



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
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- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

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¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1790 I-30 Frontage Rd

SUBDIVISION Rockwall Kia

LOT 1 BLOCK 1

GENERAL LOCATION South side of East I-30, 1785'+- from John King Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Existing Southwest KIA Car Dealership

PROPOSED ZONING SUP (New & Used Motor Vehicle Dealership)

PROPOSED USE Existing Southwest KIA Car Dealership to remain

ACREAGE 5.9915

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Zohreh Malek

APPLICANT Lithia c/o Golden Property Development, LLC

CONTACT PERSON

CONTACT PERSON Mark Fernandez

ADDRESS 3845 Oak Lawn Ave

ADDRESS 20025 E Country Hollow Dr

CITY, STATE & ZIP Dallas TX 75219

CITY, STATE & ZIP Walnut, CA 91789

PHONE 214-727-7422

PHONE 909-573-2765

E-MAIL zohreh7@gmail.com

E-MAIL mark@goldenpropertydevelopment.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zohreh Malek [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 289.42 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 1st DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 1st DAY OF March, 2024.

OWNER'S SIGNATURE Zohreh Malek

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS C. Hughes





March 4, 2024

City of Rockwall
Planning & Zoning Department
Attn: Henry Lee
385 S. Goliad Street
Rockwall, TX 75087

Re: Proposed Southwest Kia Car Dealership Remodel and Expansion
Special Use Permit (SUP) Request
Letter of Explanation
1790 I-30 Frontage Rd
Rockwall, TX 75087

Mr. Lee:

Please use this Letter of Explanation as a formal request to process a Special Use Permit (SUP) for a Proposed Southwest Kia Car Dealership Remodel and Expansion. Lithia Motors, Inc., owners of the existing and operational Southwest Kia Dealership located at 1790 I-30 Frontage Rd, are filing for a SUP to permit the car dealership use and expansion as it is currently a legal non-conforming use.

Introduction:

Southwest Kia of Rockwall embarks on a transformative project aimed at enhancing its facility to better serve customers and align with Kia's latest brand image. The project includes the demolition of the existing showroom and service drive, followed by the construction of a new showroom and service drive facility designed to mitigate flooding risks and improve operational efficiency. Additionally, the project includes repainting the existing building exterior and implementing new interior and exterior finishes to reflect Kia's updated brand aesthetics.

Key Items:

- Demolition of Existing Showroom and Service Drive:
 - The project begins with the demolition of the current showroom and service drive to pave the way for the construction of a modernized facility.



- Construction of New Showroom and Service Drive:
 - The new showroom and service drive facility will be elevated to prevent flooding issues resulting from existing grades, ensuring operational continuity even during adverse weather conditions.
 - Careful consideration will be given to architectural design and structural integrity to meet both aesthetic and functional requirements.
 - Sales functions and operations will continue to operate out of temporary trailers.
 - When completed the facility would have increased in size by approximately 2,050 sf.

- Limited Paving Scope for Storm Water Drainage:
 - The paving scope will be optimized to efficiently surface drain stormwater, reducing the risk of flooding and water damage on the premises.
 - Drainage systems will be strategically integrated to manage stormwater runoff effectively.
 - All existing fire lanes will remain in their existing configuration.

- Repainting Existing Building Exterior:
 - The existing building exterior will undergo repainting to rejuvenate its appearance and align it with Kia's latest brand image.
 - High-quality paint materials resistant to weathering and fading will be selected to ensure long-term visual appeal.

- New Interior and Exterior Finishes:
 - All interior and exterior finishes will be replaced to reflect Kia's updated brand aesthetics, creating a cohesive and inviting atmosphere for customers and staff.
 - Finishes will prioritize durability, ease of maintenance, and visual appeal to uphold the brand's standards and enhance customer experience.



Conclusion:

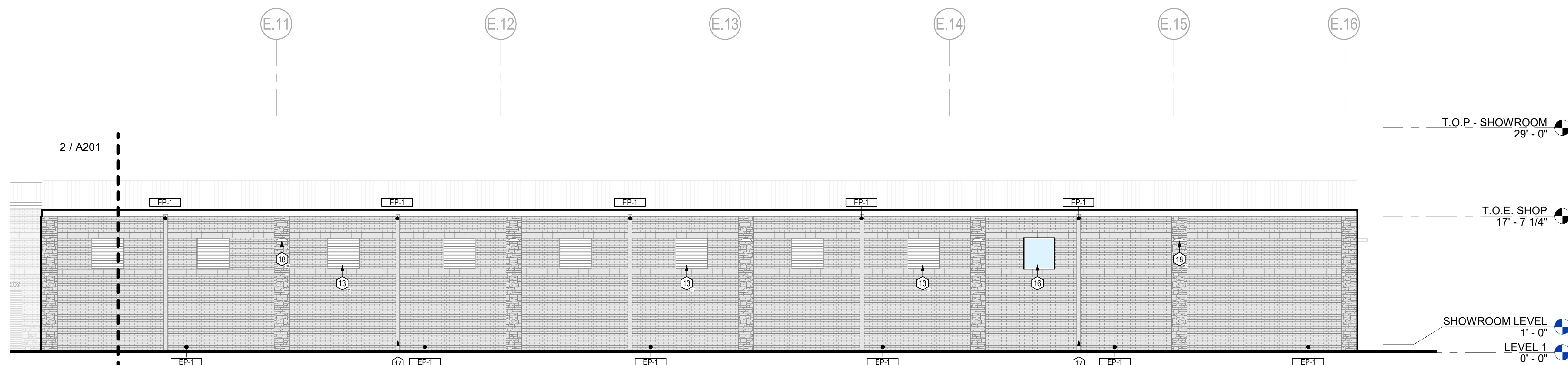
The Southwest Kia of Rockwall renovation project represents a significant investment in modernizing and improving the dealership facility. Through the demolition of the existing showroom and service drive, construction of a new elevated facility, optimization of stormwater drainage, repainting of the building exterior, and implementation of new interior and exterior finishes, the dealership aims to enhance functionality, aesthetics, and brand alignment. This endeavor underscores Southwest Kia's commitment to providing exceptional service and maintaining a strong brand presence in the City of Rockwall's automotive market.

Sincerely,

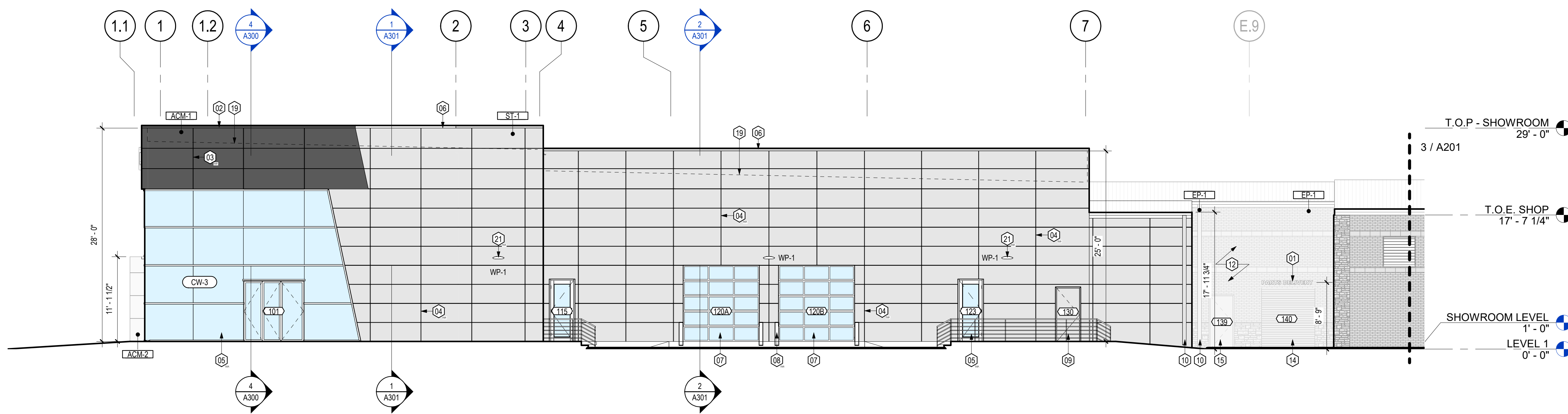
Mark Fernandez
Lithia Motors, Inc. c/o Golden Property Development, LLC
909-573-2765
mark@goldenpropertydevelopment.com

DATE	DELTA	DESCRIPTION

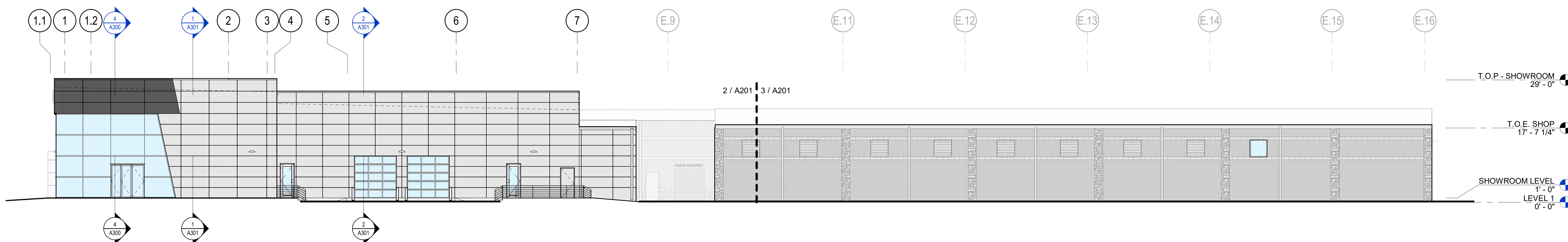
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
07	OVERHEAD DOOR. REF: SCHEDULES
08	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
09	MAN DOOR. REF: SCHEDULES
10	PREFINISHED METAL GUTTER AND DOWNSPOUT. COLOR TO MATCH HOST WALL
11	EQUIPMENT SCREEN. REF: SITE DETAILS
12	EXISTING EXTERIOR WALL TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION
13	EXISTING MECHANICAL LOUVER TO REMAIN
14	EXISTING OVERHEAD DOOR TO REMAIN. PAINT AS SCHEDULED
15	EXISTING DOOR AND FRAME TO REMAIN. PAINT AS SCHEDULED
16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



3 EXTERIOR BUILDING ELEVATION - WEST - AREA B
1/8" = 1'-0"



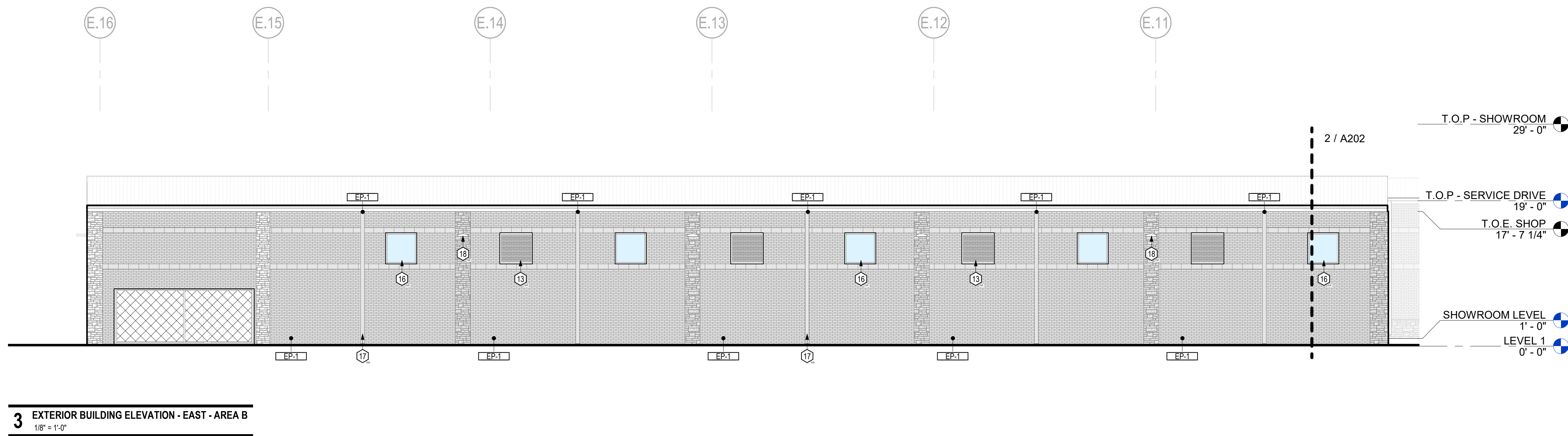
2 EXTERIOR BUILDING ELEVATION - WEST - AREA A
1/8" = 1'-0"



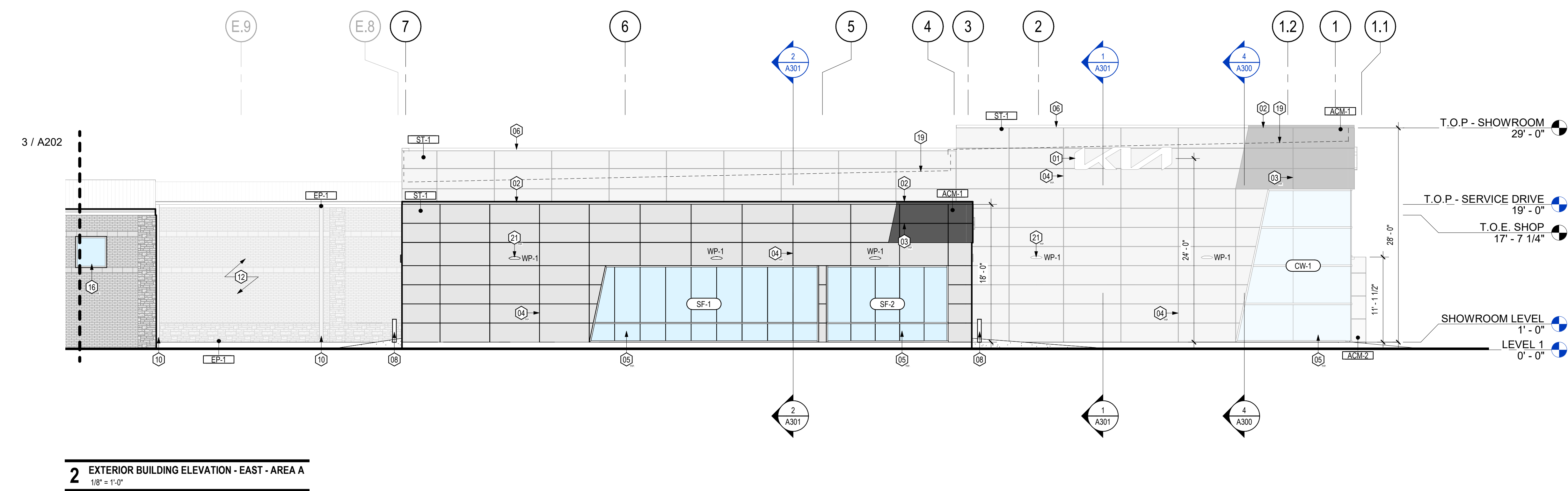
1 EXTERIOR BUILDING ELEVATION - WEST
3/32" = 1'-0"

DATE	DELTA	DESCRIPTION
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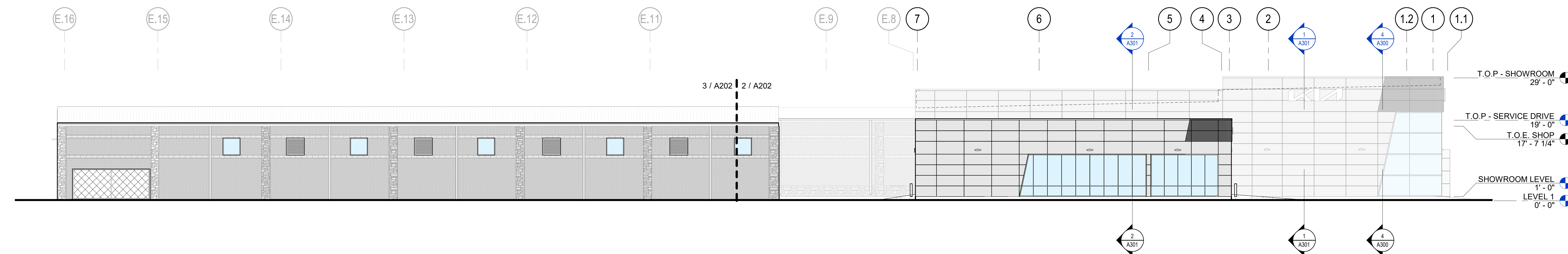
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#	NOTE
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3 EXTERIOR BUILDING ELEVATION - EAST - AREA B
1/8" = 1'-0"



2 EXTERIOR BUILDING ELEVATION - EAST - AREA A
1/8" = 1'-0"



1 EXTERIOR BUILDING ELEVATION - EAST
3/32" = 1'-0"

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
448 W. 19TH ST.
HOUSTON, TEXAS 77008
713.992.4148

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.766.6076

PROJECT:
SOUTHWEST KIA OF
ROCKWALL

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

PRELIMINARY
NOT TO BE USED FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION
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PROJECT NUMBER: LA2204

ISSUE DATE: 02.20.2024

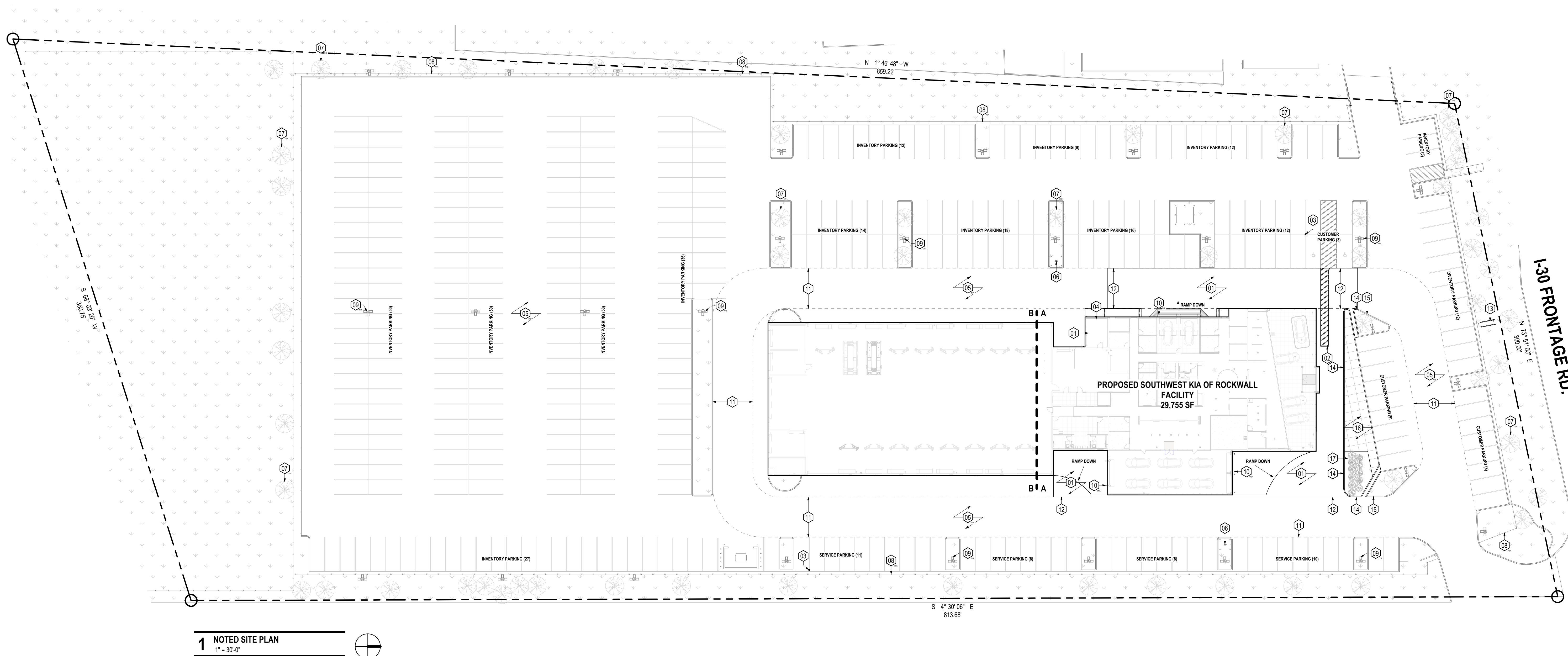
SHEET NAME:

NOTED SITE PLAN

SHEET:

A102

SITE PLAN KEYNOTES	
#	NOTE
01	PAVING. REF: CIVIL
02	4" WHITE PARKING STRIPE. TYP. UNO
03	EV CHARGING STATION BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
04	EQUIPMENT SCREEN. REF: SITE DETAILS
05	EXISTING PAVING TO REMAIN. REF: CIVIL
06	EXISTING FIRE HYDRANT. REF: CIVIL
07	EXISTING TREE TO REMAIN. REF: LANDSCAPE
08	EXISTING PIPE RAIL FENCE. G.C. TO REPAIR AND REPAINT, EP-1
09	EXISTING LIGHT POLE TO REMAIN
10	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
11	EXISTING FIRE LANE
12	FIRE LANE - PAVEMENT MARKINGS, 6" WIDE RED PAINT WITH THE WORDS, "FIRE LANE - TOW AWAY ZONE" IN 4" WHITE LETTERS NO MORE THAN 25' ALTERNATING INTERVALS
13	MONUMENT SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
14	CONCRETE CURB. REF: CIVIL
15	EXISTING PORTION OF CURB TO REMAIN. REF: CIVIL
16	CONCRETE SIDEWALK. REF: SITE DETAILS
17	LANDSCAPING. REF: CIVIL



1 NOTED SITE PLAN
1" = 32' 0"

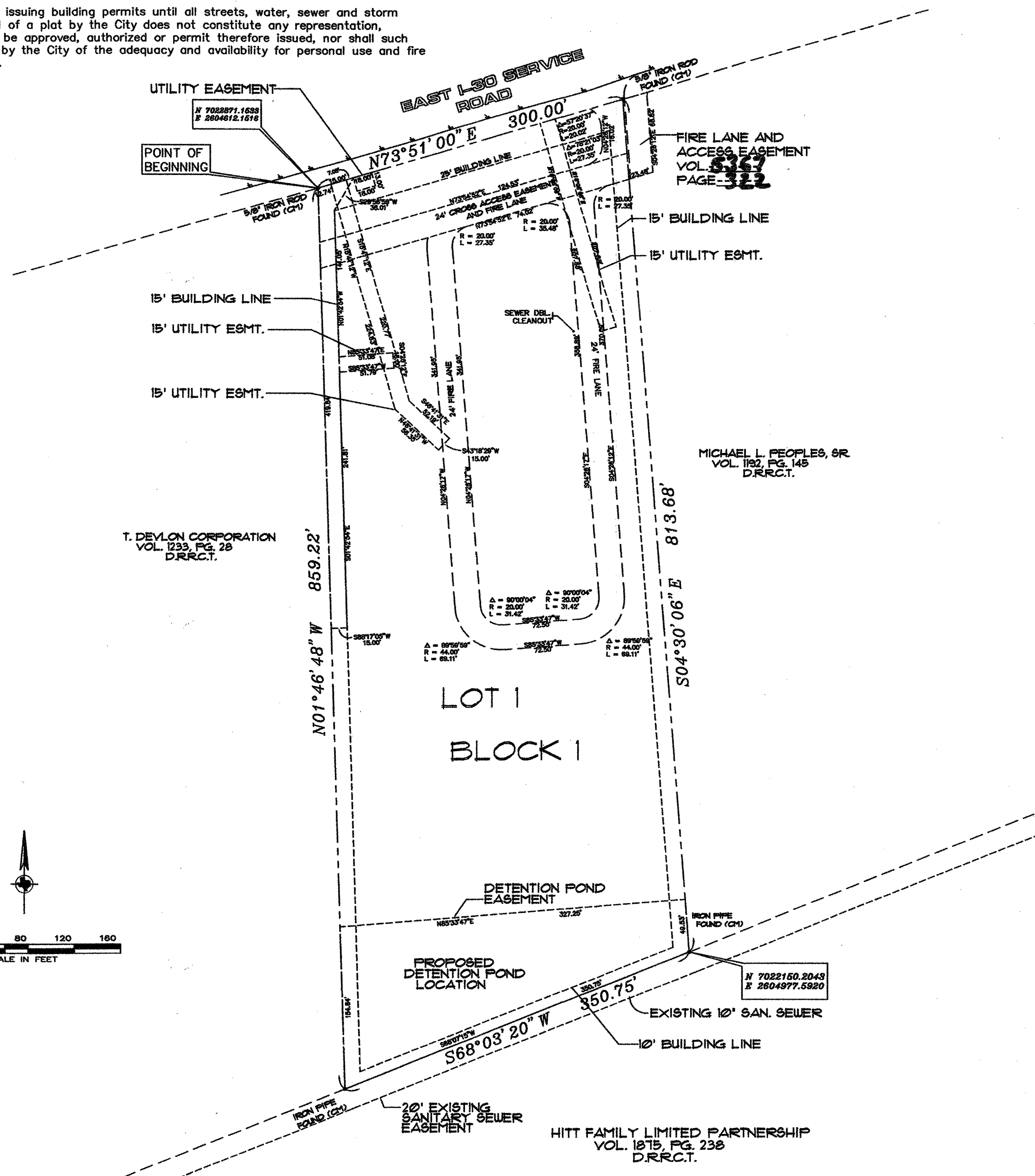
LEGAL DESCRIPTION

260,988 sq. ft. - 5.9915 AC, Lot 1, Block 1, Rockwall Kia (recorded plat attached)

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for personal use and fire protection within such plat, as required under Ordinance 83-54.

ZONED LI - LIGHT INDUSTRIAL

FLOOD INFO:
 ZONE: X
 MAP NO. 480543 0045 B
 DATE: SEPTEMBER 17, 1980



FILED FOR RECORD
 ROCKWALL COUNTY CLERK
 LISA CONSTANTI
 COUNTY CLERK
 DEPUTY
 08 MAR 27 PM 3:33



LEGEND							
—	FIRE LANE	—	BRICK	○	CLEAN OUT	□	CABLE PENETRAL
—	GAS LINE	—	CONCRETE	□	TRAFFIC SIGNAL CONTROL	□	WELL PENETRAL
—	OVERHEAD ELECTRIC LINE	—	STONE	□	TRAFFIC SIGNAL POLE	△	CABLE METER
—	OVERHEAD TELE. LINE	—	GRAVEL	□	LIGHT POLE	△	CABLE METER
—	SANIT. SEWER LINE	—	WOOD	□	UTILITY POLE	□	TELEPHONE BOX
—	STORM SEWER LINE	—	—	□	ELECTRIC METER	□	CONTROLLING MOUNTMENT (C.M.)
—	UNDERGROUND ELECTRIC LINE	—	—	□	TRANSFORMER	□	FLAG LIGHT
—	UNDERGROUND TELE. LINE	—	—	□	GAS METER	□	FLAG POLE
—	WATER LINE	—	—	□	GAS VALVE	□	TRAFFIC SIGN
—	CONTOUR	—	—	□	WATER METER	□	SPOT ELEVATION
—	EDGE OF ASPHALT	—	—	□	FIRE HYDRANT	—	TOP OF CURB ELEVATION
—	WOOD FENCE	—	—	□	WATER VALVE	—	OUTLET ELEVATION
—	WOOD FENCE	—	—	□	IRRIGATION CONTROL VALVE		
—	CHAINLINK FENCE	—	—				
—	COLUMNS						

DRAWN BY:	JJ
CHECKED BY:	DT
SCALE:	1" = 100'
DATE:	01/16/08
JOB NO.:	00-1000
CP NO.:	
MAPNO NO.:	

OWNER: SALAHOUN FAMILY, L.P.
 39638 LBJ FREEWAY
 DALLAS, TX. 75232
 PHONE: 972-283-9797
 FAX: 972-283-5862

FINAL PLAT - PAGE 1 OF 2
 260,988 SQ. FT. - 5.9915 AC.
 LOT 1, BLOCK 1, ROCKWALL KIA
 1790 EAST I-30
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

G-279



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

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LOT 1

BLOCK 1

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ACREAGE 5.9915

LOTS [CURRENT] 1

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APPLICANT Lithia c/o Golden Property Development, LLC

CONTACT PERSON

CONTACT PERSON Mark Fernandez

ADDRESS 3845 Oak Lawn Ave

ADDRESS 20025 E Country Hollow Dr

CITY, STATE & ZIP Dallas TX 75219

CITY, STATE & ZIP Walnut, CA 91789

PHONE 214-727-7422

PHONE 909-573-2765

E-MAIL zohreh7@gmail.com

E-MAIL mark@goldenpropertydevelopment.com

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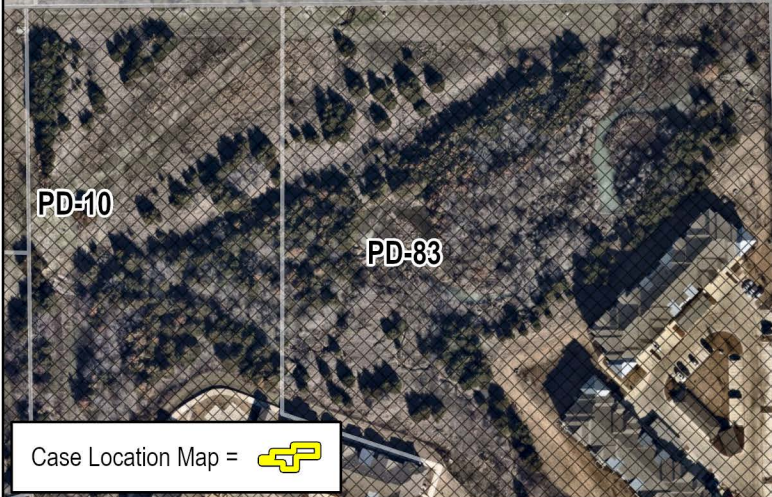
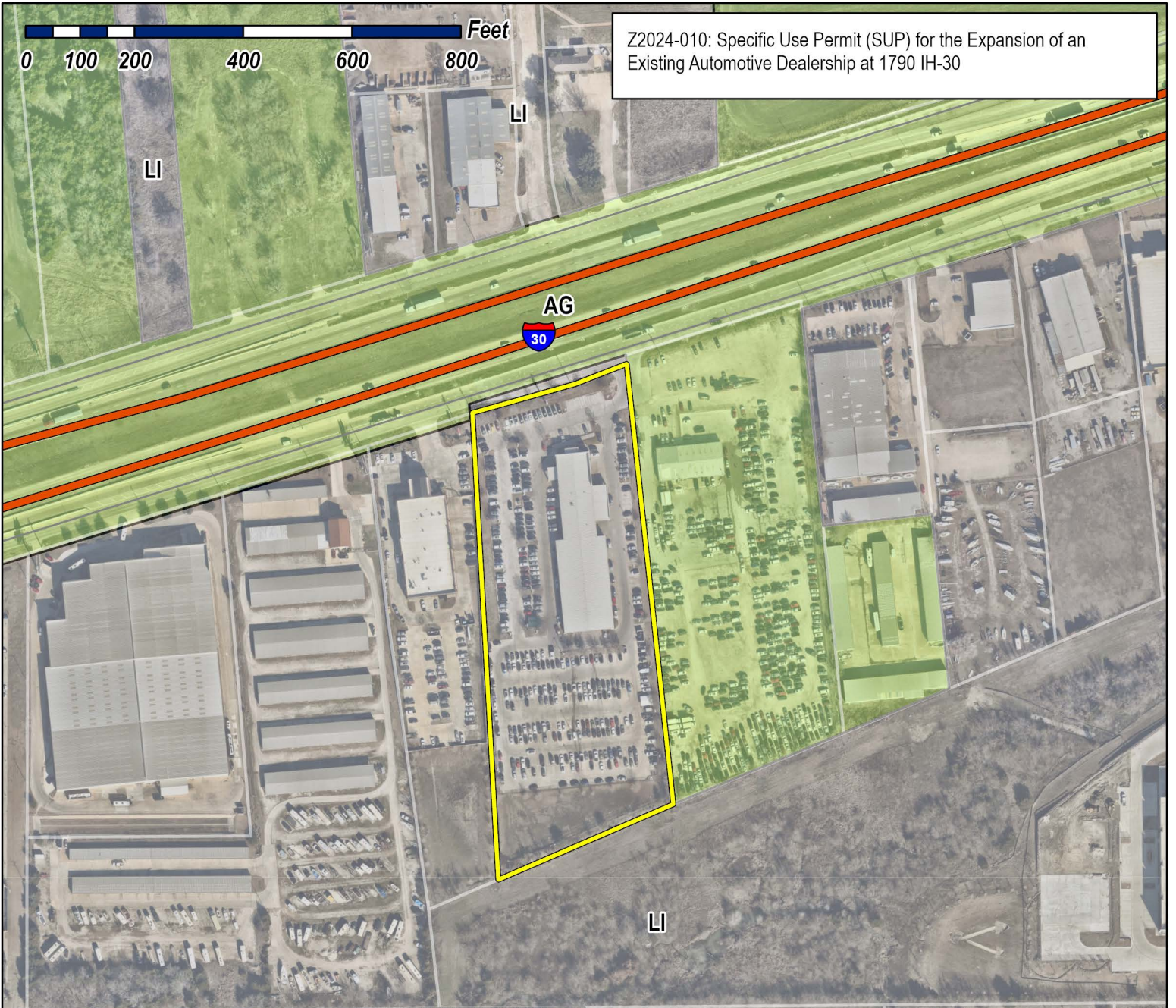
OWNER'S SIGNATURE Zohreh Malek

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS C. Hughes



0 100 200 400 600 800 Feet

Z2024-010: Specific Use Permit (SUP) for the Expansion of an Existing Automotive Dealership at 1790 IH-30



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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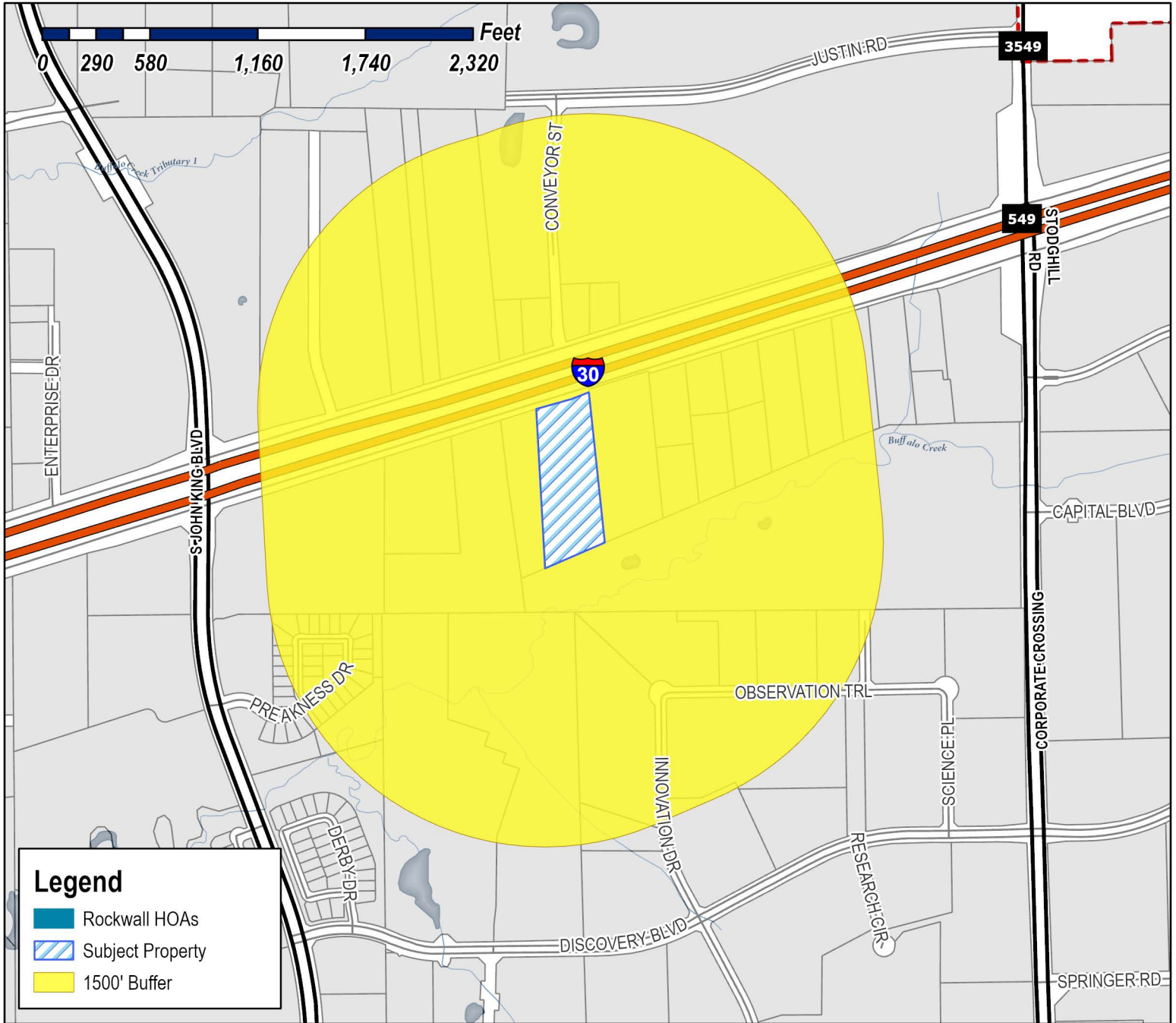




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Case Number: Z2024-010
Case Name: SUP for the Expansion of an Existing Automotive Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1790 IH-30

Date Saved: 3/11/2024
 For Questions on this Case Call (972) 771-7745

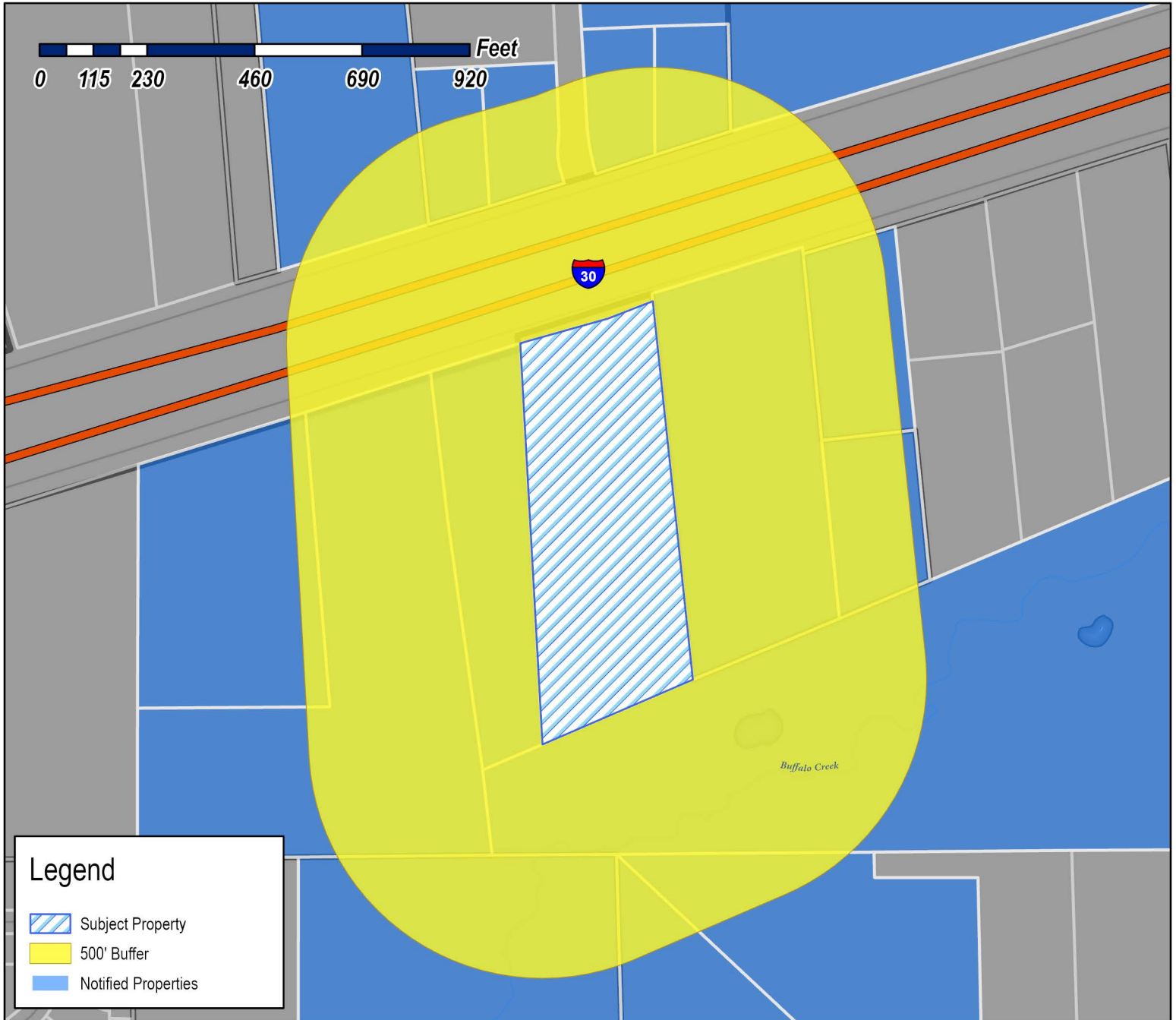




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Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-010
Case Name: SUP for the Expansion of an Existing Automotive Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1790 IH-30

Date Saved: 3/11/2024

For Questions on this Case Call: (972) 771-7746



LINE 5 HOLDINGS LP
1201 N RIVERFRONT BLVD SUITE 100
DALLAS, TX 75207

DEN-MAR ENTERPRISES INC
124 MONT BLANC DR
HEATH, TX 75032

RAFIZADEH M & M FAMILY LTD
C/O REPUBLIC MOTORSPORTS INC
12707 SOUTHWEST FREEWAY
STAFFORD, TX 77477

RESIDENT
1515 CORPORATE CROSSING
ROCKWALL, TX 75087

PRITCHARD DONNA CULLINS &
KIMBERLY CULLINS COLLICCHIO TRUSTEES
1610 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1635 INNOVATION DR
ROCKWALL, TX 75087

RESIDENT
1750 E I30
ROCKWALL, TX 75087

RESIDENT
1760 E I30
ROCKWALL, TX 75087

RESIDENT
1785 E I30
ROCKWALL, TX 75087

RESIDENT
1790 E I30
ROCKWALL, TX 75087

RESIDENT
1795 I30
ROCKWALL, TX 75087

RESIDENT
1805 E I30
ROCKWALL, TX 75087

RESIDENT
1810 S I30
ROCKWALL, TX 75087

RESIDENT
1820 E I30
ROCKWALL, TX 75087

SELF SCOTT & JANET
1830 E INTERSTATE 30 STE 100
ROCKWALL, TX 75087

RESIDENT
2350 DISCOVERY BLVD
ROCKWALL, TX 75087

RESIDENT
2610 OBSERVATION TRL
ROCKWALL, TX 75087

JBC LAND & CATTLE COMPANY LLC
2905 DUBLIN
PARKER, TX 75002

SALEHOUN FAMILY LIMITED PARTNERSHIP
39650 LYNDON B JOHNSON FWY
DALLAS, TX 75237

WESTCORE BRAVO ROCKWALL LLC
4350 LA JOLLA VILLAGE DR STE 900
SAN DIEGO, CA 92122

ROCKWALL STORAGE SOLUTIONS LLC
447 STEVENS RD
ROCKWALL, TX 75032

MIDDLE BROOKS HOLDINGS LLC
513 SAINT MARY ST
ROCKWALL, TX 75087

SWBC RW2, LP
5949 SHERRY LN SUITE 750
DALLAS, TX 75225

ROCKWALL 549/I30 PARTNERS LP
8750 N CENTRAL EXPWY SUITE 1735
DALLAS, TX 75231

CONVEYOR I30 PARTNERS LP
8750 N CENTRAL EXPY SUITE 1735
DALLAS, TX 75231

AMBATIELOS EVANGELOS & VASILIKI
JAMES E ZAFERIS & JOANNA ZAFERIS
P. O. BOX 86404
LOS ANGELES, CA 90086

ROCKWALL AA RE LLC
PO BOX 775
ROYSE CITY, TX 75189

THACKER DENNIS ALAN TESTAMENTARY TRUST
AND
LINDA THACKER LAHOOD AND JOSHUA ALAN
THACKER
PO BOX 8693
GREENVILLE, TX 75404



March 4, 2024

City of Rockwall
Planning & Zoning Department
Attn: Henry Lee
385 S. Goliad Street
Rockwall, TX 75087

Re: Proposed Southwest Kia Car Dealership Remodel and Expansion
Special Use Permit (SUP) Request
Letter of Explanation
1790 I-30 Frontage Rd
Rockwall, TX 75087

Mr. Lee:

Please use this Letter of Explanation as a formal request to process a Special Use Permit (SUP) for a Proposed Southwest Kia Car Dealership Remodel and Expansion. Lithia Motors, Inc., owners of the existing and operational Southwest Kia Dealership located at 1790 I-30 Frontage Rd, are filing for a SUP to permit the car dealership use and expansion as it is currently a legal non-conforming use.

Introduction:

Southwest Kia of Rockwall embarks on a transformative project aimed at enhancing its facility to better serve customers and align with Kia's latest brand image. The project includes the demolition of the existing showroom and service drive, followed by the construction of a new showroom and service drive facility designed to mitigate flooding risks and improve operational efficiency. Additionally, the project includes repainting the existing building exterior and implementing new interior and exterior finishes to reflect Kia's updated brand aesthetics.

Key Items:

- Demolition of Existing Showroom and Service Drive:
 - The project begins with the demolition of the current showroom and service drive to pave the way for the construction of a modernized facility.



- Construction of New Showroom and Service Drive:
 - The new showroom and service drive facility will be elevated to prevent flooding issues resulting from existing grades, ensuring operational continuity even during adverse weather conditions.
 - Careful consideration will be given to architectural design and structural integrity to meet both aesthetic and functional requirements.
 - Sales functions and operations will continue to operate out of temporary trailers.
 - When completed the facility would have increased in size by approximately 2,050 sf.

- Limited Paving Scope for Storm Water Drainage:
 - The paving scope will be optimized to efficiently surface drain stormwater, reducing the risk of flooding and water damage on the premises.
 - Drainage systems will be strategically integrated to manage stormwater runoff effectively.
 - All existing fire lanes will remain in their existing configuration.

- Repainting Existing Building Exterior:
 - The existing building exterior will undergo repainting to rejuvenate its appearance and align it with Kia's latest brand image.
 - High-quality paint materials resistant to weathering and fading will be selected to ensure long-term visual appeal.

- New Interior and Exterior Finishes:
 - All interior and exterior finishes will be replaced to reflect Kia's updated brand aesthetics, creating a cohesive and inviting atmosphere for customers and staff.
 - Finishes will prioritize durability, ease of maintenance, and visual appeal to uphold the brand's standards and enhance customer experience.



Conclusion:

The Southwest Kia of Rockwall renovation project represents a significant investment in modernizing and improving the dealership facility. Through the demolition of the existing showroom and service drive, construction of a new elevated facility, optimization of stormwater drainage, repainting of the building exterior, and implementation of new interior and exterior finishes, the dealership aims to enhance functionality, aesthetics, and brand alignment. This endeavor underscores Southwest Kia's commitment to providing exceptional service and maintaining a strong brand presence in the City of Rockwall's automotive market.

Sincerely,

Mark Fernandez
Lithia Motors, Inc. c/o Golden Property Development, LLC
909-573-2765
mark@goldenpropertydevelopment.com

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
448 W. 19TH ST.
HOUSTON, TEXAS 77008
713.992.4148

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.786.6076

PROJECT:
SOUTHWEST KIA OF
ROCKWALL

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

PRELIMINARY
NOT TO BE USED FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION

PROJECT NUMBER: LA2204

ISSUE DATE: 02.20.2024

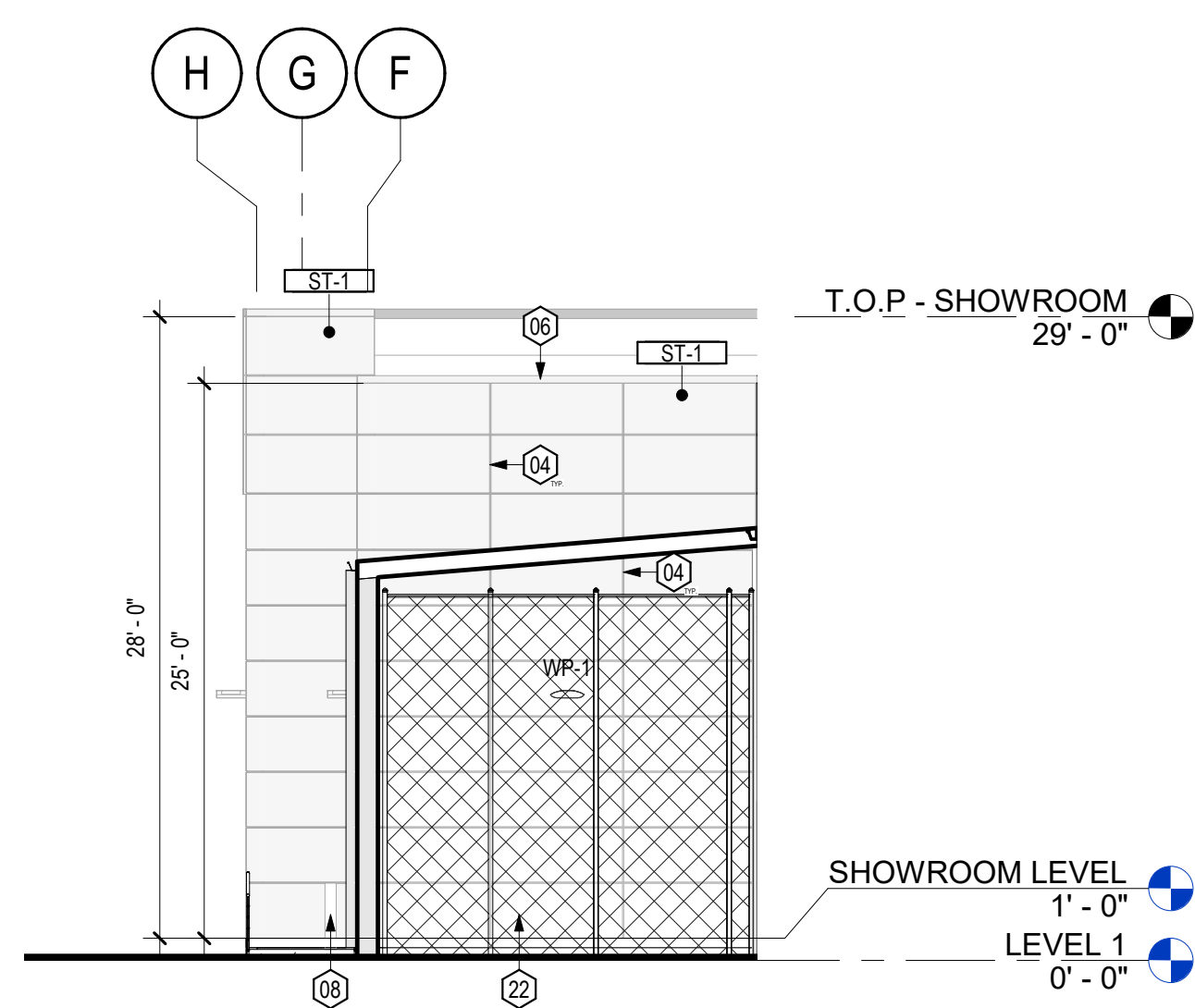
SHEET NAME:

EXTERIOR BUILDING ELEVATIONS

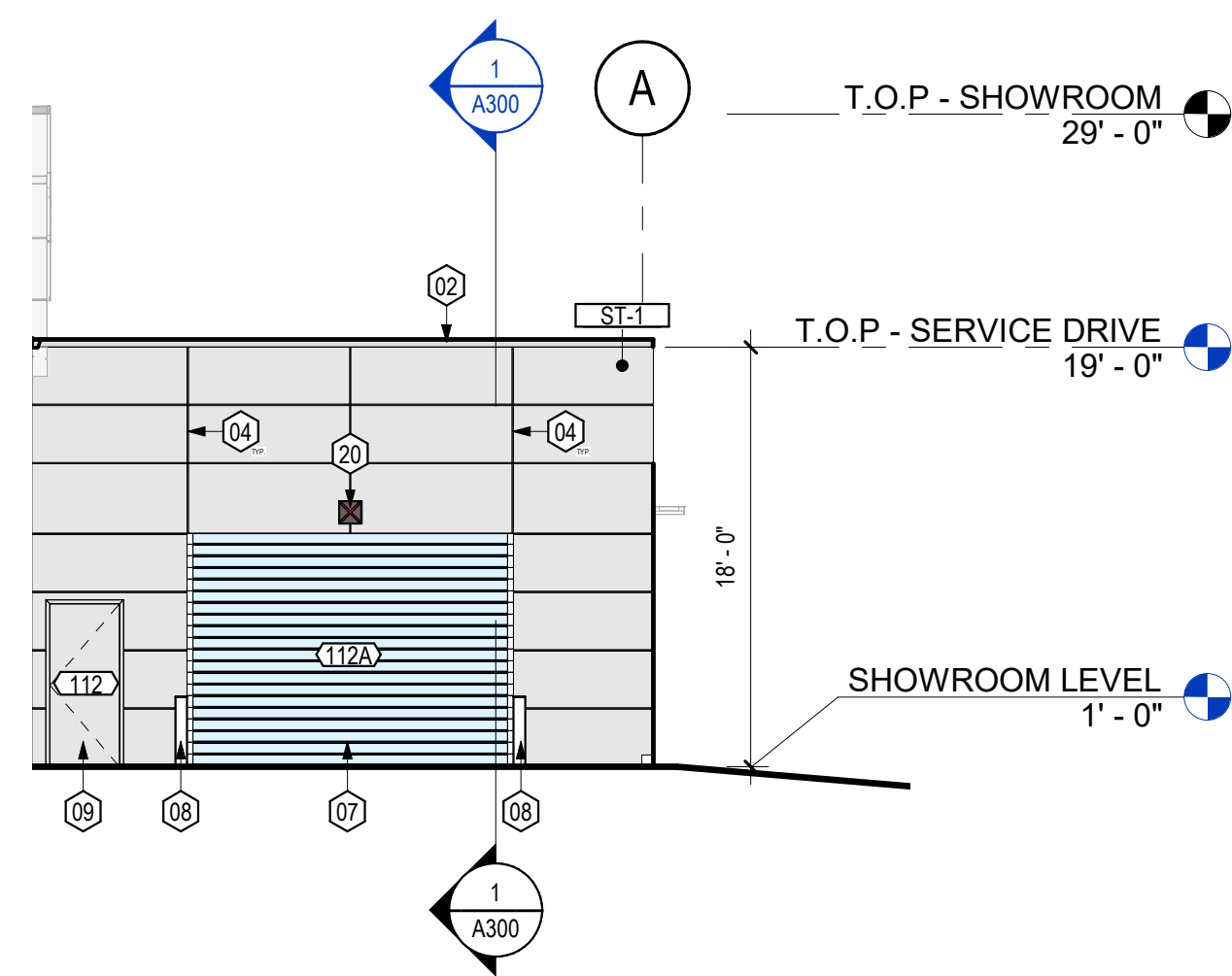
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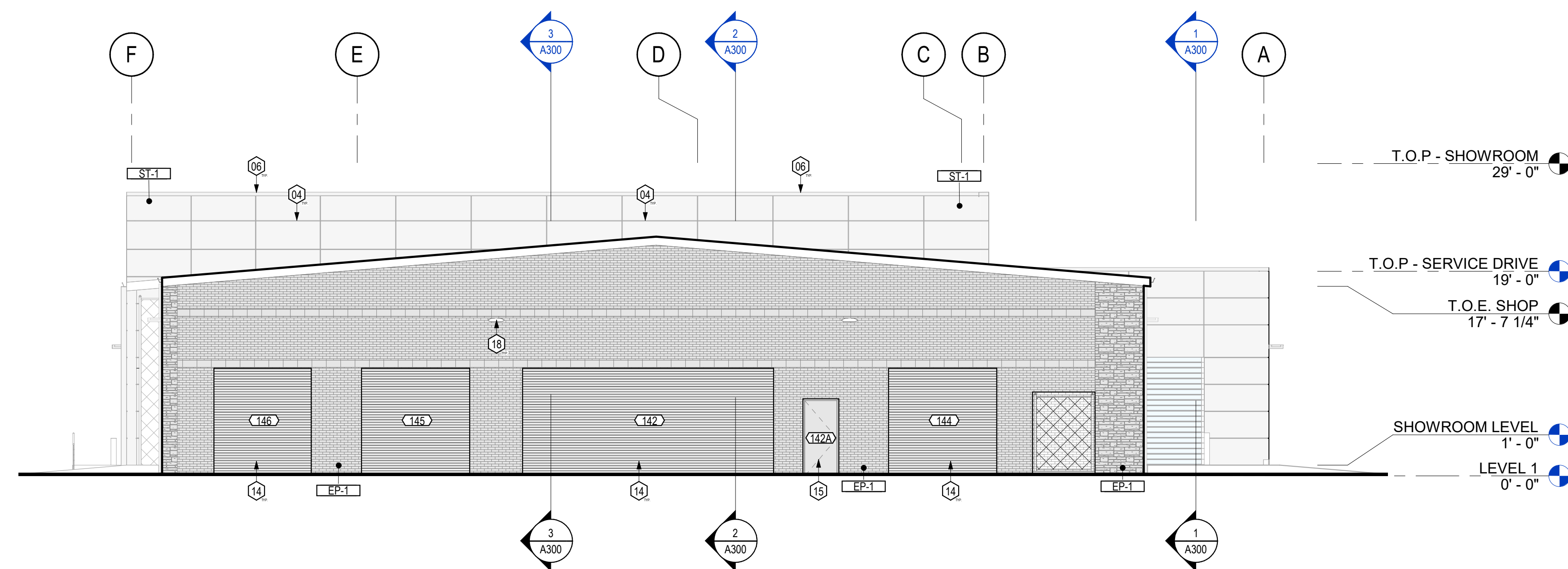
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
07	OVERHEAD DOOR. REF: SCHEDULES
08	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
09	MAN DOOR. REF: SCHEDULES
10	PREFINISHED METAL GUTTER AND DOWNSPOUT. COLOR TO MATCH HOST WALL
11	EQUIPMENT SCREEN. REF: SITE DETAILS
12	EXISTING EXTERIOR WALL TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION
13	EXISTING MECHANICAL LOUVER TO REMAIN
14	EXISTING OVERHEAD DOOR TO REMAIN. PAINT AS SCHEDULED
15	EXISTING DOOR AND FRAME TO REMAIN. PAINT AS SCHEDULED
16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



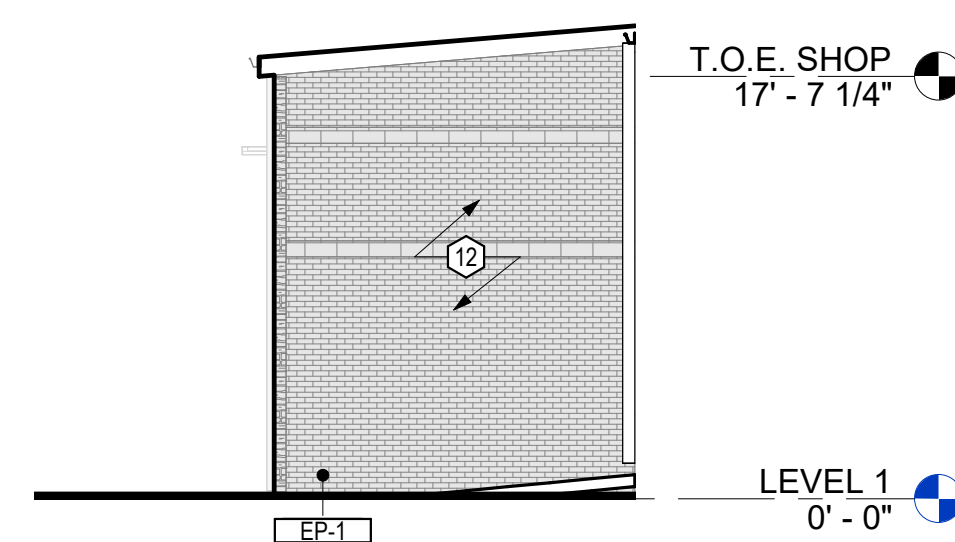
6 EXTERIOR BUILDING ELEVATION @ NVD - SOUTH
1/8" = 1'-0"



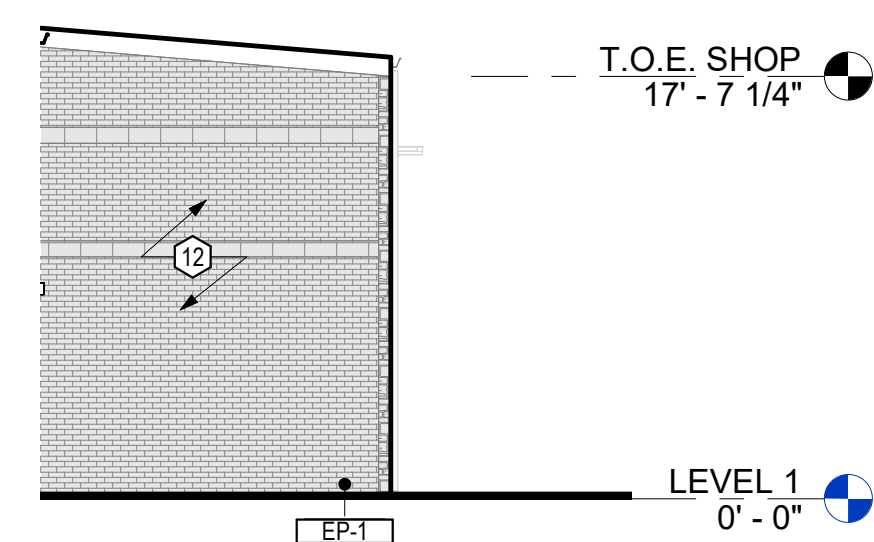
5 EXTERIOR BUILDING ELEVATION @ SERVICE DRIVE - SOUTH
1/8" = 1'-0"



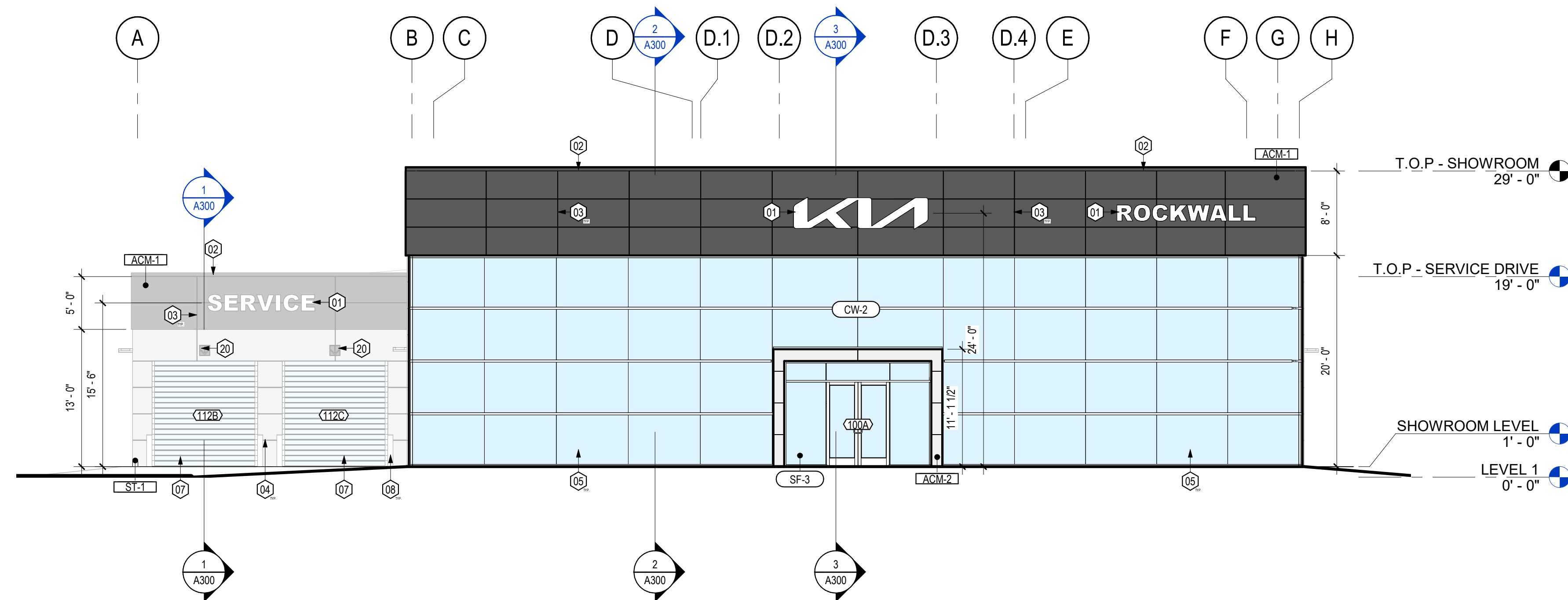
2 EXTERIOR BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



4 EXTERIOR BUILDING ELEVATION @ SERVICE SHOP - NORTH
1/8" = 1'-0"



3 EXTERIOR BUILDING ELEVATION @ SERVICE SHOP - NORTH
1/8" = 1'-0"



1 EXTERIOR BUILDING ELEVATION - NORTH
1/8" = 1'-0"

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713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.766.6076

PROJECT:
SOUTHWEST KIA OF
ROCKWALL

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

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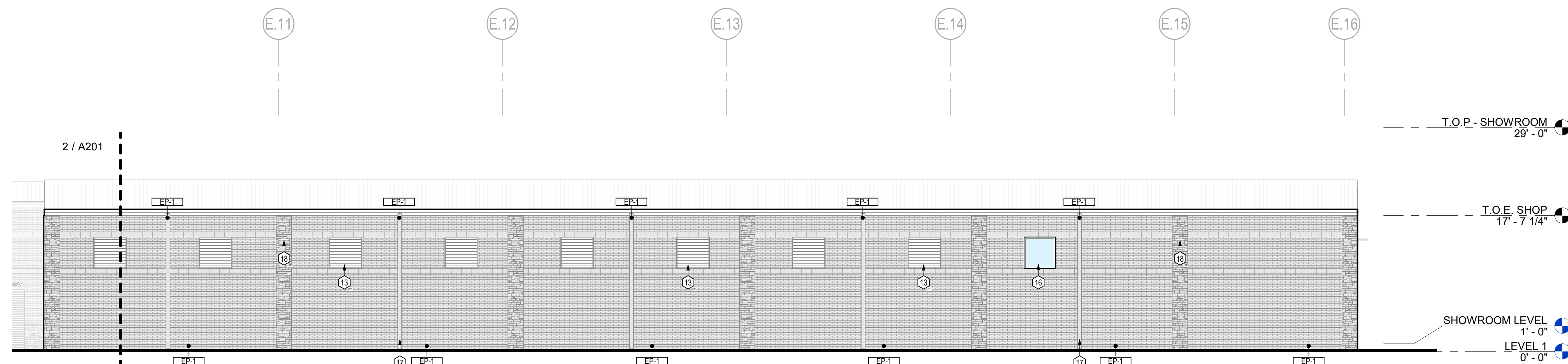
SHEET NAME:

EXTERIOR BUILDING ELEVATIONS

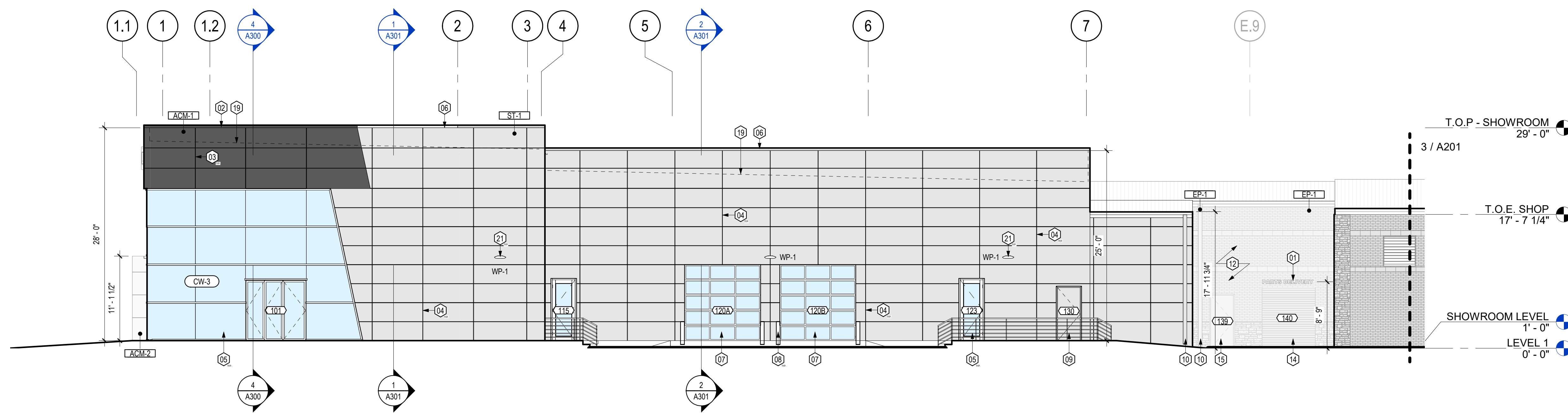
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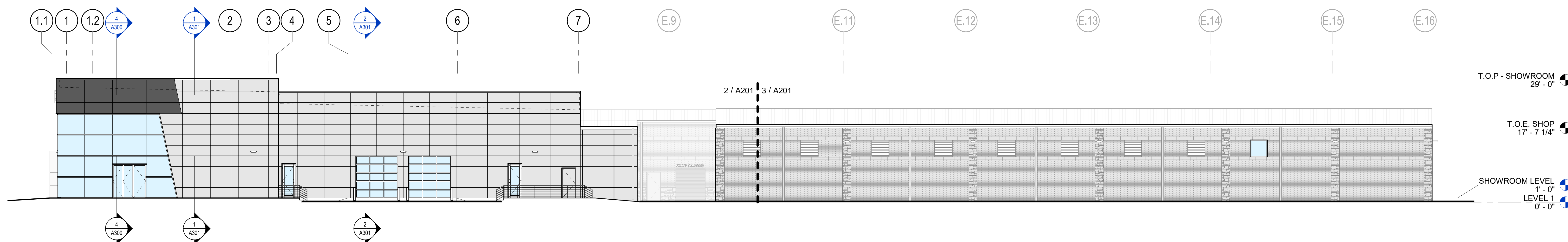
EXTERIOR ELEVATION KEYNOTES	
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04	EIFS REVEAL. REF: WALL DETAILS
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16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



3 EXTERIOR BUILDING ELEVATION - WEST - AREA B
1/8" = 1'-0"



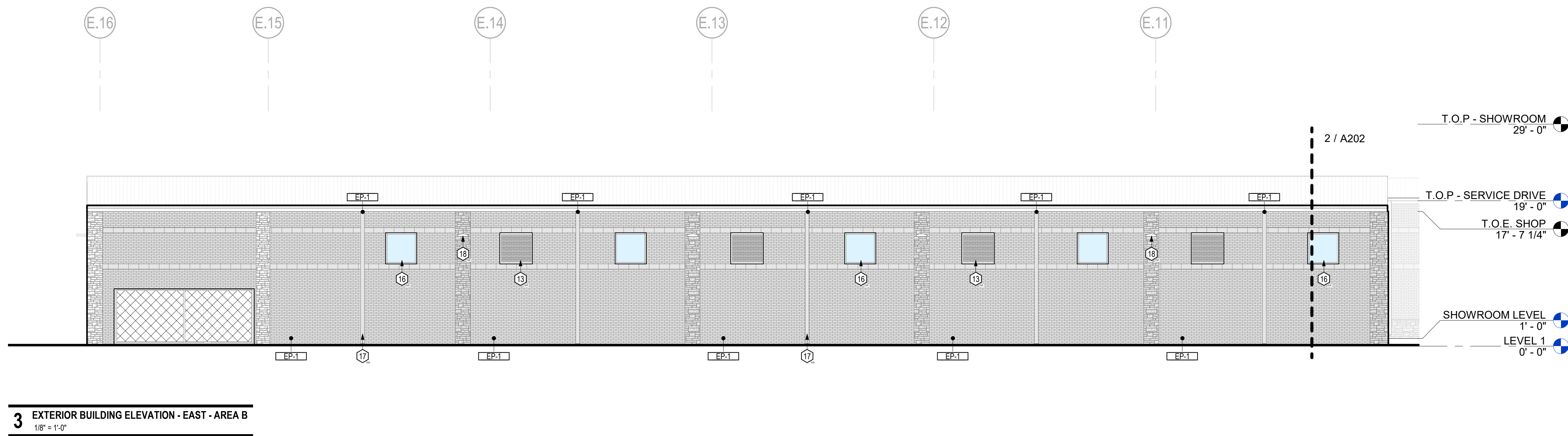
2 EXTERIOR BUILDING ELEVATION - WEST - AREA A
1/8" = 1'-0"



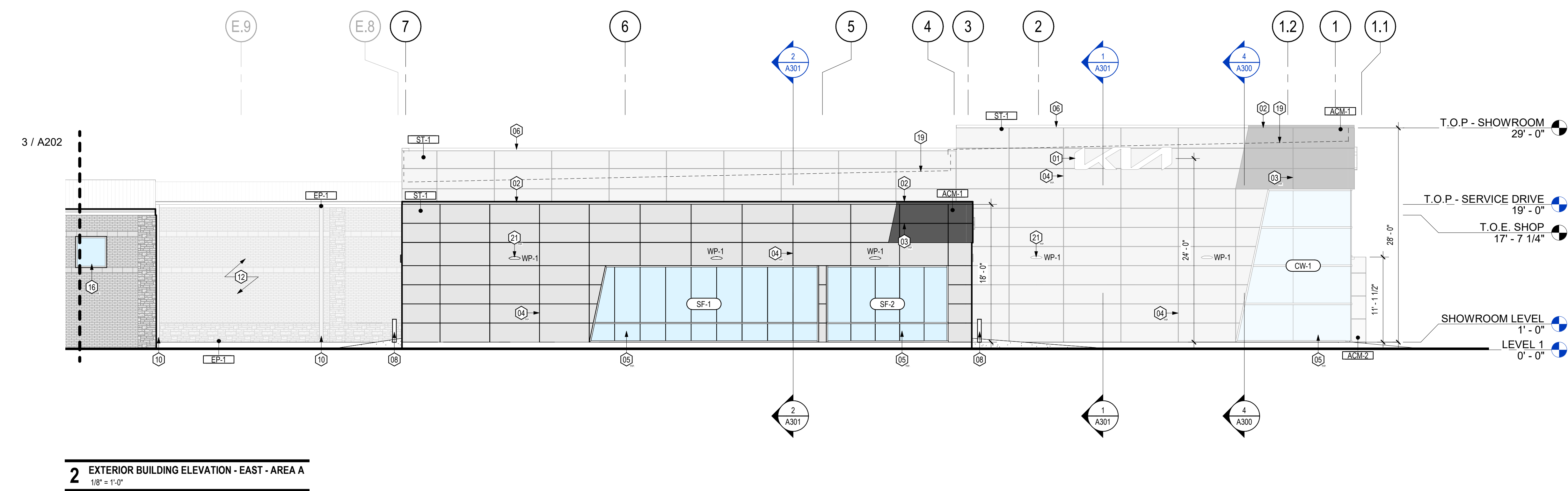
1 EXTERIOR BUILDING ELEVATION - WEST
3/32" = 1'-0"

DATE	DELTA	DESCRIPTION
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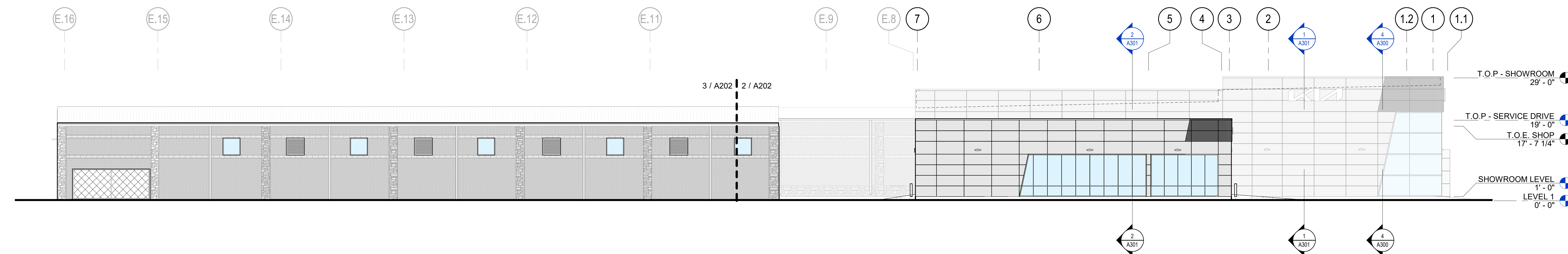
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21	LIGHT FIXTURE. REF: ELECTRICAL
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3 EXTERIOR BUILDING ELEVATION - EAST - AREA B
1/8" = 1'-0"



2 EXTERIOR BUILDING ELEVATION - EAST - AREA A
1/8" = 1'-0"



1 EXTERIOR BUILDING ELEVATION - EAST
3/32" = 1'-0"

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CIVIL-CON CONSULTANTS, LLC
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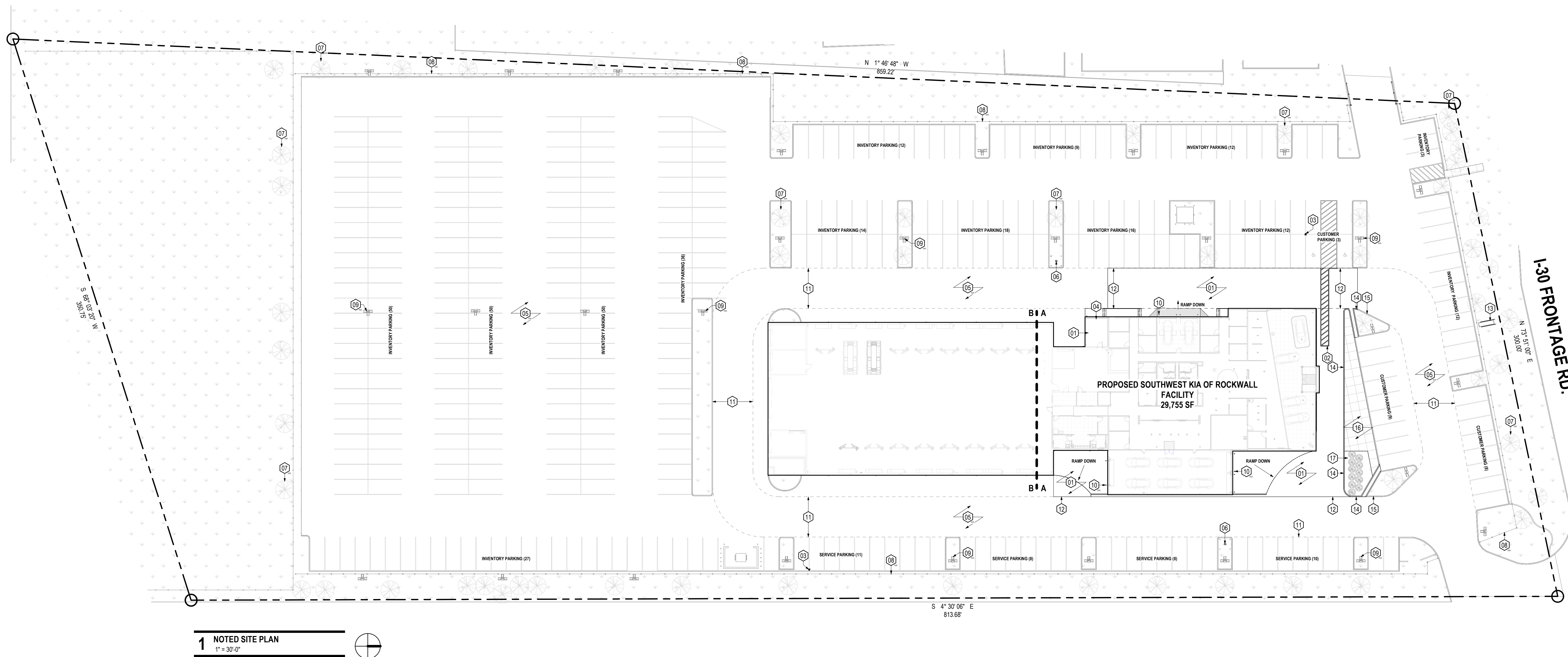
SHEET NAME:

NOTED SITE PLAN

SHEET:

A102

SITE PLAN KEYNOTES	
#	NOTE
01	PAVING. REF: CIVIL
02	4" WHITE PARKING STRIPE. TYP. UNO
03	EV CHARGING STATION BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
04	EQUIPMENT SCREEN. REF: SITE DETAILS
05	EXISTING PAVING TO REMAIN. REF: CIVIL
06	EXISTING FIRE HYDRANT. REF: CIVIL
07	EXISTING TREE TO REMAIN. REF: LANDSCAPE
08	EXISTING PIPE RAIL FENCE. G.C. TO REPAIR AND REPAINT, EP-1
09	EXISTING LIGHT POLE TO REMAIN
10	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
11	EXISTING FIRE LANE
12	FIRE LANE - PAVEMENT MARKINGS, 6" WIDE RED PAINT WITH THE WORDS, "FIRE LANE - TOW AWAY ZONE" IN 4" WHITE LETTERS NO MORE THAN 25' ALTERNATING INTERVALS
13	MONUMENT SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
14	CONCRETE CURB. REF: CIVIL
15	EXISTING PORTION OF CURB TO REMAIN. REF: CIVIL
16	CONCRETE SIDEWALK. REF: SITE DETAILS
17	LANDSCAPING. REF: CIVIL



1 NOTED SITE PLAN
1" = 32' 0"

LEGAL DESCRIPTION

260,988 sq. ft. - 5.9915 AC, Lot 1, Block 1, Rockwall Kia (recorded plat attached)

STATE OF TEXAS
COUNTY OF ROCKWALL

THEREAS SALAHOUN FAMILY, L.P. BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

PROPERTY DESCRIPTION

Being that certain tract of land situated in the John Lockhart Survey, Abstract No. 134, Rockwall County, Texas, being that certain tract of land described in deed to David Zalman (Trustee) as recorded in Volume 4605, Page 60, of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows;

BEGINNING at a found 5/8-inch iron rod on the southeast line of East Bound Service Road of I-30 at the northwest corner of said Zalman tract and being at the northeast corner of that certain tract of land described in deed to T. Devlon Corporation as recorded in Volume 1233, Page 28, said Deed Records;

THENCE North 73 degrees 51 minutes 00 seconds East, a distance of 300.00 feet along the southeast line of said East Bound Service Road of I-30 to a point at the northeast corner of said Zalman tract and being at the northwest corner of that certain tract of land described in deed to Michael L. Peoples, Sr... as recorded in Volume 1192, Page 145, said Deed Records;

THENCE South 04 degrees 30 minutes 06 seconds East, a distance of 813.68 feet along the east line of said Zalman tract to a found iron pipe at the southeast corner of said Zalman tract and being on the north line of that certain tract of land described in deed to Hitt Family Limited Partnership as recorded in Volume 1875, Page 238, of said Deed Records;

THENCE South 68 degrees 03 minutes 20 seconds West, a distance of 350.75 feet to a point at the southwest corner of said Zalman tract and being at the sootiest corner of aforesaid T. Devlon Corporation tract;

THENCE North 01 degree 46 minutes 48 seconds West, a distance of 859.22 feet along the west line of said Zalman tract to the POINT OF BEGINNING and containing 260,988 square feet or 5.992 acres of land.

NOW THEREFORE, KN'OW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the KIA Rockwall subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the KIA Rockwall subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city of secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement; but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city of secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. Owner responsible for maintenance and operation of detention pond.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Owner

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Shahab Salehoun known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

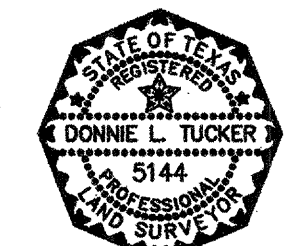
Given upon my hand and seal of office this 21 Day of Feb 2008

Kristi Platt
Notary Public in and for the State of Texas

3-25-2010
My Commission Expires:



LEGEND			
---	PIPE LINE	██████	BRICK
---	GAS LINE	██████	CONCRETE
---	OVERHEAD ELECTRIC LINE	██████	TRAFFIC SIGNAL CONTROL
---	OVERHEAD TELE. LINE	██████	TRAFFIC SIGNAL POLE
---	RAIL SEWER LINE	██████	LIGHT POLE
---	STORM SEWER LINE	██████	UTILITY POLE
---	UNDERGROUND ELECTRIC LINE	██████	ELECTRIC METER
---	UNDERGROUND TELE. LINE	██████	TRANSFORMER
---	WATER LINE	██████	GAS METER
---	CONCRETE	██████	GAS VALVE
---	EDGE OF ASPHALT	██████	GAS LED
---	WOOD FENCE	██████	FIRE HYDRANT
---	WIRE FENCE	██████	WATER METER
---	IRON FENCE	██████	WATER VALVE
---	CHAIRLINK FENCE	██████	IRRIGATION CONTROL VALVE
---	COLUMNS	██████	
---		██████	



Donnie L. Tucker
R.P.L.S. #5144

SURVEYORS CERTIFICATE

I hereby certify that on the 21st day of November, 2006, this survey was made on the ground as per the field notes shown on this survey and is true, correct, and accurate as to the boundaries and area of the subject property and the size, location, and type of buildings and improvements thereon, if any, and as to the other matters shown hereon, and correctly shows the location of all visible easements and rights-of-way and of all rights-of-way, easements, and any other matters of record, or of which I have knowledge of have been advised, whether or not of record, affecting the subject property, and the location of all curb cuts and driveways, if any.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, (Name) Donnie L. Tucker, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

(Name) Donnie L. Tucker, Registered Public Surveyor No. 5144.

RECOMMENDED FOR FINAL APPROVAL

CW Bricker
Planning and Zoning Commission

3/25/08
Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 15th day of February, 2008.

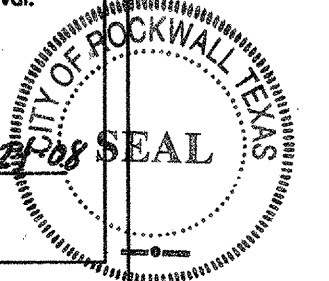
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this 24th day of March, 2008.

William R. Cecil
Mayor, City of Rockwall

Kristy Ashberry
City Secretary

Chuck Add
City Engineer



OWNER: SALAHOUN FAMILY, L.P.
39638 LBJ FREEWAY
DALLAS, TX. 75232
PHONE: 972-283-9797
FAX: 972-283-5862

FINAL PLAT -- PAGE 2 OF 2
260,988 SQ. FT. -- 5.9915 AC.
LOT 1, BLOCK 1, ROCKWALL KIA
1790 EAST I-30
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

DRAWN BY:	BT
CHECKED BY:	BT
SCALE:	N.T.S.
DATE:	01/26/08
JOB NO.:	08-1500
GP NO.:	
MAPBOOK NO.:	

G-280

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/22/2024

PROJECT NUMBER: Z2024-010
PROJECT NAME: SUP for Expansion of Existing Automotive Dealership
SITE ADDRESS/LOCATIONS: 1790 E INTERSTATE 30

CASE CAPTION: Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a New Motor Vehicle Dealership for Cars and Light Trucks to allow the expansion of an existing New Motor Vehicle Dealership on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	03/22/2024	Approved w/ Comments

03/22/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for a New Motor Vehicle Dealership for Cars and Light Trucks to allow the expansion of an existing New Motor Vehicle Dealership on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2024-010) in the lower right-hand corner of all pages on future submittals.

I.4 According to Article 13, Definitions, of the Unified Development Code (UDC), a New and/or Used Vehicle Dealership-for Cars and Light Trucks is defined as, "(t)he indoor storage of operable automobiles in a fully enclosed building for the purpose of holding such vehicles for sale, lease, distribution, or storage."

M.5 According to Subsection 02.03 (H)(1) of Article 04, of the UDC, the following conditional land uses apply the proposed use, New and/or Used Vehicle Dealership-for Cars and Light Trucks:

- (a) All outside display of vehicles must be on an approved concrete, or enhanced concrete surface. IN CONFORMANCE
- (b) All vehicle display areas must meet the landscape standards for parking areas. NOT IN CONFORMANCE

M.6 Please clarify based on the definitions below, if the existing service building is a Minor Auto Repair Garage or a Major Auto Repair Garage:

Minor Auto Repair Garage: Minor repair or replacement of parts, tires, tubes, and batteries; diagnostic services; minor motor services such as grease, oil spark plugs, and filter changing; tire alignment; tune-ups, emergency road service; replacement of starters, alternators, hoses, brake parts, mufflers; performing state inspections and making minor repairs necessary to pass said inspection; servicing of airconditioning systems, and similar minor services for motor vehicles except heavy land vehicles, but not including any operation named under Automobile repair, major, or any other similar use. All work must be performed inside an enclosed building. Vehicles shall not be stored on site for longer than 14 days. (Subsection 02.02(H)(1), Land Use Definitions, of Article 13, UDC).

Major Auto Repair Garage: Major repair, rebuilding or reconditioning of engines, transmissions, or other major components for motor vehicles; collision services including body, frame, or fender straightening or repair; customizing; overall painting or paint shop; automotive glass and upholstery; those uses listed under Automobile repair, minor, and other similar uses. All repair work shall be performed inside an enclosed building. Vehicles shall not be stored on site no longer than 90-days. (Subsection 02.02(H)(2), Land Use Definitions, of Article 13, UDC).

M.7 Site Plan.

- 1) Please provide the square footage for each land use (i.e. Office, Sales Floor, Storage, Bathrooms, etc...) within the building. Staff needs to determine if the customer parking is sufficient. (Table 5: Parking Requirement Schedule, Article 06, of the UDC)
- 2) Please clarify if there is a digital display on the electric vehicle charging stations and if so, that it will not show off-site advertisements.
- 3) Remove signage from the site plan, this will be covered through a permit at a later date.
- 4) Please clarify if there will be any changes to the parking areas and/or fire lanes.

M.8 The following are informational comments that will be applicable at the time of site plan.

- 1) Any light fixtures that are replaced or moved will require a photometric plan to be provided at the time of site plan.
- 2) At the time of site plan the landscaping will need to be brought into conformance with current code. The main areas to review would be the landscape buffer (two (2) canopy and four (4) accent trees per 100 linear feet) along the frontage road, the parking areas (every parking space must be within 80-feet of a canopy tree), and the rear property line (a row or at least four (4) canopy trees should be at the rear of the property). An Exception to the parking landscaping may be worth while give that the rear parking area is not going to be touched.
- 3) If any trees are to be removed a treescape plan must be provided at the time of site plan.
- 4) Any new roof mounted or pad mounted utility equipment will require subsequent screening.
- 5) Dumpster enclosures shall have self-latching gates.
- 6) Chain link fencing is prohibited within a Light Industrial (LI) District. If there is currently chain link on the property it may remain, but new chain link will not be permitted.

I.9 There appear to be multiple variances to the General Overlay District Standards (i.e. building materials, articulation, four-sided architecture) with regard to the building elevations. Given this, staff will not include the building elevations with the Draft Ordinance. The building elevations will be reviewed and approved at the time of site plan.

M.10 Please review the attached draft ordinance prior to the March 26, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by April 2, 2024.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 2, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 9, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 26, 2024.

I.12 The projected City Council meeting dates for this case will be April 15, 2024 (1st Reading) and May 6, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/21/2024	Approved w/ Comments

03/21/2024: 1. Civil Engineering plans will need to be submitted to the City for review and approval. A building permit will also need to be applied for.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/18/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/18/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/14/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/18/2024	Approved

No Comments

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
448 W. 19TH ST.
HOUSTON, TEXAS 77008
713.992.4148

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.766.6076

PROJECT:
SOUTHWEST KIA OF
ROCKWALL

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

PRELIMINARY
NOT TO BE USED FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION
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PROJECT NUMBER: LA2204

ISSUE DATE: 02.20.2024

SHEET NAME:

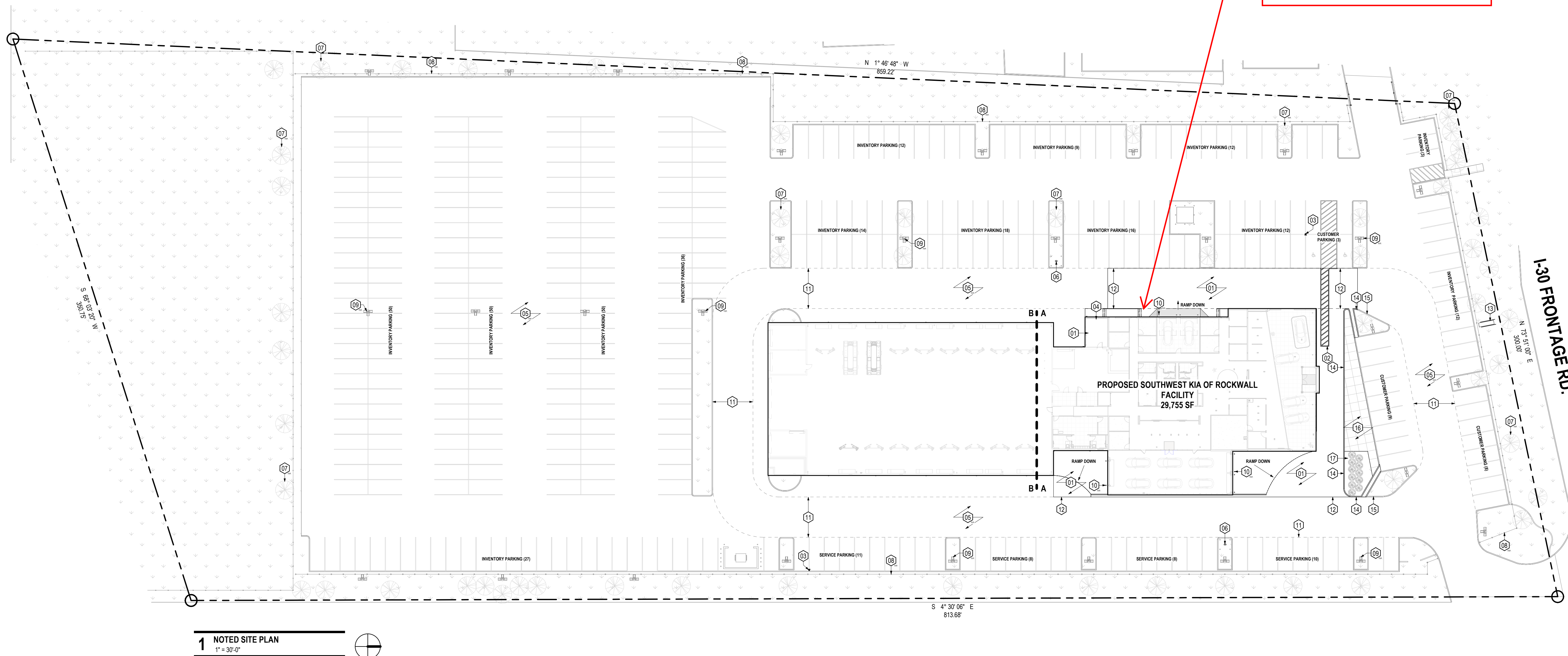
NOTED SITE PLAN

SHEET:

A102

SITE PLAN KEYNOTES	
#	NOTE
01	PAVING. REF: CIVIL
02	4" WHITE PARKING STRIPE. TYP. UNO
03	EV CHARGING STATION BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
04	EQUIPMENT SCREEN. REF: SITE DETAILS
05	EXISTING PAVING TO REMAIN. REF: CIVIL
06	EXISTING FIRE HYDRANT. REF: CIVIL
07	EXISTING TREE TO REMAIN. REF: LANDSCAPE
08	EXISTING PIPE RAIL FENCE. G.C. TO REPAIR AND REPAINT, EP-1
09	EXISTING LIGHT POLE TO REMAIN
10	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
11	EXISTING FIRE LANE
12	FIRE LANE - PAVEMENT MARKINGS. 6" WIDE RED PAINT WITH THE WORDS, "FIRE LANE - TOW AWAY ZONE" IN 4" WHITE LETTERS NO MORE THAN 25' ALTERNATING INTERVALS
13	MONUMENT SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
14	CONCRETE CURB. REF: CIVIL
15	EXISTING PORTION OF CURB TO REMAIN. REF: CIVIL
16	CONCRETE SIDEWALK. REF: SITE DETAILS
17	LANDSCAPING. REF: CIVIL

Civil Engineering plans will need to be submitted to the City for review and approval. A building permit will also need to be applied for.



1 NOTED SITE PLAN
1" = 32' 0"



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1790 I-30 Frontage Rd

SUBDIVISION Rockwall Kia

LOT 1 BLOCK 1

GENERAL LOCATION South side of East I-30, 1785'+- from John King Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Existing Southwest KIA Car Dealership

PROPOSED ZONING SUP (New & Used Motor Vehicle Dealership)

PROPOSED USE Existing Southwest KIA Car Dealership to remain

ACREAGE 5.9915

LOTS [CURRENT] 1

1

LOTS [PROPOSED] 1

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Zohreh Malek

APPLICANT Lithia c/o Golden Property Development, LLC

CONTACT PERSON

CONTACT PERSON Mark Fernandez

ADDRESS 3845 Oak Lawn Ave

ADDRESS 20025 E Country Hollow Dr

CITY, STATE & ZIP Dallas TX 75219

CITY, STATE & ZIP Walnut, CA 91789

PHONE 214-727-7422

PHONE 909-573-2765

E-MAIL zohreh7@gmail.com

E-MAIL mark@goldenpropertydevelopment.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zohreh Malek [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 289.42 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 1st DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 1st DAY OF March, 2024.

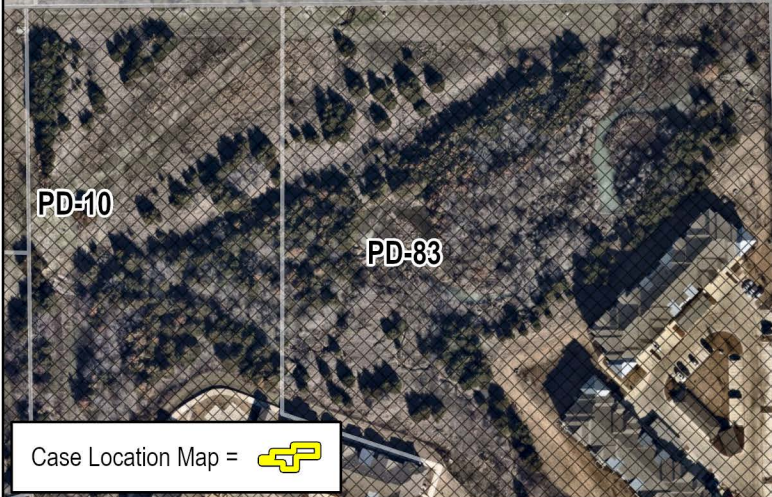
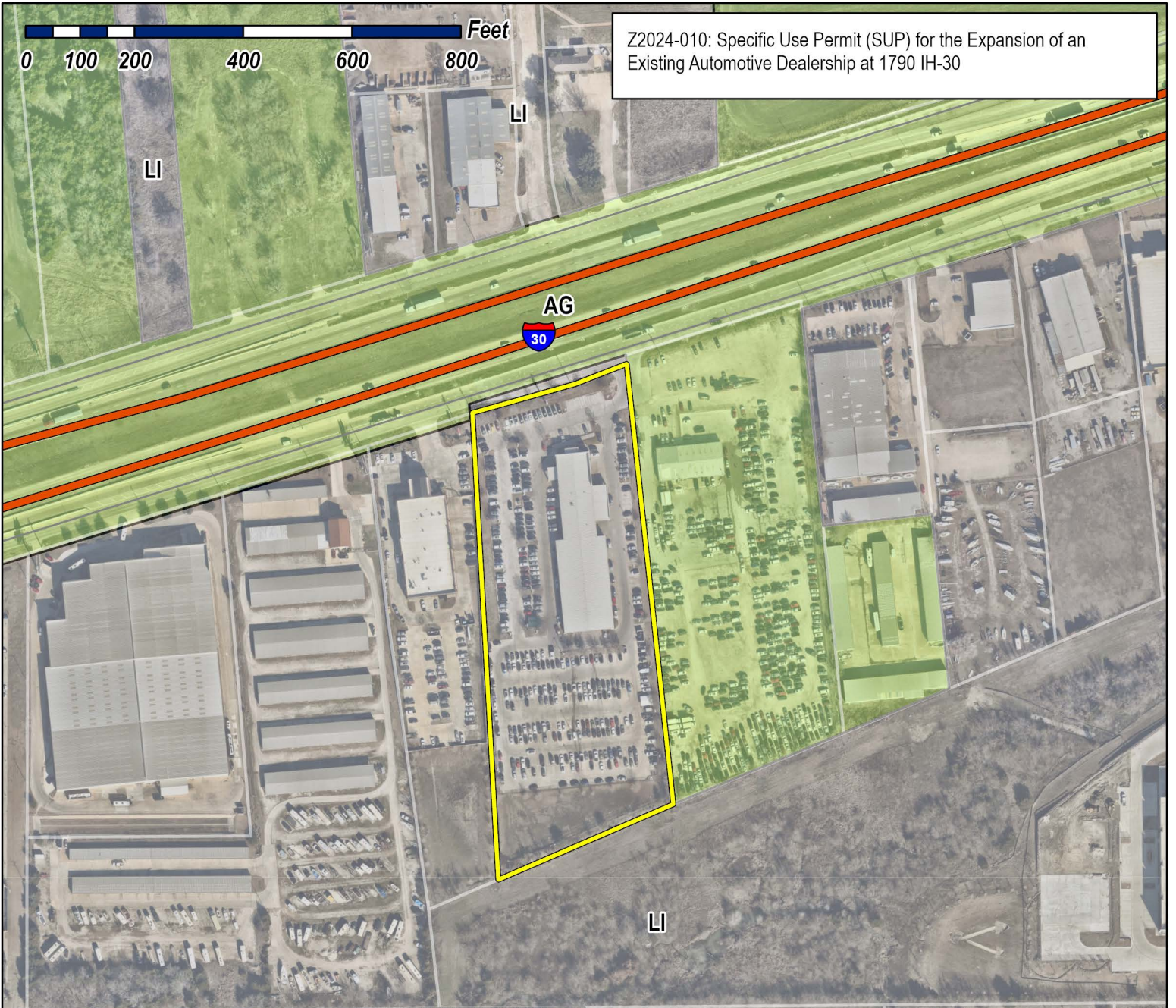
OWNER'S SIGNATURE Zohreh Malek

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS C. Hughes



0 100 200 400 600 800 Feet

Z2024-010: Specific Use Permit (SUP) for the Expansion of an Existing Automotive Dealership at 1790 IH-30



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

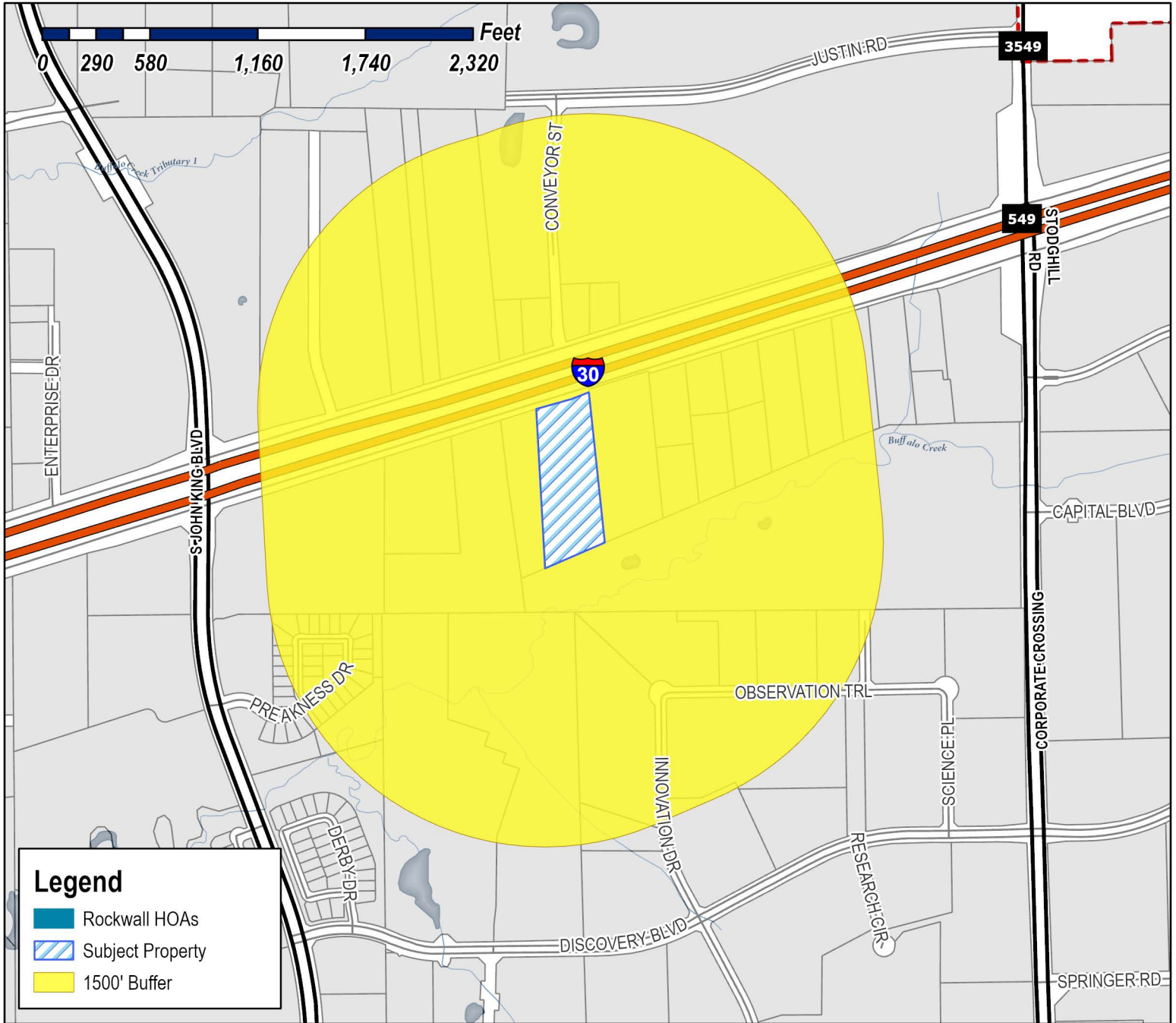




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Case Number: Z2024-010
Case Name: SUP for the Expansion of an Existing Automotive Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1790 IH-30

Date Saved: 3/11/2024
 For Questions on this Case Call (972) 771-7745

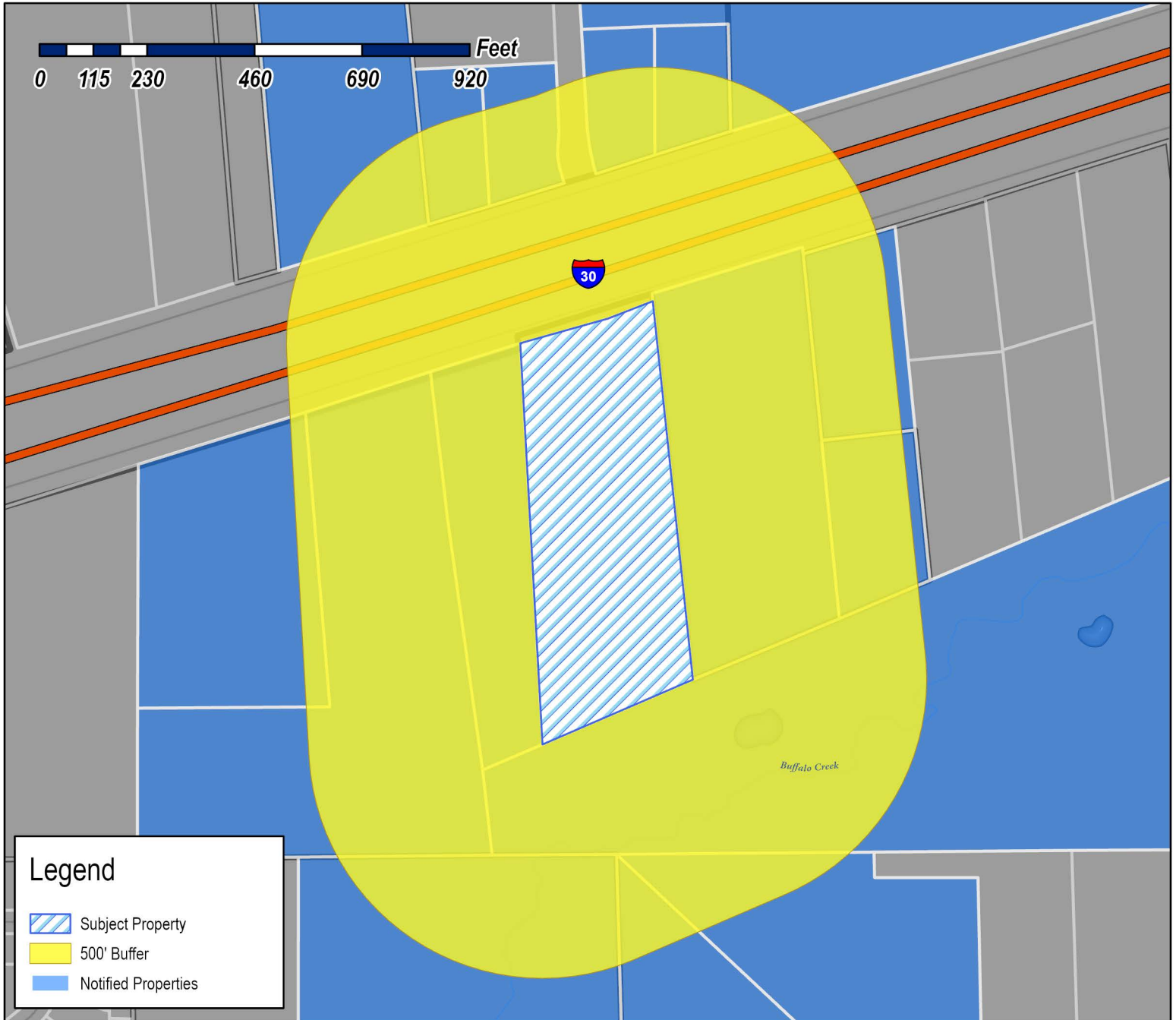




City of Rockwall

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Case Number: Z2024-010
Case Name: SUP for the Expansion of an Existing Automotive Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1790 IH-30

Date Saved: 3/11/2024

For Questions on this Case Call: (972) 771-7746



LINE 5 HOLDINGS LP
1201 N RIVERFRONT BLVD SUITE 100
DALLAS, TX 75207

DEN-MAR ENTERPRISES INC
124 MONT BLANC DR
HEATH, TX 75032

RAFIZADEH M & M FAMILY LTD
C/O REPUBLIC MOTORSPORTS INC
12707 SOUTHWEST FREEWAY
STAFFORD, TX 77477

RESIDENT
1515 CORPORATE CROSSING
ROCKWALL, TX 75087

PRITCHARD DONNA CULLINS &
KIMBERLY CULLINS COLLICCHIO TRUSTEES
1610 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1635 INNOVATION DR
ROCKWALL, TX 75087

RESIDENT
1750 E I30
ROCKWALL, TX 75087

RESIDENT
1760 E I30
ROCKWALL, TX 75087

RESIDENT
1785 E I30
ROCKWALL, TX 75087

RESIDENT
1790 E I30
ROCKWALL, TX 75087

RESIDENT
1795 I30
ROCKWALL, TX 75087

RESIDENT
1805 E I30
ROCKWALL, TX 75087

RESIDENT
1810 S I30
ROCKWALL, TX 75087

RESIDENT
1820 E I30
ROCKWALL, TX 75087

SELF SCOTT & JANET
1830 E INTERSTATE 30 STE 100
ROCKWALL, TX 75087

RESIDENT
2350 DISCOVERY BLVD
ROCKWALL, TX 75087

RESIDENT
2610 OBSERVATION TRL
ROCKWALL, TX 75087

JBC LAND & CATTLE COMPANY LLC
2905 DUBLIN
PARKER, TX 75002

SALEHOUN FAMILY LIMITED PARTNERSHIP
39650 LYNDON B JOHNSON FWY
DALLAS, TX 75237

WESTCORE BRAVO ROCKWALL LLC
4350 LA JOLLA VILLAGE DR STE 900
SAN DIEGO, CA 92122

ROCKWALL STORAGE SOLUTIONS LLC
447 STEVENS RD
ROCKWALL, TX 75032

MIDDLE BROOKS HOLDINGS LLC
513 SAINT MARY ST
ROCKWALL, TX 75087

SWBC RW2, LP
5949 SHERRY LN SUITE 750
DALLAS, TX 75225

ROCKWALL 549/I30 PARTNERS LP
8750 N CENTRAL EXPWY SUITE 1735
DALLAS, TX 75231

CONVEYOR I30 PARTNERS LP
8750 N CENTRAL EXPY SUITE 1735
DALLAS, TX 75231

AMBATIELOS EVANGELOS & VASILIKI
JAMES E ZAFERIS & JOANNA ZAFERIS
P. O. BOX 86404
LOS ANGELES, CA 90086

ROCKWALL AA RE LLC
PO BOX 775
ROYSE CITY, TX 75189

THACKER DENNIS ALAN TESTAMENTARY TRUST
AND
LINDA THACKER LAHOOD AND JOSHUA ALAN
THACKER
PO BOX 8693
GREENVILLE, TX 75404

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-010: SUP for the Expansion of an Existing Automotive Dealership

Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a New Motor Vehicle Dealership for Cars and Light Trucks to allow the expansion of an existing New Motor Vehicle Dealership on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-010: SUP for the Expansion of an Existing Automotive Dealership

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



March 4, 2024

City of Rockwall
Planning & Zoning Department
Attn: Henry Lee
385 S. Goliad Street
Rockwall, TX 75087

Re: Proposed Southwest Kia Car Dealership Remodel and Expansion
Special Use Permit (SUP) Request
Letter of Explanation
1790 I-30 Frontage Rd
Rockwall, TX 75087

Mr. Lee:

Please use this Letter of Explanation as a formal request to process a Special Use Permit (SUP) for a Proposed Southwest Kia Car Dealership Remodel and Expansion. Lithia Motors, Inc., owners of the existing and operational Southwest Kia Dealership located at 1790 I-30 Frontage Rd, are filing for a SUP to permit the car dealership use and expansion as it is currently a legal non-conforming use.

Introduction:

Southwest Kia of Rockwall embarks on a transformative project aimed at enhancing its facility to better serve customers and align with Kia's latest brand image. The project includes the demolition of the existing showroom and service drive, followed by the construction of a new showroom and service drive facility designed to mitigate flooding risks and improve operational efficiency. Additionally, the project includes repainting the existing building exterior and implementing new interior and exterior finishes to reflect Kia's updated brand aesthetics.

Key Items:

- Demolition of Existing Showroom and Service Drive:
 - The project begins with the demolition of the current showroom and service drive to pave the way for the construction of a modernized facility.



- Construction of New Showroom and Service Drive:
 - The new showroom and service drive facility will be elevated to prevent flooding issues resulting from existing grades, ensuring operational continuity even during adverse weather conditions.
 - Careful consideration will be given to architectural design and structural integrity to meet both aesthetic and functional requirements.
 - Sales functions and operations will continue to operate out of temporary trailers.
 - When completed the facility would have increased in size by approximately 2,050 sf.

- Limited Paving Scope for Storm Water Drainage:
 - The paving scope will be optimized to efficiently surface drain stormwater, reducing the risk of flooding and water damage on the premises.
 - Drainage systems will be strategically integrated to manage stormwater runoff effectively.
 - All existing fire lanes will remain in their existing configuration.

- Repainting Existing Building Exterior:
 - The existing building exterior will undergo repainting to rejuvenate its appearance and align it with Kia's latest brand image.
 - High-quality paint materials resistant to weathering and fading will be selected to ensure long-term visual appeal.

- New Interior and Exterior Finishes:
 - All interior and exterior finishes will be replaced to reflect Kia's updated brand aesthetics, creating a cohesive and inviting atmosphere for customers and staff.
 - Finishes will prioritize durability, ease of maintenance, and visual appeal to uphold the brand's standards and enhance customer experience.



Conclusion:

The Southwest Kia of Rockwall renovation project represents a significant investment in modernizing and improving the dealership facility. Through the demolition of the existing showroom and service drive, construction of a new elevated facility, optimization of stormwater drainage, repainting of the building exterior, and implementation of new interior and exterior finishes, the dealership aims to enhance functionality, aesthetics, and brand alignment. This endeavor underscores Southwest Kia's commitment to providing exceptional service and maintaining a strong brand presence in the City of Rockwall's automotive market.

Sincerely,

Mark Fernandez
Lithia Motors, Inc. c/o Golden Property Development, LLC
909-573-2765
mark@goldenpropertydevelopment.com

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
448 W. 19TH ST.
HOUSTON, TEXAS 77008
713.992.4148

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.786.6076

PROJECT:
SOUTHWEST KIA OF
ROCKWALL

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

PRELIMINARY
NOT TO BE USED FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION
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PROJECT NUMBER: LA2204

ISSUE DATE: 02.20.2024

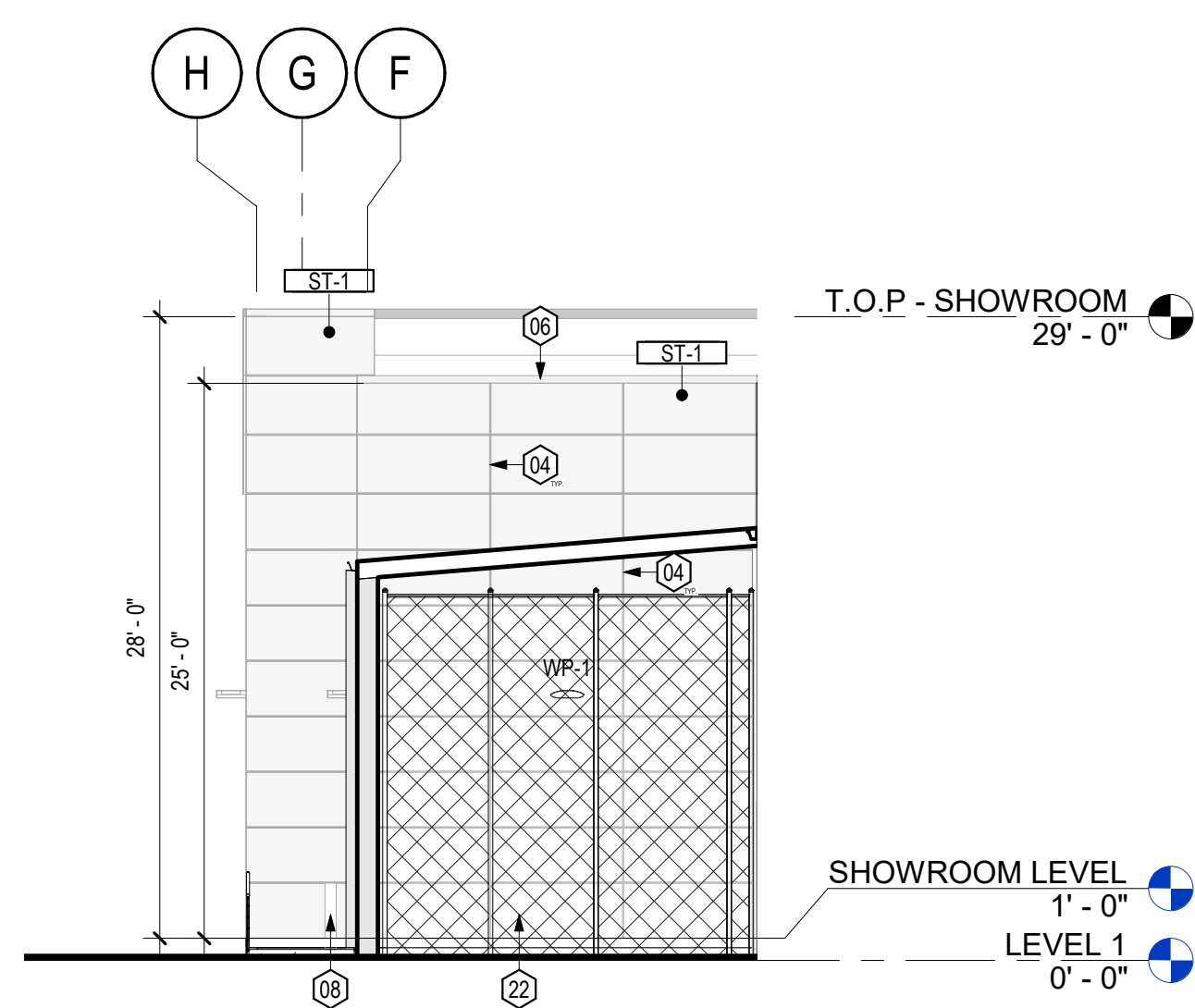
SHEET NAME:

**EXTERIOR BUILDING
ELEVATIONS**

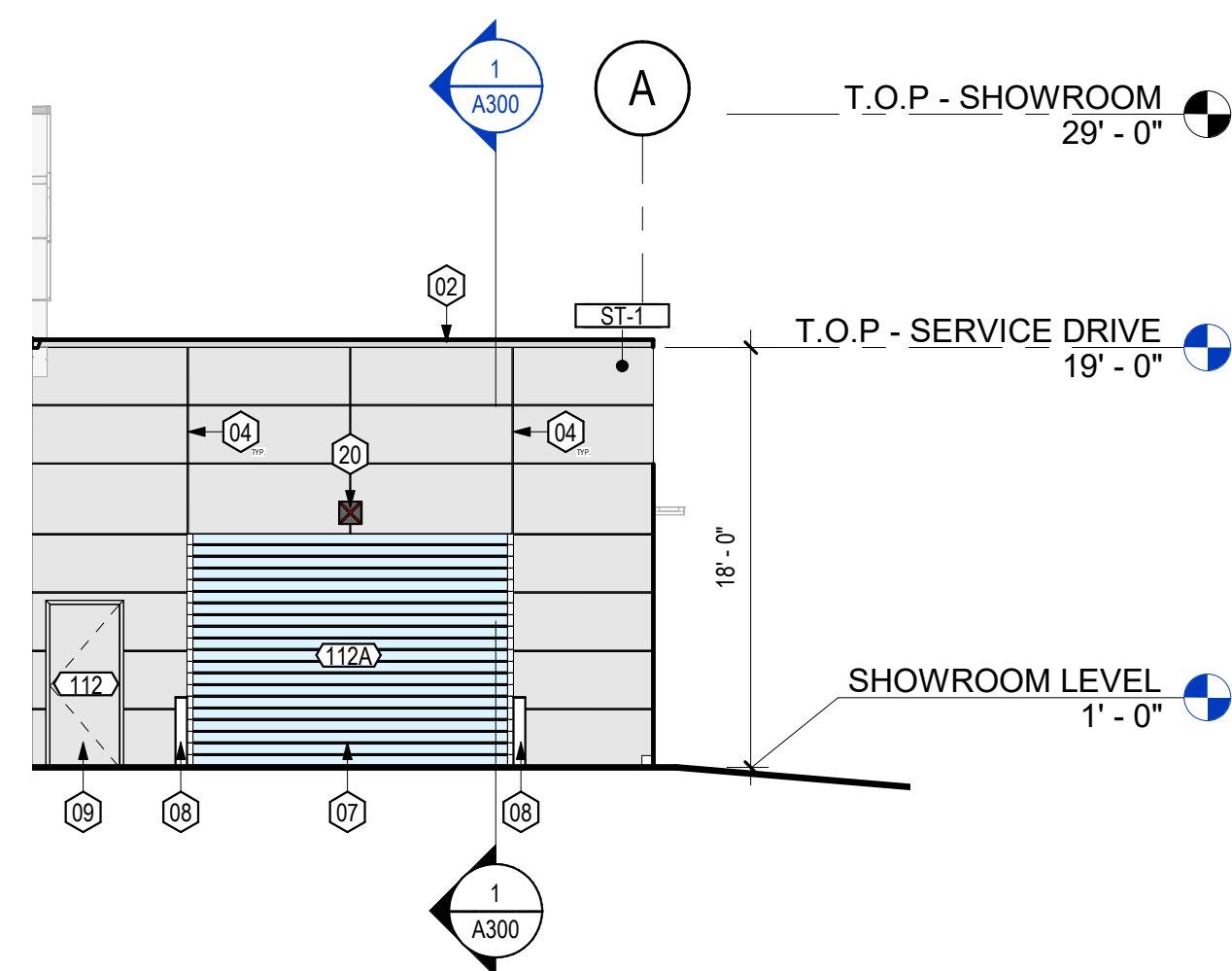
SHEET:

A200

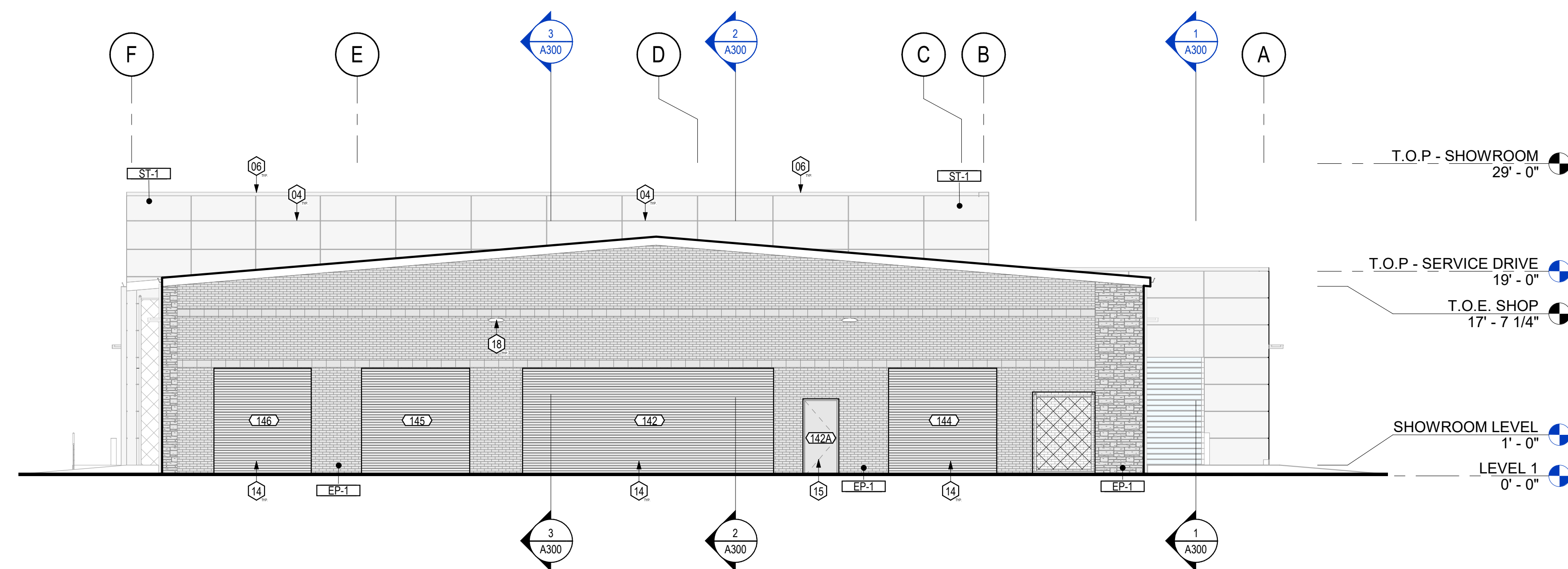
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
07	OVERHEAD DOOR. REF: SCHEDULES
08	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
09	MAN DOOR. REF: SCHEDULES
10	PREFINISHED METAL GUTTER AND DOWNSPOUT. COLOR TO MATCH HOST WALL
11	EQUIPMENT SCREEN. REF: SITE DETAILS
12	EXISTING EXTERIOR WALL TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION
13	EXISTING MECHANICAL LOUVER TO REMAIN
14	EXISTING OVERHEAD DOOR TO REMAIN. PAINT AS SCHEDULED
15	EXISTING DOOR AND FRAME TO REMAIN. PAINT AS SCHEDULED
16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



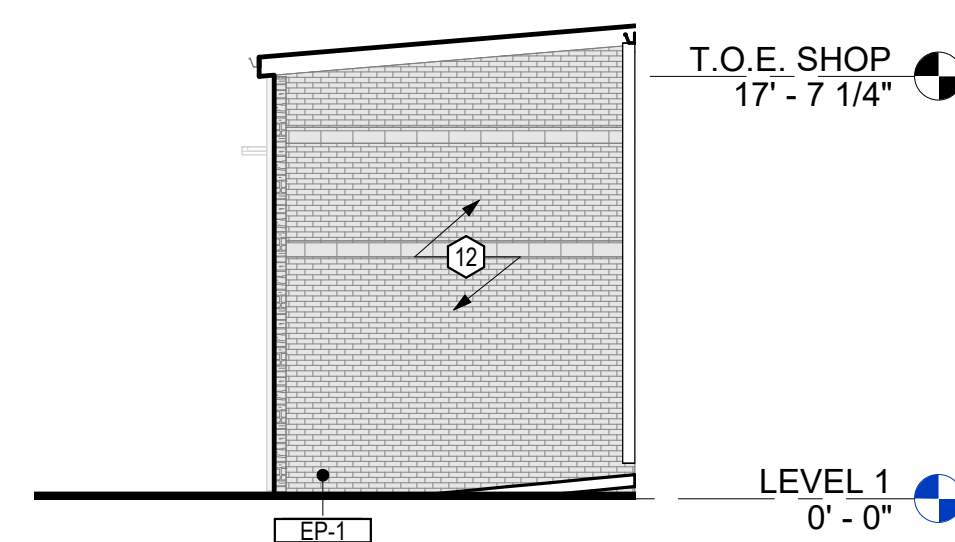
6 EXTERIOR BUILDING ELEVATION @ NVD - SOUTH
1/8" = 1'-0"



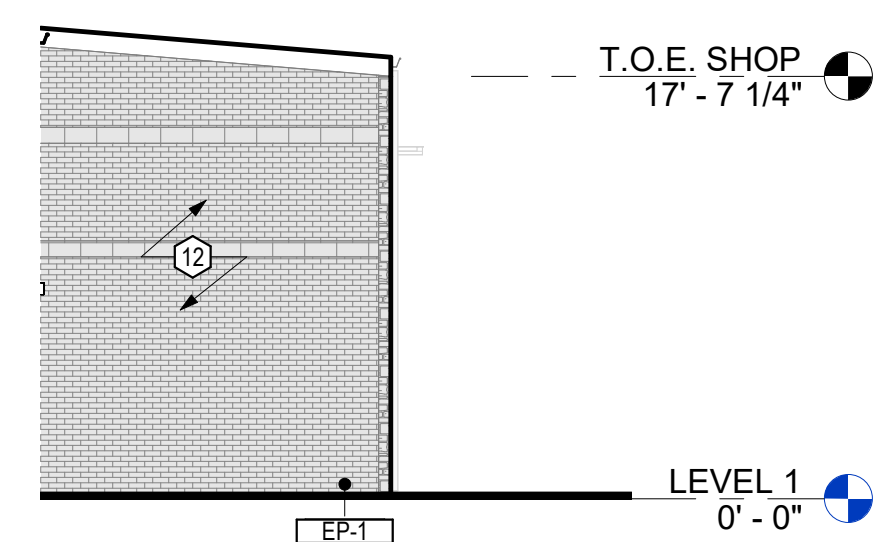
5 EXTERIOR BUILDING ELEVATION @ SERVICE DRIVE - SOUTH
1/8" = 1'-0"



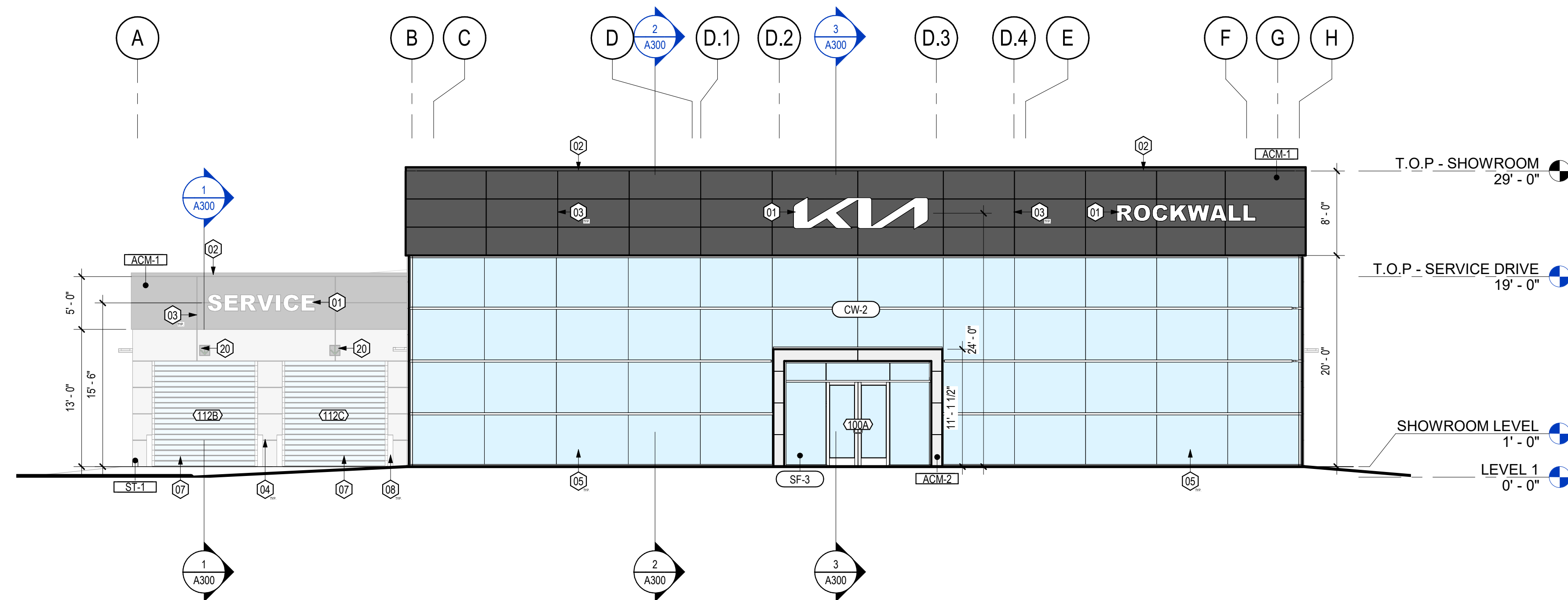
2 EXTERIOR BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



4 EXTERIOR BUILDING ELEVATION @ SERVICE SHOP - NORTH
1/8" = 1'-0"



3 EXTERIOR BUILDING ELEVATION @ SERVICE SHOP - NORTH
1/8" = 1'-0"



1 EXTERIOR BUILDING ELEVATION - NORTH
1/8" = 1'-0"

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SOUTHWEST KIA OF
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SEAL/SIGNATURE:

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PROJECT NUMBER: LA2204

ISSUE DATE: 02.20.2024

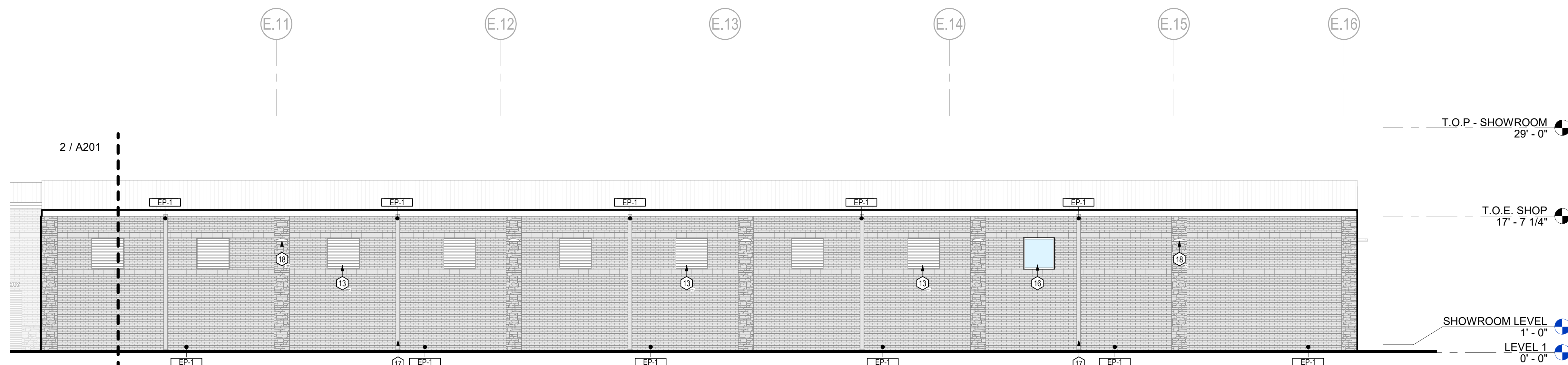
SHEET NAME:

EXTERIOR BUILDING ELEVATIONS

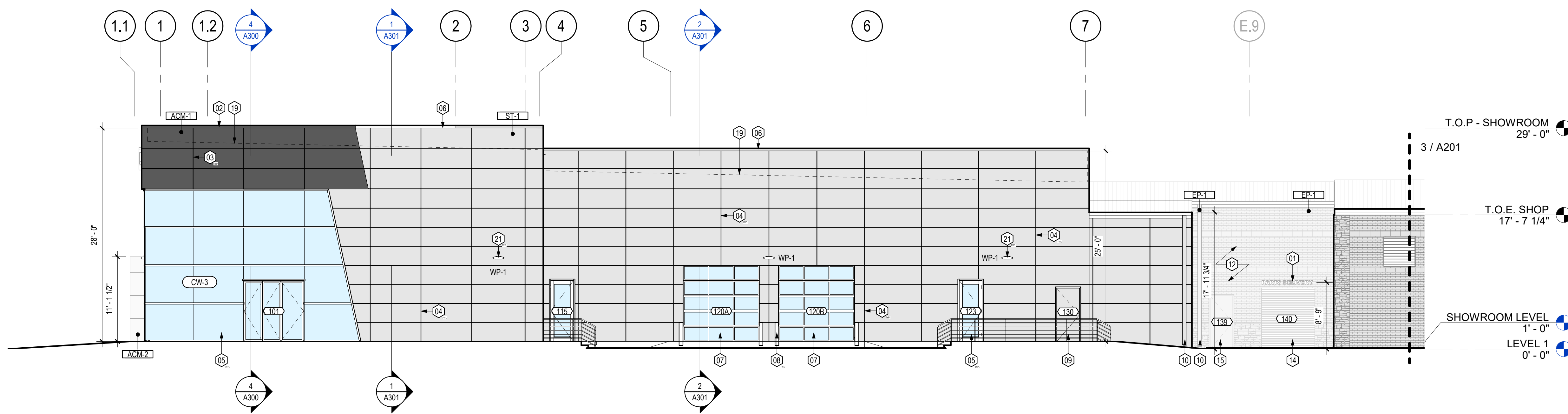
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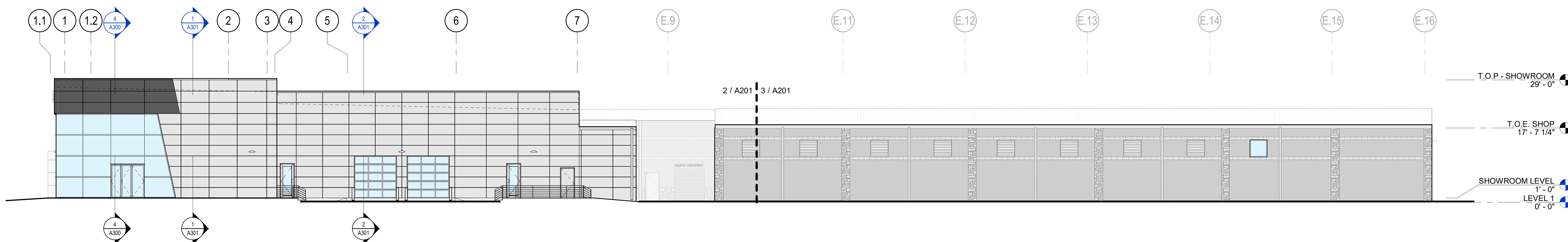
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
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09	MAN DOOR. REF: SCHEDULES
10	PREFINISHED METAL GUTTER AND DOWNSPOUT. COLOR TO MATCH HOST WALL
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16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



3 EXTERIOR BUILDING ELEVATION - WEST - AREA B
1/8" = 1'-0"



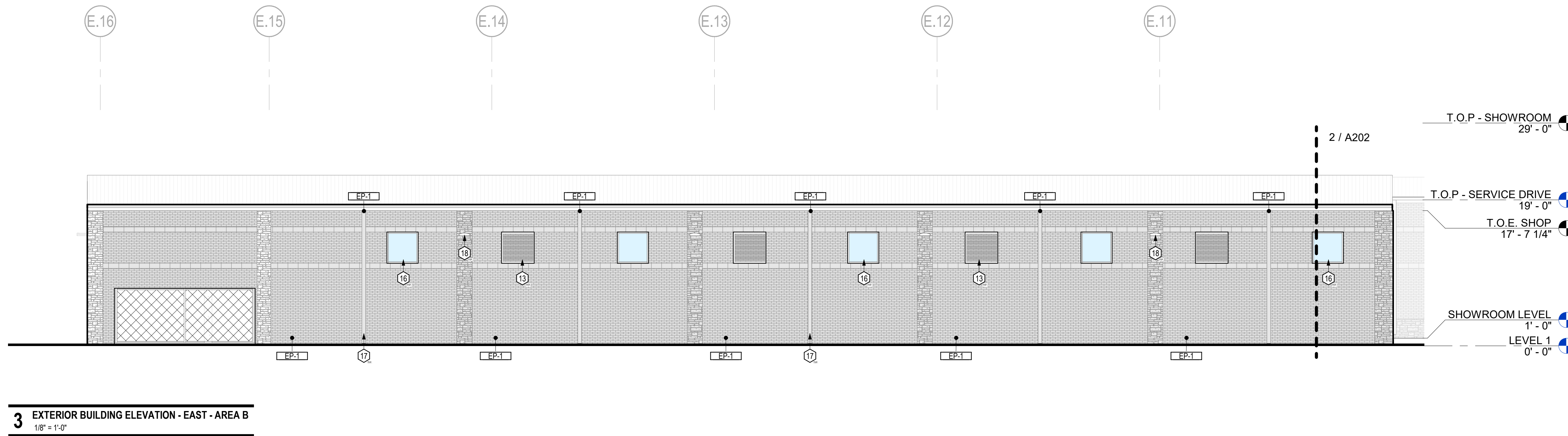
2 EXTERIOR BUILDING ELEVATION - WEST - AREA A
1/8" = 1'-0"



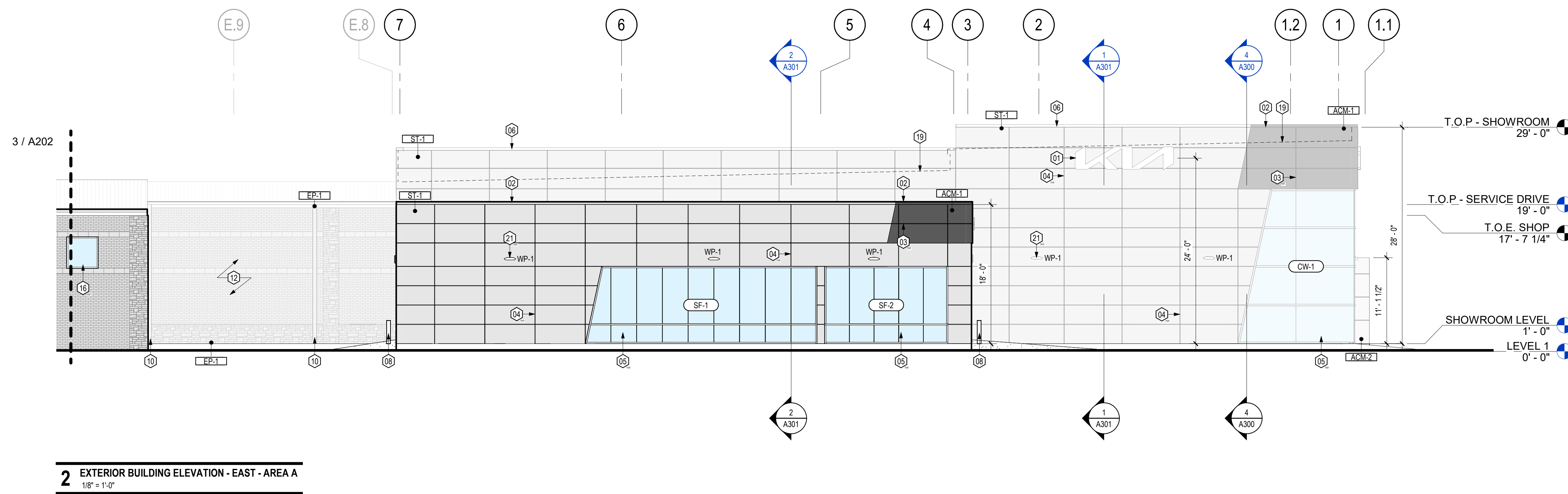
1 EXTERIOR BUILDING ELEVATION - WEST
3/32" = 1'-0"

DATE	DELTA	DESCRIPTION
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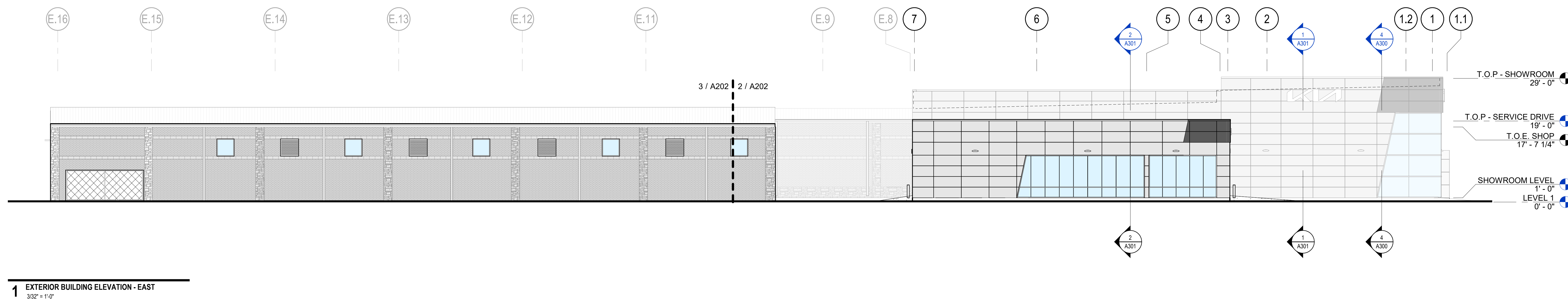
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#	NOTE
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20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



3 EXTERIOR BUILDING ELEVATION - EAST - AREA B
1/8" = 1'-0"



2 EXTERIOR BUILDING ELEVATION - EAST - AREA A
1/8" = 1'-0"



1 EXTERIOR BUILDING ELEVATION - EAST
3/32" = 1'-0"

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SOUTHWEST KIA OF
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ISSUE DATE: 02.20.2024

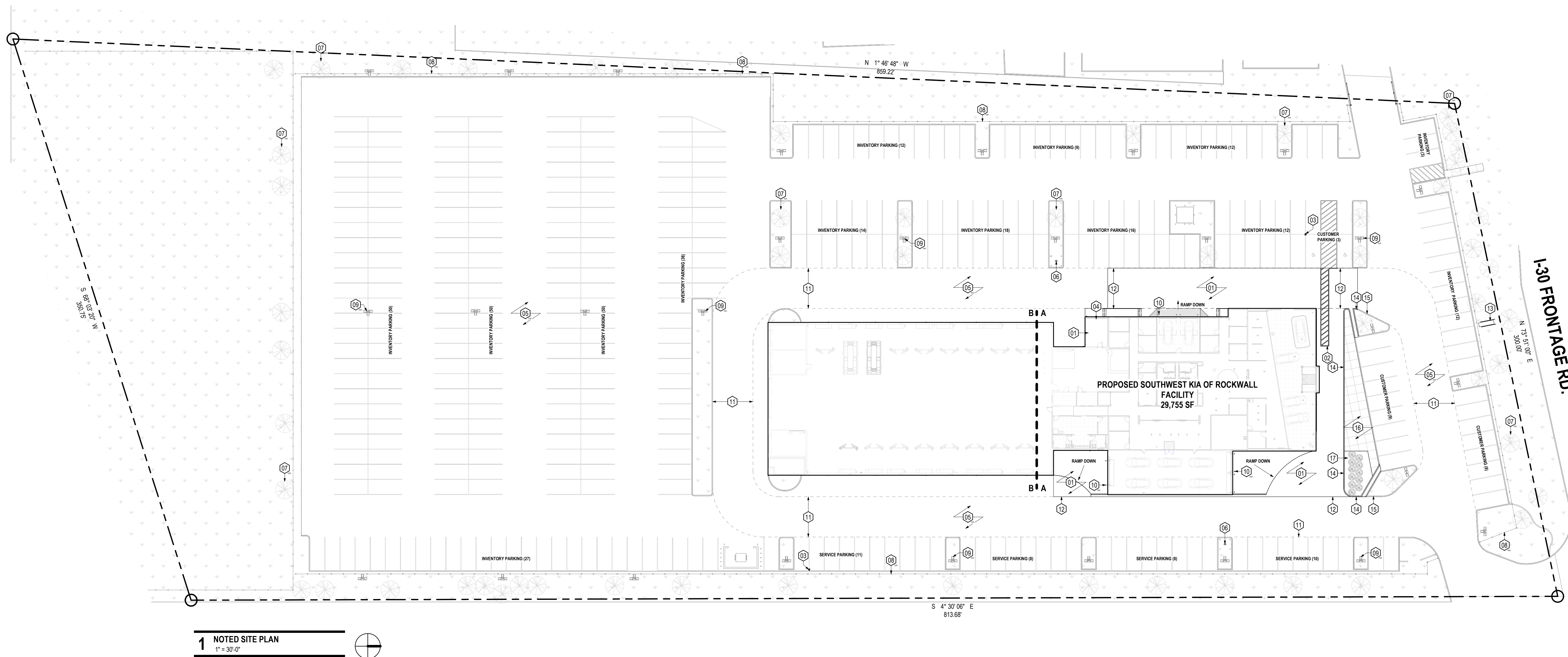
SHEET NAME:

NOTED SITE PLAN

SHEET:

A102

SITE PLAN KEYNOTES	
#	NOTE
01	PAVING. REF: CIVIL
02	4" WHITE PARKING STRIPE. TYP. UNO
03	EV CHARGING STATION BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
04	EQUIPMENT SCREEN. REF: SITE DETAILS
05	EXISTING PAVING TO REMAIN. REF: CIVIL
06	EXISTING FIRE HYDRANT. REF: CIVIL
07	EXISTING TREE TO REMAIN. REF: LANDSCAPE
08	EXISTING PIPE RAIL FENCE. G.C. TO REPAIR AND REPAINT, EP-1
09	EXISTING LIGHT POLE TO REMAIN
10	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
11	EXISTING FIRE LANE
12	FIRE LANE - PAVEMENT MARKINGS, 6" WIDE RED PAINT WITH THE WORDS, "FIRE LANE - TOW AWAY ZONE" IN 4" WHITE LETTERS NO MORE THAN 25' ALTERNATING INTERVALS
13	MONUMENT SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
14	CONCRETE CURB. REF: CIVIL
15	EXISTING PORTION OF CURB TO REMAIN. REF: CIVIL
16	CONCRETE SIDEWALK. REF: SITE DETAILS
17	LANDSCAPING. REF: CIVIL



1 NOTED SITE PLAN
1" = 32' 0"

LEGAL DESCRIPTION

260,988 sq. ft. - 5.9915 AC, Lot 1, Block 1, Rockwall Kia (recorded plat attached)

STATE OF TEXAS
COUNTY OF ROCKWALL

THEREAS SALAHOUN FAMILY, L.P. BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

PROPERTY DESCRIPTION

Being that certain tract of land situated in the John Lockhart Survey, Abstract No. 134, Rockwall County, Texas, being that certain tract of land described in deed to David Zalman (Trustee) as recorded in Volume 4605, Page 60, of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows;

BEGINNING at a found 5/8-inch iron rod on the southeast line of East Bound Service Road of I-30 at the northwest corner of said Zalman tract and being at the northeast corner of that certain tract of land described in deed to T. Devlon Corporation as recorded in Volume 1233, Page 28, said Deed Records;

THENCE North 73 degrees 51 minutes 00 seconds East, a distance of 300.00 feet along the southeast line of said East Bound Service Road of I-30 to a point at the northeast corner of said Zalman tract and being at the northwest corner of that certain tract of land described in deed to Michael L. Peoples, Sr... as recorded in Volume 1192, Page 145, said Deed Records;

THENCE South 04 degrees 30 minutes 06 seconds East, a distance of 813.68 feet along the east line of said Zalman tract to a found iron pipe at the southeast corner of said Zalman tract and being on the north line of that certain tract of land described in deed to Hitt Family Limited Partnership as recorded in Volume 1875, Page 238, of said Deed Records;

THENCE South 68 degrees 03 minutes 20 seconds West, a distance of 350.75 feet to a point at the southwest corner of said Zalman tract and being at the sootiest corner of aforesaid T. Devlon Corporation tract;

THENCE North 01 degree 46 minutes 48 seconds West, a distance of 859.22 feet along the west line of said Zalman tract to the POINT OF BEGINNING and containing 260,988 square feet or 5.992 acres of land.

NOW THEREFORE, KN'OW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the KIA Rockwall subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the KIA Rockwall subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city of secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement; but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city of secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. Owner responsible for maintenance and operation of detention pond.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Owner

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Shahab Salehoun known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

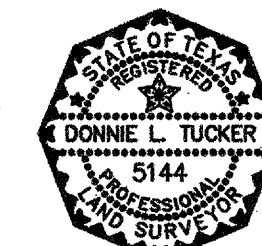
Given upon my hand and seal of office this 21 Day of Feb 2008

Kristi Platt
Notary Public in and for the State of Texas

3-25-2010
My Commission Expires:



LEGEND			
---	PIPE LINE	██████	BRICK
---	GAS LINE	██████	CONCRETE
---	OVERHEAD ELECTRIC LINE	██████	TRAFFIC SIGNAL CONTROL
---	OVERHEAD TELE. LINE	██████	TRAFFIC SIGNAL POLE
---	RAIL SEWER LINE	██████	LIGHT POLE
---	STORM SEWER LINE	██████	UTILITY POLE
---	UNDERGROUND ELECTRIC LINE	██████	ELECTRIC METER
---	UNDERGROUND TELE. LINE	██████	TRANSFORMER
---	WATER LINE	██████	GAS METER
---	CONCRETE	██████	GAS VALVE
---	EDGE OF ASPHALT	██████	GAS LED
---	WOOD FENCE	██████	FIRE HYDRANT
---	WIRE FENCE	██████	WATER METER
---	IRON FENCE	██████	WATER VALVE
---	CHAIRBACK FENCE	██████	IRRIGATION CONTROL VALVE
---	COLUMNS	██████	
---		██████	



Donnie L. Tucker
R.P.L.S. #5144

OWNER: SALAHOUN FAMILY, L.P.
39638 LBJ FREEWAY
DALLAS, TX. 75232
PHONE: 972-283-9797
FAX: 972-283-5862

FINAL PLAT -- PAGE 2 OF 2
 260,988 SQ. FT. -- 5.9915 AC.
 LOT 1, BLOCK 1, ROCKWALL KIA
 1790 EAST I-30
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

DRAWN BY:	DT
CHECKED BY:	DT
SCALE:	N.T.S.
DATE:	01/26/08
JOB NO.:	08-1500
GP NO.:	
MAPBOOK NO.:	

RECOMMENDED FOR FINAL APPROVAL

CW Bricker 3/25/08
 Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 15th day of February, 2008.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this 24th day of March, 2008.

William R. Cecil Kristy Ashberry
 Mayor, City of Rockwall City Secretary

Chuck Add
 City Engineer

SURVEYORS CERTIFICATE

I hereby certify that on the 21st day of November, 2006, this survey was made on the ground as per the field notes shown on this survey and is true, correct, and accurate as to the boundaries and area of the subject property and the size, location, and type of buildings and improvements thereon, if any, and as to the other matters shown hereon, and correctly shows the location of all visible easements and rights-of-way and of all rights-of-way, easements, and any other matters of record, or of which I have knowledge of have been advised, whether or not of record, affecting the subject property, and the location of all curb cuts and driveways, if any.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, (Name) Donnie L. Tucker, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

(Name) Donnie L. Tucker, Registered Public Surveyor No. 5144.

DT

G-280

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS ON A 5.9613-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK 1, ROCKWALL KIA ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBITS 'A' AND 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership for Cars and Light Trucks* to allow the expansion of an existing *New Motor Vehicle Dealership* being a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall Kia Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and being more specifically depicted and described in *Exhibits 'A' and 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that *Ordinance No. 22-02 [S-266]* the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 22-02*.

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *New Motor Vehicle Dealership for Cars and Light Trucks* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified

Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, and Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

3.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New Motor Vehicle Dealership for Cars and Light Trucks* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
- (2) No vehicle display areas shall be permitted within the required landscape buffer along the E. IH-30 frontage road.
- (3) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored on an unimproved surface.

3.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)* and/or building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the

application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6ST DAY OF MAY, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 15, 2024

2nd Reading: May 6, 2024

Exhibit 'A'
Zoning Exhibit

Address: 1790 E. IH-30

Legal Description: Lot 1, Block 1, Rockwall Kia Addition

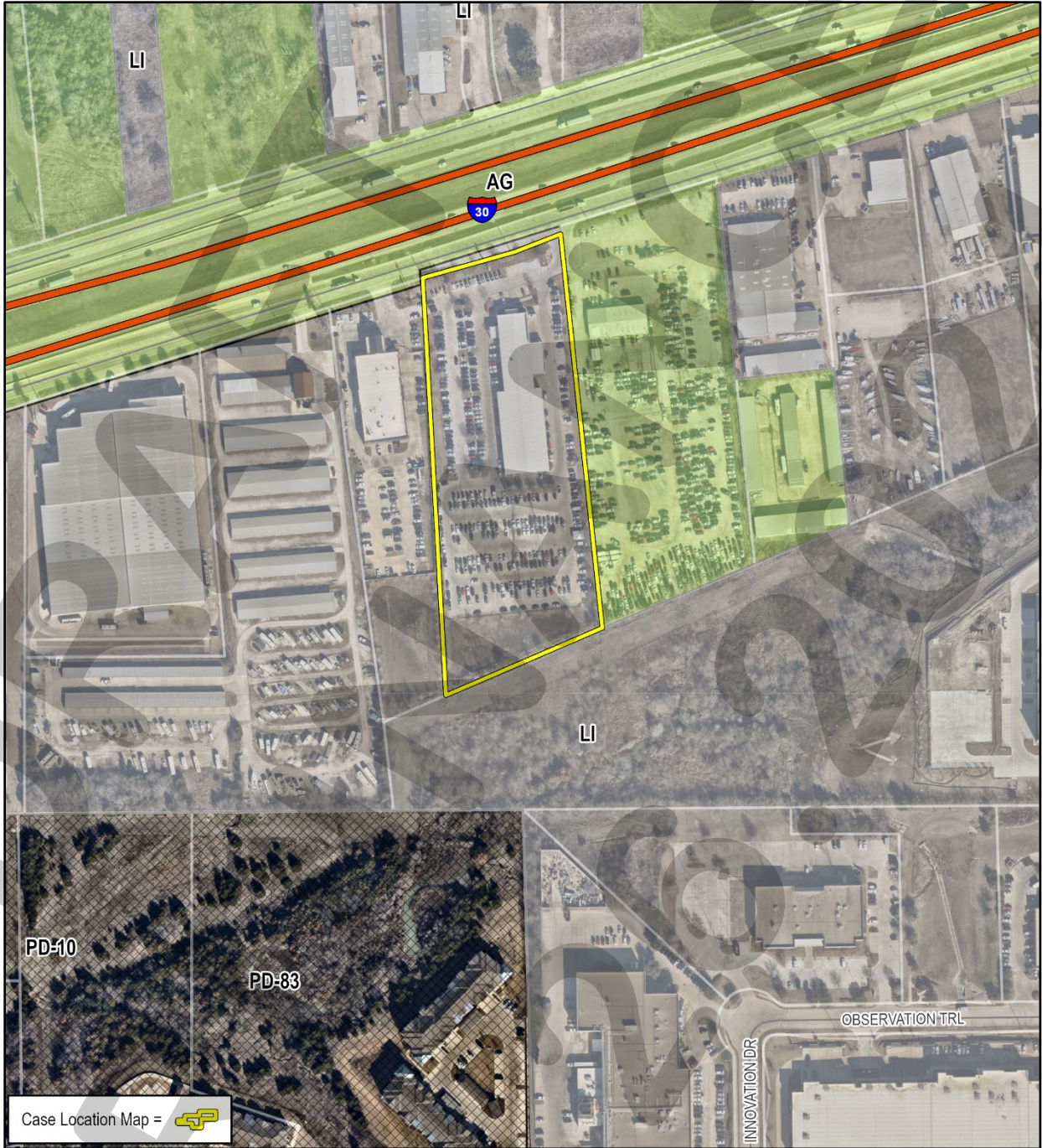
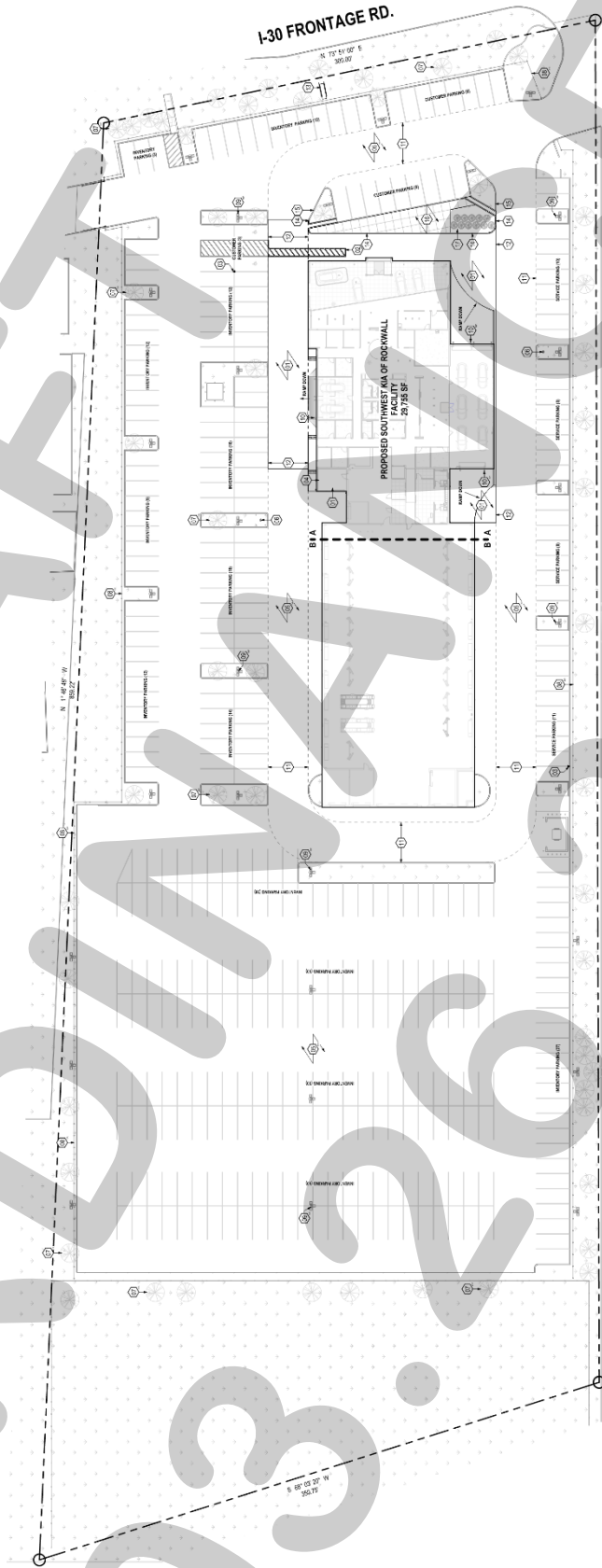


Exhibit 'B':
Concept Plan





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: April 9, 2024

APPLICANT: Mark Fernandez; *Lithia C/O Golden Property Development, LLC*

CASE NUMBER: Z2024-010; *Specific Use Permit (SUP) for the Expansion of an Existing Motor Vehicle Dealership 1790 E. IH-30*

SUMMARY

Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a *Specific Use Permit (SUP)* for a *New Motor Vehicle Dealership for Cars and Light Trucks* to allow the expansion of an existing *New Motor Vehicle Dealership* on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary.

BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 5, 2006 when the City Council approved *Ordinance No. 06-19 (Case No. Z2006-007)* changing the zoning to a Light Industrial (LI) District. On June 12, 2007, the Planning and Zoning Commission approved a site plan and preliminary plat (*Case No. SP2007-013; Case No. P2007-014*) to allow the construction of a *New Motor Vehicle Dealership for Cars and Light Trucks*, and on June 18, 2007, the City Council approved the preliminary plat and denied a variance to the cross-access requirements of the IH-30 Overlay District. On February 18, 2008, the City Council approved a final plat (*Case No P2008-005*) that establish the subject property as Lot 1, Block 1, Rockwall KIA Addition.

Staff should note that all *New Motor Vehicle Dealership for Cars and Light Trucks* are required to receive a Specific Use Permit (SUP) within the Light Industrial (LI) District. In this case, before 2008 the Unified Development Code (UDC) did not require *New Motor Vehicle Dealership for Cars and Light Trucks* to obtain a SUP. Given that the *New Motor Vehicle Dealership for Cars and Light Trucks* on the subject property began the development process before the Unified Development Code (UDC) changed, their land use was considered to be vested or legally conforming after the change was made to require the SUP. Recently, the applicant approached staff about increasing the size of the *New Motor Vehicle Dealership*. According to Section 04, *Board of Adjustments*, of Article 02, *Development Review Authority*, of the Unified Development Code (UDC), to expand a non-conforming land use the applicant could either [1] submit a request to the Board of Adjustments (BOA) requesting approval of the expansion, or [2] submit a development application for a Specific Use Permit (SUP) in order to bring the land use into conformance with the current Unified Development Code (UDC). In this case, the applicant opted to request the Specific Use Permit (SUP).

PURPOSE

The applicant -- *Mark Fernandez of Lithia C/O Golden Property Development, LLC* -- is requesting approval of a Specific Use Permit (SUP) to allow for the expansion of an existing *New Motor Vehicle Dealership for Cars and Light Trucks*, and *Major Auto Repair Garage* as an accessory land use in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1790 E. IH-30 and is currently being used as a *Motor Vehicle Dealership* (i.e. *Southwest Kia of Rockwall*), with a *Major Automotive Repair Garage* as an accessory use. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the intersection of Conveyor Street and the westbound frontage road. On the west side of Conveyor Street are two (2) parcels of land (i.e. *part of Lot 1, Block C, Rockwall Commercial Park Addition; Tract 5-1 of the J. Lockhart Survey, Abstract No. 134*) developed with a *Pawn Shop* (i.e. *Rockwall Pawn*) and an *Office/Warehouse* (i.e. *Firehouse Heating and Air*). Both properties are zoned Light Industrial (LI) District. East of Conveyor Street are two (2) parcels of land (i.e. *two (2) parts of Lot 1, Block D, Rockwall Commercial Park Addition*) zoned Commercial (C) District. One (1) property is developed with a *Building and Landscape Material Supply Company* (i.e. *A-1*) followed by a vacant parcel.

South: Directly south of the subject property is a 43.237-acre parcel of land (i.e. *Lot 1, Block A, Stream 549 Addition*) developed with a ~301,120 SF *Warehouse/Distribution Center*. Beyond this is an 8.482-acre parcel of land (i.e. *Lot 8, Block C, Rockwall Technology Park Addition*) developed with a *Warehouse/Distribution Center*. Both properties are zoned Light Industrial (LI) District.

East: Directly east of the subject property are two (2) tracts of land (i.e. *Tracts 9-01 & 9-10 of the J. Lockhart Survey, Abstract No. 134*) developed with Light Industrial (LI) land uses (i.e. *Auto Auction; Mini-Warehouse*) and are zoned Agricultural (AG) District. Beyond this are several tracts of land (i.e. *Tract 9-02 & 9-5 of the J. Lockhart Survey, Abstract No. 134; Lots 1 & 2, DBK Addition; Lot 1, Block A, K. H. D. Inc. Subdivision; Lot 1, Block 1, Cavender's Addition*) zoned Light Industrial (LI) District.

West: Directly west of the subject property are three (3) parcels of land (i.e. *Lot 1, Block A, Service King IH-30 Addition; Lots 1 & 2, Block A, McKeown-Belaustegui Addition*) developed with industrial land uses (i.e. *Auto Repair, Mini-Warehouse, and Recreational Vehicle Repair*) and are zoned Light Industrial (LI) District. Beyond this is a 14.7506-acre parcel of land (i.e. *Lot 1, Block A, Nissan of Rockwall Addition*) developed with a *New Motor Vehicle Dealership for Cars and Light Trucks* (i.e. *Cavender Nissan Rockwall*) zoned Light Industrial (LI) District and Commercial (C) District.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST AND CONFORMANCE WITH THE CITY'S CODE

Along with the development application, the applicant submit a site plan and building elevations. Based on the site plan submitted by the applicant, the existing *Office/Sales Floor* will be increased by ~2,000 SF, with minor grade changes being proposed in front of the proposed building (*i.e. between the front façade and the parking area adjacent to IH-30*) to address current drainage issues. They are not requesting to change any other aspects of the site (*i.e. fire lanes, parking, vehicle delivery, etc.*). Staff has included this site plan into the draft ordinance in order to generally tie down what the applicant is proposing. With that being said, based on the building elevations provided by the applicant there will need to be variances approved in association with the building design. Given this, staff did not include the building elevations in the draft ordinance. This will allow the Architectural Review Board (ARB) and the Planning and Zoning Commission greater flexibility in making recommendations at the time of site plan, and the applicant greater flexibility when proposing changes to the façade of the building in the future (*e.g. when making minor changes for rebranding purposes*).

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *New Motor Vehicle Dealership for Cars and Light Trucks* is defined as the "(r)etail sales of new automobiles or light load vehicles, including, as a minor part of the business, the sale of used automobiles or light load vehicles and the service of new or used vehicles within an area or enclosed building." In addition, Article 04, *Permissible Uses*, of the Unified Development Code (UDC) sets forth the following *Conditional Land Use Standards* for this land use: [1] all outside display of vehicles must be on an approved concrete, or enhanced concrete surface, and [2] all vehicle display areas must meet the landscape standards for parking areas. Currently, the subject property is considered to be in compliance with item one (1) of these requirements. The landscaping on the site was originally approved in 2007, and is considered to be legally non-conforming; however, staff has informed the applicant that at the time of site plan they will be required to meet the current landscaping requirements of the *General Overlay District Standards* in accordance with the Unified Development Code (UDC).

With regard to the *Major Automotive Repair Garage* land use, Article 13, *Definitions*, of the Unified Development Code (UDC) defined a *Major Automotive Repair Garage* as consisting of "(m)ajor repair, rebuilding or reconditioning of engines, transmissions, or other major components for motor vehicles; collision services including body, frame, or fender straightening or repair; customizing; overall painting or paint shop; automotive glass and upholstery; those uses listed under *Minor Auto Repair Garage*, and other similar uses. All repair work shall be performed inside an enclosed building. Vehicles shall not be stored on site no longer than 90-days." Article 04, *Permissible Uses*, of the Unified Development Code (UDC) goes on to list the *Conditional Land Use Standards* for this land use as [1] garage doors shall not face a public right-of-way, park or open space, or residentially zoned or used property, and [2] vehicles, equipment, parts or inventory shall not be stored outside overnight unless granted by the Planning and Zoning Commission and City Council through Specific Use Permit (SUP). In this case, the proposed *Major Automotive Repair Garage* bay doors do not face onto a public right-of-way, park or open space, or residentially used property; however, they face onto residentially zoned property. Directly adjacent to the subject property -- *to the east* -- is an Agriculturally zoned property. According to Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, of the Unified Development Code (UDC), an Agricultural (AG) District is considered a residential zoning designation. In this case, the adjacent property is zoned Agricultural (AG) District, but is developed with a Light Industrial (LI) land use, and is designated as being in the Special Commercial Corridor per the *Future Land Use Map* contained in the OURHometown Vision 2040 Comprehensive Plan. Given that the adjacent property is currently not developed as a residential property, the property is not designated as residential in the future, and the *Major Automotive Repair Garage* is existing, this does not appear to create issues with the intent of the *Conditional Land Use Standards*.

STAFF ANALYSIS

Today, the existing *New Motor Vehicle Dealership for Cars and Light Trucks*, and accessory *Major Auto Repair Garage* land uses are considered legally non-conforming per the current *Land Use Schedule* contained within Article 04, *Permissible Uses*, of the Unified Development Code (UDC). To facilitate the expansion of the of the existing *New Motor Vehicle Dealership*, the applicant is requesting a Specific Use Permit (SUP) for the *New Motor Vehicle Dealership for Cars and Light Trucks*, and *Major Auto Repair Garage* as an accessory use in order to bring land uses established on the subject property into conformance with the current requirements. In addition, the applicant will be subject to the building and landscape requirements outlined in the *General Overlay District Standards* and Article 08, *Landscape and Fence Standards*, contained within the Unified Development Code (UDC) at the time of site plan. Given this, the applicant is bringing the property closer into conformance with the standards outlined within the Unified Development Code (UDC).

Staff should note that the applicant submit building elevations that appear to require variances for approval. Given this, staff opted to have these reviewed at the time of site plan to allow the Architectural Review Board (ARB) and the Planning and Zoning Commission greater flexibility in making recommendations related to design, and allow the applicant greater flexibility in changing the exterior of the dealership in the future (*i.e. it will only require an amended site plan as opposed to having to amend the Specific Use Permit [SUP] first*). With this being said, requests for Specific Use Permits (SUPs) are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On March 19, 2023, staff mailed 28 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) returned notice in-favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for the expansion of an existing *Motor Vehicle Dealership* and accessory *Major Auto Repair Garage*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
 - (b) No vehicle display areas shall be permitted within the required landscape buffer along the E. IH-30 frontage road.
 - (c) Motor vehicle inventory for the existing *New Motor Vehicle Dealership for Cars and Light Trucks* and/or *Major Auto Repair Garage* shall not be parked/stored on an unimproved surface.
 - (d) The outside storage of tires or any other automotive parts shall be prohibited.
 - (e) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.
- (2) The applicant will be required to submit a site plan with building elevations, a material sample board, a landscape plan, and photometric plan prior to the submittal of engineering plans or the issuance of a building permit.
- (3) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1790 I-30 Frontage Rd

SUBDIVISION Rockwall Kia

LOT 1 BLOCK 1

GENERAL LOCATION South side of East I-30, 1785'+- from John King Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Existing Southwest KIA Car Dealership

PROPOSED ZONING SUP (New & Used Motor Vehicle Dealership)

PROPOSED USE Existing Southwest KIA Car Dealership to remain

ACREAGE 5.9915

LOTS [CURRENT] 1

1

LOTS [PROPOSED] 1

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Zohreh Malek

APPLICANT Lithia c/o Golden Property Development, LLC

CONTACT PERSON

CONTACT PERSON Mark Fernandez

ADDRESS 3845 Oak Lawn Ave

ADDRESS 20025 E Country Hollow Dr

CITY, STATE & ZIP Dallas TX 75219

CITY, STATE & ZIP Walnut, CA 91789

PHONE 214-727-7422

PHONE 909-573-2765

E-MAIL zohreh7@gmail.com

E-MAIL mark@goldenpropertydevelopment.com

NOTARY VERIFICATION [REQUIRED]

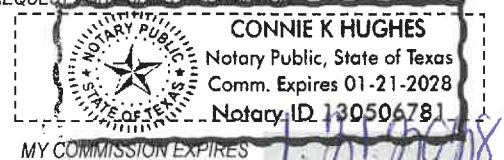
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zohreh Malek [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 289.42 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 1st DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 1st DAY OF March, 2024.

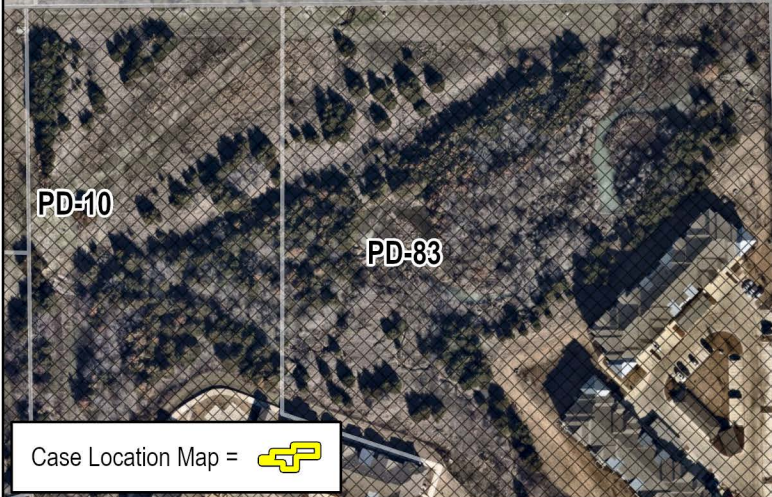
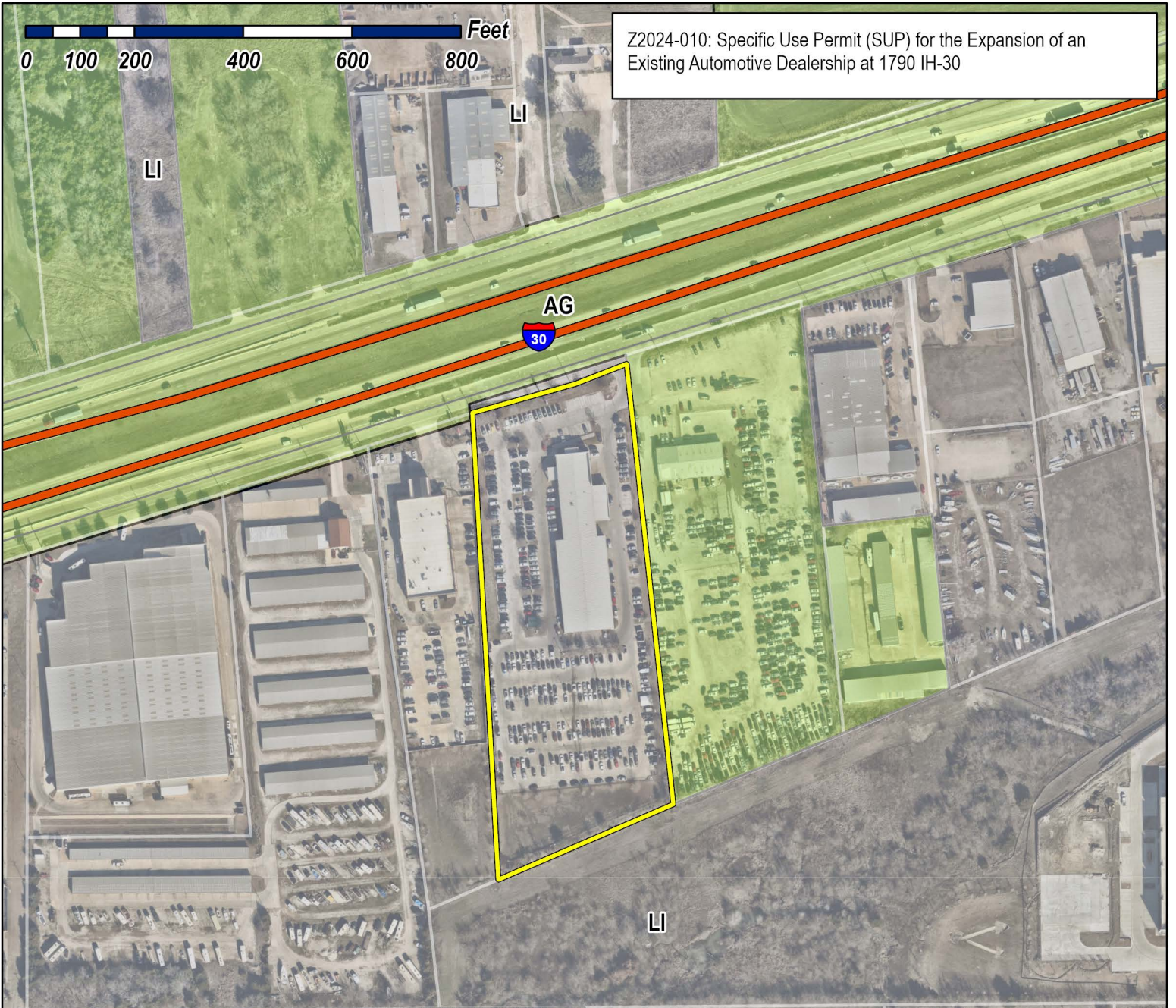
OWNER'S SIGNATURE Zohreh Malek

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS C. Hughes



0 100 200 400 600 800 Feet

Z2024-010: Specific Use Permit (SUP) for the Expansion of an Existing Automotive Dealership at 1790 IH-30



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

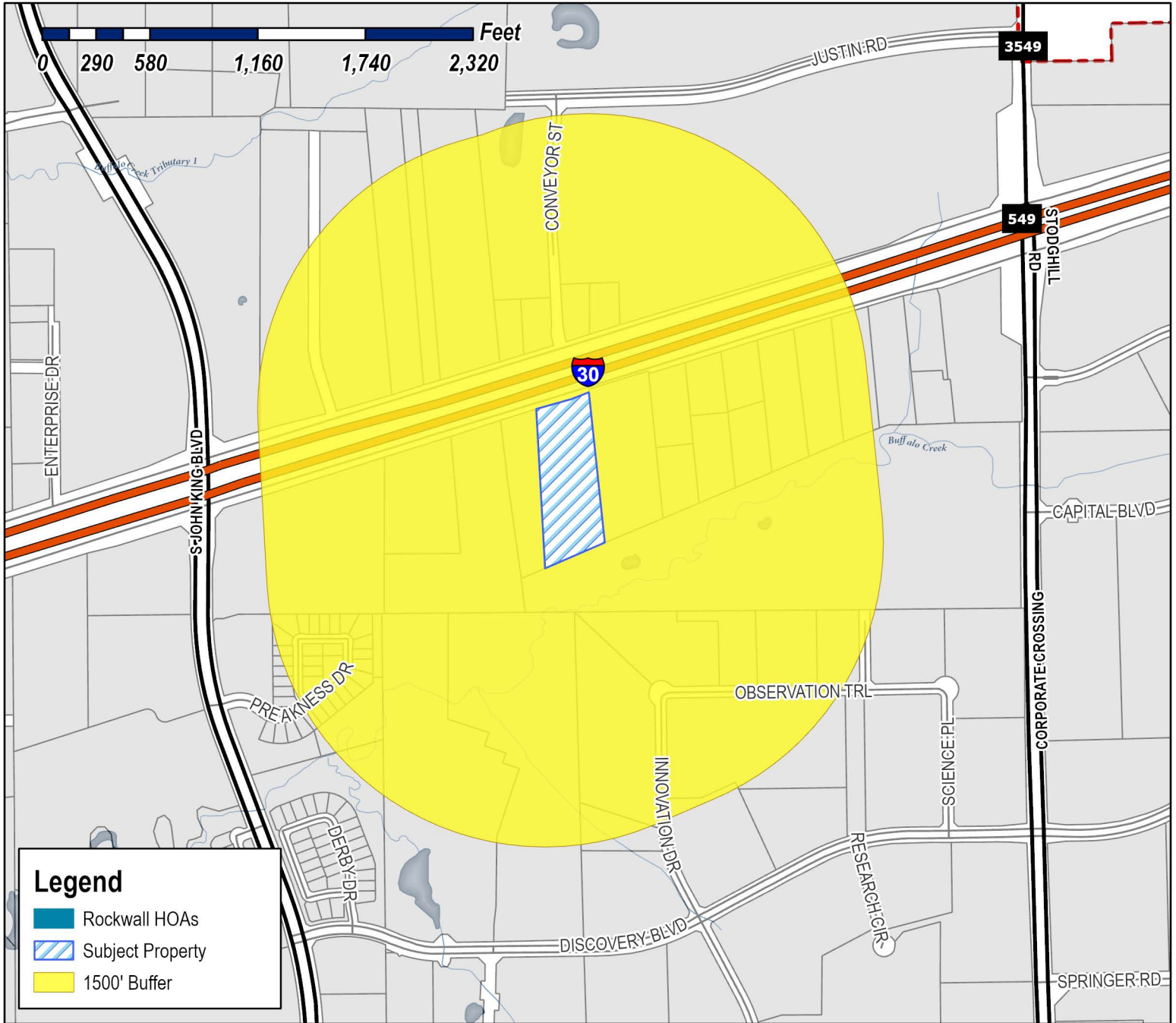




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Case Number: Z2024-010
Case Name: SUP for the Expansion of an Existing Automotive Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1790 IH-30

Date Saved: 3/11/2024
 For Questions on this Case Call (972) 771-7745

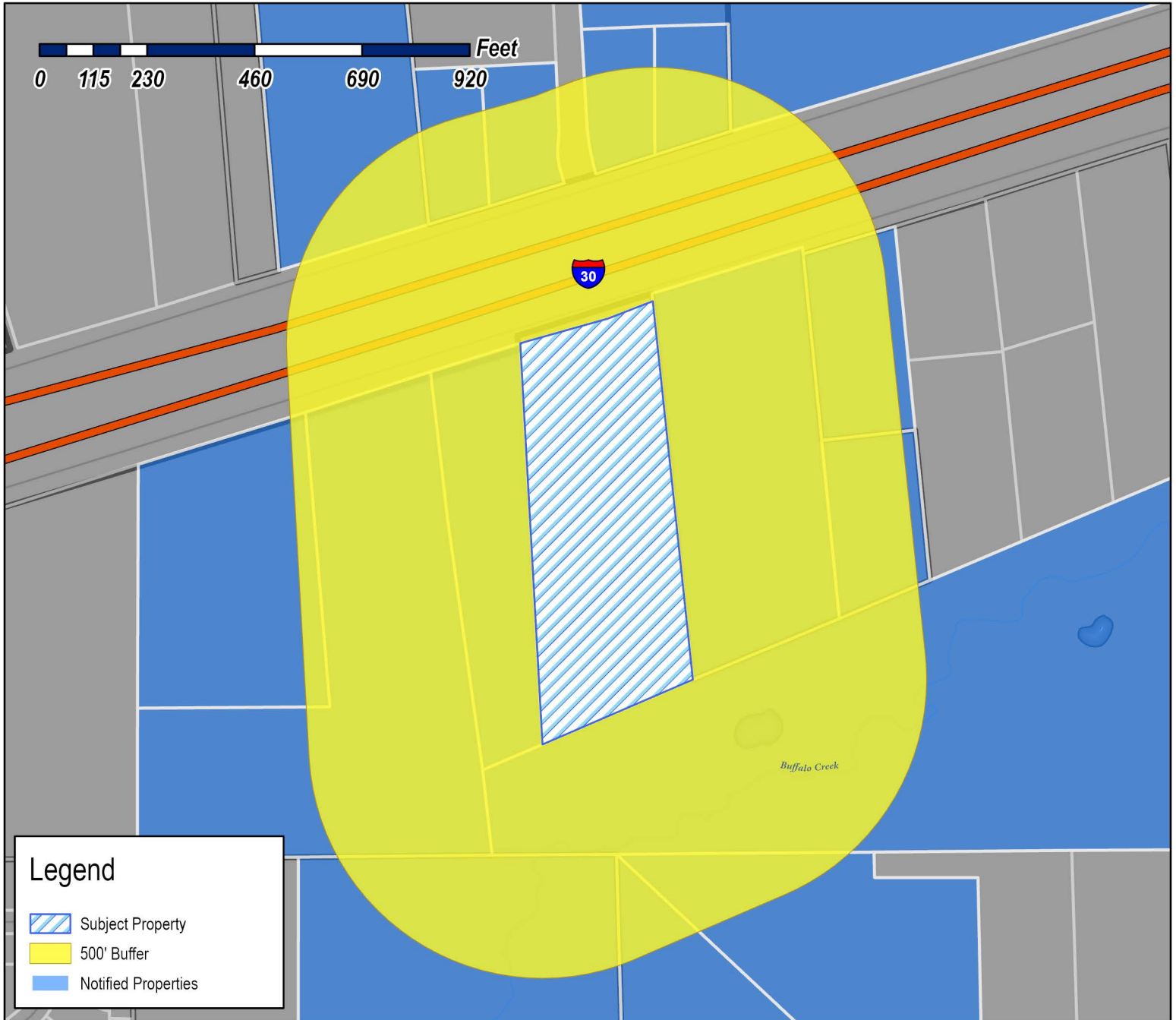
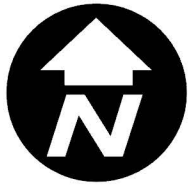




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Case Number: Z2024-010
Case Name: SUP for the Expansion of an Existing Automotive Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1790 IH-30

Date Saved: 3/11/2024

For Questions on this Case Call: (972) 771-7746



LINE 5 HOLDINGS LP
1201 N RIVERFRONT BLVD SUITE 100
DALLAS, TX 75207

DEN-MAR ENTERPRISES INC
124 MONT BLANC DR
HEATH, TX 75032

RAFIZADEH M & M FAMILY LTD
C/O REPUBLIC MOTORSPORTS INC
12707 SOUTHWEST FREEWAY
STAFFORD, TX 77477

RESIDENT
1515 CORPORATE CROSSING
ROCKWALL, TX 75087

PRITCHARD DONNA CULLINS &
KIMBERLY CULLINS COLLICCHIO TRUSTEES
1610 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1635 INNOVATION DR
ROCKWALL, TX 75087

RESIDENT
1750 E I30
ROCKWALL, TX 75087

RESIDENT
1760 E I30
ROCKWALL, TX 75087

RESIDENT
1785 E I30
ROCKWALL, TX 75087

RESIDENT
1790 E I30
ROCKWALL, TX 75087

RESIDENT
1795 I30
ROCKWALL, TX 75087

RESIDENT
1805 E I30
ROCKWALL, TX 75087

RESIDENT
1810 S I30
ROCKWALL, TX 75087

RESIDENT
1820 E I30
ROCKWALL, TX 75087

SELF SCOTT & JANET
1830 E INTERSTATE 30 STE 100
ROCKWALL, TX 75087

RESIDENT
2350 DISCOVERY BLVD
ROCKWALL, TX 75087

RESIDENT
2610 OBSERVATION TRL
ROCKWALL, TX 75087

JBC LAND & CATTLE COMPANY LLC
2905 DUBLIN
PARKER, TX 75002

SALEHOUN FAMILY LIMITED PARTNERSHIP
39650 LYNDON B JOHNSON FWY
DALLAS, TX 75237

WESTCORE BRAVO ROCKWALL LLC
4350 LA JOLLA VILLAGE DR STE 900
SAN DIEGO, CA 92122

ROCKWALL STORAGE SOLUTIONS LLC
447 STEVENS RD
ROCKWALL, TX 75032

MIDDLE BROOKS HOLDINGS LLC
513 SAINT MARY ST
ROCKWALL, TX 75087

SWBC RW2, LP
5949 SHERRY LN SUITE 750
DALLAS, TX 75225

ROCKWALL 549/I30 PARTNERS LP
8750 N CENTRAL EXPWY SUITE 1735
DALLAS, TX 75231

CONVEYOR I30 PARTNERS LP
8750 N CENTRAL EXPY SUITE 1735
DALLAS, TX 75231

AMBATIELOS EVANGELOS & VASILIKI
JAMES E ZAFERIS & JOANNA ZAFERIS
P. O. BOX 86404
LOS ANGELES, CA 90086

ROCKWALL AA RE LLC
PO BOX 775
ROYSE CITY, TX 75189

THACKER DENNIS ALAN TESTAMENTARY TRUST
AND
LINDA THACKER LAHOOD AND JOSHUA ALAN
THACKER
PO BOX 8693
GREENVILLE, TX 75404

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-010: SUP for the Expansion of an Existing Automotive Dealership

Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a New Motor Vehicle Dealership for Cars and Light Trucks to allow the expansion of an existing New Motor Vehicle Dealership on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-010: SUP for the Expansion of an Existing Automotive Dealership

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: Donna Cullins Pritchard
Address: 1610 Shores Blvd - Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



March 4, 2024

City of Rockwall
Planning & Zoning Department
Attn: Henry Lee
385 S. Goliad Street
Rockwall, TX 75087

Re: Proposed Southwest Kia Car Dealership Remodel and Expansion
Special Use Permit (SUP) Request
Letter of Explanation
1790 I-30 Frontage Rd
Rockwall, TX 75087

Mr. Lee:

Please use this Letter of Explanation as a formal request to process a Special Use Permit (SUP) for a Proposed Southwest Kia Car Dealership Remodel and Expansion. Lithia Motors, Inc., owners of the existing and operational Southwest Kia Dealership located at 1790 I-30 Frontage Rd, are filing for a SUP to permit the car dealership use and expansion as it is currently a legal non-conforming use.

Introduction:

Southwest Kia of Rockwall embarks on a transformative project aimed at enhancing its facility to better serve customers and align with Kia's latest brand image. The project includes the demolition of the existing showroom and service drive, followed by the construction of a new showroom and service drive facility designed to mitigate flooding risks and improve operational efficiency. Additionally, the project includes repainting the existing building exterior and implementing new interior and exterior finishes to reflect Kia's updated brand aesthetics.

Key Items:

- Demolition of Existing Showroom and Service Drive:
 - The project begins with the demolition of the current showroom and service drive to pave the way for the construction of a modernized facility.



- Construction of New Showroom and Service Drive:
 - The new showroom and service drive facility will be elevated to prevent flooding issues resulting from existing grades, ensuring operational continuity even during adverse weather conditions.
 - Careful consideration will be given to architectural design and structural integrity to meet both aesthetic and functional requirements.
 - Sales functions and operations will continue to operate out of temporary trailers.
 - When completed the facility would have increased in size by approximately 2,050 sf.

- Limited Paving Scope for Storm Water Drainage:
 - The paving scope will be optimized to efficiently surface drain stormwater, reducing the risk of flooding and water damage on the premises.
 - Drainage systems will be strategically integrated to manage stormwater runoff effectively.
 - All existing fire lanes will remain in their existing configuration.

- Repainting Existing Building Exterior:
 - The existing building exterior will undergo repainting to rejuvenate its appearance and align it with Kia's latest brand image.
 - High-quality paint materials resistant to weathering and fading will be selected to ensure long-term visual appeal.

- New Interior and Exterior Finishes:
 - All interior and exterior finishes will be replaced to reflect Kia's updated brand aesthetics, creating a cohesive and inviting atmosphere for customers and staff.
 - Finishes will prioritize durability, ease of maintenance, and visual appeal to uphold the brand's standards and enhance customer experience.



Conclusion:

The Southwest Kia of Rockwall renovation project represents a significant investment in modernizing and improving the dealership facility. Through the demolition of the existing showroom and service drive, construction of a new elevated facility, optimization of stormwater drainage, repainting of the building exterior, and implementation of new interior and exterior finishes, the dealership aims to enhance functionality, aesthetics, and brand alignment. This endeavor underscores Southwest Kia's commitment to providing exceptional service and maintaining a strong brand presence in the City of Rockwall's automotive market.

Sincerely,

Mark Fernandez
Lithia Motors, Inc. c/o Golden Property Development, LLC
909-573-2765
mark@goldenpropertydevelopment.com

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
448 W. 19TH ST.
HOUSTON, TEXAS 77008
713.992.4148

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.786.6076

PROJECT:
SOUTHWEST KIA OF
ROCKWALL

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

PRELIMINARY
NOT TO BE USED FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION
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PROJECT NUMBER: LA2204

ISSUE DATE: 02.20.2024

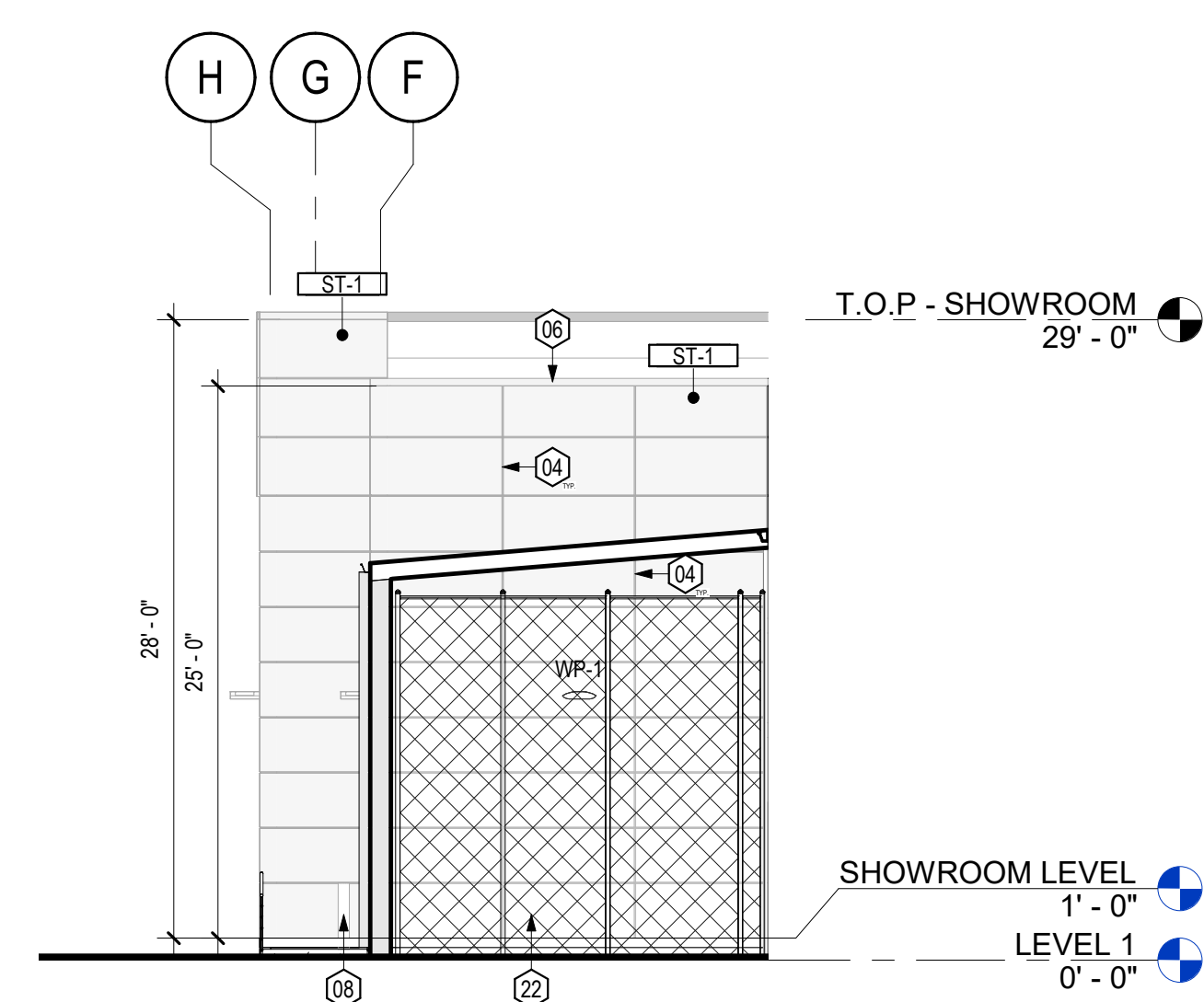
SHEET NAME:

EXTERIOR BUILDING ELEVATIONS

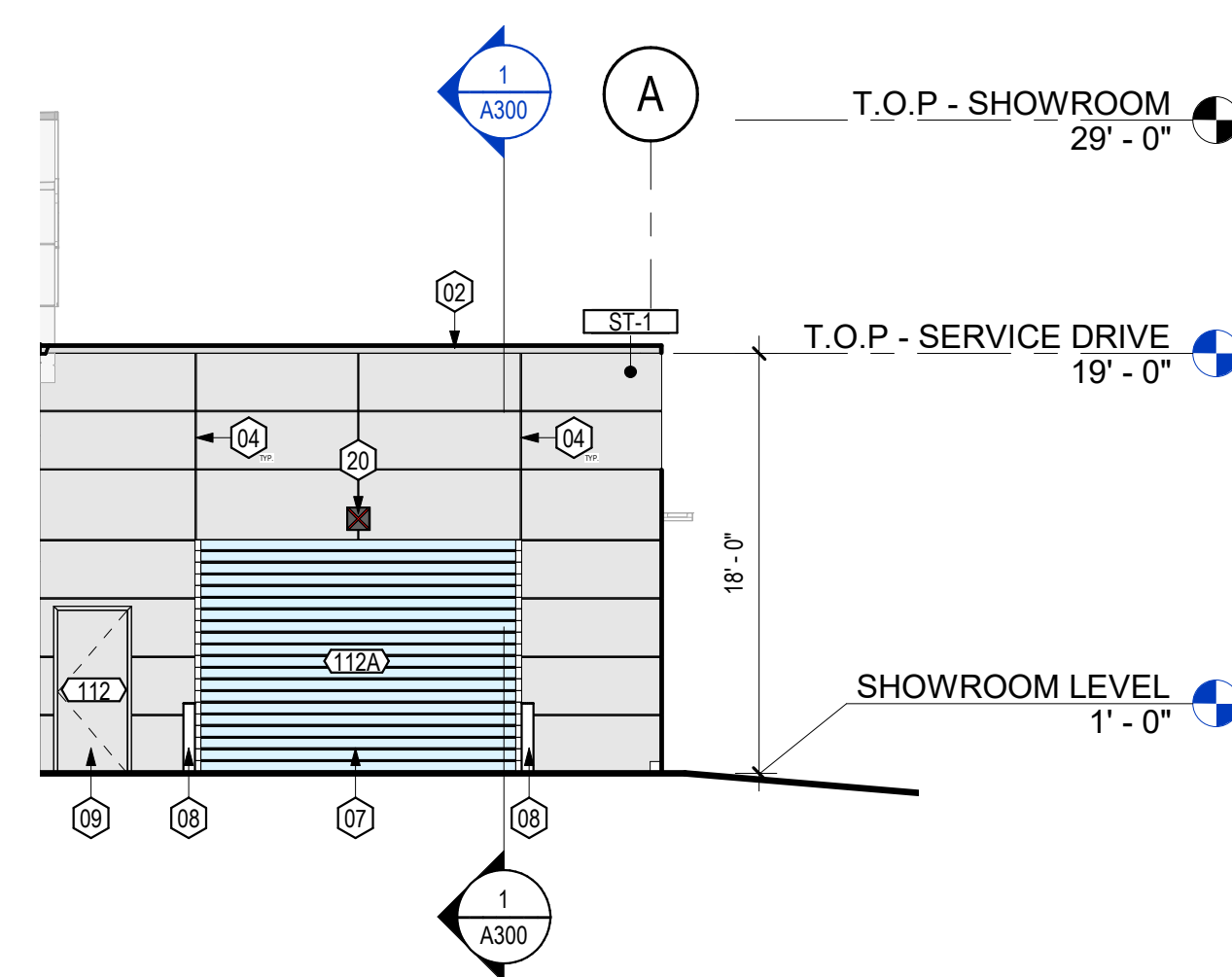
SHEET:

A200

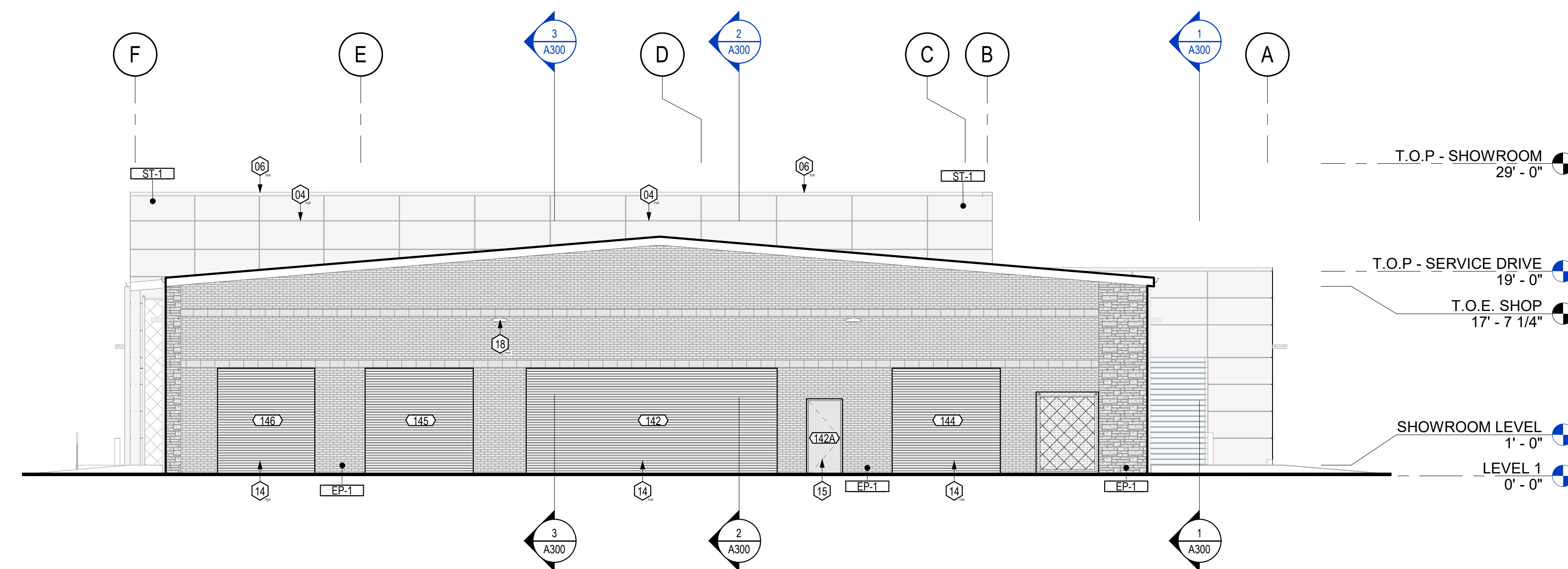
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
07	OVERHEAD DOOR. REF: SCHEDULES
08	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
09	MAN DOOR. REF: SCHEDULES
10	PREFINISHED METAL GUTTER AND DOWNSPOUT. COLOR TO MATCH HOST WALL
11	EQUIPMENT SCREEN. REF: SITE DETAILS
12	EXISTING EXTERIOR WALL TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION
13	EXISTING MECHANICAL LOUVER TO REMAIN
14	EXISTING OVERHEAD DOOR TO REMAIN. PAINT AS SCHEDULED
15	EXISTING DOOR AND FRAME TO REMAIN. PAINT AS SCHEDULED
16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



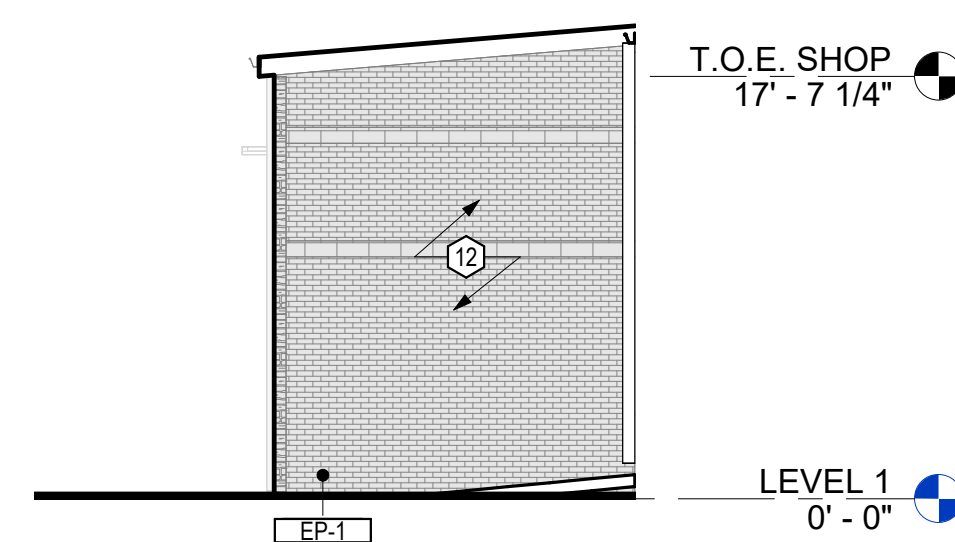
6 EXTERIOR BUILDING ELEVATION @ NVD - SOUTH
1/8" = 1'-0"



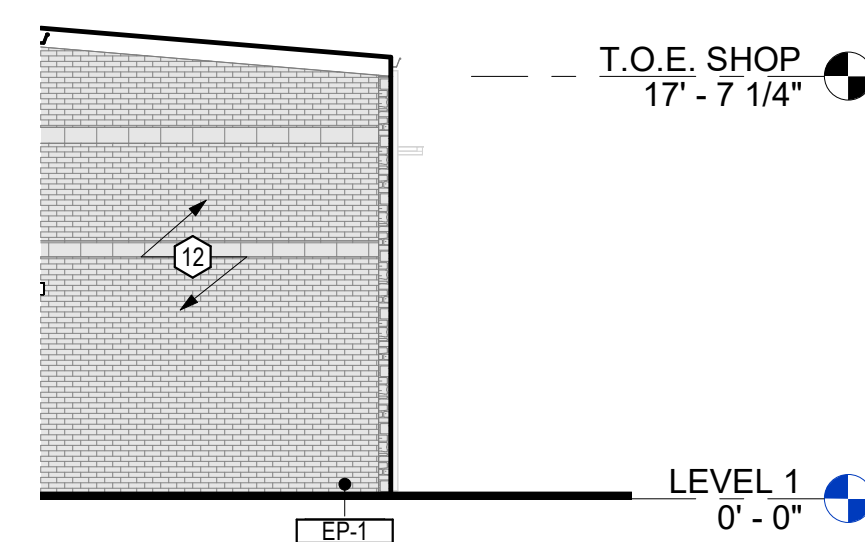
5 EXTERIOR BUILDING ELEVATION @ SERVICE DRIVE - SOUTH
1/8" = 1'-0"



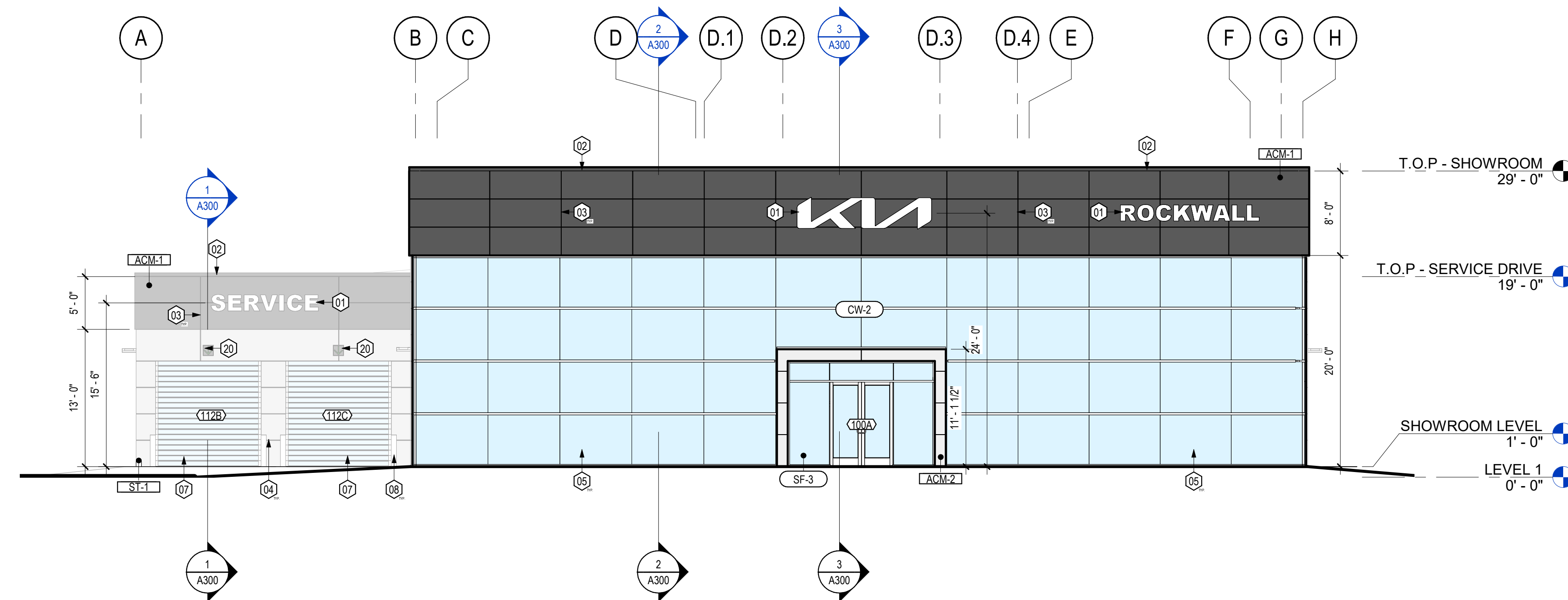
2 EXTERIOR BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



4 EXTERIOR BUILDING ELEVATION @ SERVICE SHOP - NORTH
1/8" = 1'-0"



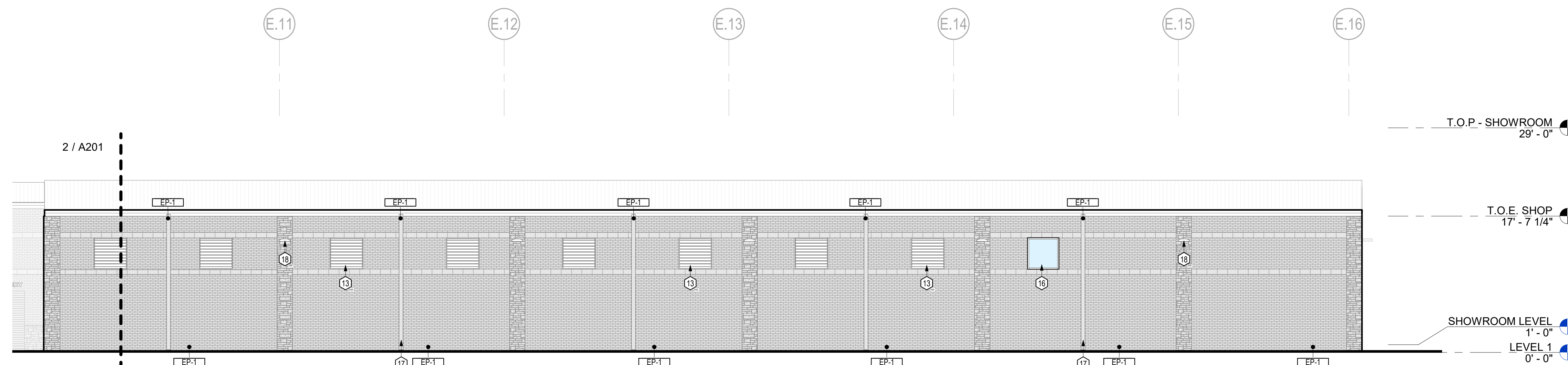
3 EXTERIOR BUILDING ELEVATION @ SERVICE SHOP - NORTH
1/8" = 1'-0"



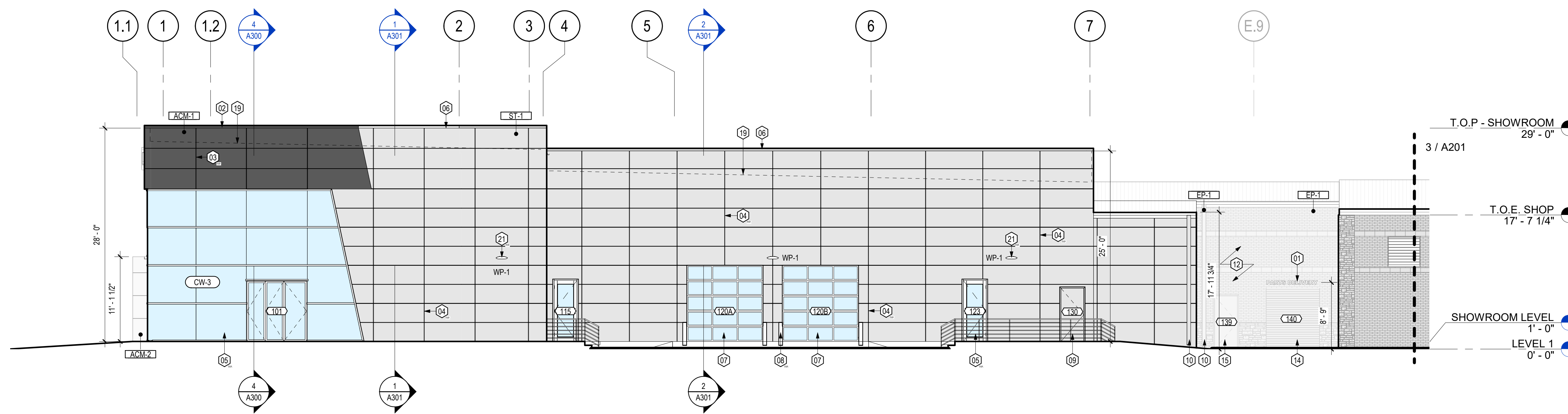
1 EXTERIOR BUILDING ELEVATION - NORTH
1/8" = 1'-0"

DATE	DELTA	DESCRIPTION
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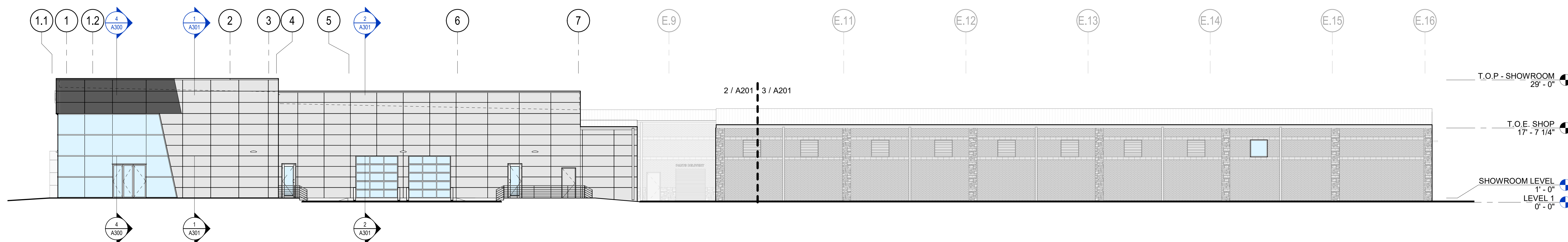
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
07	OVERHEAD DOOR. REF: SCHEDULES
08	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
09	MAN DOOR. REF: SCHEDULES
10	PREFINISHED METAL GUTTER AND DOWNSPOUT. COLOR TO MATCH HOST WALL
11	EQUIPMENT SCREEN. REF: SITE DETAILS
12	EXISTING EXTERIOR WALL TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION
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16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



3 EXTERIOR BUILDING ELEVATION - WEST - AREA B
1/8" = 1'-0"



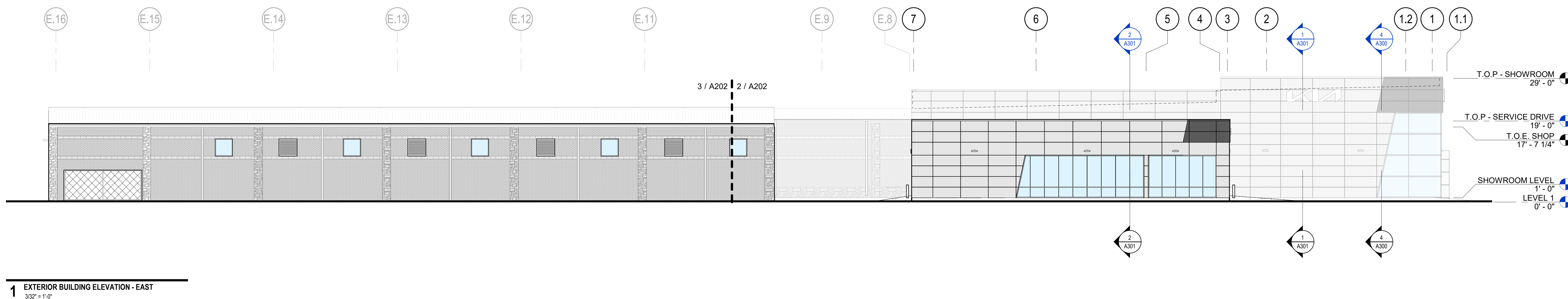
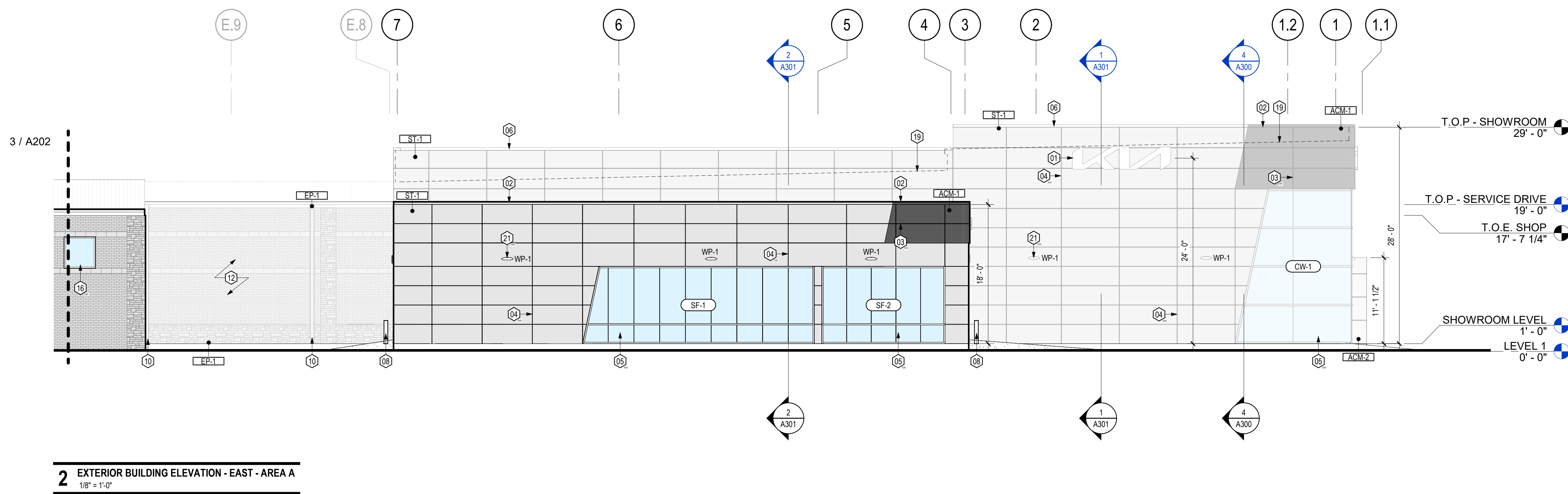
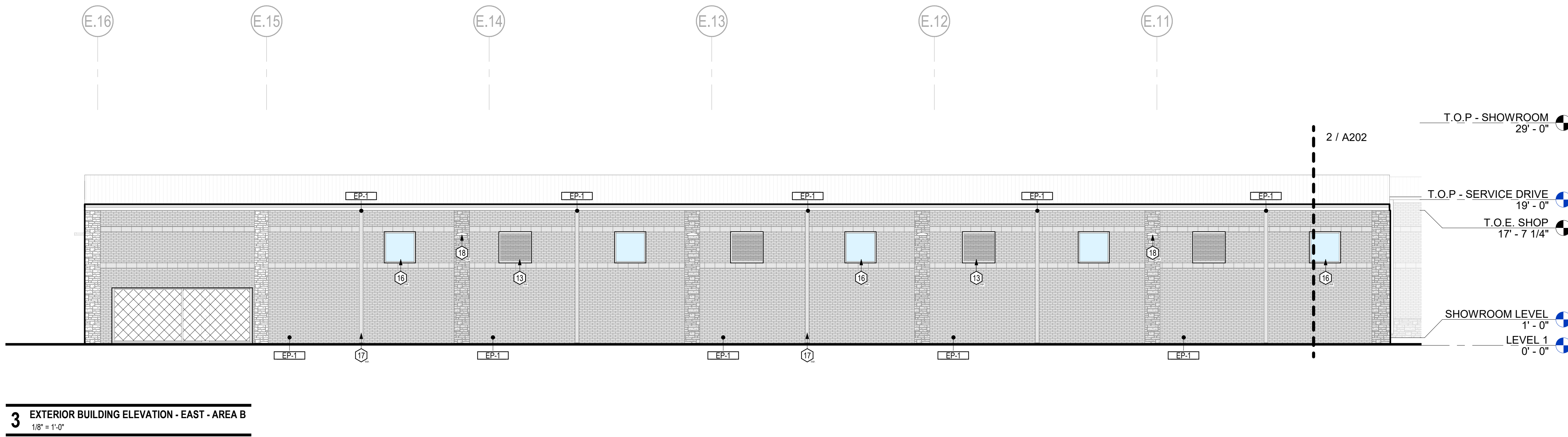
2 EXTERIOR BUILDING ELEVATION - WEST - AREA A
1/8" = 1'-0"



1 EXTERIOR BUILDING ELEVATION - WEST
3/32" = 1'-0"

DATE	DELTA	DESCRIPTION
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EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
07	OVERHEAD DOOR. REF: SCHEDULES
08	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
09	MAN DOOR. REF: SCHEDULES
10	PREFINISHED METAL GUTTER AND DOWNSPOUT. COLOR TO MATCH HOST WALL
11	EQUIPMENT SCREEN. REF: SITE DETAILS
12	EXISTING EXTERIOR WALL TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION
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16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



BUILDING USE SQUARE FOOTAGE

SHOWROOM	2,788 SF
SALES OFFICES	3,264 SF
CUSTOMER LOUNGE	1,300 SF
CUSTOMER RESTROOMS	662 SF
BREAKROOM & EMPLOYEE RESTROOMS	622 SF
BUILDING SUPPORT	253 SF
PARTS STORAGE	1,487 SF
SERVICE SHOP	15,344 SF
NEW VEHICLE DELIVERY	573 SF
SERVICE DRIVE	1,995 SF
SERVICE ADVISORS & CASHIER	840 SF
CASHIER AND RETAIL PARTS	1,074 SF

SITE PLAN KEYNOTES

#	NOTE
01	PAVING. REF: CIVIL
02	4" WHITE PARKING STRIPE. TYP. UNO
03	EV CHARGING STATION BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
04	EQUIPMENT SCREEN. REF: SITE DETAILS
05	EXISTING PAVING TO REMAIN. REF: CIVIL
06	EXISTING FIRE HYDRANT. REF: CIVIL
07	EXISTING TREE TO REMAIN. REF: LANDSCAPE
08	EXISTING PIPE RAIL FENCE. G.C. TO REPAIR AND REPAINT, EP-1
09	EXISTING LIGHT POLE TO REMAIN
10	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
11	EXISTING FIRE LANE
12	FIRE LANE - PAVEMENT MARKINGS, 6" WIDE RED PAINT WITH THE WORDS, "FIRE LANE - TOW AWAY ZONE" IN 4" WHITE LETTERS NO MORE THAN 25' ALTERNATING INTERVALS
13	CONCRETE CURB. REF: CIVIL
14	EXISTING PORTION OF CURB TO REMAIN. REF: CIVIL
15	CONCRETE SIDEWALK. REF: SITE DETAILS
16	LANDSCAPING. REF: CIVIL

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
448 W. 19TH ST.
HOUSTON, TEXAS 77008
713.992.4148

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.786.6076

PROJECT:
SOUTHWEST KIA OF
ROCKWALL

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

PRELIMINARY
NOT TO BE USED FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION
TBD	IFP	ISSUE FOR PERMIT

PROJECT NUMBER: LA2204

ISSUE DATE: 04.01.2024

SHEET NAME:

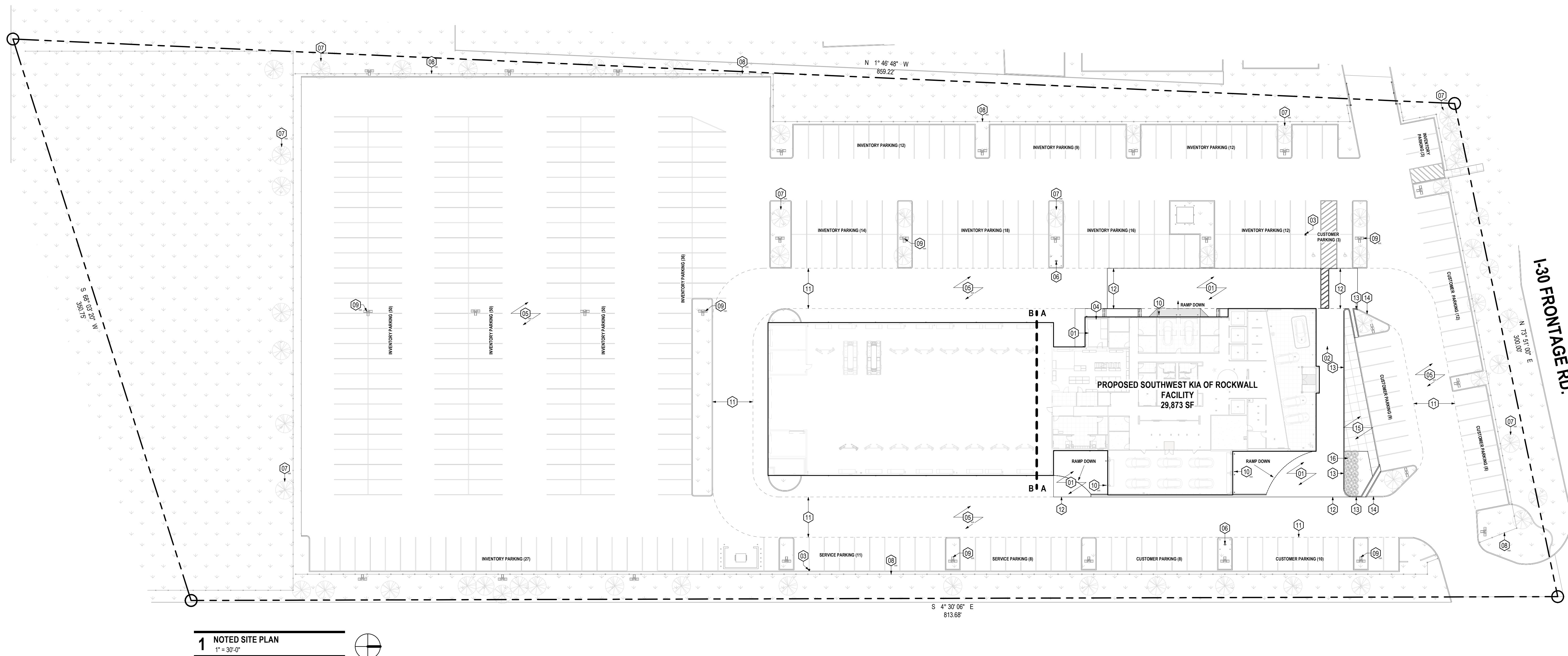
NOTED SITE PLAN

SHEET:

A102

CASE NUMBER: Z2024-010

© 2024 LOMA Architecture, LLC



1 NOTED SITE PLAN
1" = 32'-0"

LEGAL DESCRIPTION

260,988 sq. ft. - 5.9915 AC, Lot 1, Block 1, Rockwall Kia (recorded plat attached)

STATE OF TEXAS
COUNTY OF ROCKWALL

THEREAS SALAHOUN FAMILY, L.P. BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

PROPERTY DESCRIPTION

Being that certain tract of land situated in the John Lockhart Survey, Abstract No. 134, Rockwall County, Texas, being that certain tract of land described in deed to David Zalman (Trustee) as recorded in Volume 4605, Page 60, of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows;

BEGINNING at a found 5/8-inch iron rod on the southeast line of East Bound Service Road of I-30 at the northwest corner of said Zalman tract and being at the northeast corner of that certain tract of land described in deed to T. Devlon Corporation as recorded in Volume 1233, Page 28, said Deed Records;

THENCE North 73 degrees 51 minutes 00 seconds East, a distance of 300.00 feet along the southeast line of said East Bound Service Road of I-30 to a point at the northeast corner of said Zalman tract and being at the northwest corner of that certain tract of land described in deed to Michael L. Peoples, Sr... as recorded in Volume 1192, Page 145, said Deed Records;

THENCE South 04 degrees 30 minutes 06 seconds East, a distance of 813.68 feet along the east line of said Zalman tract to a found iron pipe at the southeast corner of said Zalman tract and being on the north line of that certain tract of land described in deed to Hitt Family Limited Partnership as recorded in Volume 1875, Page 238, of said Deed Records;

THENCE South 68 degrees 03 minutes 20 seconds West, a distance of 350.75 feet to a point at the southwest corner of said Zalman tract and being at the sootiest corner of aforesaid T. Devlon Corporation tract;

THENCE North 01 degree 46 minutes 48 seconds West, a distance of 859.22 feet along the west line of said Zalman tract to the POINT OF BEGINNING and containing 260,988 square feet or 5.992 acres of land.

NOW THEREFORE, KN'W ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the KIA Rockwall subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the KIA Rockwall subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city of secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement; but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city of secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. Owner responsible for maintenance and operation of detention pond.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Owner

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Shahab Salehoun known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

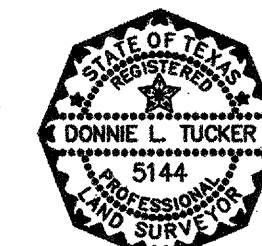
Given upon my hand and seal of office this 21 Day of Feb 2008

Kristi Platt
Notary Public in and for the State of Texas

3-25-2010
My Commission Expires:



LEGEND			
---	PIPE LINE	██████	BRICK
---	GAS LINE	██████	CONCRETE
---	OVERHEAD ELECTRIC LINE	██████	TRAFFIC SIGNAL CONTROL
---	OVERHEAD TELE. LINE	██████	TRAFFIC SIGNAL POLE
---	RAIL SEWER LINE	██████	LIGHT POLE
---	STORM SEWER LINE	██████	UTILITY POLE
---	UNDERGROUND ELECTRIC LINE	██████	ELECTRIC METER
---	UNDERGROUND TELE. LINE	██████	TRANSFORMER
---	WATER LINE	██████	GAS METER
---	CONCRETE	██████	GAS VALVE
---	EDGE OF ASPHALT	██████	GAS LED
---	WOOD FENCE	██████	FIRE HYDRANT
---	WIRE FENCE	██████	WATER METER
---	IRON FENCE	██████	WATER VALVE
---	CHAIRLINK FENCE	██████	IRRIGATION CONTROL VALVE
---	COLUMNS	██████	
---		██████	



Donnie L. Tucker
R.P.L.S. #5144

OWNER: SALAHOUN FAMILY, L.P.
39638 LBJ FREEWAY
DALLAS, TX. 75232
PHONE: 972-283-9797
FAX: 972-283-5862

FINAL PLAT -- PAGE 2 OF 2
 260,988 SQ. FT. -- 5.9915 AC.
 LOT 1, BLOCK 1, ROCKWALL KIA
 1790 EAST I-30
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

DRAWN BY:	DT
CHECKED BY:	DT
SCALE:	N.T.S.
DATE:	01/26/08
JOB NO.:	08-1500
GP NO.:	
MAPBOOK NO.:	

RECOMMENDED FOR FINAL APPROVAL

CW Bricker 3/25/08
 Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 15th day of February, 2008.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this 24th day of March, 2008.

William R. Cecil Kristy Ashberry
 Mayor, City of Rockwall City Secretary

Chuck Add
 City Engineer

SURVEYORS CERTIFICATE

I hereby certify that on the 21st day of November, 2006, this survey was made on the ground as per the field notes shown on this survey and is true, correct, and accurate as to the boundaries and area of the subject property and the size, location, and type of buildings and improvements thereon, if any, and as to the other matters shown hereon, and correctly shows the location of all visible easements and rights-of-way and of all rights-of-way, easements, and any other matters of record, or of which I have knowledge of have been advised, whether or not of record, affecting the subject property, and the location of all curb cuts and driveways, if any.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, (Name) Donnie L. Tucker, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

(Name) Donnie L. Tucker, Registered Public Surveyor No. 5144.

DT

G-280

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS AND AN ACCESSORY MAJOR AUTO REPAIR GARAGE ON A 5.9613-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK 1, ROCKWALL KIA ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBITS 'A' AND 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership for Cars and Light Trucks* and an accessory *Major Auto Repair Garage* to allow the expansion of an existing *New Motor Vehicle Dealership* being a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall Kia Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and being more specifically depicted and described in *Exhibits 'A' and 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that *Ordinance No. 22-02 [S-266]* the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 22-02*.

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *New Motor Vehicle Dealership for Cars and Light Trucks* and

accessory *Major Auto Repair Garage* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, and Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

3.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New Motor Vehicle Dealership for Cars and Light Trucks* and an accessory *Major Auto Repair Garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
- (2) No vehicle display areas shall be permitted within the required landscape buffer along the E. IH-30 frontage road.
- (3) Motor vehicle inventory for the existing *New Motor Vehicle Dealership for Cars and Light Trucks* and/or *Major Auto Repair Garage* shall not be parked/stored on an unimproved surface.
- (4) The outside storage of tires or any other automotive parts shall be prohibited.
- (5) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.

3.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)* and/or building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF MAY, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 15, 2024

2nd Reading: May 6, 2024

Exhibit 'A'
Zoning Exhibit

Address: 1790 E. IH-30

Legal Description: Lot 1, Block 1, Rockwall Kia Addition

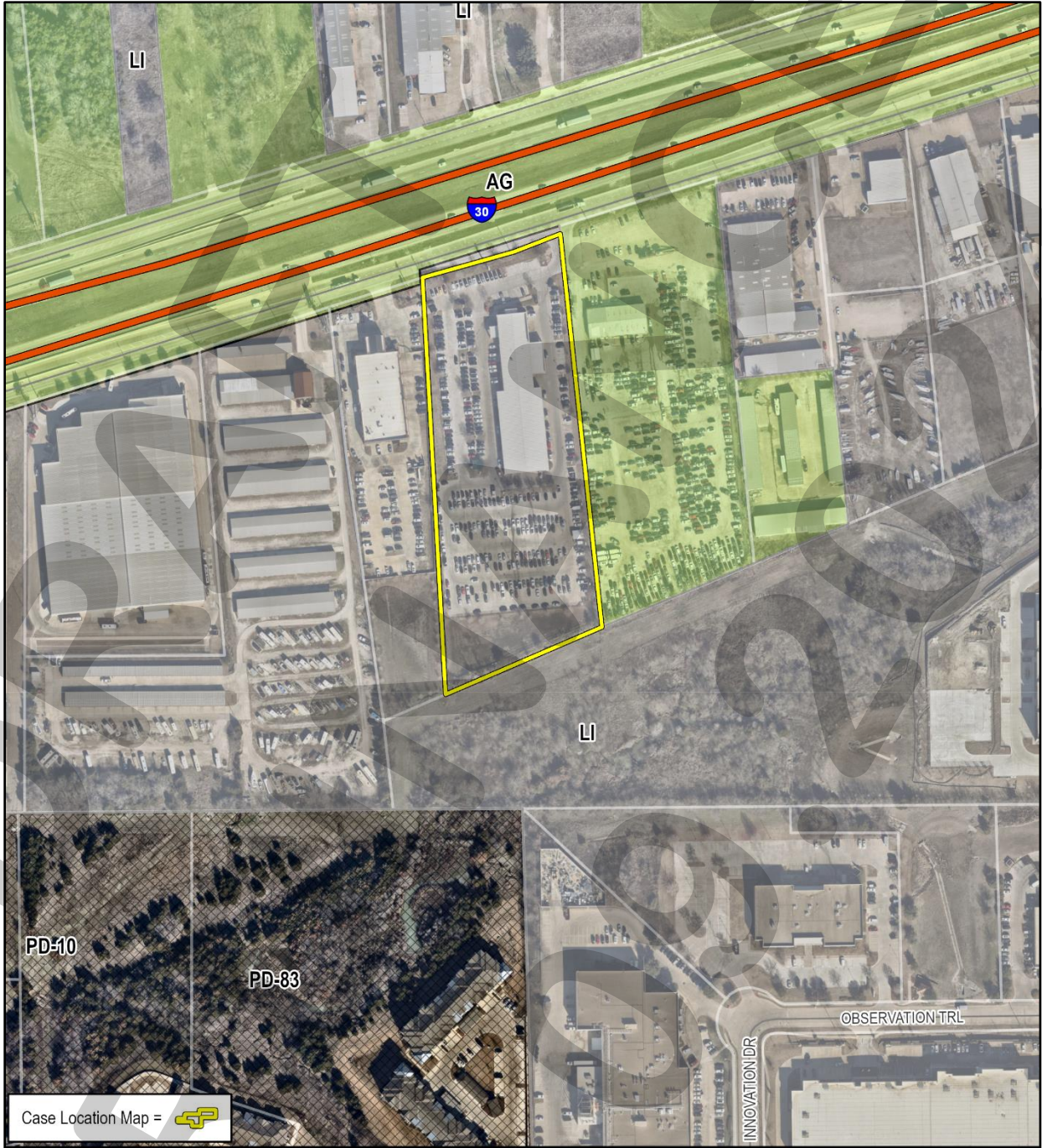
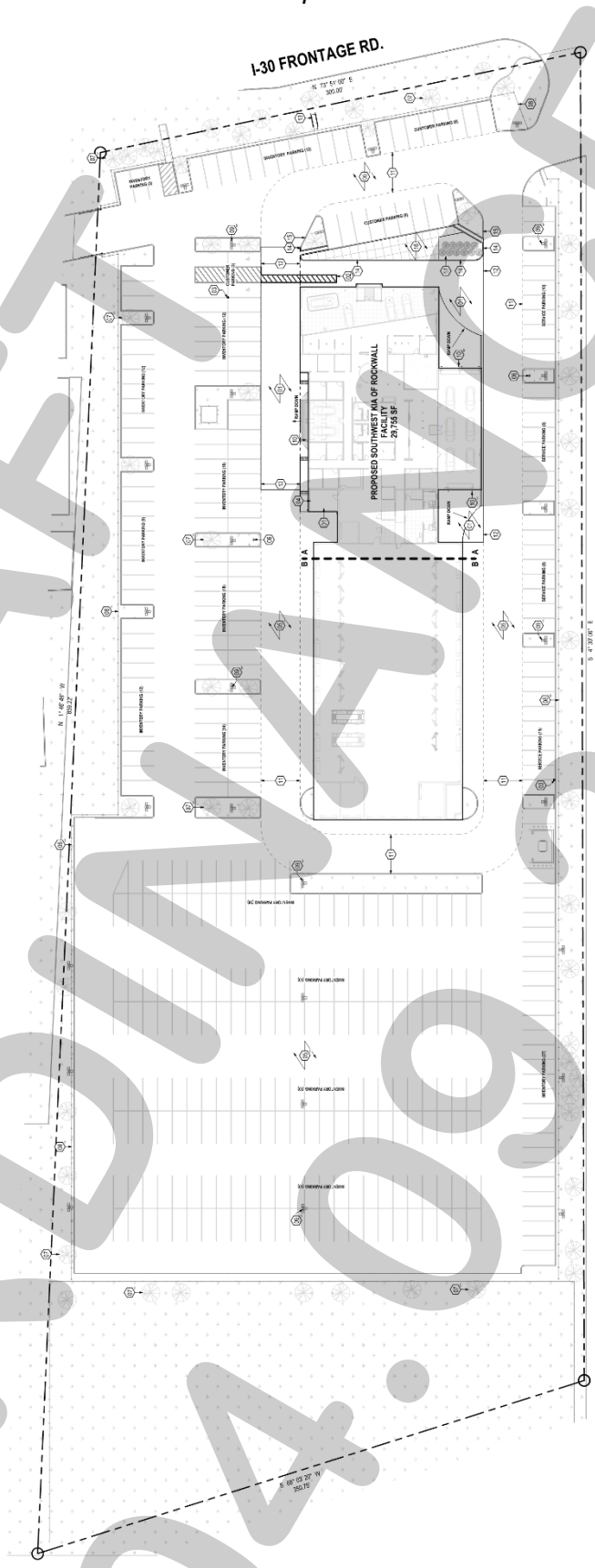


Exhibit 'B':
Concept Plan





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: April 15, 2024

APPLICANT: Mark Fernandez; *Lithia C/O Golden Property Development, LLC*

CASE NUMBER: Z2024-010; *Specific Use Permit (SUP) for the Expansion of an Existing Motor Vehicle Dealership 1790 E. IH-30*

SUMMARY

Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a *Specific Use Permit (SUP)* for a *New Motor Vehicle Dealership for Cars and Light Trucks* to allow the expansion of an existing *New Motor Vehicle Dealership* on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary.

BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 5, 2006 when the City Council approved *Ordinance No. 06-19 (Case No. Z2006-007)* changing the zoning to a Light Industrial (LI) District. On June 12, 2007, the Planning and Zoning Commission approved a site plan and preliminary plat (*Case No. SP2007-013; Case No. P2007-014*) to allow the construction of a *New Motor Vehicle Dealership for Cars and Light Trucks*, and on June 18, 2007, the City Council approved the preliminary plat and denied a variance to the cross-access requirements of the IH-30 Overlay District. On February 18, 2008, the City Council approved a final plat (*Case No P2008-005*) that establish the subject property as Lot 1, Block 1, Rockwall KIA Addition.

Staff should note that all *New Motor Vehicle Dealership for Cars and Light Trucks* are required to receive a Specific Use Permit (SUP) within the Light Industrial (LI) District. In this case, before 2008 the Unified Development Code (UDC) did not require *New Motor Vehicle Dealership for Cars and Light Trucks* to obtain a SUP. Given that the *New Motor Vehicle Dealership for Cars and Light Trucks* on the subject property began the development process before the Unified Development Code (UDC) changed, their land use was considered to be vested or legally conforming after the change was made to require the SUP. Recently, the applicant approached staff about increasing the size of the *New Motor Vehicle Dealership*. According to Section 04, *Board of Adjustments*, of Article 02, *Development Review Authority*, of the Unified Development Code (UDC), to expand a non-conforming land use the applicant could either [1] submit a request to the Board of Adjustments (BOA) requesting approval of the expansion, or [2] submit a development application for a Specific Use Permit (SUP) in order to bring the land use into conformance with the current Unified Development Code (UDC). In this case, the applicant opted to request the Specific Use Permit (SUP).

PURPOSE

The applicant -- *Mark Fernandez of Lithia C/O Golden Property Development, LLC* -- is requesting approval of a Specific Use Permit (SUP) to allow for the expansion of an existing *New Motor Vehicle Dealership for Cars and Light Trucks*, and *Major Auto Repair Garage* as an accessory land use in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1790 E. IH-30 and is currently being used as a *Motor Vehicle Dealership* (i.e. *Southwest Kia of Rockwall*), with a *Major Automotive Repair Garage* as an accessory use. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the intersection of Conveyor Street and the westbound frontage road. On the west side of Conveyor Street are two (2) parcels of land (i.e. *part of Lot 1, Block C, Rockwall Commercial Park Addition; Tract 5-1 of the J. Lockhart Survey, Abstract No. 134*) developed with a *Pawn Shop* (i.e. *Rockwall Pawn*) and an *Office/Warehouse* (i.e. *Firehouse Heating and Air*). Both properties are zoned Light Industrial (LI) District. East of Conveyor Street are two (2) parcels of land (i.e. *two (2) parts of Lot 1, Block D, Rockwall Commercial Park Addition*) zoned Commercial (C) District. One (1) property is developed with a *Building and Landscape Material Supply Company* (i.e. *A-1*) followed by a vacant parcel.

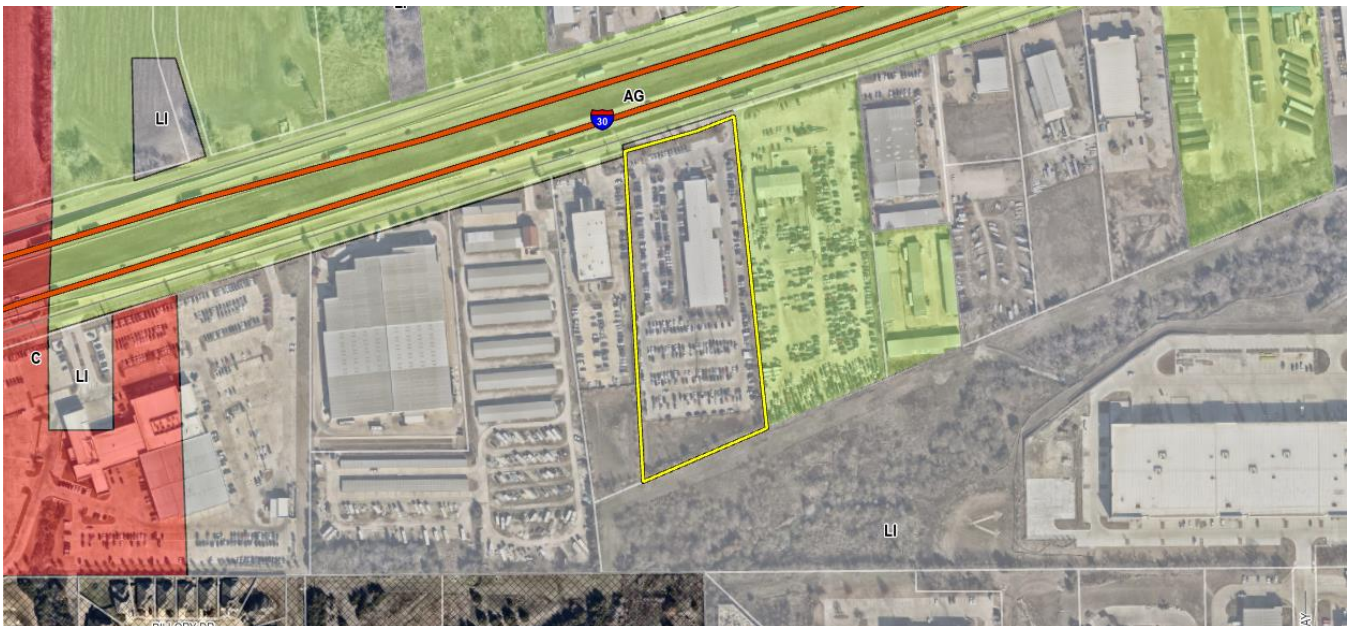
South: Directly south of the subject property is a 43.237-acre parcel of land (i.e. *Lot 1, Block A, Stream 549 Addition*) developed with a ~301,120 SF *Warehouse/Distribution Center*. Beyond this is an 8.482-acre parcel of land (i.e. *Lot 8, Block C, Rockwall Technology Park Addition*) developed with a *Warehouse/Distribution Center*. Both properties are zoned Light Industrial (LI) District.

East: Directly east of the subject property are two (2) tracts of land (i.e. *Tracts 9-01 & 9-10 of the J. Lockhart Survey, Abstract No. 134*) developed with Light Industrial (LI) land uses (i.e. *Auto Auction; Mini-Warehouse*) and are zoned Agricultural (AG) District. Beyond this are several tracts of land (i.e. *Tract 9-02 & 9-5 of the J. Lockhart Survey, Abstract No. 134; Lots 1 & 2, DBK Addition; Lot 1, Block A, K. H. D. Inc. Subdivision; Lot 1, Block 1, Cavender's Addition*) zoned Light Industrial (LI) District.

West: Directly west of the subject property are three (3) parcels of land (i.e. *Lot 1, Block A, Service King IH-30 Addition; Lots 1 & 2, Block A, McKeown-Belaustegui Addition*) developed with industrial land uses (i.e. *Auto Repair, Mini-Warehouse, and Recreational Vehicle Repair*) and are zoned Light Industrial (LI) District. Beyond this is a 14.7506-acre parcel of land (i.e. *Lot 1, Block A, Nissan of Rockwall Addition*) developed with a *New Motor Vehicle Dealership for Cars and Light Trucks* (i.e. *Cavender Nissan Rockwall*) zoned Light Industrial (LI) District and Commercial (C) District.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST AND CONFORMANCE WITH THE CITY'S CODE

Along with the development application, the applicant submit a site plan and building elevations. Based on the site plan submitted by the applicant, the existing *Office/Sales Floor* will be increased by ~2,000 SF, with minor grade changes being proposed in front of the proposed building (*i.e. between the front façade and the parking area adjacent to IH-30*) to address current drainage issues. They are not requesting to change any other aspects of the site (*i.e. fire lanes, parking, vehicle delivery, etc.*). Staff has included this site plan into the draft ordinance in order to generally tie down what the applicant is proposing. With that being said, based on the building elevations provided by the applicant there will need to be variances approved in association with the building design. Given this, staff did not include the building elevations in the draft ordinance. This will allow the Architectural Review Board (ARB) and the Planning and Zoning Commission greater flexibility in making recommendations at the time of site plan, and the applicant greater flexibility when proposing changes to the façade of the building in the future (*e.g. when making minor changes for rebranding purposes*).

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *New Motor Vehicle Dealership for Cars and Light Trucks* is defined as the "(r)etail sales of new automobiles or light load vehicles, including, as a minor part of the business, the sale of used automobiles or light load vehicles and the service of new or used vehicles within an area or enclosed building." In addition, Article 04, *Permissible Uses*, of the Unified Development Code (UDC) sets forth the following *Conditional Land Use Standards* for this land use: [1] all outside display of vehicles must be on an approved concrete, or enhanced concrete surface, and [2] all vehicle display areas must meet the landscape standards for parking areas. Currently, the subject property is considered to be in compliance with item one (1) of these requirements. The landscaping on the site was originally approved in 2007, and is considered to be legally non-conforming; however, staff has informed the applicant that at the time of site plan they will be required to meet the current landscaping requirements of the *General Overlay District Standards* in accordance with the Unified Development Code (UDC).

With regard to the *Major Automotive Repair Garage* land use, Article 13, *Definitions*, of the Unified Development Code (UDC) defined a *Major Automotive Repair Garage* as consisting of "(m)ajor repair, rebuilding or reconditioning of engines, transmissions, or other major components for motor vehicles; collision services including body, frame, or fender straightening or repair; customizing; overall painting or paint shop; automotive glass and upholstery; those uses listed under *Minor Auto Repair Garage*, and other similar uses. All repair work shall be performed inside an enclosed building. Vehicles shall not be stored on site no longer than 90-days." Article 04, *Permissible Uses*, of the Unified Development Code (UDC) goes on to list the *Conditional Land Use Standards* for this land use as [1] garage doors shall not face a public right-of-way, park or open space, or residentially zoned or used property, and [2] vehicles, equipment, parts or inventory shall not be stored outside overnight unless granted by the Planning and Zoning Commission and City Council through Specific Use Permit (SUP). In this case, the proposed *Major Automotive Repair Garage* bay doors do not face onto a public right-of-way, park or open space, or residentially used property; however, they face onto residentially zoned property. Directly adjacent to the subject property -- *to the east* -- is an Agriculturally zoned property. According to Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, of the Unified Development Code (UDC), an Agricultural (AG) District is considered a residential zoning designation. In this case, the adjacent property is zoned Agricultural (AG) District, but is developed with a Light Industrial (LI) land use, and is designated as being in the Special Commercial Corridor per the *Future Land Use Map* contained in the OURHometown Vision 2040 Comprehensive Plan. Given that the adjacent property is currently not developed as a residential property, the property is not designated as residential in the future, and the *Major Automotive Repair Garage* is existing, this does not appear to create issues with the intent of the *Conditional Land Use Standards*.

STAFF ANALYSIS

Today, the existing *New Motor Vehicle Dealership for Cars and Light Trucks*, and accessory *Major Auto Repair Garage* land uses are considered legally non-conforming per the current *Land Use Schedule* contained within Article 04, *Permissible Uses*, of the Unified Development Code (UDC). To facilitate the expansion of the of the existing *New Motor Vehicle Dealership*, the applicant is requesting a Specific Use Permit (SUP) for the *New Motor Vehicle Dealership for Cars and Light Trucks*, and *Major Auto Repair Garage* as an accessory use in order to bring land uses established on the subject property into conformance with the current requirements. In addition, the applicant will be subject to the building and landscape requirements outlined in the *General Overlay District Standards* and Article 08, *Landscape and Fence Standards*, contained within the Unified Development Code (UDC) at the time of site plan. Given this, the applicant is bringing the property closer into conformance with the standards outlined within the Unified Development Code (UDC).

Staff should note that the applicant submit building elevations that appear to require variances for approval. Given this, staff opted to have these reviewed at the time of site plan to allow the Architectural Review Board (ARB) and the Planning and Zoning Commission greater flexibility in making recommendations related to design, and allow the applicant greater flexibility in changing the exterior of the dealership in the future (*i.e. it will only require an amended site plan as opposed to having to amend the Specific Use Permit [SUP] first*). With this being said, requests for Specific Use Permits (SUPs) are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On March 19, 2024, staff mailed 28 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) returned notice in-favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for the expansion of an existing *Motor Vehicle Dealership* and accessory *Major Auto Repair Garage*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
 - (b) No vehicle display areas shall be permitted within the required landscape buffer along the E. IH-30 frontage road.
 - (c) Motor vehicle inventory for the existing *New Motor Vehicle Dealership for Cars and Light Trucks* and/or *Major Auto Repair Garage* shall not be parked/stored on an unimproved surface.
 - (d) The outside storage of tires or any other automotive parts shall be prohibited.
 - (e) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.
- (2) The applicant will be required to submit a site plan with building elevations, a material sample board, a landscape plan, and photometric plan prior to the submittal of engineering plans or the issuance of a building permit.
- (3) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the SUP by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1790 I-30 Frontage Rd

SUBDIVISION Rockwall Kia

LOT 1 BLOCK 1

GENERAL LOCATION South side of East I-30, 1785'+- from John King Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Existing Southwest KIA Car Dealership

PROPOSED ZONING SUP (New & Used Motor Vehicle Dealership)

PROPOSED USE Existing Southwest KIA Car Dealership to remain

ACREAGE 5.9915

LOTS [CURRENT] 1

1

LOTS [PROPOSED] 1

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Zohreh Malek

APPLICANT Lithia c/o Golden Property Development, LLC

CONTACT PERSON

CONTACT PERSON Mark Fernandez

ADDRESS 3845 Oak Lawn Ave

ADDRESS 20025 E Country Hollow Dr

CITY, STATE & ZIP Dallas TX 75219

CITY, STATE & ZIP Walnut, CA 91789

PHONE 214-727-7422

PHONE 909-573-2765

E-MAIL zohreh7@gmail.com

E-MAIL mark@goldenpropertydevelopment.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zohreh Malek [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 289.42 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 1st DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 1st DAY OF March, 2024.

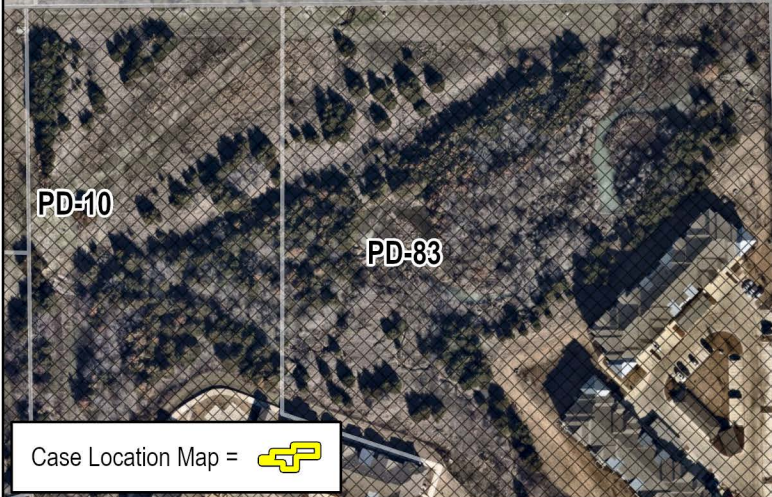
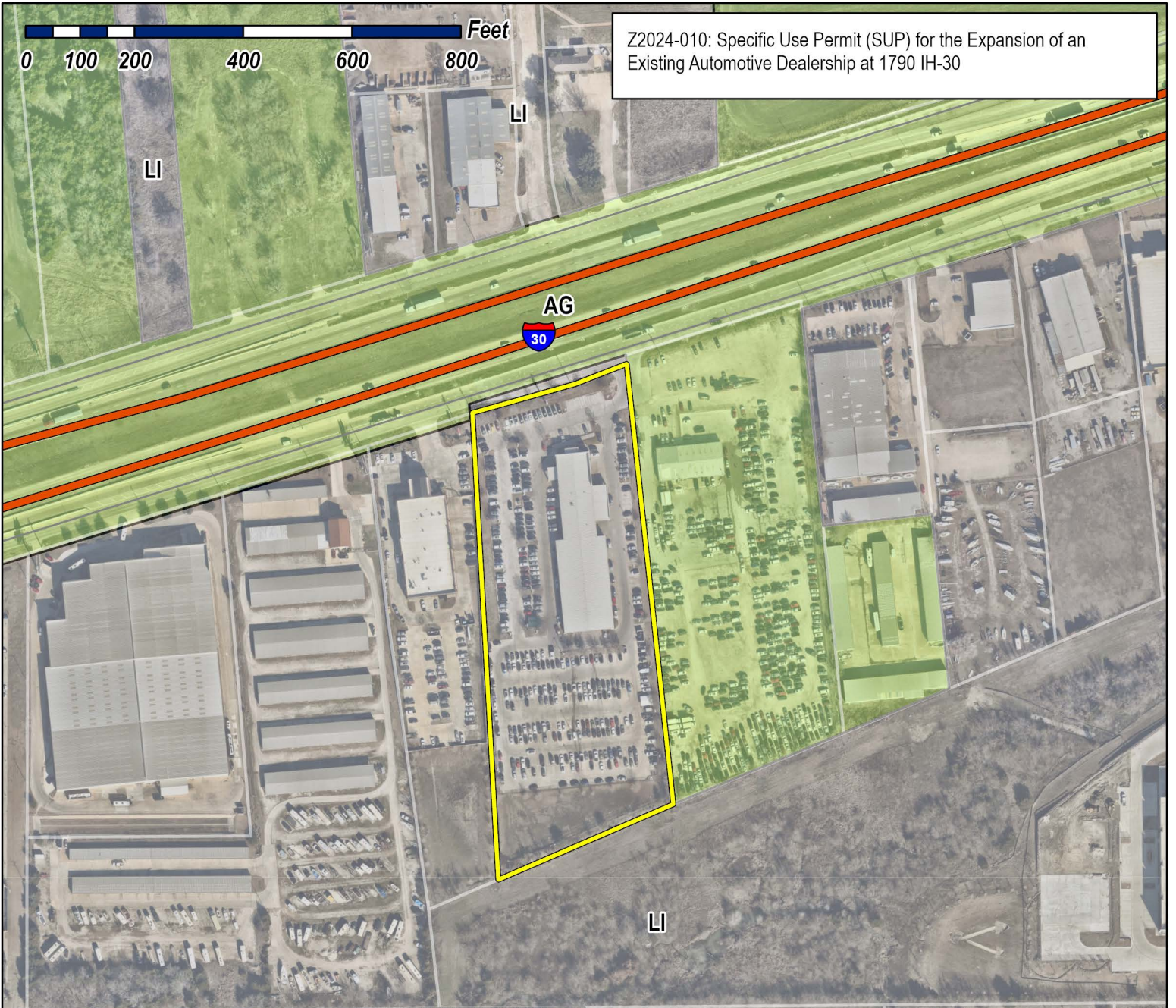
OWNER'S SIGNATURE Zohreh Malek

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS C. Hughes



0 100 200 400 600 800 Feet

Z2024-010: Specific Use Permit (SUP) for the Expansion of an Existing Automotive Dealership at 1790 IH-30



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

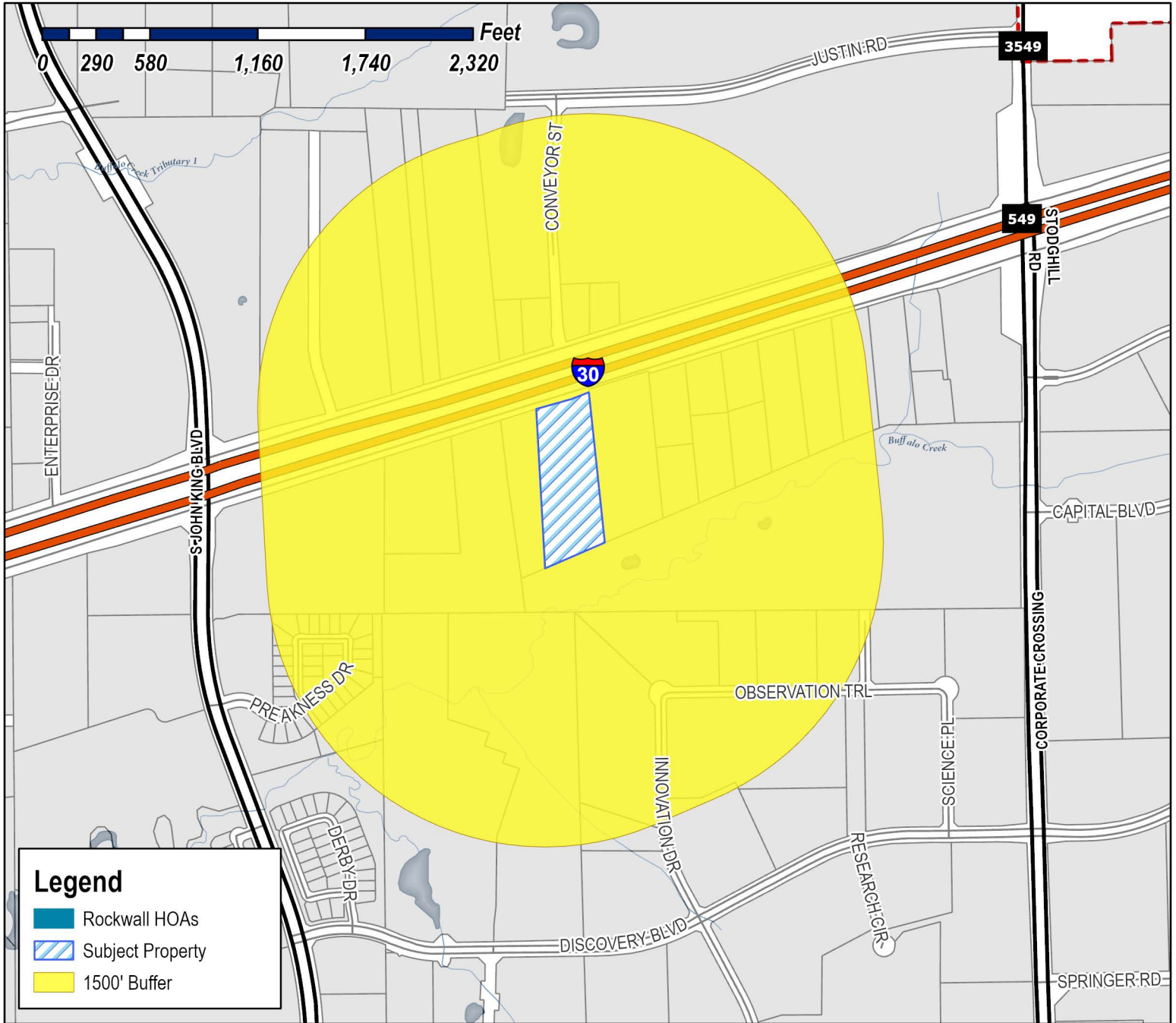




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-010
Case Name: SUP for the Expansion of an Existing Automotive Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1790 IH-30

Date Saved: 3/11/2024
 For Questions on this Case Call (972) 771-7745

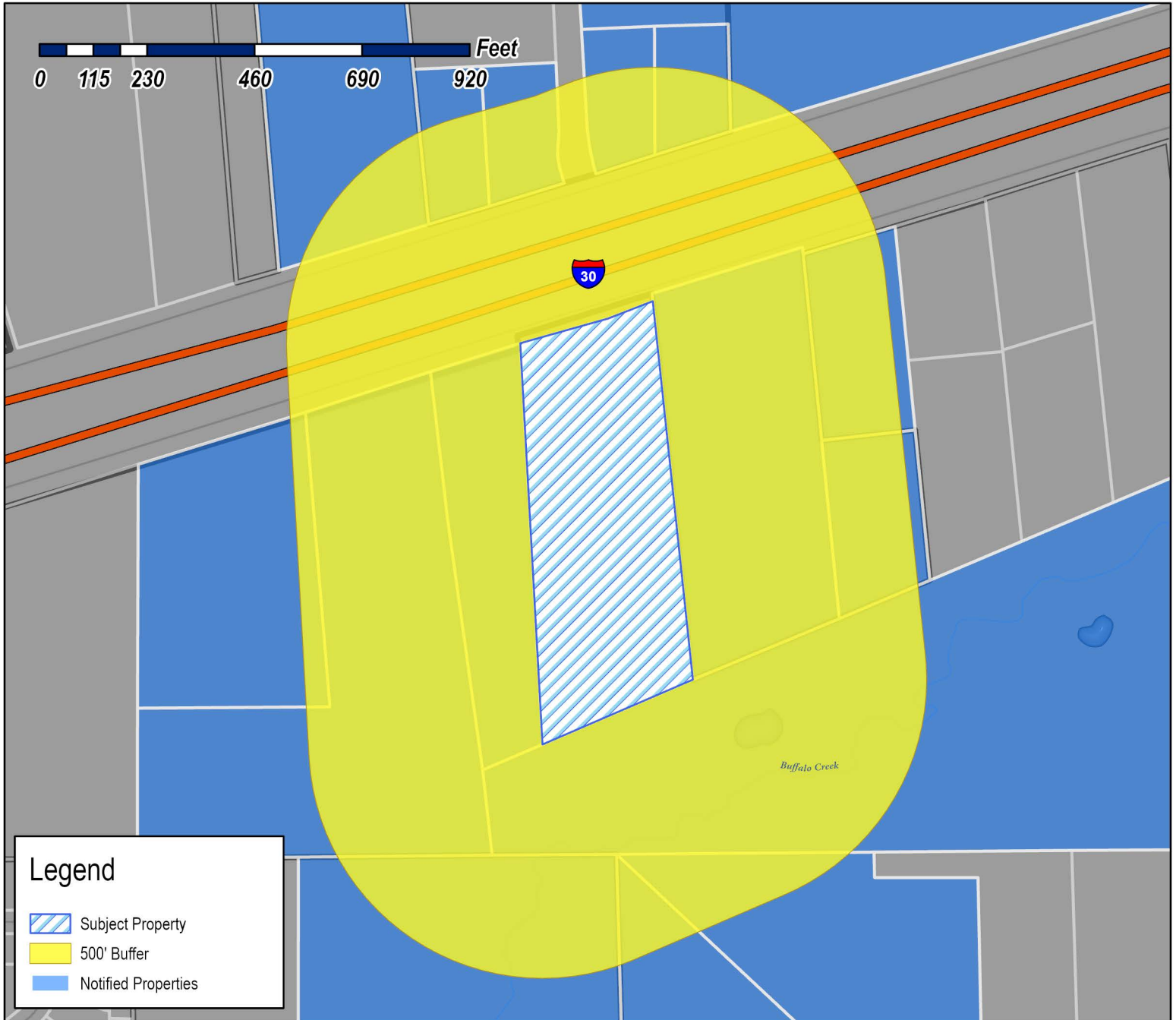




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For Questions on this Case Call: (972) 771-7746



LINE 5 HOLDINGS LP
1201 N RIVERFRONT BLVD SUITE 100
DALLAS, TX 75207

DEN-MAR ENTERPRISES INC
124 MONT BLANC DR
HEATH, TX 75032

RAFIZADEH M & M FAMILY LTD
C/O REPUBLIC MOTORSPORTS INC
12707 SOUTHWEST FREEWAY
STAFFORD, TX 77477

RESIDENT
1515 CORPORATE CROSSING
ROCKWALL, TX 75087

PRITCHARD DONNA CULLINS &
KIMBERLY CULLINS COLLICCHIO TRUSTEES
1610 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1635 INNOVATION DR
ROCKWALL, TX 75087

RESIDENT
1750 E I30
ROCKWALL, TX 75087

RESIDENT
1760 E I30
ROCKWALL, TX 75087

RESIDENT
1785 E I30
ROCKWALL, TX 75087

RESIDENT
1790 E I30
ROCKWALL, TX 75087

RESIDENT
1795 I30
ROCKWALL, TX 75087

RESIDENT
1805 E I30
ROCKWALL, TX 75087

RESIDENT
1810 S I30
ROCKWALL, TX 75087

RESIDENT
1820 E I30
ROCKWALL, TX 75087

SELF SCOTT & JANET
1830 E INTERSTATE 30 STE 100
ROCKWALL, TX 75087

RESIDENT
2350 DISCOVERY BLVD
ROCKWALL, TX 75087

RESIDENT
2610 OBSERVATION TRL
ROCKWALL, TX 75087

JBC LAND & CATTLE COMPANY LLC
2905 DUBLIN
PARKER, TX 75002

SALEHOUN FAMILY LIMITED PARTNERSHIP
39650 LYNDON B JOHNSON FWY
DALLAS, TX 75237

WESTCORE BRAVO ROCKWALL LLC
4350 LA JOLLA VILLAGE DR STE 900
SAN DIEGO, CA 92122

ROCKWALL STORAGE SOLUTIONS LLC
447 STEVENS RD
ROCKWALL, TX 75032

MIDDLE BROOKS HOLDINGS LLC
513 SAINT MARY ST
ROCKWALL, TX 75087

SWBC RW2, LP
5949 SHERRY LN SUITE 750
DALLAS, TX 75225

ROCKWALL 549/I30 PARTNERS LP
8750 N CENTRAL EXPWY SUITE 1735
DALLAS, TX 75231

CONVEYOR I30 PARTNERS LP
8750 N CENTRAL EXPY SUITE 1735
DALLAS, TX 75231

AMBATIELOS EVANGELOS & VASILIKI
JAMES E ZAFERIS & JOANNA ZAFERIS
P. O. BOX 86404
LOS ANGELES, CA 90086

ROCKWALL AA RE LLC
PO BOX 775
ROYSE CITY, TX 75189

THACKER DENNIS ALAN TESTAMENTARY TRUST
AND
LINDA THACKER LAHOOD AND JOSHUA ALAN
THACKER
PO BOX 8693
GREENVILLE, TX 75404

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-010: SUP for the Expansion of an Existing Automotive Dealership

Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a New Motor Vehicle Dealership for Cars and Light Trucks to allow the expansion of an existing New Motor Vehicle Dealership on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-010: SUP for the Expansion of an Existing Automotive Dealership

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: Donna Cullins Pritchard
Address: 1610 Shores Blvd - Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



March 4, 2024

City of Rockwall
Planning & Zoning Department
Attn: Henry Lee
385 S. Goliad Street
Rockwall, TX 75087

Re: Proposed Southwest Kia Car Dealership Remodel and Expansion
Special Use Permit (SUP) Request
Letter of Explanation
1790 I-30 Frontage Rd
Rockwall, TX 75087

Mr. Lee:

Please use this Letter of Explanation as a formal request to process a Special Use Permit (SUP) for a Proposed Southwest Kia Car Dealership Remodel and Expansion. Lithia Motors, Inc., owners of the existing and operational Southwest Kia Dealership located at 1790 I-30 Frontage Rd, are filing for a SUP to permit the car dealership use and expansion as it is currently a legal non-conforming use.

Introduction:

Southwest Kia of Rockwall embarks on a transformative project aimed at enhancing its facility to better serve customers and align with Kia's latest brand image. The project includes the demolition of the existing showroom and service drive, followed by the construction of a new showroom and service drive facility designed to mitigate flooding risks and improve operational efficiency. Additionally, the project includes repainting the existing building exterior and implementing new interior and exterior finishes to reflect Kia's updated brand aesthetics.

Key Items:

- Demolition of Existing Showroom and Service Drive:
 - The project begins with the demolition of the current showroom and service drive to pave the way for the construction of a modernized facility.



- Construction of New Showroom and Service Drive:
 - The new showroom and service drive facility will be elevated to prevent flooding issues resulting from existing grades, ensuring operational continuity even during adverse weather conditions.
 - Careful consideration will be given to architectural design and structural integrity to meet both aesthetic and functional requirements.
 - Sales functions and operations will continue to operate out of temporary trailers.
 - When completed the facility would have increased in size by approximately 2,050 sf.

- Limited Paving Scope for Storm Water Drainage:
 - The paving scope will be optimized to efficiently surface drain stormwater, reducing the risk of flooding and water damage on the premises.
 - Drainage systems will be strategically integrated to manage stormwater runoff effectively.
 - All existing fire lanes will remain in their existing configuration.

- Repainting Existing Building Exterior:
 - The existing building exterior will undergo repainting to rejuvenate its appearance and align it with Kia's latest brand image.
 - High-quality paint materials resistant to weathering and fading will be selected to ensure long-term visual appeal.

- New Interior and Exterior Finishes:
 - All interior and exterior finishes will be replaced to reflect Kia's updated brand aesthetics, creating a cohesive and inviting atmosphere for customers and staff.
 - Finishes will prioritize durability, ease of maintenance, and visual appeal to uphold the brand's standards and enhance customer experience.



Conclusion:

The Southwest Kia of Rockwall renovation project represents a significant investment in modernizing and improving the dealership facility. Through the demolition of the existing showroom and service drive, construction of a new elevated facility, optimization of stormwater drainage, repainting of the building exterior, and implementation of new interior and exterior finishes, the dealership aims to enhance functionality, aesthetics, and brand alignment. This endeavor underscores Southwest Kia's commitment to providing exceptional service and maintaining a strong brand presence in the City of Rockwall's automotive market.

Sincerely,

Mark Fernandez
Lithia Motors, Inc. c/o Golden Property Development, LLC
909-573-2765
mark@goldenpropertydevelopment.com

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
448 W. 19TH ST.
HOUSTON, TEXAS 77008
713.992.4148

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.786.6076

PROJECT:
SOUTHWEST KIA OF
ROCKWALL

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

PRELIMINARY
NOT TO BE USED FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION
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PROJECT NUMBER: LA2204

ISSUE DATE: 02.20.2024

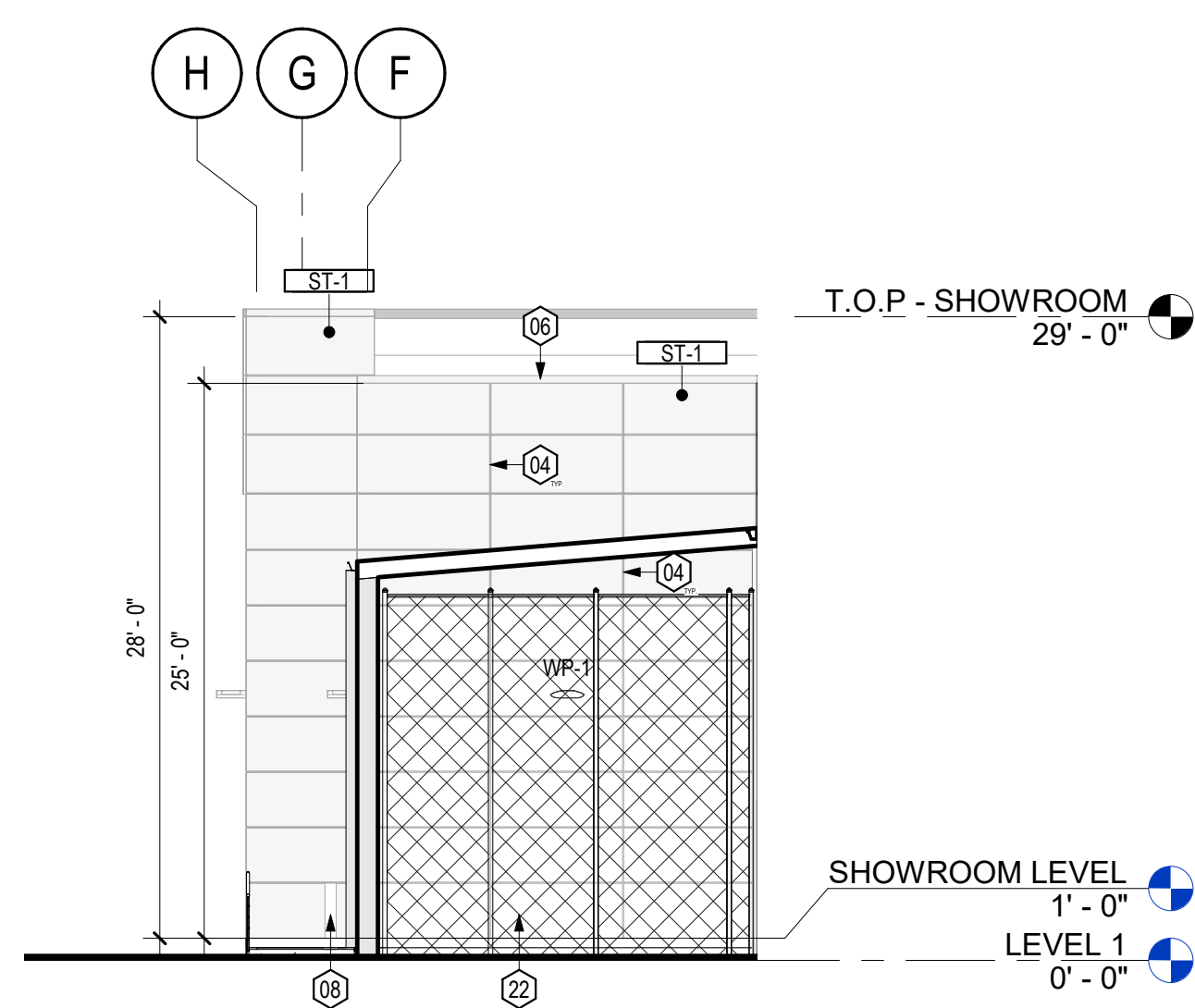
SHEET NAME:

EXTERIOR BUILDING ELEVATIONS

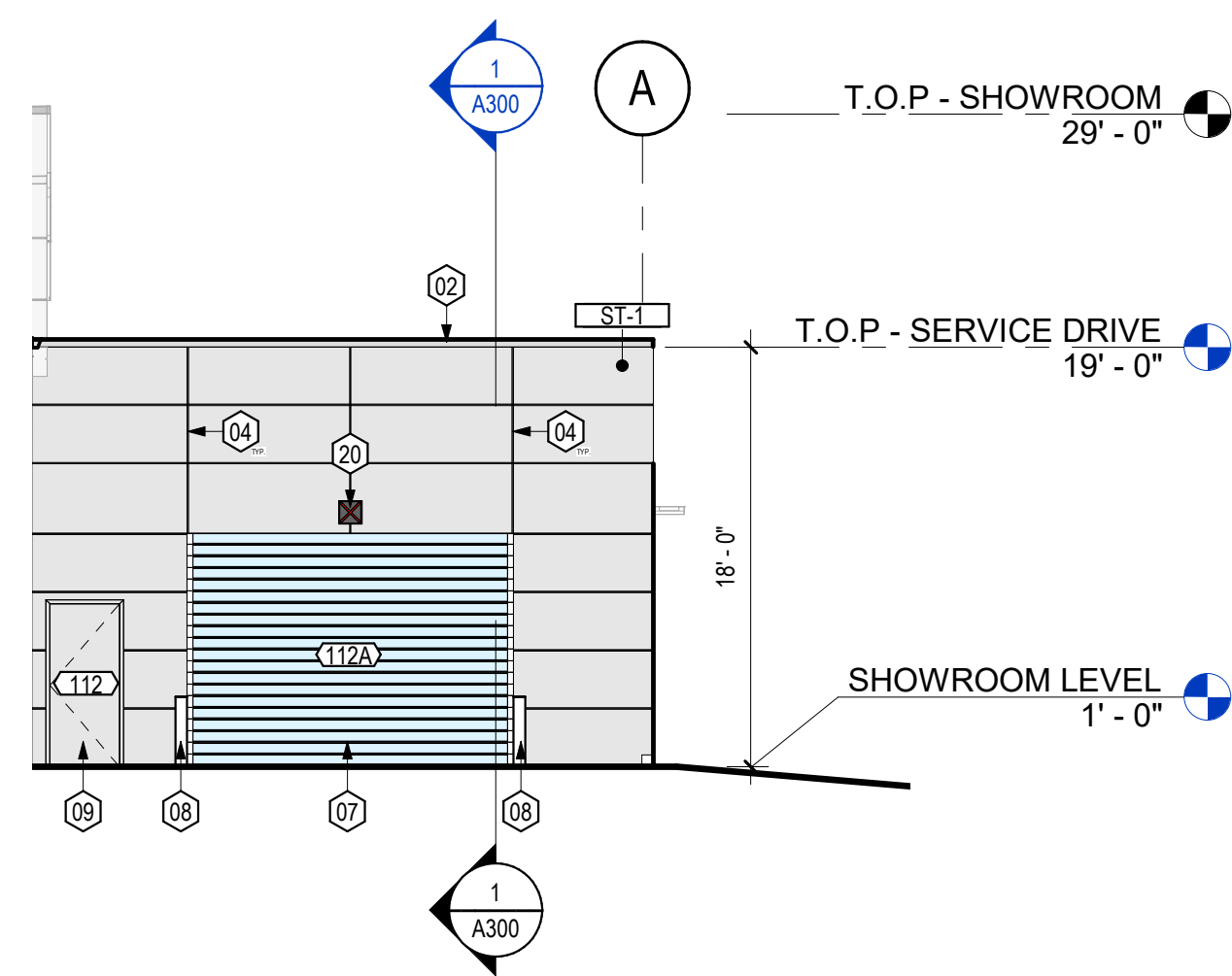
SHEET:

A200

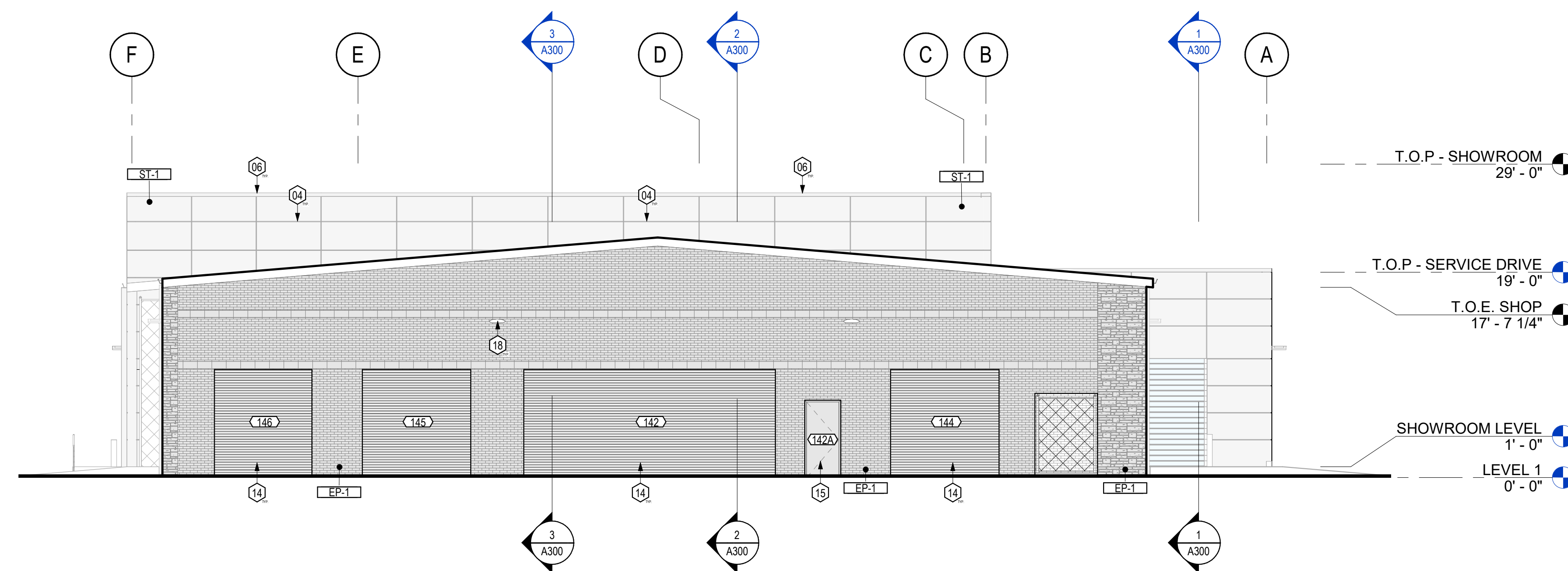
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
07	OVERHEAD DOOR. REF: SCHEDULES
08	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
09	MAN DOOR. REF: SCHEDULES
10	PREFINISHED METAL GUTTER AND DOWNSPOUT. COLOR TO MATCH HOST WALL
11	EQUIPMENT SCREEN. REF: SITE DETAILS
12	EXISTING EXTERIOR WALL TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION
13	EXISTING MECHANICAL LOUVER TO REMAIN
14	EXISTING OVERHEAD DOOR TO REMAIN. PAINT AS SCHEDULED
15	EXISTING DOOR AND FRAME TO REMAIN. PAINT AS SCHEDULED
16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



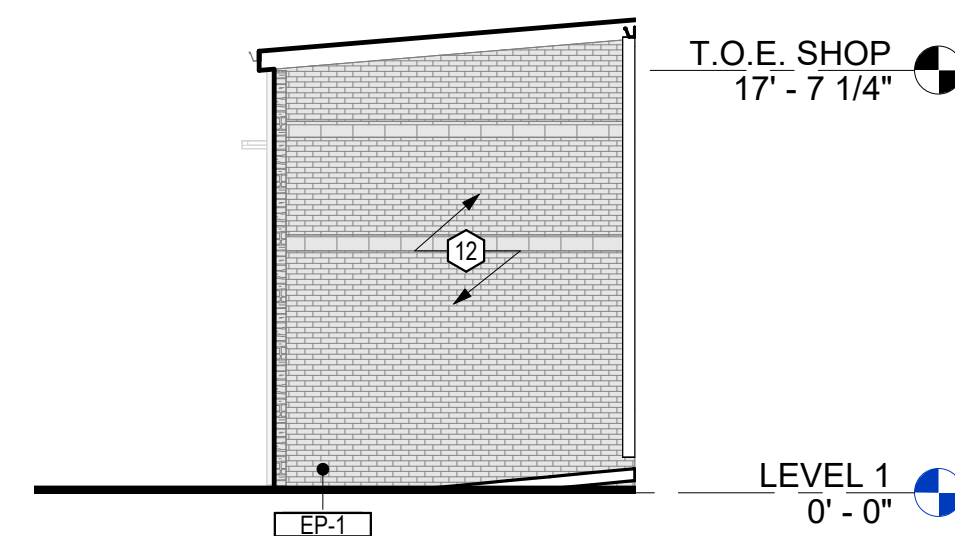
6 EXTERIOR BUILDING ELEVATION @ NVD - SOUTH
1/8" = 1'-0"



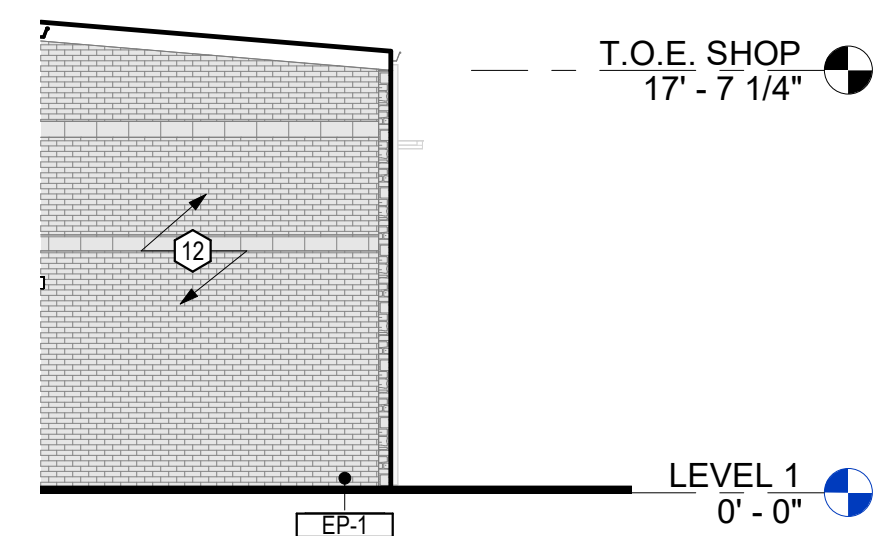
5 EXTERIOR BUILDING ELEVATION @ SERVICE DRIVE - SOUTH
1/8" = 1'-0"



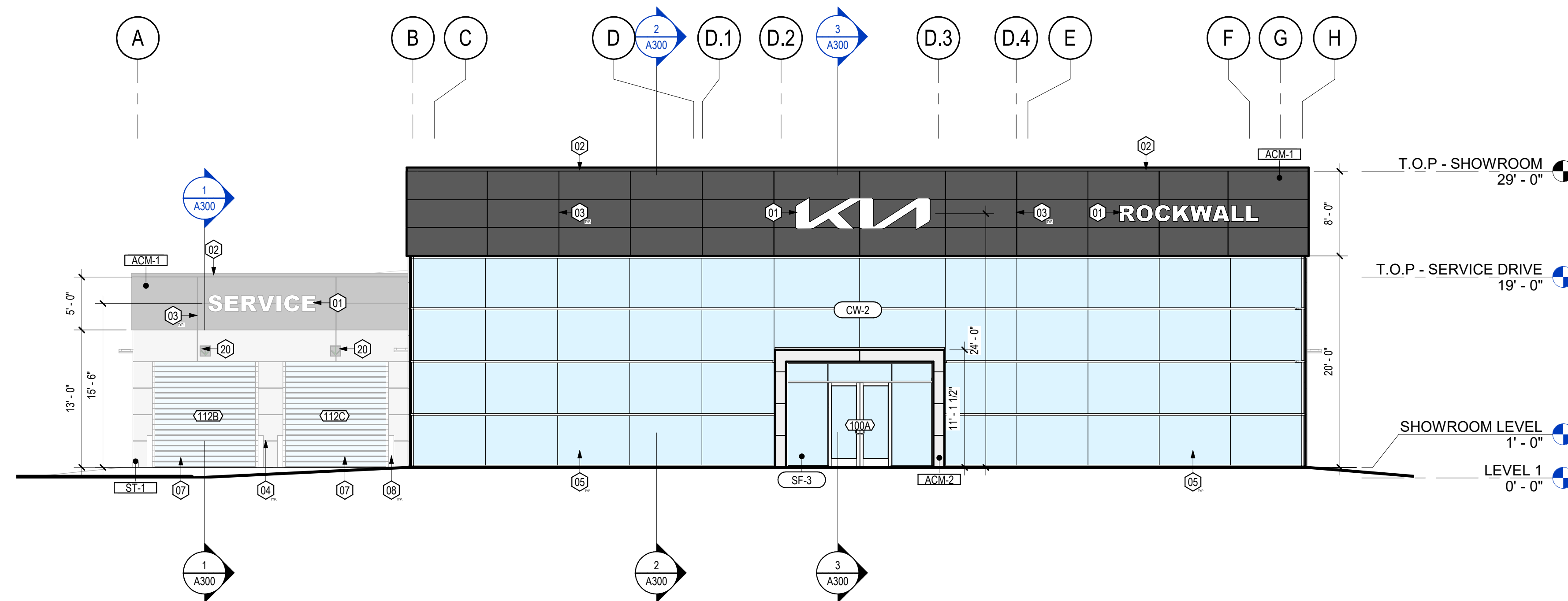
2 EXTERIOR BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



4 EXTERIOR BUILDING ELEVATION @ SERVICE SHOP - NORTH
1/8" = 1'-0"



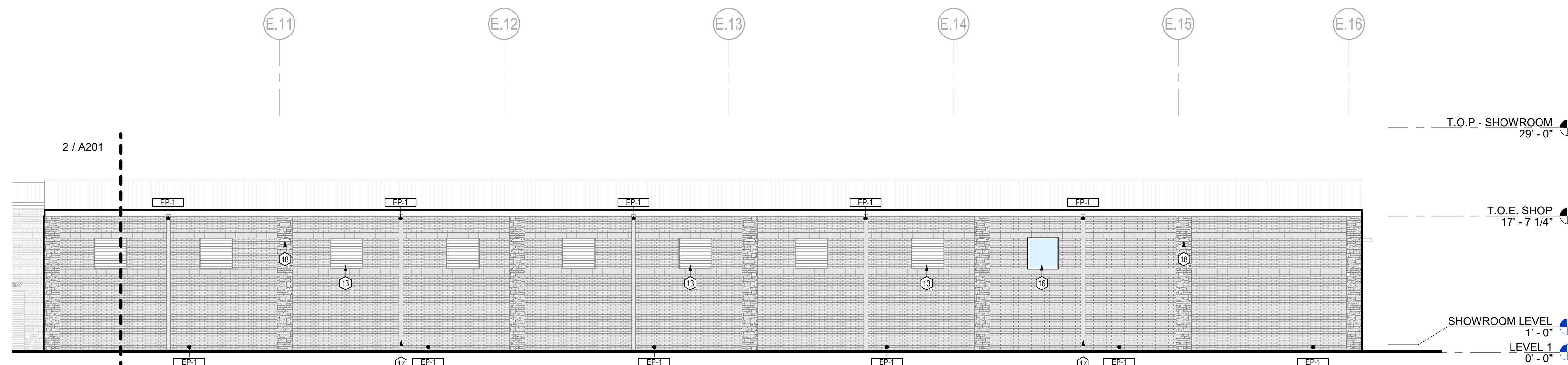
3 EXTERIOR BUILDING ELEVATION @ SERVICE SHOP - NORTH
1/8" = 1'-0"



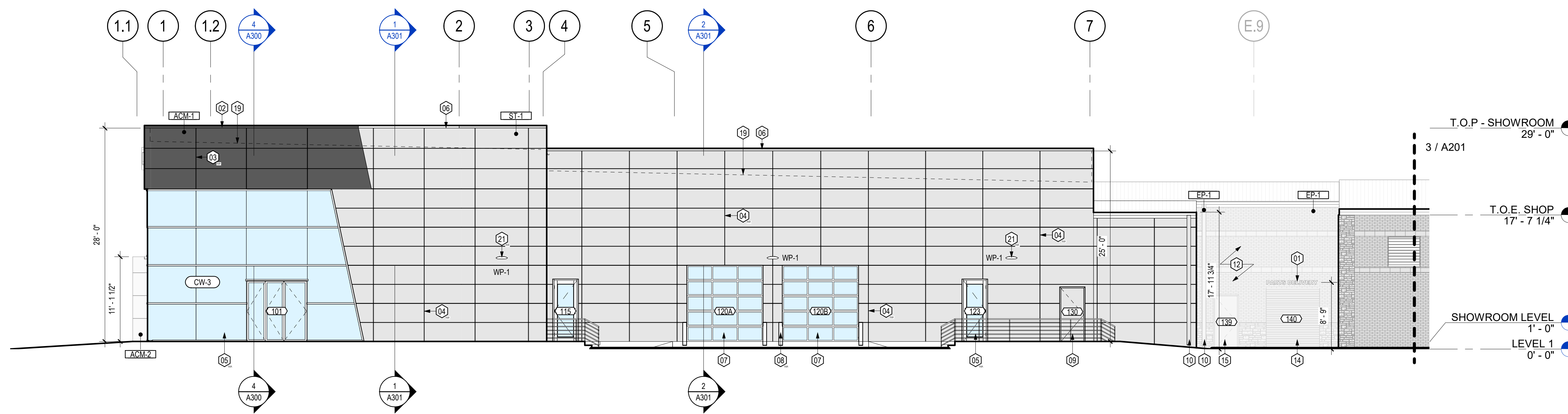
1 EXTERIOR BUILDING ELEVATION - NORTH
1/8" = 1'-0"

DATE	DELTA	DESCRIPTION
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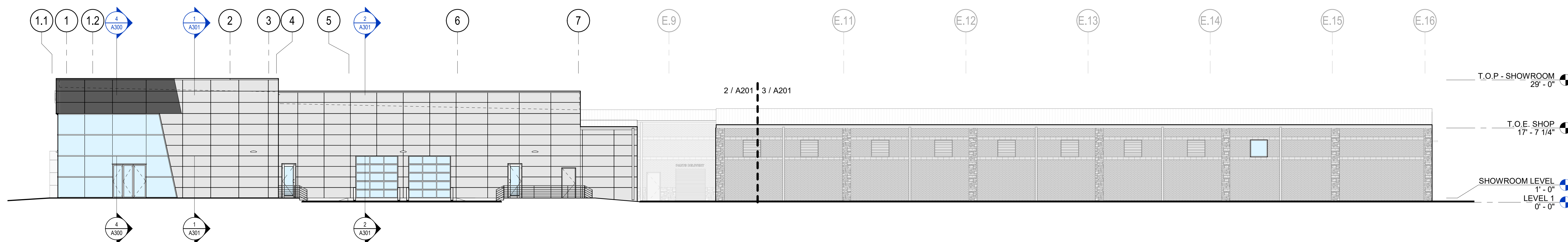
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21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



3 EXTERIOR BUILDING ELEVATION - WEST - AREA B
1/8" = 1'-0"



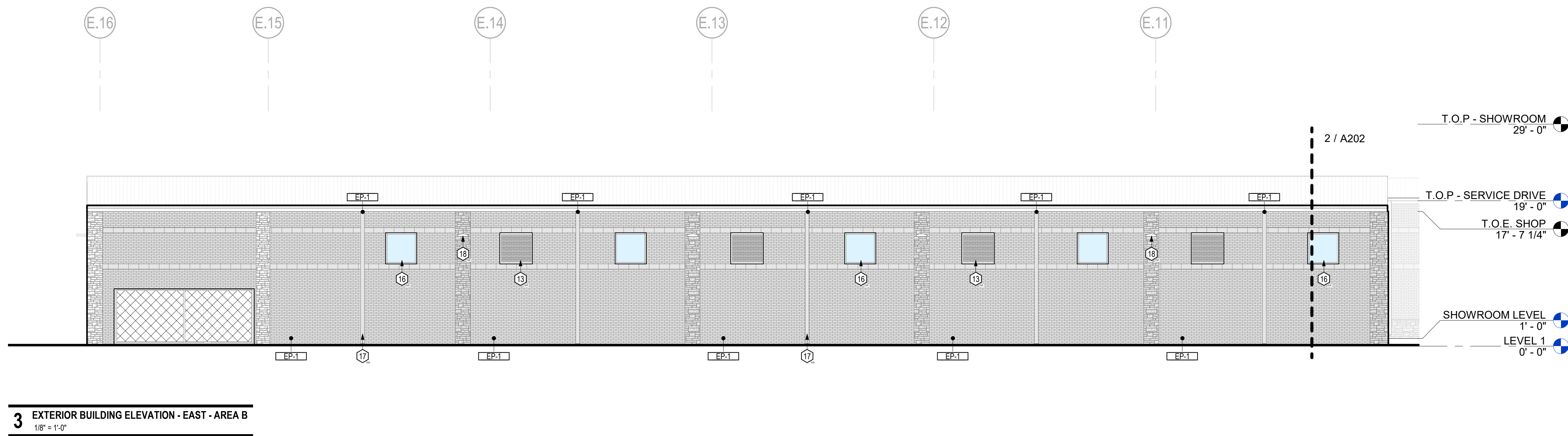
2 EXTERIOR BUILDING ELEVATION - WEST - AREA A
1/8" = 1'-0"



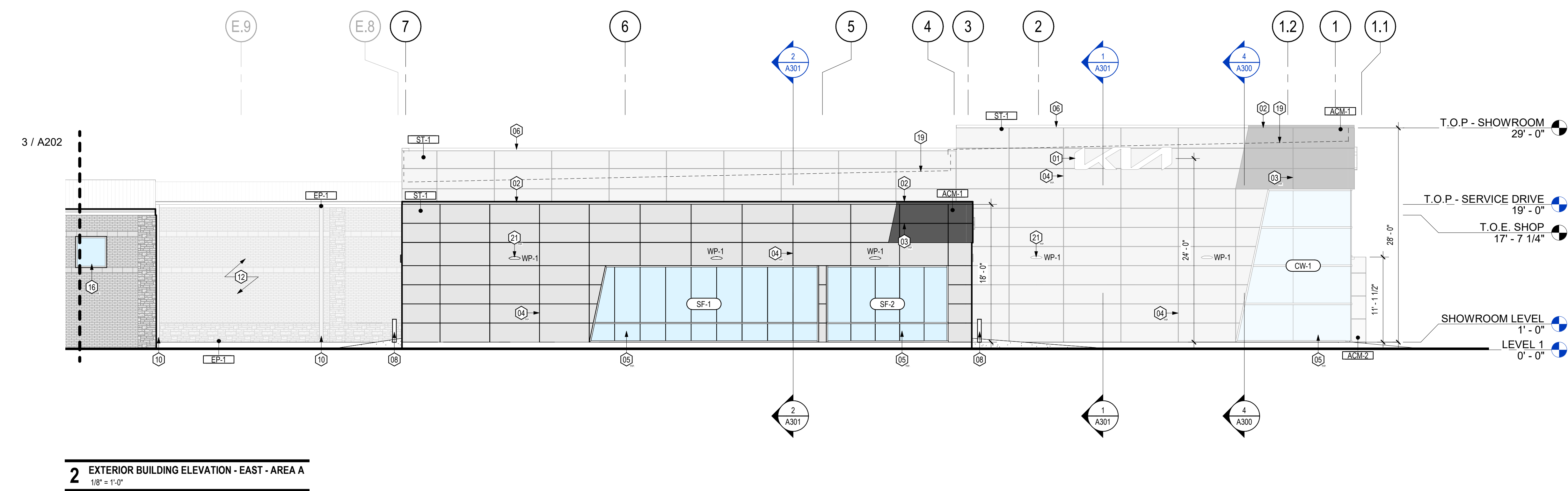
1 EXTERIOR BUILDING ELEVATION - WEST
3/32" = 1'-0"

DATE	DELTA	DESCRIPTION
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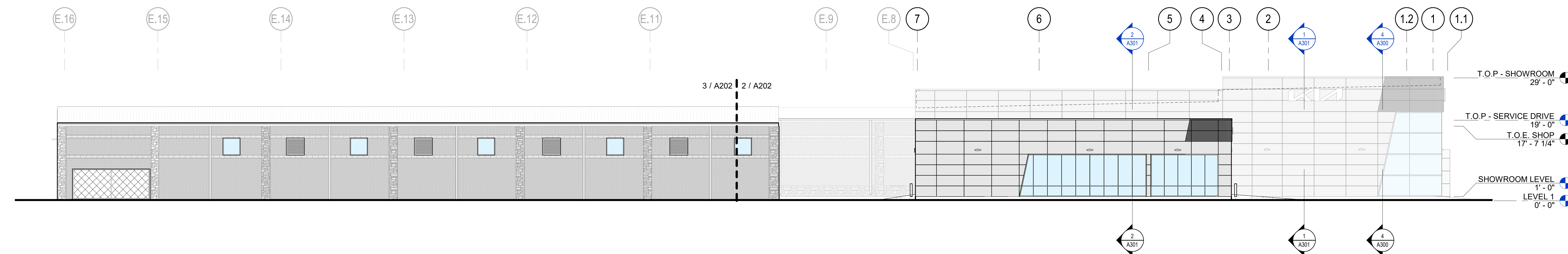
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21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



3 EXTERIOR BUILDING ELEVATION - EAST - AREA B
1/8" = 1'-0"



2 EXTERIOR BUILDING ELEVATION - EAST - AREA A
1/8" = 1'-0"



1 EXTERIOR BUILDING ELEVATION - EAST
3/32" = 1'-0"

BUILDING USE SQUARE FOOTAGE

SHOWROOM	2,788 SF
SALES OFFICES	3,264 SF
CUSTOMER LOUNGE	1,300 SF
CUSTOMER RESTROOMS	662 SF
BREAKROOM & EMPLOYEE RESTROOMS	622 SF
BUILDING SUPPORT	253 SF
PARTS STORAGE	1,487 SF
SERVICE SHOP	15,344 SF
NEW VEHICLE DELIVERY	573 SF
SERVICE DRIVE	1,995 SF
SERVICE ADVISORS & CASHIER	840 SF
CASHIER AND RETAIL PARTS	1,074 SF

SITE PLAN KEYNOTES

#	NOTE
01	PAVING. REF: CIVIL
02	4" WHITE PARKING STRIPE. TYP. UNO
03	EV CHARGING STATION BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
04	EQUIPMENT SCREEN. REF: SITE DETAILS
05	EXISTING PAVING TO REMAIN. REF: CIVIL
06	EXISTING FIRE HYDRANT. REF: CIVIL
07	EXISTING TREE TO REMAIN. REF: LANDSCAPE
08	EXISTING PIPE RAIL FENCE. G.C. TO REPAIR AND REPAINT, EP-1
09	EXISTING LIGHT POLE TO REMAIN
10	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
11	EXISTING FIRE LANE
12	FIRE LANE - PAVEMENT MARKINGS, 6" WIDE RED PAINT WITH THE WORDS, "FIRE LANE - TOW AWAY ZONE" IN 4" WHITE LETTERS NO MORE THAN 25' ALTERNATING INTERVALS
13	CONCRETE CURB. REF: CIVIL
14	EXISTING PORTION OF CURB TO REMAIN. REF: CIVIL
15	CONCRETE SIDEWALK. REF: SITE DETAILS
16	LANDSCAPING. REF: CIVIL

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
448 W. 19TH ST.
HOUSTON, TEXAS 77008
713.992.4148

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.766.6076

PROJECT:
SOUTHWEST KIA OF
ROCKWALL

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

PRELIMINARY
NOT TO BE USED FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION
TBD	IFP	ISSUE FOR PERMIT

PROJECT NUMBER: LA2204

ISSUE DATE: 04.01.2024

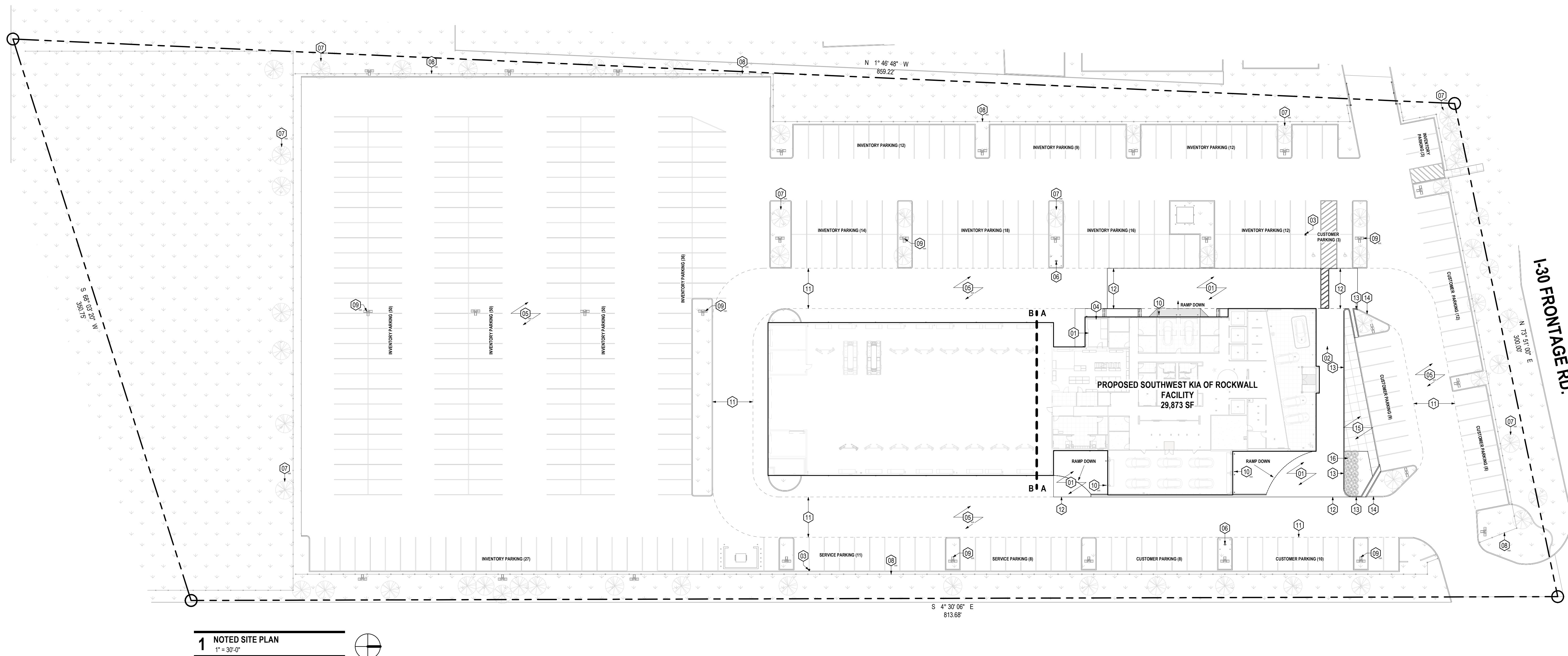
SHEET NAME:

NOTED SITE PLAN

SHEET:

A102

CASE NUMBER: Z2024-010



1 NOTED SITE PLAN
1" = 32'-0"

LEGAL DESCRIPTION

260,988 sq. ft. - 5.9915 AC, Lot 1, Block 1, Rockwall Kia (recorded plat attached)

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS* AND AN *ACCESSORY MAJOR AUTO REPAIR GARAGE* ON A 5.9613-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK 1, ROCKWALL KIA ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBITS 'A' AND 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership for Cars and Light Trucks* and an accessory *Major Auto Repair Garage* to allow the expansion of an existing *New Motor Vehicle Dealership* being a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall Kia Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and being more specifically depicted and described in *Exhibits 'A' and 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that *Ordinance No. 22-02 [S-266]* the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 22-02*.

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *New Motor Vehicle Dealership for Cars and Light Trucks* and

accessory *Major Auto Repair Garage* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, and Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

3.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New Motor Vehicle Dealership for Cars and Light Trucks* and an accessory *Major Auto Repair Garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
- (2) No vehicle display areas shall be permitted within the required landscape buffer along the E. IH-30 frontage road.
- (3) Motor vehicle inventory for the existing *New Motor Vehicle Dealership for Cars and Light Trucks* and/or *Major Auto Repair Garage* shall not be parked/stored on an unimproved surface.
- (4) The outside storage of tires or any other automotive parts shall be prohibited.
- (5) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.

3.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)* and/or building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF MAY, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 15, 2024

2nd Reading: May 6, 2024

Exhibit 'A'
Zoning Exhibit

Address: 1790 E. IH-30

Legal Description: Lot 1, Block 1, Rockwall Kia Addition

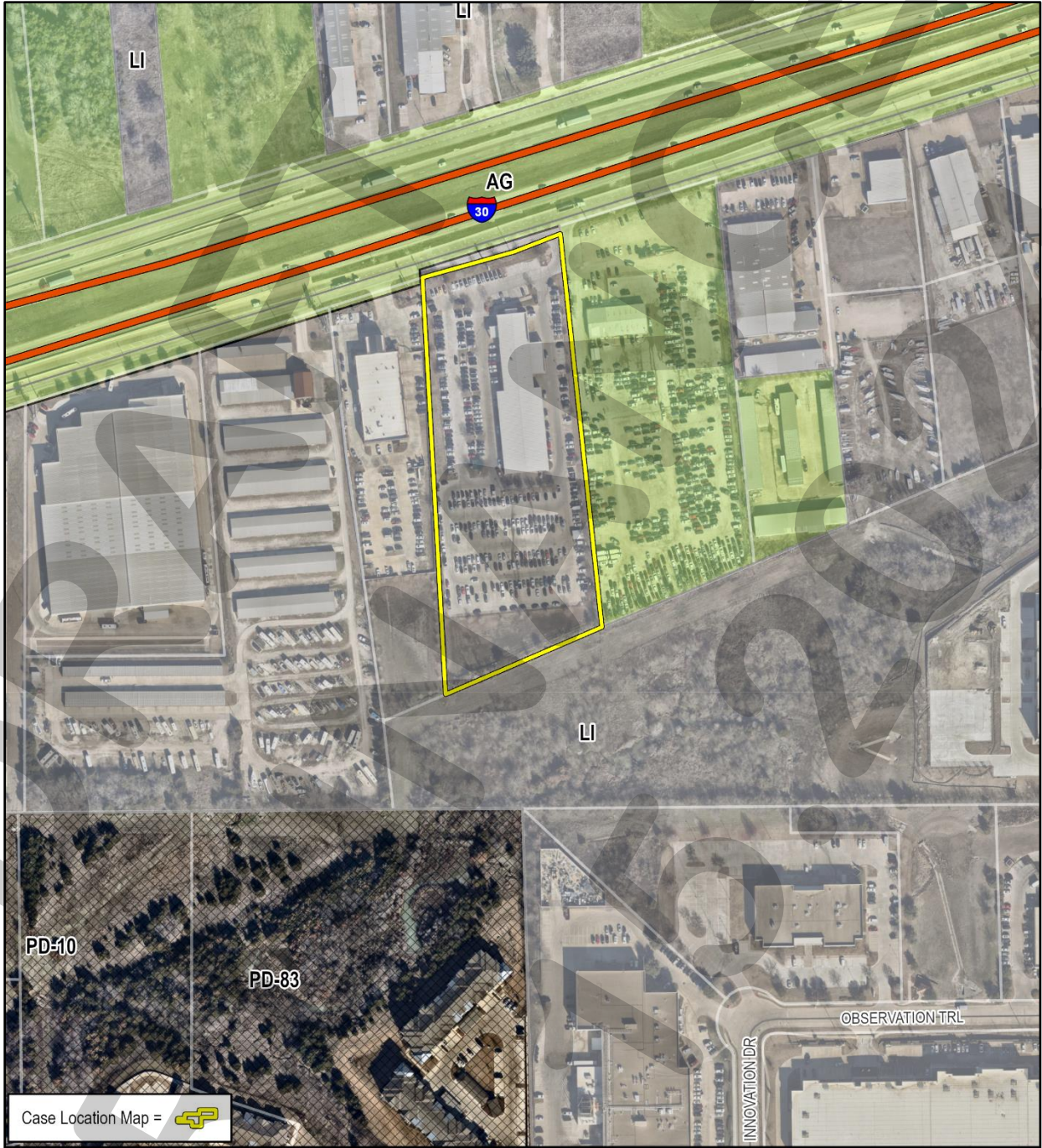
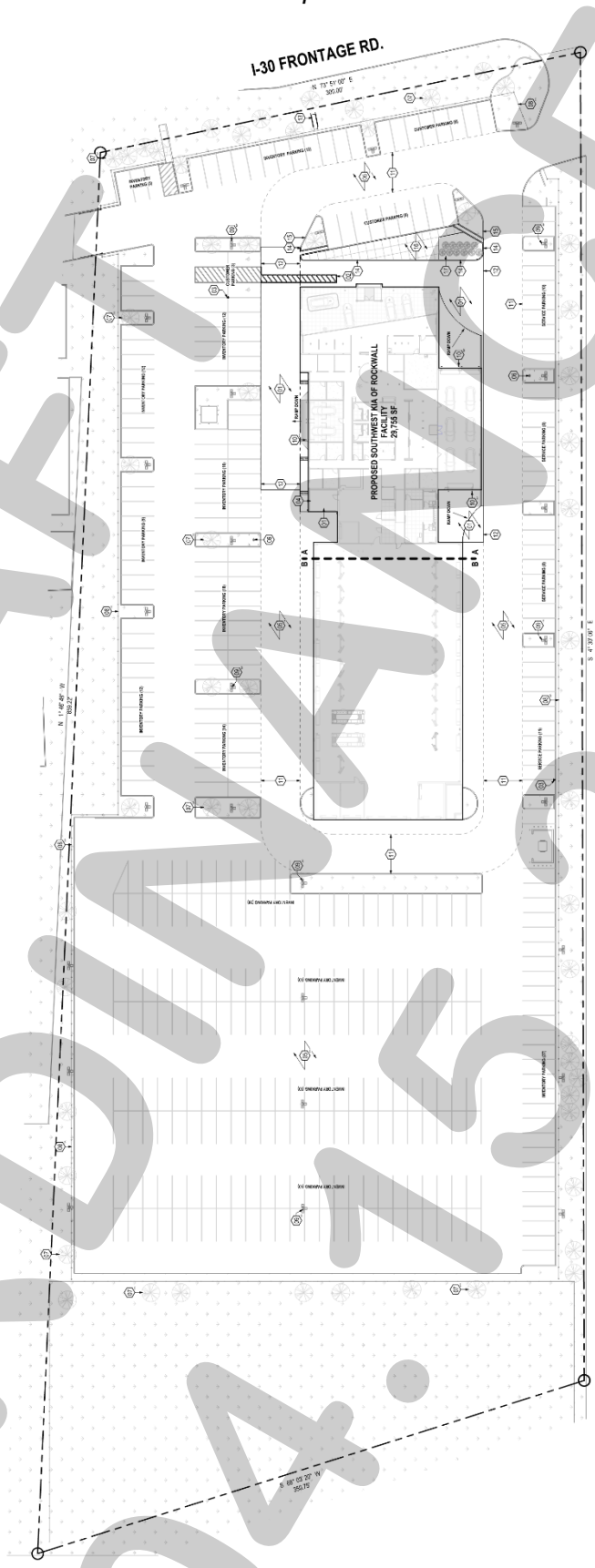


Exhibit 'B':
Concept Plan



CITY OF ROCKWALL

ORDINANCE NO. 24-13

SPECIFIC USE PERMIT NO. S-328

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS* AND AN *ACCESSORY MAJOR AUTO REPAIR GARAGE* ON A 5.9613-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK 1, ROCKWALL KIA ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBITS 'A' AND 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership for Cars and Light Trucks* and an *accessory Major Auto Repair Garage* to allow the expansion of an existing *New Motor Vehicle Dealership* being a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall Kia Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and being more specifically depicted and described in *Exhibits 'A' and 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that *Ordinance No. 22-02 [S-266]* the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 22-02*.

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *New Motor Vehicle Dealership for Cars and Light Trucks* and

accessory *Major Auto Repair Garage* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

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3.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New Motor Vehicle Dealership for Cars and Light Trucks* and an accessory *Major Auto Repair Garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
- (2) No vehicle display areas shall be permitted within the required landscape buffer along the E. IH-30 frontage road.
- (3) Motor vehicle inventory for the existing *New Motor Vehicle Dealership for Cars and Light Trucks* and/or *Major Auto Repair Garage* shall not be parked/stored on an unimproved surface.
- (4) The outside storage of tires or any other automotive parts shall be prohibited.
- (5) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.

3.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)* and/or building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

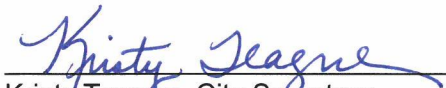
SECTION 8. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF MAY, 2024.




Trace Johannesen, Mayor

ATTEST:


Kristy Teague, City Secretary

APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: April 15, 2024

2nd Reading: May 6, 2024

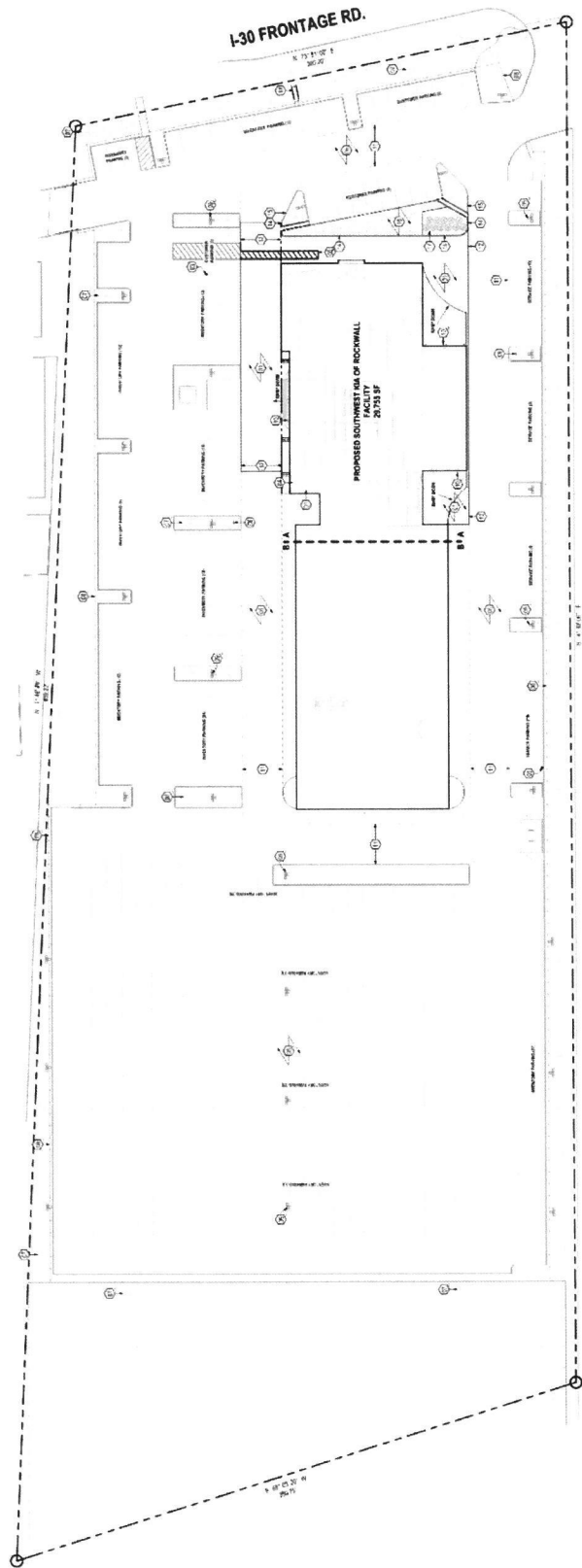
Exhibit 'A'
Zoning Exhibit

Address: 1790 E. IH-30

Legal Description: Lot 1, Block 1, Rockwall Kia Addition



Exhibit 'B':
Concept Plan





DATE: May 14, 2024

TO: Mark Fernandez
Lithia c/o Golden Property Development, LLC
20025 E. Country Hollow Drive
Walnut, CA 91789

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2024-004; *Specific Use Permit (SUP) for Southwest KIA*

Mark Fernandez:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on May 6, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The following conditions pertain to the operation of a *New Motor Vehicle Dealership for Cars and Light Trucks* and an accessory *Major Auto Repair Garage* on the *Subject Property* and conformance to these conditions are required for continued operations:
 - (1) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
 - (2) No vehicle display areas shall be permitted within the required landscape buffer along the E. IH-30 frontage road.
 - (3) Motor vehicle inventory for the existing *New Motor Vehicle Dealership for Cars and Light Trucks* and/or *Major Auto Repair Garage* shall not be parked/stored on an unimproved surface.
 - (4) The outside storage of tires or any other automotive parts shall be prohibited.
 - (5) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.

Planning and Zoning Commission

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the SUP by a vote of 7-0.

City Council

On April 15, 2024, the City Council approved a motion to approve the Specific Use Permit by a vote of 7-0.

On May 6, 2024, the City Council approved a motion to approve the SUP by a vote of 6-0, with Council Member Lewis absent.

Included with this letter is a copy of Ordinance No. 24-13, S-328, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6434.

Sincerely,



Henry Lee, AICP, *Senior Planner*
City of Rockwall Planning and Zoning Department