



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 178 Lynne Dr.

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Ariel Palacios

APPLICANT Inocencio Barron

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 178 Lynne Dr.

ADDRESS 310 Lynne Dr.

CITY, STATE & ZIP Rockwall Tx 75032

CITY, STATE & ZIP Rockwall Tx 75032

PHONE 972 800 3628

PHONE 214 715 0979

E-MAIL _____

E-MAIL barron/inocencio777@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Martin A Palacios Mora [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

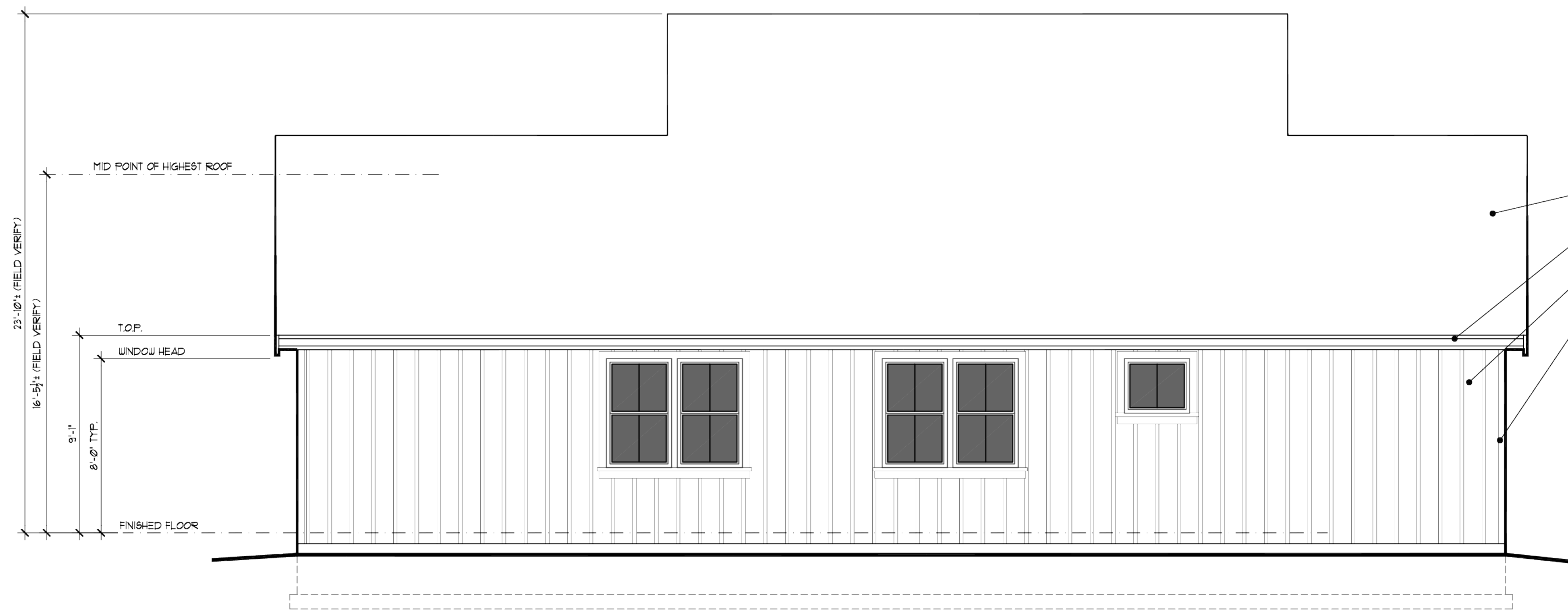
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF September, 2024

OWNER'S SIGNATURE Ariel Palacios

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

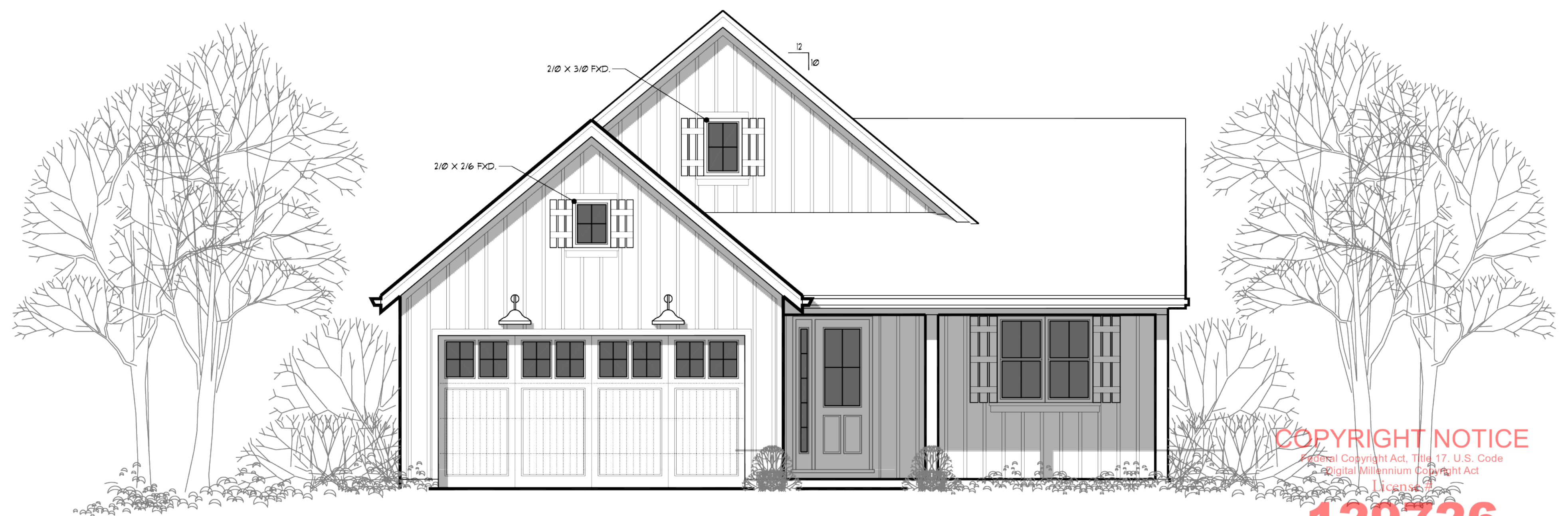




- ROOFING MATERIAL
(SEE ROOF PLAN)
 - G. 1. GUTTER ON 2 X 8 FASCIA
C/W DOWNSPOUTS (SEE ROOF PLAN)
 - 1 X 2 CEDAR BATTENS @ 12" O.C. OVER
1/2" ACX PLYWOOD
 - 5/4 X CEDAR CORNER BDS.
- THE TYPE OF EXTERIOR FINISH, THE
INSTALLATION AND THE WATERPROOFING
DETAILS ARE ALL TO BE THE FULL
RESPONSIBILITY OF THE OWNER/BUILDER. THIS
DESIGNER ASSUMES NO RESPONSIBILITY FOR
THE INTEGRITY OF THE BLDG ENVELOPE

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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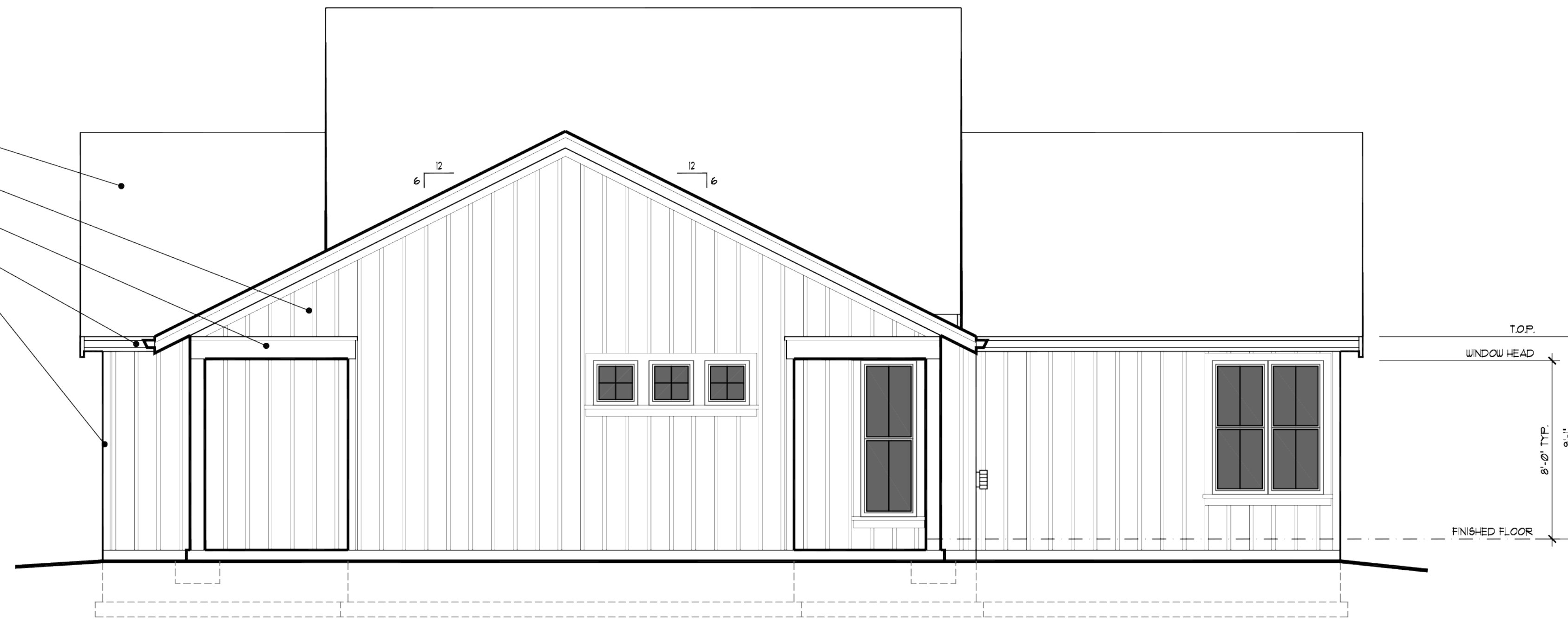
129726

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THESE DOCUMENTS OR REMOVAL OF THIS NOTIFICATION IS SUBJECT
TO PROSECUTION

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY
FOR THE CORRECT INSTALLATION OF ALL
EXTERIOR FINISHES AND WEATHERPROOFING.

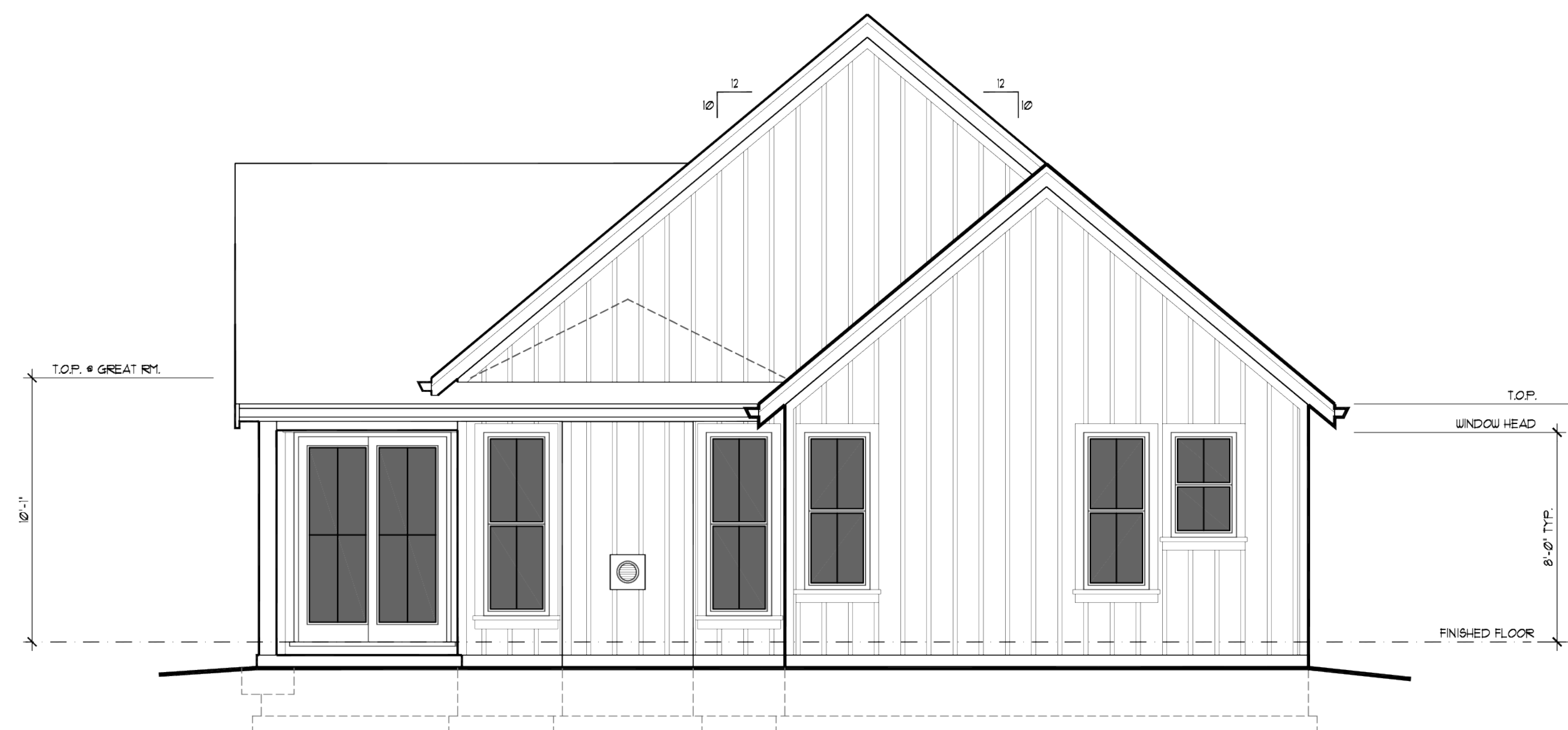
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- ROOFING MATERIAL
(SEE ROOF PLAN)
- 1 X 2 CEDAR BATTENS @ 12" O.C. OVER
1/2" A/CX PLYWOOD
- 2 X 10 R/S TRIM BD. W/ 26
G.A. G.L. FLASHING
- G. I. GUTTER ON 2 X 8 FASCIA
CAJ DOWNSPOUTS (SEE ROOF PLAN)
- 5/4 X CEDAR CORNER BDS.
- THE TYPE OF EXTERIOR FINISH, THE
INSTALLATION AND THE WATERPROOFING
DETAILS ARE ALL TO BE THE FULL
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RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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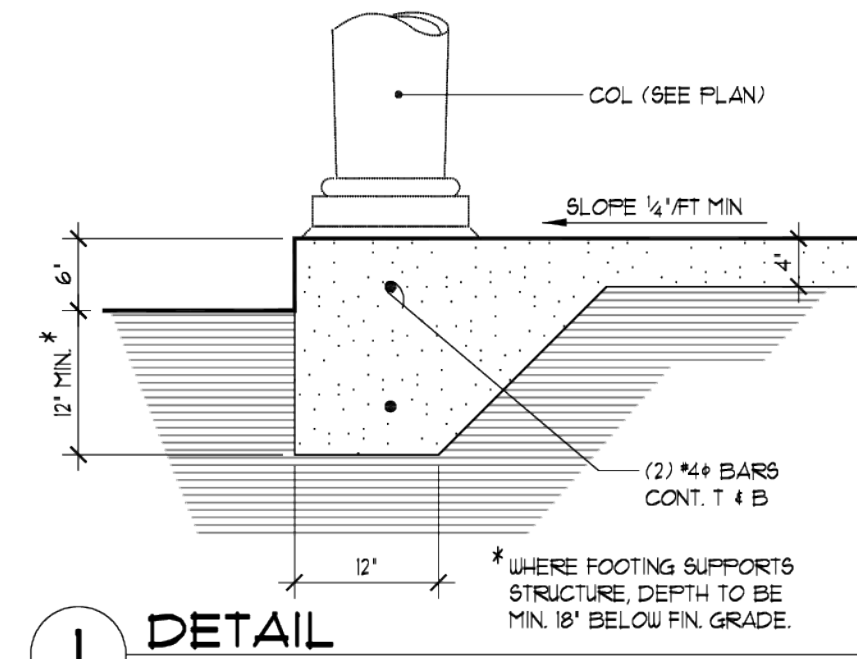
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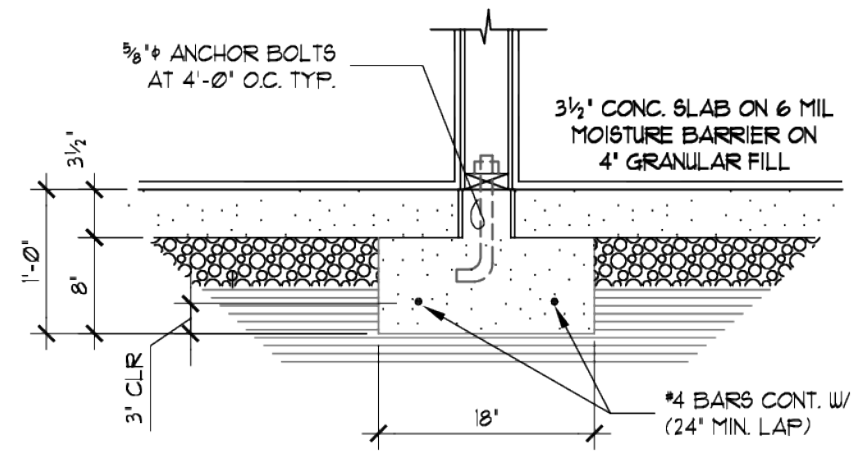
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MAN FLOOR	1596 SQ. FT.	1596 SQ. FT.	1596 SQ. FT.
TOTAL AREA			
GARAGE AREA			1396 SQ. FT.



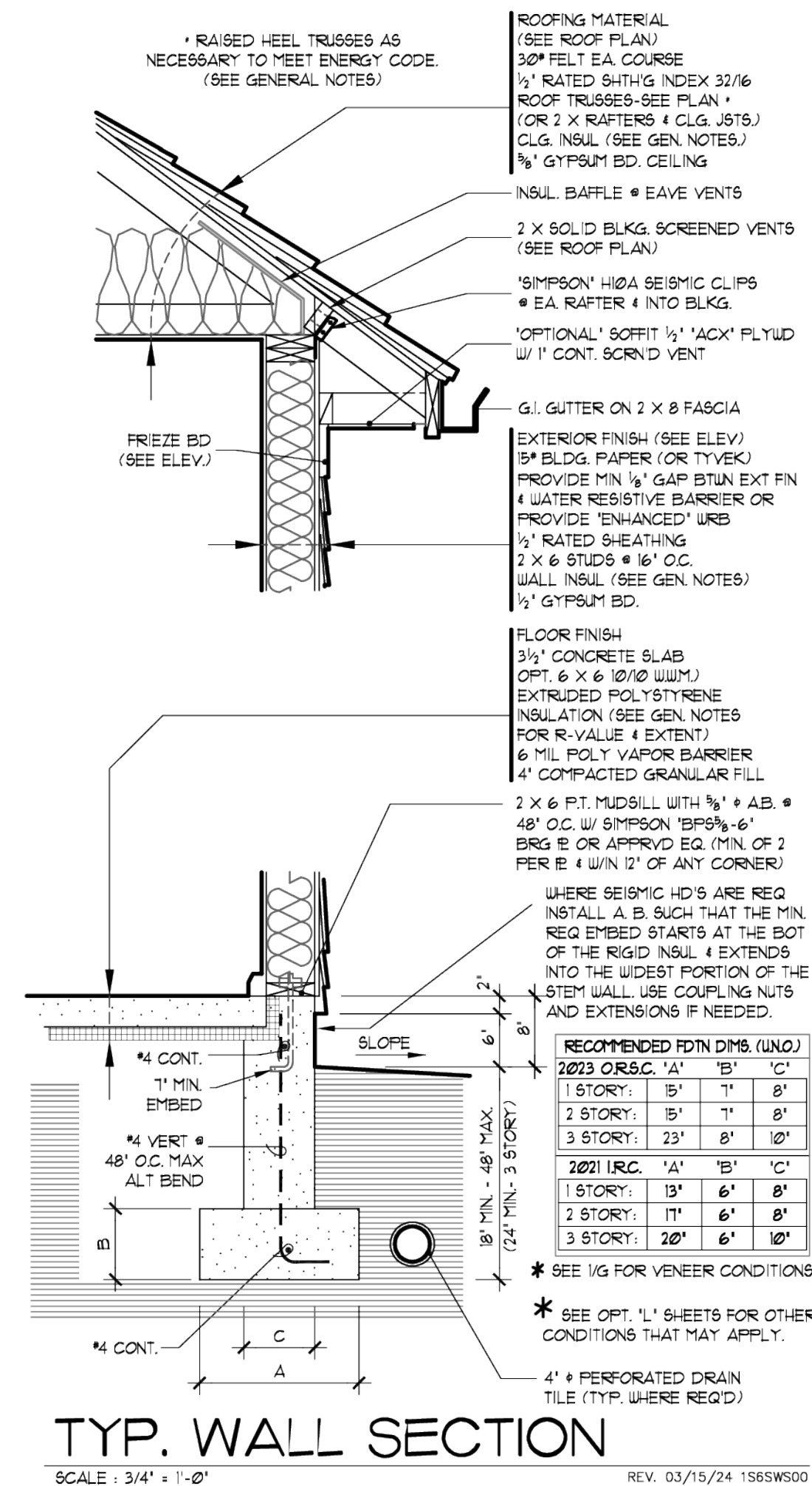
1 DETAIL
SCALE: 3/4" = 1'-0"



2 DETAIL
SCALE: 3/4" = 1'-0"

TAG	PAD SIZE	REINFORCING	MAX. BRG
-	18" DIA. x 1'	N.A.	2,414 *
F20	20"x20"x10"	N.A.	3,819 *
F24	24"x24"x12"	N.A.	5,400 *
F28	28"x28"x14"	N.A.	7,211 *
F30	30"x30"x15"	N.A.	8,203 *
F36	36"x36"x17"	(4) #4 BARS @ 1' O.C. E/W	12,073 *
F42	42"x42"x19"	(5) #4 BARS @ 8" O.C. E/W	16,931 *
F48	48"x48"x21"	(6) #4 BARS @ 9" O.C. E/W	21,600 *
F54	54"x54"x23"	(6) #4 BARS @ 9" O.C. E/W	27,331 *
F60	60"x60"x25"	(7) #4 BARS @ 9" O.C. E/W	33,150 *

ASSUMED MIN. 4x4" D.F. COLUMN (UNQ. - SEE PLANS)
 * 6x6" D.F. COLUMN FOR MAX. BRG.
 ** 3 1/2"x3 1/2" FSL COLUMN FOR MAX. BRG. (OR 6x6 TO 18x21")
 *** 5 1/2"x5 1/2" FSL COLUMN FOR MAX. BRG. (SEE POST-CONN. DETAIL) SOIL B.P. 1,500 PSF



TYP. WALL SECTION
SCALE: 3/4" = 1'-0"

ROOFING MATERIAL (SEE ROOF PLAN)
 3/4" FELT E.A. COURSE
 1/2" RATED SHING INDEX 32/16
 ROOF TRUSSES-SEE PLAN *
 (OR 2" X RAFTERS + CLG. JOISTS)
 CLG. INSUL (SEE GEN. NOTES)
 1/2" GYPSUM BD. CEILING

INSUL. BAFFLE @ EAVE VENTS
 2" X SOLID BLDG. SCREENED VENTS (SEE ROOF PLAN)
 SIMPSON HI24 SEISMIC CLIPS
 EA. RAFTER INTO BLDG.
 OPTIONAL SOFFIT 1/2" ACX" PL'UD W/ 1" CONT. SCRD VENT

G1. GUTTER ON 2" X 8" FASCIA
 EXTERIOR FINISH (SEE ELEV)
 5/8" BLDG. PAPER (OR TYVEK)
 PROVIDE MIN 1/8" GAP BTWN EXT. FIN
 4" WATER RESISTIVE BARRIER OR PROVIDE 'REINFORCED' IWB
 1/2" RATED SHEATHING
 2" X 6" STUDS @ 16" O.C.
 WALL INSUL (SEE GEN. NOTES)
 1/2" GYPSUM BD.

FLOOR FINISH
 3 1/2" CONCRETE SLAB
 OPT. 6" X 6" (10'10" W/4")
 EXTRUDED POLYSTYRENE
 INSULATION (SEE GEN. NOTES
 FOR R-VALUE + EXTENT)
 6" MIL POLY VAPOR BARRIER
 4" COMPACTED GRANULAR FILL

2" X 6" FT. MUDBILL WITH 3/8" # AB #
 48" O.C. W/ SIMPSON 'BFS'-6"
 BRG. E OR APPROV. EQ. (MIN. OF 2
 PER E. + W/ IN 12" OF ANY CORNER)

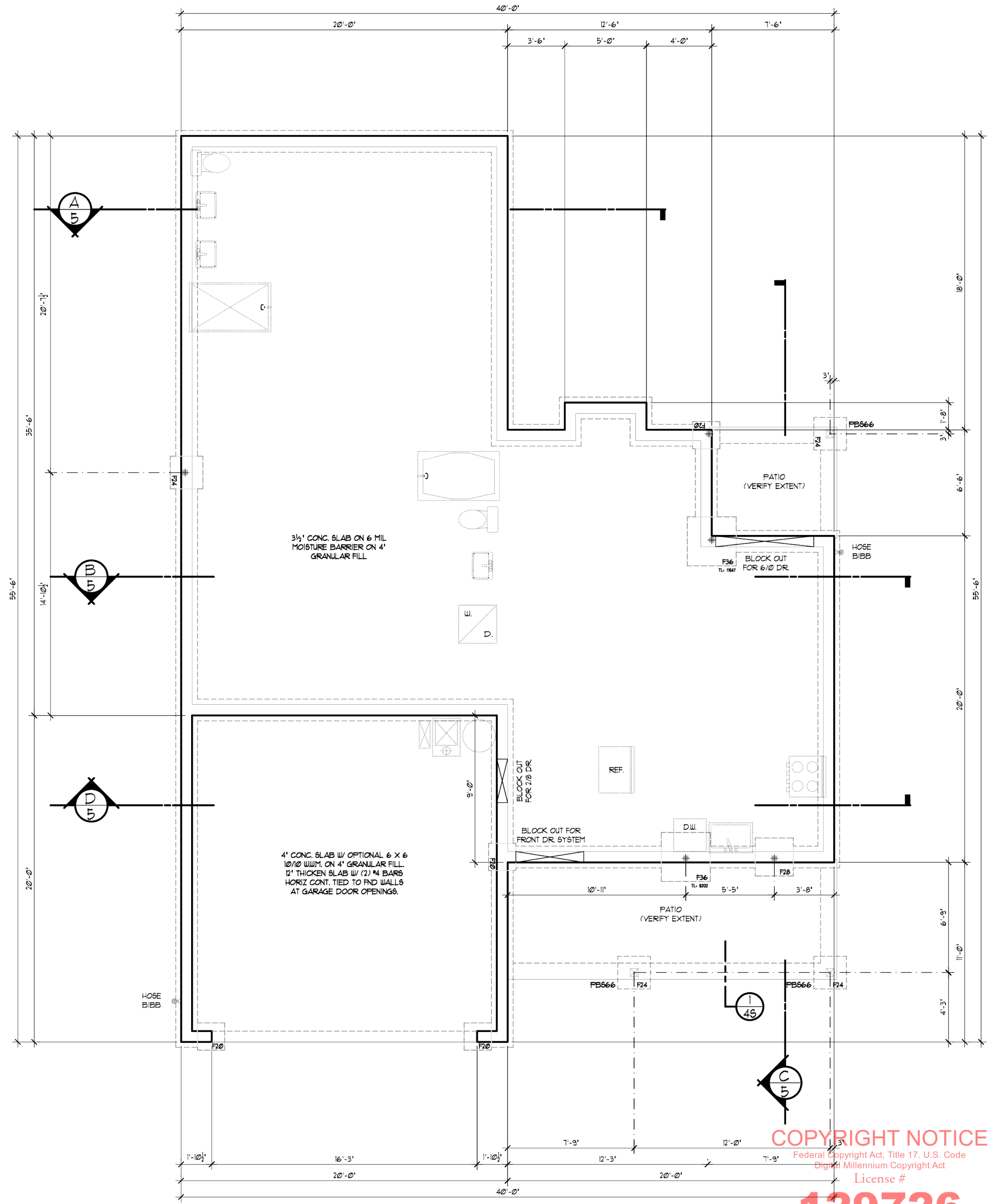
WHERE SEISMIC LOTS ARE REQ.
 INSTALL A B. SUCH THAT THE MIN.
 REQ. EMBED STARTS AT THE BOT
 OF THE RIGID INSUL. + EXTENDS
 INTO THE WIDEST PORTION OF THE
 STEM WALL. USE COUPLING NUTS
 AND EXTENSIONS IF NEEDED.

RECOMMENDED FDN DIMS (UNQ.)

2023 OR B.C. 'A'	'B'	'C'
1 STORY: 15'	1'	8"
2 STORY: 15'	1'	8"
3 STORY: 23'	8"	10"

2021 I.R.C. 'A'
 'B' | 'C' || 1 STORY: 13' | 6" | 8" |
| 2 STORY: 11' | 6" | 8" |
| 3 STORY: 20' | 6" | 10" |

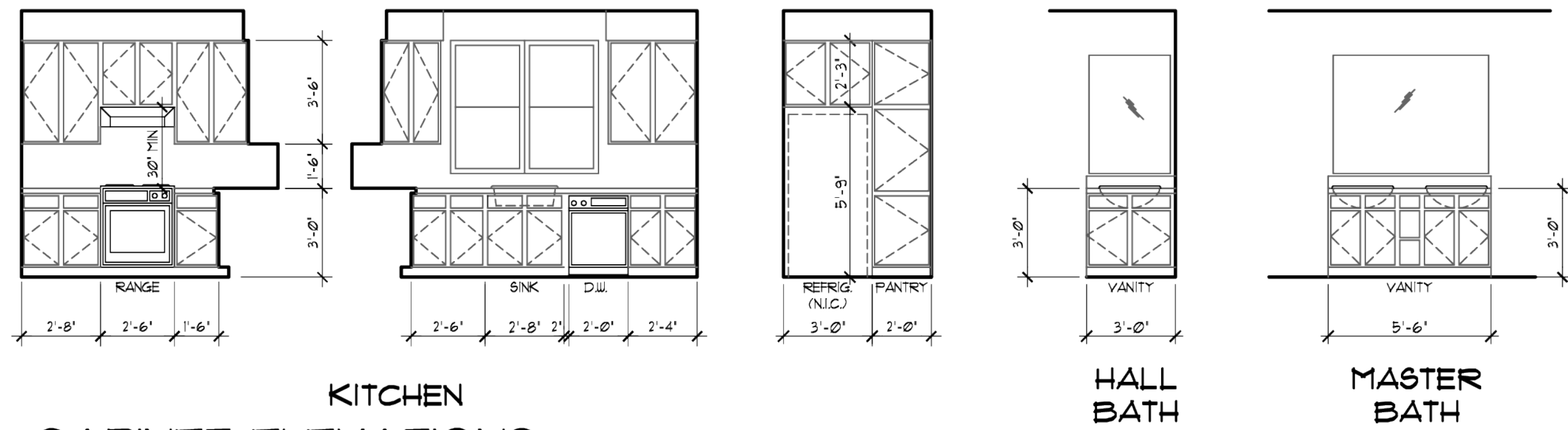
* SEE 1/3 FOR VENEER CONDITIONS
 * SEE OPT. 'L' SHEETS FOR OTHER CONDITIONS THAT MAY APPLY.
 4" PERFORATED DRAIN TILE (TYP. WHERE REQ'D)



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

IF LATERAL ENGINEERING IS REQUIRED, REFER TO
 ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

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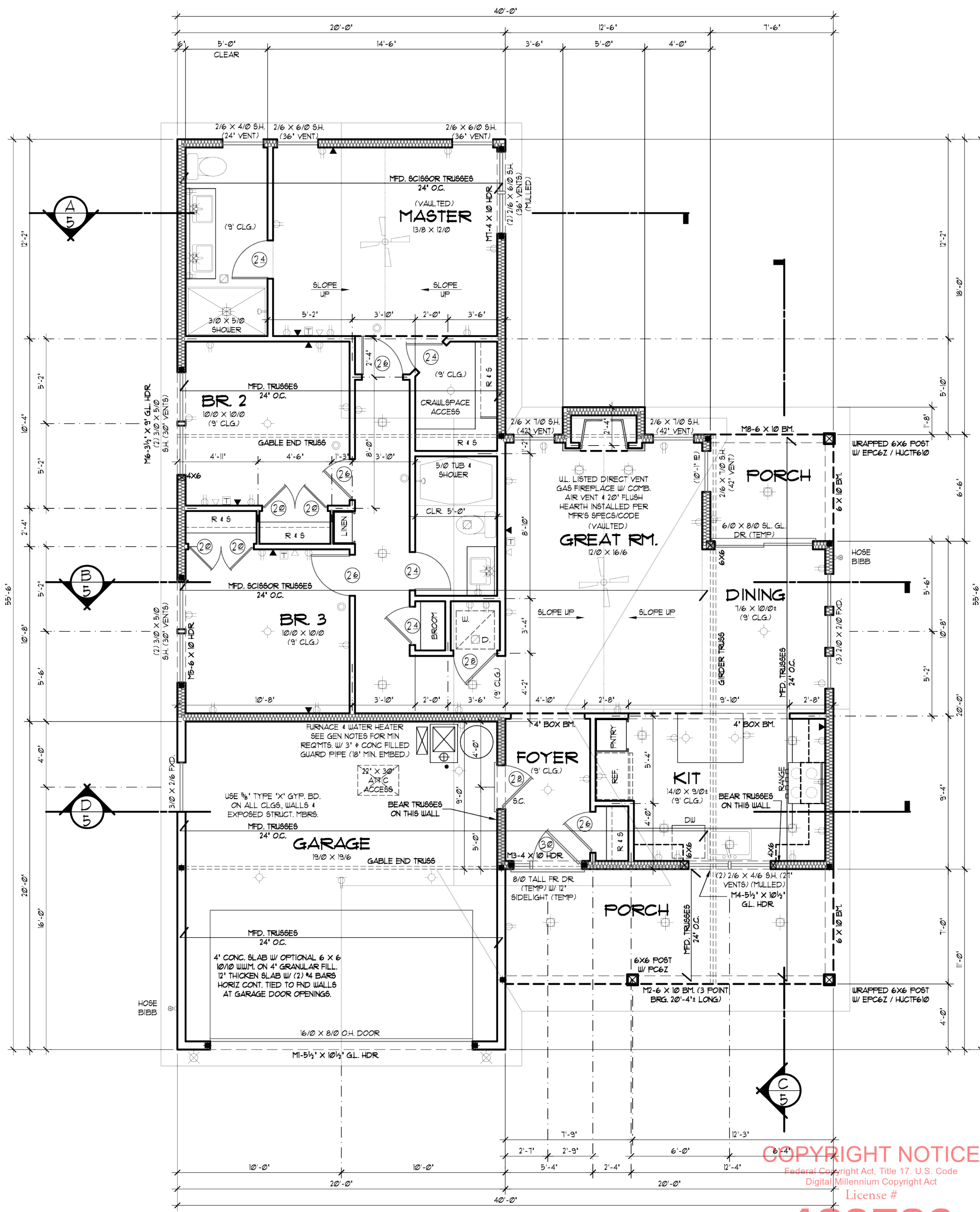
**KITCHEN
CABINET ELEVATIONS**

SCALE: 1/4" = 1'-0"

- LEGEND**
- ⊙ RECESSED LIGHT
 - ⊙ RECESSED DIRECTIONAL LIGHT FIXTURE
 - ⊙ WALL-MOUNT LIGHT
 - ⊙ SURFACE-MOUNT LIGHT
 - ⊙ FLOOD LIGHT
 - ⊙ SURFACE MOUNTED FLUORESCENT
 - ⊙ RECESSED EXHAUST FAN VENTED TO THE EXTERIOR
 - ⊙ CEILING FAN
 - ⊙ DUPLEX OUTLET
 - ⊙ CEILING MOUNTED DUPLEX OUTLET
 - ⊙ 220V OUTLET
 - ⊙ FLUSH FLOOR MOUNTED OUTLET (VERIFY LOC.)
 - ⊙ TELEPHONE OUTLET
 - ⊙ DATA OUTLET
 - ⊙ SPEAKER LOCATION
 - ⊙ TELEVISION OUTLET
 - ⊙ SPEAKER LOCATION
 - ⊙ SMOKE / CO DETECTOR (SEE GENERAL NOTES FOR OTHER SPECS)
 - ⊙ BEARING POINT LOCATION (PROVIDE SOLID BEARING - MIN. OF MEMBER WIDTH UNO.)
 - ⊙ POINT LOAD FROM ABOVE
 - ⊙ 4 X 4 POST FROM ROOF H/P, VALLEY OR RIDGE DOWN TO BEARING POINT ON WALL BELOW (MAX. OF 45' FROM VERT.)
 - ⊙ BEARING WALL SUPPORTING STRUCTURE ABOVE
 - ⊙ 4 X 10 HDR. # BEARING WALL INT. DOOR & OPENINGS W/ MIN (2) 2 X 4 SUPPORT EA END (UNO.)
 - ⊙ DROPPED STRUCT. MEMBER BEARING # WALL
- S-FURLONG 07/18/16

- ENERGY ENVELOPE KEY**
- ⊙ WALL/FUR/CLG. INSUL.
 - ⊙ FOUNDATION INSUL.
- (SEE SHEET 'G' FOR INSULATION VALUES)

- CO. DET LOCATION**
- CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EA. BEDROOM OR WITHIN 5 FEET OUTSIDE OF EA. BEDROOM DOOR, AT EVERY FLOOR LEVEL W/ BEDROOMS. (SEE SHEET 'G' FOR ADD'L. INFO)



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

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Mascord COLLECTION

1187
3

25# SNOW LOAD

MAN FLOOR	198 SQ. FT.	GARAGE AREA	396 SQ. FT.
TOTAL AREA	198 SQ. FT.		

PROJECT MANAGER/AS
DRAWN: 08/07/20 LAW

787 NW NEED ST. SUITE 300 PORTLAND, OR 97210 503/225-2366 FAX: 503/985-1951

ROOF DESIGN NOTES

THIS ROOF HAS BEEN DESIGNED TO SUPPORT CEDAR SHAKE ROOFING MATERIALS AND COMPOSITION ROOFING OF VARIOUS TYPES. THE TABLE BELOW DESCRIBES IN DETAIL THE ASSUMPTIONS MADE IN THE DESIGN OF THE ROOF STRUCTURE OF THIS BUILDING.

ROOF LIVE LOAD (SNOW)	25.0 PSF	32.5 PSF	ACTUAL REQ'D
FRAMING MATERIALS:	2.0 PSF	6.75 PSF	SAFETY FACTOR
SHEATHING MATERIALS:	1.5 PSF	6.75 PSF	
MISC. MATERIALS:	1.5 PSF		
ROOFING TYPE	DRY / WET	40.0	PSF TL
MED SHAKES	2.0 / 32.5 PSF		
HVT SHAKES	3.0 / 4.0 PSF		
SHINGLES	2.0 / 32.5 PSF		
COMPOSITION	2.5 / 3.0 PSF		

GYPSUM MATERIALS: ADD 2.0 PSF FOR VAULTED AREAS (COVERED IN SAFETY FACTOR)

NOTE: HIP, VALLEYS & RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTERS (FIELD VERIFY ALL CONDITIONS)

LEGEND

- 4 X 4 WOOD POST FROM RIDGE (HIP OR VALLEY) TO WALL BELOW (MIN. 2" X 4 REQ'D AT WALL BEARING POINT) NOTE: SPLICES IN HIP & VALLEYS CAN ONLY OCCUR @ POST DOWN LOCATIONS
- 49 SQ. IN. ROOF VENTS (SEE VENT TABLE FOR QTY. - 50%/50% SHOWN)
- 2X4 FURLIN WALL TO BM. OR WALL BELOW (FRAM'G AT 24" O.C.)
- SHADED AREA DENOTES ROOF FRAMED OVER RAFTERS BELOW
- DOWNSPOUTS

COMP/SHAKE ROOF

MAXIMUM SPANS PER 2004 WUPA TEL. R.R.-28
#2 D.F. L/240
25' LL & 18' DL

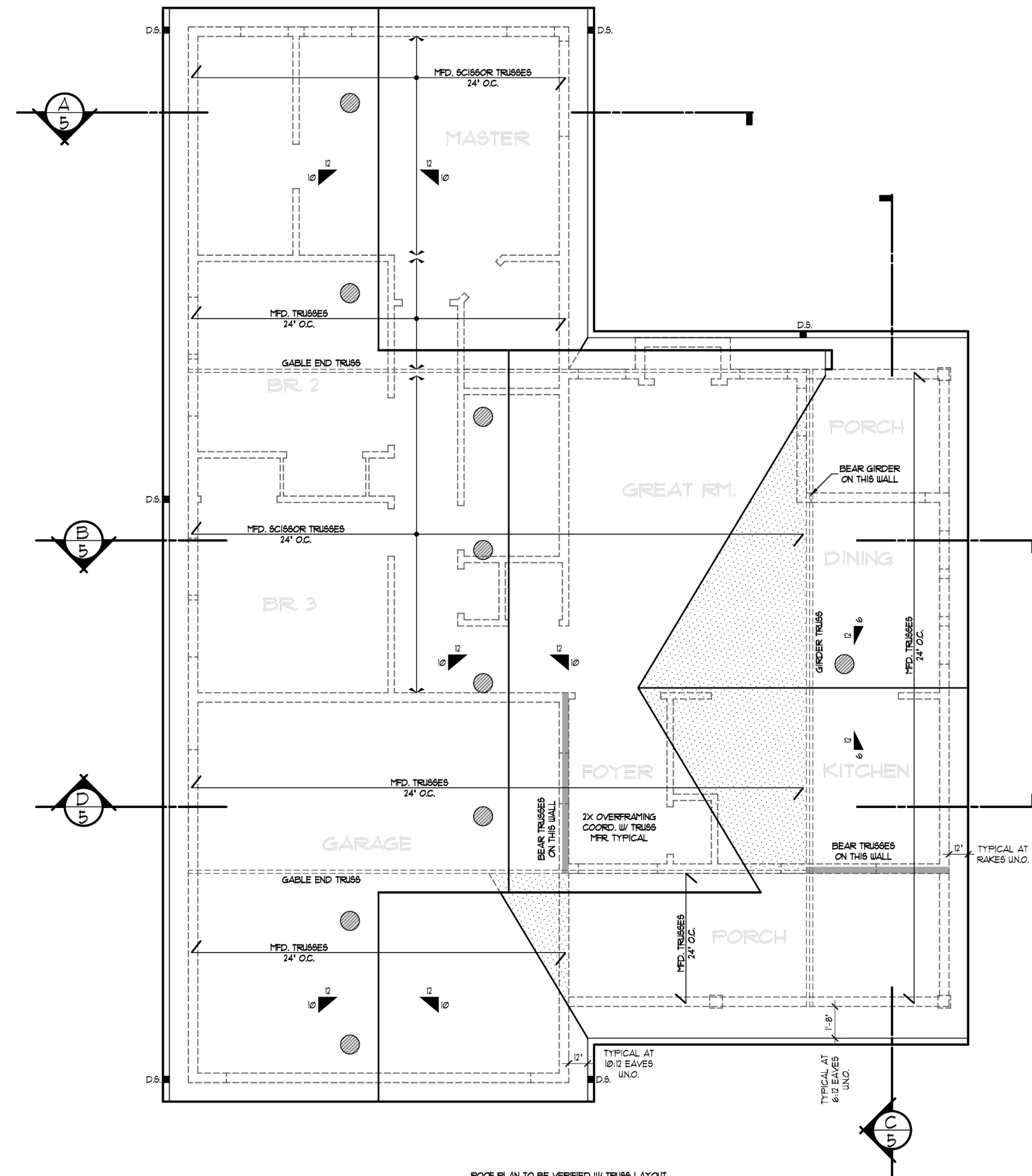
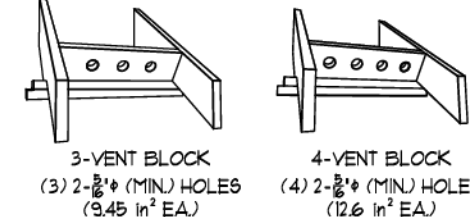
SIZE	SPACING	SPAN
2X6	12' O.C. 16' O.C. 24' O.C.	14'-0" 12'-1" 9'-10"
2X8	12' O.C. 16' O.C. 24' O.C.	17'-8" 15'-4" 12'-6"
2X10	12' O.C. 16' O.C. 24' O.C.	21'-1" 18'-9" 15'-3"
2X12	12' O.C. 16' O.C. 24' O.C.	25'-1" 21'-8" 17'-9"

ROOF VENTS

ROOF AREA (ft ²) ± 1% @		EAVE-BLOCK'G		ROOF VENTS	
% EAVE	AREA (ft ²)	% ROOF	AREA (ft ²)	3-VENT	4-VENT
60	572.6	40	341.8	54	41
56.7	484.4	43.3	370.0	51	39
53.3	455.4	46.7	399.0	48	36
50	427.2	50	427.2	45	34

PER 2004 IBC - 806.2 THE MIN NET FREE VENTILATING AREA SHALL BE 1/60 OF THE AREA OF THE VENTED SPACE.
EXCEPTION: THE MIN NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
1. CLIMATE ZONES 4, 5, 6, 7, 8, & 9. CLASS 1 OR 2 VAPOR RETARDER IS INSTALLED ON THE WARM-HUMID SIDE OF THE CEILING.
2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 10 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 1 FEET FROM THE RIDGE OR HIGHER POINT OF THE SPACE. RAFTERS VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATING PROVIDED SHALL BE LOCATED IN THE BOTTOM PORTION OF THE ATTIC SPACE. BEHIND THE LOCATION OF WALL OR ROOF FRAMING MEMBERS. CONDUITS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION MORE THAN 1 FEET FROM THE RIDGE OR HIGHER POINT OF THE SPACE SHALL BE PERMITTED.

EAVE BLOCKING



ROOF PLAN TO BE VERIFIED W/ TRUSS LAYOUT AND DESIGN BY TRUSS MFR. SEE LAYOUT, TRUSS DRAWINGS AND ENGINEERING, BY MFR, FOR ADDITIONAL SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

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ROOF FRAMING PLAN

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

SCALE: 1/4" = 1'-0"



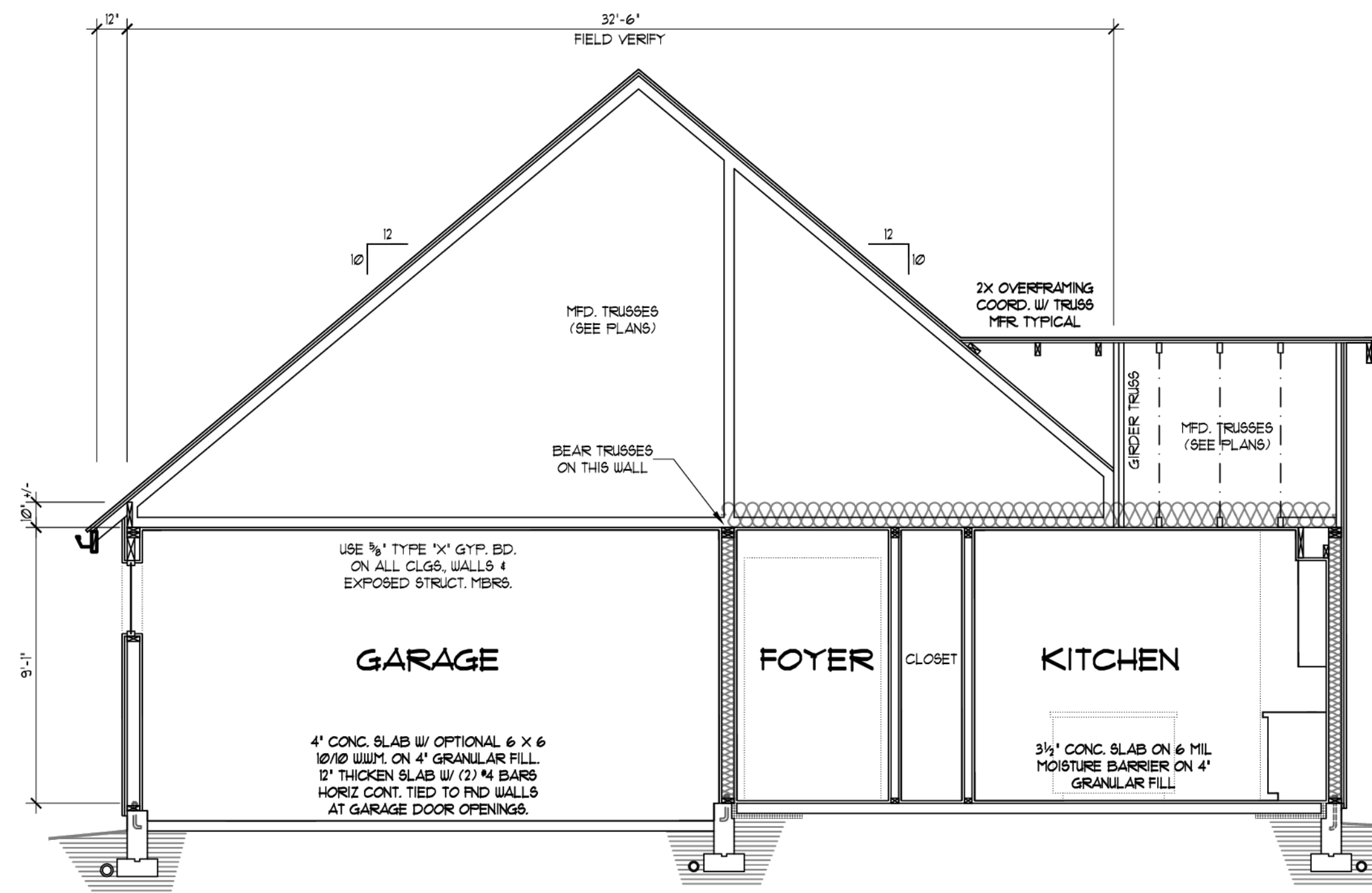
Mascord
COLLECTION

PROJECT MANAGER/AS
DRAWN 08/07/20 LAW

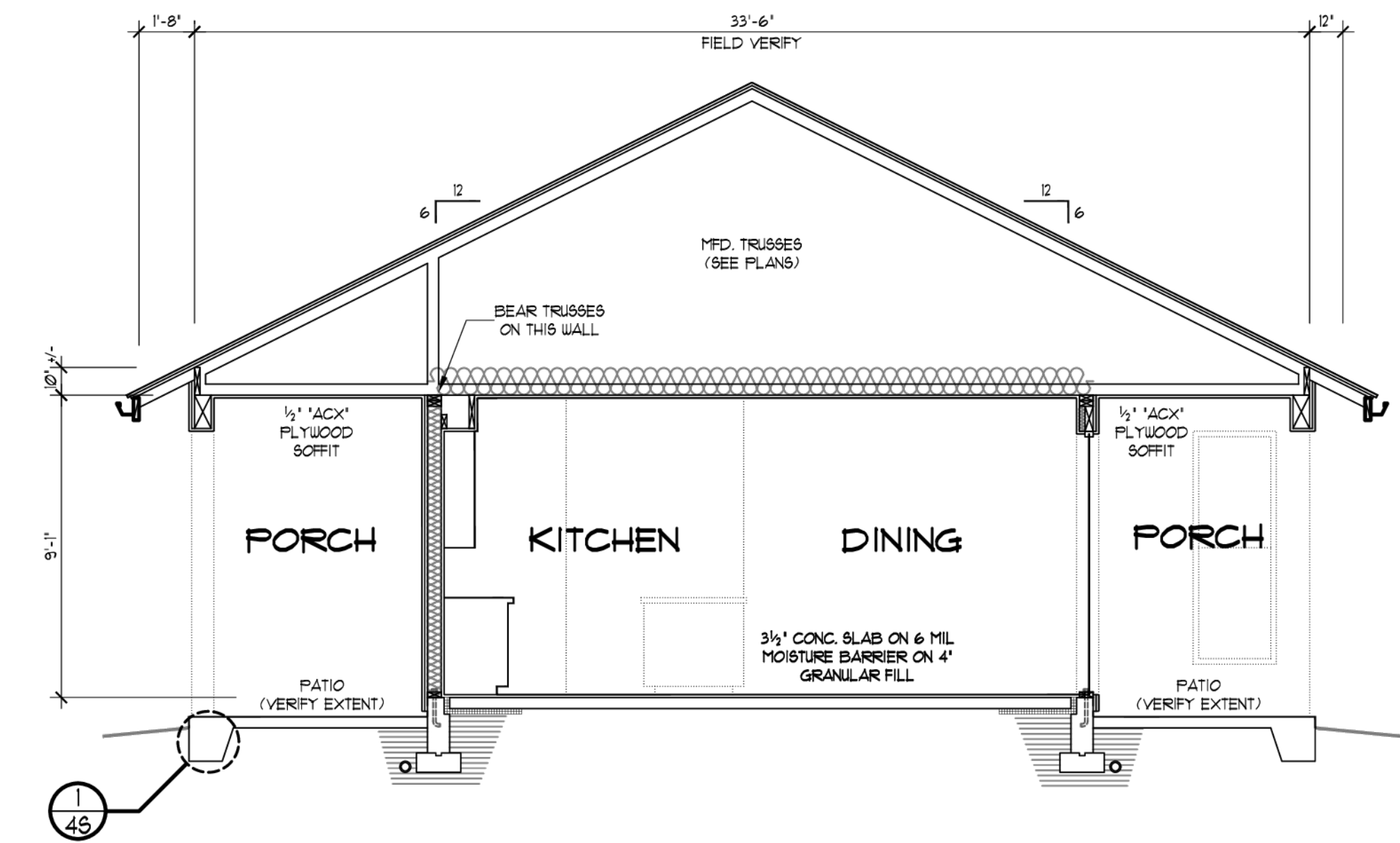
25# SNOW LOAD

MAIN FLOOR	106 SQ. FT.
TOTAL AREA	196 SQ. FT.
GARAGE AREA	396 SQ. FT.

1187
6

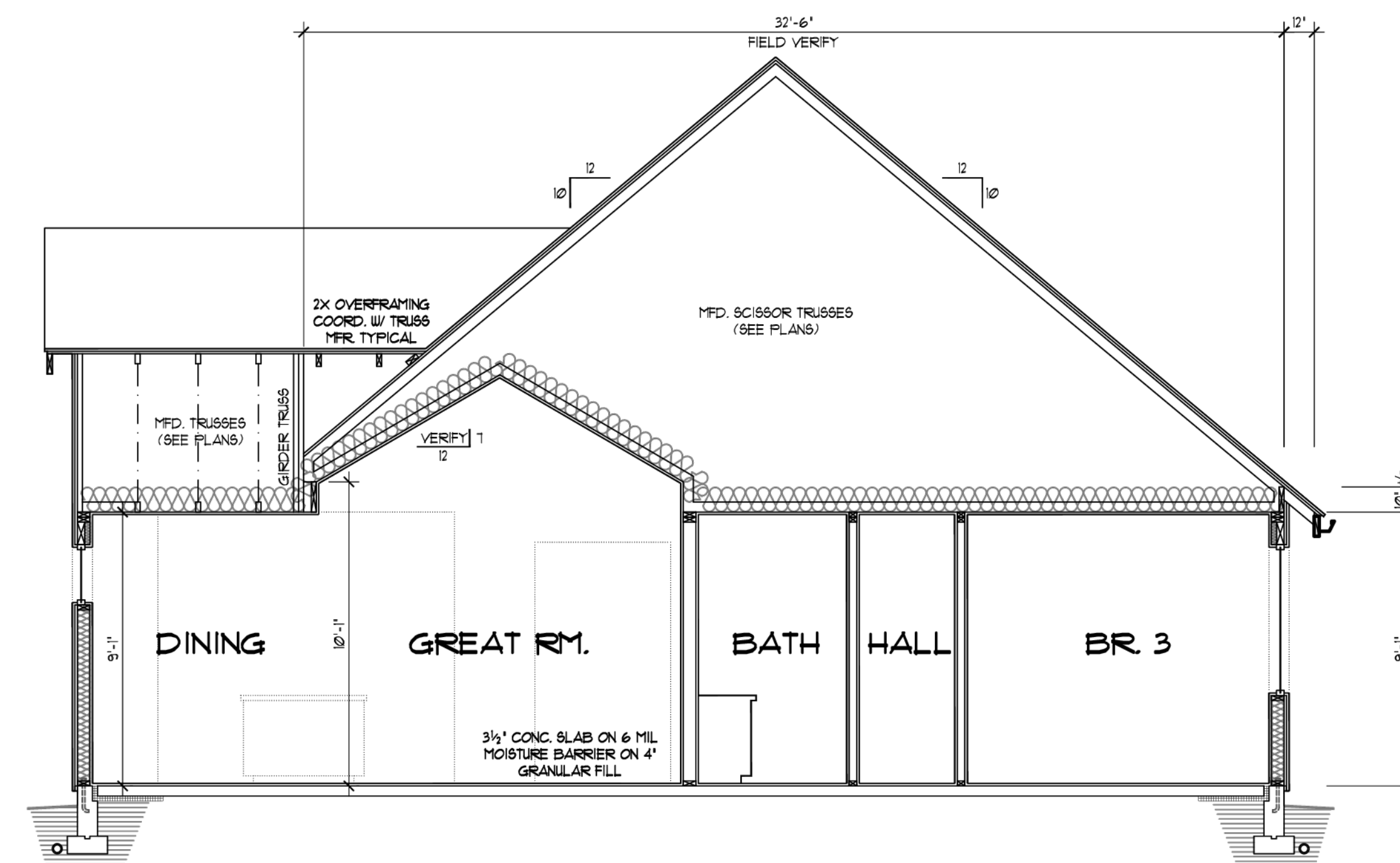


D BUILDING SECTION
SCALE: 1/4" = 1'-0"

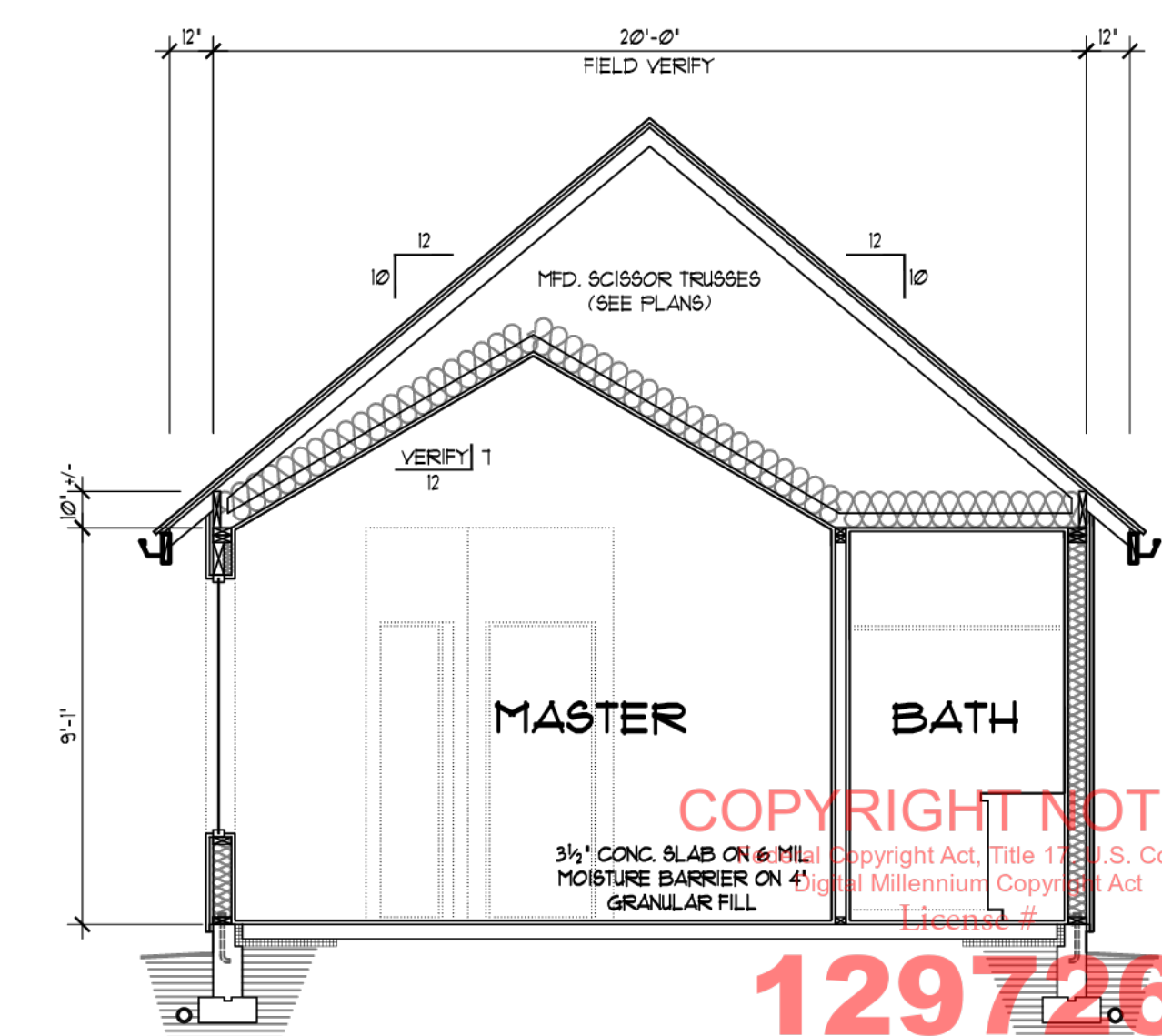


C BUILDING SECTION
SCALE: 1/4" = 1'-0"

ENERGY ENVELOPE KEY	
	WALL, FLOOR, CEILING INSUL.
	FOUNDATION INSUL.
(SEE SHEET 'G' FOR INSULATION VALUES)	



B BUILDING SECTION
SCALE: 1/4" = 1'-0"



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

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Mascord COLLECTION

ALAN MASCORD DESIGN ASSOCIATES, INC.
245 NW 105th St., Suite 100, Portland, OR 97229
503.225.9481 FAX 503.941.0101
WWW.MASCORDDESIGN.COM

PROJECT MANAGER
DRAWN 08/07/20 LAW

25# SNOW LOAD	
MAIN FLOOR	196 SQ. FT.
TOTAL AREA	196 SQ. FT.
GARAGE AREA	396 SQ. FT.

1187
5



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

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CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

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- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 178 Lynne Dr.

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Ariel Palacios</u>	<input type="checkbox"/> APPLICANT	<u>Inocencio Barron</u>
CONTACT PERSON	_____	CONTACT PERSON	_____
ADDRESS	<u>178 Lynne Dr.</u>	ADDRESS	<u>310 Lynne Dr.</u>
CITY, STATE & ZIP	<u>Rockwall Tx 75032</u>	CITY, STATE & ZIP	<u>Rockwall Tx 75032</u>
PHONE	<u>972 800 3628</u>	PHONE	<u>214 715 0979</u>
E-MAIL	_____	E-MAIL	<u>barron/inocencio777@gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

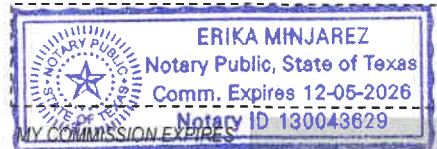
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Martin A Palacios Mora [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF September, 2024

OWNER'S SIGNATURE Ariel Palacios

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____






Z2024-045: Specific Use Permit (SUP) in an Established Subdivision at 178 Lynne Drive



PD-75

LYNNE DR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

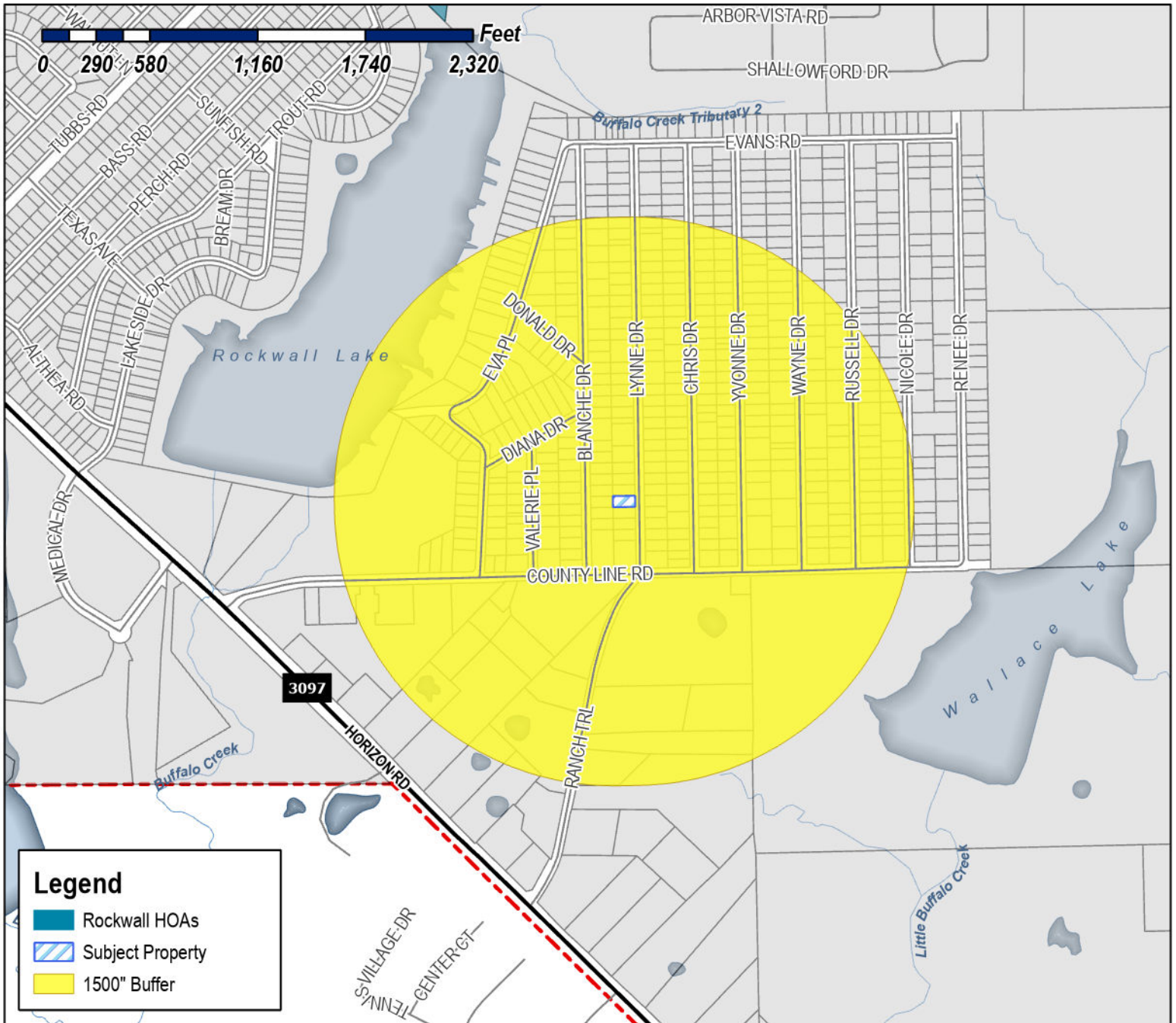




City of Rockwall

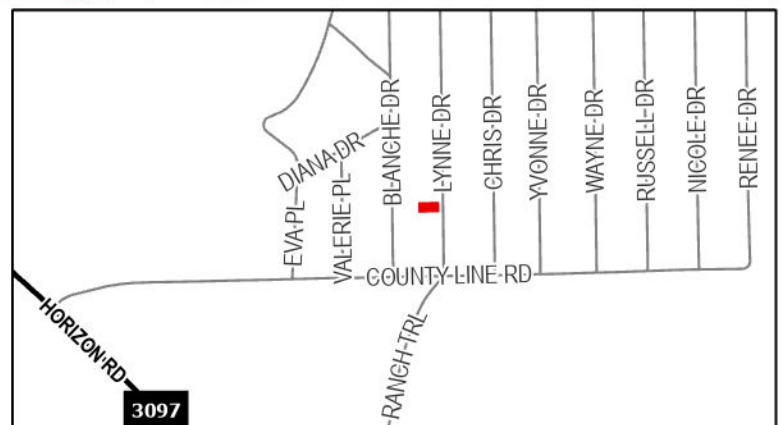
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-045
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75
Case Address: (PD-75)
 178 Lynne Drive

Date Saved: 9/16/2024
 For Questions on this Case Call (972) 771-7745

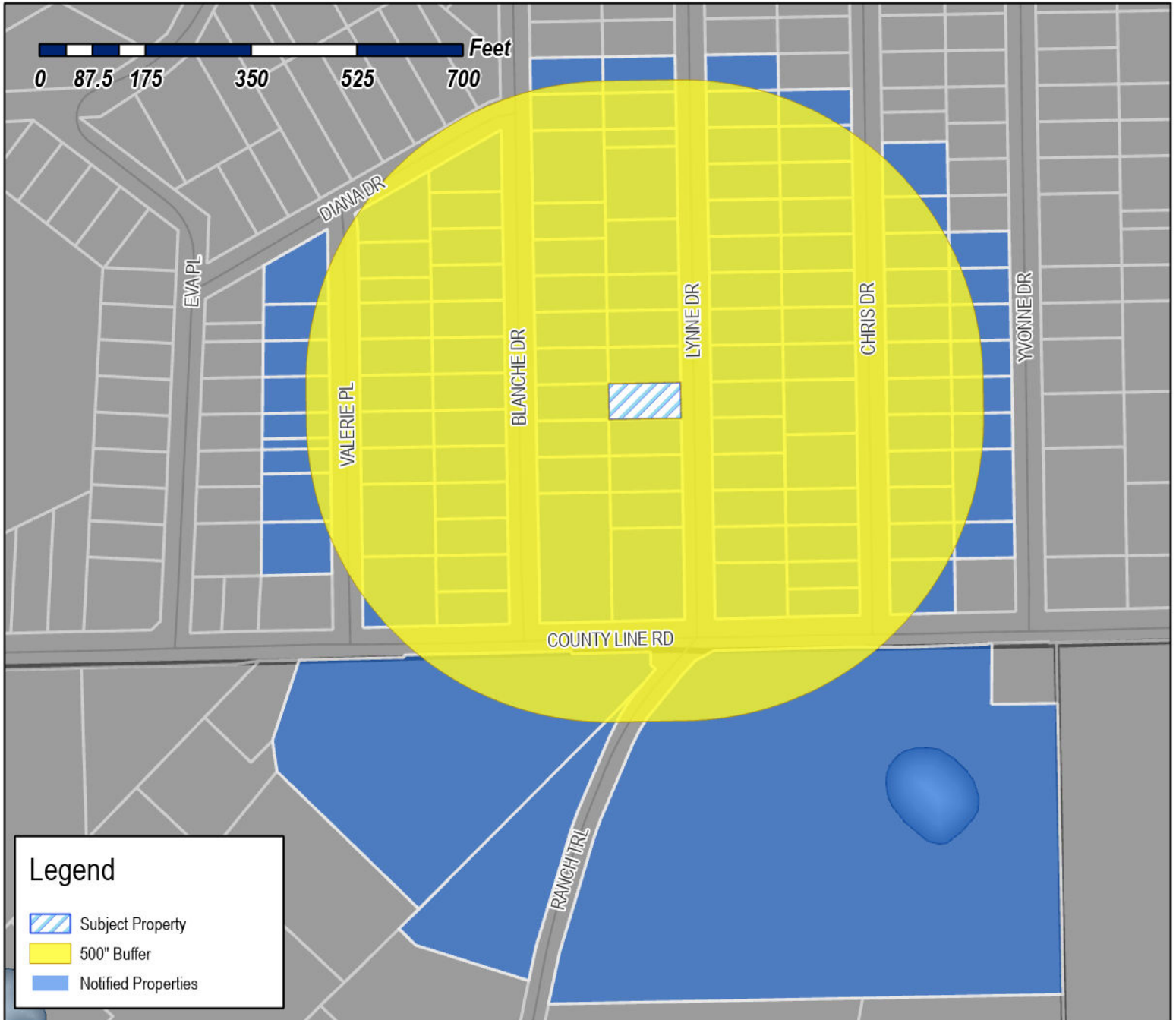




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Legend

- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2024-045
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 178 Lynne Drive

Date Saved: 9/16/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT
109 BLANCHE DR
ROCKWALL, TX 75032

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX 75032

RESIDENT
112 CHRIS DR
ROCKWALL, TX 75032

GAMBOA SOCORRO
114 W RIDGEWOOD DR
GARLAND, TX 75041

CANIZALES ELIDA VILLAREAL
115 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
118 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
120 BLANCHE DR
ROCKWALL, TX 75032

HPA CL1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

RESIDENT
121 LYNNE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

RESIDENT
124 LYNNE DR
ROCKWALL, TX 75032

MCDONNELL BRANDON THOMAS
124 CHRIS DRIVE
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

NORTON ANA ESTELA & MITCHELL EVERETT
NORTON
130 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
131 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
132 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
132 VALERIE PL
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

TORRES DESTINY MARY
134 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
135 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
137 VALERIE PL
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

RESIDENT
143 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
144 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
144 LYNNE DR
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX 75032

RESIDENT
149 VALERIE PL
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
150 CHRIS DR
ROCKWALL, TX 75032

LUU LONG MINH AND THUC-UYEN THI LE AND
DUY THANH PHAM
154 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ RAMON LOPEZ
156 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
157 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
159 CHRIS DR
ROCKWALL, TX 75032

TEPOX FABIOLA DOMINGUEZ
159 VALERIE PL
ROCKWALL, TX 75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

VARGAS RICARDO
163 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

RESIDENT
168 VALERIE PL
ROCKWALL, TX 75032

ZALOMANTE LLC
1690 LYNN LN
LUCAS, TX 75002

COLIN JOSE ENRIQUE OSORNIO
171 CRAWFORD LN
ROYSE CITY, TX 75189

RESIDENT
172 VALERIE PL
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
174 SUNRAY CREEK DR
KATY, TX 77493

RESIDENT
175 VALERIE PL
ROCKWALL, TX 75032

CASTANEDA NOE A
175 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
178 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
178 VALERIE PL
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
179 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
180 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
185 BLANCHE DR
ROCKWALL, TX 75032

ESQUIVEL ZAIDA
186 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
187 VALERIE PL
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

ALVAREZ FRANCISCO J
190 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
190 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
192 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ HERIBERTO FERRER AND
192 VALERIE PLACE
ROCKWALL, TX 75032

RESIDENT
193 CHRIS DR
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
196 CHRIS DR
ROCKWALL, TX 75032

MELENDEZ HOPE
199 DIANA DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PLACE
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
2 BROWNWOOD
LONGVIEW, TX 75602

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

TOVAR JUAN GABRIEL
202 VALERIE PLACE
ROCKWALL, TX 75032

RESIDENT
203 CHRIS DR
ROCKWALL, TX 75032

UNDERWOOD TAMMY M AND
CAITLIN A DAVIS-WILSON
203 LYNNE DRIVE
ROCKWALL, TX 75032

RESIDENT
204 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
204 YVONNE DR
ROCKWALL, TX 75032

TORRES JAIME AND BERNICE
204 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
209 VALERIE PL
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
210 YVONNE DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

CRUZ IGNACIO
212 LYNNE DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
212 LYNNE DR
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA
212 VALERIE PL
ROCKWALL, TX 75032

BALDERAS JOSE C GARCIA & ERIKA MARTINEZ
PEREZ
213 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
214 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
215 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
216 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
219 BLANCHE DR
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

MAZARIEGOS ROMULO AND ESTELA
224 YVONNE DR
ROCKWALL, TX 75032

CASTILLO CELIA GURRUSQUIETA
225 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
226 BLANCHE DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

GUTIERREZ JOSE G & ANGELA A
229 BLANCHE DR
ROCKWALL, TX 75032

SCHULKE VANESSA AND ANTHONY FRESQUEZ
229 VALERIE PL
ROCKWALL, TX 75032

YANEZ MARIA TERESA
230 CHRIS DR
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNN DRIVE
ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
234 BLANCHE DR
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

RODRIGUEZ ALMA R
242 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
247 BLANCHE DR
ROCKWALL, TX 75032

GUARDIOLA GUADALUPE J
247 CHRIS DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
254 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
262 CHRIS DR
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
265 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
266 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
273 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
276 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
281 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
283 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
288 LYNNE DR
ROCKWALL, TX 75032

FRANCO RODOLFO &
CARMEN FRANCO
291 SMITH ACRES DR
ROYSE CITY, TX 75189

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

RANCH TRAIL VENTURES LLC
315 RANCH TRAIL
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

PALICIOS MARIA
365 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
382 RANCH TRL
ROCKWALL, TX 75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CARMONA JOSE ROBERTO &
397 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
405 RANCH TRL
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
4100 ANDYS LANE
PARKER, TX 75002

RENOVATION SPECIALIST LLC
411 CHRIST DRIVE
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL
4427 FM 550
ROYSE CITY, TX 75189

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

RONQUILLO ALMA DELIA
444 EVA PL
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
505 COUNTY LINE RD
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX 75230

GARCIA MARTIN
590 SUN VALLEY DR
ROYSE CITY, TX 75189

FLORES DAYANARA &
611 MEADOW DR
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

GUEVARA JOSE
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

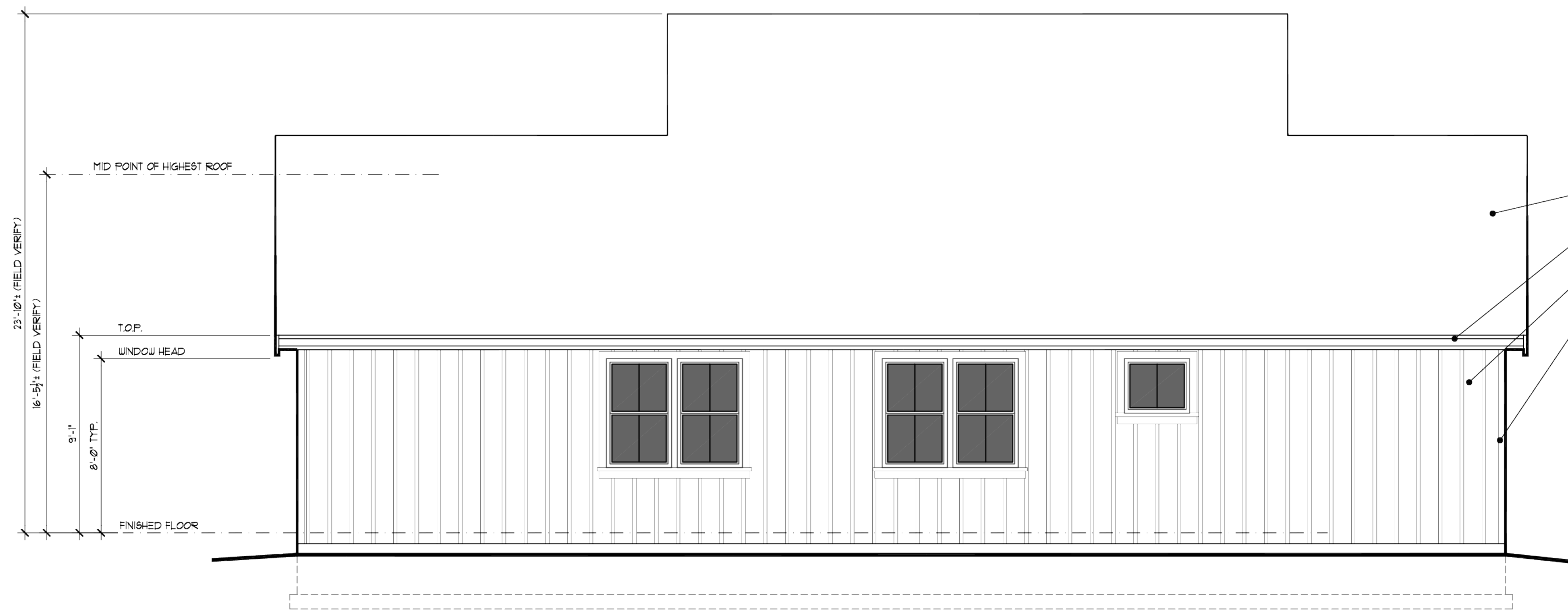
GUEVARA JOSE
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

GUEVARA CARLOS & MONICA A
802 N ALAMO RD
ROCKWALL, TX 75087

PAVON MARISOL
810 E. DOUGHERTY DR
GARLAND, TX 75041

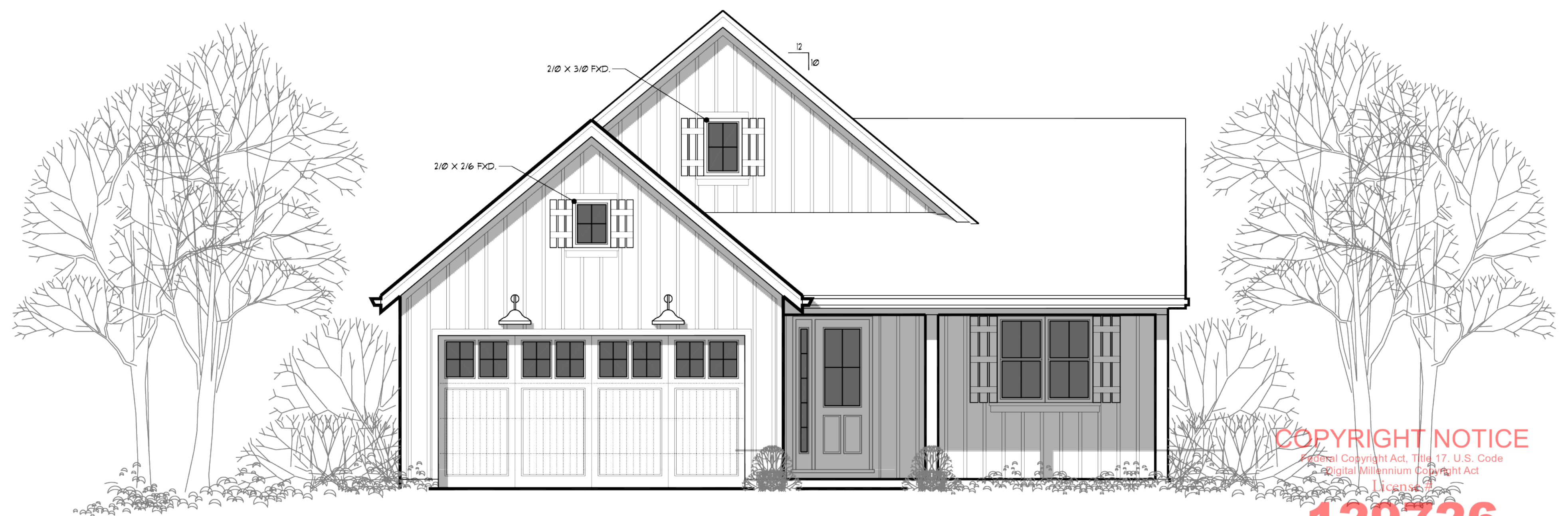
SALAS HECTOR JABIER & CAROLINA ORTIZ
921 W YELLOWJACKET LANE APT 105
ROCKWALL, TX 75087



- ROOFING MATERIAL
(SEE ROOF PLAN)
 - G. 1. GUTTER ON 2 X 8 FASCIA
C/W DOWNSPOUTS (SEE ROOF PLAN)
 - 1 X 2 CEDAR BATTENS @ 12" O.C. OVER
1/2" ACX PLYWOOD
 - 5/4 X CEDAR CORNER BDS.
- THE TYPE OF EXTERIOR FINISH, THE
INSTALLATION AND THE WATERPROOFING
DETAILS ARE ALL TO BE THE FULL
RESPONSIBILITY OF THE OWNER/BUILDER. THIS
DESIGNER ASSUMES NO RESPONSIBILITY FOR
THE INTEGRITY OF THE BLDG ENVELOPE

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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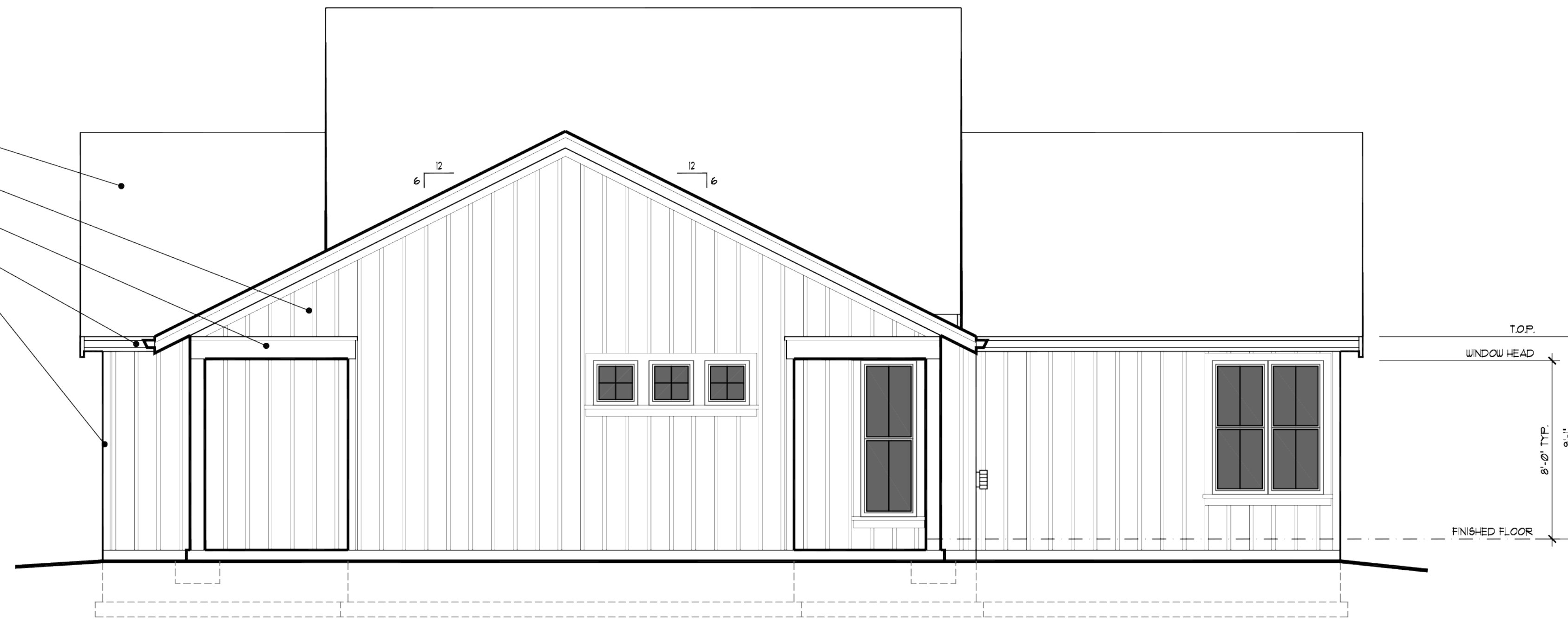
129726

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CONSTRUCTION OF A SINGLE RESIDENCE. THIS LICENSE CANNOT BE
TRANSFERRED, UNAUTHORIZED REPRODUCTION OR USAGE OF
THESE DOCUMENTS OR REMOVAL OF THIS NOTIFICATION IS SUBJECT
TO PROSECUTION

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY
FOR THE CORRECT INSTALLATION OF ALL
EXTERIOR FINISHES AND WEATHERPROOFING.

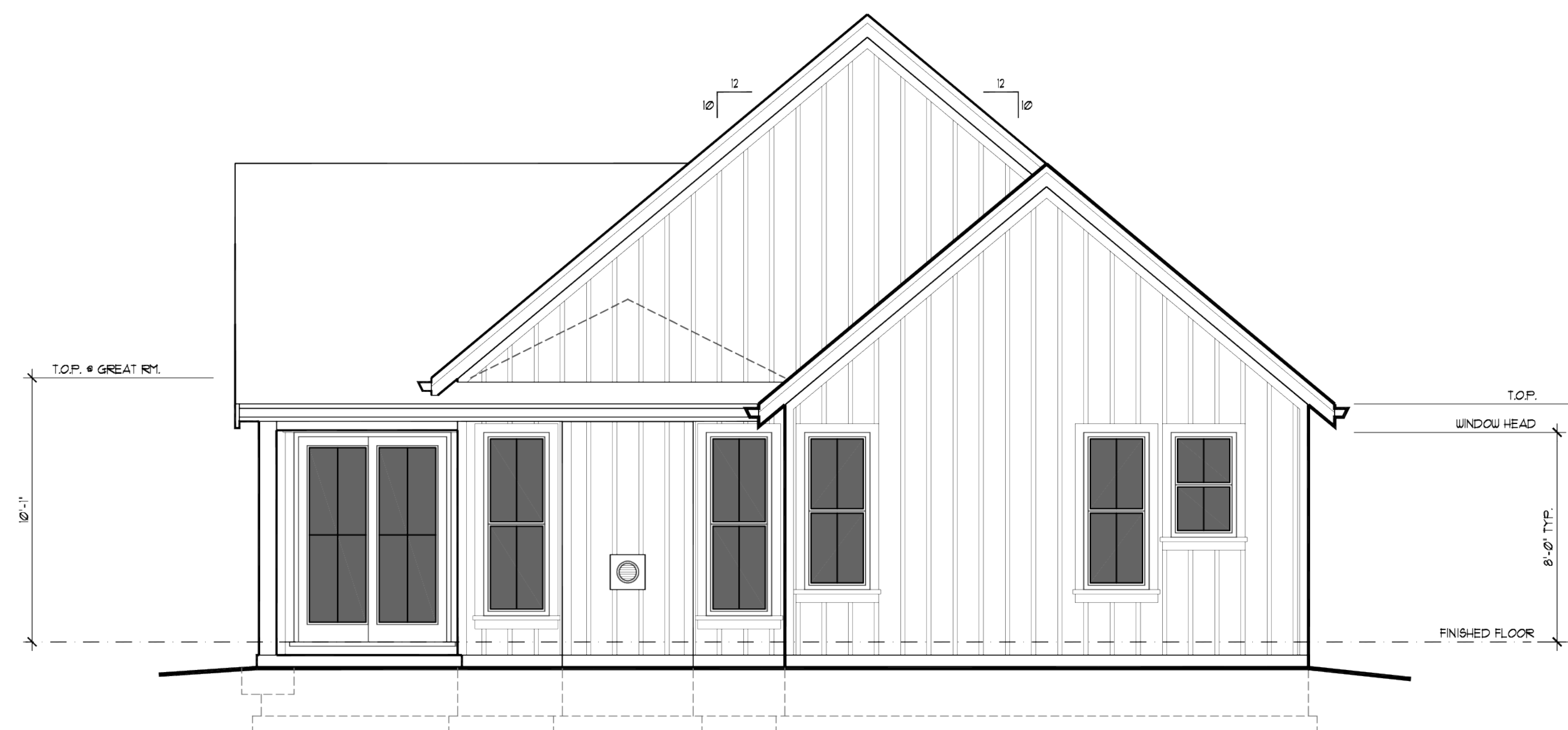
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- ROOFING MATERIAL
(SEE ROOF PLAN)
- 1 X 2 CEDAR BATTENS @ 12" O.C. OVER
1/2" A/CX PLYWOOD
- 2 X 10 R/S TRIM BD. W/ 26
G.A. G.L. FLASHING
- G. I. GUTTER ON 2 X 8 FASCIA
CAJ DOWNSPOUTS (SEE ROOF PLAN)
- 5/4 X CEDAR CORNER BDS.
- THE TYPE OF EXTERIOR FINISH, THE
INSTALLATION AND THE WATERPROOFING
DETAILS ARE ALL TO BE THE FULL
RESPONSIBILITY OF THE OWNER/BUILDER. THIS
DESIGNER ASSUMES NO RESPONSIBILITY FOR
THE INTEGRITY OF THE BLDG ENVELOPE



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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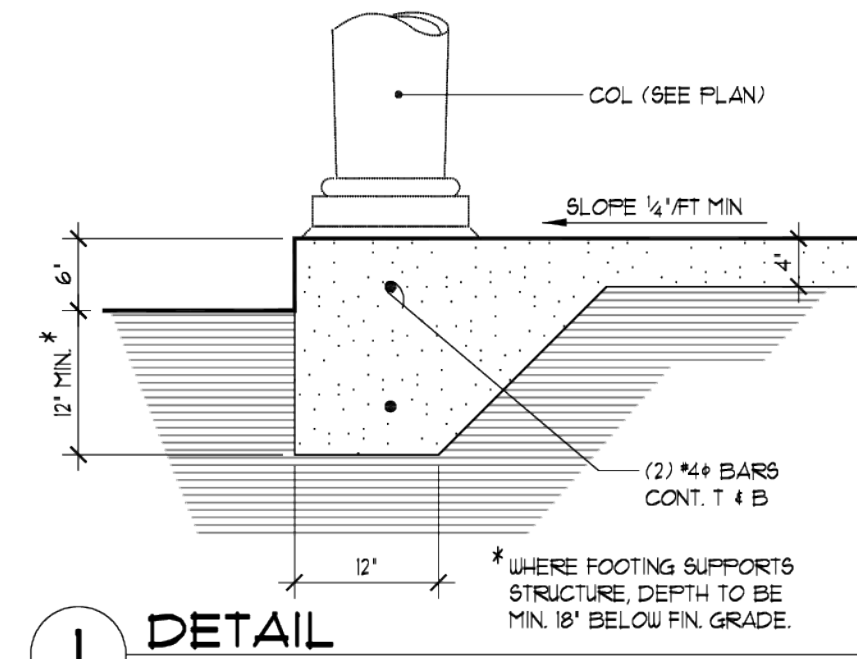
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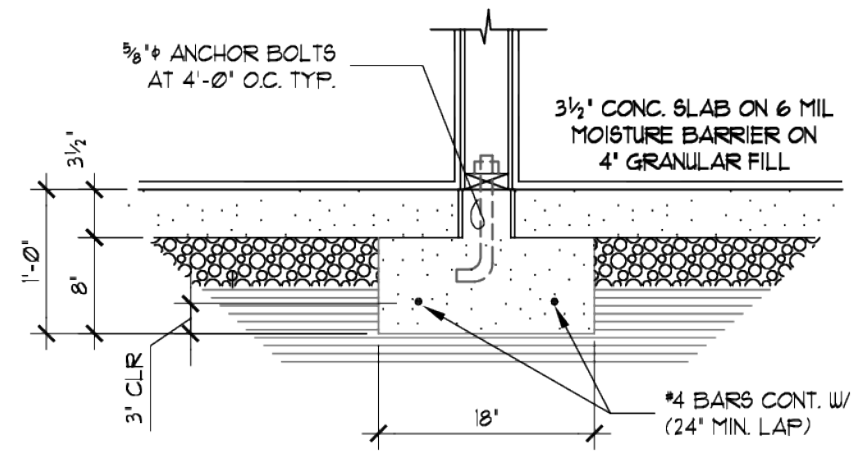
THE CONTRACTOR ASSUMES FULL RESPONSIBILITY
FOR THE CORRECT INSTALLATION OF ALL
EXTERIOR FINISHES AND WEATHERPROOFING.

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MAN FLOOR	1596 SQ. FT.	1596 SQ. FT.	1596 SQ. FT.
TOTAL AREA			
GARAGE AREA			1396 SQ. FT.



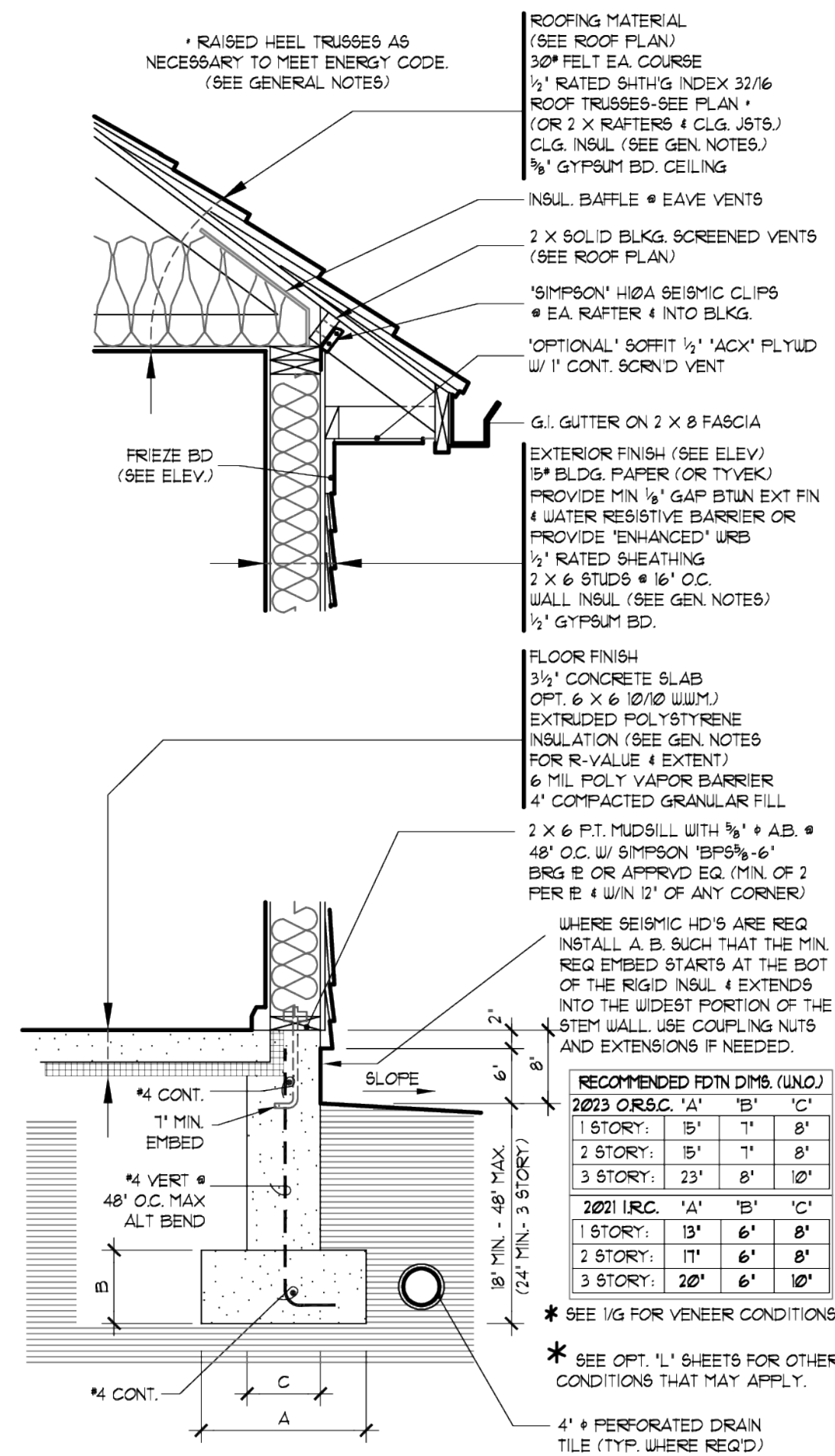
1 DETAIL
SCALE: 3/4" = 1'-0"



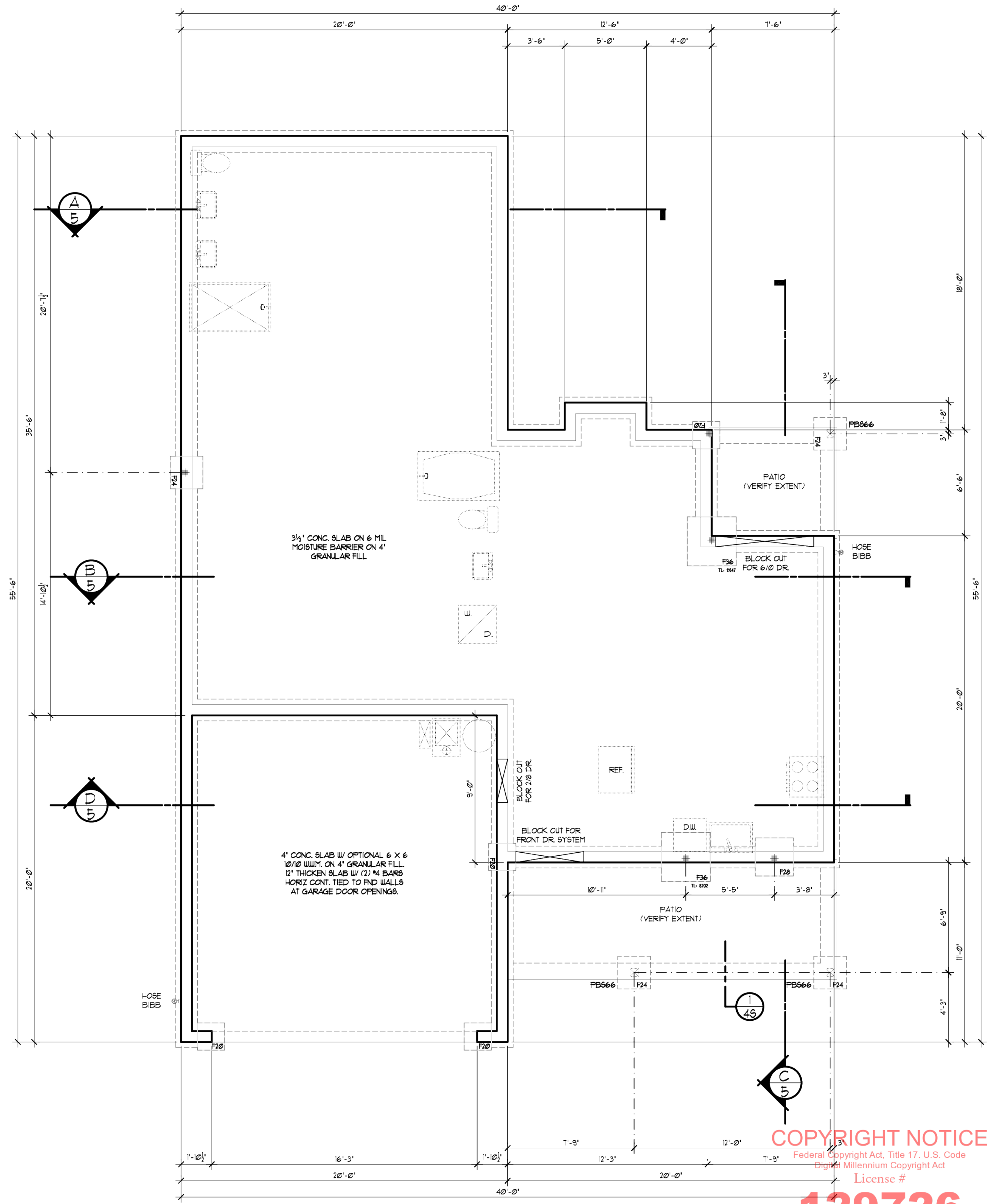
2 DETAIL
SCALE: 3/4" = 1'-0"

TAG	PAD SIZE	REINFORCING	MAX. BRG.
-	18" DIA. x 1'	N.A.	2,414 *
F20	20"x20"x10"	N.A.	3,819 *
F24	24"x24"x12"	N.A.	5,400 *
F28	28"x28"x14"	N.A.	7,211 *
F30	30"x30"x15"	N.A.	8,203 *
F36	36"x36"x17"	(4) #4 BARS @ 1' O.C. E/W	12,073 *
F42	42"x42"x19"	(5) #4 BARS @ 8" O.C. E/W	16,931 *
F48	48"x48"x21"	(6) #4 BARS @ 9" O.C. E/W	21,600 *
F54	54"x54"x23"	(6) #4 BARS @ 9" O.C. E/W	27,331 *
F60	60"x60"x25"	(7) #4 BARS @ 9" O.C. E/W	33,150 *

ASSUMED MIN. 4x4" D.F. COLUMN (UNO. - SEE PLANS)
 * 6x6" D.F. COLUMN FOR MAX. BRG.
 ** 3 1/2"x3 1/2" FSL COLUMN FOR MAX. BRG. (OR 6x6 TO 18x21")
 *** 5 1/2"x5 1/2" FSL COLUMN FOR MAX. BRG. (SEE POST-CONN. DETAIL) SOIL B.P. 1,500 PSF



TYP. WALL SECTION
SCALE: 3/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

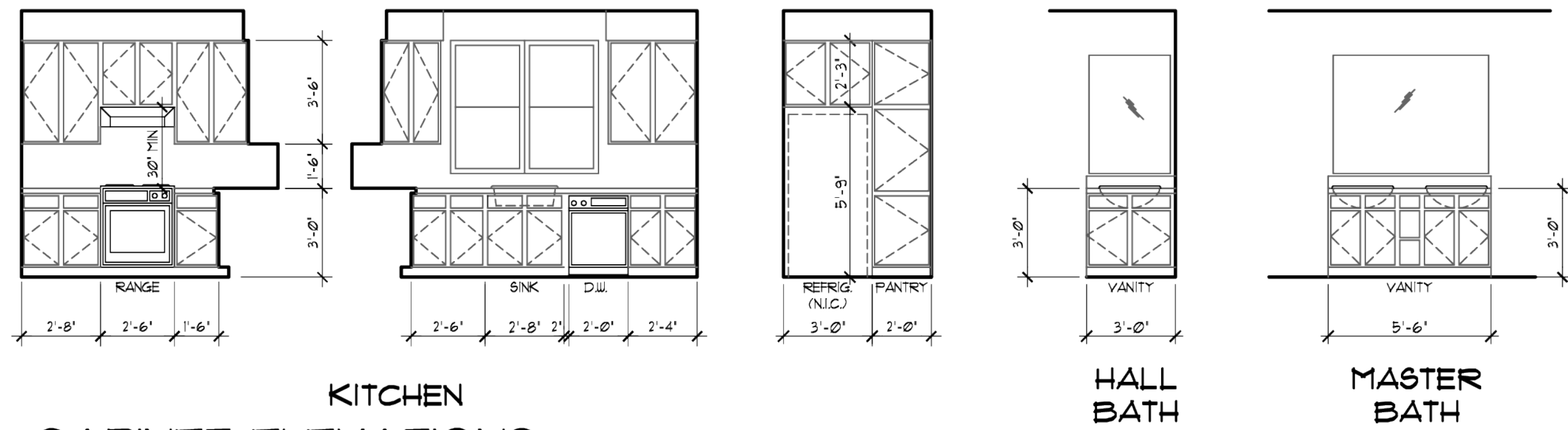
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25# SNOW LOAD

MAN FLOOR	106 SQ. FT.
TOTAL AREA	196 SQ. FT.
GARAGE AREA	396 SQ. FT.



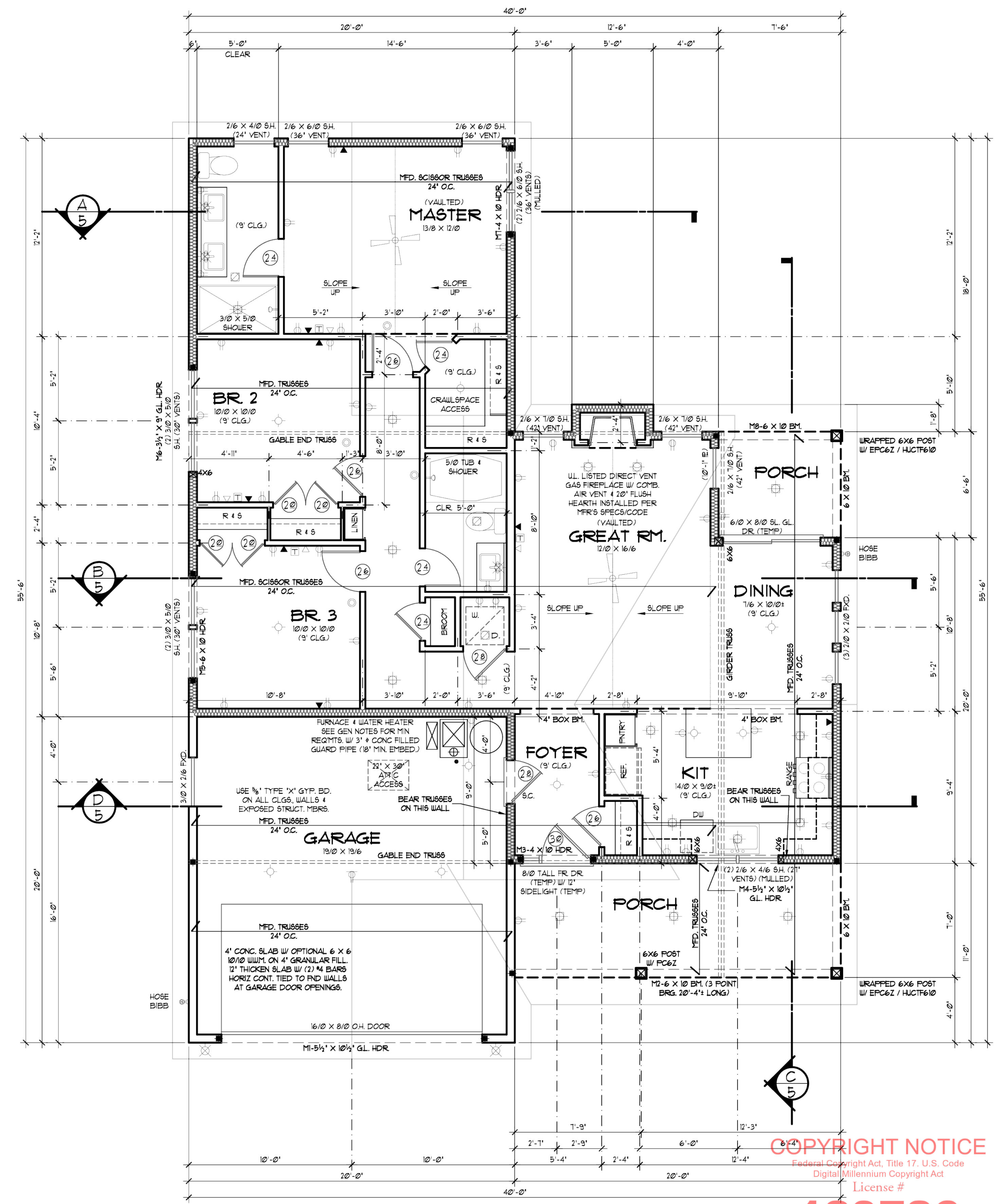
**KITCHEN
CABINET ELEVATIONS**

SCALE: 1/4" = 1'-0"

- LEGEND**
- RECESSED LIGHT
 - RECESSED DIRECTIONAL LIGHT FIXTURE
 - WALL-MOUNT LIGHT
 - SURFACE-MOUNT LIGHT
 - FLOOD LIGHT
 - SURFACE MOUNTED FLUORESCENT
 - RECESSED EXHAUST FAN VENTED TO THE EXTERIOR
 - CEILING FAN
 - DUPLEX OUTLET
 - CEILING MOUNTED DUPLEX OUTLET
 - 220V OUTLET
 - FLUSH FLOOR MOUNTED OUTLET (VERIFY LOC.)
 - TELEPHONE OUTLET
 - DATA OUTLET
 - TELEVISION OUTLET
 - SPEAKER LOCATION
 - SMOKE / CO DETECTOR (SEE GENERAL NOTES FOR OTHER SPEC'S)
 - BEARING POINT LOCATION (PROVIDE SOLID BEARING - MIN. OF MEMBER WIDTH UNO.)
 - POINT LOAD FROM ABOVE
 - 4 X 4 POST FROM ROOF H/P, VALLEY OR RIDGE DOWN TO BEARING POINT ON WALL BELOW (MAX. OF 45' FROM VERT.)
 - BEARING WALL SUPPORTING STRUCTURE ABOVE
 - 4 X 10 HDR. # BEARING WALL INT. DOOR & OPENINGS W/ MIN (2) 2 X 4 SUPPORT EA END (UNO.)
 - DROPPED STRUCT. MEMBER BEARING # WALL
- S-FLOORING 07/18/16

- ENERGY ENVELOPE KEY**
- ▨ WALL/FUR/CLG. INSUL.
 - ▨ FOUNDATION INSUL.
- (SEE SHEET 'G' FOR INSULATION VALUES)

- CO. DET LOCATION**
- CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EA. BEDROOM OR WITHIN 5 FEET OUTSIDE OF EA. BEDROOM DOOR, AT EVERY FLOOR LEVEL W/ BEDROOMS. (SEE SHEET 'G' FOR ADD'L. INFO)



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

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IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

Mascord
COLLECTION

1187
3

PROJECT MANAGER/AS
DRAWN: 08/07/20 LAW

25# SNOW LOAD

MAN FLOOR	1986 SQ. FT.
TOTAL AREA	1986 SQ. FT.
GARAGE AREA	1396 SQ. FT.

1187
3

ROOF DESIGN NOTES

THIS ROOF HAS BEEN DESIGNED TO SUPPORT CEDAR SHAKE ROOFING MATERIALS AND COMPOSITION ROOFING OF VARIOUS TYPES. THE TABLE BELOW DESCRIBES IN DETAIL THE ASSUMPTIONS MADE IN THE DESIGN OF THE ROOF STRUCTURE OF THIS BUILDING.

ROOF LIVE LOAD (SNOW)	25.0 PSF	33.25 PSF	ACTUAL REQ'D
FRAMING MATERIALS:	2.0 PSF	6.75 PSF	SAFETY FACTOR
SHEATHING MATERIALS:	1.5 PSF	6.75 PSF	
MISC. MATERIALS:	1.5 PSF		
ROOFING TYPE	DRY / WET	40.0	PSF TL
MED SHAKES	2.0 / 3.25 PSF		
HVT SHAKES	3.0 / 4.0 PSF		
SHINGLES	2.0 / 3.25 PSF		
COMPOSITION	2.5 / 3.0 PSF		

NOTE: HIP, VALLEYS & RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTERS (FIELD VERIFY ALL CONDITIONS)

LEGEND

- 4 X 4 WOOD POST FROM RIDGE (HIP OR VALLEY) TO WALL BELOW (MIN. 2" X 4 REQ'D AT WALL BEARING POINT) NOTE: SPLICES IN HIP & VALLEYS CAN ONLY OCCUR @ POST DOWN LOCATIONS
- 49 SQ. IN. ROOF VENTS (SEE VENT TABLE FOR QTY. - 50%/50% SHOWN)
- 2X4 FURLIN WALL TO BM. OR WALL BELOW (FRAM'G AT 24" O.C.)
- SHADED AREA DENOTES ROOF FRAMED OVER RAFTERS BELOW
- DOWNSPOUTS

COMP/SHAKE ROOF

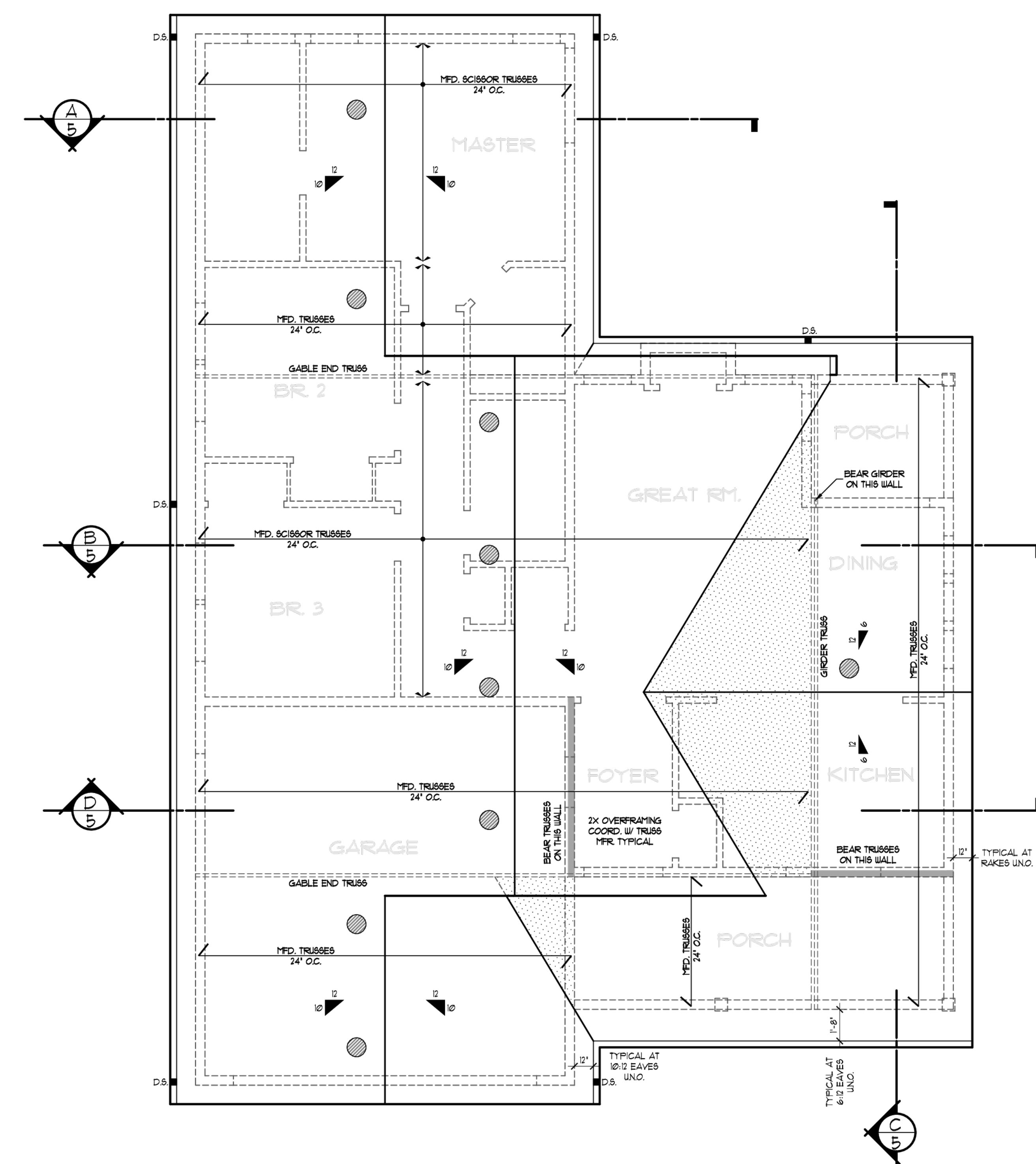
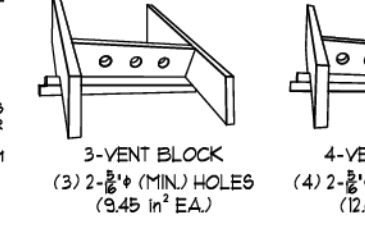
PER 2004 WUPA TEL RRR-28
D.F. L/240
25' LL & 18" DL

SIZE	SPACING	SPAN
2X6	12' O.C. 16' O.C. 24' O.C.	14'-0" 12'-1" 9'-10"
2X8	12' O.C. 16' O.C. 24' O.C.	11'-8" 10'-4" 12'-6"
2X10	12' O.C. 16' O.C. 24' O.C.	21'-1" 18'-9" 15'-3"
2X12	12' O.C. 16' O.C. 24' O.C.	25'-1" 21'-8" 11'-9"

ROOF VENTS					
ROOF AREA (ft ²) x 1180		EAVE-BLOCK'G		ROOF VENTS	
% EAVE	AREA (ft ²)	% ROOF	AREA (ft ²)	3-VENT	4-VENT
60	572.6	40	341.8	54	41
56.7	484.4	43.3	370.0	51	39
53.3	455.4	46.7	399.0	48	36
50	427.2	50	427.2	45	34

PER 2004 IBC - 800.2 THE MIN NET FREE VENTILATING AREA SHALL BE 1/80 OF THE AREA OF THE VENTED SPACE.
EXCEPTION: THE MIN NET FREE VENTILATING AREA SHALL BE 1/60 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
1. CLIMATE ZONES 4, 5, 6, 7, 8, & 9 CLASS 1 OR 2 VAPOR RETARDER IS INSTALLED ON THE WARM-HUMID SIDE OF THE CEILING.
2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 10 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 1 FEET FROM THE RIDGE OR HIGHER POINT OF THE SPACE. RAFTERS VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATING PROVIDED SHALL BE LOCATED IN THE BOTTOM PORTION OF THE ATTIC SPACE. THE LOCATION OF WALL OR ROOF FRAMING MEMBERS COMPATIBLE WITH THE INSTALLATION OF UPPER VENTILATORS INSTALLATION MORE THAN 1 FEET FROM THE RIDGE OR HIGHER POINT OF THE SPACE SHALL BE PERMITTED.

EAVE BLOCKING



ROOF PLAN TO BE VERIFIED W/ TRUSS LAYOUT AND DESIGN BY TRUSS MFR. SEE LAYOUT, TRUSS DRAWINGS AND ENGINEERING, BY MFR. FOR ADDITIONAL SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

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ROOF FRAMING PLAN

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

SCALE: 1/4" = 1'-0"

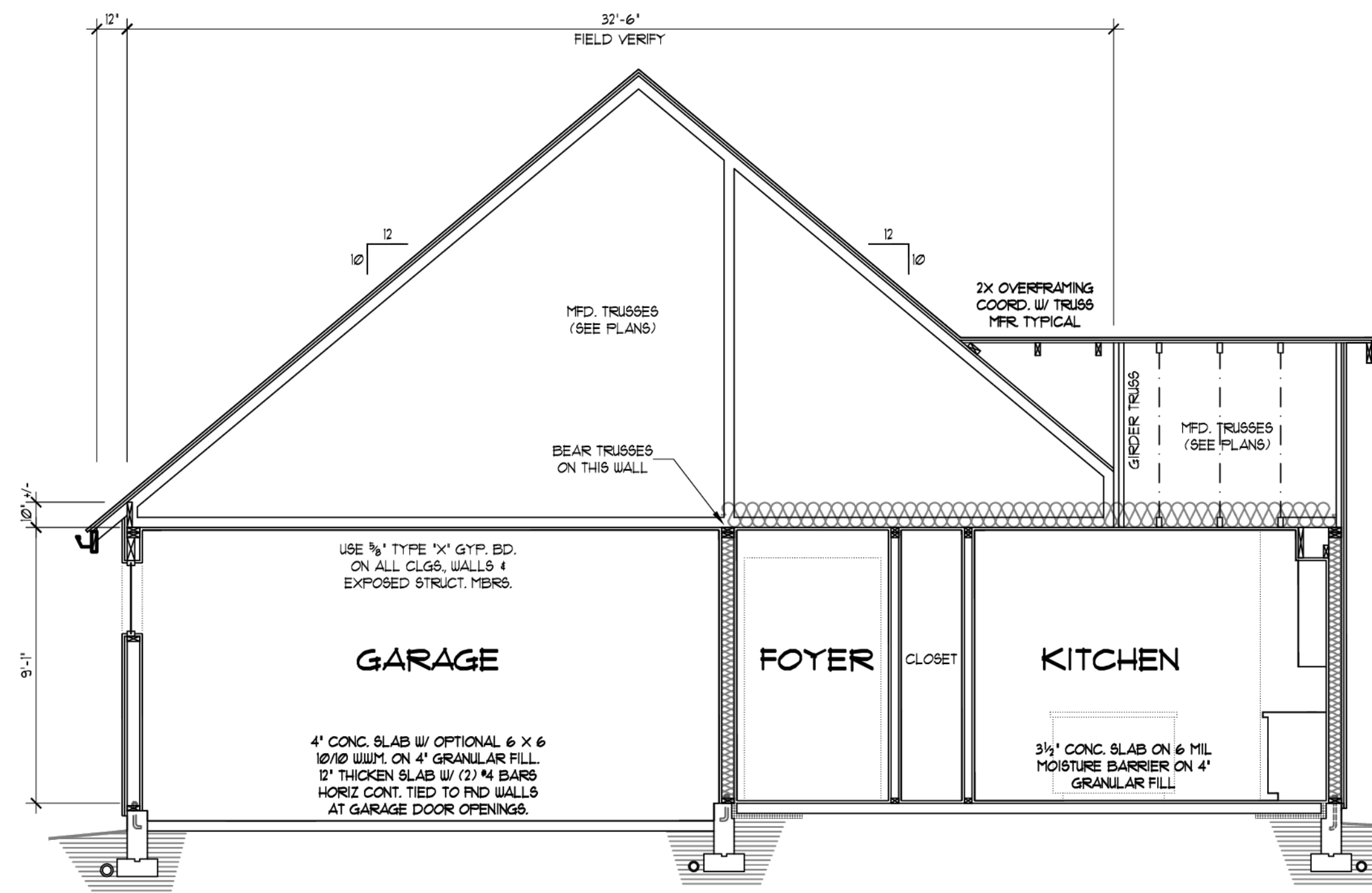
Mascord COLLECTION

ALAN MASCORD DESIGN ASSOCIATES, INC.
240 NW WEBB ST., SUITE 100 PORTLAND, OR 97209
TEL: 503.222.9981 FAX: 503.941.0100
WWW.MASCORDDESIGN.COM

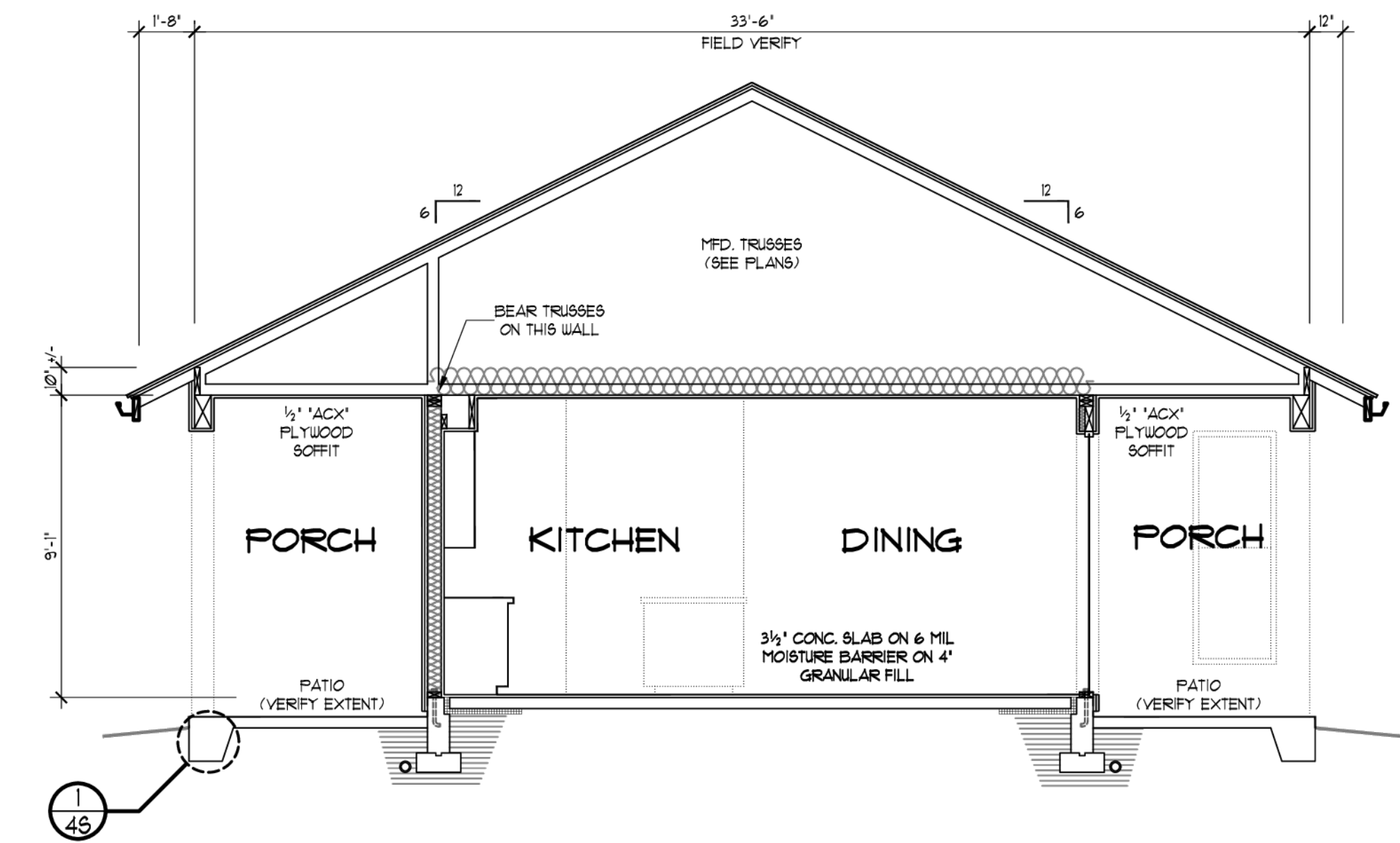
PROJECT MANAGER/AS
DRAWN 08/07/20 LAW

	1186 SQ. FT.	1196 SQ. FT.	1196 SQ. FT.
MAIN FLOOR			
TOTAL AREA			
GARAGE AREA	396 SQ. FT.		

1187
6

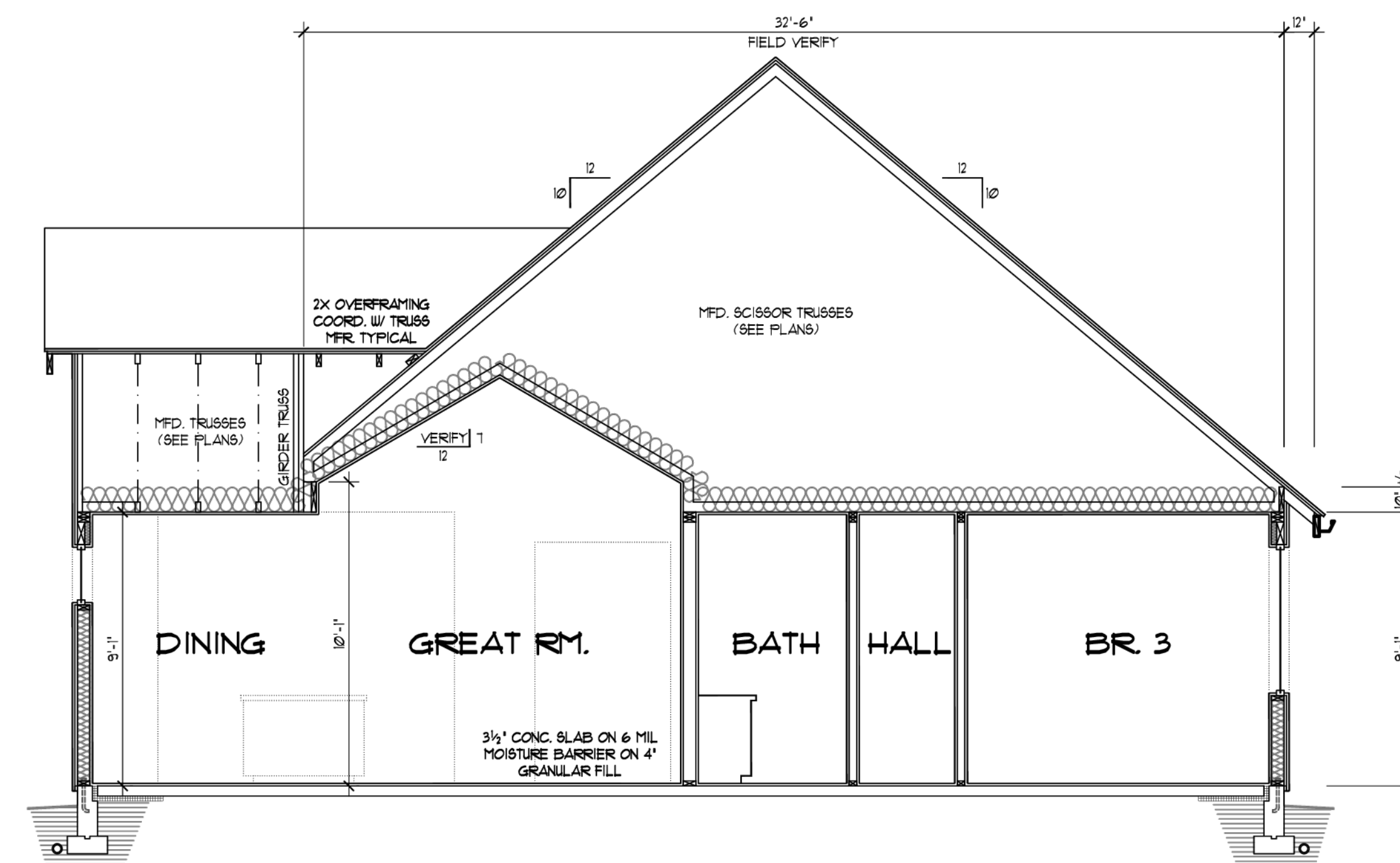


D BUILDING SECTION
SCALE: 1/4" = 1'-0"

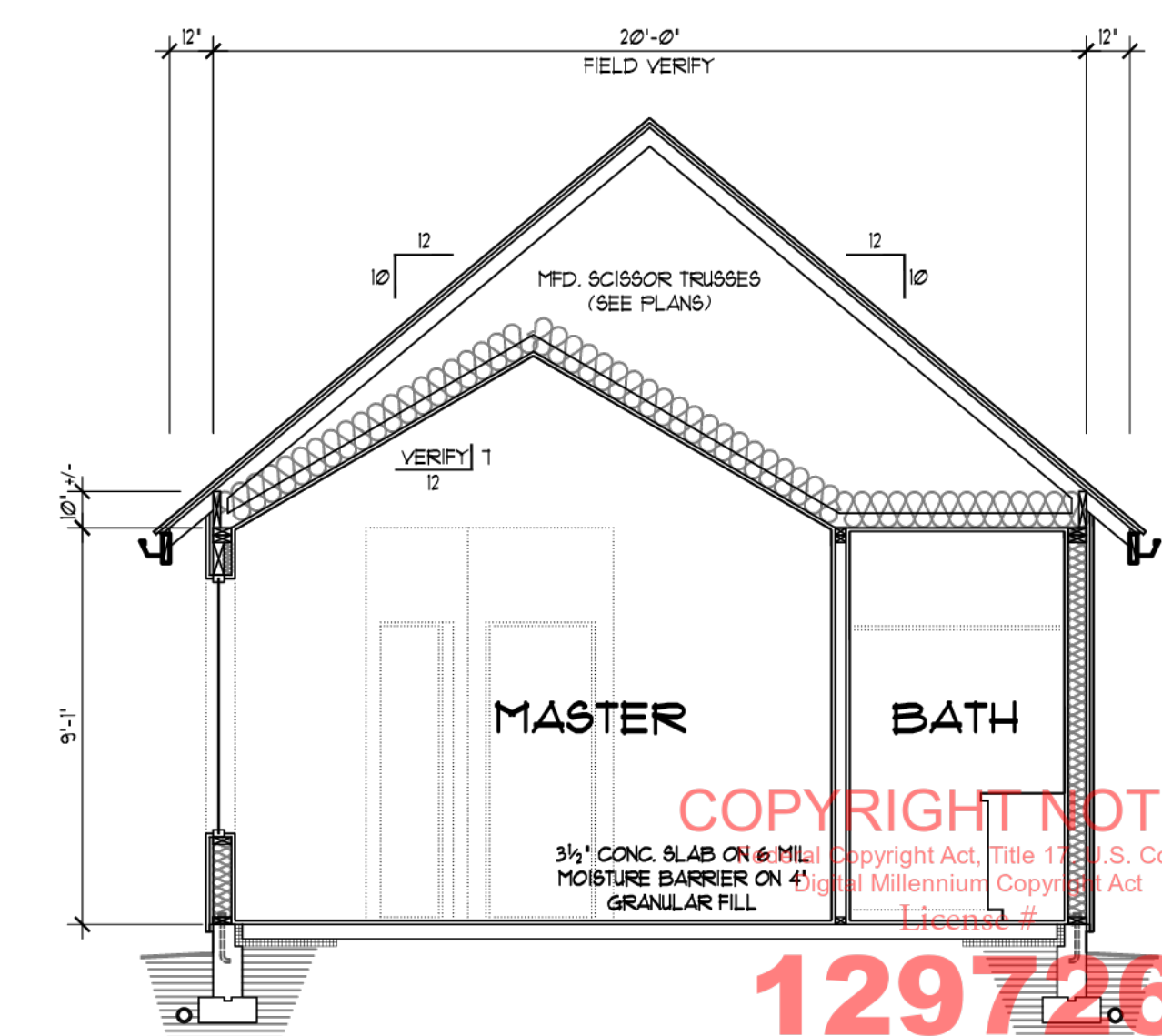


C BUILDING SECTION
SCALE: 1/4" = 1'-0"

ENERGY ENVELOPE KEY	
	WALL, FLOOR, CEILING INSUL.
	FOUNDATION INSUL.
(SEE SHEET 'G' FOR INSULATION VALUES)	



B BUILDING SECTION
SCALE: 1/4" = 1'-0"



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

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Mascord COLLECTION

ALAN MASCORD DESIGN ASSOCIATES, INC.
245 NW 105th St., Suite 100, Portland, OR 97229
503.225.9481 FAX 503.941.0181

PROJECT MANAGER
DRAWN 08/07/20 LAW

25# SNOW LOAD	
MAIN FLOOR	196 SQ. FT.
TOTAL AREA	196 SQ. FT.
GARAGE AREA	396 SQ. FT.

1187
5

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/18/2024

PROJECT NUMBER: Z2024-045
PROJECT NAME: SUP for Residential Infill at 178 Lynne Drive
SITE ADDRESS/LOCATIONS: 178 LYNNE DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Inocencio Barron on behalf of Ariel Palacios for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 910-A0 of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District, addressed as 178 Lynne Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	09/17/2024	Approved w/ Comments

09/17/2024: Z2024-045; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 178 Lynne Road
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 910-A0 of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District, addressed as 178 Lynne Drive.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2024-045) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the situated within the Lake Rockwall Estates #2 Subdivision which has been in existence since 1956, consists of more than five (5) lots, and is considered to be more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 Garage Requirements. According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is approximately 4-feet in front of the front façade of the home. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

M.7 Exterior Materials. According to Subsection 3.(b), Exterior Materials, of Exhibit 'C' of Planned Development District 75 (PD-75) "(b)uildings 120-SF or greater and over ten (10)

feet in height shall have exterior walls constructed of a minimum of 80% standards masonry construction, excluding windows and doors ... Hardi-Board or similar cementaceous materials may be used on up to 50% of the total masonry requirement. A building with less than 80% standard masonry construction or which utilizes an excess of 50% cementaceous material shall require approval by the City Council in accordance with Section 3.C, Consideration of a Special Request, of this Ordinance." Please indicate that type of siding being proposed and that it is a cementaceous product. In addition, please provide exterior material percentages -- excluding doors and windows -- for all exterior elevations. This is needed to demonstrate conformance to the requirements of Planned Development District 75 (PD-75).

I.8 In this case, the proposed request appears to meet most of the requirements for Residential Infill in an Established Subdivision, and the zoning requirements for a property in Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District.

M. 9 The subject property shall be replatted prior to the issuance of a Building Permit.

M.10 Please provide a residential plot plan showing where the house will be situated on the lot to ensure it'll meet the district's setback requirements.

M.11 Ordinances. Please review the attached draft ordinance prior to the October 15, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by October 1, 2024.

I.12 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 15, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.13 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 24, 2024, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on October 15, 2024.

I.14 City Council Meeting Dates. The projected City Council meeting dates for this case will be October 21, 2024 (1st Reading) and November 4, 2024 (2nd Reading).

I.15 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Angelica Guevara	09/18/2024	Approved w/ Comments

09/18/2024: - Need a site plan showing the lot, house, driveway, etc. (Now)

- Will need to provide a proposed culvert underneath of this driveway to pass drainage within the existing drainage swale. Engineering plans required. Culvert to be reinforced concrete with sloped concrete headwalls and minimum size of 18" required for Building Permit.

- Finished floor must be a minimum of 1.5' above the gutter line of Lynne.

- Plot plan including grading showing swales and drainage pattern required with the Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Needs Review

09/18/2024: * WILL NEED TO SEEK APPROVAL FOR THE EXTERIOR MATERIALS NOT MEETING THE PD ORDINANCE CONCERNING THE MASONRY REQUIREMENT OF 80% ON EACH FACADE AND HARDIE BOARD OR SIMILAR CEMENTITIOUS MATERIAL THAT CAN BE USED UP TO 50% OF THE MASONRY REQUIREMENT - PLANS INDICATE CEDAR BATTENS

* WILL NEED A PLOT PLAN INDICATION THE PROPERTY AND BUILDING LOCATION WITH BUILD LINES

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	Approved w/ Comments

09/17/2024: no plan provided that shows the location of the home on the property. Separation distances from lot lines need to still be reviewed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/16/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/13/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 178 Lynne Dr.

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Ariel Palacios</u>	<input type="checkbox"/> APPLICANT	<u>Inocencio Barrón</u>
CONTACT PERSON	_____	CONTACT PERSON	_____
ADDRESS	<u>178 Lynne Dr.</u>	ADDRESS	<u>310 Lynne Dr.</u>
CITY, STATE & ZIP	<u>Rockwall Tx 75032</u>	CITY, STATE & ZIP	<u>Rockwall Tx 75032</u>
PHONE	<u>972 800 3628</u>	PHONE	<u>214 715 0979</u>
E-MAIL	_____	E-MAIL	<u>barron/inocencio777@gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

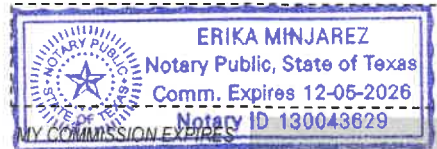
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Martin A Palacios Mora [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF September, 2024

OWNER'S SIGNATURE Ariel Palacios

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____






Z2024-045: Specific Use Permit (SUP) in an Established Subdivision at 178 Lynne Drive



PD-75

LYNNE DR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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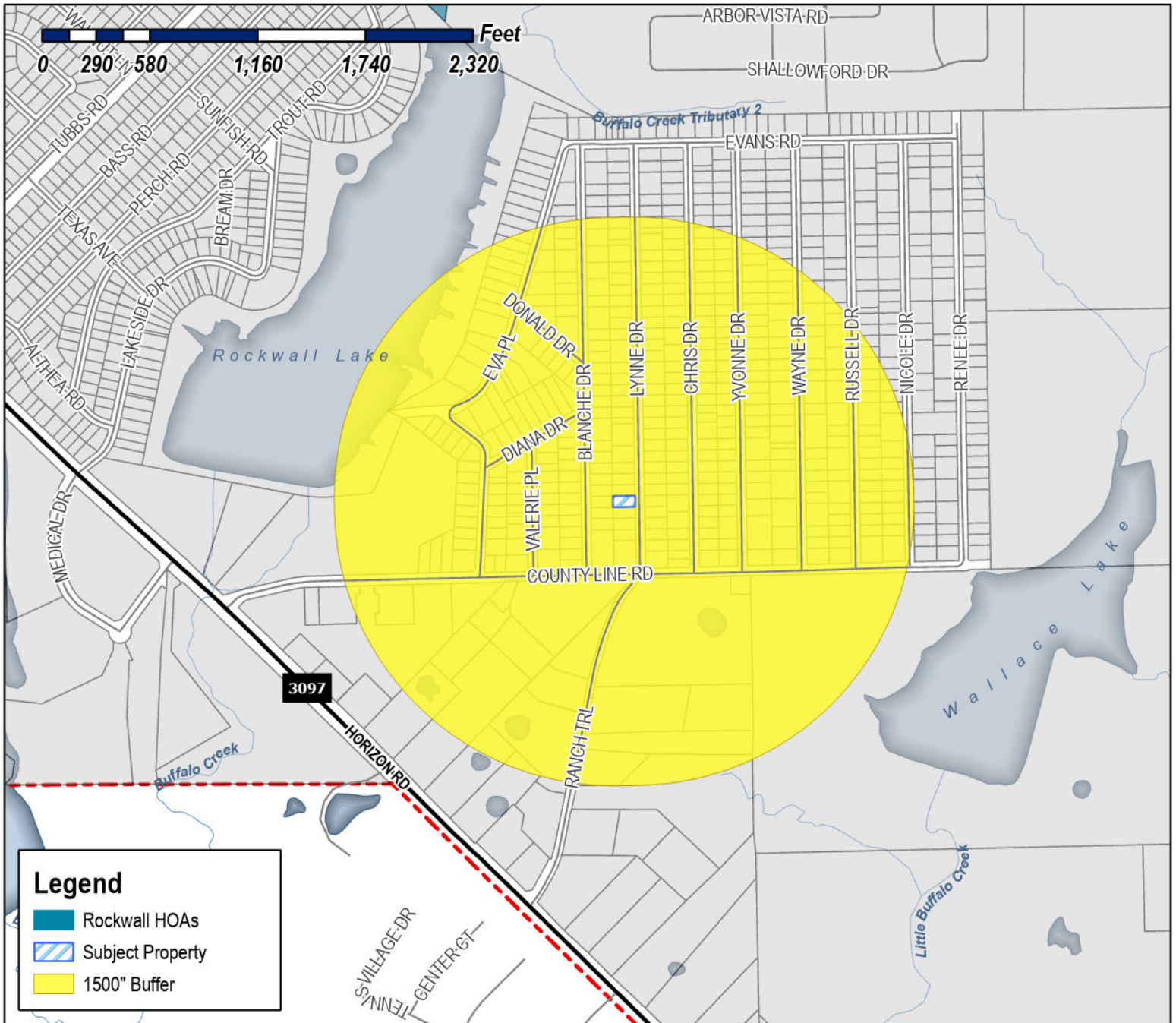




City of Rockwall

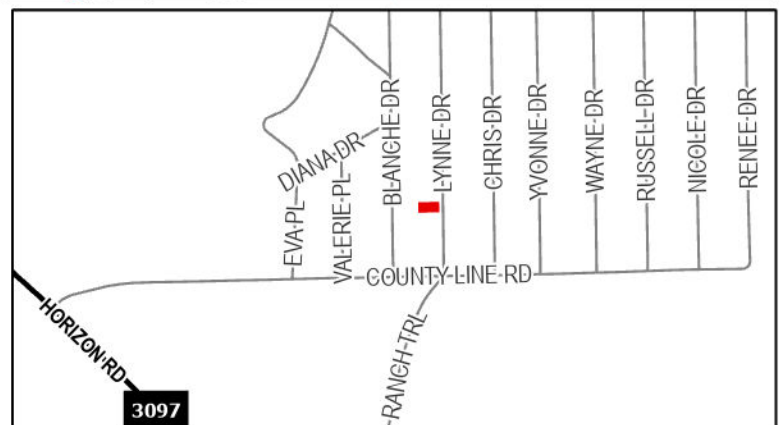
Planning & Zoning Department
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Case Number: Z2024-045
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75
Case Address: (PD-75)
 178 Lynne Drive

Date Saved: 9/16/2024
 For Questions on this Case Call (972) 771-7745

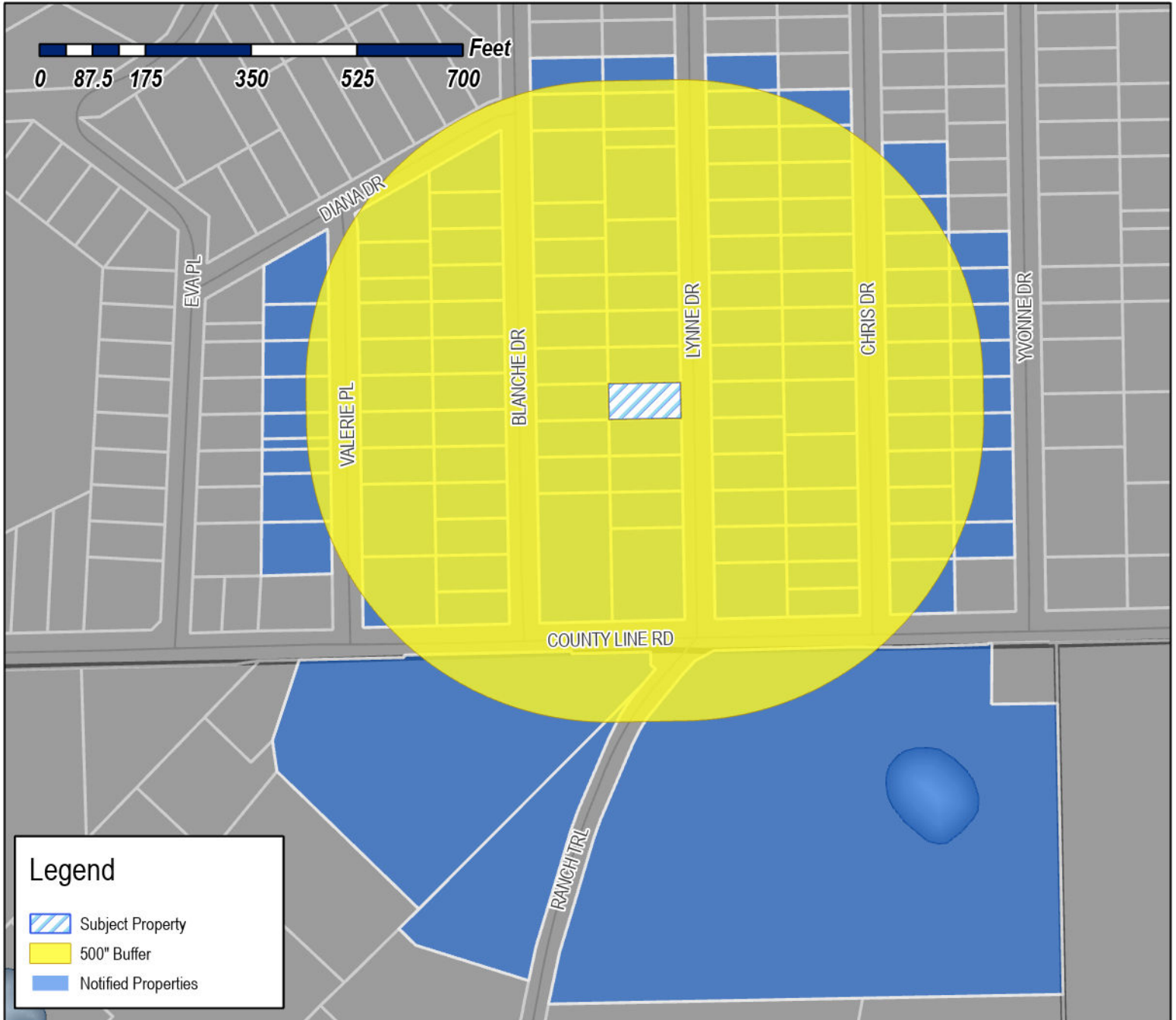




City of Rockwall

Planning & Zoning Department
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Case Number: Z2024-045
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 178 Lynne Drive

Date Saved: 9/16/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT
109 BLANCHE DR
ROCKWALL, TX 75032

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX 75032

RESIDENT
112 CHRIS DR
ROCKWALL, TX 75032

GAMBOA SOCORRO
114 W RIDGEWOOD DR
GARLAND, TX 75041

CANIZALES ELIDA VILLAREAL
115 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
118 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
120 BLANCHE DR
ROCKWALL, TX 75032

HPA CL1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

RESIDENT
121 LYNNE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

RESIDENT
124 LYNNE DR
ROCKWALL, TX 75032

MCDONNELL BRANDON THOMAS
124 CHRIS DRIVE
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

NORTON ANA ESTELA & MITCHELL EVERETT
NORTON
130 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
131 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
132 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
132 VALERIE PL
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

TORRES DESTINY MARY
134 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
135 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
137 VALERIE PL
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

RESIDENT
143 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
144 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
144 LYNNE DR
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX 75032

RESIDENT
149 VALERIE PL
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
150 CHRIS DR
ROCKWALL, TX 75032

LUU LONG MINH AND THUC-UYEN THI LE AND
DUY THANH PHAM
154 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ RAMON LOPEZ
156 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
157 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
159 CHRIS DR
ROCKWALL, TX 75032

TEPOX FABIOLA DOMINGUEZ
159 VALERIE PL
ROCKWALL, TX 75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

VARGAS RICARDO
163 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

RESIDENT
168 VALERIE PL
ROCKWALL, TX 75032

ZALOMANTE LLC
1690 LYNN LN
LUCAS, TX 75002

COLIN JOSE ENRIQUE OSORNIO
171 CRAWFORD LN
ROYSE CITY, TX 75189

RESIDENT
172 VALERIE PL
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
174 SUNRAY CREEK DR
KATY, TX 77493

RESIDENT
175 VALERIE PL
ROCKWALL, TX 75032

CASTANEDA NOE A
175 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
178 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
178 VALERIE PL
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
179 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
180 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
185 BLANCHE DR
ROCKWALL, TX 75032

ESQUIVEL ZAIDA
186 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
187 VALERIE PL
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

ALVAREZ FRANCISCO J
190 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
190 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
192 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ HERIBERTO FERRER AND
192 VALERIE PLACE
ROCKWALL, TX 75032

RESIDENT
193 CHRIS DR
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
196 CHRIS DR
ROCKWALL, TX 75032

MELENDEZ HOPE
199 DIANA DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PLACE
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
2 BROWNWOOD
LONGVIEW, TX 75602

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

TOVAR JUAN GABRIEL
202 VALERIE PLACE
ROCKWALL, TX 75032

RESIDENT
203 CHRIS DR
ROCKWALL, TX 75032

UNDERWOOD TAMMY M AND
CAITLIN A DAVIS-WILSON
203 LYNNE DRIVE
ROCKWALL, TX 75032

RESIDENT
204 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
204 YVONNE DR
ROCKWALL, TX 75032

TORRES JAIME AND BERNICE
204 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
209 VALERIE PL
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
210 YVONNE DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

CRUZ IGNACIO
212 LYNNE DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
212 LYNNE DR
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA
212 VALERIE PL
ROCKWALL, TX 75032

BALDERAS JOSE C GARCIA & ERIKA MARTINEZ
PEREZ
213 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
214 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
215 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
216 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
219 BLANCHE DR
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

MAZARIEGOS ROMULO AND ESTELA
224 YVONNE DR
ROCKWALL, TX 75032

CASTILLO CELIA GURRUSQUIETA
225 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
226 BLANCHE DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

GUTIERREZ JOSE G & ANGELA A
229 BLANCHE DR
ROCKWALL, TX 75032

SCHULKE VANESSA AND ANTHONY FRESQUEZ
229 VALERIE PL
ROCKWALL, TX 75032

YANEZ MARIA TERESA
230 CHRIS DR
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNN DRIVE
ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
234 BLANCHE DR
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

RODRIGUEZ ALMA R
242 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
247 BLANCHE DR
ROCKWALL, TX 75032

GUARDIOLA GUADALUPE J
247 CHRIS DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
254 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
262 CHRIS DR
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
265 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
266 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
273 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
276 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
281 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
283 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
288 LYNNE DR
ROCKWALL, TX 75032

FRANCO RODOLFO &
CARMEN FRANCO
291 SMITH ACRES DR
ROYSE CITY, TX 75189

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

RANCH TRAIL VENTURES LLC
315 RANCH TRAIL
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

PALICIOS MARIA
365 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
382 RANCH TRL
ROCKWALL, TX 75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CARMONA JOSE ROBERTO &
397 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
405 RANCH TRL
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
4100 ANDYS LANE
PARKER, TX 75002

RENOVATION SPECIALIST LLC
411 CHRIST DRIVE
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL
4427 FM 550
ROYSE CITY, TX 75189

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

RONQUILLO ALMA DELIA
444 EVA PL
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
505 COUNTY LINE RD
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX 75230

GARCIA MARTIN
590 SUN VALLEY DR
ROYSE CITY, TX 75189

FLORES DAYANARA &
611 MEADOW DR
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

GUEVARA JOSE
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

GUEVARA JOSE
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

GUEVARA CARLOS & MONICA A
802 N ALAMO RD
ROCKWALL, TX 75087

PAVON MARISOL
810 E. DOUGHERTY DR
GARLAND, TX 75041

SALAS HECTOR JABIER & CAROLINA ORTIZ
921 W YELLOWJACKET LANE APT 105
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-045: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Inocencio Barron on behalf of Ariel Palacios for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 910-A0 of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District, addressed as 178 Lynne Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-045: SUP for Residential Infill

Please place a check mark on the appropriate line below:

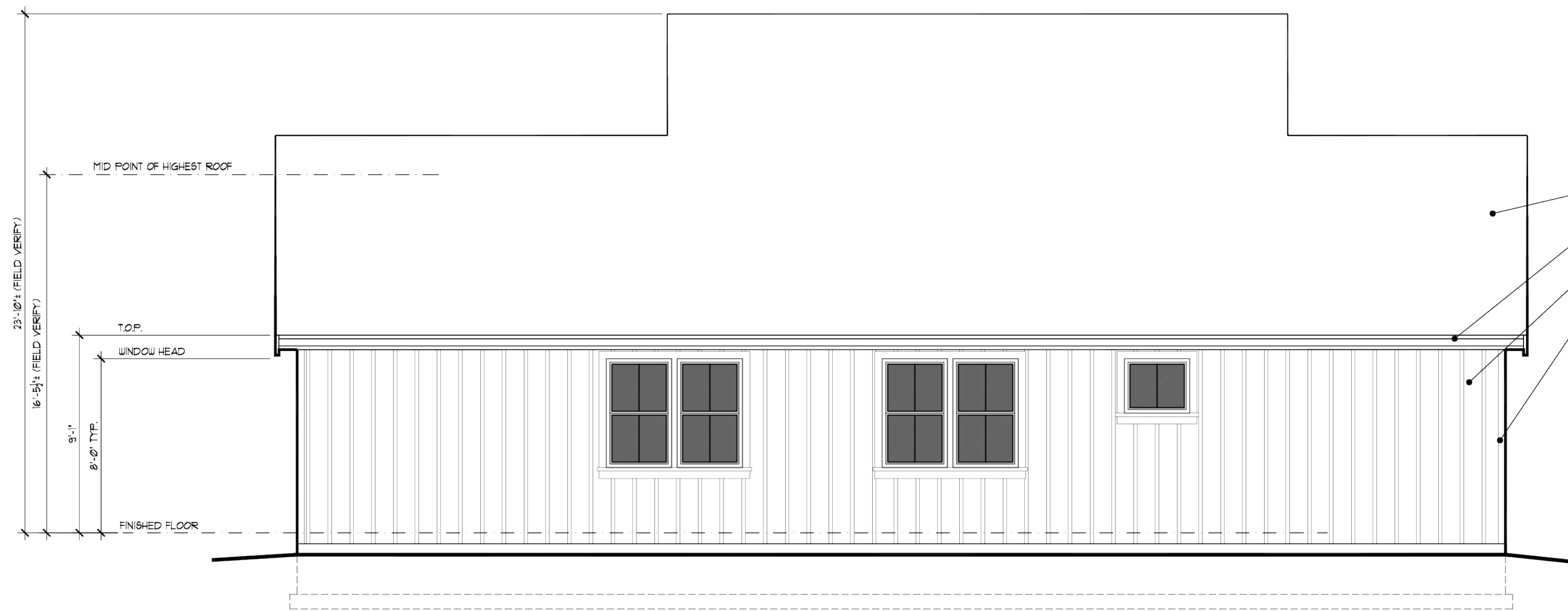
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

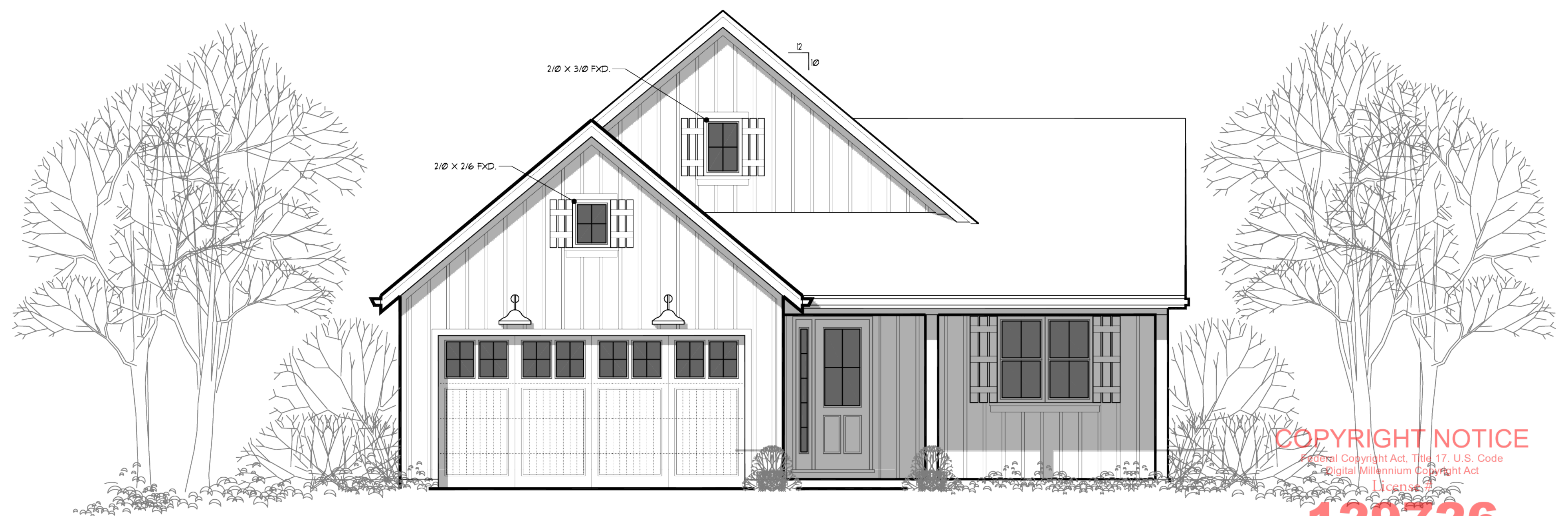
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



- ROOFING MATERIAL
(SEE ROOF PLAN)
 - G. 1. GUTTER ON 2 X 8 FASCIA
C/W DOWNSPOUTS (SEE ROOF PLAN)
 - 1 X 2 CEDAR BATTENS @ 12" O.C. OVER
1/2" ACX PLYWOOD
 - 5/4 X CEDAR CORNER BDS.
- THE TYPE OF EXTERIOR FINISH, THE
INSTALLATION AND THE WATERPROOFING
DETAILS ARE ALL TO BE THE FULL
RESPONSIBILITY OF THE OWNER/BUILDER. THIS
DESIGNER ASSUMES NO RESPONSIBILITY FOR
THE INTEGRITY OF THE BLDG ENVELOPE

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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TO PROSECUTION

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY
FOR THE CORRECT INSTALLATION OF ALL
EXTERIOR FINISHES AND WEATHERPROOFING.

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ROOFING MATERIAL
(SEE ROOF PLAN)

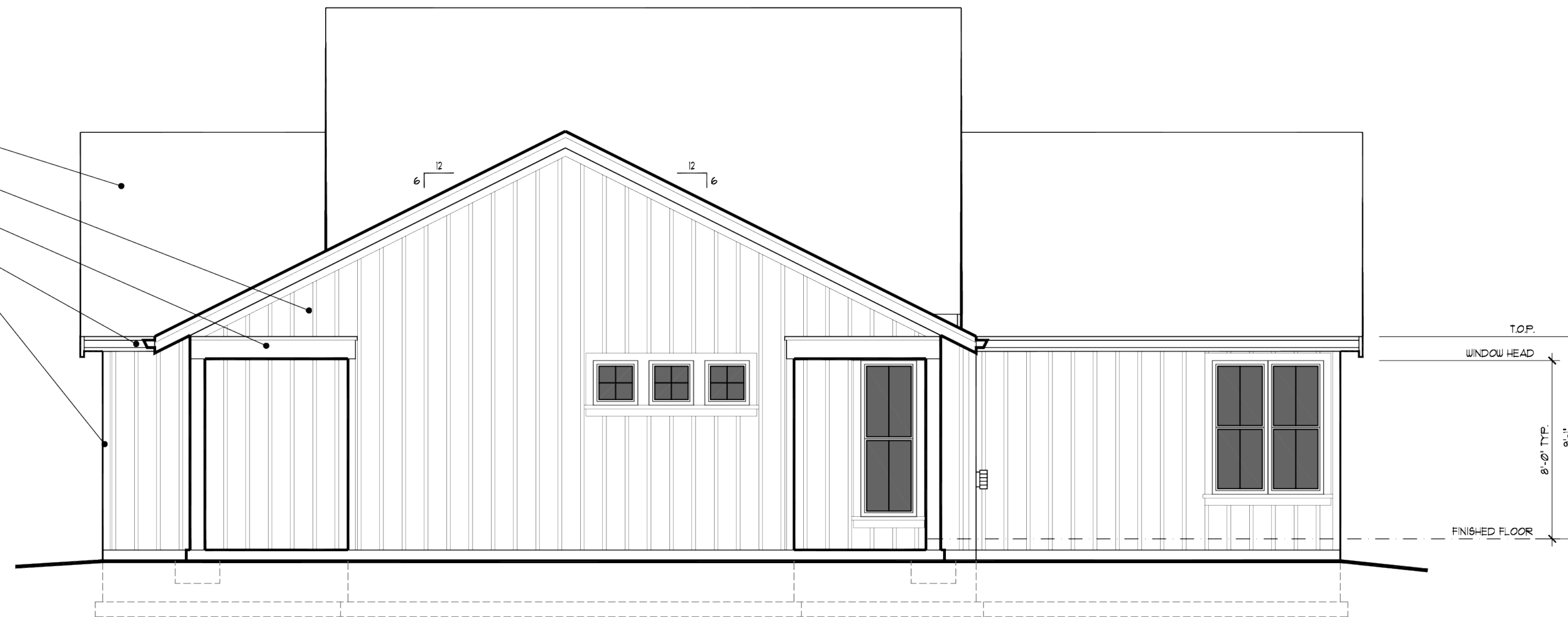
1 X 2 CEDAR BATTENS @ 12" O.C. OVER
1/2" A/CX PLYWOOD

2 X 10 R/S TRIM BD. W/ 26
GA. G.I. FLASHING

G. I. GUTTER ON 2 X 8 FASCIA
CAJ DOWNSPOUTS (SEE ROOF PLAN)

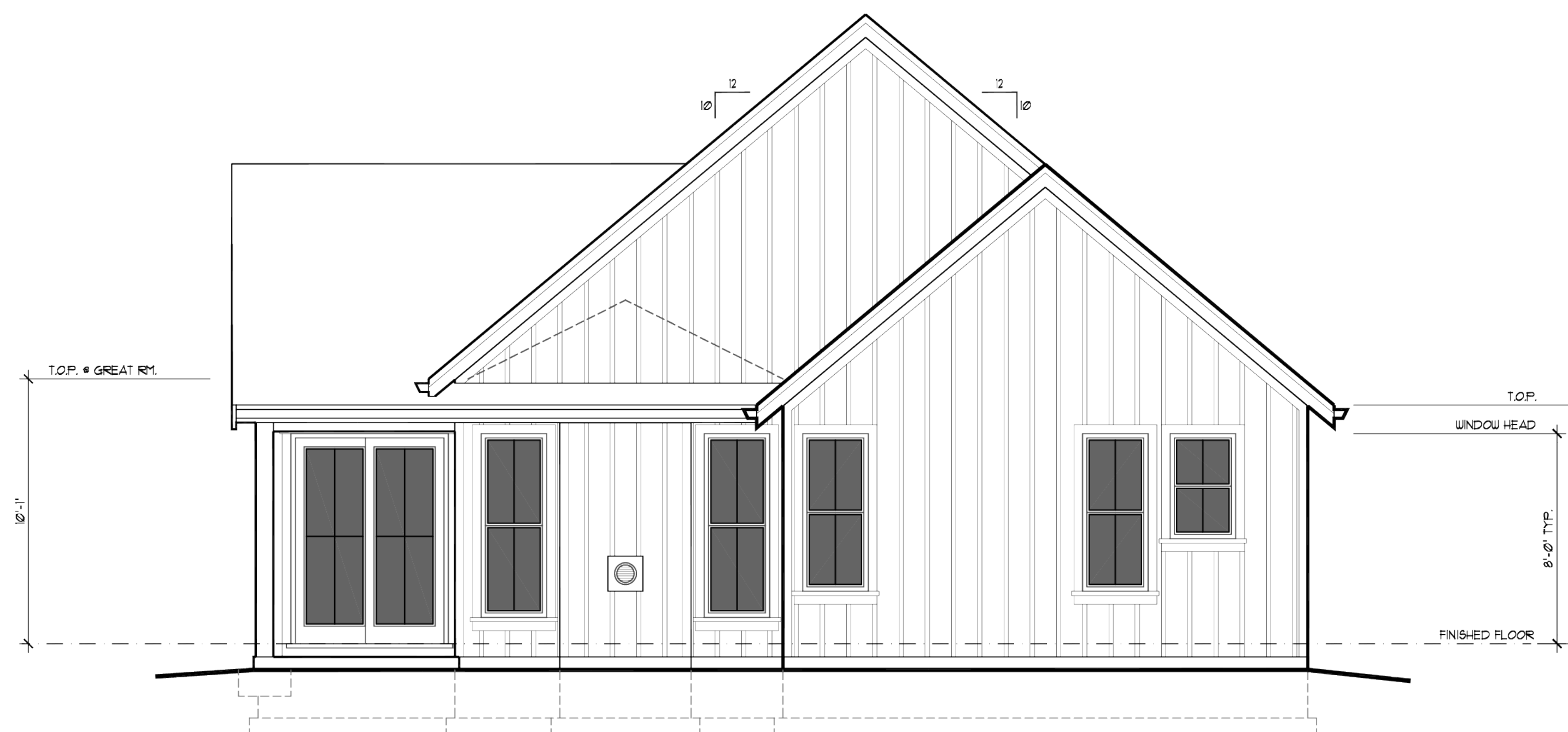
5/4 X CEDAR CORNER BDS.

THE TYPE OF EXTERIOR FINISH, THE
INSTALLATION AND THE WATERPROOFING
DETAILS ARE ALL TO BE THE FULL
RESPONSIBILITY OF THE OWNER/BUILDER. THIS
DESIGNER ASSUMES NO RESPONSIBILITY FOR
THE INTEGRITY OF THE BLDG ENVELOPE



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

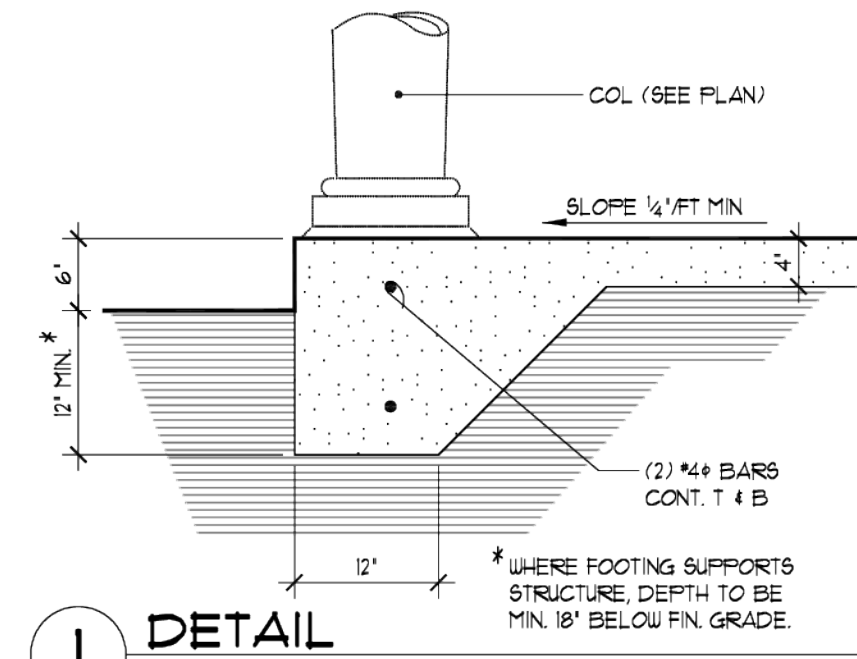
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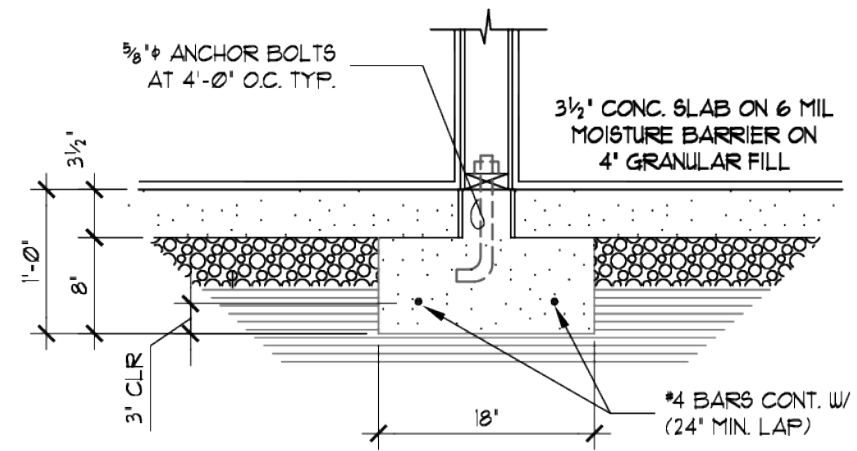
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FOR THE CORRECT INSTALLATION OF ALL
EXTERIOR FINISHES AND WEATHERPROOFING.

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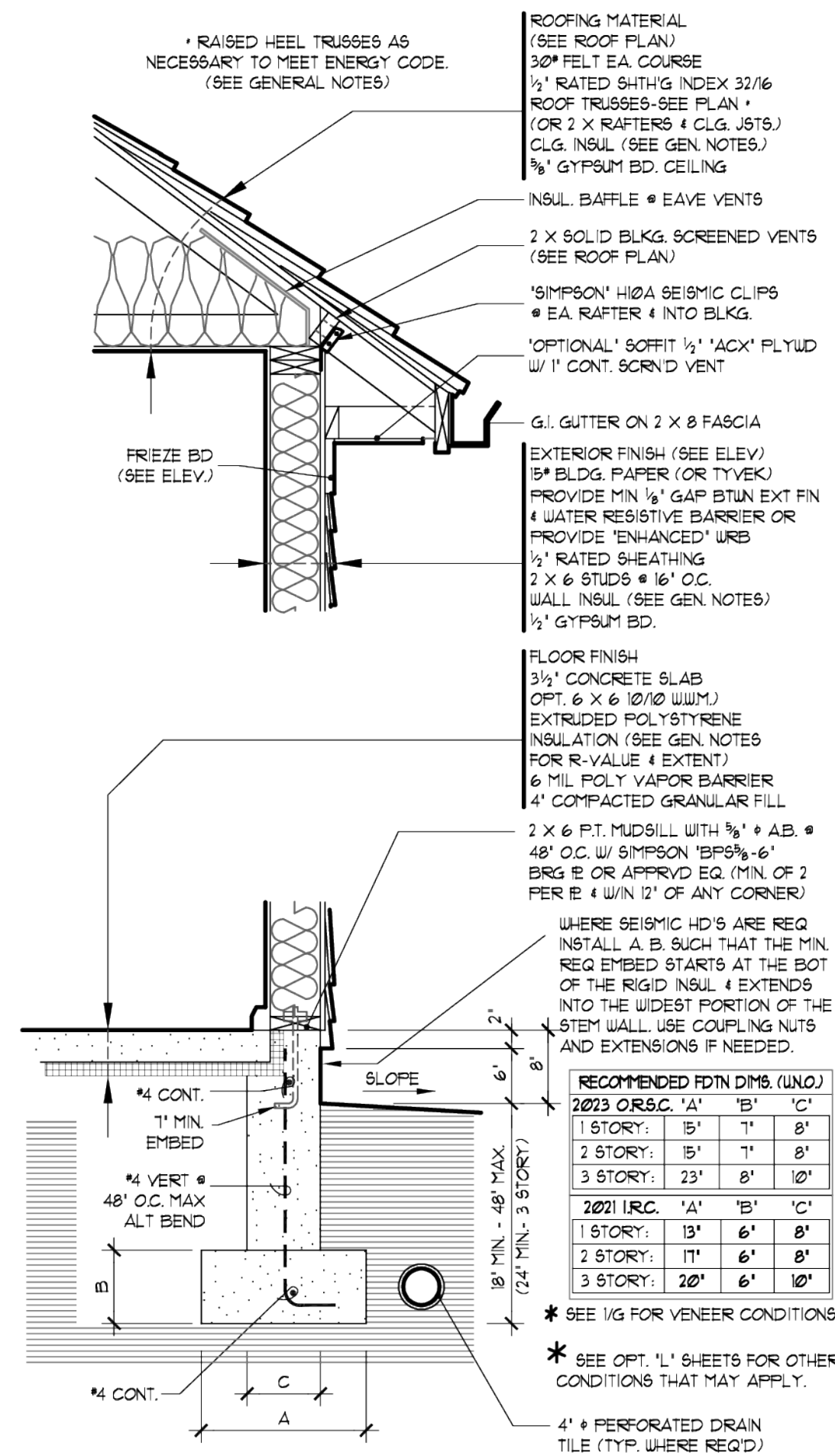
1 DETAIL
SCALE: 3/4" = 1'-0"



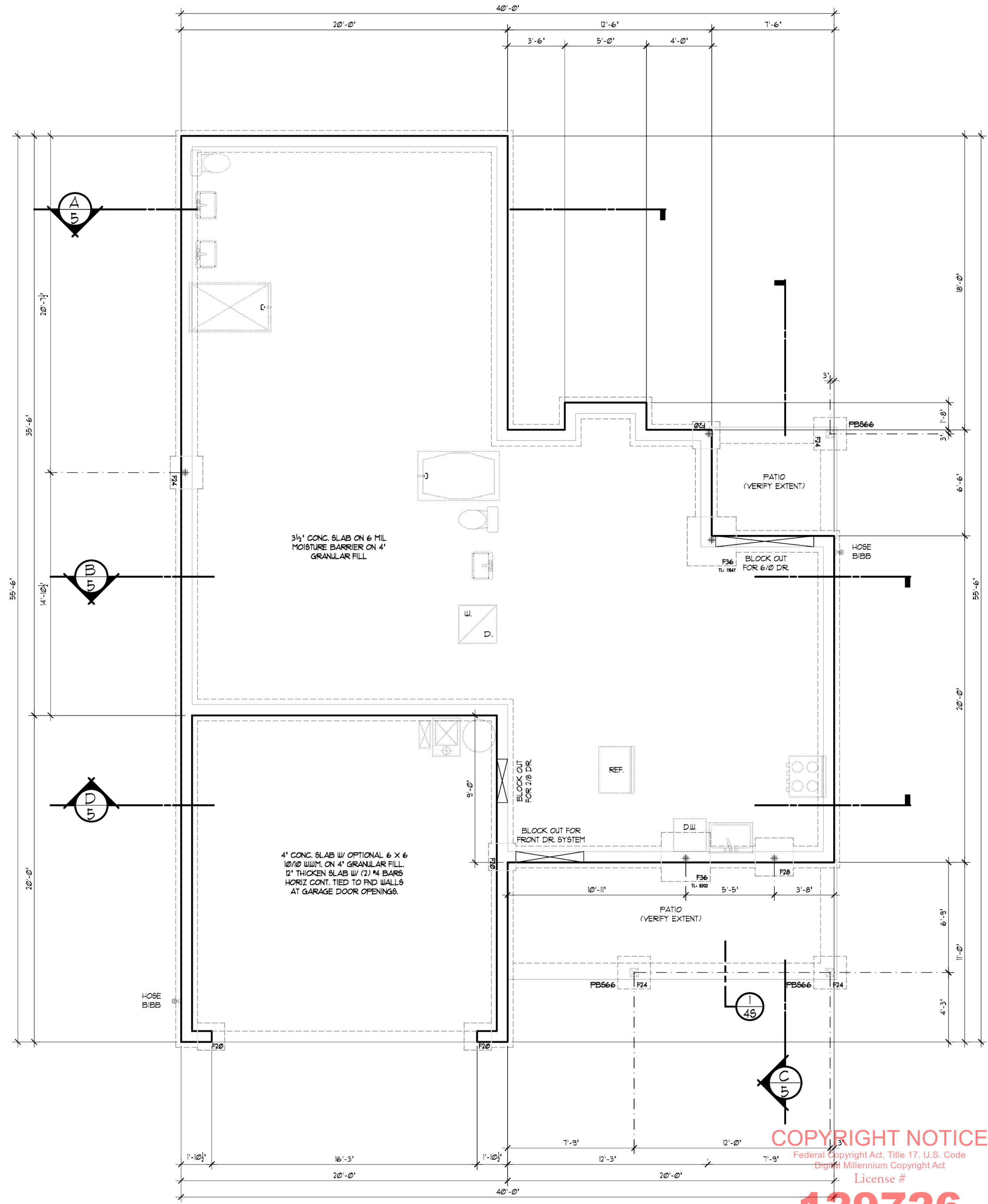
2 DETAIL
SCALE: 3/4" = 1'-0"

TAG	PAD SIZE	REINFORCING	MAX. BRG.
-	18" DIA. x 1'	N.A.	2,414 #
F20	20"x20"x10"	N.A.	3,819 #
F24	24"x24"x12"	N.A.	5,400 #
F28	28"x28"x14"	N.A.	7,211 #
F30	30"x30"x15"	N.A.	8,203 #
F36	36"x36"x17"	(4) #4 BARS @ 1' O.C. E/W	12,073 #
F42	42"x42"x19"	(5) #4 BARS @ 8" O.C. E/W	16,931 #
F48	48"x48"x21"	(6) #4 BARS @ 9" O.C. E/W	21,600 #
F54	54"x54"x23"	(6) #4 BARS @ 9" O.C. E/W	27,331 #
F60	60"x60"x25"	(7) #4 BARS @ 9" O.C. E/W	33,150 #

ASSUMED MIN. 4x4" D.F. COLUMN (UNQ. - SEE PLANS)
 # 6x6" D.F. COLUMN FOR MAX. BRG.
 ## 3 1/2"x3 1/2" FSL COLUMN FOR MAX. BRG. (OR 6x6 TO 1852) #
 ### 5 1/2"x5 1/2" FSL COLUMN FOR MAX. BRG. (SEE POST-CONN. DETAIL) SOIL B.P. 1,500 PSF



TYP. WALL SECTION
SCALE: 3/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

IF LATERAL ENGINEERING IS REQUIRED, REFER TO
ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

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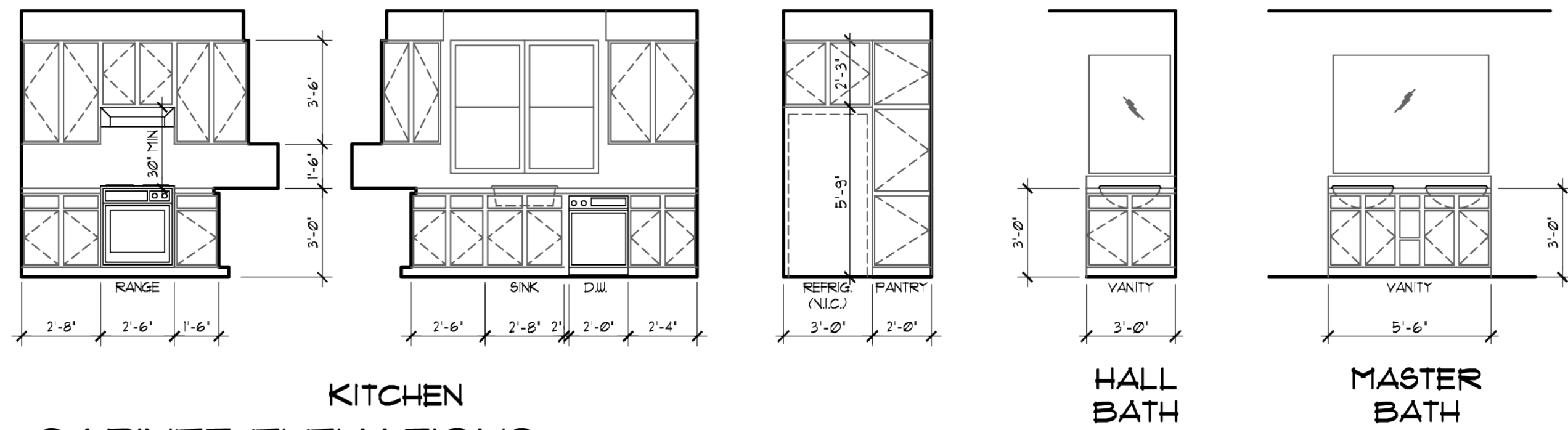
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PARTS OR REMOVAL OF THIS NOTIFICATION IS SUBJECT
TO PROSECUTION

25# SNOW LOAD

MAN FLOOR	106 SQ. FT.	106 SQ. FT.	106 SQ. FT.
TOTAL AREA	106 SQ. FT.	106 SQ. FT.	106 SQ. FT.
GARAGE AREA	396 SQ. FT.	396 SQ. FT.	396 SQ. FT.

1187

4



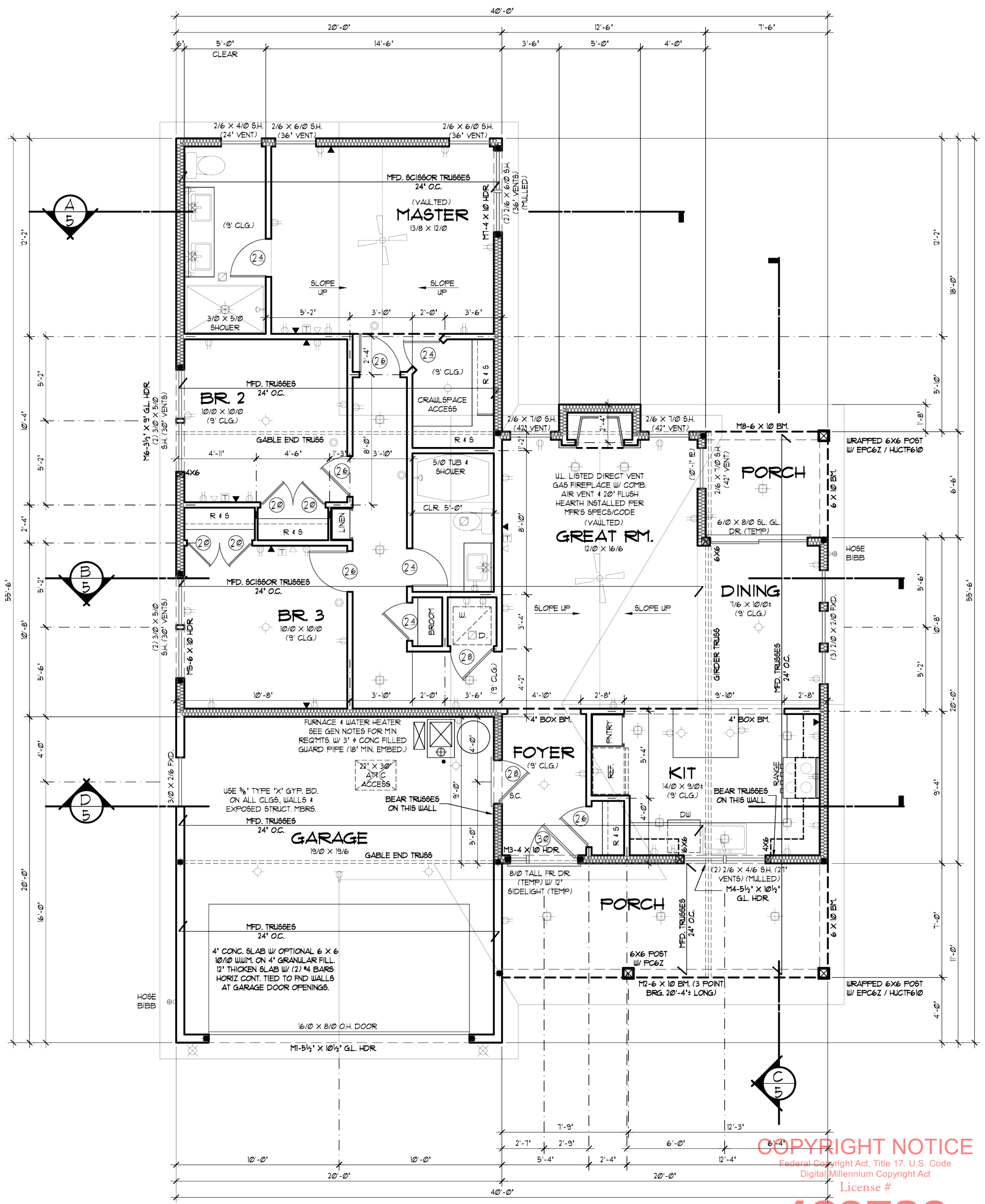
**KITCHEN
CABINET ELEVATIONS**

SCALE: 1/4" = 1'-0"

- LEGEND**
- RECESSED LIGHT
 - RECESSED DIRECTIONAL LIGHT FIXTURE
 - WALL-MOUNT LIGHT
 - SURFACE-MOUNT LIGHT
 - FLOOD LIGHT
 - SURFACE MOUNTED FLUORESCENT
 - RECESSED EXHAUST FAN VENTED TO THE EXTERIOR
 - CEILING FAN
 - DUPLEX OUTLET
 - CEILING MOUNTED DUPLEX OUTLET
 - 220V OUTLET
 - FLUSH FLOOR MOUNTED OUTLET (VERIFY LOC.)
 - TELEPHONE OUTLET
 - DATA OUTLET
 - TELEVISION OUTLET
 - SPEAKER LOCATION
 - SMOKE / CO DETECTOR (SEE GENERAL NOTES FOR OTHER SPEC'S)
 - BEARING POINT LOCATION (PROVIDE SOLID BEARING - MIN. OF MEMBER WIDTH UNO.)
 - POINT LOAD FROM ABOVE
 - 4 X 4 POST FROM ROOF H/P, VALLEY OR RIDGE DOWN TO BEARING POINT ON WALL BELOW (MAX. OF 45' FROM VERT.)
 - BEARING WALL SUPPORTING STRUCTURE ABOVE
 - 4 X 10 HDR. # BEARING WALL INT. DOOR & OPENINGS W/ MIN (2) 2 X 4 SUPPORT EA END (UNO.)
 - DROPPED STRUCT. MEMBER BEARING # WALL

- ENERGY ENVELOPE KEY**
- ▨ WALL, FLOOR, CLG. INSUL.
 - ▨ FOUNDATION INSUL.
- (SEE SHEET 'G' FOR INSULATION VALUES)

- CO. DET LOCATION**
- CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EA. BEDROOM OR WITHIN 5 FEET OUTSIDE OF EA. BEDROOM DOOR, AT EVERY FLOOR LEVEL W/ BEDROOMS. (SEE SHEET 'G' FOR ADD'L. INFO)



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

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Mascord
COLLECTION

1187
3

PROJECT MANAGER/AS
DRAWN: 08/07/20 LAW

25# SNOW LOAD

MAN FLOOR	198 SQ. FT.	GARAGE AREA	396 SQ. FT.
TOTAL AREA	198 SQ. FT.		

1187
3

ROOF DESIGN NOTES

THIS ROOF HAS BEEN DESIGNED TO SUPPORT CEDAR SHAKE ROOFING MATERIALS AND COMPOSITION ROOFING OF VARIOUS TYPES. THE TABLE BELOW DESCRIBES IN DETAIL THE ASSUMPTIONS MADE IN THE DESIGN OF THE ROOF STRUCTURE OF THIS BUILDING.

ROOF LIVE LOAD (SNOW)	25.0 PSF	32.5 PSF	ACTUAL REQ'D
FRAMING MATERIALS:	2.0 PSF	6.75 PSF	SAFETY FACTOR
SHEATHING MATERIALS:	1.5 PSF	6.75 PSF	
MISC. MATERIALS:	1.5 PSF		
ROOFING TYPE	DRY / WET	40.0	PSF TL
MED SHAKES	2.0 / 3.25 PSF		
HVT SHAKES	3.0 / 4.0 PSF		
SHINGLES	2.0 / 3.25 PSF		
COMPOSITION	2.5 / 3.0 PSF		

GYPSUM MATERIALS: ADD 2.0 PSF FOR VAULTED AREAS (COVERED IN SAFETY FACTOR)

NOTE: HIP, VALLEYS & RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTERS (FIELD VERIFY ALL CONDITIONS)

LEGEND

- 4 X 4 WOOD POST FROM RIDGE (HIP OR VALLEY) TO WALL BELOW (MIN. 2" X 4 REQ'D AT WALL BEARING POINT) NOTE: SPLICES IN HIP & VALLEYS CAN ONLY OCCUR @ POST DOWN LOCATIONS
- 49 SQ. IN. ROOF VENTS (SEE VENT TABLE FOR QTY. - 50%/50% SHOWN)
- 2X4 FURLIN WALL TO BM. OR WALL BELOW (FRAM'G AT 24" O.C.)
- SHADED AREA DENOTES ROOF FRAMED OVER RAFTERS BELOW
- DOWNSPOUTS

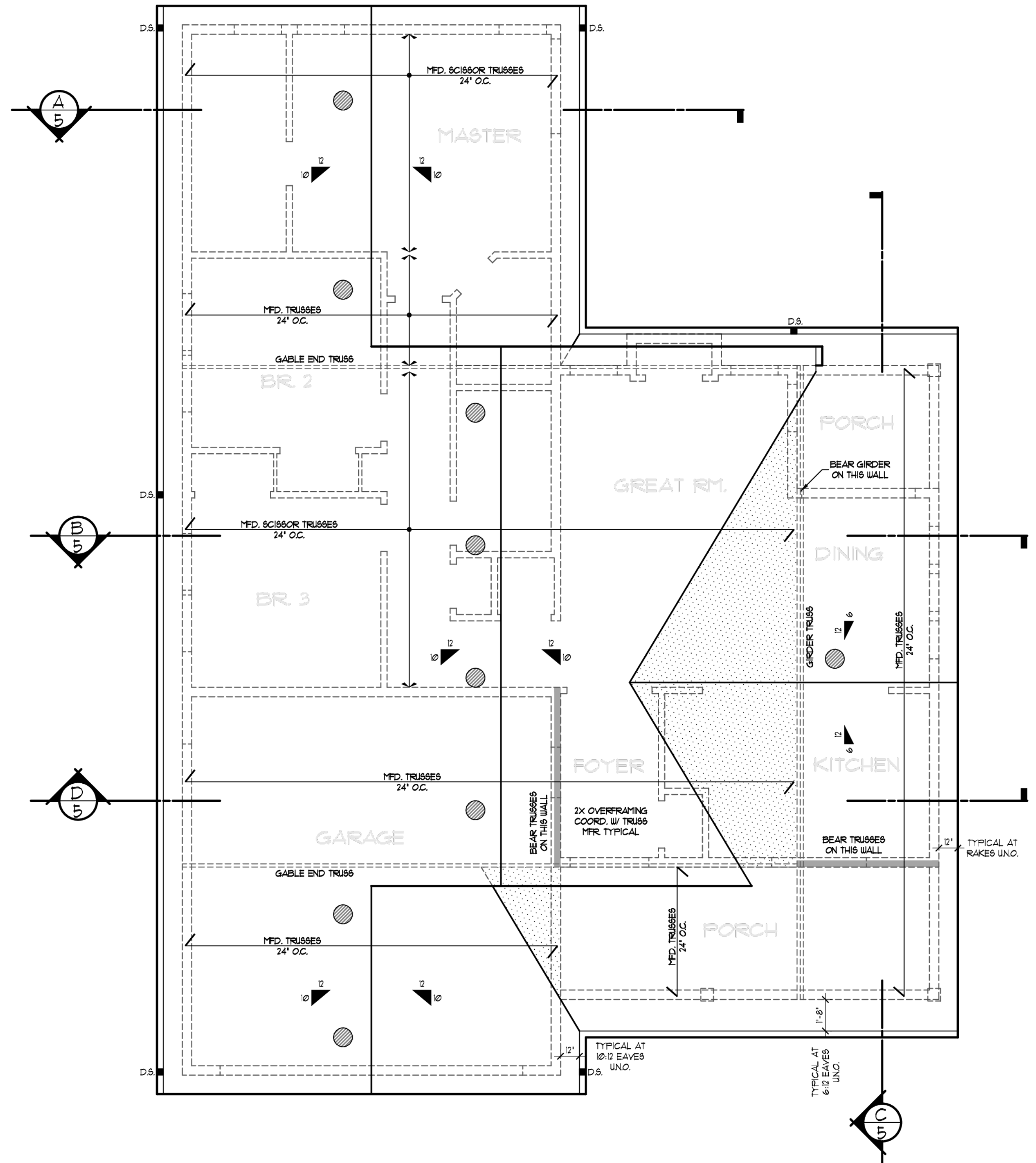
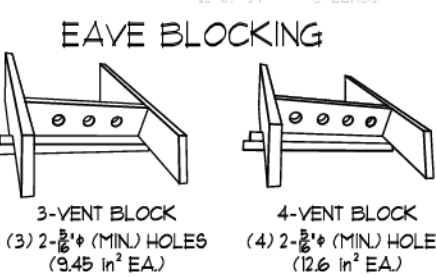
COMP/SHAKE ROOF

PER 2004 WUP.A. TBL. RR-28
#2 D.F. L/240
25' LL & 18' DL

SIZE	SPACING	SPAN
2X6	12' O.C. 16' O.C. 24' O.C.	14'-0" 12'-1" 9'-10"
2X8	12' O.C. 16' O.C. 24' O.C.	11'-8" 10'-4" 12'-6"
2X10	12' O.C. 16' O.C. 24' O.C.	21'-1" 18'-9" 15'-3"
2X12	12' O.C. 16' O.C. 24' O.C.	25'-1" 21'-8" 11'-9"

ROOF VENTS					
ROOF AREA (ft ²) x 1180		EAVE-BLOCK'G		ROOF VENTS	
% EAVE	AREA (ft ²)	% ROOF	AREA (ft ²)	3-VENT	4-VENT
60	572.6	40	341.8	54	41
56.7	484.4	43.3	370.0	51	39
53.3	455.4	46.7	399.0	48	36
50	427.2	50	427.2	45	34

PER 2004 IBC - 806.2 THE MIN NET FREE VENTILATING AREA SHALL BE 1/80 OF THE AREA OF THE VENTED SPACE.
EXCEPTION: THE MIN NET FREE VENTILATING AREA SHALL BE 1/60 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
1. CLIMATE ZONES 6, 7 AND 8 A CLASS OR 1 VAPOR RETARDER IS INSTALLED ON THE WARM-HUMID SIDE OF THE CEILING.
2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED ON THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 1 FEET FROM THE RIDGE OR HIGHER POINT OF THE SPACE. (MEASURED VERTICALLY). THE BALANCE OF THE REQUIRED VENTILATING PROVIDED SHALL BE LOCATED IN THE BOTTOM PORTION OF THE ATTIC SPACE. (MEASURED VERTICALLY). THE LOCATION OF RAFTER FRAMING MEMBERS COMPATIBLE WITH THE INSTALLATION OF UPPER VENTILATORS INSTALLATION MORE THAN 1 FEET FROM THE RIDGE OR HIGHER POINT OF THE SPACE SHALL BE PERMITTED.



ROOF PLAN TO BE VERIFIED W/ TRUSS LAYOUT AND DESIGN BY TRUSS MFR. SEE LAYOUT, TRUSS DRAWINGS AND ENGINEERING, BY MFR, FOR ADDITIONAL SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

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129726

ROOF FRAMING PLAN

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

SCALE: 1/4" = 1'-0"

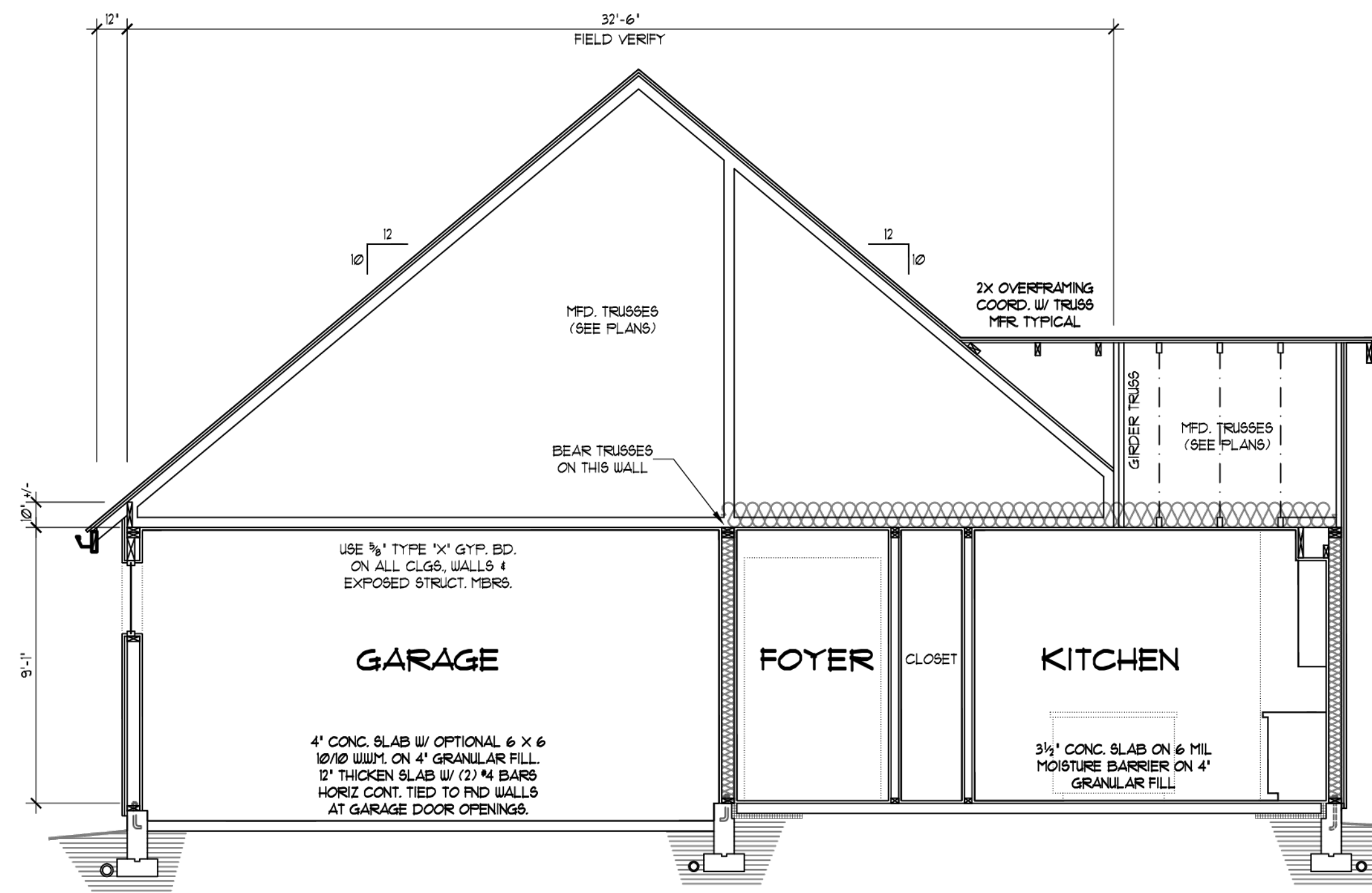
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ALAN MASCORD DESIGN ASSOCIATES, INC.
240 NW WEBB ST., SUITE 100 PORTLAND, OR 97209
503.222.9481 FAX 503.941.0100
WWW.MASCORDDESIGN.COM

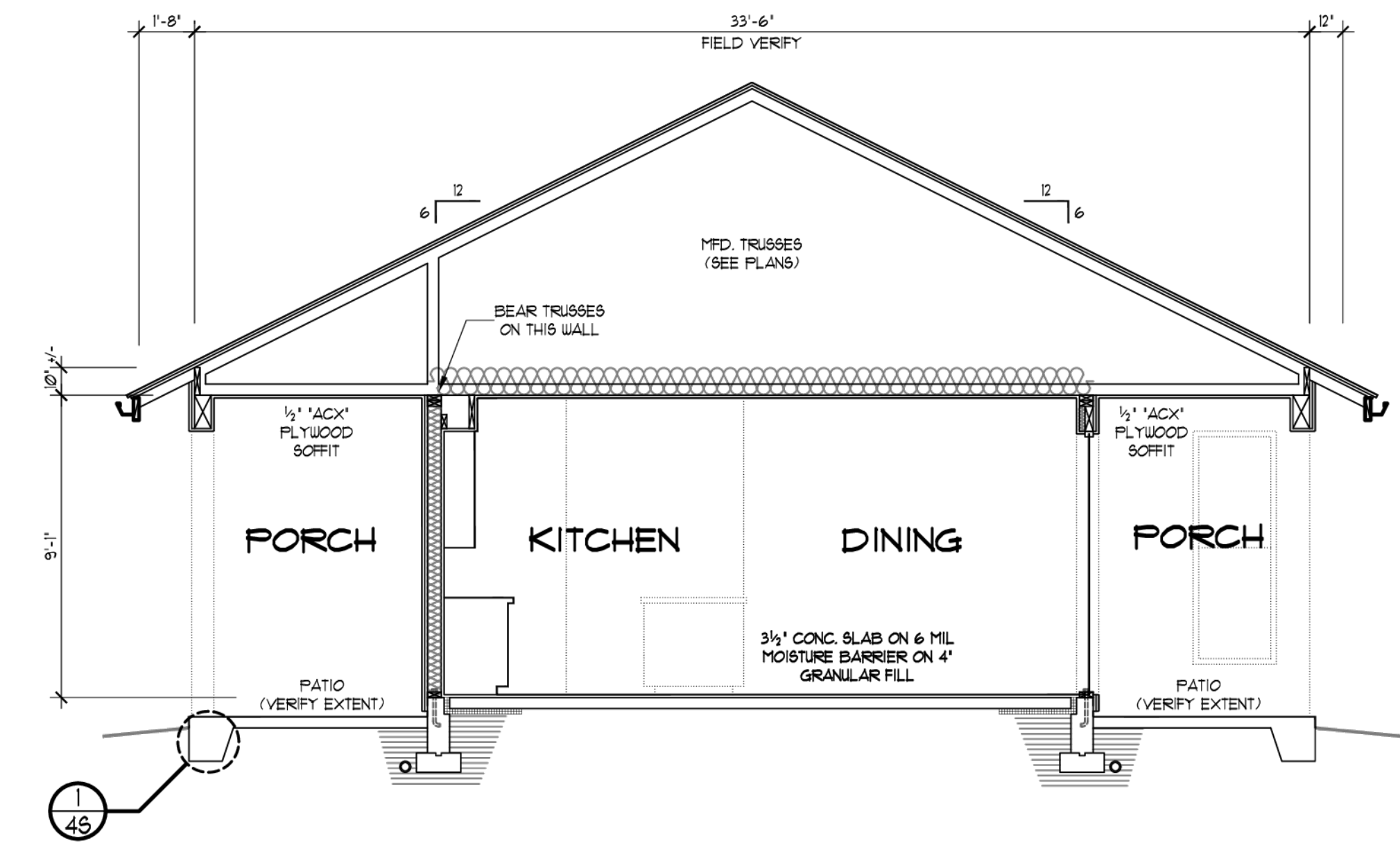
PROJECT MANAGER/AS
DRAWN 08/07/20 LAW

	1186 SQ. FT.	1196 SQ. FT.	1396 SQ. FT.
MAIN FLOOR			
TOTAL AREA			
GARAGE AREA			

1187
6

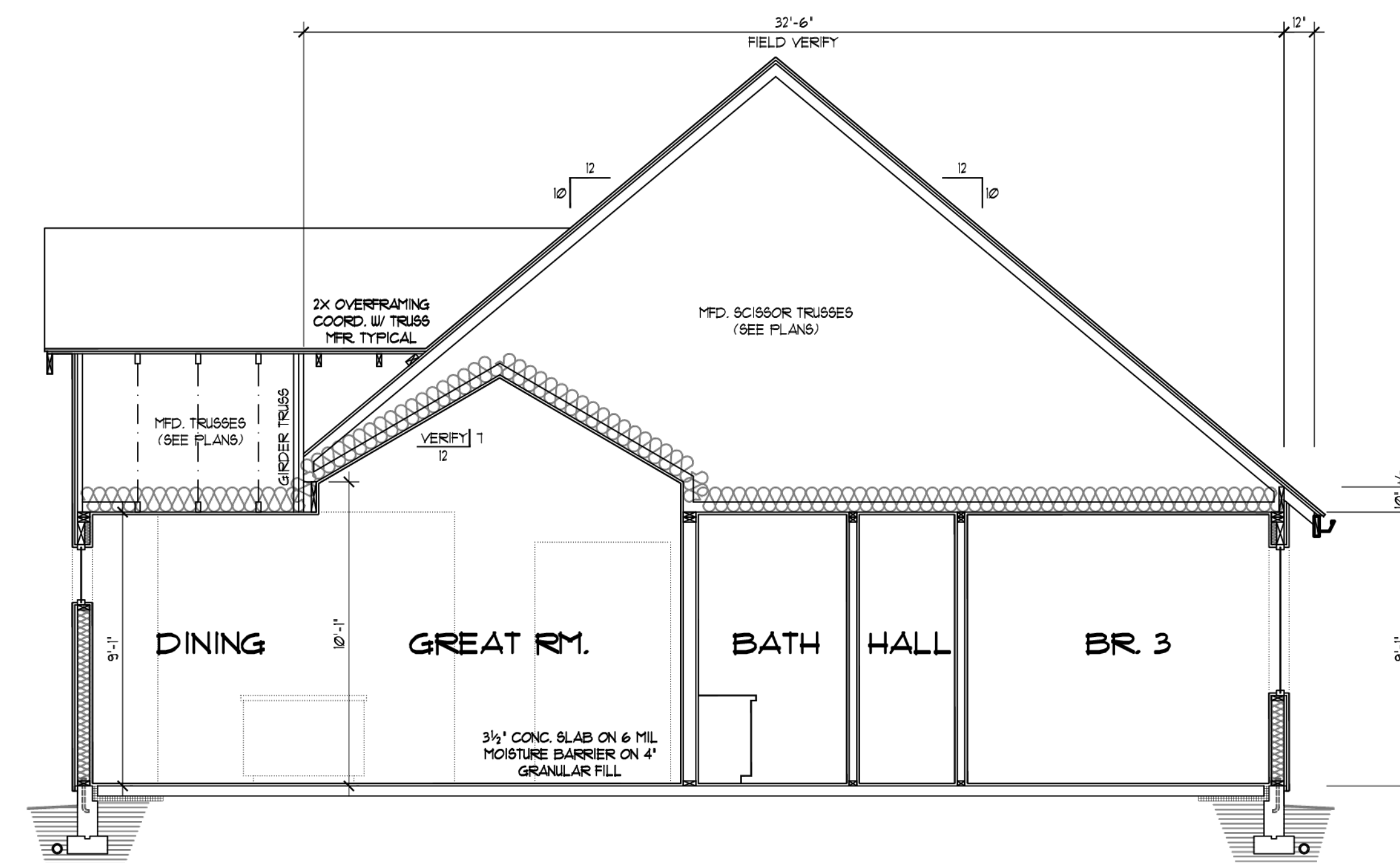


D BUILDING SECTION
SCALE: 1/4" = 1'-0"

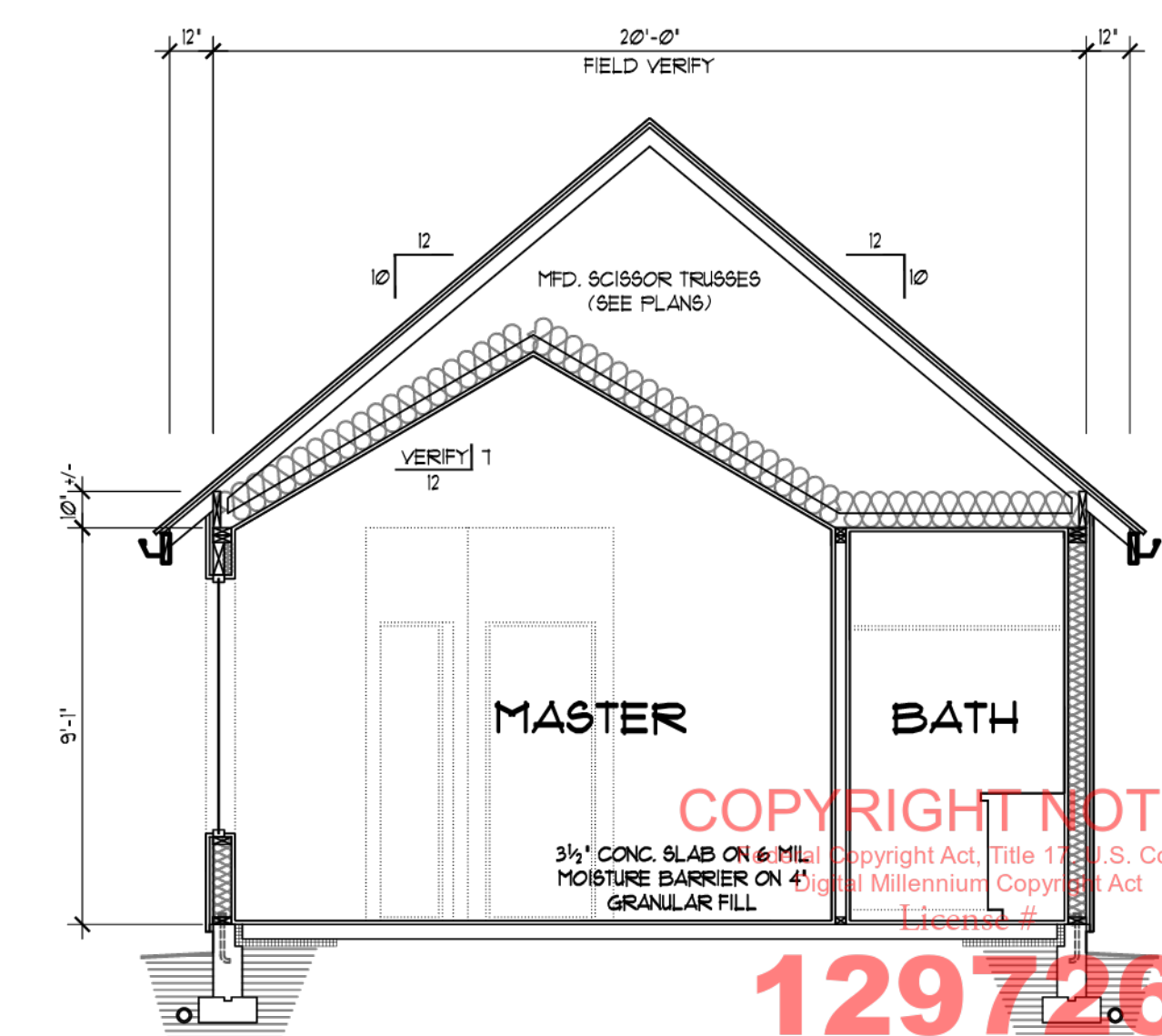


C BUILDING SECTION
SCALE: 1/4" = 1'-0"

ENERGY ENVELOPE KEY	
	WALL, FLR./CLG. INSUL.
	FOUNDATION INSUL.
(SEE SHEET 'G' FOR INSULATION VALUES)	



B BUILDING SECTION
SCALE: 1/4" = 1'-0"



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

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129726

25# SNOW LOAD	
MAIN FLOOR	196 SQ. FT.
TOTAL AREA	196 SQ. FT.
GARAGE AREA	396 SQ. FT.

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 910-A0 OF THE ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Inocensio Barron on behalf of Ariel Palacios for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 910-A0 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 178 Lynne Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF NOVEMBER, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 21, 2024

2nd Reading: November 4, 2024

Exhibit 'A':
Location Map

Address: 178 Lynne Drive

Legal Description: Lot 910-A of the Rockwall Lake Estates #2 Addition

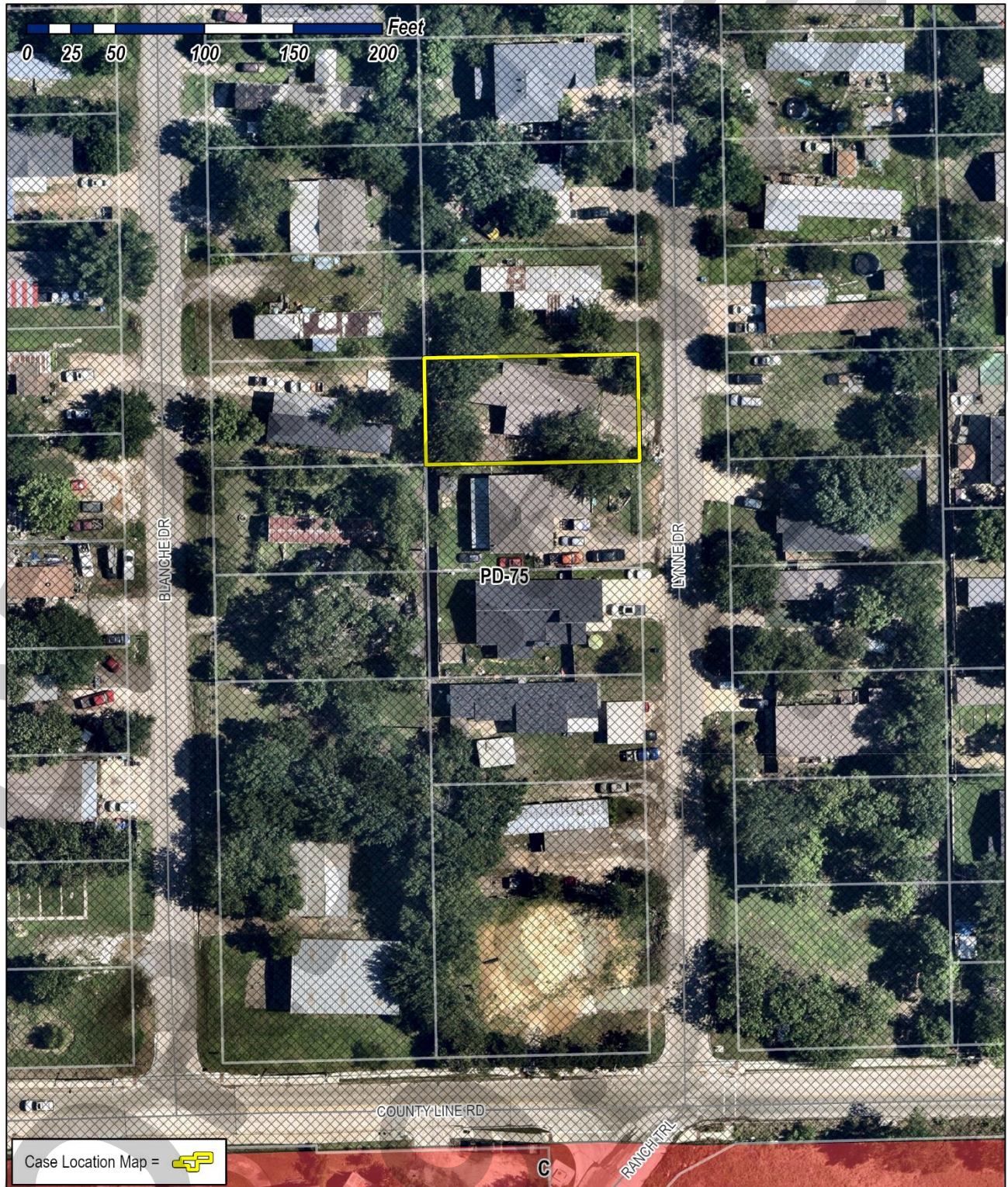
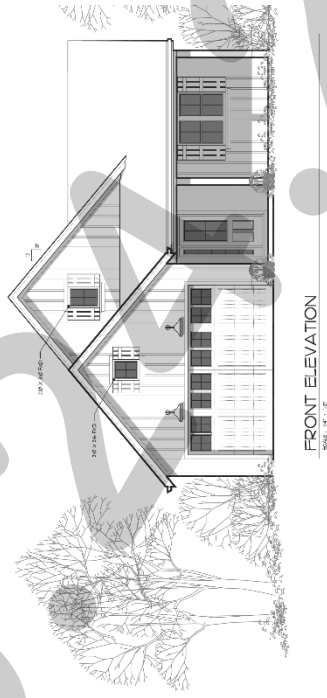
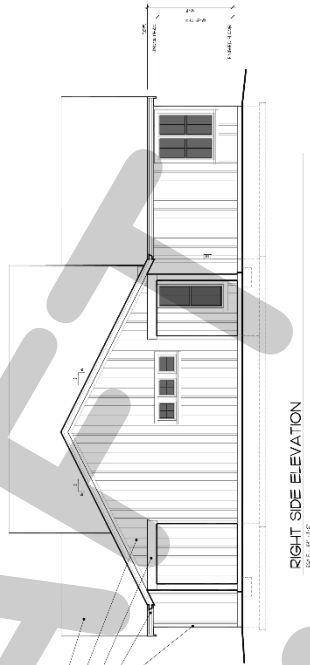


Exhibit 'B':
Residential Plot Plan

DRAFT
ORDINANCE
09.24.2024

Exhibit 'C':
Building Elevations



NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISH GRADE IS TO BE DETERMINED BY THE CONTRACTOR.
3. ALL MATERIALS AND FINISHES TO BE APPROVED BY THE ARCHITECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
7. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND WASTE FROM THE SITE.
9. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

DRAWING 2024



CITY OF ROCKWALL

PLANNING AND ZONING MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 15, 2024
APPLICANT: Inocencio Barron
SUBJECT: Z2024-045; *Specific Use Permit (SUP) for Residential Infill at 178 Lynne Drive*

On October 7, 2024, the applicant – *Inocencio Barron* -- sent an email to staff requesting to withdraw *Case No. Z2024-045* stating that they require more time to prepare new building elevations and residential plot plan. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), “(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body.” This means that the Planning and Zoning Commission will need to vote on the applicant’s request to withdraw. Should the Planning and Zoning Commission have any questions, staff will be available at the October 15, 2024 meeting.

From: [yooo tambien](#)
To: [Guevara, Angelica](#)
Subject: Z2024-045
Date: Monday, October 7, 2024 3:43:50 PM

Hello Angelica
Protect number : Z2024-45
178 Lynne Dr. Rockwall Tx. 75032

These is Inocencio Barron, I want to let you know that I'm working with the Architect in order to get ready the modifications that you requested unfortunately they said it could take between 2 to 4 weeks to get ready, I request please a little bit more time to get the plans ready.

As soon as I get it, I will be in touch with you.

Thank you in advance, I appreciate your help.

Inocencio Barron

Sent from my iPhone

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