



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 370 Eva Place

SUBDIVISION Rockwall Lake Estates Ph 2

LOT 774-6A BLOCK

GENERAL LOCATION Rockwall Lake

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING Residential

CURRENT USE _____

PROPOSED ZONING Residential

PROPOSED USE _____

ACREAGE 0.7

LOTS [CURRENT]

3

LOTS [PROPOSED]

3

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER Noha Dawit

APPLICANT _____

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 12414 Granite Falls Tr1

ADDRESS _____

CITY, STATE & ZIP FORT WORTH TX 76135

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

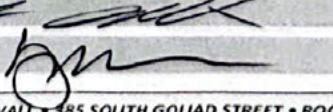
NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Noha Dawit [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF Oct, 2025

OWNER'S SIGNATURE 

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS 



Property at:
370 Eva Place Rockwall, TX 75032

CURRENT MATERIALS



Steel "I"
Beam



Single Treated 2 x
12 support joist

Concrete footer

PROPOSED MATERIALS



15 - 12 x 12 x28' Treated Wood Pilings



Pressure Treated 3" x 12" x 16' Brown Ground Contact Lumber.



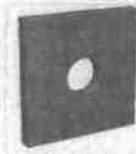
2 x 12, Pine, No.
1. Pressure
Treated (MCA)

20 - Rough Cut; Treated; 3" x 12" Beams

24 - 2" x 12" x 24' #1 Treated Pine Boards

3/4" X 16' Conquest A367 Grade A Hex
Bolt - Hot Dip Galvanized

★★★★★ [View Details](#)



Simpson Strong-Tie BP 3/4HDG -
3/4" Bolt Dia. 24'.

3/8"-16 Conquest Heavy Hex Nut,
A563 Grade A - Hot Dip Galvanized



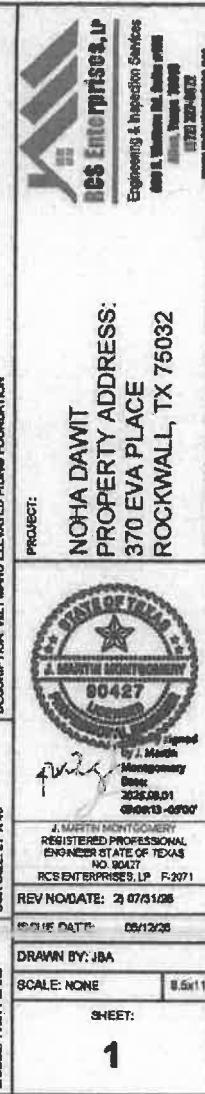
3/8"-7 x 3'
Conquest Hex
Head Lag Bolt.

Galvanized Fasteners

PILING FOUNDATION - PLAN VIEW

卷之三

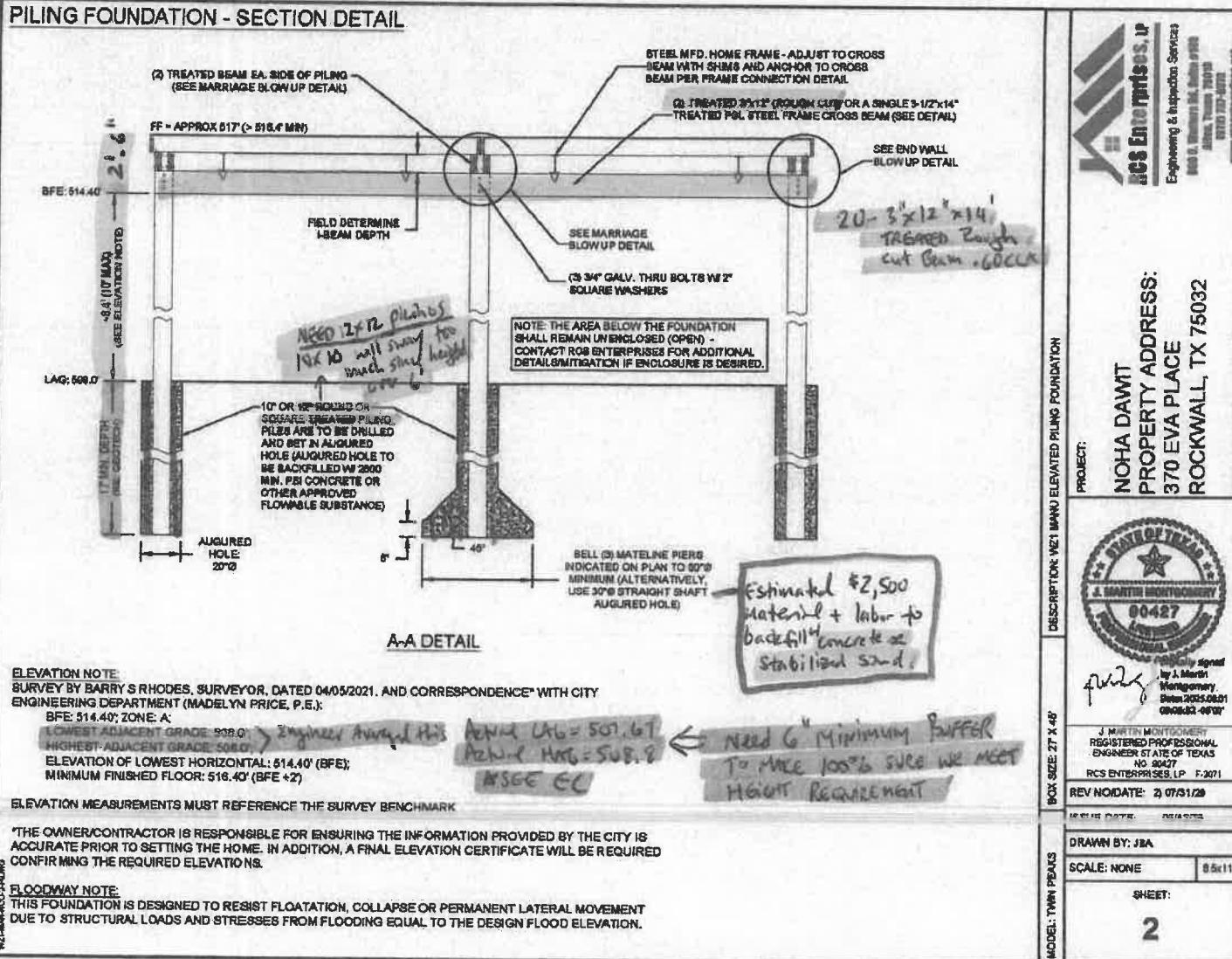
FINAL DIMENSIONS MUST BE OBTAINED FROM THE MANUFACTURER PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS.



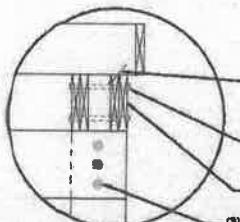
PILING FOUNDATION - SECTION DETAIL

Total
filling
length

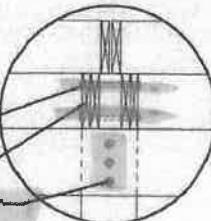
12 * 12 * 28"



PILING FOUNDATION - CONSTRUCTION DETAILS



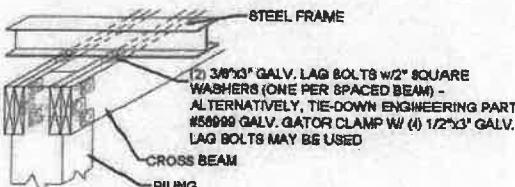
END WALL BLOW UP DETAIL



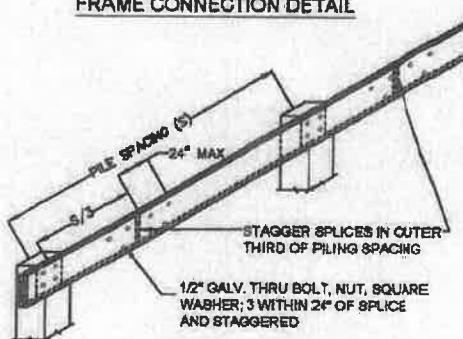
MARRIAGE BLOW UP DETAIL

5-16^l BOLTS/NUTS
10 - SQUARE WASHERS PER PILING

W2L4H4-002-2-PILENG



FRAME CONNECTION DETAIL



BEAM SPICE DETAIL

NOTES:

1. DETAIL APPLICABLE TO CONVENTIONAL LUMBER
2. ALL SPLICES MUST BE IN THE OUTER THIRD OF THE PILING SPACING
3. DO NOT BOLT THROUGH SPLICES

 <p>RCS Enterprises, LP Engineering & Inspection Services 100 E. Sam Houston Pkwy. Suite 2000 Houston, Texas 77002 (800) 727-3872</p>	
<p>PROJECT:</p> <div style="text-align: center;">  <p>J. MARTIN MONTGOMERY NO 00427 000648-0570</p> <p><i>[Handwritten signature]</i></p> </div>	
MODEL: TWIN PEAKS	BOX SIZE: 27 X 18
<p>REV HODATE: 2/07/2025</p>	
<p>DRAWN BY: JBA</p>	
<p>SCALE: NONE 8.5x11</p>	
<p>SHEET: 3</p>	



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LOT 774-6A BLOCK

GENERAL LOCATION Rockwall Lake

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PROPOSED ZONING Residential

PROPOSED USE _____

ACREAGE 0.7

LOTS [CURRENT]

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CONTACT PERSON _____

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CITY, STATE & ZIP FORT WORTH TX 76135

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

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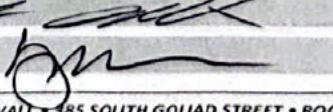
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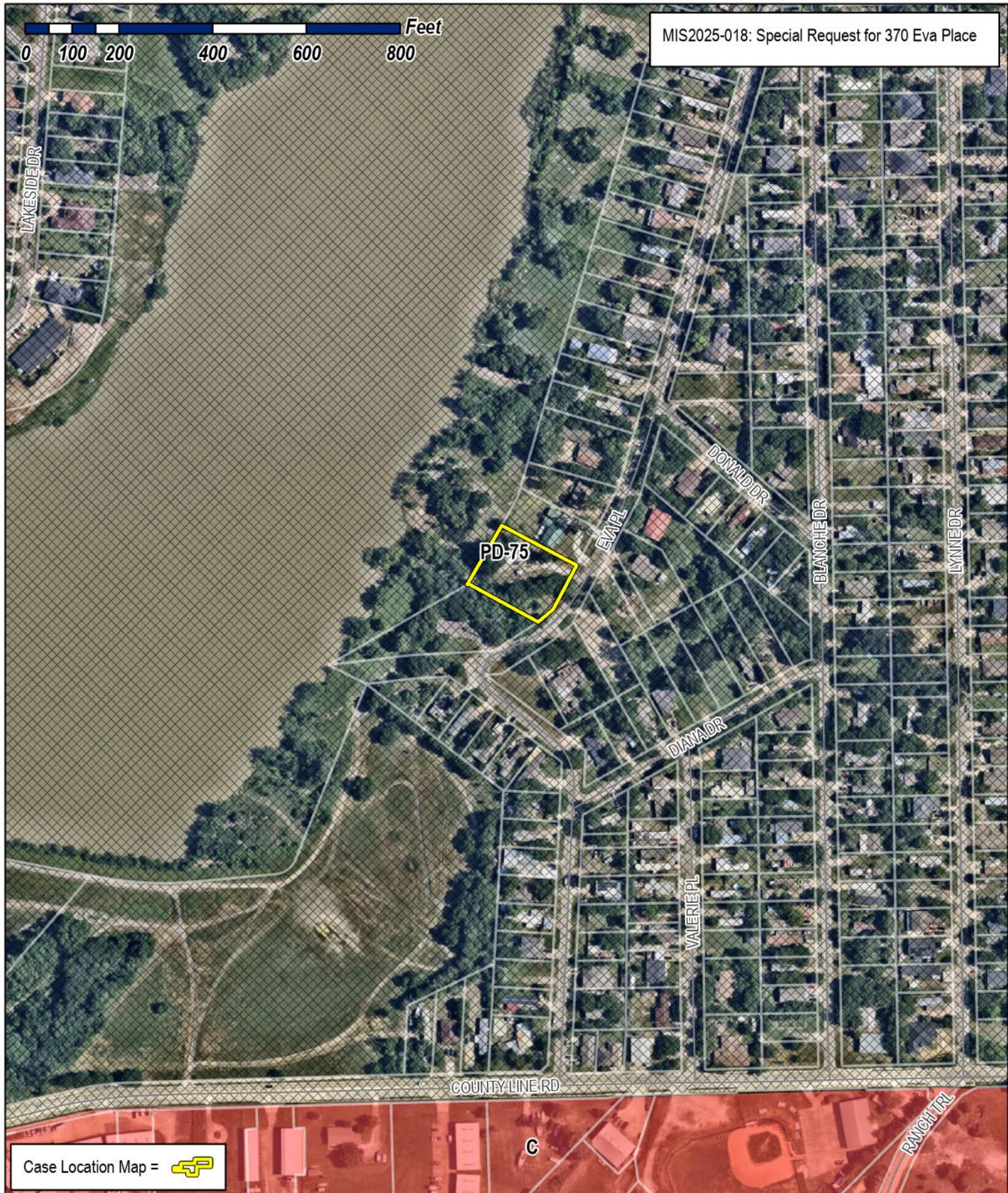
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NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS 





Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Property at:
370 Eva Place Rockwall, TX 75032

CURRENT MATERIALS



Steel "I"
Beam



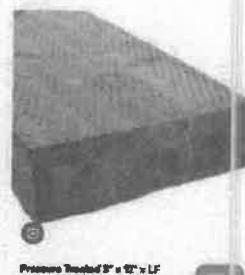
Single Treated 2 x
12 support joist

Concrete footer

PROPOSED MATERIALS



15 - 12 x 12 x28' Treated Wood Pilings

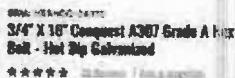


20 - Rough Cut; Treated; 3" x 12" Beams



24 - 2" x 12" x 24' #1 Treated Pine Boards

2 x 12, Pine, No.
1. Pressure
Treated (MCA



3/4" x 16' Conquest A36/ Grade A Hot Dip Galvanized



★★★★★ 五星级评价



Simpson Strong-Tie BP 3/4HDG - 3/4" Bolt Dia. 2



3/4-18 Compact Money Box Set,
ASG3 Grade A - Not Big Collection!



3/8"-7 x 3"
Conquest Hex
Head Lag Bolt

Galvanized Fasteners

PILING FOUNDATION - PLAN VIEW

Piling NEED 15

4-2+12x24' treated, x 6 locations

24 pieces

STAIRS WITH 6x6 LANDING

BOX LENGTH

1' TYP.

1' TYP.

APPROX 10'-3" SC

7 plus 6' to outside of piling and decking

BOX WIDTH (BOX WIDTH LESS 6')

CENTERLINE

FOUNDATION WIDTH (BOX WIDTH LESS 6')

660' BELL

660' BELL

660' BELL

(4) 2X12 TREATED BEAM (DOUBLE ON EACH SIDE OF PILE - SEE DETAIL)

STEEL FRAME

(2) TREATED 3x12' (ROUGH CUT) OR A SINGLE 3x12x14' TREATED PSL STEEL FRAME CROSS BEAM (SEE DETAIL)

TREATED PILING (SEE DETAIL)

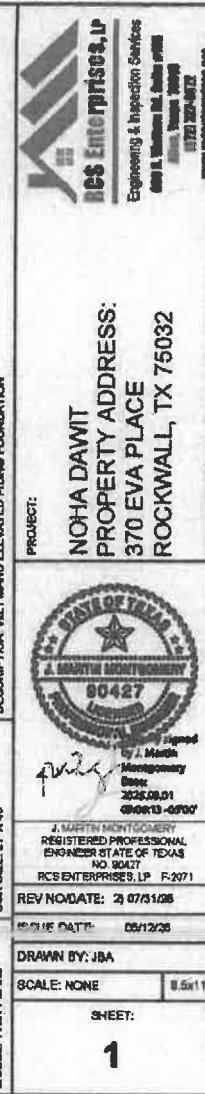
STAIRS WITH

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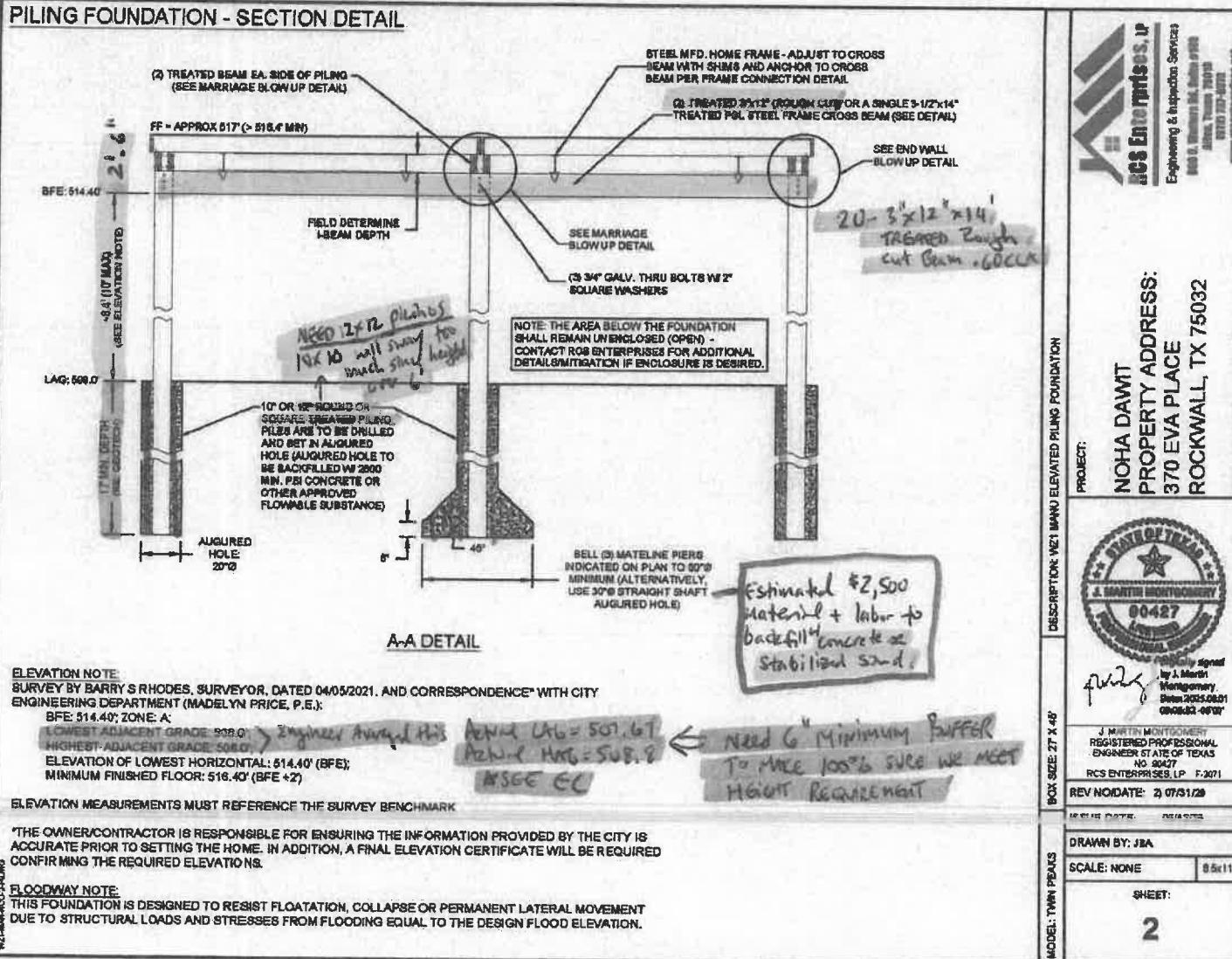
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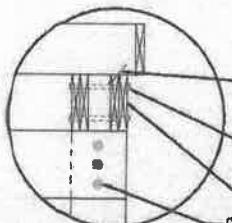
PILING FOUNDATION - SECTION DETAIL

Total
filling
length

12 * 12 * 28"

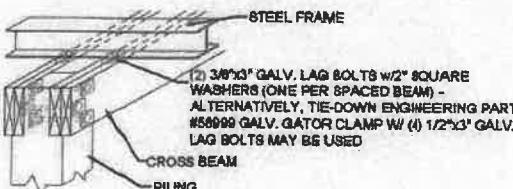


PILING FOUNDATION - CONSTRUCTION DETAILS

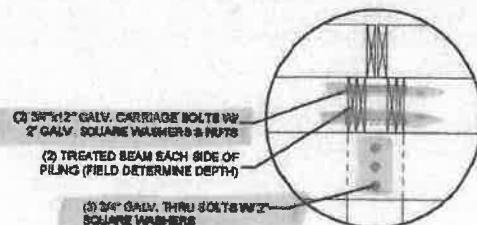


END WALL BLOW UP DETAIL

- (1) SECURE TREATED BEAM TO EACH JOIST W/ (2) 5/16" LONG GALV. SCREWS
- (2) 3/4"X12" GALV. CARRIAGE BOLTS W/ 2" GALV. SQUARE WASHERS & NUTS
- (3) TREATED BEAM (FIELD DETERMINE DEPTH)
- (4) 3/4" GALV. THRU BOLTS W/ 2" SQUARE WASHERS

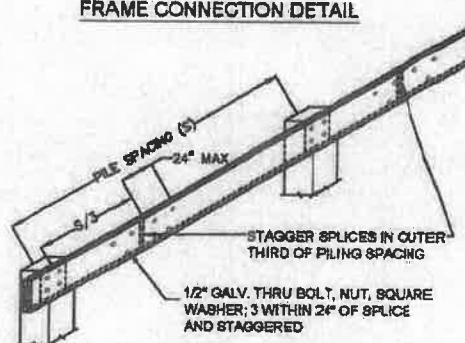


FRAME CONNECTION DETAIL



MARRIAGE BLOW UP DETAIL

5-16" BOLTS/NUTS
10 - SQUARE WASHERS PER PILING



BEAM SPICE DETAIL

NOTES:

1. DETAIL APPLICABLE TO CONVENTIONAL LUMBER
2. ALL SPLICES MUST BE IN THE OUTER THIRD OF THE PILING SPACING
3. DO NOT BOLT THROUGH SPLICES

 <p>RCS Enterprises, LP Engineering & Inspection Services 100 E. University St., Suite 200 Austin, Texas 78701 (512) 727-3872</p>	
<p>PROJECT:</p> <p>NOHA DAWIT 370 EVA PLACE ROCKWALL, TX 75032</p>	
<p>DESCRIPTION: NOHA DAWIT ELEVATED PILING FOUNDATION</p>	
MODEL: TWIN PEAKS	BOX SIZE: 27 X 18
<p>REV HODATE: 2/07/2025</p>	
<p>SIGNED BY: J. Martin Montgomery Date: 03/06/18 - 05/07/01</p>	
<p>J. MARTIN MONTGOMERY REGISTERED PROFESSIONAL ENGINEER STATE OF TEXAS NO. 00427 RCS ENTERPRISES, LP P-2071</p>	
<p>DRAWN BY: JBA</p>	
<p>SCALE: NONE 8.5x11</p>	
<p>SHEET: 3</p>	



City of Rockwall
The New Horizon

MEMORANDUM

TO: **Board of Adjustment Members**
FROM: **Craig Foshee, Building Inspections Plan Examiner**
DATE: **October 2, 2025**
SUBJECT: **Variance request – BOA-2025-3-V for 10/9/2025 Meeting**

Noah Dawit of 370 Eva Place is requesting a public hearing to discuss and consider a Variance to allow for the expansion of a non-conforming structure. The applicant is requesting to elevate the existing manufactured home between 6.4-feet to ten (10) feet using treated wood pilings in order to raise the structure above the base flood elevation. In this case, the applicant has stated that he would like to utilize the existing structure in lieu of constructing a new manufactured home.

According to Section 04.03(H) of Article 2, *Development Review Authority*, of the Unified Development Code (UDC), the Board of Adjustments (BOA) may, in its judgement, authorize "...the enlargement, expansion or repair of a non-conforming structure in excess of 50.00% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel." According to the letter provided by the applicant the anticipated cost of the scope of work is between \$36,000-\$42,000, and based on the Rockwall Central Appraisal District (RCAD) the current value of the structure on the subject property is \$50,601. This means that the scope of work would equate to 71.14%-83.00% of the value of the existing structure.

In reviewing requests for variances, the Board of Adjustments (BOA), pursuant to the powers conferred upon it by state law, is asked to consider the following criteria:

- (1) If such variance will substantially or permanently injure the appropriate use of adjacent property in the same district;
- (2) If such variance will adversely affect the health, safety or general welfare of the public;
- (3) If such variance will be contrary to the public interest;
- (4) If such variance will authorize the operation of a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located;
- (5) If such variance will be in the harmony with the spirit and purpose of the Unified Development Code (UDC);
- (6) If such variance will alter the essential character of the district in which the property is located and for which the variance is sought;

- (7) If such variance will substantially weaken the general purposes of the zoning regulations established for the district in which the property is located;
- (8) If the variance is due to special conditions, a literal enforcement of the Unified Development Code (UDC) would result in unnecessary hardship;
- (9) If the plight of the owner of the property for which the variance or exception is sought is due to unique circumstances existing on the property, including, but not limited to, the area, shape or slope, and the unique circumstances were not created by the owner of the property and are not merely financial, and are not due to the result of general conditions in the district in which the property is located;
- (10) If the variance or exception is a self-created hardship; and,
- (11) If the variance is clearly identified as a variance to the City's standards on the concept plan, site plan or text of the Unified Development Code (UDC).

In this case, staff is obligated to point out that the property owner purchased the property with the understanding that the subject property was fully within the 100-year floodplain. Staff is also obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant is requesting. In addition, staff should note that applicant recently completed improvements (*i.e. a front yard fence*) without receiving a building permit. Regardless, of if this case is approved or not, the applicant will be required to remove all unpermitted improvements on the property.

When reviewing this case, it appears that if the case is approved it will constitute a self-created hardship and could potentially create a precedent for other properties in the Lake Rockwall Estates Subdivision; however, requests for variances are discretionary decisions for the Board of Adjustments (BOA). Staff should point out that if this case is approved, the applicant will be required to meet all the zoning requirements of Planned Development District 75 (PD-75). This means the exterior of the manufactured home would be required to be clad in HardiBoard.

On September 25, 2025, staff mailed 23 notices to property owners within 200-feet of the subject property. As of the date of this memorandum, staff has received one (1) response in favor of the applicant's request and one (1) response opposed to the applicant's request. Should the Board of Adjustments (BOA) have any questions, staff will be available at the October 9, 2025 meeting.



City of Rockwall
The New Horizon

Public Notice

The City of Rockwall Board of Adjustments will hold a public hearing on **Thursday, October 9th, 2025, at 6:00 p.m.**, in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

BOA-2025-3-V

Hold a public hearing to discuss and consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688 acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

As an interested property owner, you are invited to attend this meeting and/or express your thoughts in writing by returning the form below. To ensure that your comments are included in the information sent to the Board of Adjustments, please return the completed form below by **October 1, 2025**.

If you have any questions regarding this matter, please contact:

Craig Foshee
Rockwall Building Inspection Dept.
385 S. Goliad Street
Rockwall, TX 75087

Email: cfoshee@rockwall.com
Phone: (972) 772-6774

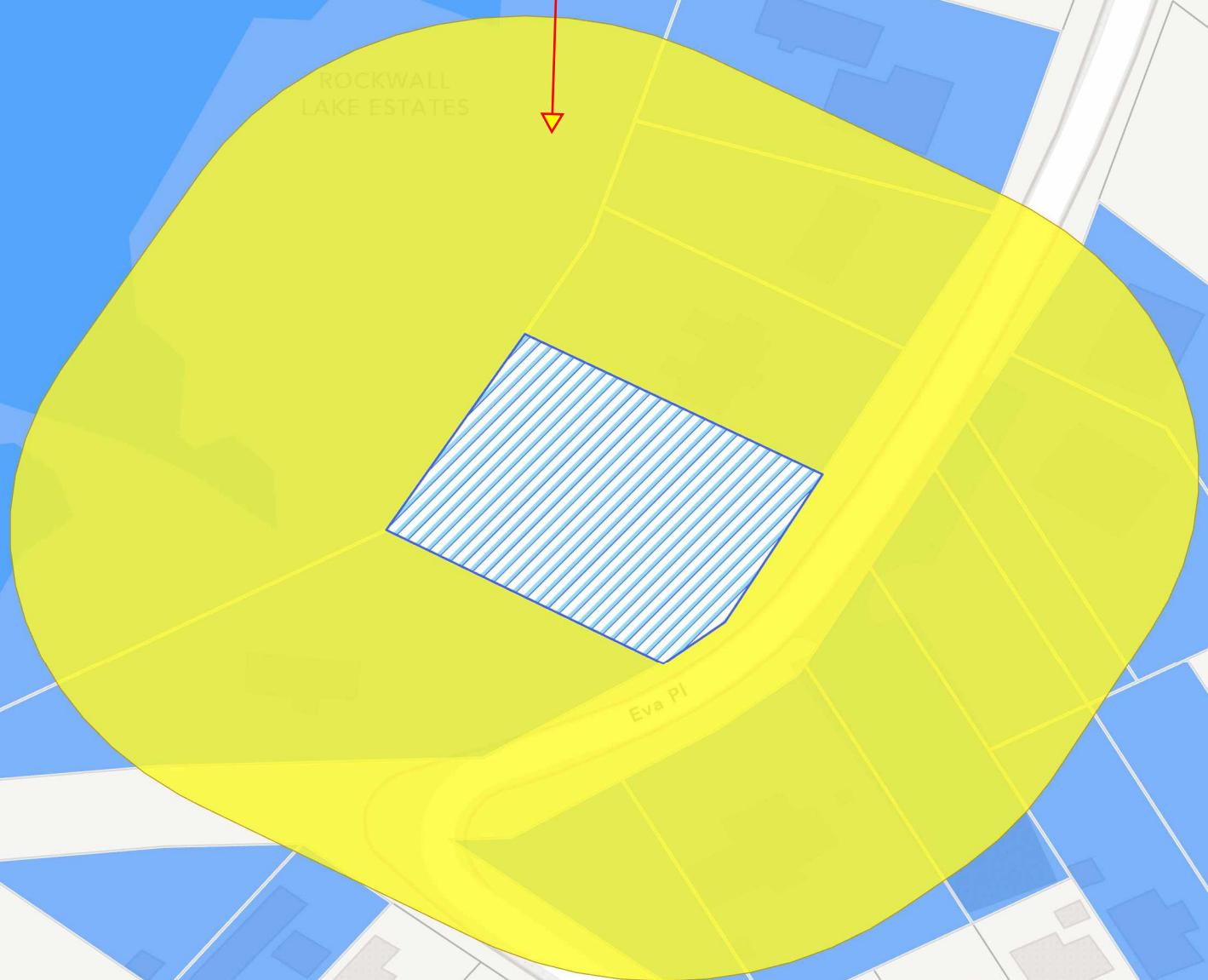
(Please return portion of form below the dotted line)

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below
 I am opposed to the request for the reasons listed below

MAIL OUT AREA



Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

I am opposed to the request for the reasons listed below

I'm in favor of my neighbor raising his home because it will keep his place safe from flooding

385 South Goliad

♦ Rockwall, Texas 75087

♦ (972) 772-6748

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

I am opposed to the request for the reasons listed below

Since all the property "North" of Eva Place is "Flood Zone" property, it was "Never" to be developed for housing by the original owners/management! I own property on the South side of Eva Place & do not want to view houses/trailers on pilings!! All property south should have a beautiful view of the lake with a grassy area down to the water for Everyone to be able to access the lake! This area was to be a "parks and recreation area" for everyone! Whatever company purchased the vacant land was

~~385 South Goliad~~

♦ ~~Rockwall, Texas 75087~~

♦ ~~(972) 772-6748~~

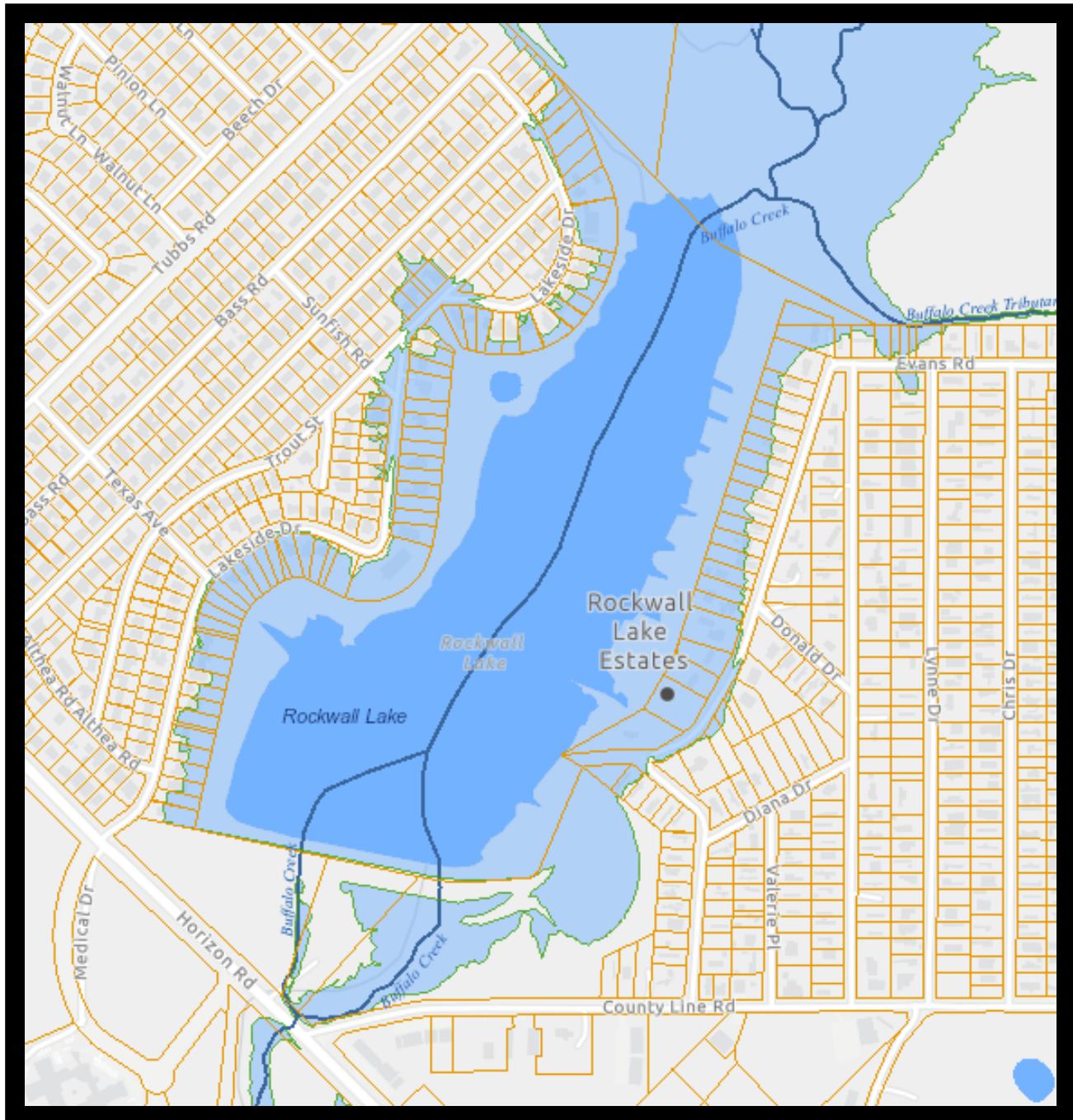
taking advantage of the buyers selling property in a flood zone. Therefore, I oppose this request. Thank you for allowing property owners to vote on this!

Donna Bruce Hilsenroth - 305 Eva Place

Area in Blue is the flood Plain



Area in Blue is the flood Plain



7509 PENNridge Circle
Rowlett, TX 75088

SURVEY PLAT



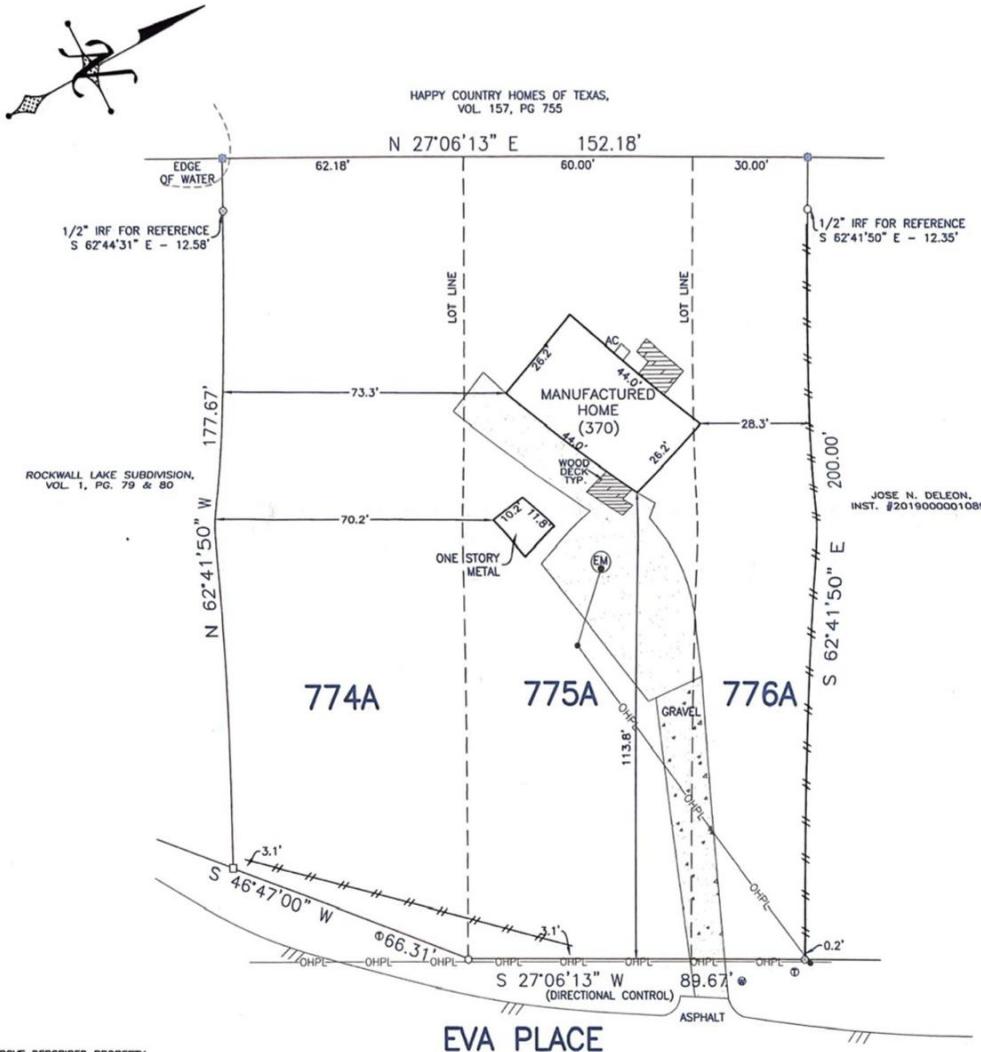
BURNS
SURVEYING

FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 370 EVA PLACE, in the city of ROCKWALL, Texas.

Being Lots 774-A, 775-A, and one half of 776-A, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an addition in Rockwall County, Texas, according to the map or plat thereof, recorded in Cabinet A, Slide 79 and 80, Plat Records, Rockwall County, Texas.



THE ABOVE DESCRIBED PROPERTY
DOES LIE IN A FLOOD HAZARD
AREA ACCORDING TO THE F.E.M.A.
FLOOD INSURANCE RATE MAP

COMMUNITY PANEL NO.
48397C0040L, DATED 09/26/2008

BEARINGS ARE BASED ON NAD 83
DATUM, TEXAS STATE PLANE
COORDINATE SYSTEM, NORTH
CENTRAL ZONE

PROPERTY SUBJECT TO
EASEMENTS & RESTRICTIONS

EASEMENTS & RESTRICTIONS
Volume 97, Page 153; Volume 158, Page 955;
Volume 264, Page 947; Volume 641, Page 218;
Volume 51, Page 118; Volume 55, Page 154

Volume 51, Page 118; Volume 55, Page 164,
Volume 59, Page 519

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements

indicated by the plan: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easement
TITLE AND ABSTRACTING WORK FURNISHED BY ALLEGIANCE TITLE
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

THESE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.
Scale: 1" = 30' USE OF THIS SURVEY FOR ANY OTHER PURPOSE
Date: 04/05/21 OR OTHER PARTIES SHALL BE AT THEIR RISK AND
G. F. No.: 2118387-ALMK UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR
ANY LOSS RESULTING THEREFROM.

G. F. No.: 2111838/-ALMK

ACCEPTED BY: _____

LEGEND

WOOD FENCE TEXT

CHAIN LINK IMPROVEMENTS

IRON FENCE BOUNDARY LINE

WIRE FENCE EASEMENT SETBACK

CM - CONTROLLING EASEMENT

MRD - MONUMENTS OF RECORD DIGNITY

1/2" IRON ROD FOUND

1/2" YELLOW-CAPPED ROD ROD SET

1/4" IRON ROD FOUND

1/4" IRON ROD FOUND

POINT FOR CORNER

C - CABLE D - ELECTRIC

C - CLEAN OUT E - POOL EQUIP

G - GAS METER F - POWER POLE

F - FIRE HYDRANT G - TELEPHONE



BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
This is to certify that I have, this date, made a careful and accurate survey on the
ground of property located at 370 EVA PLACE, in the City of ROCKWALL, ROCKWALL County,
Texas.

STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING all of Lots 774A and 775A, and a part of Lot 776A, Rockwall Lake Properties Development, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, Plat Records, Rockwall County, Texas (P.R.R.C.T.), being a tract of land described in deed to Noha Dawit, recorded under Instrument No. 20240000018619, Deed Records, Rockwall County, Texas (D.R.R.C.T.), and being more particularly described by the following metes and bounds description:

BEGINNING at a $\frac{1}{2}$ inch iron pipe found in the Northwest line of Eva Place, at the East corner of a tract of Lot 773A of said Rockwall Lake Properties Development, being the South corner of herein described tract of land;

THENCE North 62 deg. 41 min. 50 sec. West, passing at a distance of 165.10 feet a $\frac{1}{2}$ inch iron rod found on line for reference and continuing for a total distance of 177.67 feet to a point in the Southeast line of a tract of land described in deed to Happy Country Homes of Texas, recorded in Volume 157, Page 755 (D.R.R.C.T.), at the North corner of said Lot 773A;

THENCE North 27 deg. 06 min. 13 sec. East, a distance of 152.18 feet to a point at the West corner of a tract of land described in deed to America Alejandra Fuerte a/k/a America A. Fuerte, recorded under Instrument No. 20220000005945 (D.R.R.C.T.);

THENCE South 62 deg. 41 min. 50 sec. East, passing at a distance of 12.35 feet a $\frac{1}{2}$ inch iron rod found on line for reference and continuing for a total distance of 200.00 feet to a $\frac{1}{2}$ inch yellow-capped iron rod stamped "Burns Surveying" set in the Northwest line of said Eva Place, at the South corner of said Fuerte tract;

THENCE South 27 deg. 06 min. 13 sec. West, a distance of 89.67 feet to a 5/8 inch iron rod found for corner;

THENCE South 46 deg. 47 min. 00 sec. West, a distance of 66.31 feet to the PLACE OF BEGINNING and containing 29,737.58 square feet or 0.683 of an acre of land.



ELEVATION DATUM PER NAVD88.

THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE.

This parcel depicted hereon is a true, correct, and accurate representation of the property as determined by survey; The lines and dimensions of said property being as indicated by the plat; The size, location, and type(s) of building(s) are as shown, all improvements being within the boundaries of the property setback from the property lines the distance indicated.

TITLE AND ABSTRACTING WORK FURNISHED BY NOHA DAWIT

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: $1" = 30'$

USE OF THIS SURVEY FOR ANY OTHER PURPOSE

Date: 06-12-2025

OR OTHER PARTIES SHALL BE AT THEIR RISK

G. F. No.: N/A

AND UNDERSIGNED IS NOT RESPONSIBLE TO

Job no.: 202102597-01

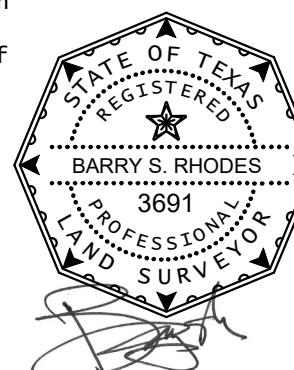
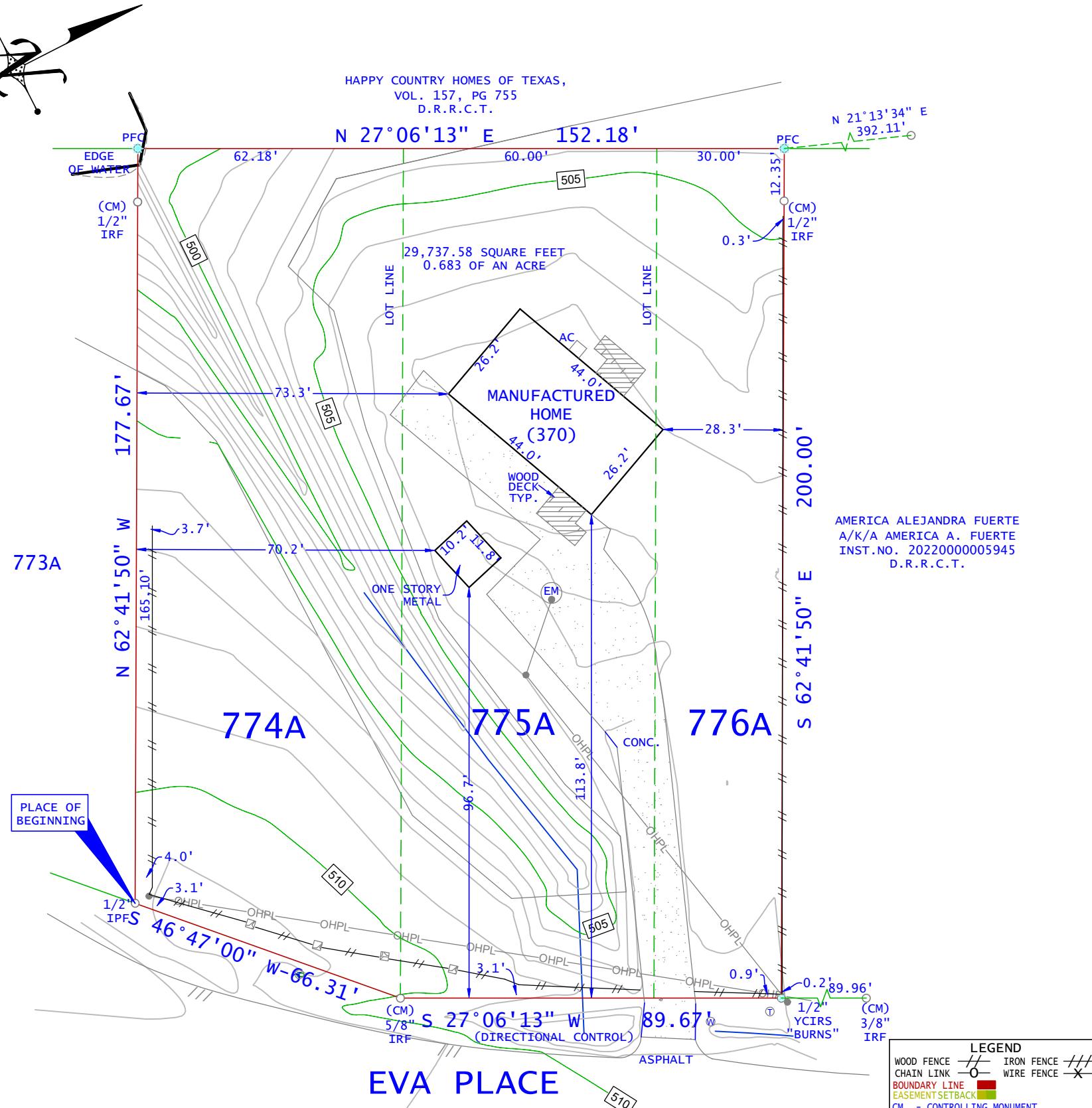
OTHER FOR ANY LOSS RESULTING THEREFROM.

Drawn by: BM

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR

NOHA DAWIT

LEGEND	
WOOD FENCE	IRON FENCE
CHAIN LINK	WIRE FENCE
BOUNDARY LINE	
EASEMENT/SETBACK	
CM - CONTROLLING MONUMENT	
MRD - MONUMENT OF RECORD DIGNITY	
POINT FOR CORNER	
1/2" IRON ROD WITH CAP STAMPED "BURNS SURVEYING" SET	
X-CUT FOUND OR SET (AS NOTED)	
FENCE POST FOR CORNER	
MONUMENT FOUND	EM - ELECTRIC METER
CABLE	ELECTRIC
CLEAN OUT	PE - POOL EQUIP
GAS METER	POWER POLE
FIRE HYDRANT	TELEPHONE
LIGHT POLE	WATER METER
MANHOLE	WATER VALVE
(UNLESS OTHERWISE NOTED)	



CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

ORDER OF THE BOARD OF ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS

ORDER NO. BOA 2025-3-V

WHEREAS, the Board of Adjustment held a public hearing on the 9th day of October, 2025 consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

WHEREAS, the applicant requested a variance from the said code of ordinance to allow the expansion of a non-conforming structure to elevate the existing manufactured home above the Base Flood Elevation

WHEREAS, after due consideration and discussion it appears that the granting of such variances would not cause an adverse effect on the surrounding properties and would not be contrary to the public interest.

NOW, THEREFORE BE IT ORDERED BY THE BOARD OF ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That all of the above premises are found and determined to be true and correct and are incorporated into the body of this order as if copied in their entirety.

Section 2. That the request from the applicant for this Board to grant a variance from Rockwall Code of ordinance, be and in the same is hereby granted so as to allow an Expansion of a Non-Conforming Structure. to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0 688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place

Section 3. That the Building Official of the City is hereby authorized and directed to issue the appropriate permits, if any, for the above described property under the terms and conditions of this Order.

Section 4. That this Order was passed by the concurring vote of at least four (4) members of the Board of Adjustment and is effective as of the 9th day of October, 2025.

ATTEST:


Secretary

APPROVED:


Chairman



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, Senior Planner
DATE: October 28, 2025
SUBJECT: MIS2025-018; *Exception to the Exterior Material Requirements for 370 Eva Place*

On October 9, 2025, the Board of Adjustments (BOA) approved a motion to grant a special exception for Case No. BOA2025-3-V by a vote of 4-2, with Board Members Carr and Rohlf dissenting. This case was a request for the expansion of a *legally non-conforming structure*. More specifically, the applicant -- *Noah Dawit* -- was requesting to elevate an existing manufactured home, located at 370 Eva Place, above the base elevation using wooden stilts. This request was made in accordance with Subsection 04.03(H) of Article 02, *Development Review Authority*, of the Unified Development Code (UDC) -- which allows the Board of Adjustments (BOA) to authorize special exceptions for the expansion of a legally non-conforming structure -- and which states the following:

Expansion of a Non-Conforming Structure. To authorize the enlargement, expansion or repair of a non-conforming structure in excess of 50% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel.

A copy of the approved order and the minutes from this case has been provided in the Planning and Zoning Commission's packet for their review. Since the Board of Adjustments (BOA) granted the special exception request, the applicant is required to meet all provisions of Planned Development District 75 (PD-75), which stipulates finishing the exterior of the structure in a minimum of 80.00% standard masonry materials and which may utilize a total of 60.00% HardiBoard or a similar cementitious material (i.e. 50.00% of the 80.00% masonry requirement [i.e. 40.00% of the façade] with the remaining 20.00% able to be any building material allowed by the City). Alternatively, since the existing manufactured home is being expanded this request could also be seen as falling under the *Manufactured Home Replacement* program, which stipulates that all new manufactured homes meet the following minimum standards:

- (1) The manufactured home shall be permanently attached to a concrete foundation.
- (2) The primary roof pitch is a minimum of 3:12 inches.
- (3) At least 90.00% of the exterior materials, including the skirting material, excluding doors and windows, must be comprised of HardiBoard lap siding or a similar durable cementitious lap siding material with a minimum width of 6 1/4-inches.
- (4) The proposed manufactured home is newer and larger in living space than the prior manufactured home.

Based on these requirements, the applicant is requesting a *Special Request* in accordance with Subsection 3(c) of *Ordinance No. 16-01 [Planned Development District 75 (PD-75)]*, which states "...(t)he City Council may consider special requests in the Lake Rockwall Estates Subdivision ... Such request(s) may include, but not necessarily be limited to the use of alternate building materials, reductions in the building setbacks, exceptions to the fencing requirements, or other requests submitted for consideration to the Planning and Zoning Department. Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve special request(s). Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code. Such special requests may be denied by the City Council by the passage of a motion to deny." In this case, the applicant is proposing to allow the use of the existing exterior materials on the manufactured home, which appear to be a composite board or OSB panel. Staff should note that since the manufactured home will be raised using wood pilings, standing between 6.40-feet and ten (10) feet above grade, and is currently and will continue to be fully situated within a 100-year floodplain, the manufactured home will not be incorporating a skirting around the bottom of the structure.

As noted in the Board of Adjustments (BOA) memorandum, staff is obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant has been approved for. In addition, the applicant has made unpermitted improvements on the property that regardless of the City Council's decision will need to either be properly permitted or removed from the property prior to the issuance of any additional building permits. With all this being said, this case is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning this case, staff and the applicant will be available at the October 28, 2025 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 370 Eva Place

SUBDIVISION Rockwall Lake Estates Ph 2

LOT 774-6A BLOCK

GENERAL LOCATION Rockwall Lake

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING Residential

CURRENT USE _____

PROPOSED ZONING Residential

PROPOSED USE _____

ACREAGE 0.7

LOTS [CURRENT]

3

LOTS [PROPOSED]

3

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER Noha Dawit

APPLICANT _____

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 12414 Granite Falls Tr1

ADDRESS _____

CITY, STATE & ZIP FORT WORTH TX 76135

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

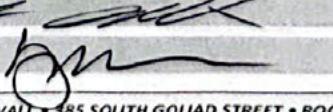
NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Noha Dawit [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

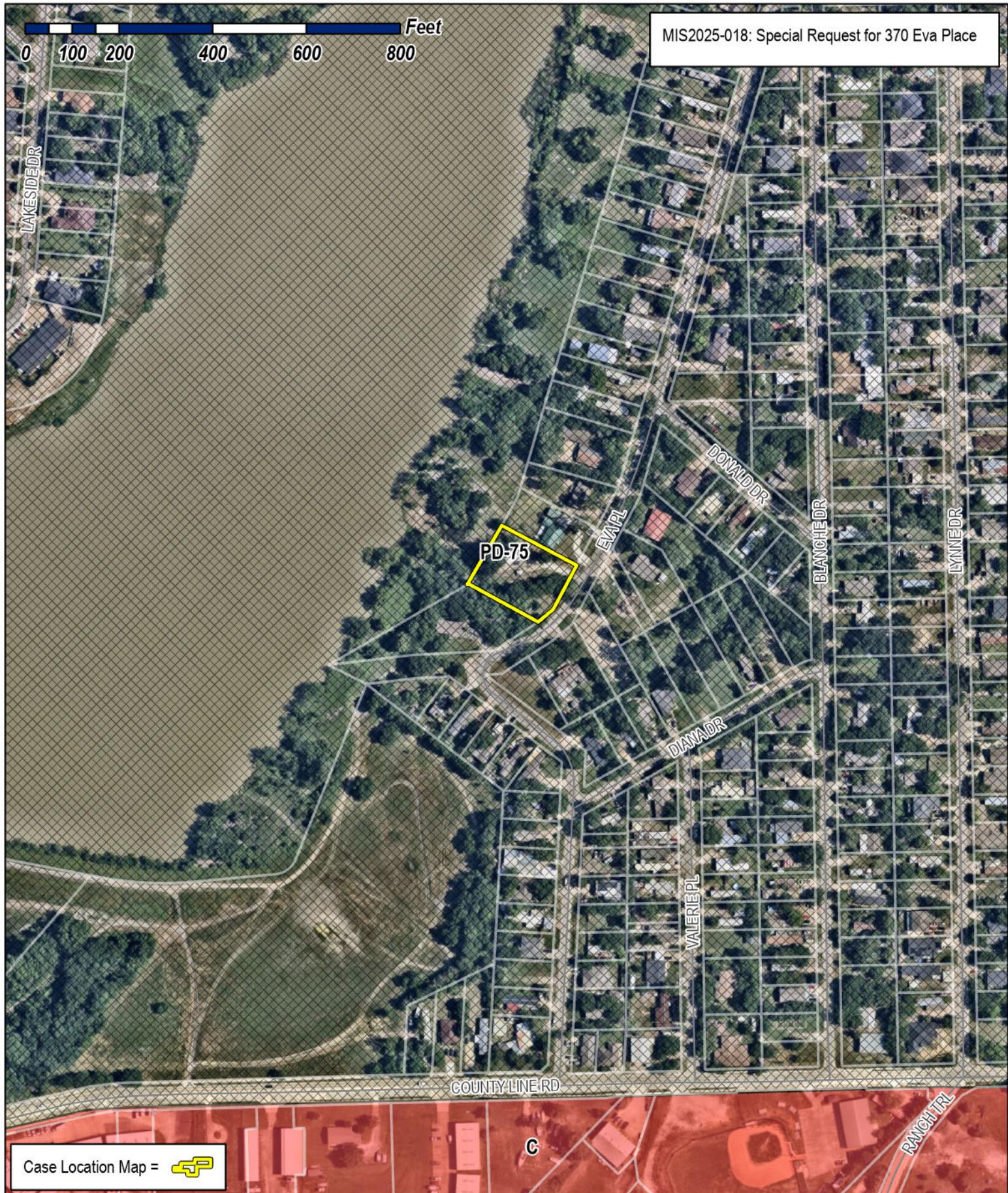
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF Oct, 2025

OWNER'S SIGNATURE 

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS 





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Property at:
370 Eva Place Rockwall, TX 75032

CURRENT MATERIALS



Steel "I"
Beam



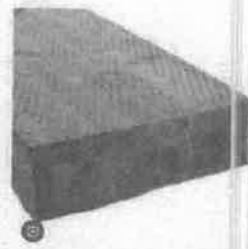
Single Treated 2 x
12 support joist

Concrete footer

PROPOSED MATERIALS



15 - 12 x 12 x28' Treated Wood Pilings



Pressure Treated 3" x 12" x 16' Brown Ground Contact Lumber.



2 x 12, Pine, No.
1. Pressure
Treated (MCA)

20 - Rough Cut; Treated; 3" x 12" Beams

24 - 2" x 12" x 24' #1 Treated Pine Boards

3/4" X 16' Conquest A367 Grade A Hex
Bolt - Hot Dip Galvanized

★★★★★ [View Details](#)



Simpson Strong-Tie BP 3/4HDG -
3/4" Bolt Dia. 24'.

3/8"-16 Conquest Heavy Hex Nut,
A563 Grade A - Hot Dip Galvanized



3/8"-7 x 3'
Conquest Hex
Head Lag Bolt.

Galvanized Fasteners

PILING FOUNDATION - PLAN VIEW

Piling NEED 15

4-2+12x24' treated, x 6 locations

24 pieces

STAIRS WITH 6x6 LANDING

BOX LENGTH

1' TYP.

1' TYP.

APPROX 18-3/8"

7 plus 6' to outside of piling and decking

BOX WIDTH (BOX WIDTH LESS 6')

CENTERLINE

FOUNDATION WIDTH (BOX WIDTH LESS 6')

660' BELL

660' BELL

660' BELL

(4) 2X12 TREATED BEAM (DOUBLE ON EACH SIDE OF PILE - SEE DETAIL)

STEEL FRAME

(2) TREATED 3x12' (ROUGH CUT) OR A SINGLE 3x12x14' TREATED PSL STEEL FRAME CROSS BEAM (SEE DETAIL)

TREATED PILING (SEE DETAIL)

STAIRS WITH

A

A

卷之三

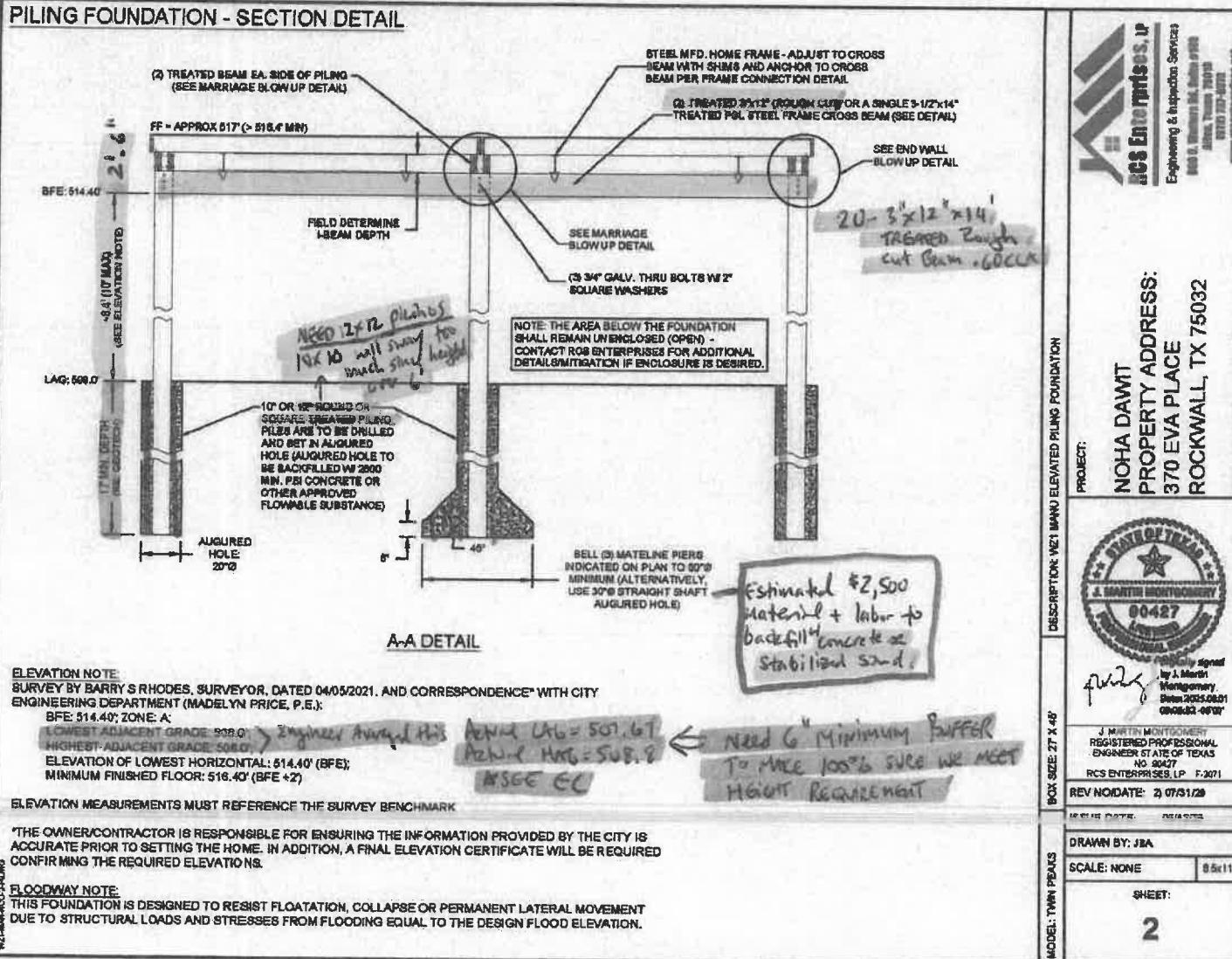
FINAL DIMENSIONS MUST BE OBTAINED FROM THE MANUFACTURER PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS.



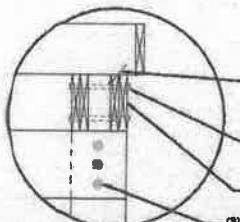
PILING FOUNDATION - SECTION DETAIL

Total
filling
length

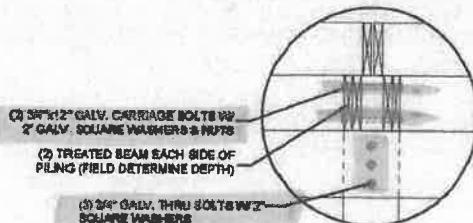
12 * 12 * 28"



PILING FOUNDATION - CONSTRUCTION DETAILS



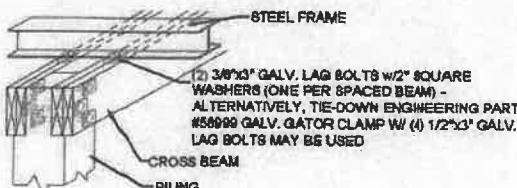
END WALL BLOW UP DETAIL



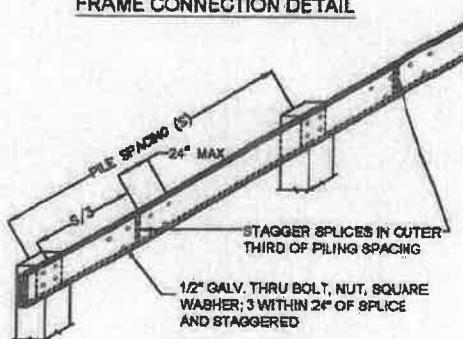
MARRIAGE BLOW UP DETAIL

5-16" BOLTS/NUTS
10 - SQUARE WASHERS PER PILING

W2L4W4H4-002-2-PILENG



FRAME CONNECTION DETAIL



BEAM SPLICE DETAIL

NOTES:

1. DETAIL APPLICABLE TO CONVENTIONAL LUMBER
2. ALL SPLICES MUST BE IN THE OUTER THIRD OF THE PILING SPACING
3. DO NOT BOLT THROUGH SPLICES

 <p>RCS Enterprises, LP Engineering & Inspection Services 1000 E. Sam Houston Pkwy. Suite 2000 Houston, Texas 77020 (800) 727-3872</p>	
<p>PROJECT:</p> <p>NOHA DAWIT PROPERTY ADDRESS: 370 EVA PLACE ROCKWALL, TX 75032</p>	
<p>DESCRIPTION: W2L4W4H4-002-2-PILENG FOUNDATION</p>	
MODEL: TWIN PEAKS	BOX SIZE: 27 X 18
<p>REV HODATE: 2/07/2025</p>	
<p>SIGNED BY: J. Martin Montgomery Date: 2025.08.01 09:06:48 -05'00'</p>	
<p>NOTE: This drawing is the property of RCS Enterprises, LP. It is to be used only for the project for which it was prepared. It is not to be reproduced in whole or in part without the written consent of RCS Enterprises, LP.</p>	
<p>J. MARTIN MONTGOMERY REGISTERED PROFESSIONAL ENGINEER STATE OF TEXAS NO. 00427 RCS ENTERPRISES, LP. P-2071</p>	
<p>DRAWN BY: JBA</p>	
<p>SCALE: NONE 8.5x11</p>	
<p>SHEET: 3</p>	



City of Rockwall
The New Horizon

MEMORANDUM

TO: **Board of Adjustment Members**
FROM: **Craig Foshee, Building Inspections Plan Examiner**
DATE: **October 2, 2025**
SUBJECT: **Variance request – BOA-2025-3-V for 10/9/2025 Meeting**

Noah Dawit of 370 Eva Place is requesting a public hearing to discuss and consider a Variance to allow for the expansion of a non-conforming structure. The applicant is requesting to elevate the existing manufactured home between 6.4-feet to ten (10) feet using treated wood pilings in order to raise the structure above the base flood elevation. In this case, the applicant has stated that he would like to utilize the existing structure in lieu of constructing a new manufactured home.

According to Section 04.03(H) of Article 2, *Development Review Authority*, of the Unified Development Code (UDC), the Board of Adjustments (BOA) may, in its judgement, authorize "...the enlargement, expansion or repair of a non-conforming structure in excess of 50.00% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel." According to the letter provided by the applicant the anticipated cost of the scope of work is between \$36,000-\$42,000, and based on the Rockwall Central Appraisal District (RCAD) the current value of the structure on the subject property is \$50,601. This means that the scope of work would equate to 71.14%-83.00% of the value of the existing structure.

In reviewing requests for variances, the Board of Adjustments (BOA), pursuant to the powers conferred upon it by state law, is asked to consider the following criteria:

- (1) If such variance will substantially or permanently injure the appropriate use of adjacent property in the same district;
- (2) If such variance will adversely affect the health, safety or general welfare of the public;
- (3) If such variance will be contrary to the public interest;
- (4) If such variance will authorize the operation of a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located;
- (5) If such variance will be in the harmony with the spirit and purpose of the Unified Development Code (UDC);
- (6) If such variance will alter the essential character of the district in which the property is located and for which the variance is sought;

- (7) If such variance will substantially weaken the general purposes of the zoning regulations established for the district in which the property is located;
- (8) If the variance is due to special conditions, a literal enforcement of the Unified Development Code (UDC) would result in unnecessary hardship;
- (9) If the plight of the owner of the property for which the variance or exception is sought is due to unique circumstances existing on the property, including, but not limited to, the area, shape or slope, and the unique circumstances were not created by the owner of the property and are not merely financial, and are not due to the result of general conditions in the district in which the property is located;
- (10) If the variance or exception is a self-created hardship; and,
- (11) If the variance is clearly identified as a variance to the City's standards on the concept plan, site plan or text of the Unified Development Code (UDC).

In this case, staff is obligated to point out that the property owner purchased the property with the understanding that the subject property was fully within the 100-year floodplain. Staff is also obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant is requesting. In addition, staff should note that applicant recently completed improvements (*i.e. a front yard fence*) without receiving a building permit. Regardless, of if this case is approved or not, the applicant will be required to remove all unpermitted improvements on the property.

When reviewing this case, it appears that if the case is approved it will constitute a self-created hardship and could potentially create a precedent for other properties in the Lake Rockwall Estates Subdivision; however, requests for variances are discretionary decisions for the Board of Adjustments (BOA). Staff should point out that if this case is approved, the applicant will be required to meet all the zoning requirements of Planned Development District 75 (PD-75). This means the exterior of the manufactured home would be required to be clad in HardiBoard.

On September 25, 2025, staff mailed 23 notices to property owners within 200-feet of the subject property. As of the date of this memorandum, staff has received one (1) response in favor of the applicant's request and one (1) response opposed to the applicant's request. Should the Board of Adjustments (BOA) have any questions, staff will be available at the October 9, 2025 meeting.



City of Rockwall
The New Horizon

Public Notice

The City of Rockwall Board of Adjustments will hold a public hearing on **Thursday, October 9th, 2025, at 6:00 p.m.**, in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

BOA-2025-3-V

Hold a public hearing to discuss and consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688 acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

As an interested property owner, you are invited to attend this meeting and/or express your thoughts in writing by returning the form below. To ensure that your comments are included in the information sent to the Board of Adjustments, please return the completed form below by **October 1, 2025**.

If you have any questions regarding this matter, please contact:

Craig Foshee
Rockwall Building Inspection Dept.
385 S. Goliad Street
Rockwall, TX 75087

Email: cfoshee@rockwall.com
Phone: (972) 772-6774

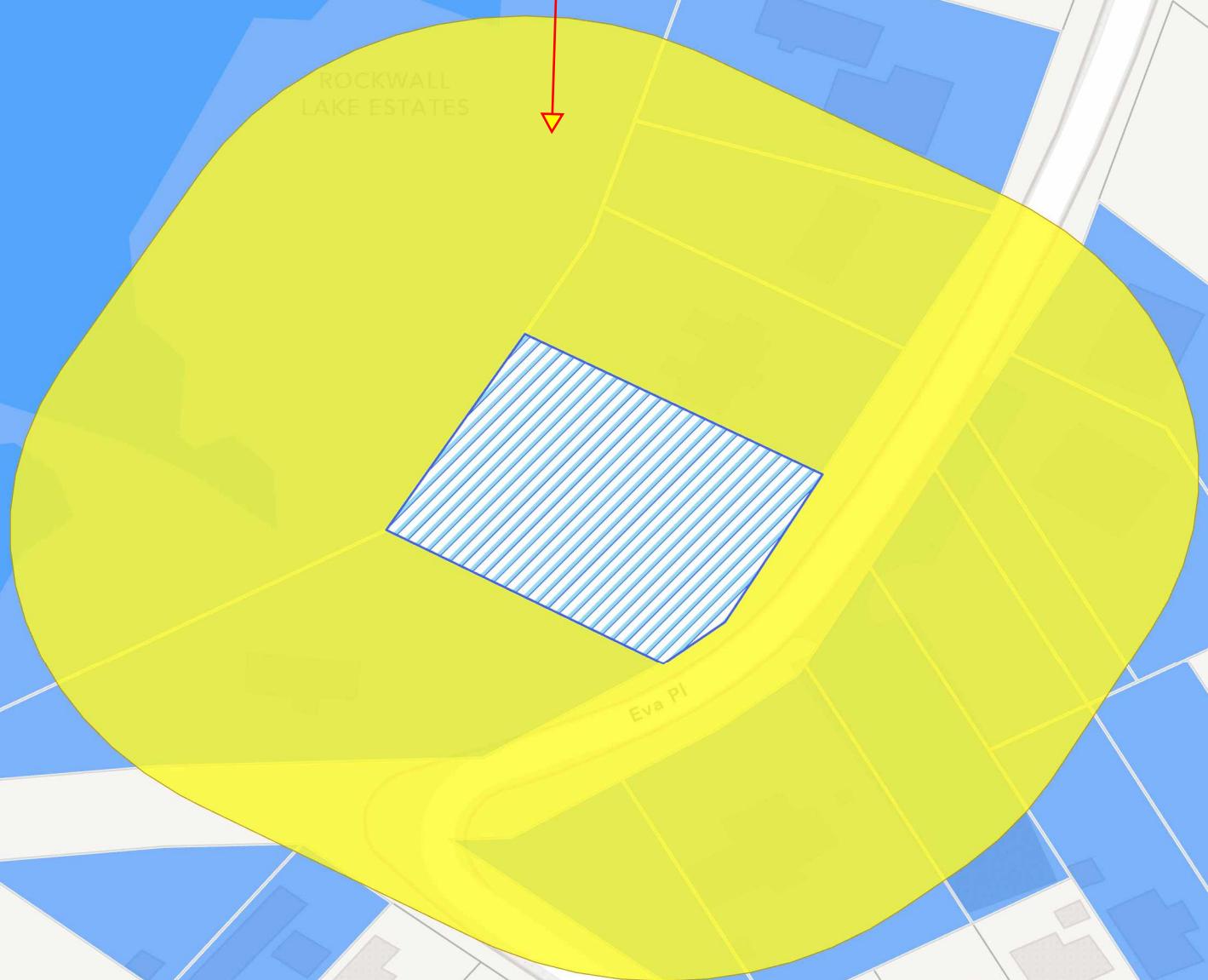
(Please return portion of form below the dotted line)

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below
 I am opposed to the request for the reasons listed below

MAIL OUT AREA



Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

I am opposed to the request for the reasons listed below

I'm in favor of my neighbor raising his home because it will keep his place safe from flooding

385 South Goliad

♦ Rockwall, Texas 75087

♦ (972) 772-6748

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

I am opposed to the request for the reasons listed below

Since all the property "North" of Eva Place is "Flood Zone" property, it was "Never" to be developed for housing by the original owners/management! I own property on the South side of Eva Place & do not want to view houses/trailers on pilings!! All property south should have a beautiful view of the lake with a grassy area down to the water for Everyone to be able to access the lake! This area was to be a "parks and recreation area" for everyone! Whatever company purchased the vacant land was

~~385 South Goliad~~

♦ ~~Rockwall, Texas 75087~~

♦ ~~(972) 772-6748~~

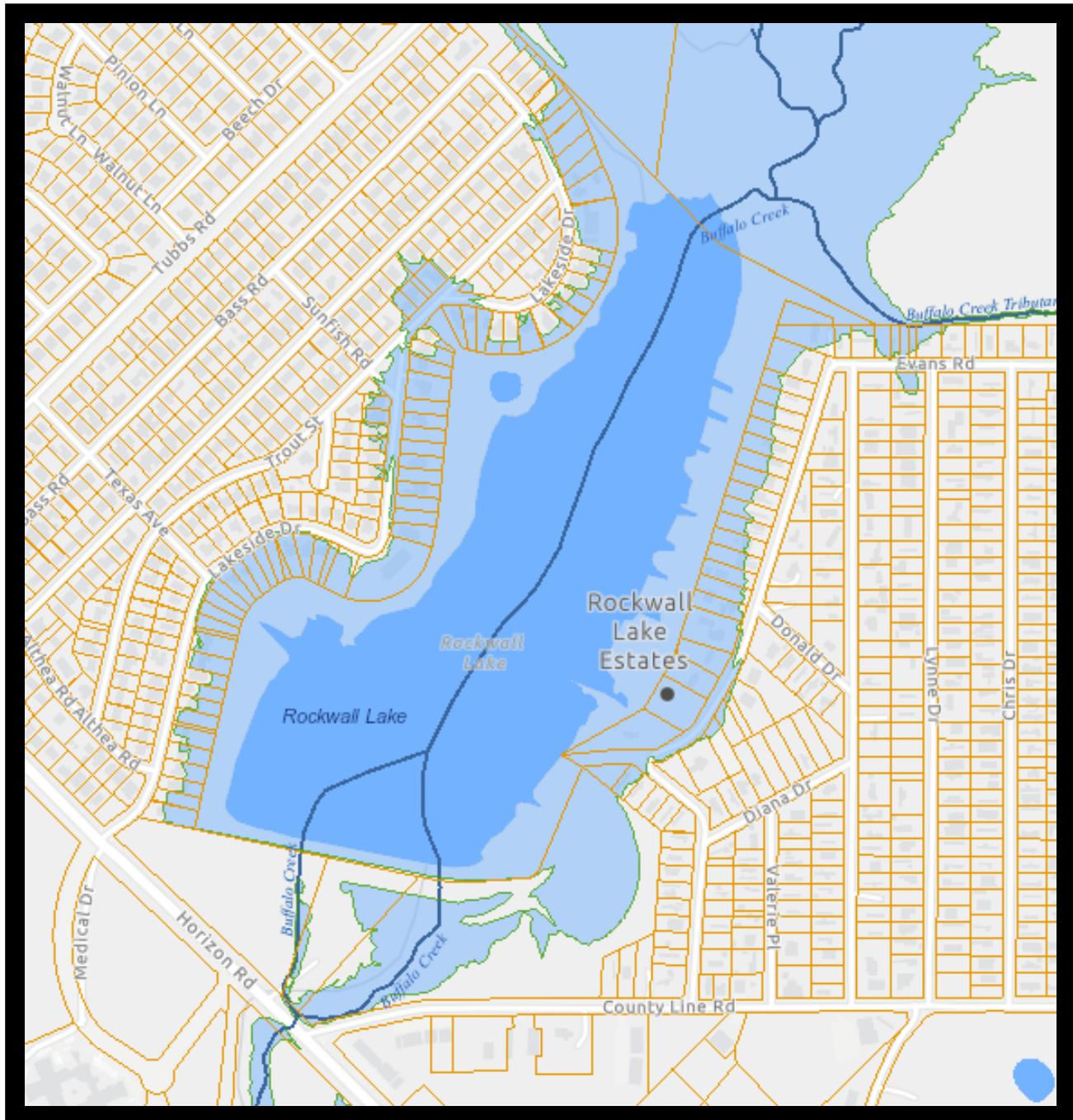
taking advantage of the buyers selling property in a flood zone. Therefore, I oppose this request. Thank you for allowing property owners to vote on this!

Donna Bruce Hilsenroth - 305 Eva Place

Area in Blue is the flood Plain



Area in Blue is the flood Plain



7509 PENNridge CIRCLE
ROWLETT, TX 75088

SURVEY PLAT



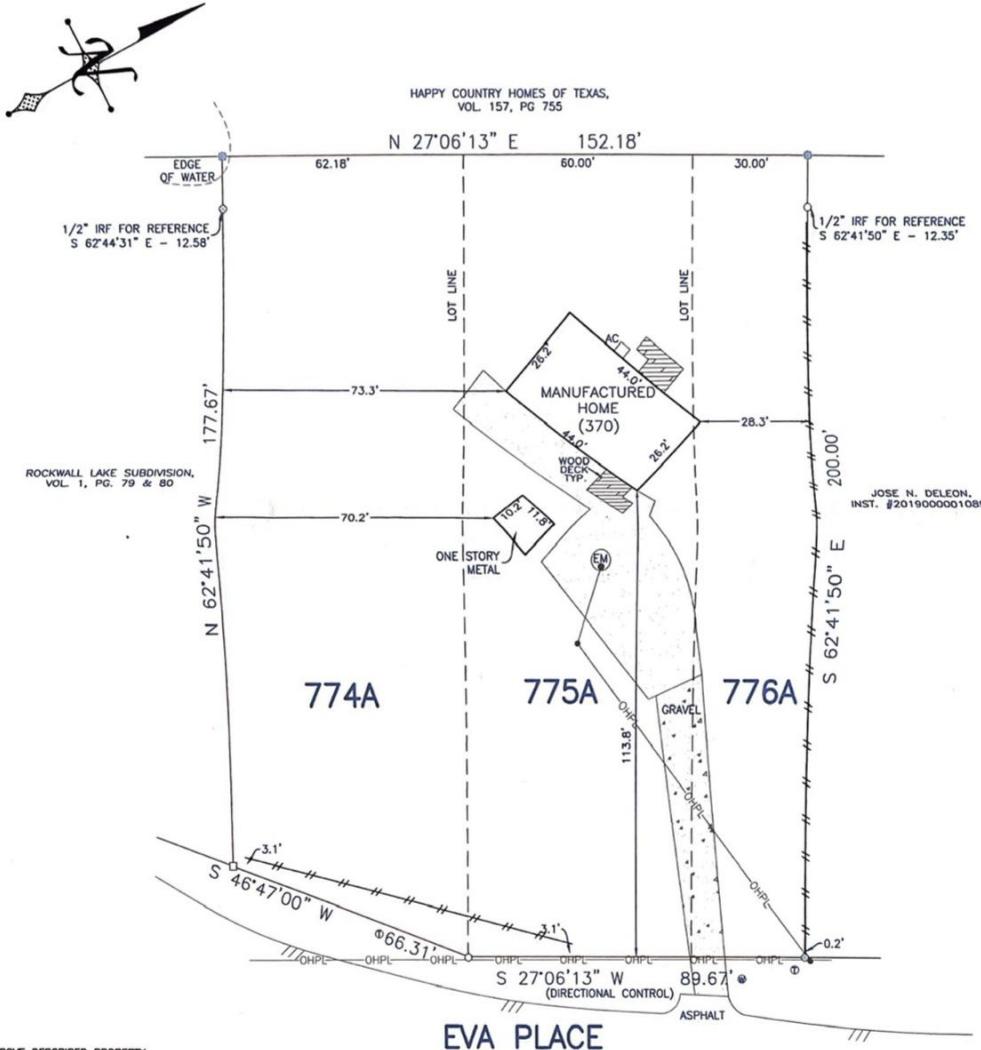
BURNS
SURVEYING

FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 370 EVA PLACE, in the city of ROCKWALL Texas.

Being Lots 774-A, 775-A, and one half of 776-A, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an addition in Rockwall County, Texas, according to the map or plat thereof, recorded in Cabinet A, Slide 79 and 80, Plat Records, Rockwall County, Texas.



THE ABOVE DESCRIBED PROPERTY
DOES LIE IN A FLOOD HAZARD
AREA ACCORDING TO THE F.E.M.A.
FLOOD INSURANCE RATE MAP

COMMUNITY PANEL NO.
48397C0040L, DATED 09/26/2008

BEARINGS ARE BASED ON NAD 83
DATUM, TEXAS STATE PLANE
COORDINATE SYSTEM, NORTH
CENTRAL ZONE

PROPERTY SUBJECT TO
EASEMENTS & RESTRICTIONS

EASEMENTS & RESTRICTIONS
Volume 97, Page 153; Volume 158, Page 955;
Volume 264, Page 947; Volume 641, Page 218;
Volume 51, Page 118; Volume 55, Page 154.

Volume 51, Page 118; Volume 55, Page 164,
Volume 59, Page 519

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements

indicated by the plan: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easement
TITLE AND ABSTRACTING WORK FURNISHED BY ALLEGIANCE TITLE
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

THESE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.
Scale: 1" = 30' USE OF THIS SURVEY FOR ANY OTHER PURPOSE
Date: 04/05/21 OR OTHER PARTIES SHALL BE AT THEIR RISK AND
G. F. No.: 21118387-ALM UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR
ANY LOSS RESULTING THEREFROM.

G. F. No.: 21118387-ADMK

ACCEPTED BY: _____

LEGEND

WOOD FENCE  TEXT

CHAIN LINK  ELEVATIONS

IRON FENCE  BOUNDARY LINE

IRON SETBACK  EASEMENT SETBACK

CU  EARTH

MED. - MONUMENTS OF RECORD DIGNITY

1/2" IRON ROAD  ROAD

1/2" VIVIDY-CAPPED IRON ROAD SET  ROAD

SET "X"  SET

1/8" IRON ROAD  ROAD

5/8" IRON ROAD  ROAD

POINT FOR CORNER  POINT

(-)- CAD LINE  CAD LINE

- CLEAN OUT  CLEAN OUT

(E) - POOL EQUIP  POOL EQUIP

(G) - GAS METER  GAS METER

(H) - POWER POLE  POWER POLE

(F) - FIRE HYDRANT  FIRE HYDRANT

(L) - TELEPHONE  TELEPHONE

(P) - LIGHT POLE  LIGHT POLE

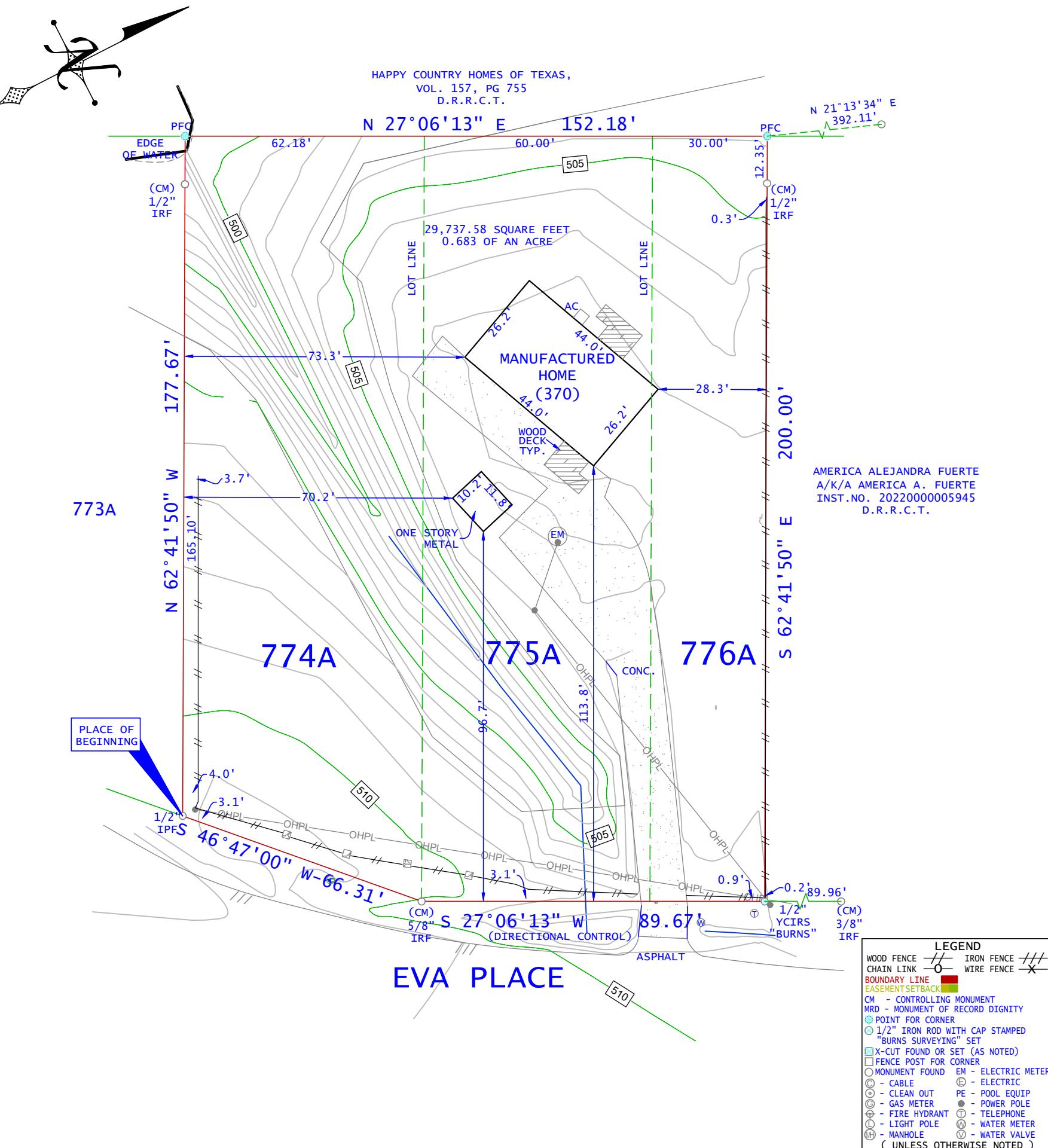
(W) - WATER METER  WATER METER





TOPO SURVEY

2701 SUNSET RIDGE DRIVE, STE 303
ROCKWALL, TEXAS 75032
FIRM REGISTRATION NO. 10194366



BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
This is to certify that I have, this date, made a careful and accurate survey on the
ground of property located at 370 EVA PLACE, in the City of ROCKWALL, ROCKWALL County,
Texas.

STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING all of Lots 774A and 775A, and a part of Lot 776A, Rockwall Lake Properties Development, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, Plat Records, Rockwall County, Texas (P.R.R.C.T.), being a tract of land described in deed to Noha Dawit, recorded under Instrument No. 20240000018619, Deed Records, Rockwall County, Texas (D.R.R.C.T.), and being more particularly described by the following metes and bounds description:

BEGINNING at a $\frac{1}{2}$ inch iron pipe found in the Northwest line of Eva Place, at the East corner of a tract of Lot 773A of said Rockwall Lake Properties Development, being the South corner of herein described tract of land;

THENCE North 62 deg. 41 min. 50 sec. West, passing at a distance of 165.10 feet a $\frac{1}{2}$ inch iron rod found on line for reference and continuing for a total distance of 177.67 feet to a point in the Southeast line of a tract of land described in deed to Happy Country Homes of Texas, recorded in Volume 157, Page 755 (D.R.R.C.T.), at the North corner of said Lot 773A;

THENCE North 27 deg. 06 min. 13 sec. East, a distance of 152.18 feet to a point at the West corner of a tract of land described in deed to America Alejandra Fuerte a/k/a America A. Fuerte, recorded under Instrument No. 20220000005945 (D.R.R.C.T.);

THENCE South 62 deg. 41 min. 50 sec. East, passing at a distance of 12.35 feet a $\frac{1}{2}$ inch iron rod found on line for reference and continuing for a total distance of 200.00 feet to a $\frac{1}{2}$ inch yellow-capped iron rod stamped "Burns Surveying" set in the Northwest line of said Eva Place, at the South corner of said Fuerte tract:

THENCE South 27 deg. 06 min. 13 sec. West, a distance of 89.67 feet to a 5/8 inch iron rod found for corner;

THENCE South 46 deg. 47 min. 00 sec. West, a distance of 66.31 feet to the PLACE OF BEGINNING and containing 29.737.58 square feet or 0.683 of an acre of land.

ELEVATION DATUM RER NAVD88

THIS CERTIFICATION DOES NOT TAKE INTO
CONSIDERATION ADDITIONAL FACTS THAT AN
ACCURATE TITLE SEARCH AND OR
EXAMINATION MIGHT DISCLOSE.

This parcel depicted hereon is a true, correct, and accurate representation of the property as determined by survey; The lines and dimensions of said property being as indicated by the plat; The size, location, and type(s) of building(s) are as shown, all improvements being within the boundaries of the property setback from the property lines the distance indicated.

THE PROPERTY SETBACK FROM THE PROPERTY LINES IS AS INDICATED.
TITLE AND ABSTRACTING WORK FURNISHED BY NOHA DAWTT

TITLE AND ABSTRACTING WORK
THERE ARE NO ENCROACHMENTS

USE OF THIS SURVEY FOR ANY OTHER PURPOSE

Scale: 1" = 50' USE OF THIS SURVEY FOR ANY OTHER PURPOSE
Date: 06-12-2025 OR OTHER PARTIES SHALL BE AT THEIR RISK
AND OWNER IS NOT RESPONSIBLE TO

G E No : N/A

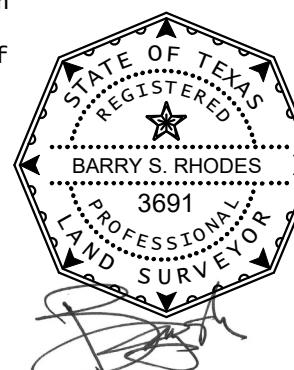
AND UNDERSIGNED IS NOT RESPONSIBLE TO
OTHER FOR ANY LOSS RESULTING THEREFROM.

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR

Job no.: 202102397-01 NOHA DAWIT

Drawn by: BM

10 of 10 pages



CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

ORDER OF THE BOARD OF ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS

ORDER NO. BOA 2025-3-V

WHEREAS, the Board of Adjustment held a public hearing on the 9th day of October, 2025 consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

WHEREAS, the applicant requested a variance from the said code of ordinance to allow the expansion of a non-conforming structure to elevate the existing manufactured home above the Base Flood Elevation

WHEREAS, after due consideration and discussion it appears that the granting of such variances would not cause an adverse effect on the surrounding properties and would not be contrary to the public interest.

NOW, THEREFORE BE IT ORDERED BY THE BOARD OF ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That all of the above premises are found and determined to be true and correct and are incorporated into the body of this order as if copied in their entirety.

Section 2. That the request from the applicant for this Board to grant a variance from Rockwall Code of ordinance, be and in the same is hereby granted so as to allow an Expansion of a Non-Conforming Structure. to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0 688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place

Section 3. That the Building Official of the City is hereby authorized and directed to issue the appropriate permits, if any, for the above described property under the terms and conditions of this Order.

Section 4. That this Order was passed by the concurring vote of at least four (4) members of the Board of Adjustment and is effective as of the 9th day of October, 2025.

ATTEST:


Secretary

APPROVED:


Chairman



CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: November 3, 2025

SUBJECT: MIS2025-018; *Exception to the Exterior Material Requirements for 370 Eva Place*

On October 9, 2025, the Board of Adjustments (BOA) approved a motion to grant a special exception for Case No. BOA2025-3-V by a vote of 4-2, with Board Members Carr and Rohlf dissenting. This case was a request for the expansion of a *legally non-conforming structure*. More specifically, the applicant -- *Noah Dawit* -- was requesting to elevate an existing manufactured home, located at 370 Eva Place, above the base elevation using wooden stilts. This request was made in accordance with Subsection 04.03(H) of Article 02, *Development Review Authority*, of the Unified Development Code (UDC) -- which allows the Board of Adjustments (BOA) to authorize special exceptions for the expansion of a legally non-conforming structure -- and which states the following:

Expansion of a Non-Conforming Structure. To authorize the enlargement, expansion or repair of a non-conforming structure in excess of 50% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel.

A copy of the approved order and the minutes from this case has been provided in the City Council's packet for their review. Since the Board of Adjustments (BOA) granted the special exception request, the applicant is required to meet all provisions of Planned Development District 75 (PD-75), which stipulates finishing the exterior of the structure in a minimum of 80.00% standard masonry materials and which may utilize a total of 60.00% HardiBoard or a similar cementitious material (i.e. 50.00% of the 80.00% masonry requirement [i.e. 40.00% of the façade] with the remaining 20.00% able to be any building material allowed by the City]. Alternatively, since the existing manufacture home is being expanded this request could also be seen as falling under the *Manufactured Home Replacement* program, which stipulates that all new manufactured homes meet the following minimum standards:

- (1) The manufactured home shall be permanently attached to a concrete foundation.
- (2) The primary roof pitch is a minimum of 3:12 inches.
- (3) At least 90.00% of the exterior materials, including the skirting material, excluding doors and windows, must be comprised of HardiBoard lap siding or a similar durable cementitious lap siding material with a minimum width of 6 1/4-inches.
- (4) The proposed manufactured home is newer and larger in living space than the prior manufactured home.

Based on these requirements, the applicant is requesting a *Special Request* in accordance with Subsection 3(c) of *Ordinance No. 16-01 [Planned Development District 75 (PD-75)]*, which states "...(t)he City Council may consider special requests in the Lake Rockwall Estates Subdivision ... Such request(s) may include, but not necessarily be limited to the use of alternate building materials, reductions in the building setbacks, exceptions to the fencing requirements, or other requests submitted for consideration to the Planning and Zoning Department. Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve special request(s). Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code. Such special requests may be denied by the City Council by the passage of a motion to deny." In this case, the applicant is proposing to allow the use of the existing exterior materials on the manufactured home, which appear to be a composite board or OSB panel. Staff should note that since the manufactured home will be raised using wood pilings, standing between 6.40-feet and ten (10) feet above grade, and is currently and will continue to be fully situated within a 100-year floodplain, the manufactured home will not be incorporating a skirting around the bottom of the structure.

As noted in the Board of Adjustments (BOA) memorandum, staff is obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant has been approved for. In addition, the applicant has made unpermitted improvements on the property that regardless of the City Council's decision will need to either be properly permitted or removed from the property prior to the issuance of any additional building permits. With all this being said, this case is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. On October 28, 2025, the Planning and Zoning Commission approved a motion to recommend denial by a vote of 4-3, with Commissioners Hustings, Brock, and Roth dissenting. Should the City Council have any questions concerning this case, staff and the applicant will be available at the November 3, 2025 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 370 Eva Place

SUBDIVISION Rockwall Lake Estates Ph 2

LOT 774-6A BLOCK

GENERAL LOCATION Rockwall Lake

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING Residential

CURRENT USE _____

PROPOSED ZONING Residential

PROPOSED USE _____

ACREAGE 0.7

LOTS [CURRENT]

3

LOTS [PROPOSED]

3

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER Noha Dawit

APPLICANT _____

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 12414 Granite Falls Tr1

ADDRESS _____

CITY, STATE & ZIP FORT WORTH TX 76135

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

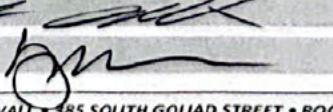
NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Noha Dawit [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

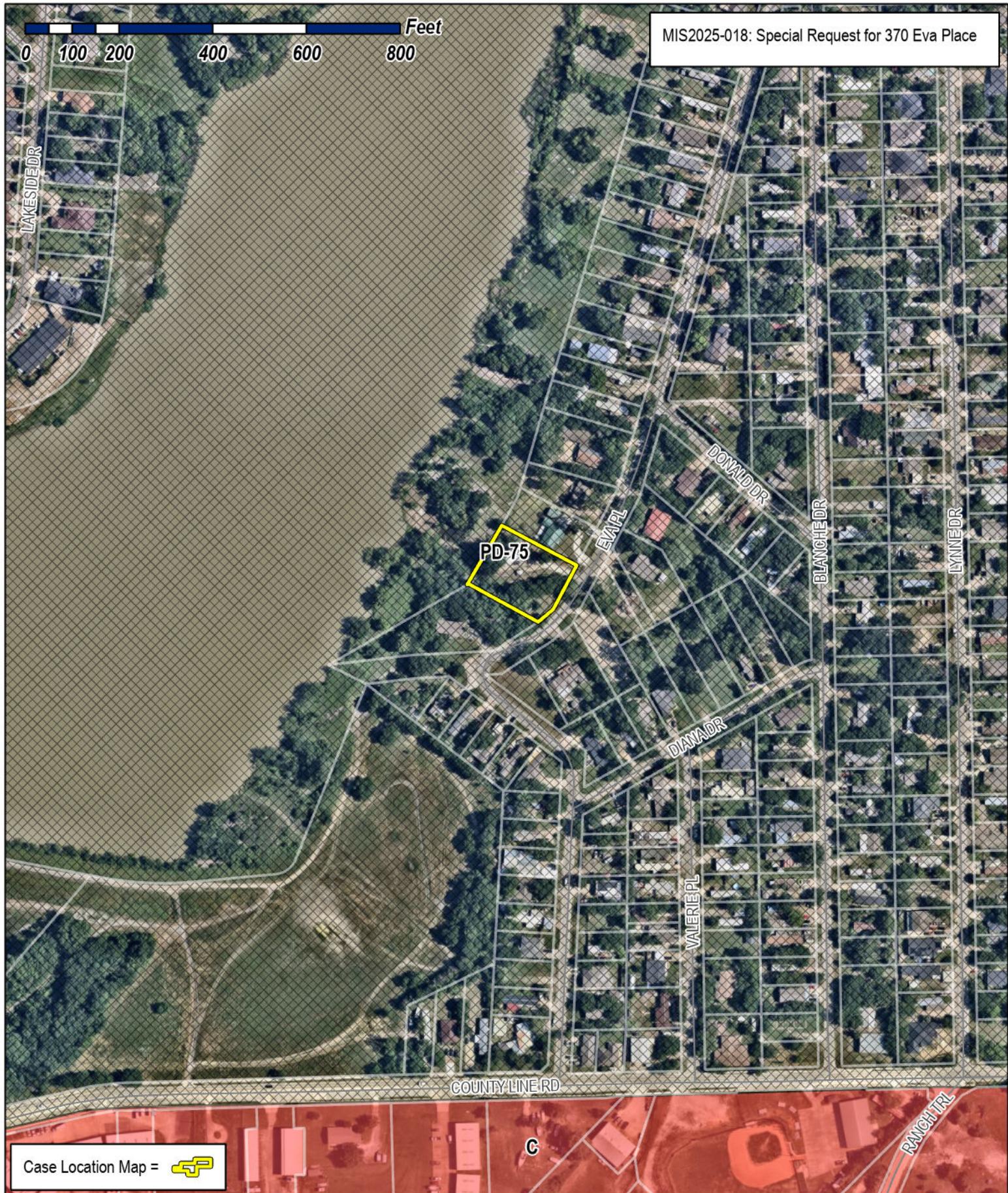
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF Oct, 2025

OWNER'S SIGNATURE 

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS 





Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Property at:
370 Eva Place Rockwall, TX 75032

CURRENT MATERIALS



Steel "I"
Beam



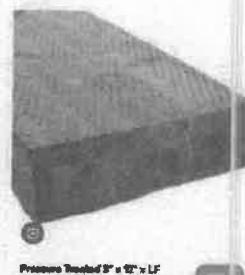
Single Treated 2 x
12 support joist

Concrete footer

PROPOSED MATERIALS



15 - 12 x 12 x28' Treated Wood Pilings

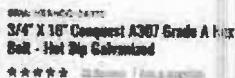


20 - Rough Cut; Treated; 3" x 12" Beams



24 - 2" x 12" x 24' #1 Treated Pine Boards

2 x 12, Pine, No.
1. Pressure
Treated (MCA



3/4" x 16' Conquest A36/ Grade A Hot Dip Galvanized



★★★★★ 五星级评价



Simpson Strong-Tie BP 3/4HDG 3/4" Bolt Dia. 2



3/4"-18 Diamond Head Nut,
A563 Grade A - Hot Dip Galvanized



3/8"-7 x 3"
Conquest Hex
Head Lag Bolt

Galvanized Fasteners

PILING FOUNDATION - PLAN VIEW

Piling NEED 15

4-2+12x24' treated, x 6 locations

24 pieces

STAIRS WITH 6x6 LANDING

BOX LENGTH

1' TYP.

1' TYP.

APPROX 10'-3" SC

7 plus 6' to outside of piling and decking

BOX WIDTH (BOX WIDTH LESS 6')

CENTERLINE

FOUNDATION WIDTH (BOX WIDTH LESS 6')

660' BELL

660' BELL

660' BELL

(4) 2X12 TREATED BEAM (DOUBLE ON EACH SIDE OF PILE - SEE DETAIL)

STEEL FRAME

(2) TREATED 3x12' (ROUGH CUT) OR A SINGLE 3x12x14' TREATED PSL STEEL FRAME CROSS BEAM (SEE DETAIL)

TREATED PILING (SEE DETAIL)

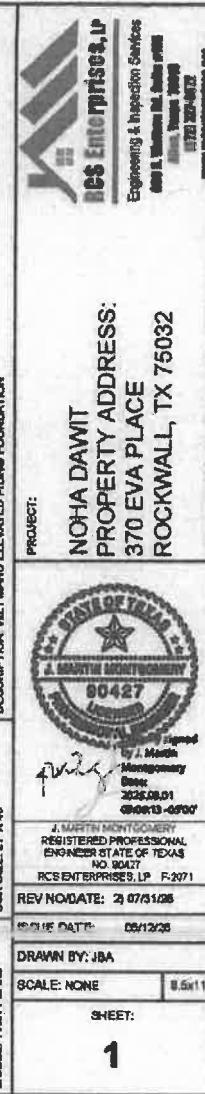
STAIRS WITH

A

A

卷之三

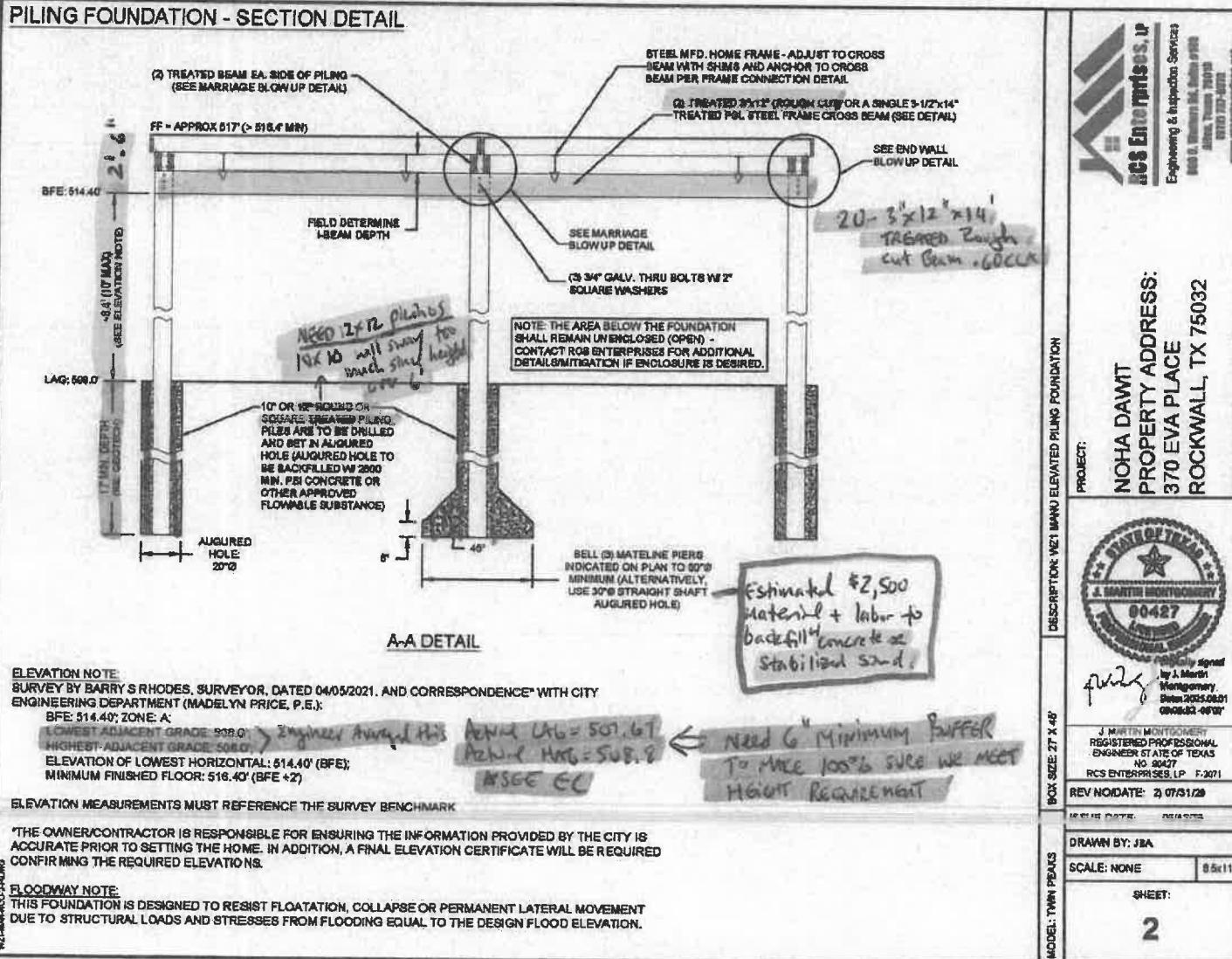
FINAL DIMENSIONS MUST BE OBTAINED FROM THE MANUFACTURER PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS.



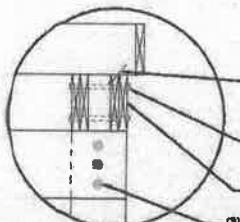
PILING FOUNDATION - SECTION DETAIL

Total
filling
length

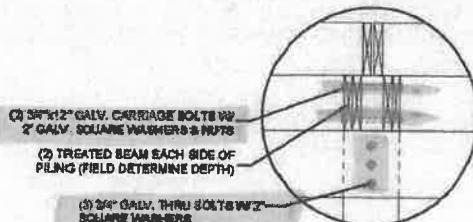
12 * 12 * 28 "



PILING FOUNDATION - CONSTRUCTION DETAILS



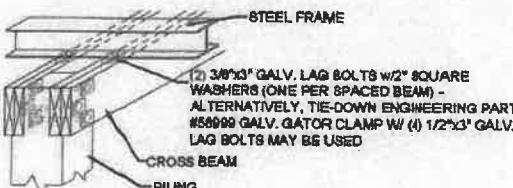
END WALL BLOW UP DETAIL



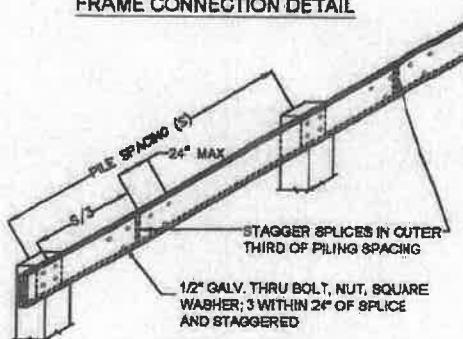
MARRIAGE BLOW UP DETAIL

5-16" BOLTS/NUTS
10 - SQUARE WASHERS → PER PILING

W2L4W4H4-002-2-PILENG



FRAME CONNECTION DETAIL



BEAM SPLICE DETAIL

NOTES:

1. DETAIL APPLICABLE TO CONVENTIONAL LUMBER
2. ALL SPLICES MUST BE IN THE OUTER THIRD OF THE PILING SPACING
3. DO NOT BOLT THROUGH SPLICES

 <p>RCS Enterprises, LP Engineering & Inspection Services 1000 E. Sam Houston Pkwy. Suite 2000 Houston, Texas 77020 (800) 727-3872</p>	
<p>PROJECT:</p> <p>NOHA DAWIT PROPERTY ADDRESS: 370 EVA PLACE ROCKWALL, TX 75032</p>	
<p>DESCRIPTION: W2L4W4H4-002-2-PILENG FOUNDATION</p>	
MODEL: TWIN PEAKS	BOX SIZE: 27 X 18
<p>REV HODATE: 2/07/2025</p>	
<p>SIGNED BY: J. Martin Montgomery Date: 2025.08.01 09:06:48 -05'00'</p>	
<p>NOTE: This drawing is the property of RCS Enterprises, LP. It is to be used only for the project for which it was prepared. It is not to be reproduced in whole or in part without the written consent of RCS Enterprises, LP.</p>	
<p>J. MARTIN MONTGOMERY REGISTERED PROFESSIONAL ENGINEER STATE OF TEXAS NO. 00427 RCS ENTERPRISES, LP. P-2071</p>	
<p>DRAWN BY: JBA</p>	
<p>SCALE: NONE 8.5x11</p>	
<p>SHEET: 3</p>	



City of Rockwall
The New Horizon

MEMORANDUM

TO: **Board of Adjustment Members**
FROM: **Craig Foshee, Building Inspections Plan Examiner**
DATE: **October 2, 2025**
SUBJECT: **Variance request – BOA-2025-3-V for 10/9/2025 Meeting**

Noah Dawit of 370 Eva Place is requesting a public hearing to discuss and consider a Variance to allow for the expansion of a non-conforming structure. The applicant is requesting to elevate the existing manufactured home between 6.4-feet to ten (10) feet using treated wood pilings in order to raise the structure above the base flood elevation. In this case, the applicant has stated that he would like to utilize the existing structure in lieu of constructing a new manufactured home.

According to Section 04.03(H) of Article 2, *Development Review Authority*, of the Unified Development Code (UDC), the Board of Adjustments (BOA) may, in its judgement, authorize "...the enlargement, expansion or repair of a non-conforming structure in excess of 50.00% of its current value. In such instance, the current value shall be established at the time of application for a hearing before the Board of Adjustments (BOA). If such expansion or enlargement is approved by the Board of Adjustments (BOA), all provisions of the district in which such structure is located shall apply to the new construction on the lot or parcel." According to the letter provided by the applicant the anticipated cost of the scope of work is between \$36,000-\$42,000, and based on the Rockwall Central Appraisal District (RCAD) the current value of the structure on the subject property is \$50,601. This means that the scope of work would equate to 71.14%-83.00% of the value of the existing structure.

In reviewing requests for variances, the Board of Adjustments (BOA), pursuant to the powers conferred upon it by state law, is asked to consider the following criteria:

- (1) If such variance will substantially or permanently injure the appropriate use of adjacent property in the same district;
- (2) If such variance will adversely affect the health, safety or general welfare of the public;
- (3) If such variance will be contrary to the public interest;
- (4) If such variance will authorize the operation of a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located;
- (5) If such variance will be in the harmony with the spirit and purpose of the Unified Development Code (UDC);
- (6) If such variance will alter the essential character of the district in which the property is located and for which the variance is sought;

- (7) If such variance will substantially weaken the general purposes of the zoning regulations established for the district in which the property is located;
- (8) If the variance is due to special conditions, a literal enforcement of the Unified Development Code (UDC) would result in unnecessary hardship;
- (9) If the plight of the owner of the property for which the variance or exception is sought is due to unique circumstances existing on the property, including, but not limited to, the area, shape or slope, and the unique circumstances were not created by the owner of the property and are not merely financial, and are not due to the result of general conditions in the district in which the property is located;
- (10) If the variance or exception is a self-created hardship; and,
- (11) If the variance is clearly identified as a variance to the City's standards on the concept plan, site plan or text of the Unified Development Code (UDC).

In this case, staff is obligated to point out that the property owner purchased the property with the understanding that the subject property was fully within the 100-year floodplain. Staff is also obligated to point out that there are currently no other manufactured homes in the Lake Rockwall Estates Subdivision that have been elevated in the manner that the applicant is requesting. In addition, staff should note that applicant recently completed improvements (*i.e. a front yard fence*) without receiving a building permit. Regardless, of if this case is approved or not, the applicant will be required to remove all unpermitted improvements on the property.

When reviewing this case, it appears that if the case is approved it will constitute a self-created hardship and could potentially create a precedent for other properties in the Lake Rockwall Estates Subdivision; however, requests for variances are discretionary decisions for the Board of Adjustments (BOA). Staff should point out that if this case is approved, the applicant will be required to meet all the zoning requirements of Planned Development District 75 (PD-75). This means the exterior of the manufactured home would be required to be clad in HardiBoard.

On September 25, 2025, staff mailed 23 notices to property owners within 200-feet of the subject property. As of the date of this memorandum, staff has received one (1) response in favor of the applicant's request and one (1) response opposed to the applicant's request. Should the Board of Adjustments (BOA) have any questions, staff will be available at the October 9, 2025 meeting.



City of Rockwall
The New Horizon

Public Notice

The City of Rockwall Board of Adjustments will hold a public hearing on **Thursday, October 9th, 2025, at 6:00 p.m.**, in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

BOA-2025-3-V

Hold a public hearing to discuss and consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688 acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

As an interested property owner, you are invited to attend this meeting and/or express your thoughts in writing by returning the form below. To ensure that your comments are included in the information sent to the Board of Adjustments, please return the completed form below by **October 1, 2025**.

If you have any questions regarding this matter, please contact:

Craig Foshee
Rockwall Building Inspection Dept.
385 S. Goliad Street
Rockwall, TX 75087

Email: cfoshee@rockwall.com
Phone: (972) 772-6774

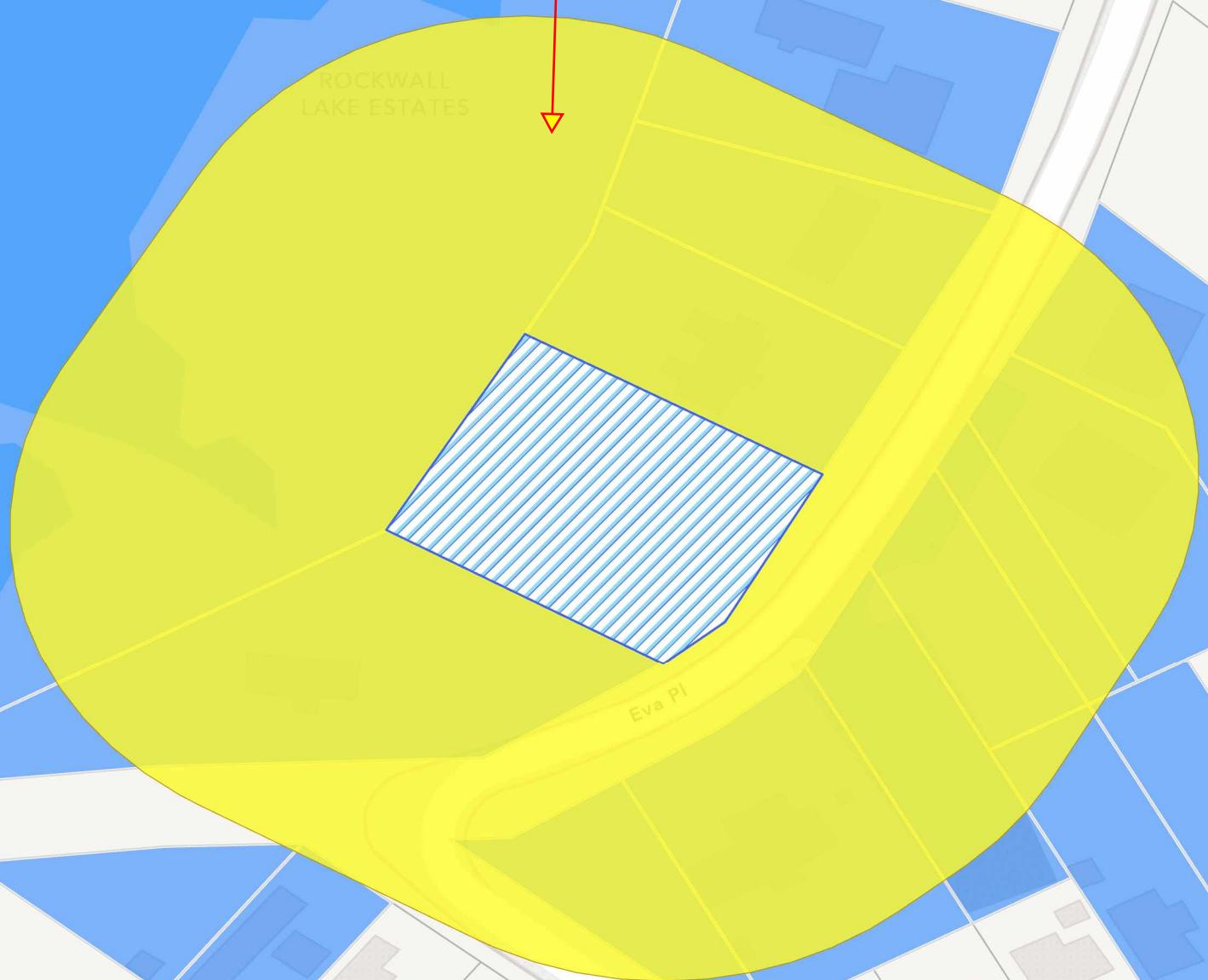
(Please return portion of form below the dotted line)

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below
 I am opposed to the request for the reasons listed below

MAIL OUT AREA



Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

I am opposed to the request for the reasons listed below

I'm in favor of my neighbor raising his home because it will keep his place safe from flooding

385 South Goliad

♦ Rockwall, Texas 75087

♦ (972) 772-6748

Case number: BOA-2025-3-V

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

I am opposed to the request for the reasons listed below

Since all the property "North" of Eva Place is "Flood Zone" property, it was "Never" to be developed for housing by the original owners/management! I own property on the South side of Eva Place & do not want to view houses/trailers on pilings!! All property south should have a beautiful view of the lake with a grassy area down to the water for Everyone to be able to access the lake! This area was to be a "parks and recreation area" for everyone! Whatever company purchased the vacant land was

~~385 South Goliad~~

♦ ~~Rockwall, Texas 75087~~

♦ ~~(972) 772-6748~~

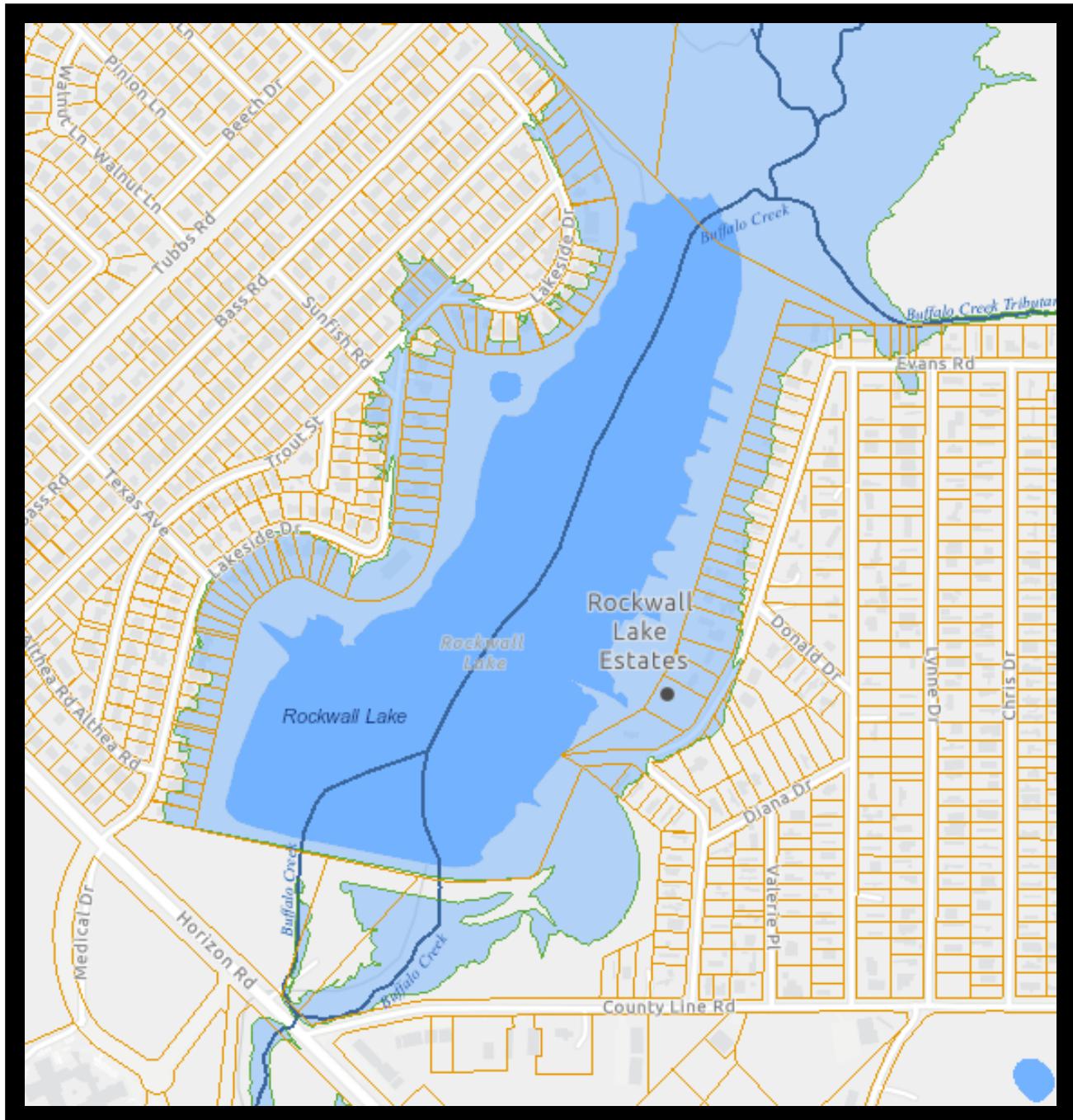
taking advantage of the buyers selling property in a flood zone. Therefore, I oppose this request. Thank you for allowing property owners to vote on this!

Donna Bruce Hilsenroth - 305 Eva Place

Area in Blue is the flood Plain



Area in Blue is the flood Plain



7509 PENNridge CIRCLE
ROWLETT, TX 75088

SURVEY PLAT



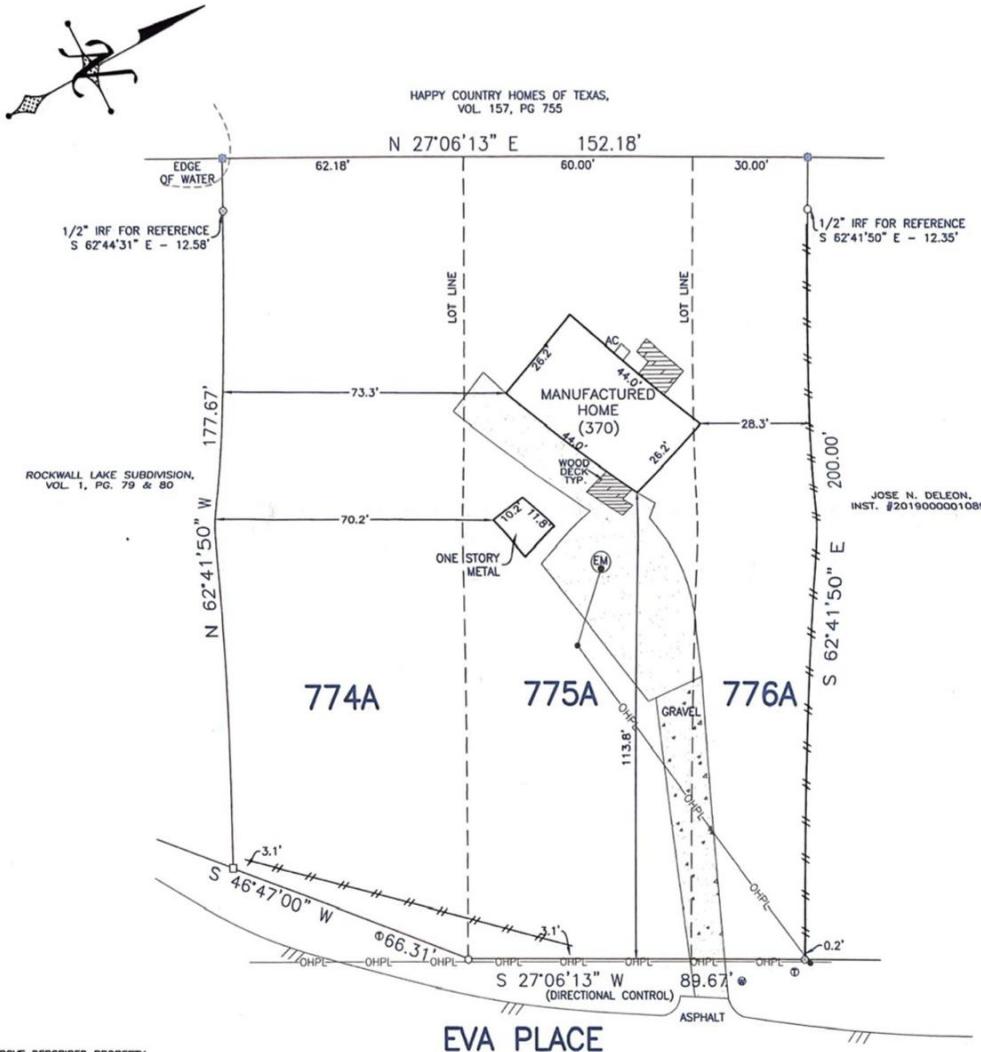
BURNS
SURVEYING

FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 370 EVA PLACE, in the city of ROCKWALL Texas.

Being Lots 774-A, 775-A, and one half of 776-A, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an addition in Rockwall County, Texas, according to the map or plat thereof, recorded in Cabinet A, Slide 79 and 80, Plat Records, Rockwall County, Texas.



THE ABOVE DESCRIBED PROPERTY
DOES LIE IN A FLOOD HAZARD
AREA ACCORDING TO THE F.E.M.A.
FLOOD INSURANCE RATE MAP.

COMMUNITY PANEL NO.
48397C0040L, DATED 09/26/2008

BEARINGS ARE BASED ON NAD 83
DATUM, TEXAS STATE PLANE
COORDINATE SYSTEM. NORTH

PROPERTY SUBJECT TO
EASEMENTS & RESTRICTIONS

EASEMENTS & RESTRICTIONS
Volume 97, Page 153; Volume 158, Page 955;
Volume 264, Page 947; Volume 641, Page 218;
Volume 51, Page 118; Volume 55, Page 154.

Volume 51, Page 118; Volume 55, Page 164,
Volume 59, Page 519

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements

Indicated by the plan the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easement lines. **TITLE AND ABSTRACTING WORK FURNISHED BY ALLEGIANCE TITLE**
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 30'

ACCEPTED BY: _____

LEGEND

WOOD FENCE TEXT

CHAIN LINK IMPROVEMENTS

IRON FENCE BOUNDARY LINE

WIRE FENCE EASEMENT SETBACK

CA - CONTROLLING ELEVATION

MRD - MOVEMENTS OF RECORD DIGNITY

1/2" IRON ROD FOUND

1/2" YELLOW-CAPPED IRON ROD SET

SET "X"

3/8" IRON ROD FOUND

5/8" IRON ROD FOUND

POINT FOR CORNER

CABLE

- CLEAN OUT

- GAS METER

- FIRE HYDRANT

- ELECTRIC

- POOL EQUIP

- POWER POLE

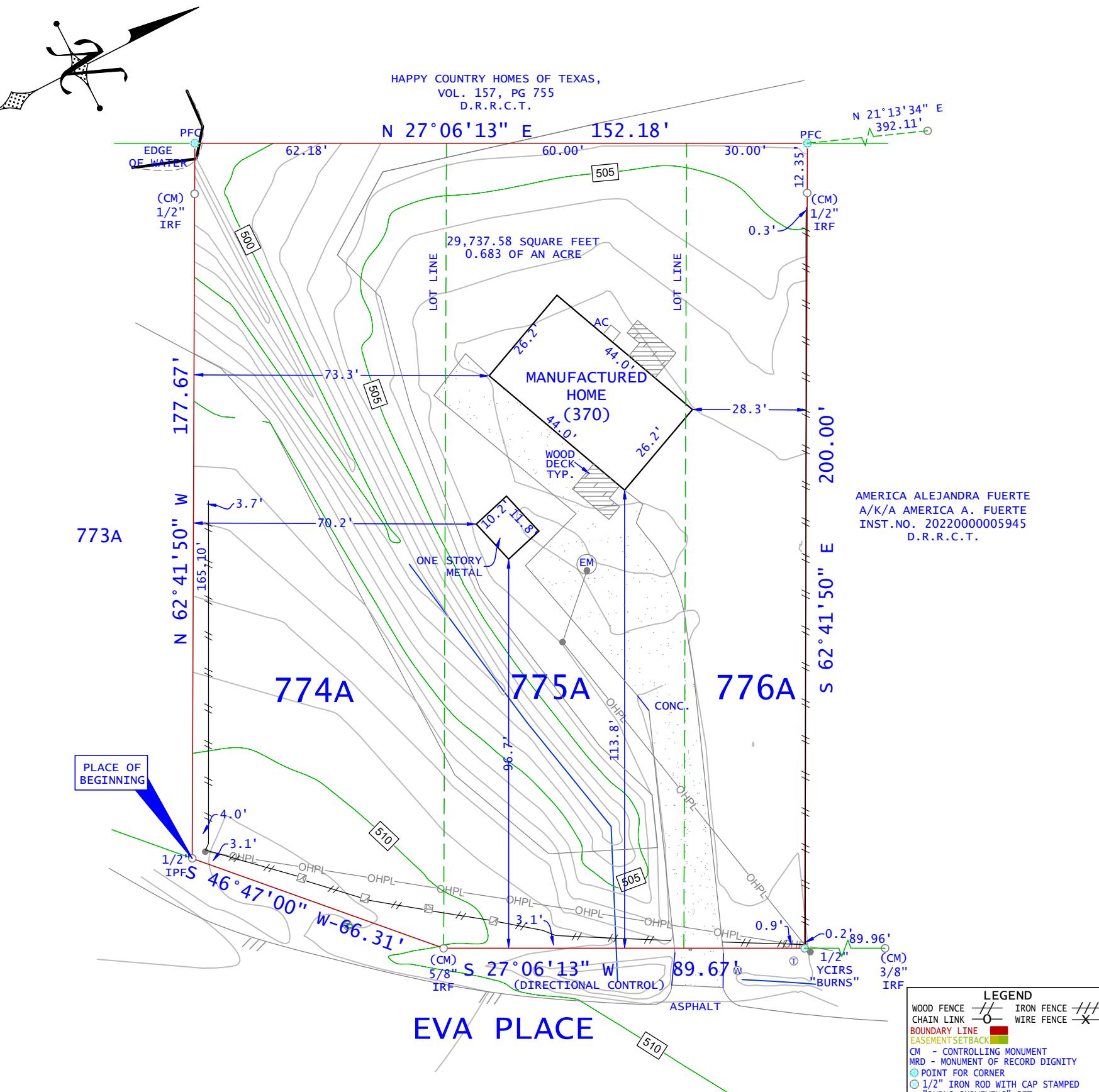
- TURBOFIRE





TOPO SURVEY

2701 SUNSET RIDGE DRIVE, STE 303
ROCKWALL, TEXAS 75032
FIRM REGISTRATION NO. 10194366



BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
This is to certify that I have, this date, made a careful and accurate survey on the
ground of property located at 370 EVA PLACE, in the City of ROCKWALL, ROCKWALL County,
Texas.

STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING all of Lots 774A and 775A, and a part of Lot 776A, Rockwall Lake Properties Development, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, Plat Records, Rockwall County, Texas (P.R.R.C.T.), being a tract of land described in deed to Noha Dawit, recorded under Instrument No. 20240000018619, Deed Records, Rockwall County, Texas (D.R.R.C.T.), and being more particularly described by the following metes and bounds description:

BEGINNING at a $\frac{1}{2}$ inch iron pipe found in the Northwest line of Eva Place, at the East corner of a tract of Lot 773A of said Rockwall Lake Properties Development, being the South corner of herein described tract of land;

THENCE North 62 deg. 41 min. 50 sec. West, passing at a distance of 165.10 feet a $\frac{1}{2}$ inch iron rod found on line for reference and continuing for a total distance of 177.67 feet to a point in the Southeast line of a tract of land described in deed to Happy Country Homes of Texas, recorded in Volume 157, Page 755 (D.R.R.C.T.), at the North corner of said Lot 773A:

THENCE North 27 deg. 06 min. 13 sec. East, a distance of 152.18 feet to a point at the West corner of a tract of land described in deed to America Alejandra Fuerte a/k/a America A. Fuerte, recorded under Instrument No. 20220000005945 (D.R.R.C.T.);

THENCE South 62 deg. 41 min. 50 sec. East, passing at a distance of 12.35 feet a $\frac{1}{2}$ inch iron rod found on line for reference and continuing for a total distance of 200.00 feet to a $\frac{1}{2}$ inch yellow-capped iron rod stamped "Burns Surveying" set in the Northwest line of said Eva Place, at the South corner of said Fuerte tract:

THENCE South 27 deg. 06 min. 13 sec. West, a distance of 89.67 feet to a 5/8 inch iron rod found for corner;

THENCE South 46 deg. 47 min. 00 sec. West, a distance of 66.31 feet to the PLACE OF BEGINNING and containing 29.737.58 square feet or 0.683 of an acre of land.

ELEVATION DATUM RER NAVD88

THIS CERTIFICATION DOES NOT TAKE INTO
CONSIDERATION ADDITIONAL FACTS THAT AN
ACCURATE TITLE SEARCH AND OR
EXAMINATION MIGHT DISCLOSE.

This parcel depicted hereon is a true, correct, and accurate representation of the property as determined by survey; The lines and dimensions of said property being as indicated by the plat; The size, location, and type(s) of building(s) are as shown, all improvements being within the boundaries of the property setback from the property lines the distance indicated.

TITLE AND ABSTRACTING WORK FURNISHED BY NOHA DAWIT

THERE ARE NO ENCROACHMENTS

USE OF THIS SURVEY FOR ANY OTHER PURPOSE
OR OTHER PARTIES SHALL BE AT THEIR RISK
AND UNDERSIGNED IS NOT RESPONSIBLE TO
OTHER FOR ANY LOSS RESULTING THEREFROM.

G. F. No.: N/A

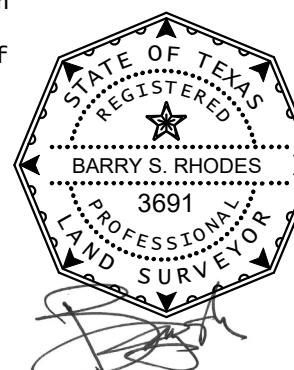
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR
NOHA DAWTT

Drawn by: RM

NUHA DAWI

□ Drawn by: _____ BM

A black wooden fence with a stone pillar and a gate, surrounded by trees and grass.



CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

CITY OF ROCKWALL



BOARD OF ADJUSTMENTS
385 S. GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025

PUBLIC HEARING ITEMS



PICTURES OF THE SUBJECT PROPERTY

ORDER OF THE BOARD OF ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS

ORDER NO. BOA 2025-3-V

WHEREAS, the Board of Adjustment held a public hearing on the 9th day of October, 2025 consider a request by Noah Dawit of 370 Eva Place to allow an Expansion of a Non-Conforming Structure. The applicant requests to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0.688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place and take any action necessary.

WHEREAS, the applicant requested a variance from the said code of ordinance to allow the expansion of a non-conforming structure to elevate the existing manufactured home above the Base Flood Elevation

WHEREAS, after due consideration and discussion it appears that the granting of such variances would not cause an adverse effect on the surrounding properties and would not be contrary to the public interest.

NOW, THEREFORE BE IT ORDERED BY THE BOARD OF ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That all of the above premises are found and determined to be true and correct and are incorporated into the body of this order as if copied in their entirety.

Section 2. That the request from the applicant for this Board to grant a variance from Rockwall Code of ordinance, be and in the same is hereby granted so as to allow an Expansion of a Non-Conforming Structure. to elevate the existing manufactured home above the Base Flood Elevation using treated pilings. The property is identified as a 0 688acre tract identified as ROCKWALL LAKE EST #2, LOT 774A, 775A, 1/2 776A, City of Rockwall, Rockwall County, Texas, Zoned Planned Development – 075, Single-Family 7 (SF-7) District, addressed as 370 Eva Place

Section 3. That the Building Official of the City is hereby authorized and directed to issue the appropriate permits, if any, for the above described property under the terms and conditions of this Order.

Section 4. That this Order was passed by the concurring vote of at least four (4) members of the Board of Adjustment and is effective as of the 9th day of October, 2025.

ATTEST:


Secretary

APPROVED:


Chairman



DATE: December 5, 2025

TO: Noha Dewit
12414 Granite Falls Trail
Frisco, TX 75035

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: MIS2025-018; *Special Request for 370 Eva Place*

Noha Dewit:

This letter serves to notify you that the above referenced case (*i.e. Miscellaneous Case*) that you submitted for consideration by the City of Rockwall was denied by the Planning and Zoning Commission on November 3, 2025. The following is a record of all recommendations and voting records:

Planning and Zoning Commission

On October 28, 2025, the Planning and Zoning Commission approved a motion to recommend denial of the special request by a vote of 4-3 with Commissioner Brock, Roth, and Hustings dissenting.

City Council

On November 3, 2025, the City Council approved a motion to deny the special request by a vote of 7-0.

Based on Section 212.0093 of the Texas Local Government Code (TLGC), you have the ability to provide a written response and corrected site plan package (*i.e. site plan*) that remedies each reason for the disapproval provided. While no timeline may be established for the applicant to submit the response, please note that since the case was denied a new development application and application fee will be required to be submitted along with the written response and corrected site plan package. Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me at (972) 772-6434.

Sincerely,

Henry Lee, AICP, Senior Planner
City of Rockwall Planning and Zoning Department