECK VALVES AT METER SERVICES.

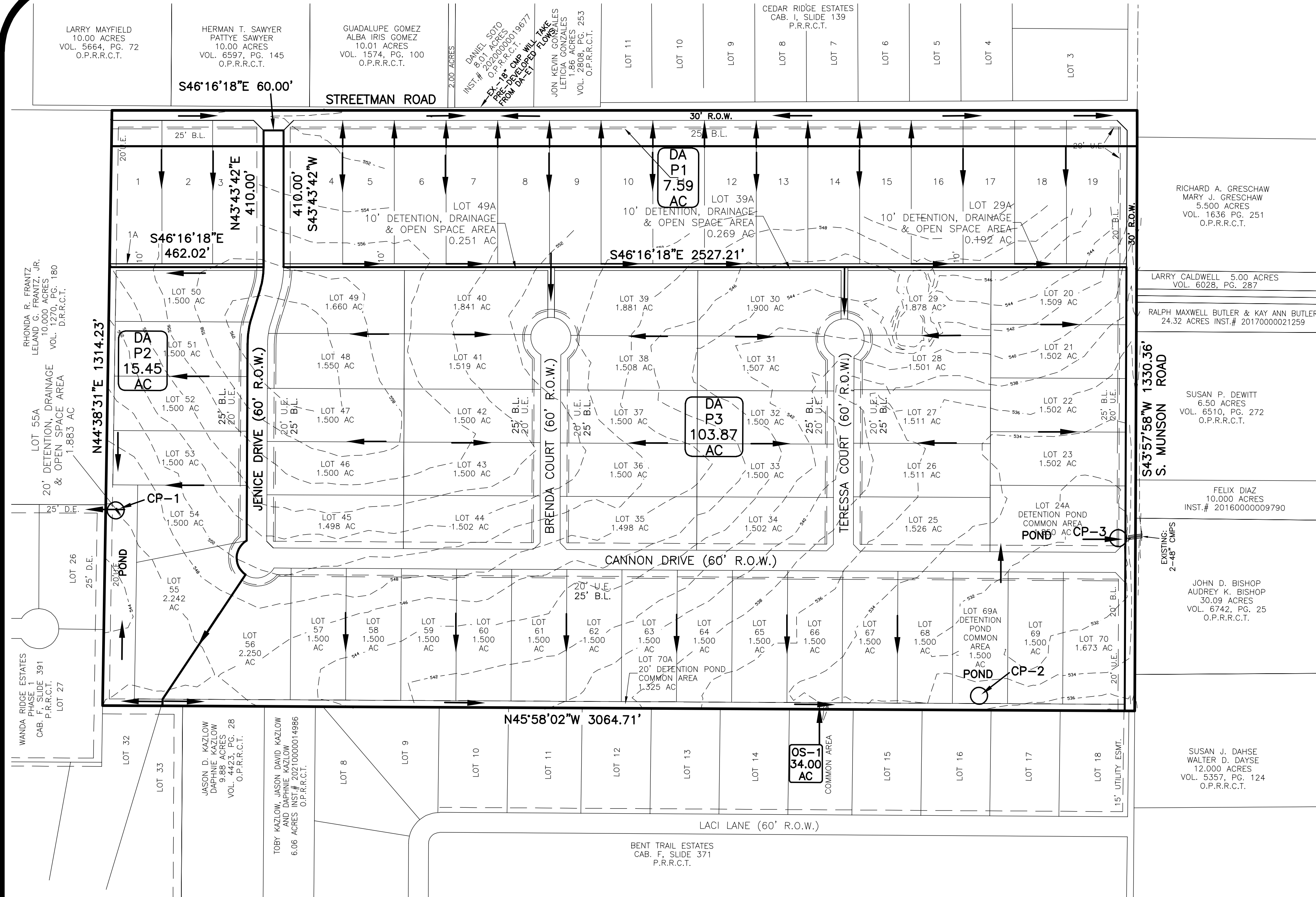
ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250/HS (HIGH SECURITY)

ALL WATER FITTINGS SHALL BE AWWA C-153 COMPACT DUCTILE IRON.



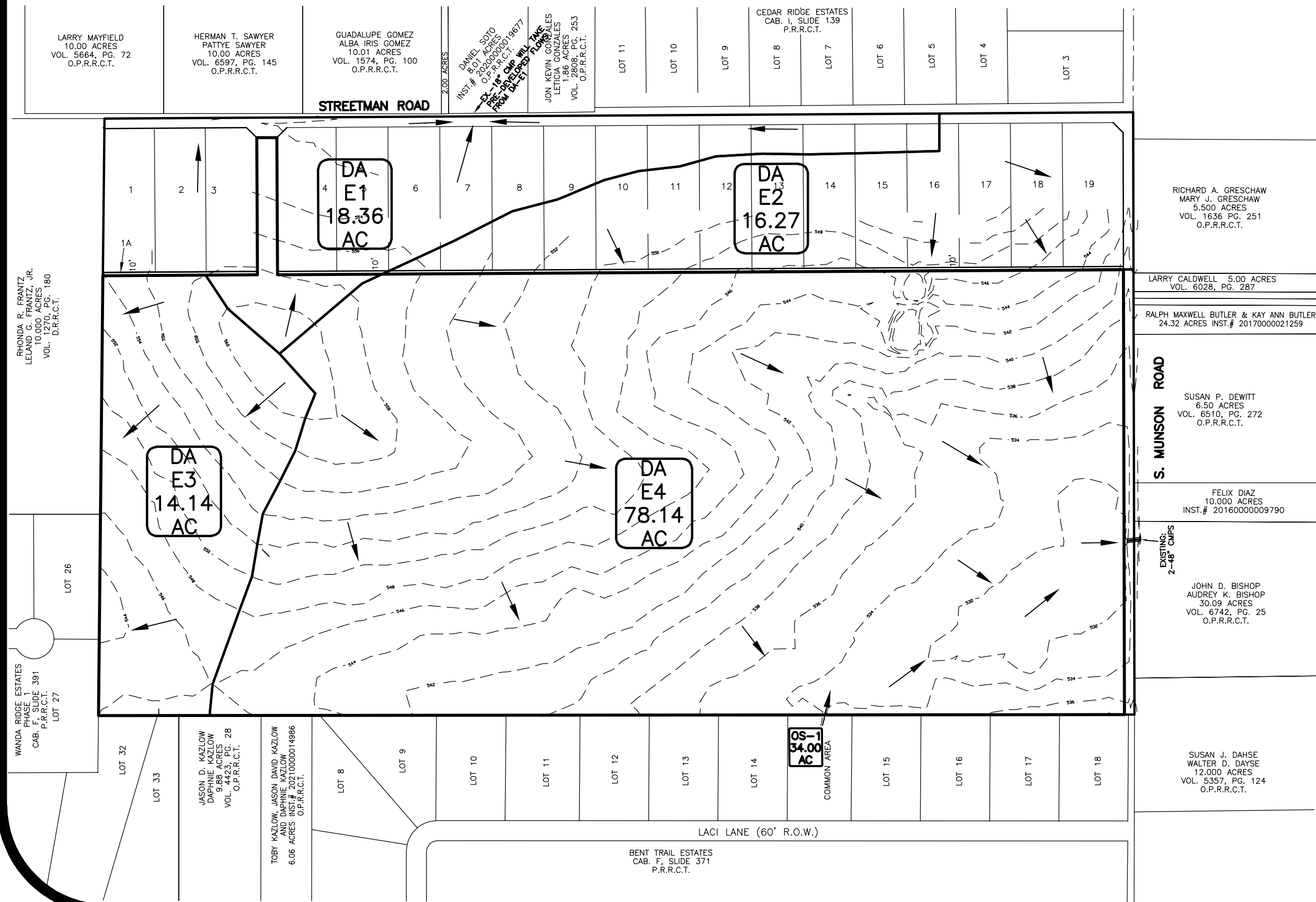
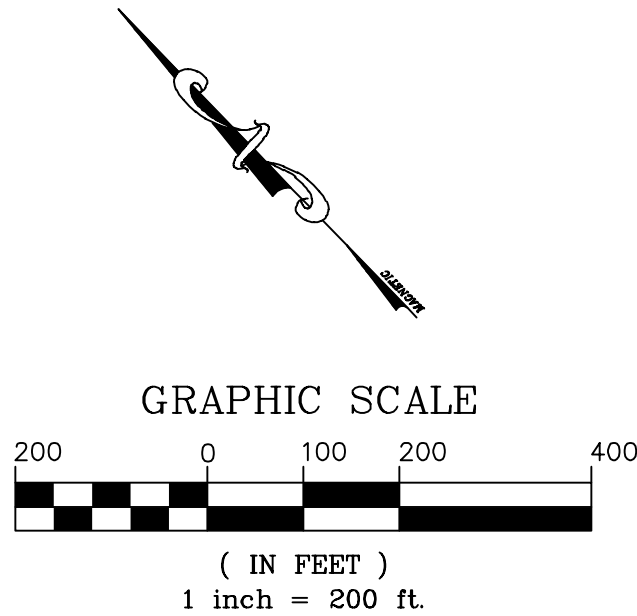
— PROPOSED FIRE HYDRANT

PRELIMINARY WATER PLAN			
Case No.:			
THE LONDON PHASE TWO			
CARROLL CONSULTING GROUP, INC.			
203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608 NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200			
DWG:	DATE	SCALE:	DRAWN BY:
THE LONDON-2	OCTOBER 17, 2025	1"=100'	CP



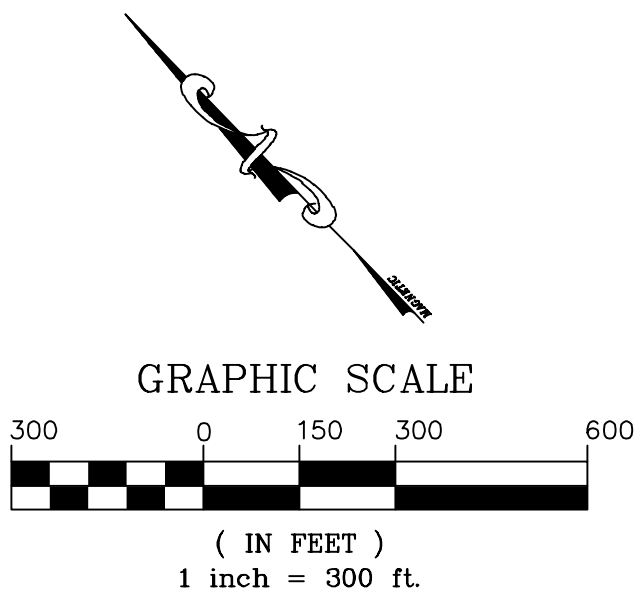
PROPOSED DRAINAGE AREAS

PROPOSED DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q100 cfs	
Tc = 10 min.					
DA-P1	7.59	0.500	9.80	37.19	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-P2	15.45	0.500	9.80	75.71	DRAINS TO CP-1, POND
DA-P3	103.87	0.500	9.80	508.96	DRAINS TO CP-3, POND TO 2-48" RCPS
OS-1	34.00	0.500	9.80	166.60	DRAINS TO PR-3, SWALE TO CP-2, POND
TOTALS	160.91			788.46	



EXISTING DRAINAGE AREAS

EXISTING DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q.cfs	
Tc = 20 min.					
DA-E1	18.36	0.350	8.30	53.34	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-E2	16.27	0.350	8.30	47.26	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E3	14.14	0.350	8.30	41.08	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E4	78.14	0.350	8.30	227.00	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
OS-1	34.00	0.500	9.80	166.60	OUTFALL STRUCTURE DRAINS OUT TO 2-48" R.C.P.S.
TOTALS	160.91			535.27	



3

PRELIMINARY DRAINAGE PLAN

Case No.:

THE LANDON PHASE TWO

CARROLL CONSULTING GROUP, INC.

203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608  
NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE	SCALE:	DRAWN BY:
THE LANDON-2	OCTOBER 17, 2025	1"=200' & 300'	CP

## BOUNDARY CLOSURE REPORT

### THE LANDON PHASE TWO

North: 7011312.6680' East: 2639087.7930'

Segment #1 : Line

Course: N45° 58' 01.51"W Length: 3064.714'

North: 7013442.8633' East: 2636884.4456'

Segment #2 : Line

Course: N44° 38' 31.33"E Length: 1314.227'

North: 7014377.9499' East: 2637807.9204'

Segment #3 : Line

Course: S46° 16' 18.09"E Length: 462.018'

North: 7014058.5848' East: 2638141.7865'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 410.000'

North: 7014354.8614' East: 2638425.1947'

Segment #5 : Line

Course: S46° 16' 18.09"E Length: 60.000'

North: 7014313.3870' East: 2638468.5523'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 410.000'

North: 7014017.1104' East: 2638185.1441'

Segment #7 : Line

Course: S46° 16' 18.09"E Length: 2527.215'

North: 7012270.1995' East: 2640011.3746'

Segment #8 : Line

Course: S43° 57' 57.75"W Length: 1330.364'

North: 7011312.6682' East: 2639087.7935'

Perimeter: 9578.537' Area: 4066627.24 Sq. Ft.

Error Closure: 0.0004 Course: N65° 24' 54.37"E

Error North: 0.00018 East: 0.00040

Precision 1: 23946345.000





DATE: December 1, 2025

TO: Sam Carroll  
203 W. FM. 6  
Nevada, Texas 75173

CC: Jim Bell  
2404 Texas Drive  
Suite 103  
Irving, Texas 75062

FROM: Bethany Ross  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: P2025-038; *Preliminary Plat for the Landon Phase 2*

Sam,

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on November 17, 2025. The following is a record of all recommendations, voting records and conditions of approval:

Conditions of Approval

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Preliminary Plat; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On November 11, 2025, the Planning and Zoning Commission approved a motion to recommend approval of the preliminary plat by a vote of 6-0, with Commissioner Hustings absent.

City Council

On November 17, 2025, the City Council approved a motion to approve the preliminary plat by a vote of 7-0.

Should you have any questions or concerns regarding your platting case, please feel free to contact me at (972) 772-6488.

Sincerely,

Bethany Ross, Senior Planner  
City of Rockwall Planning and Zoning Department