



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 370 Eva Place

SUBDIVISION Rockwall Lake Estates Ph 2

LOT 774-6A BLOCK _____

GENERAL LOCATION Rockwall Lake

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential

CURRENT USE _____

PROPOSED ZONING Residential

PROPOSED USE _____

ACREAGE 0.7

LOTS [CURRENT] 3

LOTS [PROPOSED] 3

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Noha Dawit

☐ APPLICANT _____

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 12414 Granite Falls Trl

ADDRESS _____

CITY, STATE & ZIP ENSCO TX 75035

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

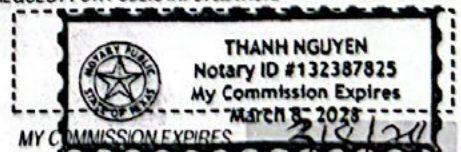
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Noha Dawit [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF Oct, 2025

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____



Property at:
370 Eva Place Rockwall, TX 75032

CURRENT MATERIALS



**Steel "I"
Beam**

Concrete footer



**Single Treated 2 x
12 support joist**

PROPOSED MATERIALS



15 - 12 x 12 x 28' Treated Wood Pilings



Pressure Treated 3" x 12" x LF
Brown Ground Contact Lumber a.

20 - Rough Cut; Treated; 3" x 12" Beams



2 x 12, Pine, No.
1, Pressure
Treated (MCA)

24 - 2" x 12" x 24' #1 Treated Pine Boards

3/4" x 10" Conquest A307 Grade A Hex
Bolt - Hot Dip Galvanized
★★★★



Simpson Strong-
Tie BP 3/4HDG -
3/4" Bolt Dia. 2"

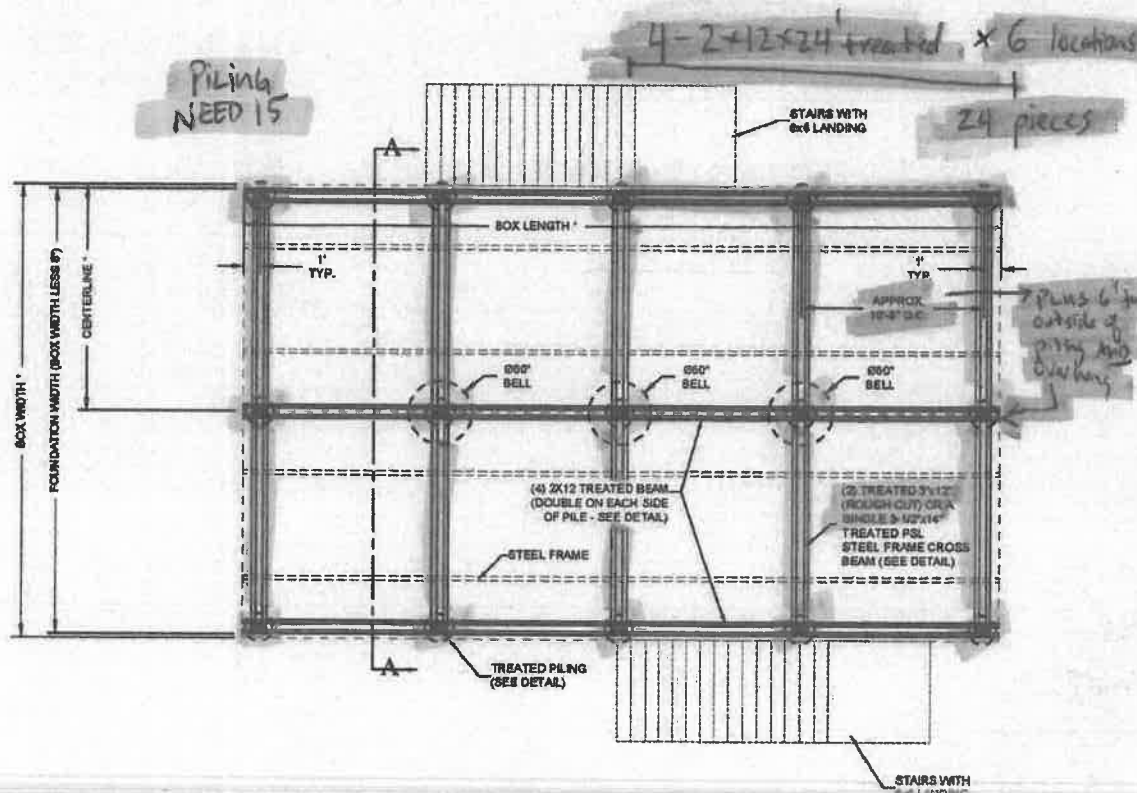
3/4"-10 Conquest Heavy Hex Nut,
A307 Grade A - Hot Dip Galvanized
★★★★



3/8"-7 x 3"
Conquest Hex
Head Lag Bolt f.

Galvenized Fasteners

PILING FOUNDATION - PLAN VIEW



FINAL DIMENSIONS MUST BE OBTAINED FROM THE MANUFACTURER PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS.



PROJECT:
NOHA DAWIT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75032



By J. Martin Montgomery
Date: 2025.08.01
090613-05007

J. MARTIN MONTGOMERY
REGISTERED PROFESSIONAL
ENGINEER STATE OF TEXAS
NO. 90427 F-2071
RC ENTERPRISES, LP

REV NO/DATE: 2/07/12/05

ISSUE DATE: 05/12/05

DRAWN BY: JBA

SCALE: NONE 8.5x11

SHEET:

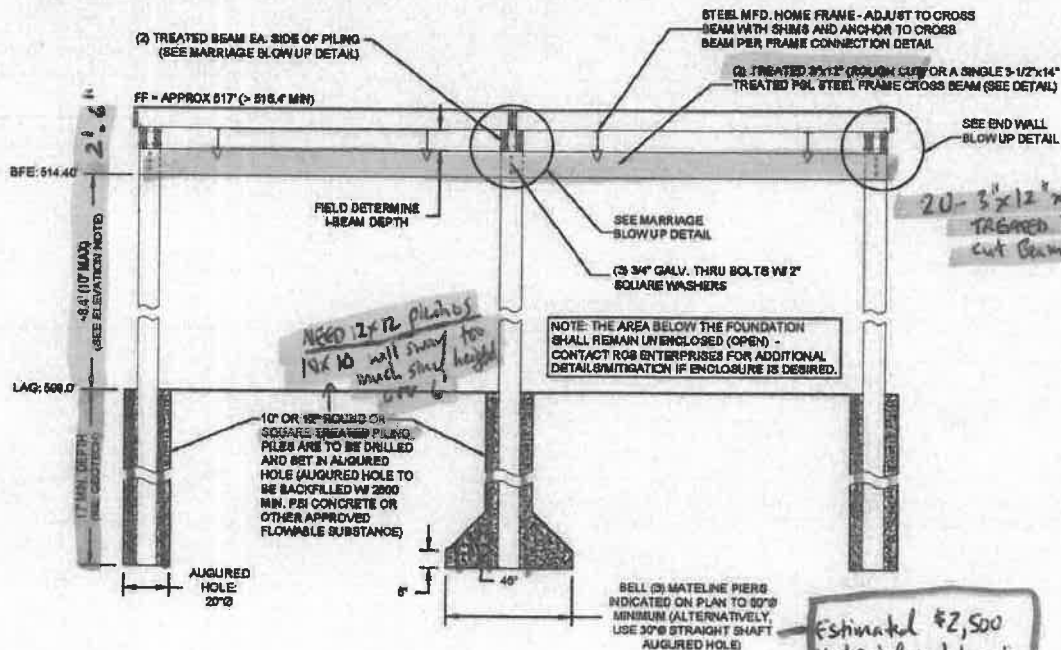
1

DESCRIPTION: W21 MANU ELEVATED PILING FOUNDATION

BOX SIZE: 27' X 40'

MODEL: TWIN PEAKS

PILING FOUNDATION - SECTION DETAIL



A-A DETAIL

ELEVATION NOTE:
 SURVEY BY BARRY S RHODES, SURVEYOR, DATED 04/05/2021, AND CORRESPONDENCE* WITH CITY
 ENGINEERING DEPARTMENT (MADELYN PRICE, P.E.):
 BFE: 514.40'; ZONE: A;
 LOWEST ADJACENT GRADE: 508.0';
 HIGHEST ADJACENT GRADE: 508.0';
 ELEVATION OF LOWEST HORIZONTAL: 514.40' (BFE);
 MINIMUM FINISHED FLOOR: 516.40' (BFE + 2')

ELEVATION MEASUREMENTS MUST REFERENCE THE SURVEY BENCHMARK

*THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THE INFORMATION PROVIDED BY THE CITY IS
 ACCURATE PRIOR TO SETTING THE HOME. IN ADDITION, A FINAL ELEVATION CERTIFICATE WILL BE REQUIRED
 CONFIRMING THE REQUIRED ELEVATIONS.

FLOODWAY NOTE:
 THIS FOUNDATION IS DESIGNED TO RESIST FLOATION, COLLAPSE OR PERMANENT LATERAL MOVEMENT
 DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION.



NOHA DAWT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75082



Digitally Signed
 by J. Martin
 Montgomery
 Date: 2025.08.01
 09:06:02 -0600

J. MARTIN MONTGOMERY
 REGISTERED PROFESSIONAL
 ENGINEER STATE OF TEXAS
 NO. 90427
 RCS ENTERPRISES, LP F-2071

REV NO DATE: 2 07/31/28

DRAWN BY: JBA

SCALE: NONE 8x11

SHEET:
2

Total
 Piling
 Length
 =
 12 x 12 x 28'

NEED 2x12 Pile caps
 10x10 well strong too
 much strong height

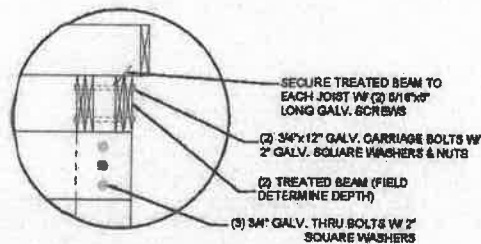
NOTE: THE AREA BELOW THE FOUNDATION
 SHALL REMAIN UNENCLOSED (OPEN) -
 CONTACT RCS ENTERPRISES FOR ADDITIONAL
 DETAIL/SIMULATION IF ENCLOSURE IS DESIRED.

Estimated \$2,500
 Material + labor to
 backfill concrete &
 stabilized sand.

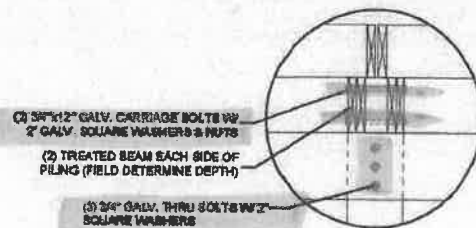
ENGINEER APPROVED THIS
 DESIGN LAG = 507.61
 PERM. HIG = 508.8
 AS SEEN

NEED 6" MINIMUM BUFFER
 TO MAKE 100% SURE WE MEET
 HEIGHT REQUIREMENT

PILING FOUNDATION - CONSTRUCTION DETAILS

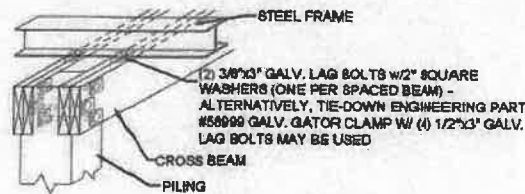


END WALL BLOW UP DETAIL

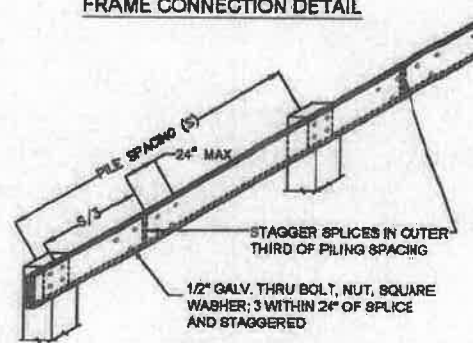


MARRIAGE BLOW UP DETAIL

5-16' BOLTS/NUTS
10 - SQUARE WASHERS
PER PILING



FRAME CONNECTION DETAIL



BEAM SPLICE DETAIL

- NOTES:
1. DETAIL APPLICABLE TO CONVENTIONAL LUMBER
 2. ALL SPLICES MUST BE IN THE OUTER THIRD OF THE PILING SPACING
 3. DO NOT BOLT THROUGH SPLICES



PROJECT:
NOHA DAWIT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75032



signed by J. Martin Montgomery
Date: 2025/08/01
09/06/18 - 05/00'

J. MARTIN MONTGOMERY
REGISTERED PROFESSIONAL ENGINEER STATE OF TEXAS
NO. 90427
RCS ENTERPRISES, LP P-2011

REV NO DATE: 2 07/31/25

DRAWN BY: JBA

SCALE: NONE 8.5x11

SHEET:

3

DESCRIPTION: W21 M40U ELEVATED PILING FOUNDATION

BOX SIZE: 27' X 48'

MODEL: TWIN PEAKS



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 370 Eva Place

SUBDIVISION Rockwall Lake Estates Ph 2

LOT 774-6A BLOCK _____

GENERAL LOCATION Rockwall Lake

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential

CURRENT USE _____

PROPOSED ZONING Residential

PROPOSED USE _____

ACREAGE 0.7

LOTS [CURRENT] 3

LOTS [PROPOSED] 3

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Noha Dawit

☐ APPLICANT _____

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 12414 Granite Falls Trl

ADDRESS _____

CITY, STATE & ZIP ENSCO TX 75035

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

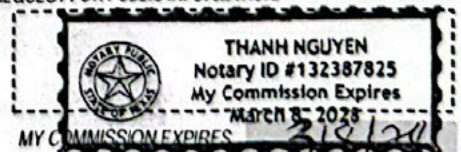
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Noha Dawit [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

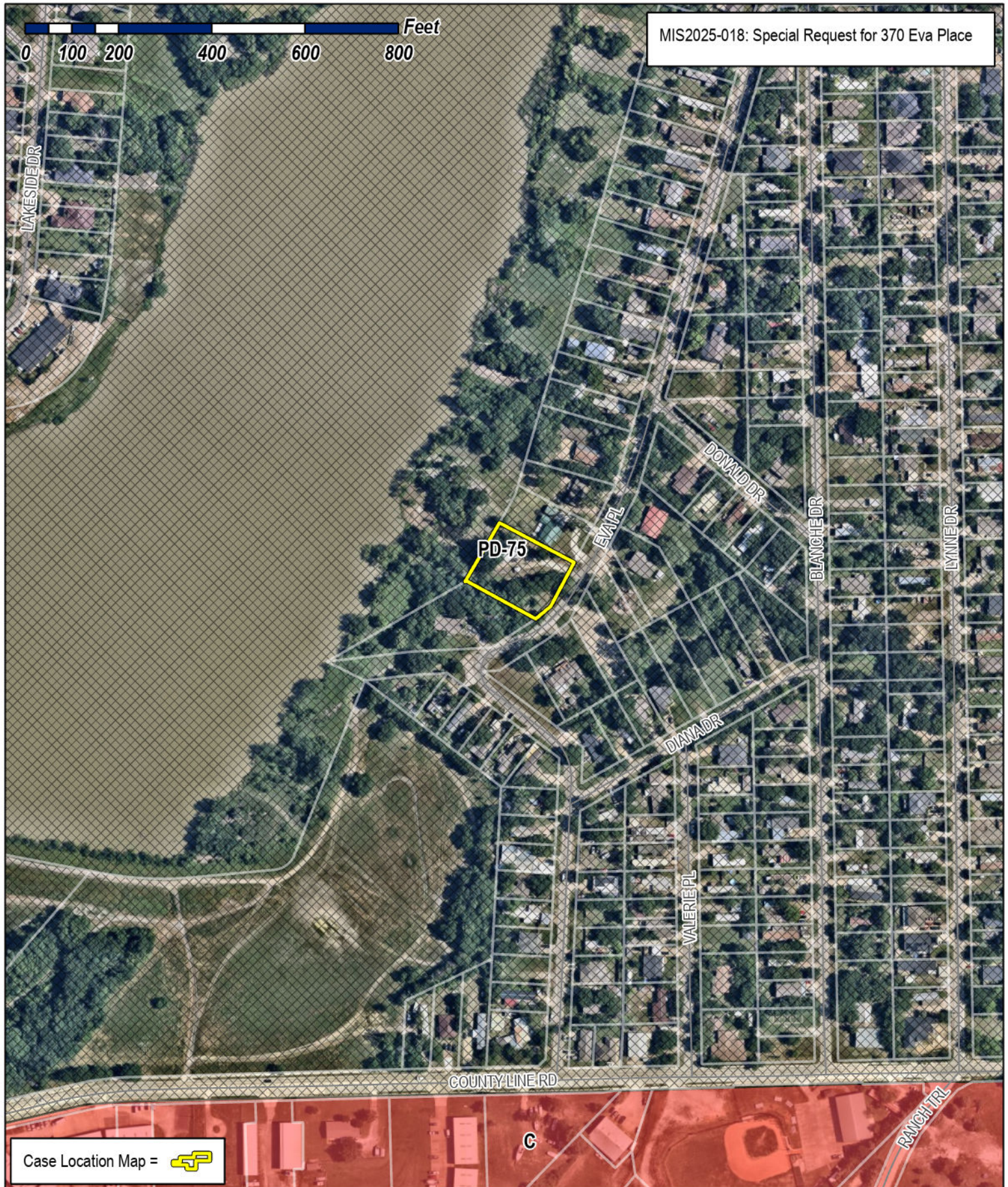
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF Oct, 2025

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Property at:
370 Eva Place Rockwall, TX 75032

CURRENT MATERIALS



**Steel "I"
Beam**

Concrete footer



**Single Treated 2 x
12 support joist**

PROPOSED MATERIALS



15 - 12 x 12 x 28' Treated Wood Pilings



Pressure Treated 3" x 12" x LF
Brown Ground Contact Lumber a.

20 - Rough Cut; Treated; 3" x 12" Beams



2 x 12, Pine, No.
1, Pressure
Treated (MCA)

24 - 2" x 12" x 24' #1 Treated Pine Boards

3/4" x 10" Conquest A307 Grade A Hex
Bolt - Hot Dip Galvanized



10-30000 1 Bolt & Washer



Simpson Strong-
Tie BP 3/4 HDG -
3/4" Bolt Dia. 2"

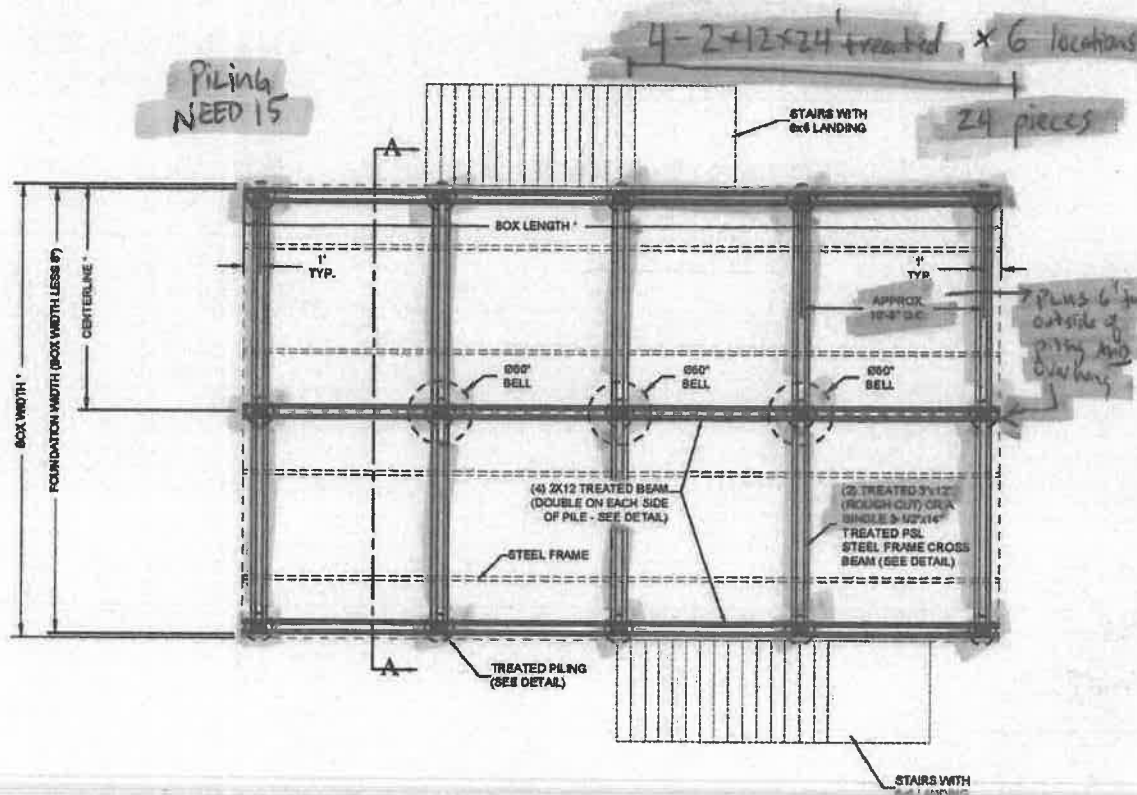
3/4"-10 Conquest Heavy Hex Nut,
A307 Grade A - Hot Dip Galvanized



3/8"-7 x 3"
Conquest Hex
Head Lag Bolt f.

Galvenized Fasteners

PILING FOUNDATION - PLAN VIEW



FINAL DIMENSIONS MUST BE OBTAINED FROM THE MANUFACTURER PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS.



PROJECT:
NOHA DAWIT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75032



By J. Martin Montgomery
Date: 2025.08.01
090613-05007

J. MARTIN MONTGOMERY
REGISTERED PROFESSIONAL
ENGINEER STATE OF TEXAS
NO. 90427 F-2071
RC ENTERPRISES, LP

DESCRIPTION: W21 MANU ELEVATED PILING FOUNDATION

BOX SIZE: 27' X 46'

MODEL: TWIN PEAKS

DRAWN BY: JBA

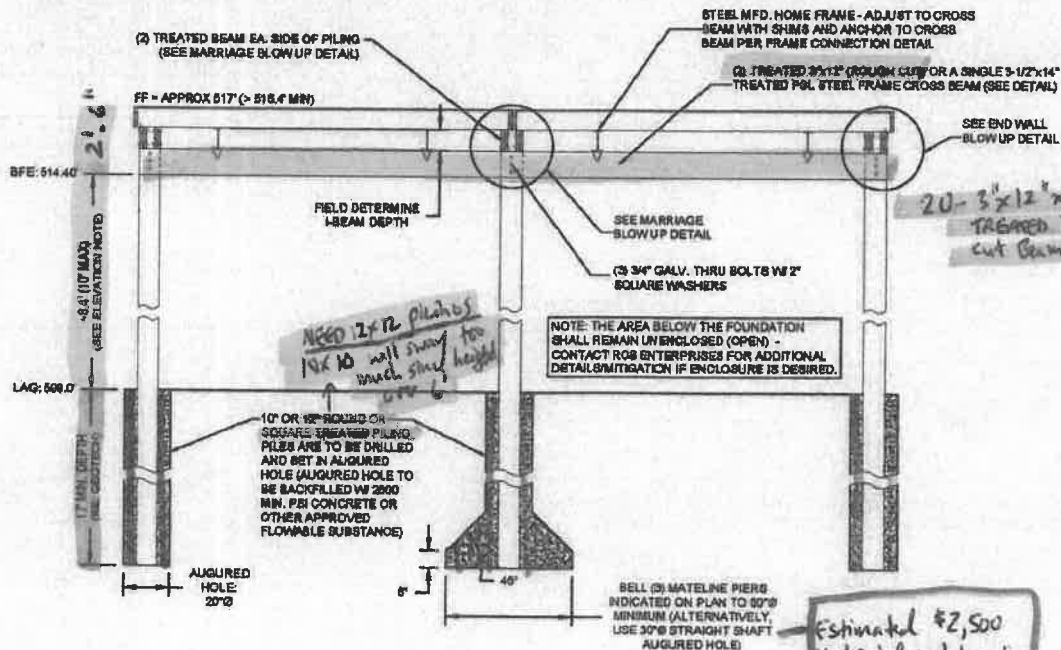
SCALE: NONE

8.5x11

SHEET:

1

PILING FOUNDATION - SECTION DETAIL



A-A DETAIL

ELEVATION NOTE:
 SURVEY BY BARRY S RHODES, SURVEYOR, DATED 04/05/2021, AND CORRESPONDENCE* WITH CITY ENGINEERING DEPARTMENT (MADELYN PRICE, P.E.):
 BFE: 514.40'; ZONE: A;
 LOWEST ADJACENT GRADE: 508.0';
 HIGHEST ADJACENT GRADE: 508.0';
 ELEVATION OF LOWEST HORIZONTAL: 514.40' (BFE);
 MINIMUM FINISHED FLOOR: 516.40' (BFE + 2')

ELEVATION MEASUREMENTS MUST REFERENCE THE SURVEY BENCHMARK

*THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THE INFORMATION PROVIDED BY THE CITY IS ACCURATE PRIOR TO SETTING THE HOME. IN ADDITION, A FINAL ELEVATION CERTIFICATE WILL BE REQUIRED CONFIRMING THE REQUIRED ELEVATIONS.

FLOODWAY NOTE:
 THIS FOUNDATION IS DESIGNED TO RESIST FLOATION, COLLAPSE OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION.



PROJECT:
 NOHA DAWT
 PROPERTY ADDRESS:
 370 EVA PLACE
 ROCKWALL, TX 75082



Digitally Signed
 by J. Martin
 Montgomery
 Date: 2025.08.01
 09:05:02 -0500

J. MARTIN MONTGOMERY
 REGISTERED PROFESSIONAL
 ENGINEER STATE OF TEXAS
 NO. 90427
 RCS ENTERPRISES, LP F-2071

REV NO DATE: 2 07/31/28

DRAWN BY: JBA

SCALE: NONE 8x11

SHEET:

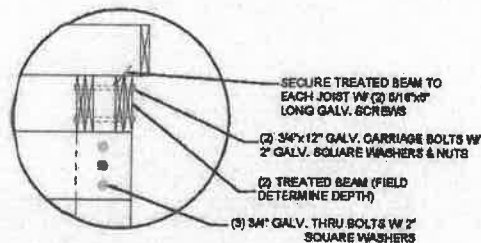
2

DESCRIPTION: VET2 BANY ELEVATED PILING FOUNDATION

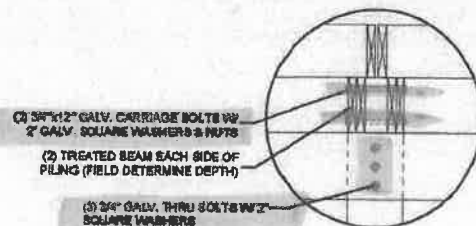
BOX SIZE: 27' X 48'

MODEL: TWIN PEAKS

PILING FOUNDATION - CONSTRUCTION DETAILS

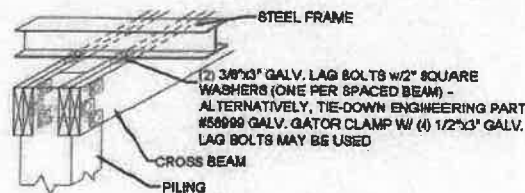


END WALL BLOW UP DETAIL

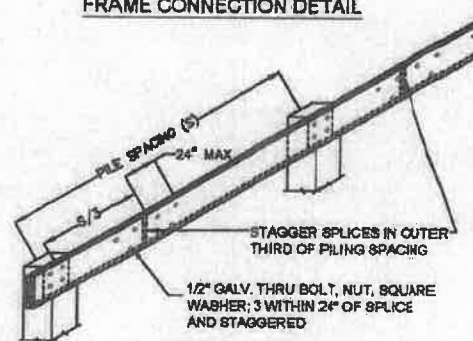


MARRIAGE BLOW UP DETAIL

5-16' BOLTS/NUTS
10 - SQUARE WASHERS
PER PILING



FRAME CONNECTION DETAIL



BEAM SPLICE DETAIL

- NOTES:
1. DETAIL APPLICABLE TO CONVENTIONAL LUMBER
 2. ALL SPLICES MUST BE IN THE OUTER THIRD OF THE PILING SPACING
 3. DO NOT BOLT THROUGH SPLICES



PROJECT:
NOHA DAWIT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75032



signed
by J. Martin
Montgomery
Date: 2025/08/01
09/06/18 - 05/00'

J. MARTIN MONTGOMERY
REGISTERED PROFESSIONAL
ENGINEER STATE OF TEXAS
NO. 90427
RCS ENTERPRISES, LP P-2011

REV NO DATE: 2 07/31/25

DRAWN BY: JBA

SCALE: NONE 8.5x11

SHEET:

3

DESCRIPTION: W21 MHW ELEVATED PILING FOUNDATION

BOX SIZE: 27' X 48'

MODEL: TWIN PEAKS



City of Rockwall
The New Horizon

MEMORANDUM

TO: Board of Adjustment Members

FROM: Craig Foshee, Building Inspections Plan Examiner

DATE: October 2, 2025

SUBJECT: Variance request – BOA-2025-3-V for 10/9/2025 Meeting

Noah Dawit of 370 Eva Place is requesting a public hearing to discuss and consider a Variance to allow for the expansion of a non-conforming structure. The applicant is requesting to elevate the existing manufactured home between 6.4-feet to ten (10) feet using treated wood pilings in order to raise the structure above the base flood elevation. In this case, the applicant has stated that he would like to utilize the existing structure in lieu of constructing a new manufactured home.

According to Section 04.03(H) of Article 2, *Development Review Authority*, of the Unified Development Code (UDC), the Board of Adjustments (BOA) may, in its judgement, authorize "...the enlargement, expansion or repair of a non-conforming structure in excess of 50.00% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel." According to the letter provided by the applicant the anticipated cost of the scope of work is between \$36,000-\$42,000, and based on the Rockwall Central Appraisal District (RCAD) the current value of the structure on the subject property is \$50,601. This means that the scope of work would equate to 71.14%-83.00% of the value of the existing structure.

In reviewing requests for variances, the Board of Adjustments (BOA), pursuant to the powers conferred upon it by state law, is asked to consider the following criteria:

- (1) If such variance will substantially or permanently injure the appropriate use of adjacent property in the same district;
- (2) If such variance will adversely affect the health, safety or general welfare of the public;
- (3) If such variance will be contrary to the public interest;
- (4) If such variance will authorize the operation of a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located;
- (5) If such variance will be in the harmony with the spirit and purpose of the Unified Development Code (UDC);
- (6) If such variance will alter the essential character of the district in which the property is located and for which the variance is sought;

- (7) If such variance will substantially weaken the general purposes of the zoning regulations established for the district in which the property is located;
- (8) If the variance is due to special conditions, a literal enforcement of the Unified Development Code (UDC) would result in unnecessary hardship;
- (9) If the plight of the owner of the property for which the variance or exception is sought is due to unique circumstances existing on the property, including, but not limited to, the area, shape or slope, and the unique circumstances were not created by the owner of the property and are not merely financial, and are not due to the result of general conditions in the district in which the property is located;
- (10) If the variance or exception is a self-created hardship; and,
- (11) If the variance is clearly identified as a variance to the City's standards on the concept plan, site plan or text of the Unified Development Code (UDC).

In this case, staff is obligated to point out that the property owner purchased the property with the understanding that the subject property was fully within the 100-year floodplain. Staff is also obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant is requesting. In addition, staff should note that applicant recently completed improvements (*i.e. a front yard fence*) without receiving a building permit. Regardless, of if this case is approved or not, the applicant will be required to remove all unpermitted improvements on the property.

When reviewing this case, it appears that if the case is approved it will constitute a self-created hardship and could potentially create a precedent for other properties in the Lake Rockwall Estates Subdivision; however, requests for variances are discretionary decisions for the Board of Adjustments (BOA). Staff should point out that if this case is approved, the applicant will be required to meet all the zoning requirements of Planned Development District 75 (PD-75). This means the exterior of the manufactured home would be required to be clad in HardiBoard.

On September 25, 2025, staff mailed 23 notices to property owners within 200-feet of the subject property. As of the date of this memorandum, staff has received one (1) response in favor of the applicant's request and one (1) response opposed to the applicant's request. Should the Board of Adjustments (BOA) have any questions, staff will be available at the October 9, 2025 meeting.



City of Rockwall
The New Horizon

Public Notice

The City of Rockwall Board of Adjustments will hold a public hearing on **Thursday, October 9th, 2025, at 6:00 p.m.**, in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

BOA-2025-3-V

Hold a public hearing to discuss and consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688 acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

As an interested property owner, you are invited to attend this meeting and/or express your thoughts in writing by returning the form below. To ensure that your comments are included in the information sent to the Board of Adjustments, please return the completed form below by **October 1, 2025**.

If you have any questions regarding this matter, please contact:

Craig Foshee
Rockwall Building Inspection Dept.
385 S. Goliad Street
Rockwall, TX 75087

Email: cfoshee@rockwall.com
Phone: (972) 772-6774

(Please return portion of form below the dotted line)

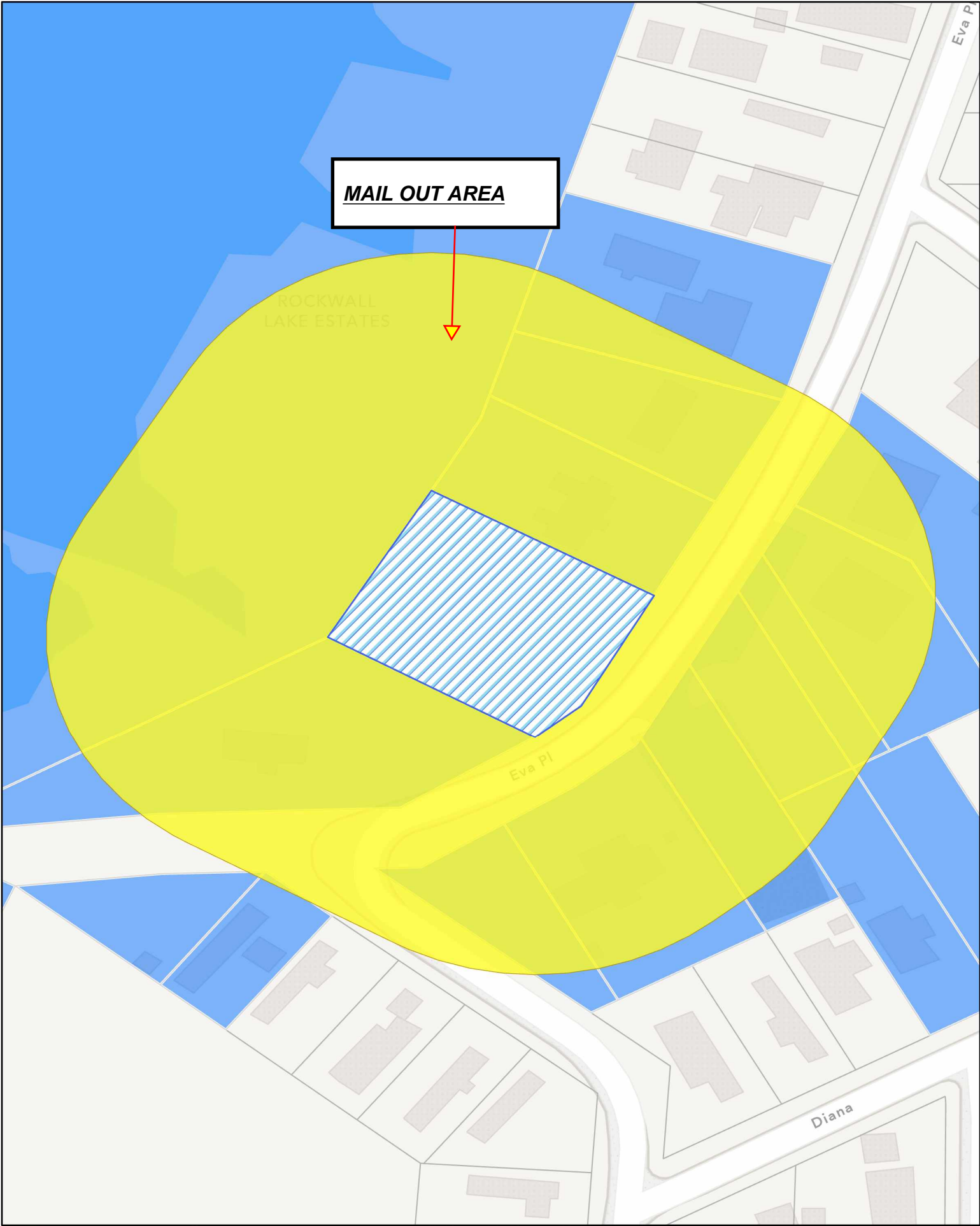
Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

_____ I am in favor of the request for the reasons listed below

_____ I am opposed to the request for the reasons listed below





Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below

☐ I am opposed to the request for the reasons listed below

Im in Favor of my neighbor raising his home because
it will keep his place safe from flooding

385 South Goliad

Rockwall, Texas 75087

(972) 772-6748

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below

☒ I am opposed to the request for the reasons listed below

Since all the property "North" of Eva Place is "Flood Zone" property, it was "Never" to
be developed for housing by the original owners/management! I own property
on the South side of Eva Place & do not want to view houses/trailers
on pilings!! All property south should have a beautiful view of
the lake with a grassy area down to the water for "Everyone" to be
able to access the lake! This area was to be a "parks and recreation area"
for everyone! Whatever company purchased the vacant land was

~~385 South Goliad~~

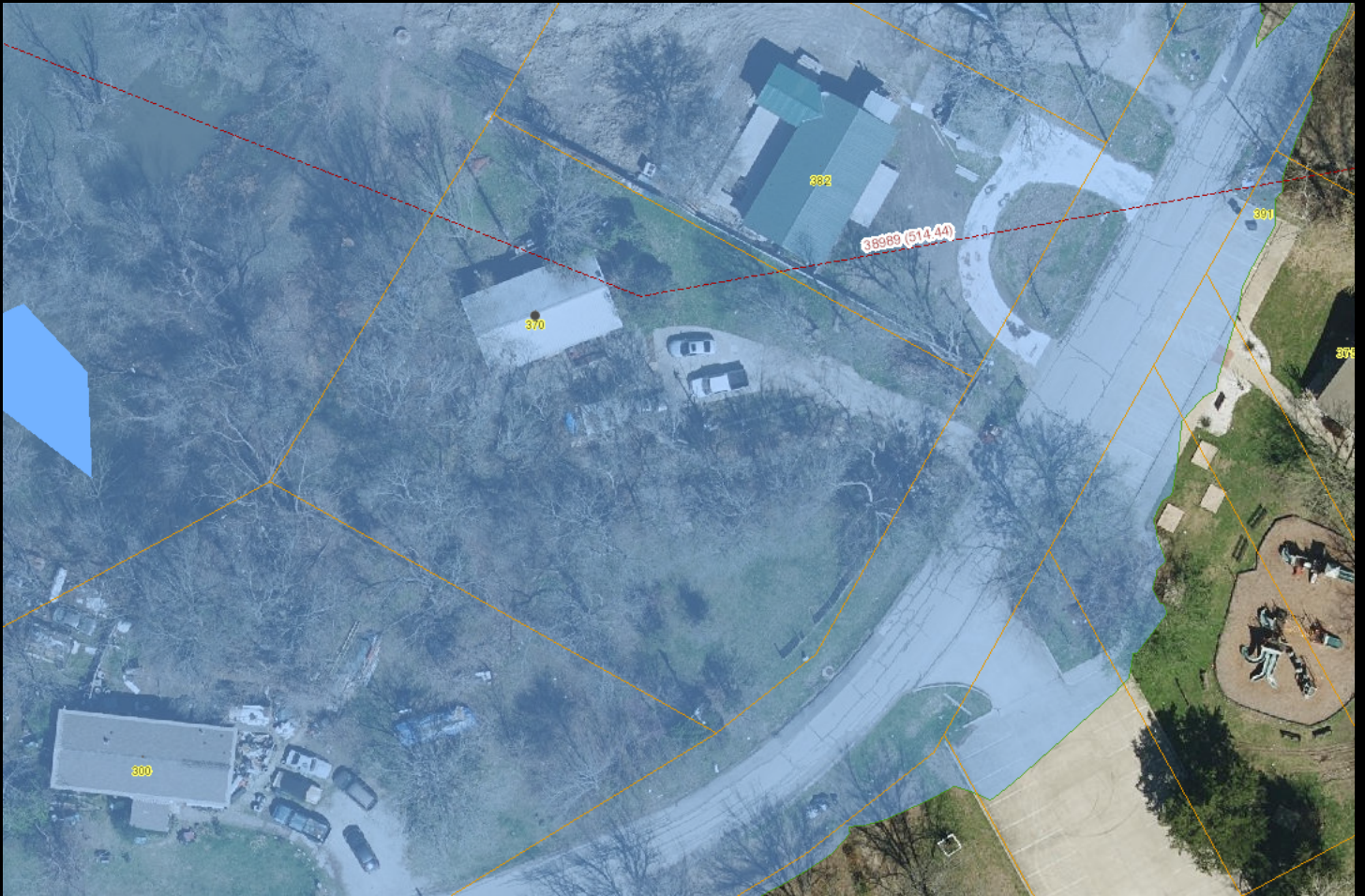
~~Rockwall, Texas 75087~~

~~(972) 772-6748~~

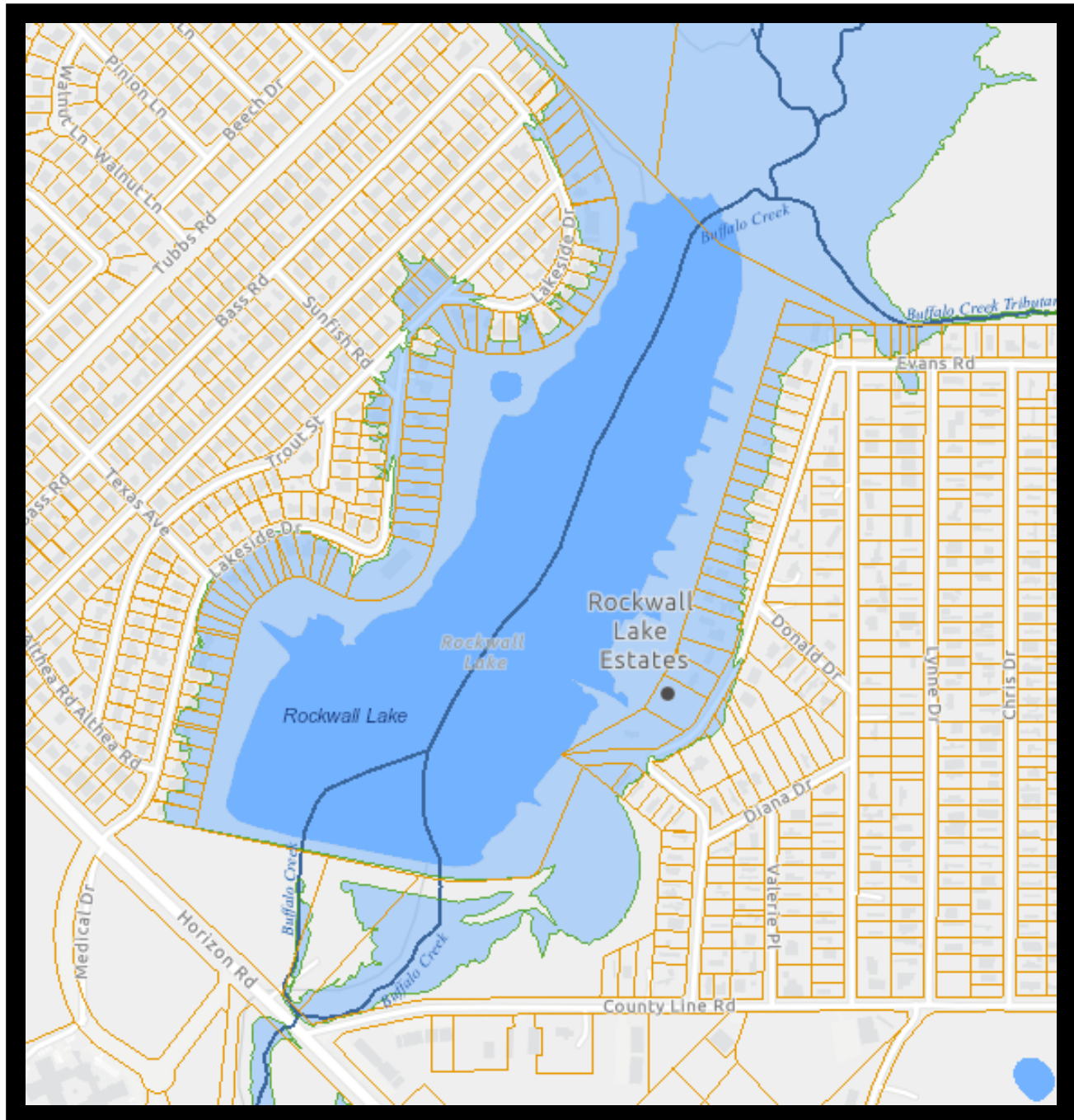
taking advantage of the buyers selling property in a flood zone.
Therefore, I oppose this request. Thank you for allowing property
owners to vote on this!

Doana Bice Hilsenfeld - 305 Eva Place

Area in Blue is the flood Plain



Area in Blue is the flood Plain



7509 PENNRIDGE CIRCLE
ROWLETT, TX 75088

SURVEY PLAT

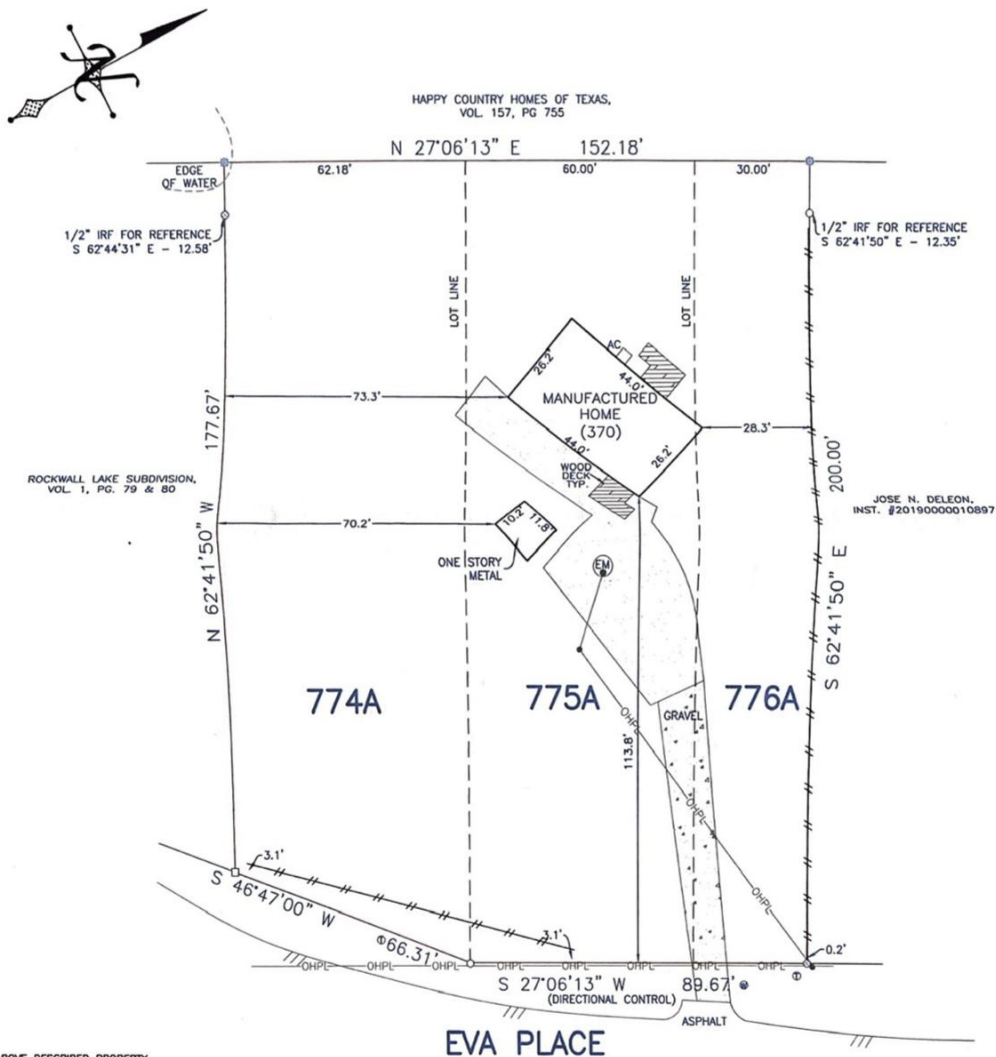


FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 370 EVA PLACE, in the city of ROCKWALL, Texas.

Being Lots 774-A, 775-A, and one half of 776-A, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an addition in Rockwall County, Texas, according to the map or plat thereof, recorded in Cabinet A, Slide 79 and 80, Plat Records, Rockwall County, Texas.



THE ABOVE DESCRIBED PROPERTY DOES LIE IN A FLOOD HAZARD AREA ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.

48397C0040L, DATED 09/26/2008
PROPERTY IS ENTIRELY IN ZONE A

BEARINGS ARE BASED ON NAD 83 DATUM, TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE

PROPERTY SUBJECT TO EASEMENTS & RESTRICTIONS
Volume 97, Page 153; Volume 158, Page 955;
Volume 264, Page 947; Volume 641, Page 218;
Volume 51, Page 118; Volume 55, Page 164,
Volume 59, Page 519

ACCEPTED BY: _____

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements as are shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY ALLEGIANCE TITLE

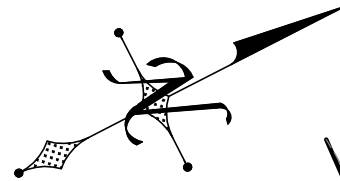
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.
Scale: 1" = 30'
Date: 04/05/21
G. F. No.: 21118387-ALMK
Job no.: 202102597
Drawn by: JM
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR ALLEGIANCE TITLE

LEGEND	
WOOD FENCE	---
IRON FENCE	---
BOUNDARY LINE	---
ADJUTANT	---
WIRE FENCE	---
CA - CONTROLLING SURROUND	
MONUMENTS OF RECORD DIGNITY	
1/2" IRON ROD FOUND	○
3/4" YELLOW-CAPPED IRON ROD SET	○
1 1/4" IRON ROD FOUND	○
5/8" IRON ROD FOUND	○
POINT FOR CORNER	○
1" CABLE	○
CLEAN OUT	○
GAS METER	○
FIRE HYDRANT	○
LIGHT POLE	○
MANHOLE	○
UNLESS OTHERWISE NOTED	
1" ELECTRIC	○
POOL EQUIP	○
POWER POLE	○
TELEPHONE	○
WATER METER	○
WATER VALVE	○



Allegiance
TITLE COMPANY





HAPPY COUNTRY HOMES OF TEXAS,
VOL. 157, PG 755
D.R.R.C.T.

2701 SUNSET RIDGE DRIVE, STE 303
ROCKWALL, TEXAS 75032
FIRM REGISTRATION NO. 10194366

TOPO SURVEY



BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at 370 EVA PLACE, in the City of ROCKWALL, ROCKWALL County, Texas.

STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING all of Lots 774A and 775A, and a part of Lot 776A, Rockwall Lake Properties Development, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, Plat Records, Rockwall County, Texas (P.R.R.C.T.), being a tract of land described in deed to Noha Dawit, recorded under Instrument No. 20240000018619, Deed Records, Rockwall County, Texas (D.R.R.C.T.), and being more particularly described by the following metes and bounds description:

BEGINNING at a ½ inch iron pipe found in the Northwest line of Eva Place, at the East corner of a tract of Lot 773A of said Rockwall Lake Properties Development, being the South corner of herein described tract of land;

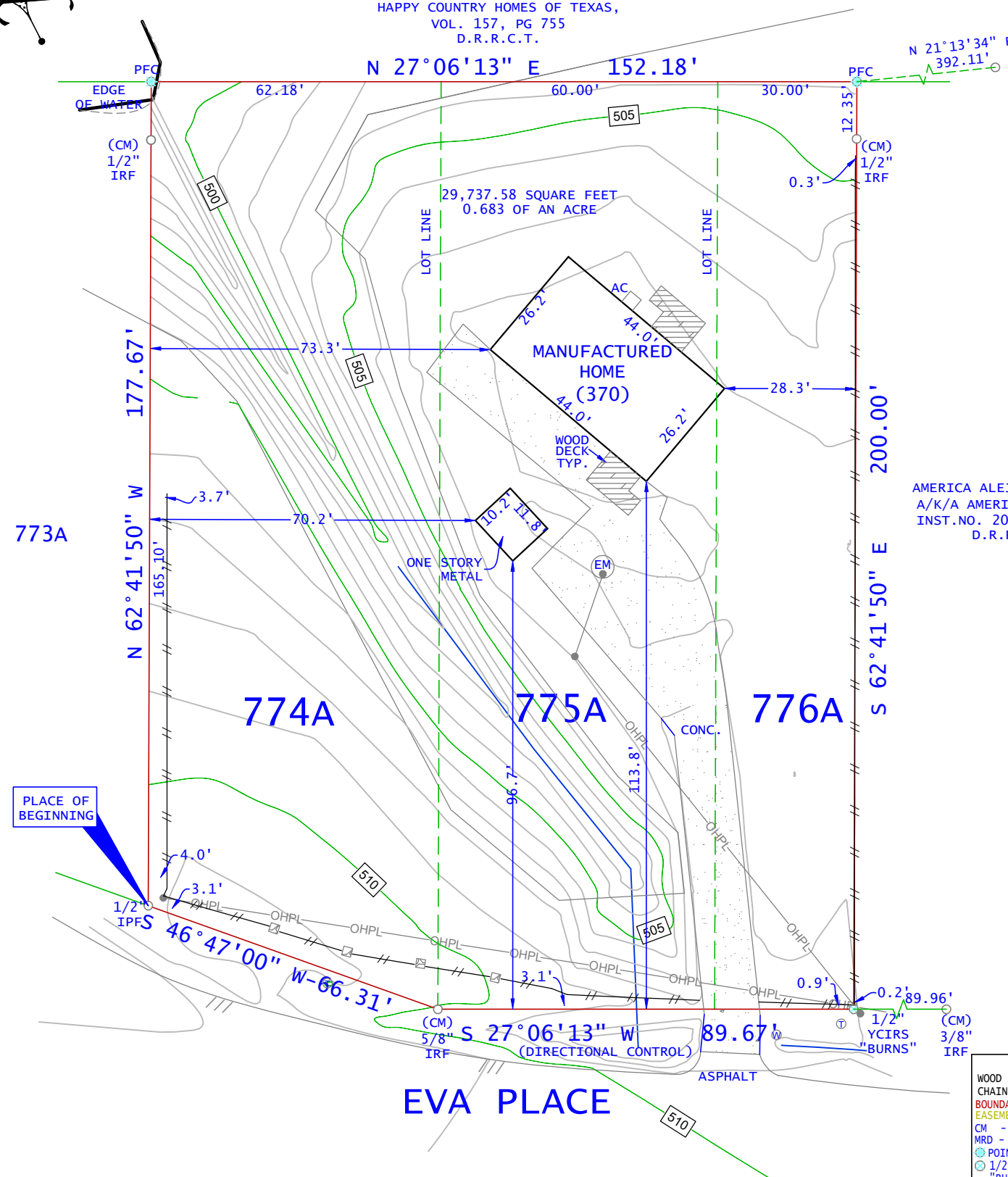
THENCE North 62 deg. 41 min. 50 sec. West, passing at a distance of 165.10 feet a ½ inch iron rod found on line for reference and continuing for a total distance of 177.67 feet to a point in the Southeast line of a tract of land described in deed to Happy Country Homes of Texas, recorded in Volume 157, Page 755 (D.R.R.C.T.), at the North corner of said Lot 773A;

THENCE North 27 deg. 06 min. 13 sec. East, a distance of 152.18 feet to a point at the West corner of a tract of land described in deed to America Alejandra Fuerte a/k/a America A. Fuerte, recorded under Instrument No. 20220000005945 (D.R.R.C.T.);

THENCE South 62 deg. 41 min. 50 sec. East, passing at a distance of 12.35 feet a ½ inch iron rod found on line for reference and continuing for a total distance of 200.00 feet to a ½ inch yellow-capped iron rod stamped "Burns Surveying" set in the Northwest line of said Eva Place, at the South corner of said Fuerte tract;

THENCE South 27 deg. 06 min. 13 sec. West, a distance of 89.67 feet to a 5/8 inch iron rod found for corner;

THENCE South 46 deg. 47 min. 00 sec. West, a distance of 66.31 feet to the PLACE OF BEGINNING and containing 29,737.58 square feet or 0.683 of an acre of land.



AMERICA ALEJANDRA FUERTE
A/K/A AMERICA A. FUERTE
INST.NO. 20220000005945
D.R.R.C.T.

ELEVATION DATUM PER NAVD88.

THIS CERTIFICATION DOES NOT TAKE INTO
CONSIDERATION ADDITIONAL FACTS THAT AN
ACCURATE TITLE SEARCH AND OR
EXAMINATION MIGHT DISCLOSE.

This parcel depicted hereon is a true, correct, and accurate representation of the property as determined by survey; The lines and dimensions of said property being as indicated by the plat; The size, location, and type(s) of building(s) are as shown, all improvements being within the boundaries of the property setback from the property lines the distance indicated.

TITLE AND ABSTRACTING WORK FURNISHED BY NOHA DAWIT

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 30'

Date: 06-12-2025

G. F. No.: N/A

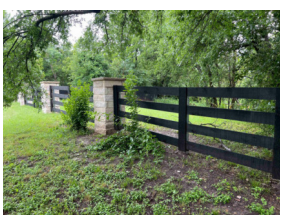
Job no.: 202102597-01

Drawn by: BM

USE OF THIS SURVEY FOR ANY OTHER PURPOSE
OR OTHER PARTIES SHALL BE AT THEIR RISK
AND UNDERSIGNED IS NOT RESPONSIBLE TO
OTHER FOR ANY LOSS RESULTING THEREFROM.

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR

NOHA DAWIT



CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

**ORDER OF THE BOARD OF ADJUSTMENT
OF THE CITY OF ROCKWALL, TEXAS**

ORDER NO. BOA 2025-3-V

WHEREAS, the Board of Adjustment held a public hearing on the 9th day of October, 2025 consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

WHEREAS, the applicant requested a variance from the said code of ordinance to allow the expansion of a non-conforming structure to elevate the existing manufactured home above the Base Flood Elevation

WHEREAS, after due consideration and discussion it appears that the granting of such variances would not cause an adverse effect on the surrounding properties and would not be contrary to the public interest.

**NOW, THEREFORE BE IT ORDERED BY THE BOARD OF
ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS:**

Section 1. That all of the above premises are found and determined to be true and correct and are incorporated into the body of this order as if copied in their entirety.

Section 2. That the request from the applicant for this Board to grant a variance from Rockwall Code of ordinance, be and in the same is hereby granted so as to allow an Expansion of a Non-Conforming Structure. to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place

Section 3. That the Building Official of the City is hereby authorized and directed to issue the appropriate permits, if any, for the above described property under the terms and conditions of this Order.

Section 4. That this Order was passed by the concurring vote of at least four (4) members of the Board of Adjustment and is effective as of the 9th day of October, 2025.

ATTEST:


Secretary

APPROVED:


Chairman



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Henry Lee, *Senior Planner*

DATE: October 28, 2025

SUBJECT: MIS2025-018; *Exception to the Exterior Material Requirements for 370 Eva Place*

On October 9, 2025, the Board of Adjustments (BOA) approved a motion to grant a special exception for *Case No. BOA2025-3-V* by a vote of 4-2, with Board Members Carr and Rohlf dissenting. This case was a request for the expansion of a *legally non-conforming structure*. More specifically, the applicant -- *Noah Dawit* -- was requesting to elevate an existing manufactured home, located at 370 Eva Place, above the base elevation using wooden stilts. This request was made in accordance with Subsection 04.03(H) of Article 02, *Development Review Authority*, of the Unified Development Code (UDC) -- *which allows the Board of Adjustments (BOA) to authorize special exceptions for the expansion of a legally non-conforming structure* -- and which states the following:

Expansion of a Non-Conforming Structure. To authorize the enlargement, expansion or repair of a non-conforming structure in excess of 50% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel.

A copy of the approved order and the minutes from this case has been provided in the Planning and Zoning Commission's packet for their review. Since the Board of Adjustments (BOA) granted the special exception request, the applicant is required to meet all provisions of Planned Development District 75 (PD-75), which stipulates finishing the exterior of the structure in a minimum of 80.00% standard masonry materials and which may utilize a total of 60.00% HardiBoard or a similar cementitious material (*i.e. 50.00% of the 80.00% masonry requirement [i.e. 40.00% of the façade] with the remaining 20.00% able to be any building material allowed by the City*). Alternatively, since the existing manufacture home is being expanded this request could also be seen as falling under the *Manufactured Home Replacement* program, which stipulates that all new manufactured homes meet the following minimum standards:

- (1) The manufactured home shall be permanently attached to a concrete foundation.
- (2) The primary roof pitch is a minimum of 3:12 inches.
- (3) At least 90.00% of the exterior materials, including the skirting material, excluding doors and windows, must be comprised of HardiBoard lap siding or a similar durable cementitious lap siding material with a minimum width of 6¼-inches.
- (4) The proposed manufactured home is newer and larger in living space than the prior manufactured home.

Based on these requirements, the applicant is requesting a *Special Request* in accordance with Subsection 3(c) of *Ordinance No. 16-01 [Planned Development District 75 (PD-75)]*, which states "... (t)he City Council may consider special requests in the Lake Rockwall Estates Subdivision ... Such request(s) may include, but not necessarily be limited to the use of alternate building materials, reductions in the building setbacks, exceptions to the fencing requirements, or other requests submitted for consideration to the Planning and Zoning Department. Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve special request(s). Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code. Such special requests may be denied by the City Council by the passage of a motion to deny." In this case, the applicant is proposing to allow the use of the existing exterior materials on the manufactured home, which appear to be a composite board or OSB panel. Staff should note that since the manufactured home will be raised using wood pilings, standing between 6.40-feet and ten (10) feet above grade, and is currently and will continue to be fully situated within a 100-year floodplain, the manufactured home will not be incorporating a skirting around the bottom of the structure.

As noted in the Board of Adjustments (BOA) memorandum, staff is obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant has been approved for. In addition, the applicant has made unpermitted improvements on the property that regardless of the City Council's decision will need to either be properly permitted or removed from the property prior to the issuance of any additional building permits. With all this being said, this case is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning this case, staff and the applicant will be available at the October 28, 2025 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 370 Eva Place

SUBDIVISION Rockwall Lake Estates Ph 2

LOT 774-6A BLOCK _____

GENERAL LOCATION Rockwall Lake

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential

CURRENT USE _____

PROPOSED ZONING Residential

PROPOSED USE _____

ACREAGE 0.7

LOTS [CURRENT] 3

LOTS [PROPOSED] 3

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Noha Dawit

☐ APPLICANT _____

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 12414 Granite Falls Trl

ADDRESS _____

CITY, STATE & ZIP ENSCO TX 75035

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

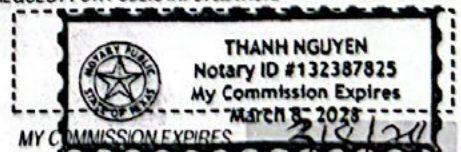
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Noha Dawit [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

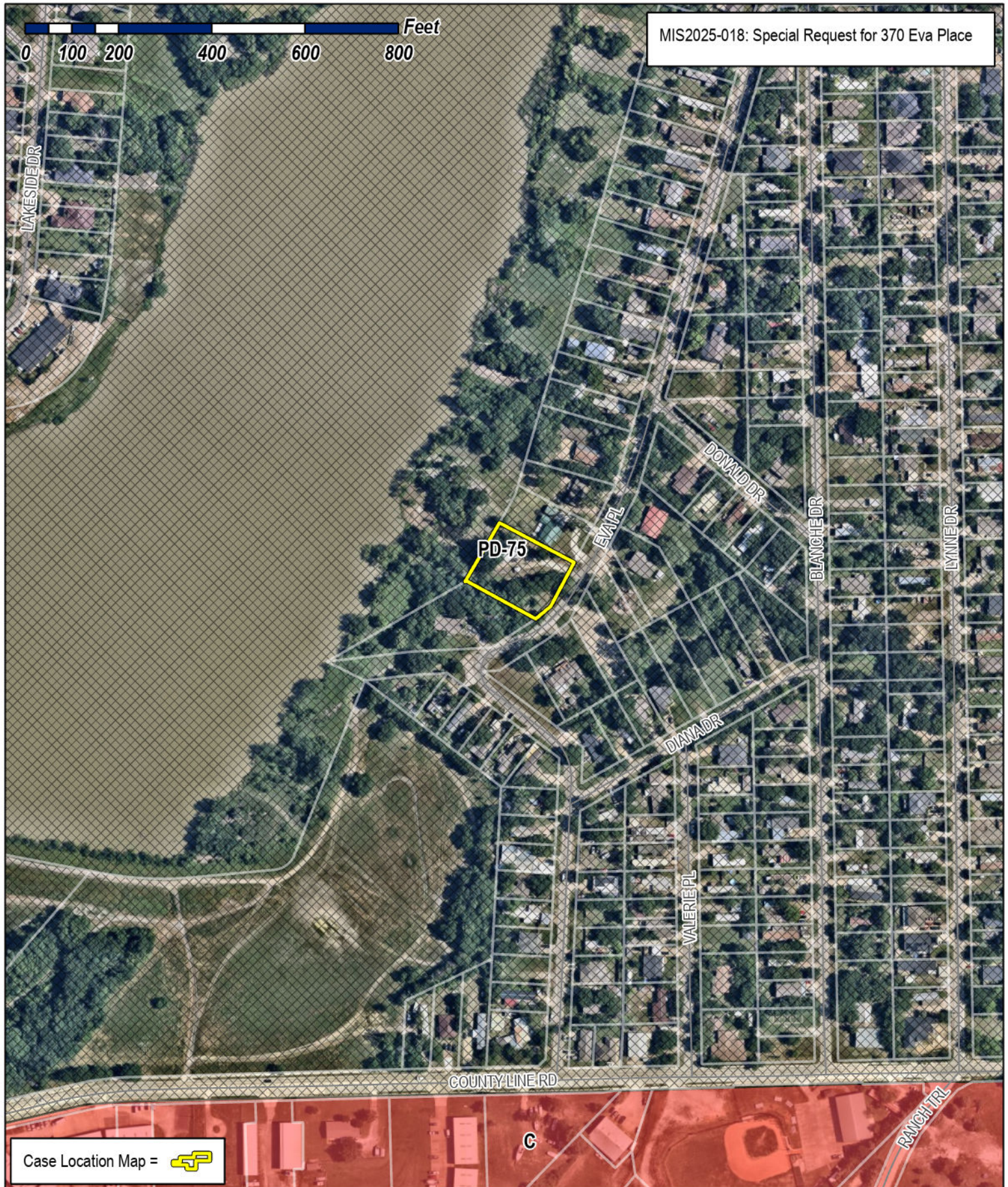
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF Oct, 2025

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





MIS2025-018: Special Request for 370 Eva Place



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Property at:
370 Eva Place Rockwall, TX 75032

CURRENT MATERIALS



**Steel "I"
Beam**

Concrete footer



**Single Treated 2 x
12 support joist**

PROPOSED MATERIALS



15 - 12 x 12 x 28' Treated Wood Pilings



Pressure Treated 3" x 12" x LF
Brown Ground Contact Lumber a.

20 - Rough Cut; Treated; 3" x 12" Beams



2 x 12, Pine, No.
1, Pressure
Treated (MCA)

24 - 2" x 12" x 24' #1 Treated Pine Boards

3/4" x 10" Conquest A307 Grade A Hex
Bolt - Hot Dip Galvanized
★★★★



1000000



Simpson Strong-
Tie BP 3/4 HDG -
3/4" Bolt Dia 2"

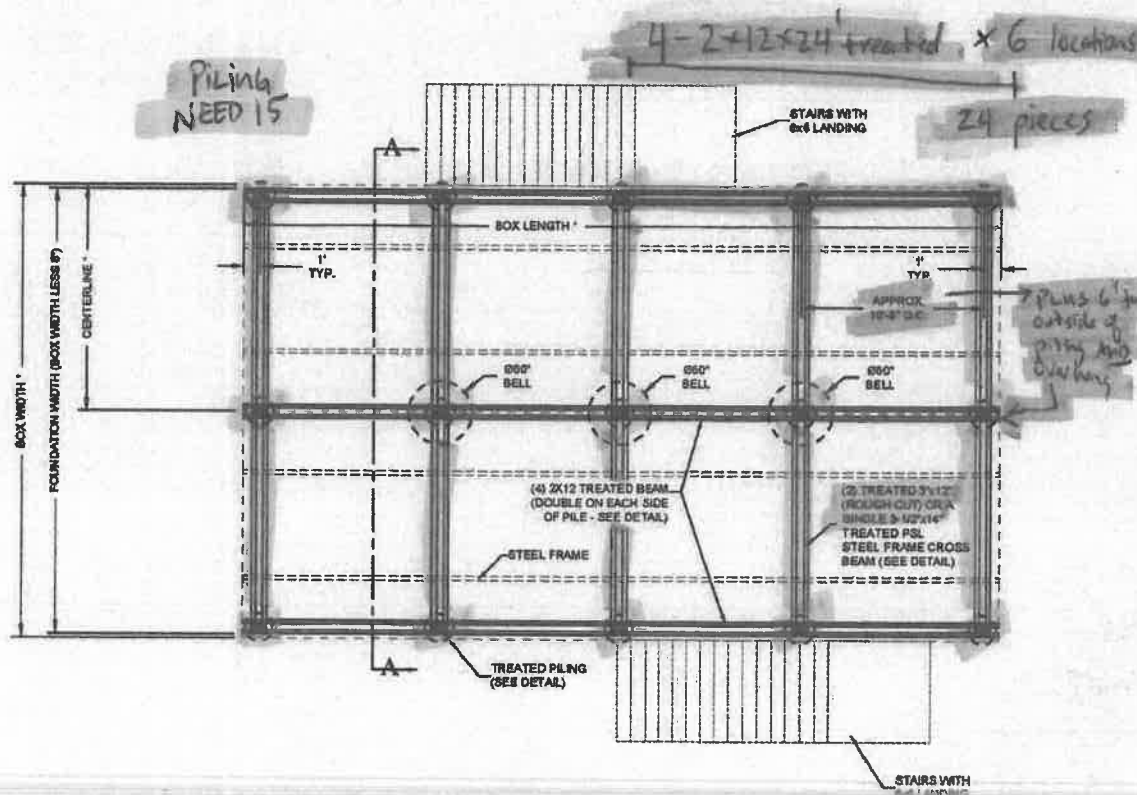
3/4"-10 Conquest Heavy Hex Nut,
A307 Grade A - Hot Dip Galvanized
★★★★



3/8"-7 x 3"
Conquest Hex
Head Lag Bolt f.

Galvenized Fasteners

PILING FOUNDATION - PLAN VIEW



FINAL DIMENSIONS MUST BE OBTAINED FROM THE MANUFACTURER PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS.



PROJECT:
NOHA DAWIT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75082



By J. Martin Montgomery
Date: 2025.08.01
090613-05007

J. MARTIN MONTGOMERY
REGISTERED PROFESSIONAL
ENGINEER STATE OF TEXAS
NO. 80427 F-2071
RC ENTERPRISES, LP

DESCRIPTION: W21 MANU BLENDED PILING FOUNDATION

BOX SIZE: 27' X 40'

REV NO/DATE: 2/07/12/05

ISSUE DATE: 05/12/25

DRAWN BY: JBA

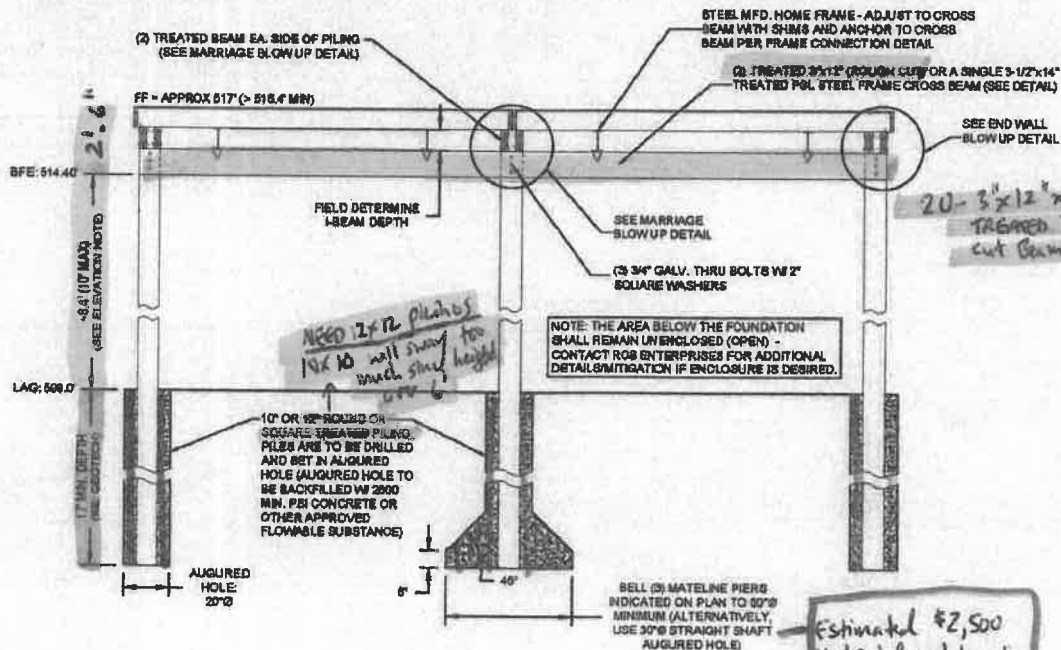
SCALE: NONE 8.5x11

SHEET:

1

W21 MANU BLENDED PILING

PILING FOUNDATION - SECTION DETAIL



A-A DETAIL

ELEVATION NOTE:
 SURVEY BY BARRY S RHODES, SURVEYOR, DATED 04/05/2021, AND CORRESPONDENCE* WITH CITY ENGINEERING DEPARTMENT (MADELYN PRICE, P.E.):
 BFE: 514.40'; ZONE: A;
 LOWEST ADJACENT GRADE: 508.0';
 HIGHEST ADJACENT GRADE: 508.0';
 ELEVATION OF LOWEST HORIZONTAL: 514.40' (BFE);
 MINIMUM FINISHED FLOOR: 516.40' (BFE + 2')

ELEVATION MEASUREMENTS MUST REFERENCE THE SURVEY BENCHMARK

*THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THE INFORMATION PROVIDED BY THE CITY IS ACCURATE PRIOR TO SETTING THE HOME. IN ADDITION, A FINAL ELEVATION CERTIFICATE WILL BE REQUIRED CONFIRMING THE REQUIRED ELEVATIONS.

FLOODWAY NOTE:
 THIS FOUNDATION IS DESIGNED TO RESIST FLOATION, COLLAPSE OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION.



NOHA DAWT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75082



Physically Signed
 by J. Martin
 Montgomery
 State 2025-08-01
 090632-4670'

J. MARTIN MONTGOMERY
 REGISTERED PROFESSIONAL
 ENGINEER STATE OF TEXAS
 NO. 90427
 RCS ENTERPRISES, LP F-2071

REV NO DATE: 2 07/31/20

DRAWN BY: JBA

SCALE: NONE 8x11

SHEET:
2

DESCRIPTION: VET2 BANY ELEVATED PILING FOUNDATION
 PROJECT: NOHA DAWT
 BOX SIZE: 27" X 48"
 MODEL: TWIN PEAKS

Total Piling Length =
 12 x 12 x 28'

NEED 2x12 Pile caps
 10x10 well strong too
 much strong height

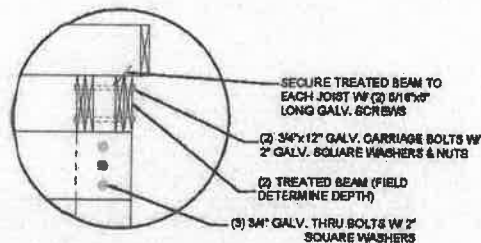
NOTE: THE AREA BELOW THE FOUNDATION SHALL REMAIN UNENCLOSED (OPEN) - CONTACT RCS ENTERPRISES FOR ADDITIONAL DETAIL/SIMULATION IF ENCLOSURE IS DESIRED.

Estimated \$2,500
 Material + labor to
 backfill concrete &
 stabilized sand.

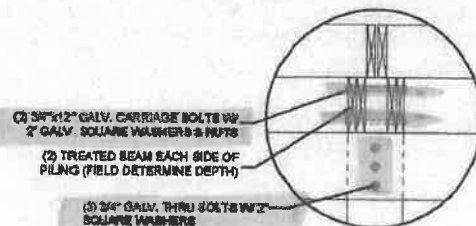
ENGINEER APPROVED THIS
 DESIGN LAG = 507.67
 PERM. HIG = 508.8
 AS PER EC

NEED 6" MINIMUM BUFFER
 TO MAKE 100% SURE WE MEET
 HEIGHT REQUIREMENT

PILING FOUNDATION - CONSTRUCTION DETAILS



END WALL BLOW UP DETAIL

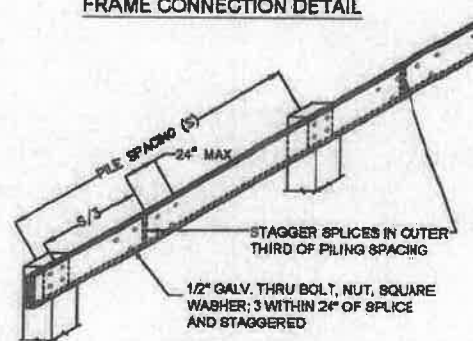


MARRIAGE BLOW UP DETAIL

5-16' BOLTS/NUTS
10 - SQUARE WASHERS
PER PILING



FRAME CONNECTION DETAIL



BEAM SPLICE DETAIL

- NOTES:
1. DETAIL APPLICABLE TO CONVENTIONAL LUMBER
 2. ALL SPLICES MUST BE IN THE OUTER THIRD OF THE PILING SPACING
 3. DO NOT BOLT THROUGH SPLICES



PROJECT:
NOHA DAWIT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75032



signed
by J. Martin
Montgomery
Date: 2025/08/01
09/06/18 - 05/00'

J. MARTIN MONTGOMERY
REGISTERED PROFESSIONAL
ENGINEER STATE OF TEXAS
NO. 90427
RCS ENTERPRISES, LP P-2011

REV NO DATE: 2 07/31/25

DRAWN BY: JBA

SCALE: NONE 8.5x11

SHEET:

3

DESCRIPTION: W21 M40U ELEVATED PILING FOUNDATION

BOX SIZE: 27' X 48'

MODEL: TWIN PEAKS



City of Rockwall
The New Horizon

MEMORANDUM

TO: Board of Adjustment Members

FROM: Craig Foshee, Building Inspections Plan Examiner

DATE: October 2, 2025

SUBJECT: Variance request – BOA-2025-3-V for 10/9/2025 Meeting

Noah Dawit of 370 Eva Place is requesting a public hearing to discuss and consider a Variance to allow for the expansion of a non-conforming structure. The applicant is requesting to elevate the existing manufactured home between 6.4-feet to ten (10) feet using treated wood pilings in order to raise the structure above the base flood elevation. In this case, the applicant has stated that he would like to utilize the existing structure in lieu of constructing a new manufactured home.

According to Section 04.03(H) of Article 2, *Development Review Authority*, of the Unified Development Code (UDC), the Board of Adjustments (BOA) may, in its judgement, authorize "...the enlargement, expansion or repair of a non-conforming structure in excess of 50.00% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel." According to the letter provided by the applicant the anticipated cost of the scope of work is between \$36,000-\$42,000, and based on the Rockwall Central Appraisal District (RCAD) the current value of the structure on the subject property is \$50,601. This means that the scope of work would equate to 71.14%-83.00% of the value of the existing structure.

In reviewing requests for variances, the Board of Adjustments (BOA), pursuant to the powers conferred upon it by state law, is asked to consider the following criteria:

- (1) If such variance will substantially or permanently injure the appropriate use of adjacent property in the same district;
- (2) If such variance will adversely affect the health, safety or general welfare of the public;
- (3) If such variance will be contrary to the public interest;
- (4) If such variance will authorize the operation of a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located;
- (5) If such variance will be in the harmony with the spirit and purpose of the Unified Development Code (UDC);
- (6) If such variance will alter the essential character of the district in which the property is located and for which the variance is sought;

- (7) If such variance will substantially weaken the general purposes of the zoning regulations established for the district in which the property is located;
- (8) If the variance is due to special conditions, a literal enforcement of the Unified Development Code (UDC) would result in unnecessary hardship;
- (9) If the plight of the owner of the property for which the variance or exception is sought is due to unique circumstances existing on the property, including, but not limited to, the area, shape or slope, and the unique circumstances were not created by the owner of the property and are not merely financial, and are not due to the result of general conditions in the district in which the property is located;
- (10) If the variance or exception is a self-created hardship; and,
- (11) If the variance is clearly identified as a variance to the City's standards on the concept plan, site plan or text of the Unified Development Code (UDC).

In this case, staff is obligated to point out that the property owner purchased the property with the understanding that the subject property was fully within the 100-year floodplain. Staff is also obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant is requesting. In addition, staff should note that applicant recently completed improvements (*i.e. a front yard fence*) without receiving a building permit. Regardless, of if this case is approved or not, the applicant will be required to remove all unpermitted improvements on the property.

When reviewing this case, it appears that if the case is approved it will constitute a self-created hardship and could potentially create a precedent for other properties in the Lake Rockwall Estates Subdivision; however, requests for variances are discretionary decisions for the Board of Adjustments (BOA). Staff should point out that if this case is approved, the applicant will be required to meet all the zoning requirements of Planned Development District 75 (PD-75). This means the exterior of the manufactured home would be required to be clad in HardiBoard.

On September 25, 2025, staff mailed 23 notices to property owners within 200-feet of the subject property. As of the date of this memorandum, staff has received one (1) response in favor of the applicant's request and one (1) response opposed to the applicant's request. Should the Board of Adjustments (BOA) have any questions, staff will be available at the October 9, 2025 meeting.



City of Rockwall
The New Horizon

Public Notice

The City of Rockwall Board of Adjustments will hold a public hearing on **Thursday, October 9th, 2025, at 6:00 p.m.**, in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

BOA-2025-3-V

Hold a public hearing to discuss and consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688 acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

As an interested property owner, you are invited to attend this meeting and/or express your thoughts in writing by returning the form below. To ensure that your comments are included in the information sent to the Board of Adjustments, please return the completed form below by **October 1, 2025**.

If you have any questions regarding this matter, please contact:

Craig Foshee
Rockwall Building Inspection Dept.
385 S. Goliad Street
Rockwall, TX 75087

Email: cfoshee@rockwall.com
Phone: (972) 772-6774

(Please return portion of form below the dotted line)

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

_____ I am in favor of the request for the reasons listed below

_____ I am opposed to the request for the reasons listed below





Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below

☐ I am opposed to the request for the reasons listed below

Im in Favor of my neighbor raising his home because
it will keep his place safe from flooding

385 South Goliad

Rockwall, Texas 75087

(972) 772-6748

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below

☒ I am opposed to the request for the reasons listed below

Since all the property "North" of Eva Place is "Flood Zone" property, it was "Never" to
be developed for housing by the original owners/management! I own property
on the South side of Eva Place & do not want to view houses/trailers
on pilings!! All property south should have a beautiful view of
the lake with a grassy area down to the water for "Everyone" to be
able to access the lake! This area was to be a "parks and recreation area"
for everyone! Whatever company purchased the vacant land was

~~385 South Goliad~~

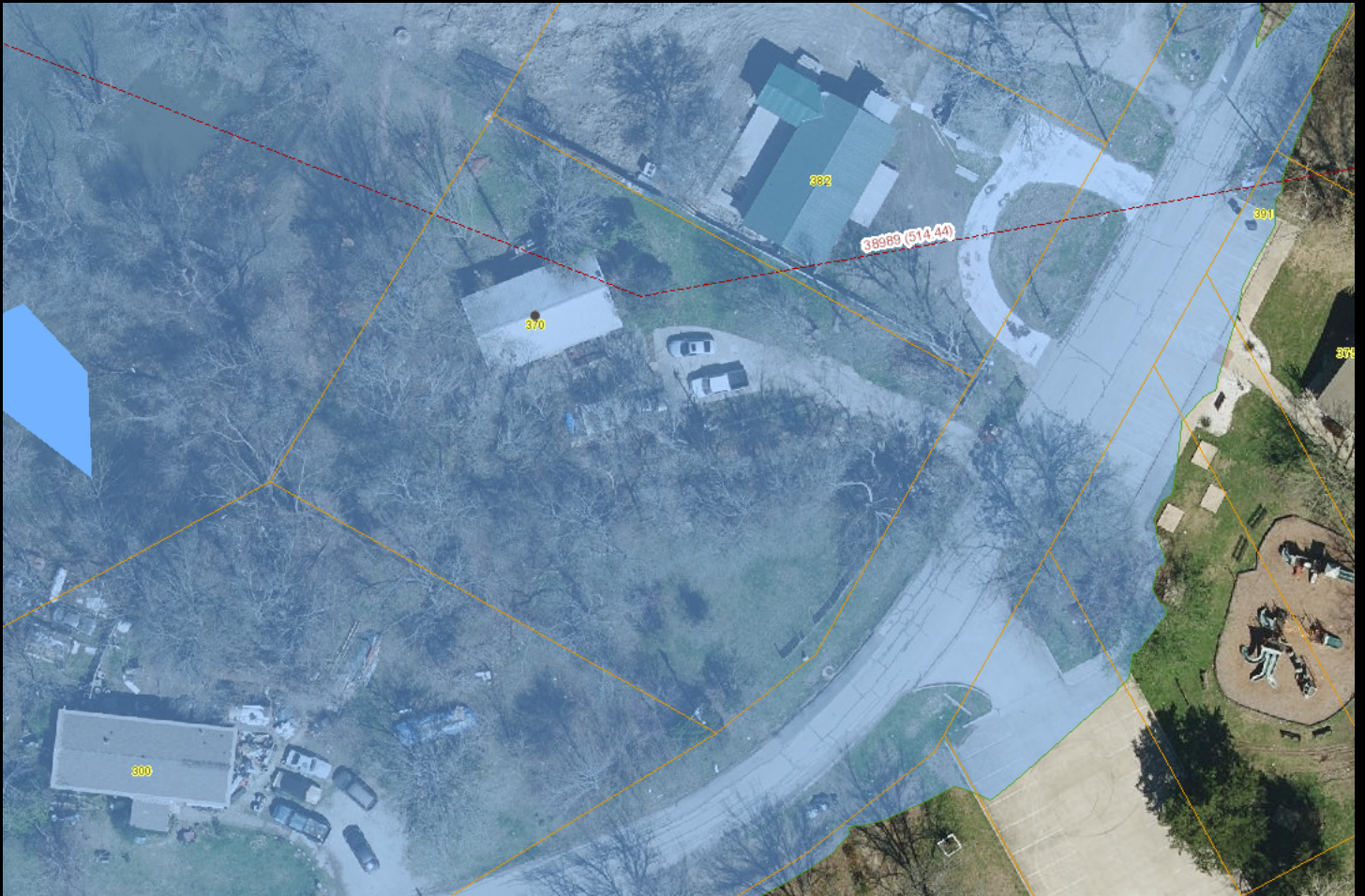
~~Rockwall, Texas 75087~~

~~(972) 772-6748~~

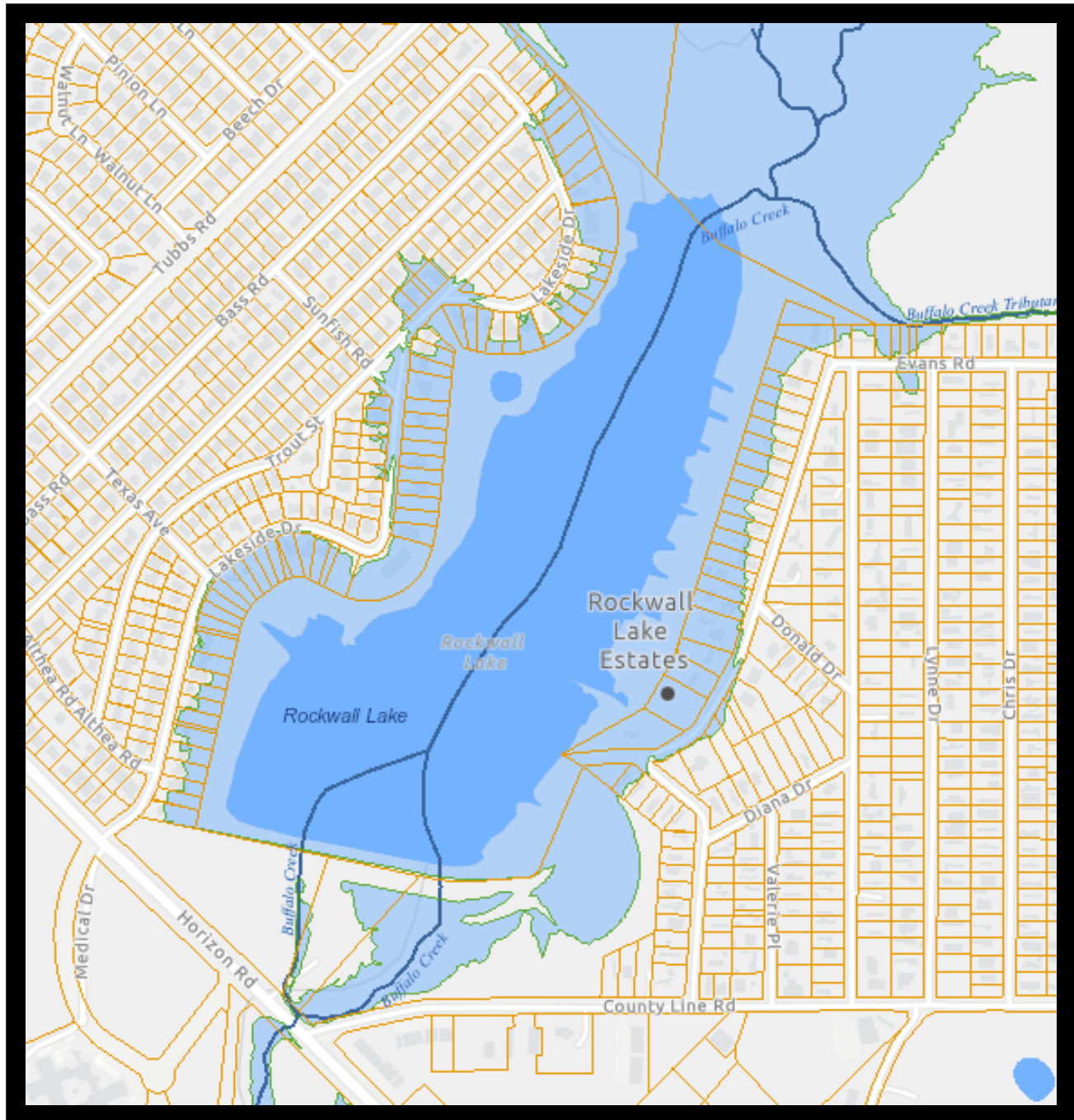
taking advantage of the buyers selling property in a flood zone.
Therefore, I oppose this request. Thank you for allowing property
owners to vote on this!

Doana Bice Hilsenfeld - 305 Eva Place

Area in Blue is the flood Plain



Area in Blue is the flood Plain



7509 PENNRIDGE CIRCLE
ROWLETT, TX 75088

SURVEY PLAT

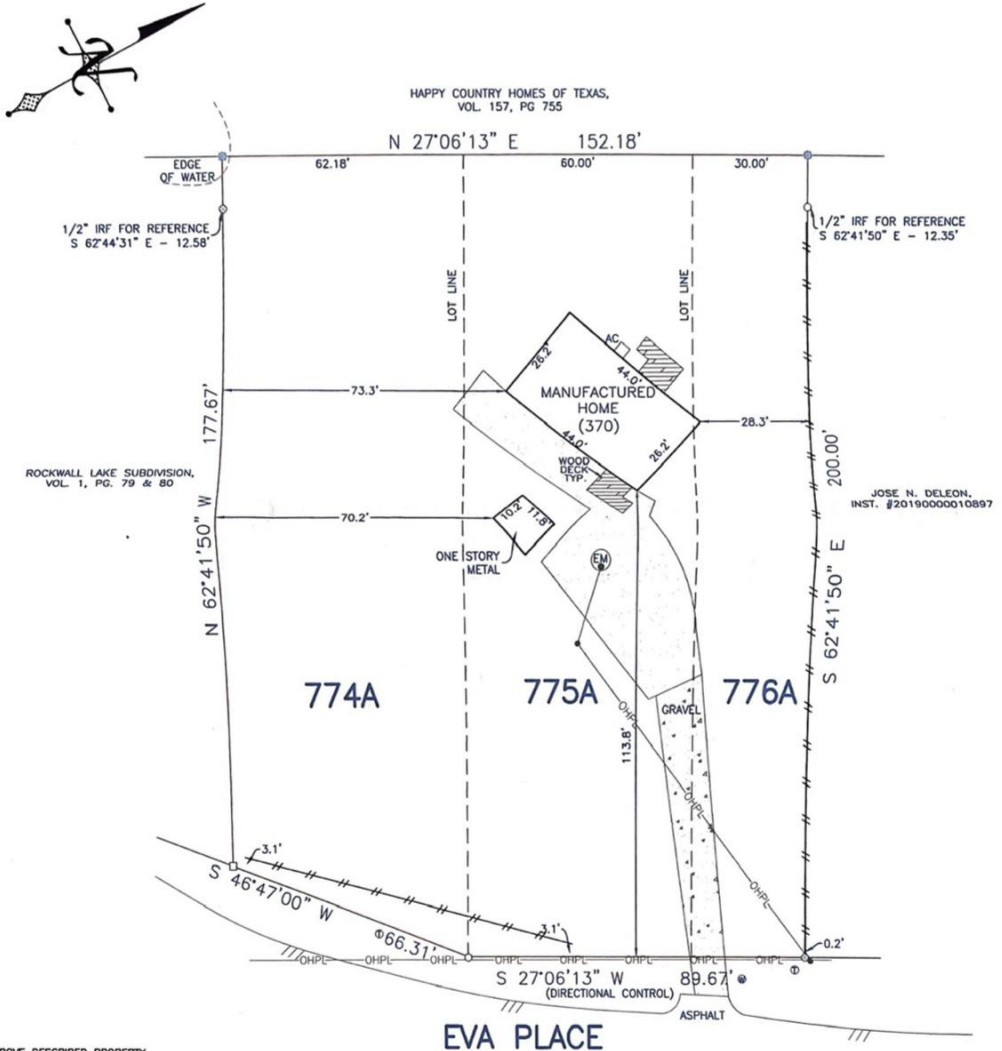


FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 370 EVA PLACE, in the city of ROCKWALL, Texas.

Being Lots 774-A, 775-A, and one half of 776-A, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an addition in Rockwall County, Texas, according to the map or plat thereof, recorded in Cabinet A, Slide 79 and 80, Plat Records, Rockwall County, Texas.



THE ABOVE DESCRIBED PROPERTY DOES LIE IN A FLOOD HAZARD AREA ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.

48397C0040L, DATED 09/26/2008. PROPERTY IS ENTIRELY IN ZONE A

BEARINGS ARE BASED ON NAD 83 DATUM, TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE

PROPERTY SUBJECT TO EASEMENTS & RESTRICTIONS
Volume 97, Page 153; Volume 158, Page 955;
Volume 264, Page 947; Volume 641, Page 218;
Volume 51, Page 118; Volume 55, Page 164,
Volume 59, Page 519

ACCEPTED BY: _____

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements as are shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY ALLEGIANCE TITLE

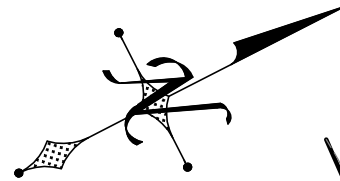
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.
Scale: 1" = 30'
Date: 04/05/21
G. F. No.: 21118387-ALMK
Job no.: 202102597
Drawn by: JM
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR ALLEGIANCE TITLE

LEGEND	
WOOD FENCE	---X---
IRON FENCE	---O---
BOUNDARY LINE	---
ADJACENT LOT	---
WIRE FENCE	---
CONTRIBUTING	---
MONUMENTS OF RECORD DIGNITY	---
1/2" IRON ROD FOUND	---
1/2" YELLOW-CAPPED IRON ROD SET	---
1/2" IRON ROD FOUND	---
5/8" IRON ROD FOUND	---
POINT FOR CORNER	---
CABLE	---
CLEAN OUT	---
GAS METER	---
FIRE HYDRANT	---
LIGHT POLE	---
MANHOLE	---
UNLESS OTHERWISE NOTED	---
ELECTRIC	---
POOL EQUIP	---
POWER POLE	---
TELEPHONE	---
WATER METER	---
WATER VALVE	---



Allegiance TITLE COMPANY





HAPPY COUNTRY HOMES OF TEXAS,
VOL. 157, PG 755
D.R.R.C.T.

2701 SUNSET RIDGE DRIVE, STE 303
ROCKWALL, TEXAS 75032
FIRM REGISTRATION NO. 10194366

TOPO SURVEY



BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at 370 EVA PLACE, in the City of ROCKWALL, ROCKWALL County, Texas.

STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING all of Lots 774A and 775A, and a part of Lot 776A, Rockwall Lake Properties Development, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, Plat Records, Rockwall County, Texas (P.R.R.C.T.), being a tract of land described in deed to Noha Dawit, recorded under Instrument No. 20240000018619, Deed Records, Rockwall County, Texas (D.R.R.C.T.), and being more particularly described by the following metes and bounds description:

BEGINNING at a ½ inch iron pipe found in the Northwest line of Eva Place, at the East corner of a tract of Lot 773A of said Rockwall Lake Properties Development, being the South corner of herein described tract of land;

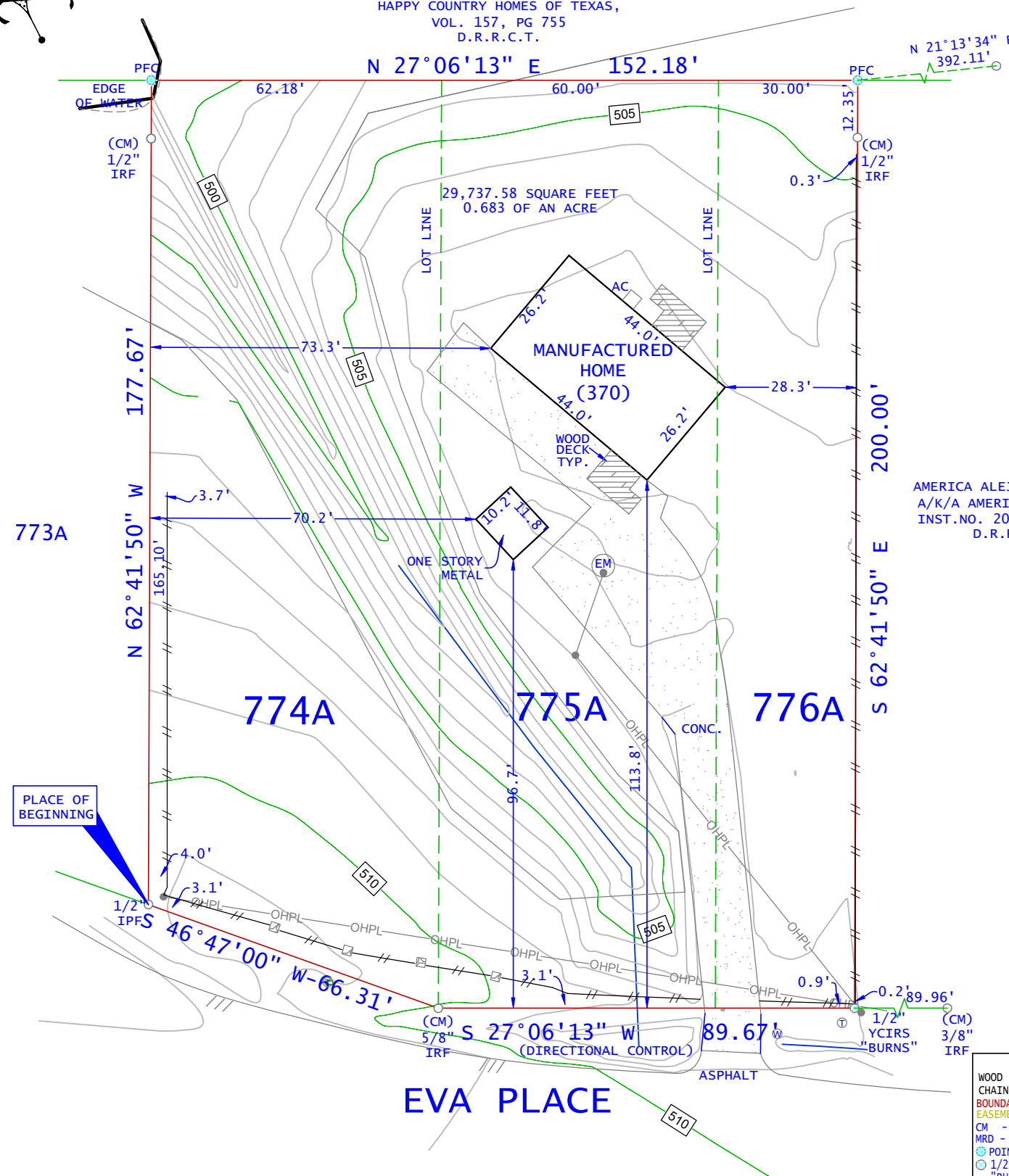
THENCE North 62 deg. 41 min. 50 sec. West, passing at a distance of 165.10 feet a ½ inch iron rod found on line for reference and continuing for a total distance of 177.67 feet to a point in the Southeast line of a tract of land described in deed to Happy Country Homes of Texas, recorded in Volume 157, Page 755 (D.R.R.C.T.), at the North corner of said Lot 773A;

THENCE North 27 deg. 06 min. 13 sec. East, a distance of 152.18 feet to a point at the West corner of a tract of land described in deed to America Alejandra Fuerte a/k/a America A. Fuerte, recorded under Instrument No. 20220000005945 (D.R.R.C.T.);

THENCE South 62 deg. 41 min. 50 sec. East, passing at a distance of 12.35 feet a ½ inch iron rod found on line for reference and continuing for a total distance of 200.00 feet to a ½ inch yellow-capped iron rod stamped "Burns Surveying" set in the Northwest line of said Eva Place, at the South corner of said Fuerte tract;

THENCE South 27 deg. 06 min. 13 sec. West, a distance of 89.67 feet to a 5/8 inch iron rod found for corner;

THENCE South 46 deg. 47 min. 00 sec. West, a distance of 66.31 feet to the PLACE OF BEGINNING and containing 29,737.58 square feet or 0.683 of an acre of land.



AMERICA ALEJANDRA FUERTE
A/K/A AMERICA A. FUERTE
INST.NO. 20220000005945
D.R.R.C.T.

ELEVATION DATUM PER NAVD88.

THIS CERTIFICATION DOES NOT TAKE INTO
CONSIDERATION ADDITIONAL FACTS THAT AN
ACCURATE TITLE SEARCH AND OR
EXAMINATION MIGHT DISCLOSE.

This parcel depicted hereon is a true, correct, and accurate representation of the property as determined by survey; The lines and dimensions of said property being as indicated by the plat; The size, location, and type(s) of building(s) are as shown, all improvements being within the boundaries of the property setback from the property lines the distance indicated.

TITLE AND ABSTRACTING WORK FURNISHED BY NOHA DAWIT

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 30'

Date: 06-12-2025

G. F. No.: N/A

Job no.: 202102597-01

Drawn by: BM

USE OF THIS SURVEY FOR ANY OTHER PURPOSE
OR OTHER PARTIES SHALL BE AT THEIR RISK
AND UNDERSIGNED IS NOT RESPONSIBLE TO
OTHER FOR ANY LOSS RESULTING THEREFROM.

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR

NOHA DAWIT



LEGEND	
WOOD FENCE	IRON FENCE
CHAIN LINK	WIRE FENCE
BOUNDARY LINE	EASEMENT SETBACK
CM - CONTROLLING MONUMENT	MRD - MONUMENT OF RECORD DIGNITY
POINT FOR CORNER	1/2" IRON ROD WITH CAP STAMPED "BURNS SURVEYING" SET
X-CUT FOUND OR SET (AS NOTED)	FENCE POST FOR CORNER
MONUMENT FOUND	EM - ELECTRIC METER
CABLE	ELECTRIC
CLEAN OUT	PE - POOL EQUIP
GAS METER	POWER POLE
FIRE HYDRANT	TELEPHONE
LIGHT POLE	WATER METER
MANHOLE	WATER VALVE
(UNLESS OTHERWISE NOTED)	



CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

**ORDER OF THE BOARD OF ADJUSTMENT
OF THE CITY OF ROCKWALL, TEXAS**

ORDER NO. BOA 2025-3-V

WHEREAS, the Board of Adjustment held a public hearing on the 9th day of October, 2025 consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

WHEREAS, the applicant requested a variance from the said code of ordinance to allow the expansion of a non-conforming structure to elevate the existing manufactured home above the Base Flood Elevation

WHEREAS, after due consideration and discussion it appears that the granting of such variances would not cause an adverse effect on the surrounding properties and would not be contrary to the public interest.

**NOW, THEREFORE BE IT ORDERED BY THE BOARD OF
ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS:**

Section 1. That all of the above premises are found and determined to be true and correct and are incorporated into the body of this order as if copied in their entirety.

Section 2. That the request from the applicant for this Board to grant a variance from Rockwall Code of ordinance, be and in the same is hereby granted so as to allow an Expansion of a Non-Conforming Structure. to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place

Section 3. That the Building Official of the City is hereby authorized and directed to issue the appropriate permits, if any, for the above described property under the terms and conditions of this Order.

Section 4. That this Order was passed by the concurring vote of at least four (4) members of the Board of Adjustment and is effective as of the 9th day of October, 2025.

ATTEST:


Secretary

APPROVED:


Chairman



CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: November 3, 2025

SUBJECT: MIS2025-018; *Exception to the Exterior Material Requirements for 370 Eva Place*

On October 9, 2025, the Board of Adjustments (BOA) approved a motion to grant a special exception for *Case No. BOA2025-3-V* by a vote of 4-2, with Board Members Carr and Rohlf dissenting. This case was a request for the expansion of a *legally non-conforming structure*. More specifically, the applicant -- *Noah Dawit* -- was requesting to elevate an existing manufactured home, located at 370 Eva Place, above the base elevation using wooden stilts. This request was made in accordance with Subsection 04.03(H) of Article 02, *Development Review Authority*, of the Unified Development Code (UDC) -- *which allows the Board of Adjustments (BOA) to authorize special exceptions for the expansion of a legally non-conforming structure* -- and which states the following:

Expansion of a Non-Conforming Structure. To authorize the enlargement, expansion or repair of a non-conforming structure in excess of 50% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel.

A copy of the approved order and the minutes from this case has been provided in the City Council's packet for their review. Since the Board of Adjustments (BOA) granted the special exception request, the applicant is required to meet all provisions of Planned Development District 75 (PD-75), which stipulates finishing the exterior of the structure in a minimum of 80.00% standard masonry materials and which may utilize a total of 60.00% HardiBoard or a similar cementitious material (*i.e. 50.00% of the 80.00% masonry requirement [i.e. 40.00% of the façade] with the remaining 20.00% able to be any building material allowed by the City*). Alternatively, since the existing manufacture home is being expanded this request could also be seen as falling under the *Manufactured Home Replacement* program, which stipulates that all new manufactured homes meet the following minimum standards:

- (1) The manufactured home shall be permanently attached to a concrete foundation.
- (2) The primary roof pitch is a minimum of 3:12 inches.
- (3) At least 90.00% of the exterior materials, including the skirting material, excluding doors and windows, must be comprised of HardiBoard lap siding or a similar durable cementitious lap siding material with a minimum width of 6¼-inches.
- (4) The proposed manufactured home is newer and larger in living space than the prior manufactured home.

Based on these requirements, the applicant is requesting a *Special Request* in accordance with Subsection 3(c) of *Ordinance No. 16-01 [Planned Development District 75 (PD-75)]*, which states "... (t)he City Council may consider special requests in the Lake Rockwall Estates Subdivision ... Such request(s) may include, but not necessarily be limited to the use of alternate building materials, reductions in the building setbacks, exceptions to the fencing requirements, or other requests submitted for consideration to the Planning and Zoning Department. Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve special request(s). Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code. Such special requests may be denied by the City Council by the passage of a motion to deny." In this case, the applicant is proposing to allow the use of the existing exterior materials on the manufactured home, which appear to be a composite board or OSB panel. Staff should note that since the manufactured home will be raised using wood pilings, standing between 6.40-feet and ten (10) feet above grade, and is currently and will continue to be fully situated within a 100-year floodplain, the manufactured home will not be incorporating a skirting around the bottom of the structure.

As noted in the Board of Adjustments (BOA) memorandum, staff is obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant has been approved for. In addition, the applicant has made unpermitted improvements on the property that regardless of the City Council's decision will need to either be properly permitted or removed from the property prior to the issuance of any additional building permits. With all this being said, this case is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. On October 28, 2025, the Planning and Zoning Commission approved a motion to recommend denial by a vote of 4-3, with Commissioners Hustings, Brock, and Roth dissenting. Should the City Council have any questions concerning this case, staff and the applicant will be available at the November 3, 2025 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 370 Eva Place

SUBDIVISION Rockwall Lake Estates Ph 2

LOT 774-6A BLOCK _____

GENERAL LOCATION Rockwall Lake

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential

CURRENT USE _____

PROPOSED ZONING Residential

PROPOSED USE _____

ACREAGE 0.7

LOTS [CURRENT] 3

LOTS [PROPOSED] 3

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Noha Dawit

☐ APPLICANT _____

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 12414 Granite Falls Trl

ADDRESS _____

CITY, STATE & ZIP ENSCO TX 75035

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

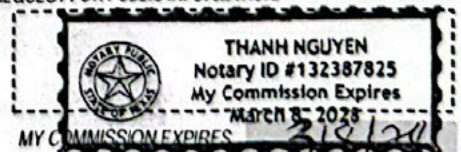
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Noha Dawit [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

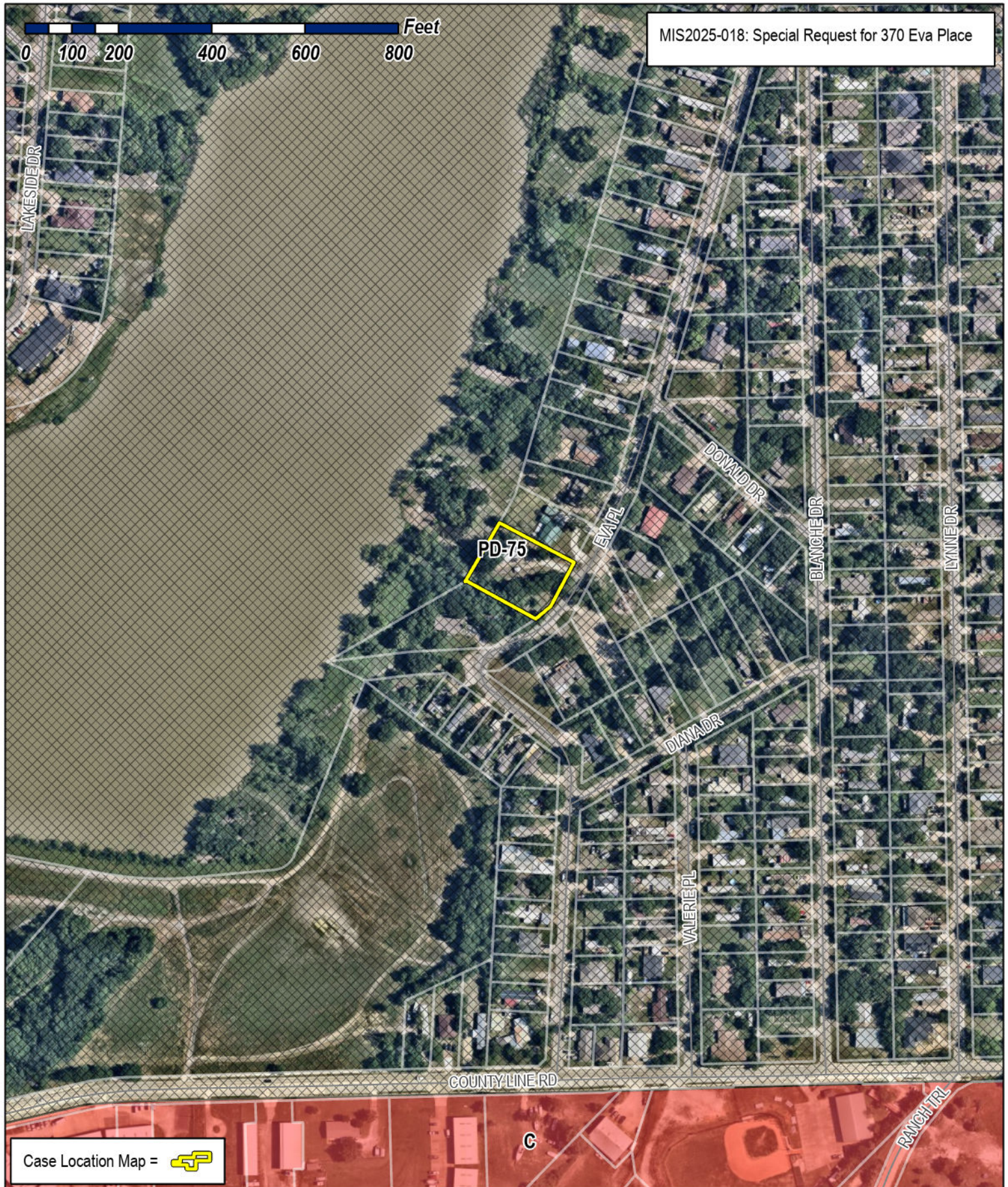
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF Oct, 2025

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Property at:
370 Eva Place Rockwall, TX 75032

CURRENT MATERIALS



**Steel "I"
Beam**

Concrete footer



**Single Treated 2 x
12 support joist**

PROPOSED MATERIALS



15 - 12 x 12 x 28' Treated Wood Pilings



Pressure Treated 3" x 12" x LF
Brown Ground Contact Lumber a.

20 - Rough Cut; Treated; 3" x 12" Beams



2 x 12, Pine, No.
1, Pressure
Treated (MCA)

24 - 2" x 12" x 24' #1 Treated Pine Boards

3/4" x 10" Conquest A307 Grade A Hex
Bolt - Hot Dip Galvanized
★★★★



10.9mm 7.8kN.m



Simpson Strong-
Tie BP 3/4 HDG -
3/4" Bolt Dia. 2"

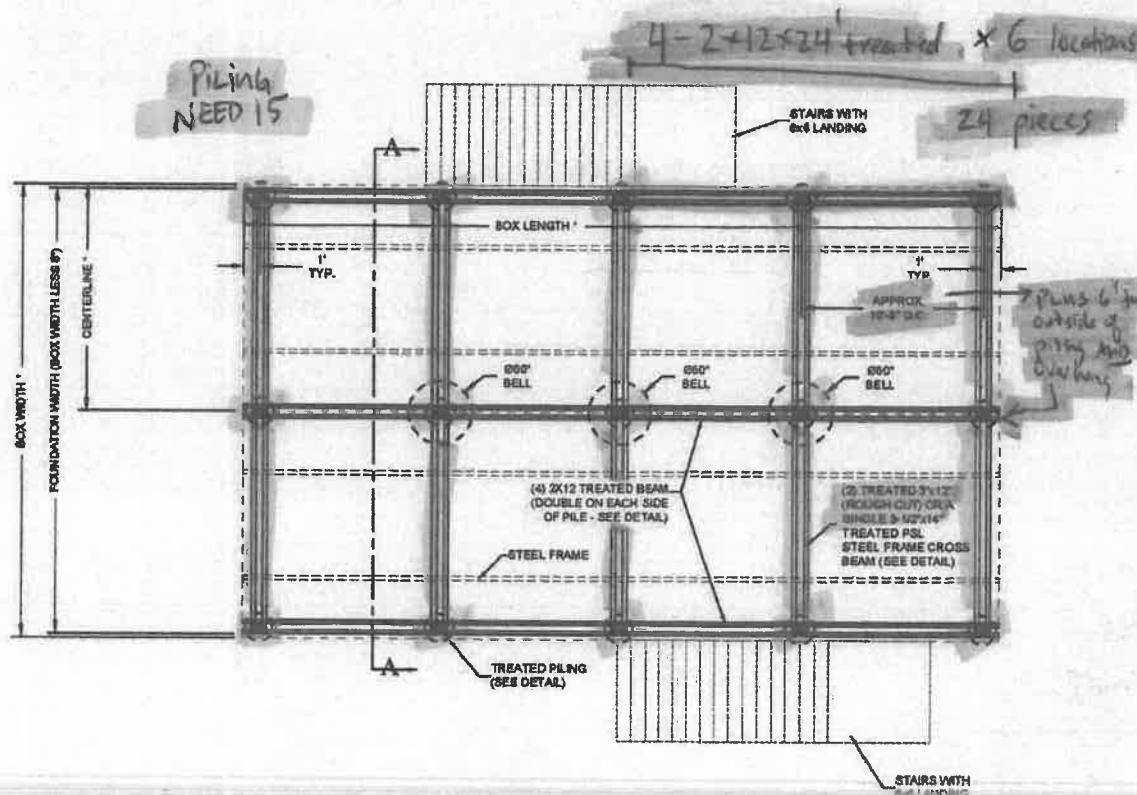
3/4"-10 Conquest Heavy Hex Nut,
A307 Grade A - Hot Dip Galvanized
★★★★



3/8"-7 x 3"
Conquest Hex
Head Lag Bolt f.

Galvenized Fasteners

PILING FOUNDATION - PLAN VIEW



FINAL DIMENSIONS MUST BE OBTAINED FROM THE MANUFACTURER PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS.



PROJECT:
NOHA DAWIT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75032



By J. Martin Montgomery
Date: 2025.08.01
090613-05007

J. MARTIN MONTGOMERY
REGISTERED PROFESSIONAL
ENGINEER STATE OF TEXAS
NO. 90427
RC ENTERPRISES, LP F-2071

REV NO/DATE: 2/07/12/05

ISSUE DATE: 05/12/25

DRAWN BY: JBA

SCALE: NONE 8.5x11

SHEET:

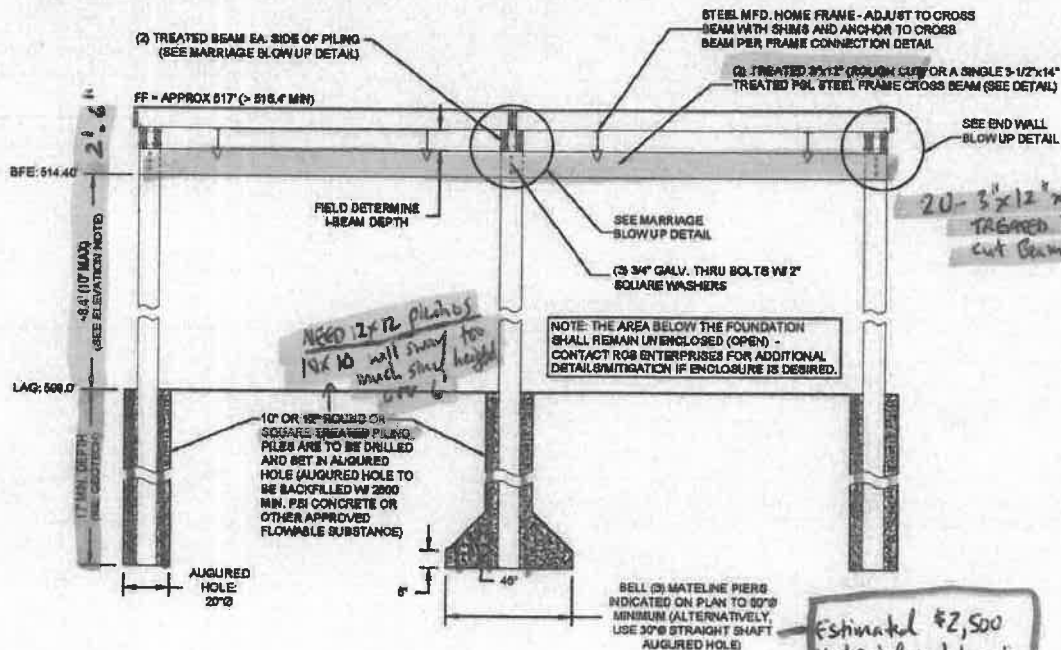
1

DESCRIPTION: WZ1 MANU BLENDED PILING FOUNDATION

BOX SIZE: 27' X 40'

MODEL: TWIN PEAKS

PILING FOUNDATION - SECTION DETAIL



A-A DETAIL

ELEVATION NOTE:
 SURVEY BY BARRY S RHODES, SURVEYOR, DATED 04/05/2021, AND CORRESPONDENCE* WITH CITY ENGINEERING DEPARTMENT (MADELYN PRICE, P.E.):
 BFE: 514.40'; ZONE: A;
 LOWEST ADJACENT GRADE: 508.0';
 HIGHEST ADJACENT GRADE: 508.0';
 ELEVATION OF LOWEST HORIZONTAL: 514.40' (BFE);
 MINIMUM FINISHED FLOOR: 516.40' (BFE + 2')

ELEVATION MEASUREMENTS MUST REFERENCE THE SURVEY BENCHMARK

*THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THE INFORMATION PROVIDED BY THE CITY IS ACCURATE PRIOR TO SETTING THE HOME. IN ADDITION, A FINAL ELEVATION CERTIFICATE WILL BE REQUIRED CONFIRMING THE REQUIRED ELEVATIONS.

FLOODWAY NOTE:
 THIS FOUNDATION IS DESIGNED TO RESIST FLOATION, COLLAPSE OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION.



NOHA DAWT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75032



fwj
 J. Martin Montgomery
 Registered Professional Engineer
 State of Texas
 No. 90427
 Expires 09/01/2024

J. MARTIN MONTGOMERY
 REGISTERED PROFESSIONAL
 ENGINEER STATE OF TEXAS
 NO. 90427
 RCS ENTERPRISES, LP F-2071

REV NO/DATE: 2/07/2022

APPROVED FOR: J. Martin Montgomery

DRAWN BY: JBA

SCALE: NONE 8x11

SHEET:

2

DESCRIPTION: VET2 BANY ELEVATED PILING FOUNDATION
 PROJECT: NOHA DAWT
 BOX SIZE: 27" X 48"
 MODEL: TWIN PEAKS

Total Piling Length =
 12 x 12 x 28'

NEED 2x12 pilings
 10x10 well away from
 much stuff height

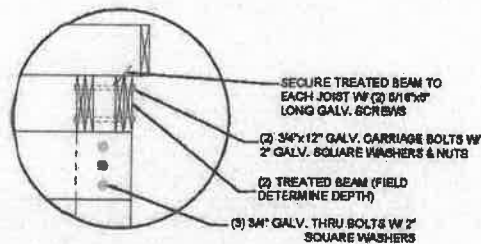
NOTE: THE AREA BELOW THE FOUNDATION SHALL REMAIN UNENCLOSED (OPEN) - CONTACT RCS ENTERPRISES FOR ADDITIONAL DETAIL/SIMULATION IF ENCLOSURE IS DESIRED.

Estimated \$2,500
 Material + labor to
 backfill concrete &
 stabilized sand.

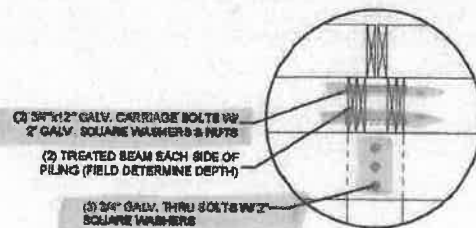
ENGINEER APPROVED THIS
 DESIGN LAG = 507.67
 DESIGN HIG = 508.8
 AS PER EC

NEED 6" MINIMUM BUFFER
 TO MAKE 100% SURE WE MEET
 HEIGHT REQUIREMENT

PILING FOUNDATION - CONSTRUCTION DETAILS

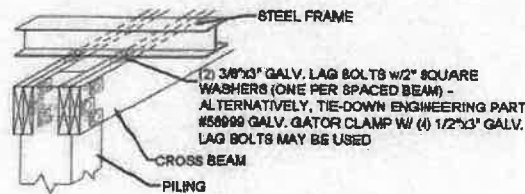


END WALL BLOW UP DETAIL

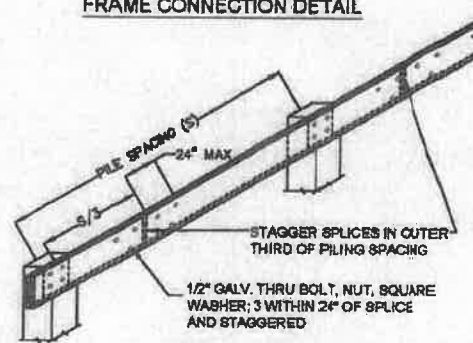


MARRIAGE BLOW UP DETAIL

5-16' BOLTS/NUTS
10 - SQUARE WASHERS
PER PILING



FRAME CONNECTION DETAIL



BEAM SPLICE DETAIL

- NOTES:
1. DETAIL APPLICABLE TO CONVENTIONAL LUMBER
 2. ALL SPLICES MUST BE IN THE OUTER THIRD OF THE PILING SPACING
 3. DO NOT BOLT THROUGH SPLICES



PROJECT:
NOHA DAWIT
PROPERTY ADDRESS:
370 EVA PLACE
ROCKWALL, TX 75032



signed by J. Martin Montgomery
Date: 2025/08/01
09/06/18 - 05/00'

J. MARTIN MONTGOMERY
REGISTERED PROFESSIONAL ENGINEER STATE OF TEXAS
NO. 90427
RCS ENTERPRISES, LP P-2011

REV NO DATE: 2 07/31/25

DRAWN BY: JBA

SCALE: NONE 8.5x11

SHEET:

3



City of Rockwall
The New Horizon

MEMORANDUM

TO: Board of Adjustment Members

FROM: Craig Foshee, Building Inspections Plan Examiner

DATE: October 2, 2025

SUBJECT: Variance request – BOA-2025-3-V for 10/9/2025 Meeting

Noah Dawit of 370 Eva Place is requesting a public hearing to discuss and consider a Variance to allow for the expansion of a non-conforming structure. The applicant is requesting to elevate the existing manufactured home between 6.4-feet to ten (10) feet using treated wood pilings in order to raise the structure above the base flood elevation. In this case, the applicant has stated that he would like to utilize the existing structure in lieu of constructing a new manufactured home.

According to Section 04.03(H) of Article 2, *Development Review Authority*, of the Unified Development Code (UDC), the Board of Adjustments (BOA) may, in its judgement, authorize "...the enlargement, expansion or repair of a non-conforming structure in excess of 50.00% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel." According to the letter provided by the applicant the anticipated cost of the scope of work is between \$36,000-\$42,000, and based on the Rockwall Central Appraisal District (RCAD) the current value of the structure on the subject property is \$50,601. This means that the scope of work would equate to 71.14%-83.00% of the value of the existing structure.

In reviewing requests for variances, the Board of Adjustments (BOA), pursuant to the powers conferred upon it by state law, is asked to consider the following criteria:

- (1) If such variance will substantially or permanently injure the appropriate use of adjacent property in the same district;
- (2) If such variance will adversely affect the health, safety or general welfare of the public;
- (3) If such variance will be contrary to the public interest;
- (4) If such variance will authorize the operation of a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located;
- (5) If such variance will be in the harmony with the spirit and purpose of the Unified Development Code (UDC);
- (6) If such variance will alter the essential character of the district in which the property is located and for which the variance is sought;

- (7) If such variance will substantially weaken the general purposes of the zoning regulations established for the district in which the property is located;
- (8) If the variance is due to special conditions, a literal enforcement of the Unified Development Code (UDC) would result in unnecessary hardship;
- (9) If the plight of the owner of the property for which the variance or exception is sought is due to unique circumstances existing on the property, including, but not limited to, the area, shape or slope, and the unique circumstances were not created by the owner of the property and are not merely financial, and are not due to the result of general conditions in the district in which the property is located;
- (10) If the variance or exception is a self-created hardship; and,
- (11) If the variance is clearly identified as a variance to the City's standards on the concept plan, site plan or text of the Unified Development Code (UDC).

In this case, staff is obligated to point out that the property owner purchased the property with the understanding that the subject property was fully within the 100-year floodplain. Staff is also obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant is requesting. In addition, staff should note that applicant recently completed improvements (*i.e. a front yard fence*) without receiving a building permit. Regardless, of if this case is approved or not, the applicant will be required to remove all unpermitted improvements on the property.

When reviewing this case, it appears that if the case is approved it will constitute a self-created hardship and could potentially create a precedent for other properties in the Lake Rockwall Estates Subdivision; however, requests for variances are discretionary decisions for the Board of Adjustments (BOA). Staff should point out that if this case is approved, the applicant will be required to meet all the zoning requirements of Planned Development District 75 (PD-75). This means the exterior of the manufactured home would be required to be clad in HardiBoard.

On September 25, 2025, staff mailed 23 notices to property owners within 200-feet of the subject property. As of the date of this memorandum, staff has received one (1) response in favor of the applicant's request and one (1) response opposed to the applicant's request. Should the Board of Adjustments (BOA) have any questions, staff will be available at the October 9, 2025 meeting.



City of Rockwall
The New Horizon

Public Notice

The City of Rockwall Board of Adjustments will hold a public hearing on **Thursday, October 9th, 2025, at 6:00 p.m.**, in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

BOA-2025-3-V

Hold a public hearing to discuss and consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688 acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

As an interested property owner, you are invited to attend this meeting and/or express your thoughts in writing by returning the form below. To ensure that your comments are included in the information sent to the Board of Adjustments, please return the completed form below by **October 1, 2025**.

If you have any questions regarding this matter, please contact:

Craig Foshee
Rockwall Building Inspection Dept.
385 S. Goliad Street
Rockwall, TX 75087

Email: cfoshee@rockwall.com
Phone: (972) 772-6774

(Please return portion of form below the dotted line)

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

_____ I am in favor of the request for the reasons listed below

_____ I am opposed to the request for the reasons listed below





Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below

☐ I am opposed to the request for the reasons listed below

Im in Favor of my neighbor raising his home because
it will keep his place safe from flooding

385 South Goliad

Rockwall, Texas 75087

(972) 772-6748

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below

☒ I am opposed to the request for the reasons listed below

Since all the property "North" of Eva Place is "Flood Zone" property, it was "Never" to
be developed for housing by the original owners/management! I own property
on the South side of Eva Place & do not want to view houses/trailers
on pilings!! All property south should have a beautiful view of
the lake with a grassy area down to the water for "Everyone" to be
able to access the lake! This area was to be a "parks and recreation area"
for everyone! Whatever company purchased the vacant land was

~~385 South Goliad~~

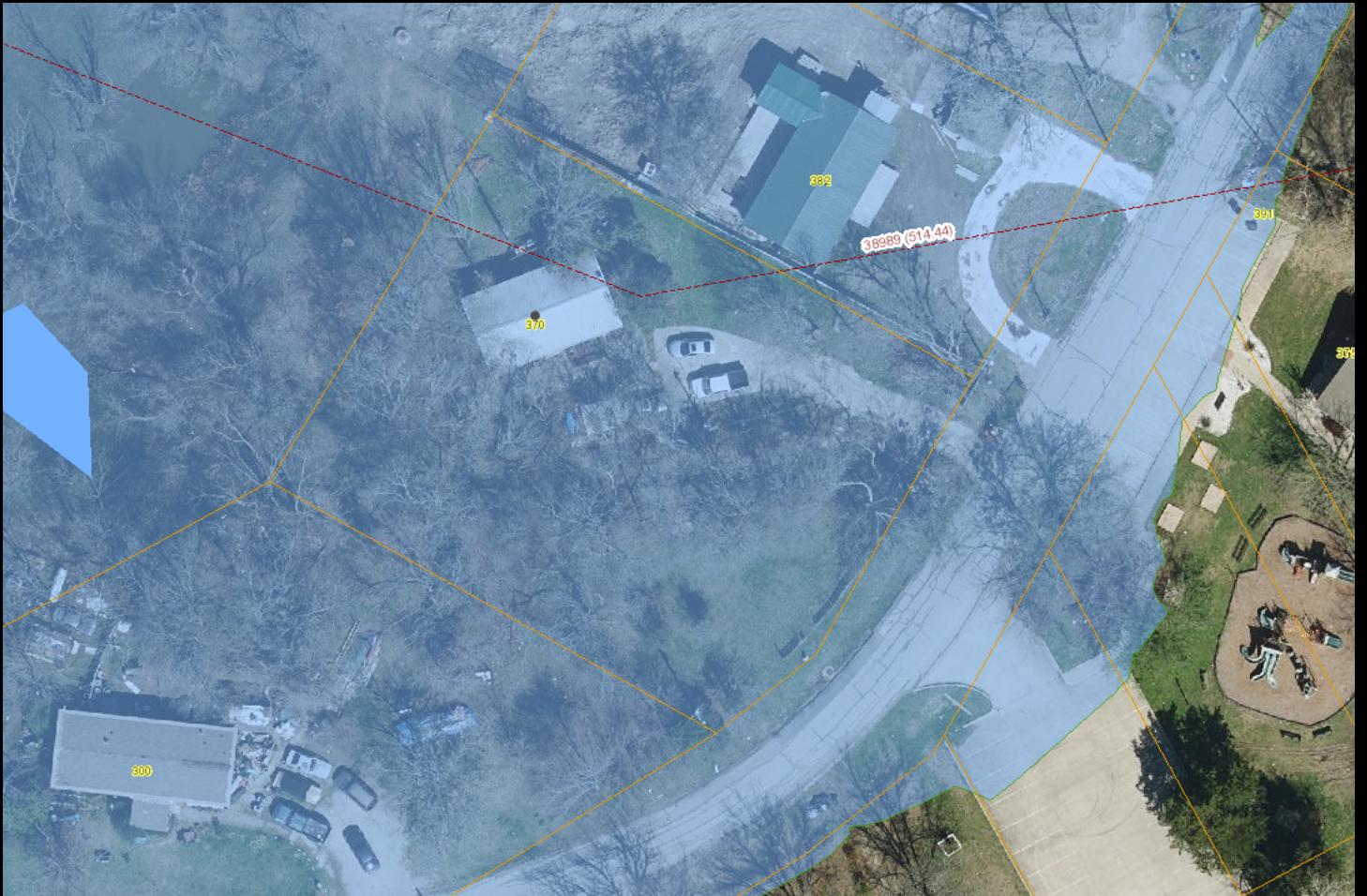
~~Rockwall, Texas 75087~~

~~(972) 772-6748~~

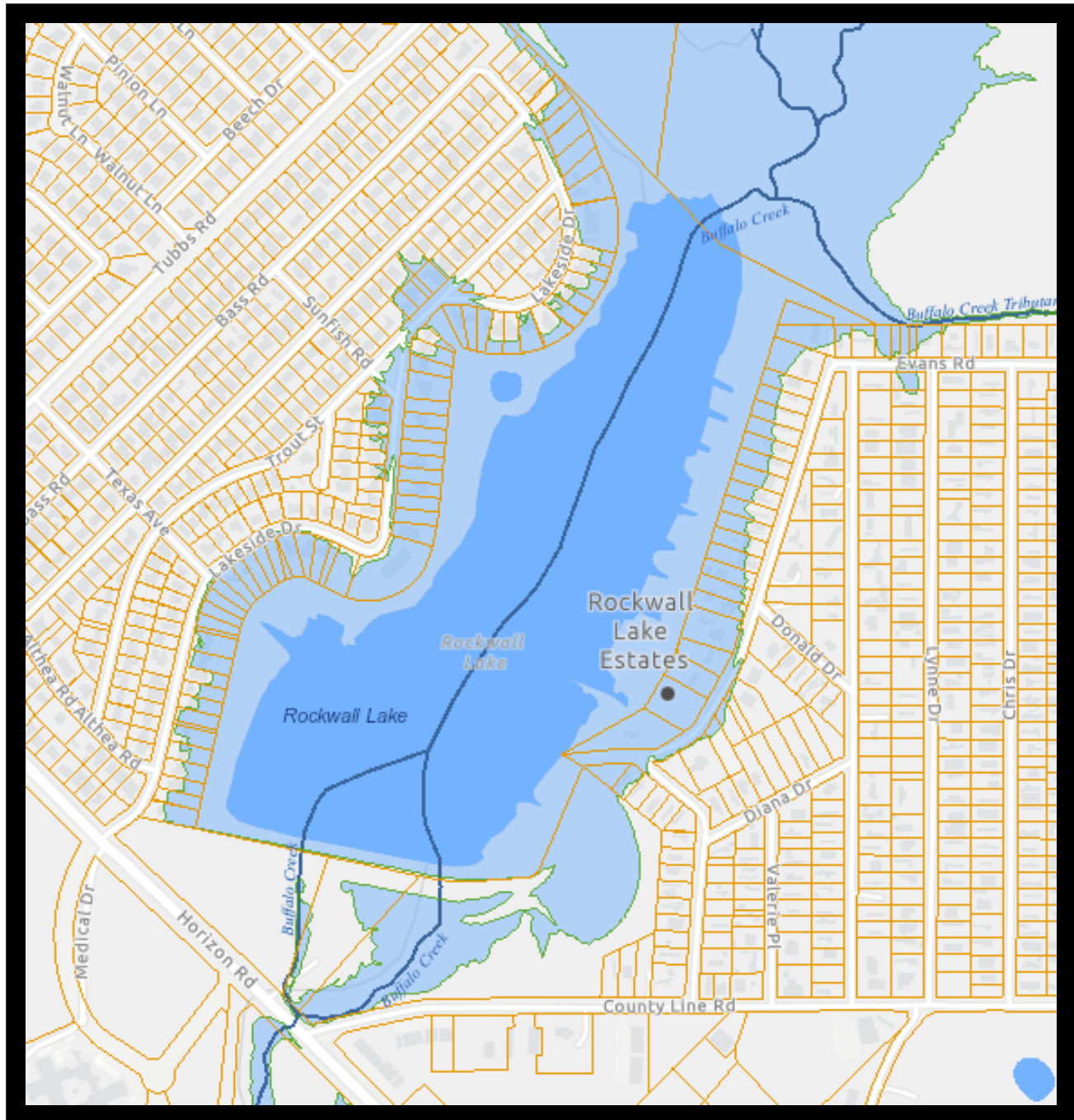
taking advantage of the buyers selling property in a flood zone.
Therefore, I oppose this request. Thank you for allowing property
owners to vote on this!

Doana Bice Hilsenfeld - 305 Eva Place

Area in Blue is the flood Plain



Area in Blue is the flood Plain



7509 PENNRIDGE CIRCLE
ROWLETT, TX 75088

SURVEY PLAT

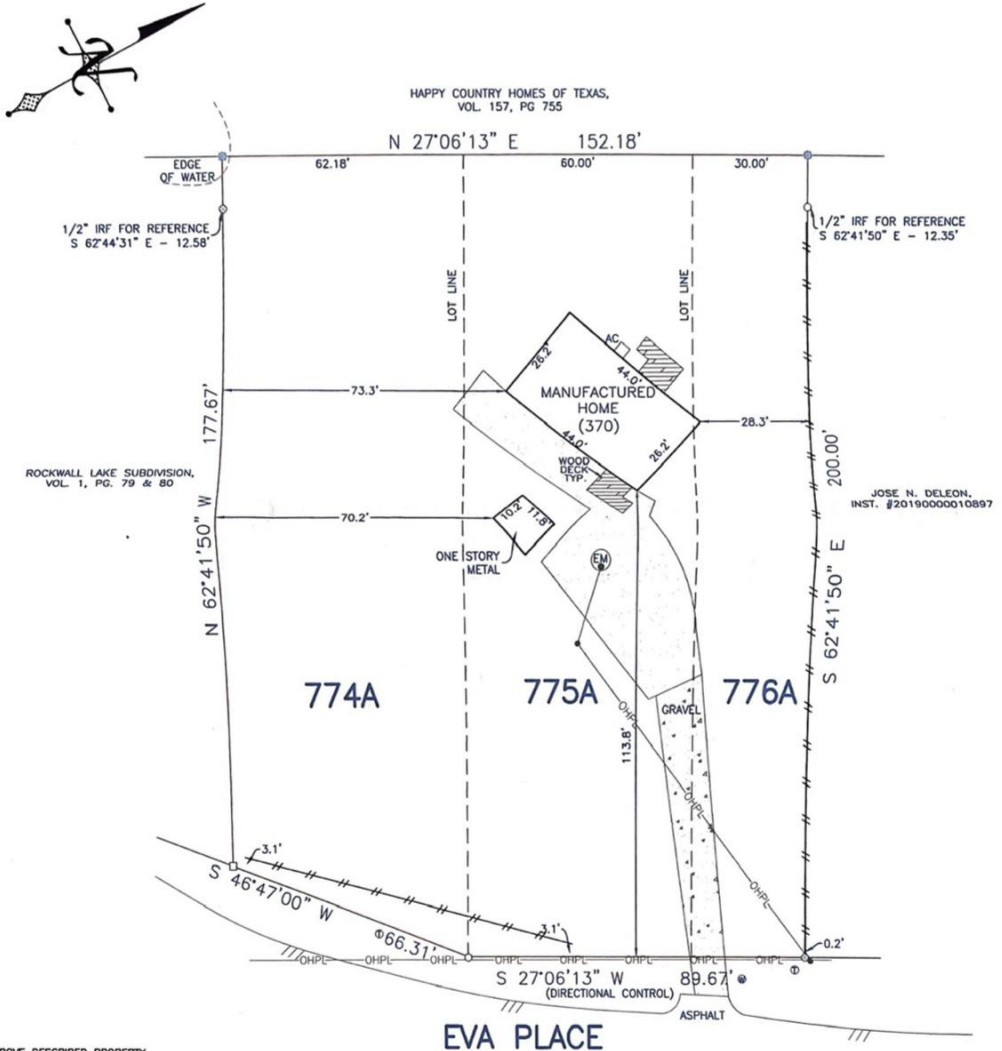


FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 370 EVA PLACE, in the city of ROCKWALL, Texas.

Being Lots 774-A, 775-A, and one half of 776-A, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an addition in Rockwall County, Texas, according to the map or plat thereof, recorded in Cabinet A, Slide 79 and 80, Plat Records, Rockwall County, Texas.



THE ABOVE DESCRIBED PROPERTY DOES LIE IN A FLOOD HAZARD AREA ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.

48397C0040L, DATED 09/26/2008. PROPERTY IS ENTIRELY IN ZONE A

BEARINGS ARE BASED ON NAD 83 DATUM, TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE

PROPERTY SUBJECT TO EASEMENTS & RESTRICTIONS
Volume 97, Page 153; Volume 158, Page 955;
Volume 264, Page 947; Volume 641, Page 218;
Volume 51, Page 118; Volume 55, Page 164,
Volume 59, Page 519

ACCEPTED BY: _____

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements as are shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY ALLEGIANCE TITLE

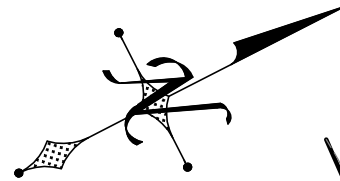
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.
Scale: 1" = 30'
Date: 04/05/21
G. F. No.: 21118387-ALMK
Job no.: 202102597
Drawn by: JM
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR ALLEGIANCE TITLE

LEGEND	
WOOD FENCE	---X---
IRON FENCE	---O---
BOUNDARY LINE	---
ADJUTANT'S TRACK	---
WIRE FENCE	---
CA - CONTROLLING SURROUND	
MONUMENTS OF RECORD DIGNITY	
1/2" IRON ROD FOUND	○
3/4" YELLOW-CAPPED IRON ROD SET	○
1 1/8" IRON ROD FOUND	○
5/8" IRON ROD FOUND	○
POINT FOR CORNER	○
CABLE	○
CLEAN OUT	○
GAS METER	○
FIRE HYDRANT	○
LIGHT POLE	○
MANHOLE	○
UNLESS OTHERWISE NOTED	
PE - POOL EQUIP	
POW. POLE	
TELEPHONE	
WATER METER	
WATER VALVE	



Allegiance TITLE COMPANY





HAPPY COUNTRY HOMES OF TEXAS,
VOL. 157, PG 755
D.R.R.C.T.

2701 SUNSET RIDGE DRIVE, STE 303
ROCKWALL, TEXAS 75032
FIRM REGISTRATION NO. 10194366

TOPO SURVEY



BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at 370 EVA PLACE, in the City of ROCKWALL, ROCKWALL County, Texas.

STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING all of Lots 774A and 775A, and a part of Lot 776A, Rockwall Lake Properties Development, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, Plat Records, Rockwall County, Texas (P.R.R.C.T.), being a tract of land described in deed to Noha Dawit, recorded under Instrument No. 20240000018619, Deed Records, Rockwall County, Texas (D.R.R.C.T.), and being more particularly described by the following metes and bounds description:

BEGINNING at a ½ inch iron pipe found in the Northwest line of Eva Place, at the East corner of a tract of Lot 773A of said Rockwall Lake Properties Development, being the South corner of herein described tract of land;

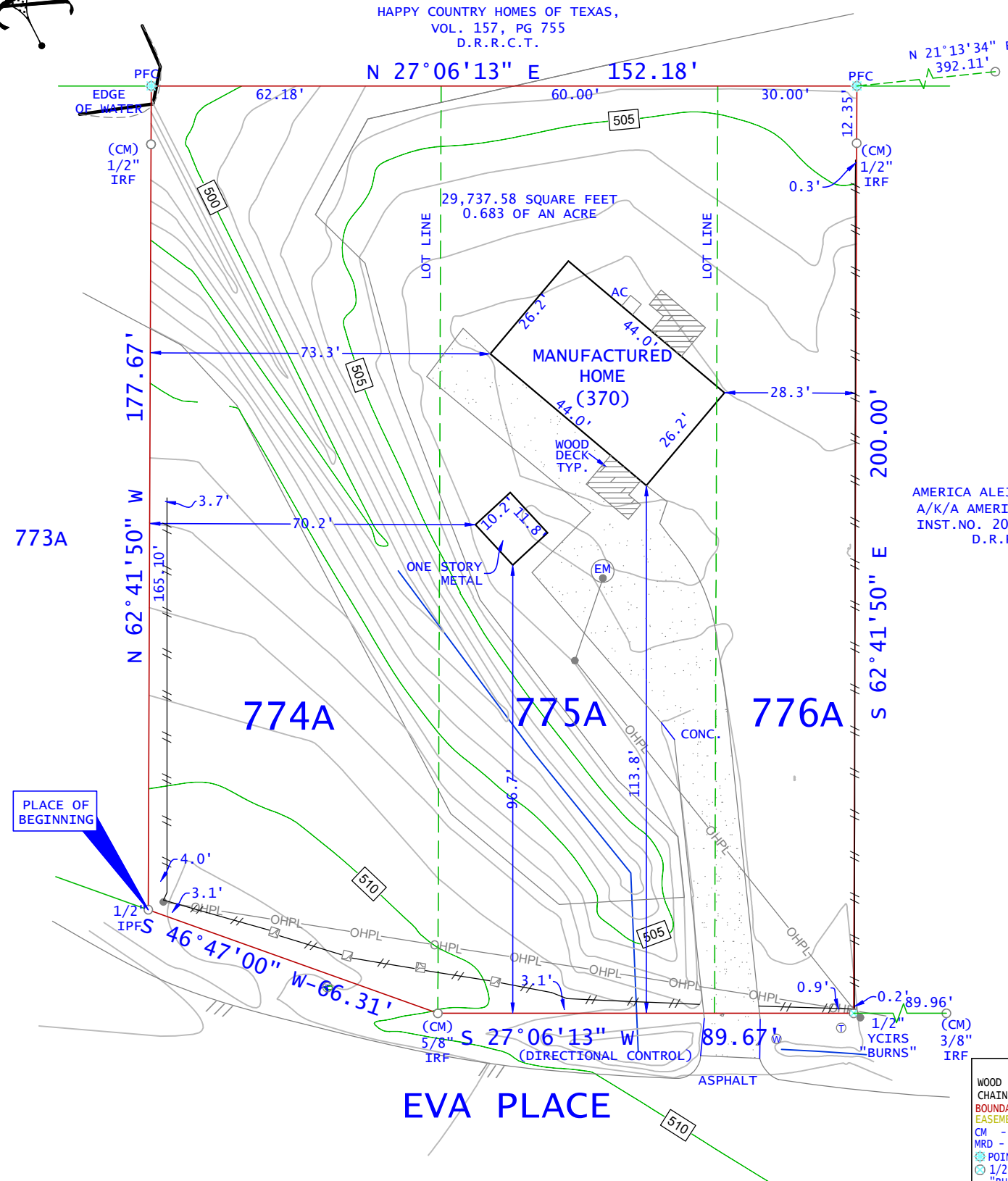
THENCE North 62 deg. 41 min. 50 sec. West, passing at a distance of 165.10 feet a ½ inch iron rod found on line for reference and continuing for a total distance of 177.67 feet to a point in the Southeast line of a tract of land described in deed to Happy Country Homes of Texas, recorded in Volume 157, Page 755 (D.R.R.C.T.), at the North corner of said Lot 773A;

THENCE North 27 deg. 06 min. 13 sec. East, a distance of 152.18 feet to a point at the West corner of a tract of land described in deed to America Alejandra Fuerte a/k/a America A. Fuerte, recorded under Instrument No. 20220000005945 (D.R.R.C.T.);

THENCE South 62 deg. 41 min. 50 sec. East, passing at a distance of 12.35 feet a ½ inch iron rod found on line for reference and continuing for a total distance of 200.00 feet to a ½ inch yellow-capped iron rod stamped "Burns Surveying" set in the Northwest line of said Eva Place, at the South corner of said Fuerte tract;

THENCE South 27 deg. 06 min. 13 sec. West, a distance of 89.67 feet to a 5/8 inch iron rod found for corner;

THENCE South 46 deg. 47 min. 00 sec. West, a distance of 66.31 feet to the PLACE OF BEGINNING and containing 29,737.58 square feet or 0.683 of an acre of land.



AMERICA ALEJANDRA FUERTE
A/K/A AMERICA A. FUERTE
INST.NO. 20220000005945
D.R.R.C.T.

ELEVATION DATUM PER NAVD88.

THIS CERTIFICATION DOES NOT TAKE INTO
CONSIDERATION ADDITIONAL FACTS THAT AN
ACCURATE TITLE SEARCH AND OR
EXAMINATION MIGHT DISCLOSE.

This parcel depicted hereon is a true, correct, and accurate representation of the property as determined by survey; The lines and dimensions of said property being as indicated by the plat; The size, location, and type(s) of building(s) are as shown, all improvements being within the boundaries of the property setback from the property lines the distance indicated.

TITLE AND ABSTRACTING WORK FURNISHED BY NOHA DAWIT

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 30'

Date: 06-12-2025

G. F. No.: N/A

Job no.: 202102597-01

Drawn by: BM

USE OF THIS SURVEY FOR ANY OTHER PURPOSE
OR OTHER PARTIES SHALL BE AT THEIR RISK
AND UNDERSIGNED IS NOT RESPONSIBLE TO
OTHER FOR ANY LOSS RESULTING THEREFROM.

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR

NOHA DAWIT



LEGEND	
WOOD FENCE	IRON FENCE
CHAIN LINK	WIRE FENCE
BOUNDARY LINE	EASEMENT SETBACK
CM - CONTROLLING MONUMENT	MRD - MONUMENT OF RECORD DIGNITY
POINT FOR CORNER	1/2" IRON ROD WITH CAP STAMPED "BURNS SURVEYING" SET
X-CUT FOUND OR SET (AS NOTED)	FENCE POST FOR CORNER
MONUMENT FOUND	EM - ELECTRIC METER
- CABLE	- ELECTRIC
- CLEAN OUT	PE - POOL EQUIP
- GAS METER	- POWER POLE
- FIRE HYDRANT	- TELEPHONE
- LIGHT POLE	- WATER METER
- MANHOLE	- WATER VALVE
(UNLESS OTHERWISE NOTED)	



CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

**ORDER OF THE BOARD OF ADJUSTMENT
OF THE CITY OF ROCKWALL, TEXAS**

ORDER NO. BOA 2025-3-V

WHEREAS, the Board of Adjustment held a public hearing on the 9th day of October, 2025 consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

WHEREAS, the applicant requested a variance from the said code of ordinance to allow the expansion of a non-conforming structure to elevate the existing manufactured home above the Base Flood Elevation

WHEREAS, after due consideration and discussion it appears that the granting of such variances would not cause an adverse effect on the surrounding properties and would not be contrary to the public interest.

**NOW, THEREFORE BE IT ORDERED BY THE BOARD OF
ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS:**

Section 1. That all of the above premises are found and determined to be true and correct and are incorporated into the body of this order as if copied in their entirety.

Section 2. That the request from the applicant for this Board to grant a variance from Rockwall Code of ordinance, be and in the same is hereby granted so as to allow an Expansion of a Non-Conforming Structure. to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place

Section 3. That the Building Official of the City is hereby authorized and directed to issue the appropriate permits, if any, for the above described property under the terms and conditions of this Order.

Section 4. That this Order was passed by the concurring vote of at least four (4) members of the Board of Adjustment and is effective as of the 9th day of October, 2025.

ATTEST:


Secretary

APPROVED:


Chairman



DATE: December 5, 2025

TO: Noha Dewit
12414 Granite Falls Trail
Frisco, TX 75035

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: MIS2025-018; *Special Request for 370 Eva Place*

Noha Dewit:

This letter serves to notify you that the above referenced case (*i.e. Miscellaneous Case*) that you submitted for consideration by the City of Rockwall was denied by the Planning and Zoning Commission on November 3, 2025. The following is a record of all recommendations and voting records:

Planning and Zoning Commission

On October 28, 2025, the Planning and Zoning Commission approved a motion to recommend denial of the special request by a vote of 4-3 with Commissioner Brock, Roth, and Hustings dissenting.

City Council

On November 3, 2025, the City Council approved a motion to deny the special request by a vote of 7-0.

Based on Section 212.0093 of the Texas Local Government Code (TLGC), you have the ability to provide a written response and corrected site plan package (*i.e. site plan*) that remedies each reason for the disapproval provided. While no timeline may be established for the applicant to submit the response, please note that since the case was denied a new development application and application fee will be required to be submitted along with the written response and corrected site plan package. Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me at (972) 772-6434.

Sincerely,

Henry Lee, AICP, Senior Planner
City of Rockwall Planning and Zoning Department