



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2686 S Goliad St (SH205)

SUBDIVISION Estep Subdivision

LOT 1 BLOCK A

GENERAL LOCATION 615 feet south of Sids Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-44

CURRENT USE Commercial

PROPOSED ZONING

PROPOSED USE Recreation Facility

ACREAGE 1.57

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rayburn County Electric Coop.

APPLICANT R-Delta Engineers Inc

CONTACT PERSON Stephen Geiger

CONTACT PERSON Frank A Polma, P.E.

ADDRESS 950 Sids Road

ADDRESS 618 Main Street

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Garland, TX 75040

PHONE 469-402-2112

PHONE 972-494-5031

E-MAIL sgeiger@rayburnelectric.com

E-MAIL fapolma@rdelta.com

NOTARY VERIFICATION [REQUIRED]

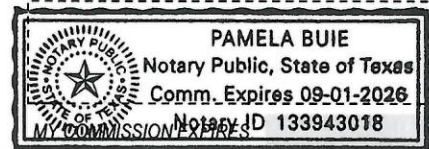
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Naylor [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 331.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF November, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF November, 2024

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

CASE NUMBER:

REVIEWED BY:

OVERLAY DISTRICT:

REVIEW DATE:

1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓ = OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	✗	<input type="checkbox"/>		§03.04, of Art. 11
✓ Landscape Plan	✗	<input type="checkbox"/>		-
✓ Treescape Plan	✗	<input type="checkbox"/>		-
✓ Photometric Plan	✗	<input type="checkbox"/>		-
✓ Building Elevations	✗	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	✗	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	§03.04.A, of Art. 11
Submittal Requirements	✗	<input type="checkbox"/>	Four (4) large (24" x 36") folded copies and one (1) PDF digital copy of each plan is required at the time of submittal.	§03.04.A, of Art. 11
Is the property properly platted?	✗	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	✗	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	§03.04.A, of Art. 11
Case Number	<input type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	§03.04.A, of Art. 11
Owners (Name, Address, and Phone Number)	✗	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
Developer (Name, Address, and Phone Number)	✗	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
North Point	✗	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	§03.04.A, of Art. 11
Numeric and Graphic Scale	✗	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	§03.04.A, of Art. 11
Vicinity Map	✗	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	§03.04.A, of Art. 11
Signature Block	✗	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	§03.04.A, of Art. 11
Date	✗	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	§03.04.A, of Art. 11
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	§03.04.A, of Art. 11
✓ Commercial	✗	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	✗	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	✗	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	§03.04.B, of Art. 11

Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	§03.04.B, of Art. 11
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	§03.04.B, of Art. 11
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	§03.04.B, of Art. 11
Distance Between Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	§03.04.B, of Art. 11
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	§03.04.B, of Art. 11
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	§03.04.B, of Art. 11
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	§03.04.B, of Art. 11
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	§03.04.B, of Art. 11
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	§03.04.B, of Art. 11
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	§03.04.B, of Art. 11
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	§03.04.B, of Art. 11
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	§03.04.B, of Art. 11
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	§03.04.B, of Art. 11
Median Breaks in Adjacent Streets	<input type="checkbox"/>	<input checked="" type="checkbox"/>		§03.04.B, of Art. 11

2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	§05.03, of Art. 06
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	§05.01, of Art. 06
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§05.04, of Art. 06
Adequate Parking	<input type="checkbox"/>	<input type="checkbox"/>	<i>Reference Table 3 of Article VI.</i>	Table 5, Art. 06
Adequate Parking and Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (<i>Check w/ the Engineering Department</i>).	§05.03.C, of Art. 06
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer (<i>Art. VI 6.5 Loading Requirements</i>).	§06.04, of Art. 06
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>	It is also the purpose of this Article to require allocation of sufficient off-street/on-site loading facilities by businesses and industry to ensure that the loading and unloading of vehicles will not interfere with traffic flow or block roadways or fire lanes.	§01.02, of Art. 06
Type and Depth of Paving Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	§03.02, of Art. 06

2.3 SITE PLAN: SIGNAGE

Requirements	✓ = OK	N/A	Comments	UDC Reference
NOTE: All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				

Proposed or Existing Signage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	§06.02.F, of Art 05
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2.4 SITE PLAN: SCREENING

Requirements	✓= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the height and type of fence proposed or existing.	§08.02.F, of Art. 08
Utility Equipment Screening (Pad or Ground Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	§01.05.C, of Art. 05
Utility Equipment Screening (Roof Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	§01.05.C, of Art. 05
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening – screening wall – and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan.	§01.05.D, of Art. 05
Dumpster Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	§01.05.B, of Art. 05
Outside Storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	§01.05.A, of Art. 05
Residential Adjacency Standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	§01.06, of Art. 05

3.1 LANDSCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	§01.01.B, of Art. 05
Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	§05.03.B, of Art. 08
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	§05.03.B, of Art. 08
Location of Water Courses and Significant Drainage Features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	§05.01, of Art. 08

Acceptable Landscape Materials:			Sec. 04., of Art. 08
✓ Trees allowed in Street Landscape Buffers	✗	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)
✓ Trees not allowed in Landscape Buffers	✗	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.
Protected Trees (That Will Remain On-Site)	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Prior to any construction or land development, the developer shall clearly mark all protected and feature trees with an aluminum tag -- indicating the trees relationship to the treescape plan -- and flag (i.e. bright fluorescent red vinyl tape). In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required.
Parking Lot Landscaping	✗	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square footage included in the parking area, and the number and location of required off-street parking and loading spaces.
Location of all Site Amenities	<input type="checkbox"/>	✗	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.
Identify Visibility Triangles	<input type="checkbox"/>	✗	Identify visibility triangles on all lots for all driveway intersections and public streets.
Landscape Buffer - Street Trees	✗	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.
Tree Locations	✗	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.
Irrigation Requirements Note	✗	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.
Hydro mulch (or non-sod option)	<input type="checkbox"/>	✗	The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City.
Rights-of-Way & Landscape Buffers	✗	<input type="checkbox"/>	All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).

4.1 TREESCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	See Sec. 2.1 of this checklist
Buildings	✗	<input type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	§03.01.A, of Art. 09
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input type="checkbox"/>	✗		§03.01.C, of Art. 09

Protected Trees (To Remain On Site)	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	§03.01.E, of Art. 09
Protected Trees (To be Removed from the Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	§03.01.F, of Art. 09
Treescape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	§03.01.G, of Art. 09

5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	See Sec. 2.1 of this checklist -
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	§03.03, of Art. 07
Adjacent Property with Common Lot Lines:				
✓ Residential Use	<input type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	§03.03.B, of Art. 07
✓ Commercial Use	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	§03.03.C, of Art. 07
Under-Canopy Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	§03.03.E.1, of Art. 07
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	§03.03.E.2, of Art. 07
Lighting in Parking Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Exceptions: (1) under canopy lighting and (2) motor vehicle dealerships)	§03.03.G, of Art. 07
Building and Pole Mounted Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	§03.03.E, of Art. 07
Indicate the Mounting Height for all Proposed Light Fixtures	<input type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	§03.03.D of Art. 07
Indicate the Wattage of all Light Sources	<input type="checkbox"/>	<input type="checkbox"/>	Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line.	§03.03.A, of Art. 07
Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	§03.03, of Art. 07

6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Minimum 90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§06.02.C, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§06.02.C, of Art. 05
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	§04.01, of Art. 05
Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	§04.01, of Art. 05
Indicate the Roofing Materials and Color	<input type="checkbox"/>	<input type="checkbox"/>		

Indicate Parapet Wall Height **(If Applicable, finish the interior side of the parapet wall)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck. **Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.	§04.01, of Art. 05
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	§01.05.C, of Art. 05
Indicate Any Additional Design Elements Proposed (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	§07.03 of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 25% x L 4. Wall Projection = 25% x H 5. Primary Entry/Arch. Element Width = 2 x (25% x L) 6. Projection Height = 25% x H 7. Primary Entry/Arch. Element Length = 2 x (25% x L) 	§04.01.C.1, of Art. 05
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 15% x L 4. Secondary Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H 	§04.01.C.2, of Art. 05

6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
NOTE: Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
Minimum 90% Masonry Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§05.01.A.1, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§05.01.A.1.a.1, of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 4 x H 3. Wall Projection = 25% x H 4. Entry/Arch. Element Length = 33% x L 5. Projection Height = 25% x H 6. Entry/Arch. Element Width = 2 x (25% x H) 	§05.01.C.1, of Art. 05
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Entry/Arch. Element Length = 15% x L 4. Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H 	§05.01.C.2, of Art. 05

SITE INFORMATION:

EXISTING ZONING: PD-44
 PROPOSED ZONING: NO CHANGE
 PROPOSED USE: PICKLEBALL COURTS
 TOTAL AREA: 70,511 SQ FT 1.619 AC

"PD-44" ZONING
 MAXIMUM BUILDING HEIGHT: 60 FT
 MAXIMUM LOT COVERAGE: 60%
 MAXIMUM FLOOR AREA RATIO: 4:1
 MAXIMUM IMPERVIOUS PARKING: 85% TO 90%

PROPOSED MAX. BUILDING HEIGHT: 30'-4"
 PROPOSED LOT COVERAGE: 33,339/70,511 = 47.3%
 PROPOSED FLOOR AREA RATIO: 4,650/70,511 = 6.6%
 PROPOSED IMPERVIOUS PARKING: 5,580/70,511 = 7.9%

REQUIRED PARKING:
 PROPOSED BUILDING 4650 SQ FT
 (3:COURT & 1:200) = 30 SPACES

TOTAL REQUIRED PARKING = 30 SPACES
 TOTAL PROVIDED PARKING = 18 SPACES

EXISTING SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
7	1	8

PROPOSED SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
17	1	18

PAVEMENT INFORMATION:

ALL PAVEMENTS BELOW HAVE #3 BARS 24" O.C.E.W.

PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)	MIN. CEMENT (SACKS/CY)	MACHINE	HAND
FIRE LANE	6"	3,600	6.0	6.5	6.5
DRIVEWAYS	6"	3,600	6.0	6.5	6.5
BARRIER FREE RAMPS	6"	3,600	6.0	6.5	6.5
DUMPSTER PADS	7"	3,600	6.0	6.5	6.5
SIDEWALKS	4"	3,000	N/A	5.5	5.5
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5	5.5

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.

WITNESS OUR HANDS, this ___ day of _____.

Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE
0	11/13/2024	RDE	FAP	RDE	ISSUED FOR REVIEW

REC
Rayburn Electric
 COOPERATIVE

618 Main Street
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 Ph. (972) 494-5031
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 TBPE No. F-1515

rdelta
 ENGINEERS

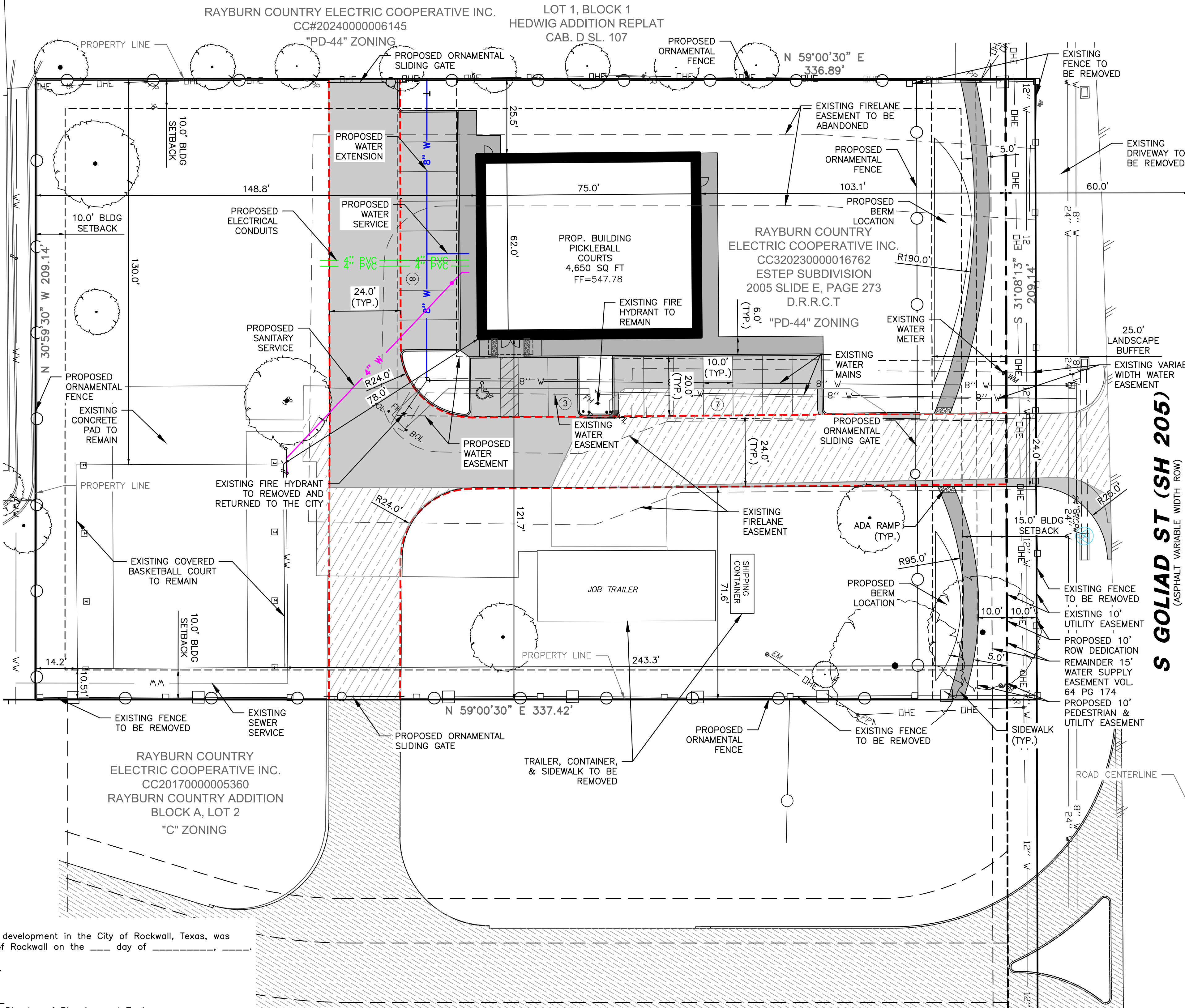
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY FRANK A. POLMA, P.E. 80274 ON NOVEMBER 13, 2024. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

JOB NO. 3036-21	DESIGN BY AGU
CREATED	CODE
PLOTTED 11/13/2024	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-1
APPROVED:	ISSUE: 0
FILENAME:	

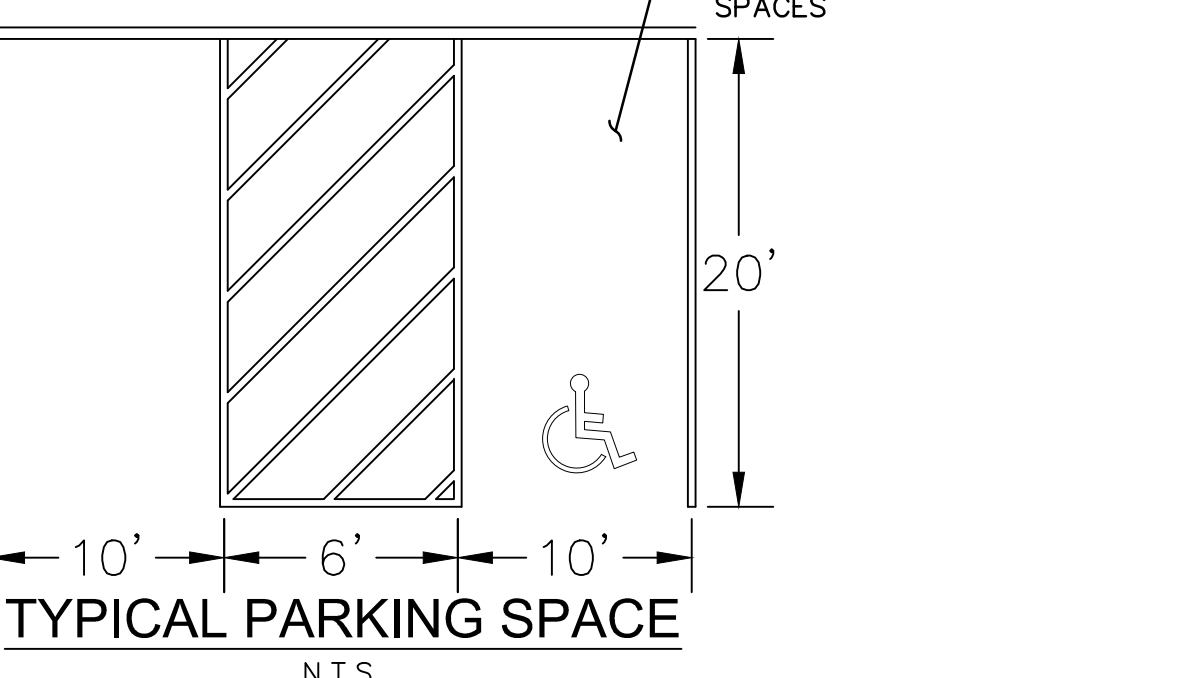
REC CAMPUS EXPANSION
PICKLEBALL COURT
 2686 S GOLIAD ST (SH 205)
 ROCKWALL, TX 75032

CASE # _____

CITY SITE PLAN SUBMITTAL



- NOTES:**
- ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
 - EXISTING UTILITY, WATER, AND FIRELANE EASEMENT TO BE REPLATTED FOR NEW SITE LAYOUT.
 - ALL RADIUS ARE 2' UNLESS OTHERWISE STATED.



LEGEND

EM	EX. ELECTRIC METER
ICV	EX. IRRIGATION CONTROL VALVE
B	EX. BOLLARD
WM	EX. WATER METER
SSMH	EX. SANITARY SEWER MANHOLE
EB	EX. ELECTRIC BOX
FH	EX. FIRE HYDRANT
X" W	EX. WATER MAIN PIPE
X" WW	EX. WASTE WATER MAIN PIPE
XX" RCP	EXISTING CONCRETE PIPE & SIZE
□	EXISTING WROUGHT IRON FENCE
○	EXISTING CHAIN LINK FENCE
○PP	EXISTING POWER POLE
—OHE—	EXISTING OVERHEAD ELECTRIC
—	EXISTING GUY WIRE
⊞	EXISTING FLOOD LIGHT
—	EDGE OF ASPHALT
○—○	PROPOSED ORNAMENTAL FENCE
▨	BFR — CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
▨	ACCESSIBLE AISLE STRIPING
▨	PROPOSED CONCRETE SIDEWALK
▨	PROPOSED CONCRETE PAVEMENT
▨	EXISTING SITE CONCRETE PAVEMENT TO REMAIN
▨	EXISTING CAMPUS CONCRETE PAVEMENT TO REMAIN

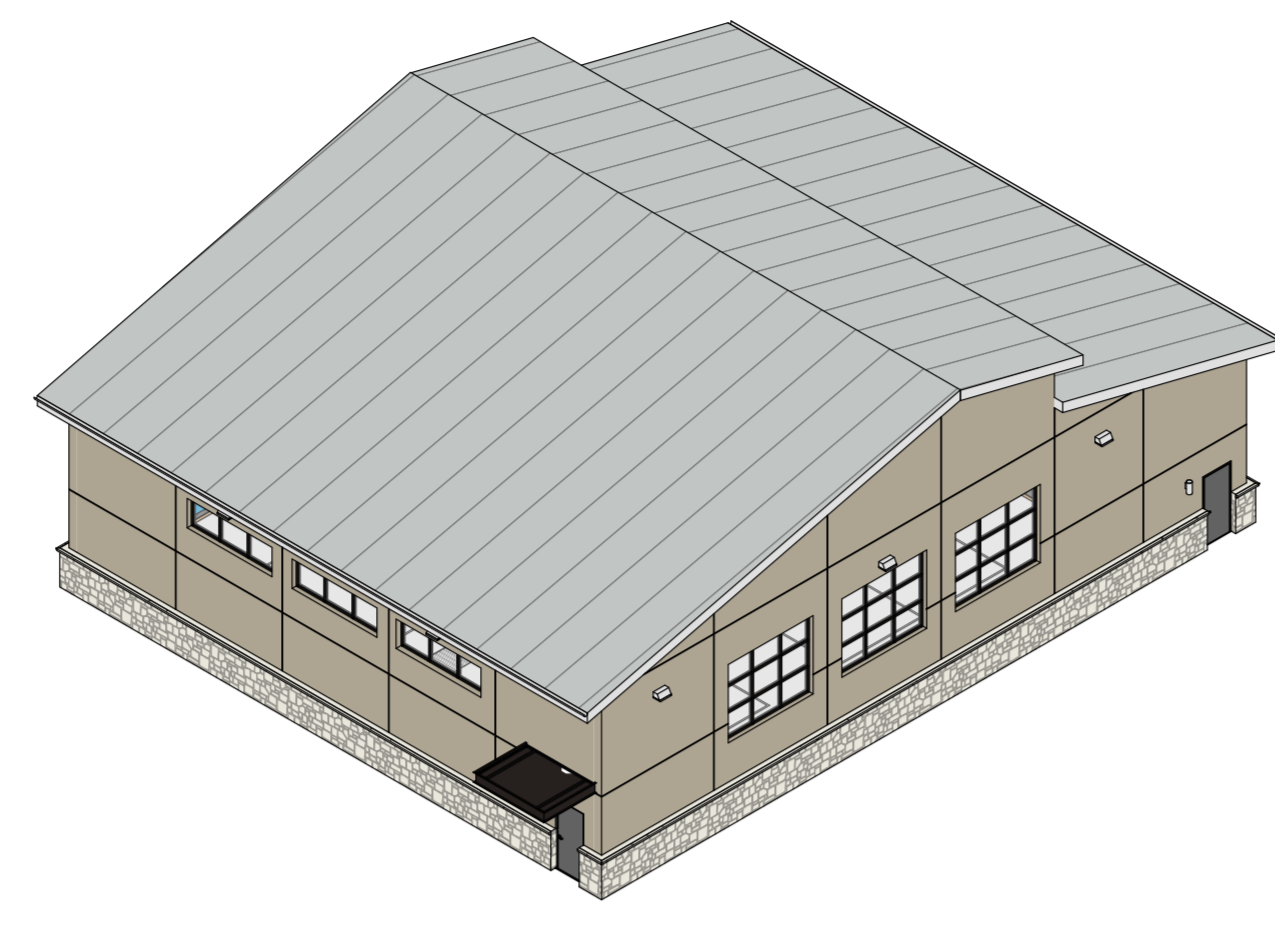
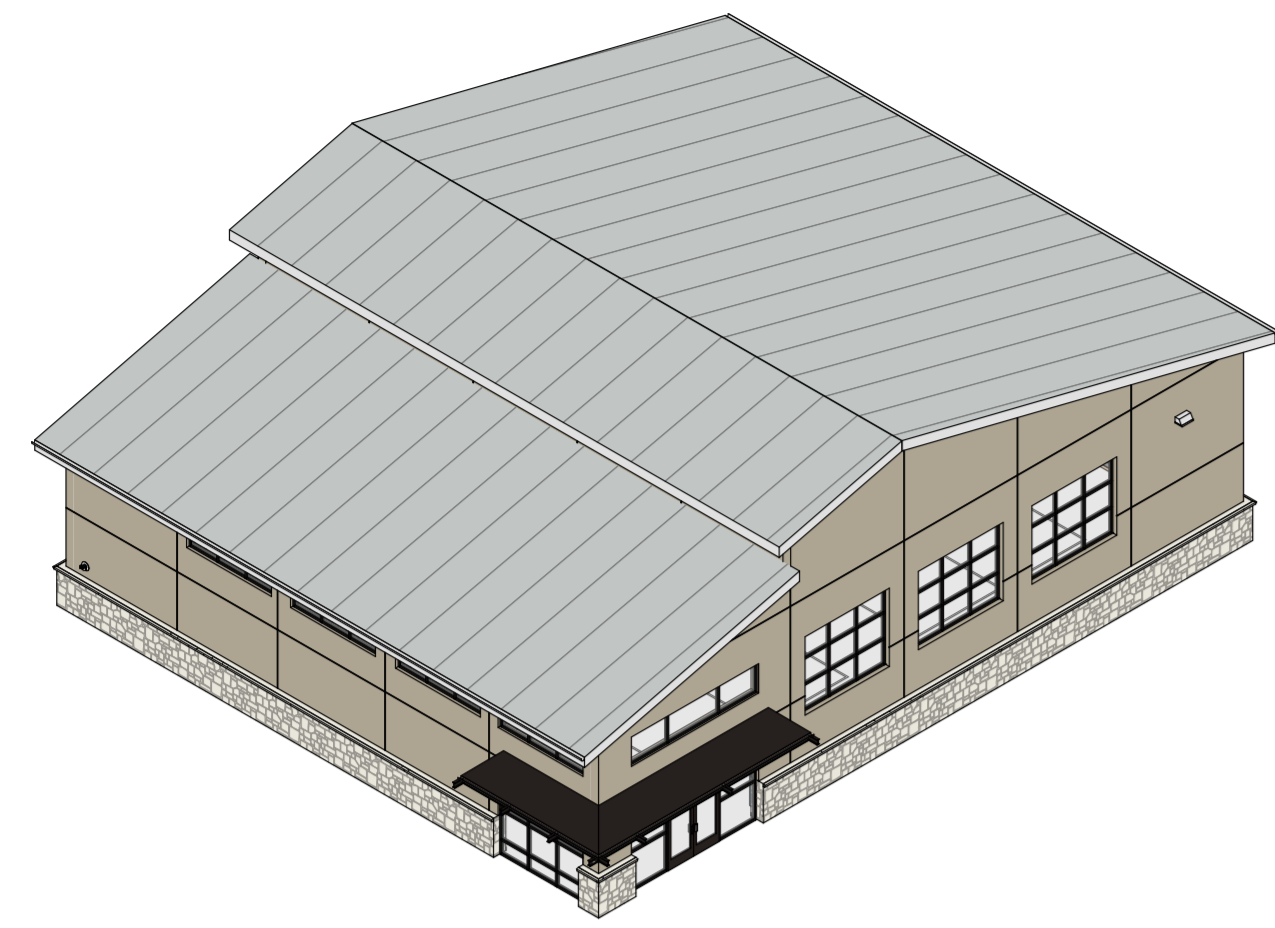
ARCHITECT
 MCCARTHY ARCHITECTURE
 1000 N. FIRST ST.
 GARLAND, TX 75040

LANDSCAPE ARCHITECT
 DUNKIN SIM STOFFELS, INC.
 4305 PECAN GROVE LANE
 ROWLETT, TX 75088

OWNER/ APPLICANT
 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087
 469-402-2100

CIVIL ENGINEER
 R - DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040
 TBPE No. F-1515

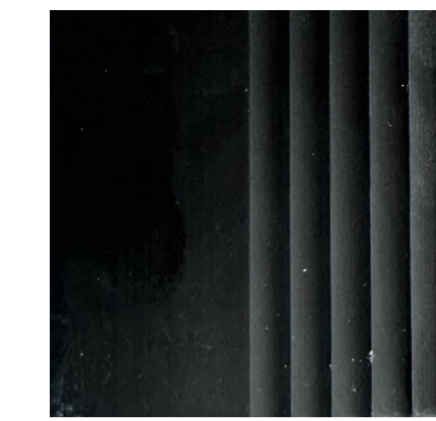
S GOLIAD ST (SH 205)
 (ASPHALT VARIABLE WIDTH ROW)



STUCCO -
SW9111 VELVET
ANTLER



STONE - TBD



DARK BRONZE
ALUM. FRAME



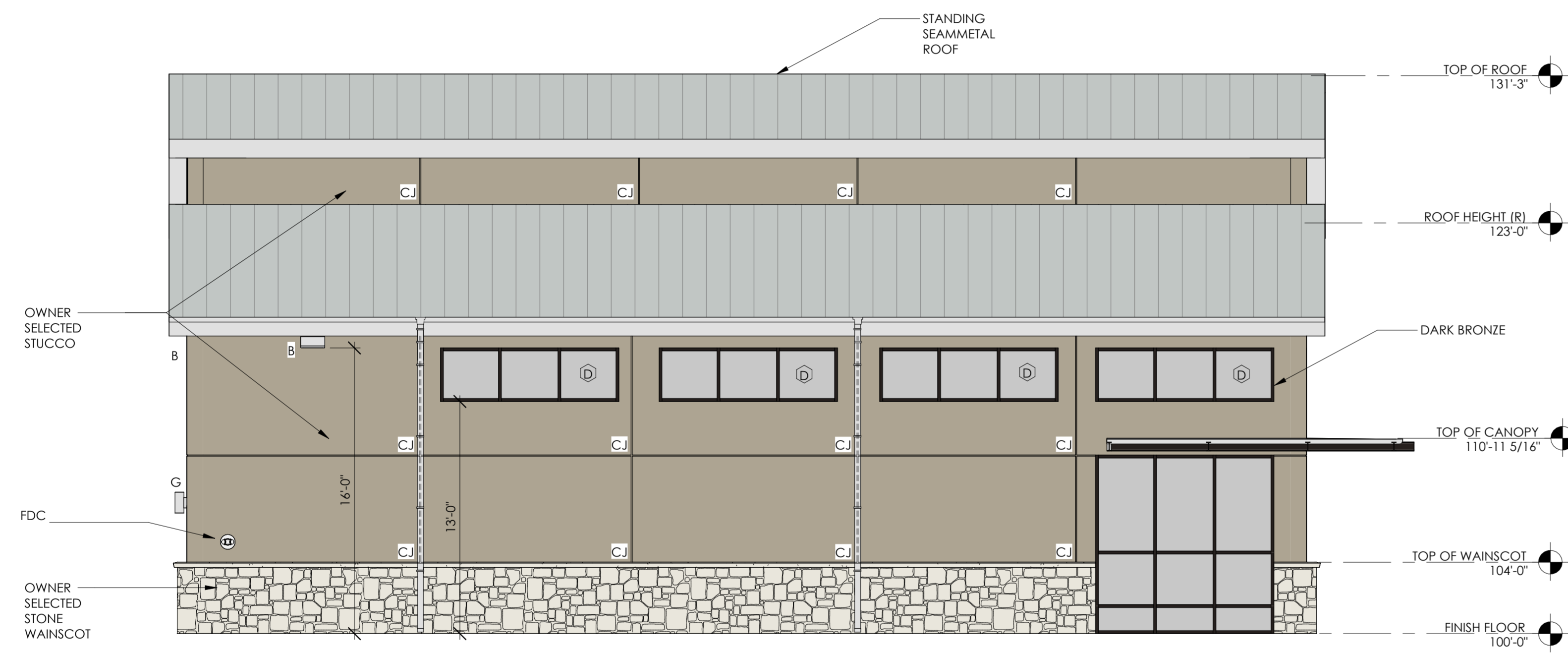
GALVALUME

BUILDING MATERIAL CALCULATIONS FOR WALLS

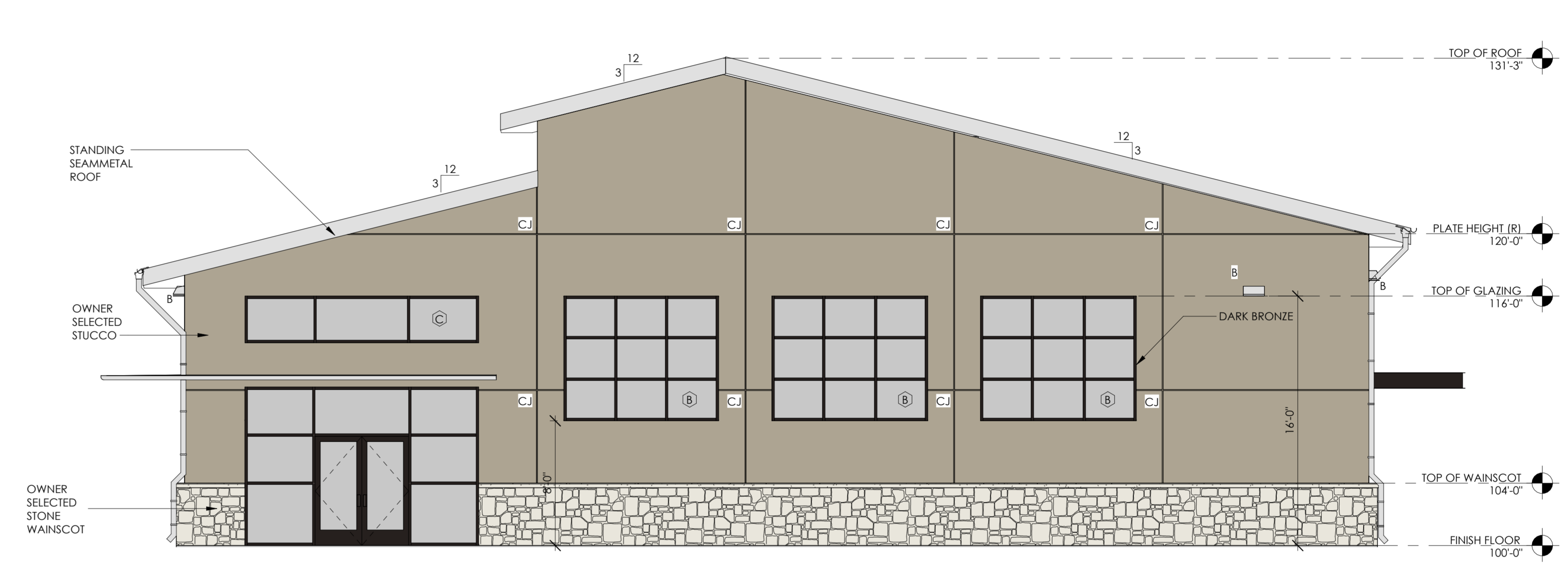
CATEGORIES	WEST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1612.22 S.F.	100%
Galvalume roof	635.85 S.F.	39.4%
Stucco - Velvet antler SW 9111	762.85 S.F.	47.4%
Stone - TBD	213.52 S.F.	13.2%

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	SOUTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1391.16 S.F.	100%
Galvalume roof	0 S.F.	0%
Stucco - Velvet antler SW 9111	1145.22 S.F.	82.32%
Stone - TBD	245.94 S.F.	17.68%



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



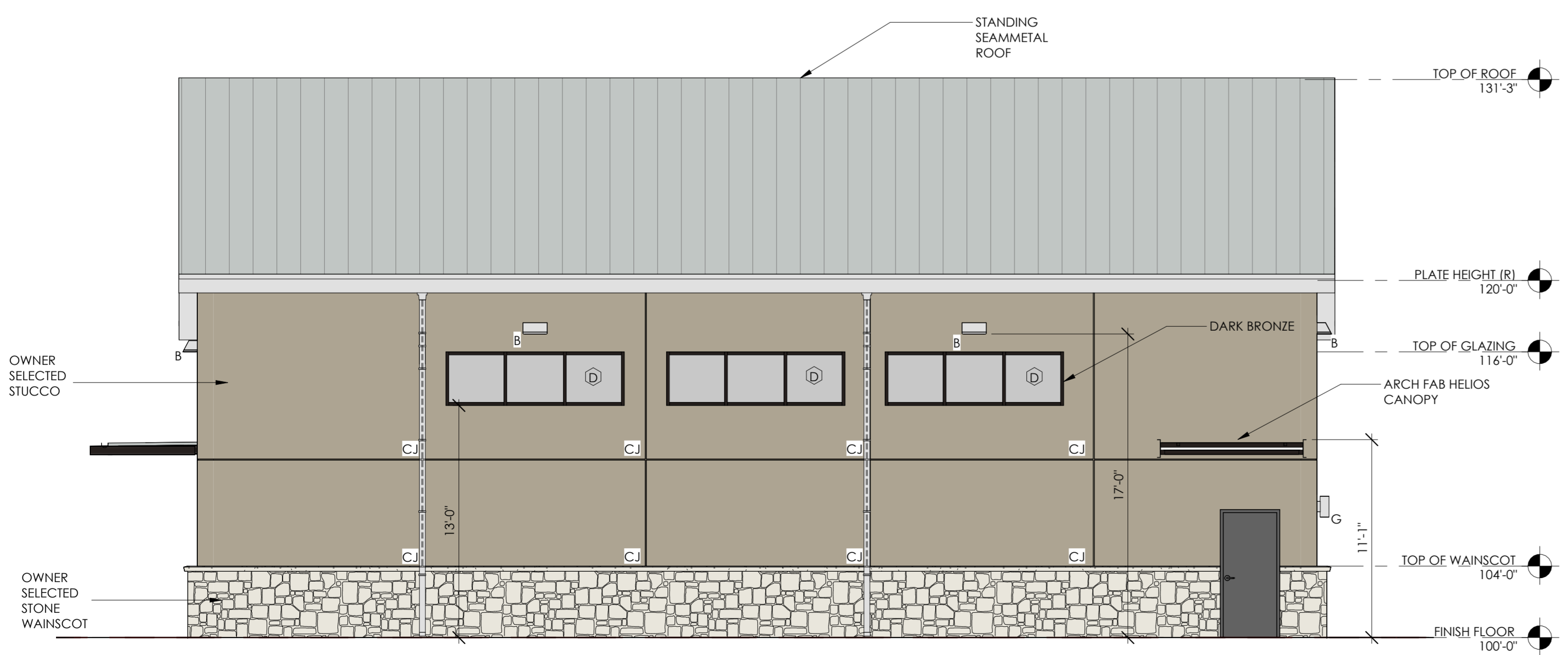
3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS

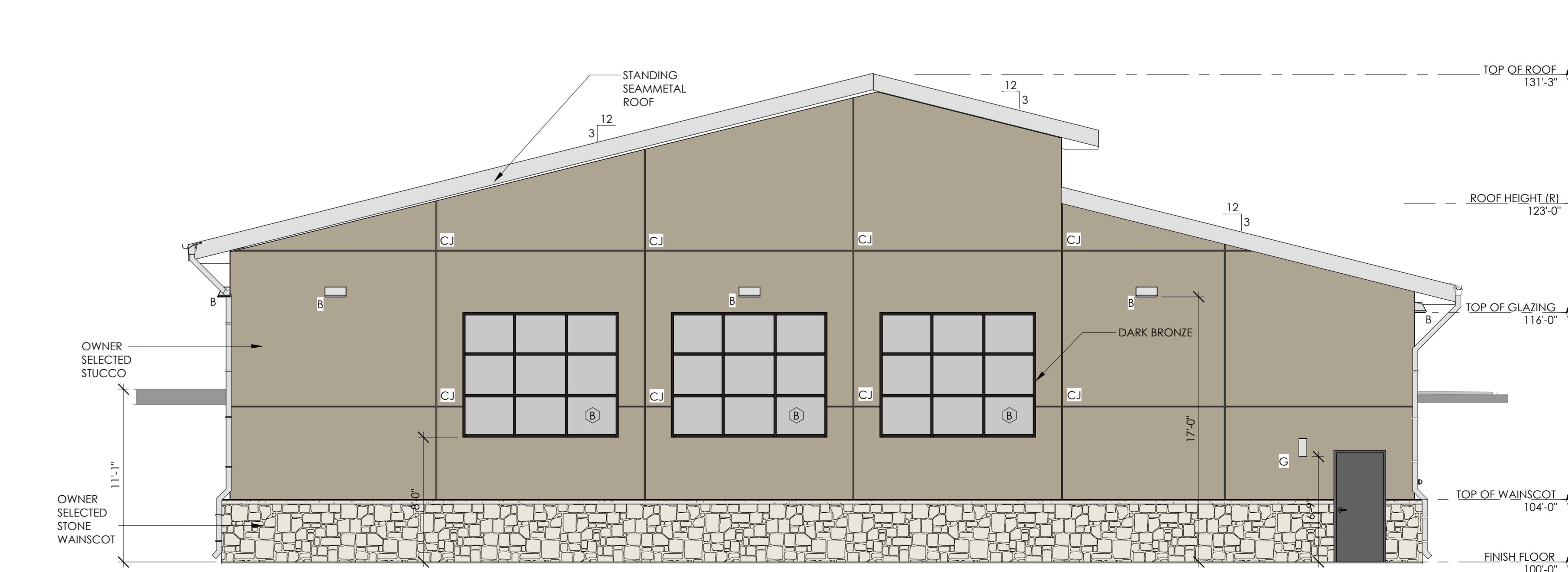
CATEGORIES	EAST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1793.7 S.F.	100%
Galvalume roof	701.29 S.F.	39.1%
Stucco - Velvet antler SW 9111	852.22 S.F.	47.5%
Stone - TBD	240.19 S.F.	13.4%

BUILDING MATERIAL CALCULATIONS FOR WALLS

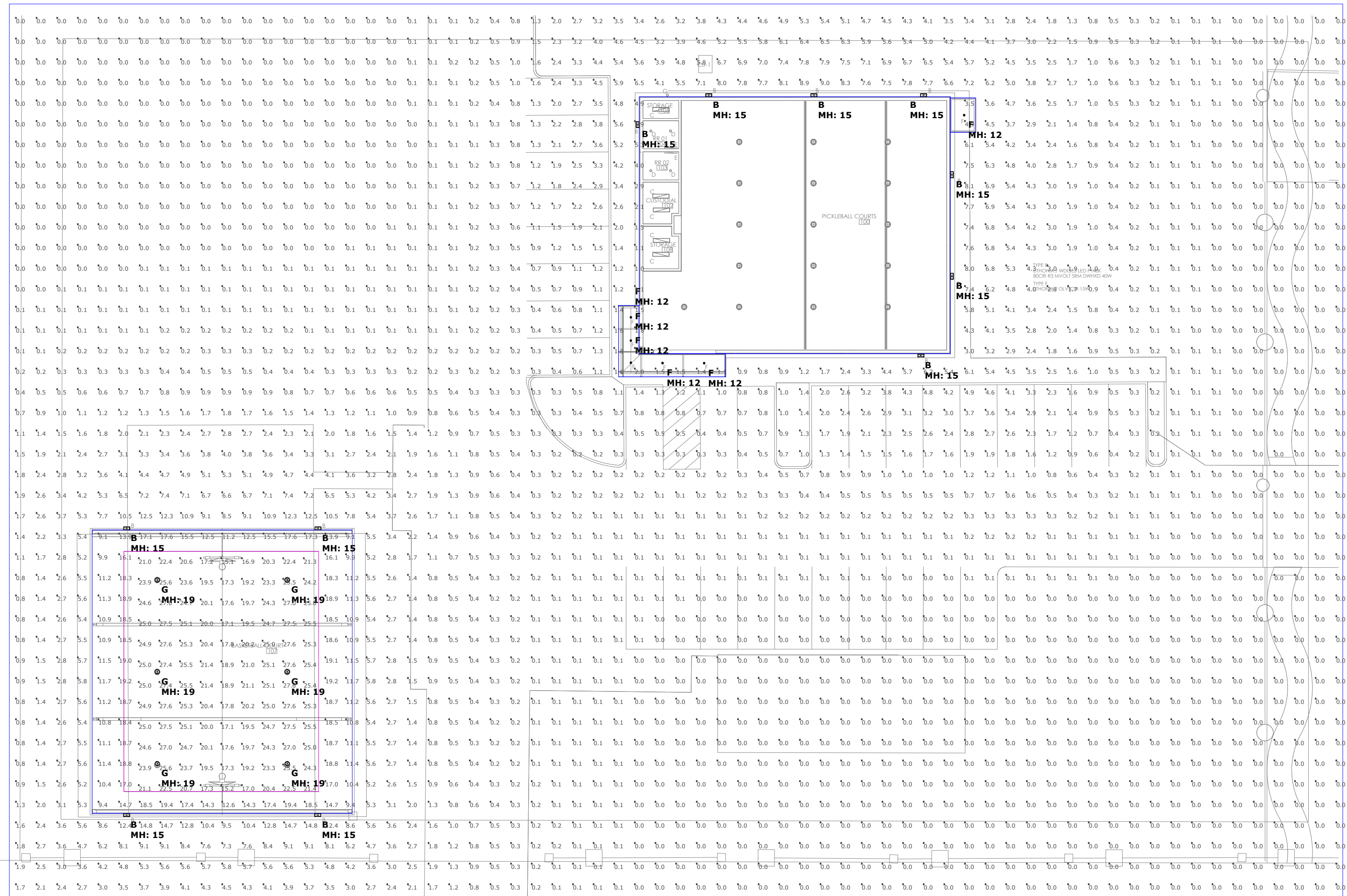
CATEGORIES	NORTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1564.3 S.F.	100%
Galvalume roof	0 S.F.	0%
Stucco - Velvet antler SW 9111	1271.70 S.F.	81.3%
Stone - TBD	292.60 S.F.	18.7%



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



Luminaire Schedule										
Symbol	Type	Qty	Manufacturer / Catalog Number			Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
□	B	11	LITHONIA WDGE3 LED P1 40K 80CRI R3 MVOLT SRM DWHXD			7524	51.172	1.000	0.850	1.000
⊙	F	6	LITHONIA OLVTCM			590	15.3	1.000	0.850	1.000
○	G	6	LITHONIA REBL ALO13 (18000LM) MD UVOLT SSW3 (40K) 80CRI (FINISH)			19371	118.4	1.000	0.850	1.000

Calculation Summary							
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	
SITE Planar	0	Fc	1.51	19.4	0.0	N.A.	
BASKETBALL COURT	0	Fc	22.84	27.6	15.1	1.51	

Notes:

1. Surface reflectances: Vertical/Horizontal - 50/20.
2. Calculation values are at height indicated in summary table.
3. Mounting heights are designated on drawing with "MH."
4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input checked="" type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²</p> <p>NOTES:</p> <p>¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
--	---

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 2686 S Goliad St (SH205)

SUBDIVISION: Estep Subdivision LOT: 1 BLOCK: A

GENERAL LOCATION: 615 feet south of Sids Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: PD-44 CURRENT USE: Commercial

PROPOSED ZONING: _____ PROPOSED USE: Recreation Facility

ACREAGE: 1.57 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Rayburn County Electric Coop.	<input type="checkbox"/> APPLICANT	R-Delta Engineers Inc
CONTACT PERSON	Stephen Geiger	CONTACT PERSON	Frank A Polma, P.E.
ADDRESS	950 Sids Road	ADDRESS	618 Main Street
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Garland, TX 75040
PHONE	469-402-2112	PHONE	972-494-5031
E-MAIL	sgeiger@rayburnelectric.com	E-MAIL	fapolma@rdelta.com

NOTARY VERIFICATION [REQUIRED]

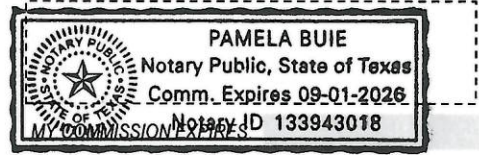
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Naylor [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 331.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF November, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF November, 2024

OWNER'S SIGNATURE: [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]



0 30 60 120 180 240 Feet

SP2024-046: Site Plan for 2686 S. Goliad Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SITE INFORMATION:

EXISTING ZONING: PD-44
 PROPOSED ZONING: NO CHANGE
 PROPOSED USE: PICKLEBALL COURTS
 TOTAL AREA: 70,511 SQ FT 1.619 AC

"PD-44" ZONING
 MAXIMUM BUILDING HEIGHT: 60 FT
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 MAXIMUM FLOOR AREA RATIO: 4:1
 MAXIMUM IMPERVIOUS PARKING: 85% TO 90%

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APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.

WITNESS OUR HANDS, this ___ day of _____.

Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE
0	11/13/2024	RDE	FAP	RDE	ISSUED FOR REVIEW

REC
 Rayburn Electric COOPERATIVE

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 Ph. (972) 494-5031
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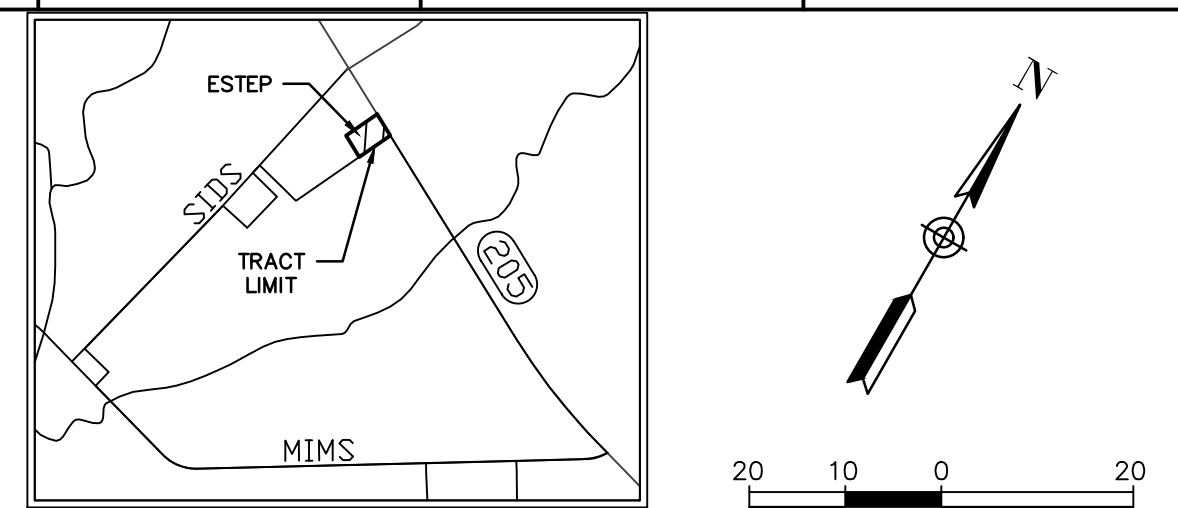
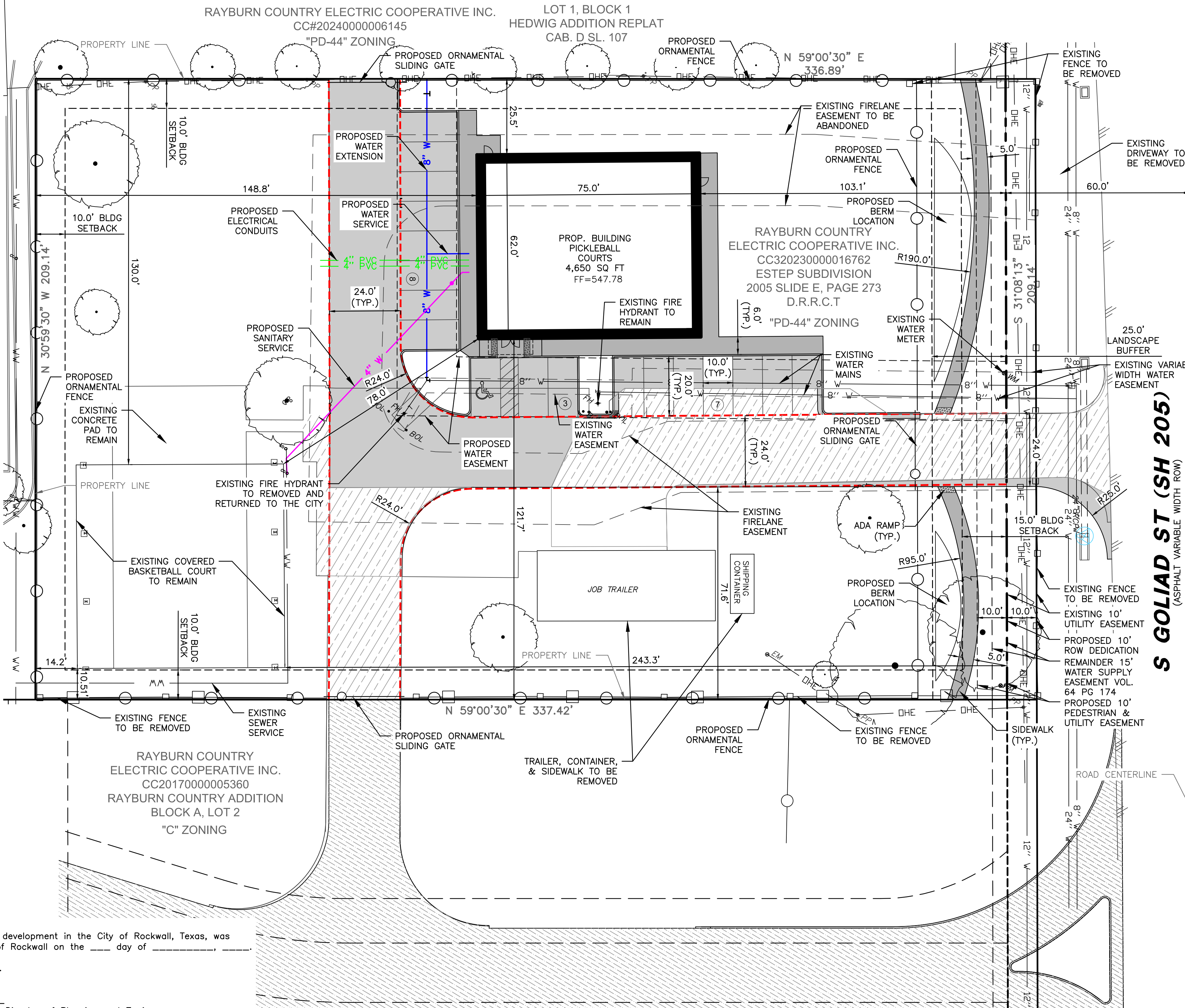
rdelta
 ENGINEERS

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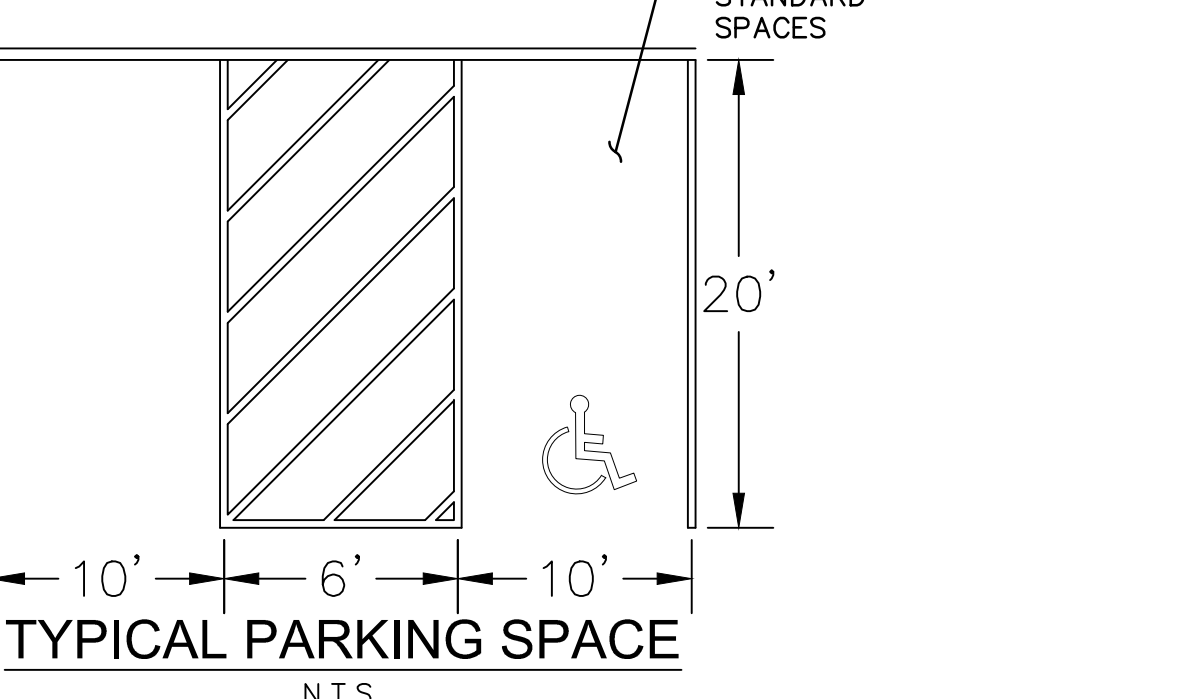
JOB NO. 3036-21	DESIGN BY AGU
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LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.:
APPROVED:	ISSUE: 0
FILENAME:	SP-1

**REC CAMPUS EXPANSION
 PICKLEBALL COURT**
 2686 S GOLIAD ST (SH 205)
 ROCKWALL, TX 75032

CASE #
CITY SITE PLAN SUBMITTAL



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EM	EX. ELECTRIC METER
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FH	EX. FIRE HYDRANT
X" W	EX. WATER MAIN PIPE
X" WW	EX. WASTE WATER MAIN PIPE
XX" RCP	EXISTING CONCRETE PIPE & SIZE
□	EXISTING WROUGHT IRON FENCE
○	EXISTING CHAIN LINK FENCE
○PP	EXISTING POWER POLE
○HE	EXISTING OVERHEAD ELECTRIC
—	EXISTING GUY WIRE
□	EXISTING FLOOD LIGHT
—	EDGE OF ASPHALT
○	PROPOSED ORNAMENTAL FENCE
■	BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
■	ACCESSIBLE AISLE STRIPING
■	PROPOSED CONCRETE SIDEWALK
■	PROPOSED CONCRETE PAVEMENT
■	EXISTING SITE CONCRETE PAVEMENT TO REMAIN
■	EXISTING CAMPUS CONCRETE PAVEMENT TO REMAIN

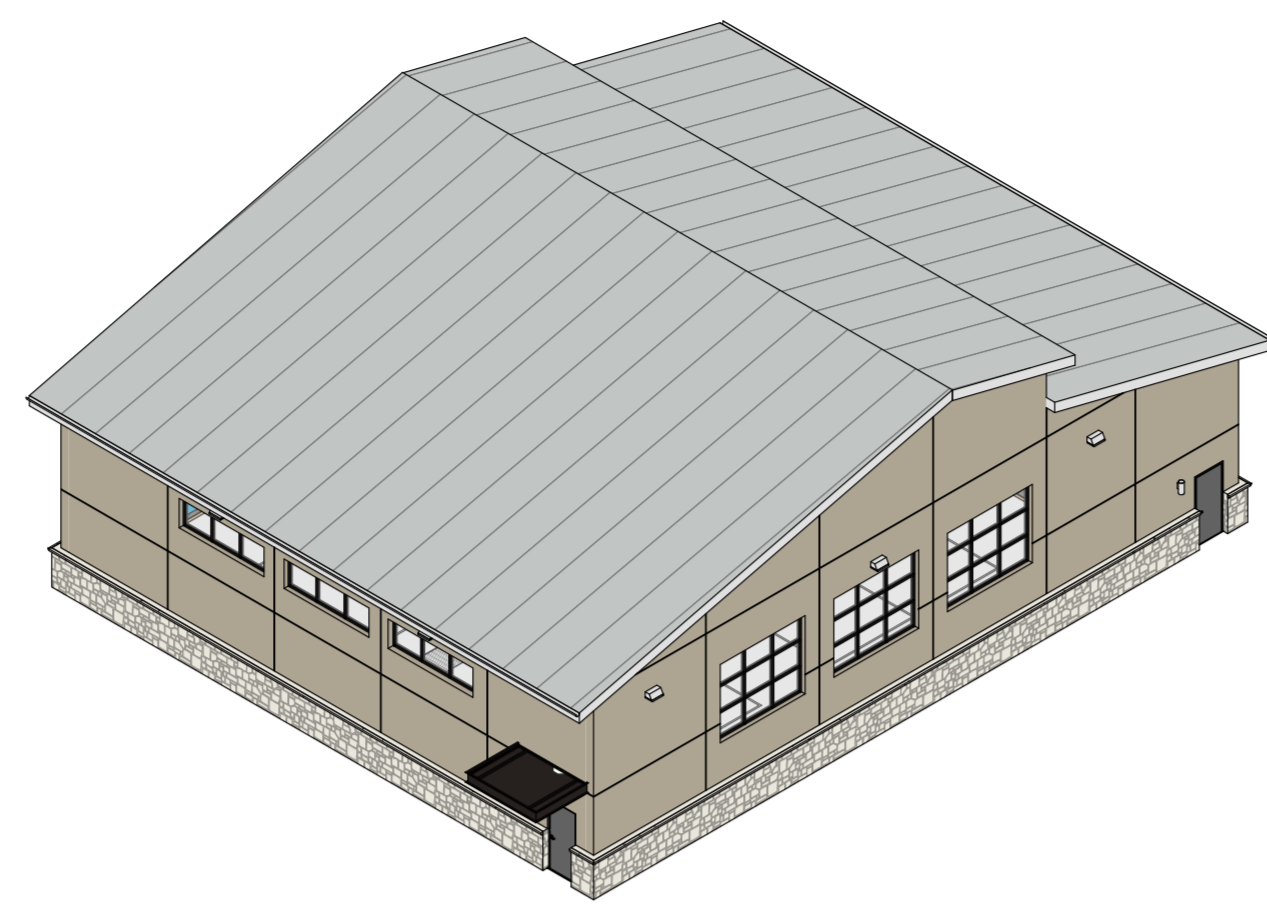
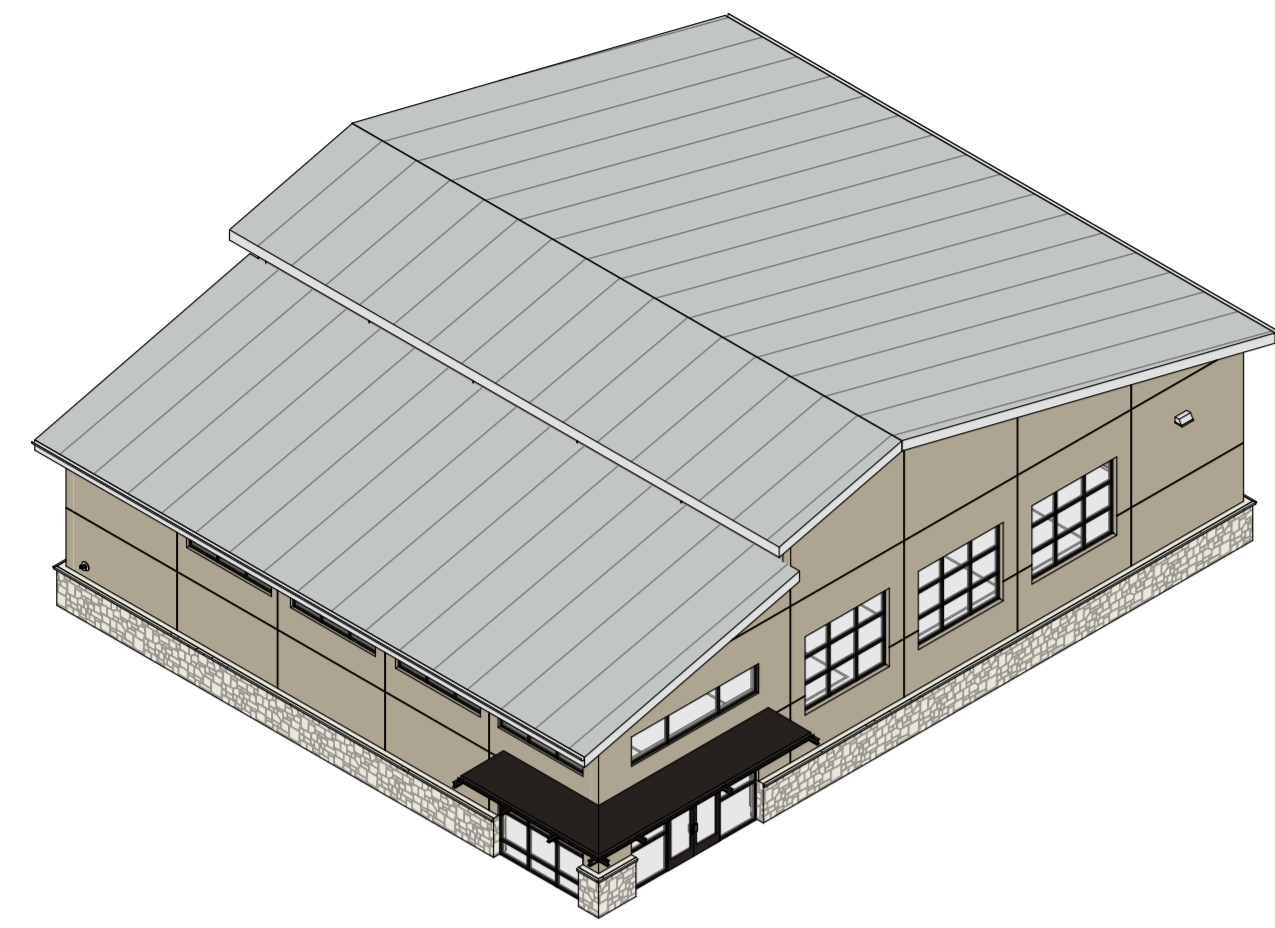
ARCHITECT
 MCCARTHY ARCHITECTURE
 1000 N. FIRST ST.
 GARLAND, TX 75040

LANDSCAPE ARCHITECT
 DUNKIN SIM STOFFELS, INC.
 4305 PECAN GROVE LANE
 ROWLETT, TX 75088

OWNER/ APPLICANT
 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087
 469-402-2100

CIVIL ENGINEER
 R - DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040
 TBPE No. F-1515

S GOLIAD ST (SH 205)
 (ASPHALT VARIABLE WIDTH ROW)



STUCCO -
SW9111 VELVET
ANTLER



STONE - TBD



DARK BRONZE
ALUM. FRAME



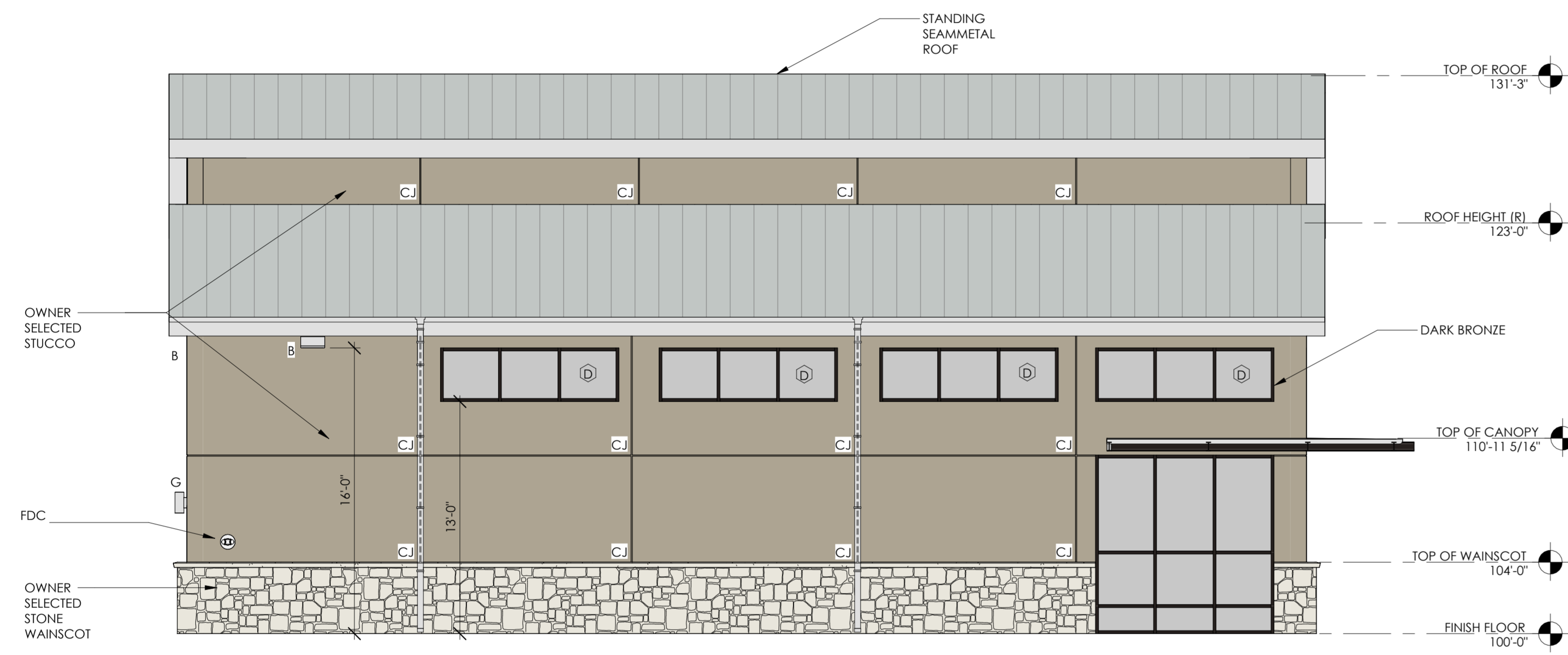
GALVALUME

BUILDING MATERIAL CALCULATIONS FOR WALLS

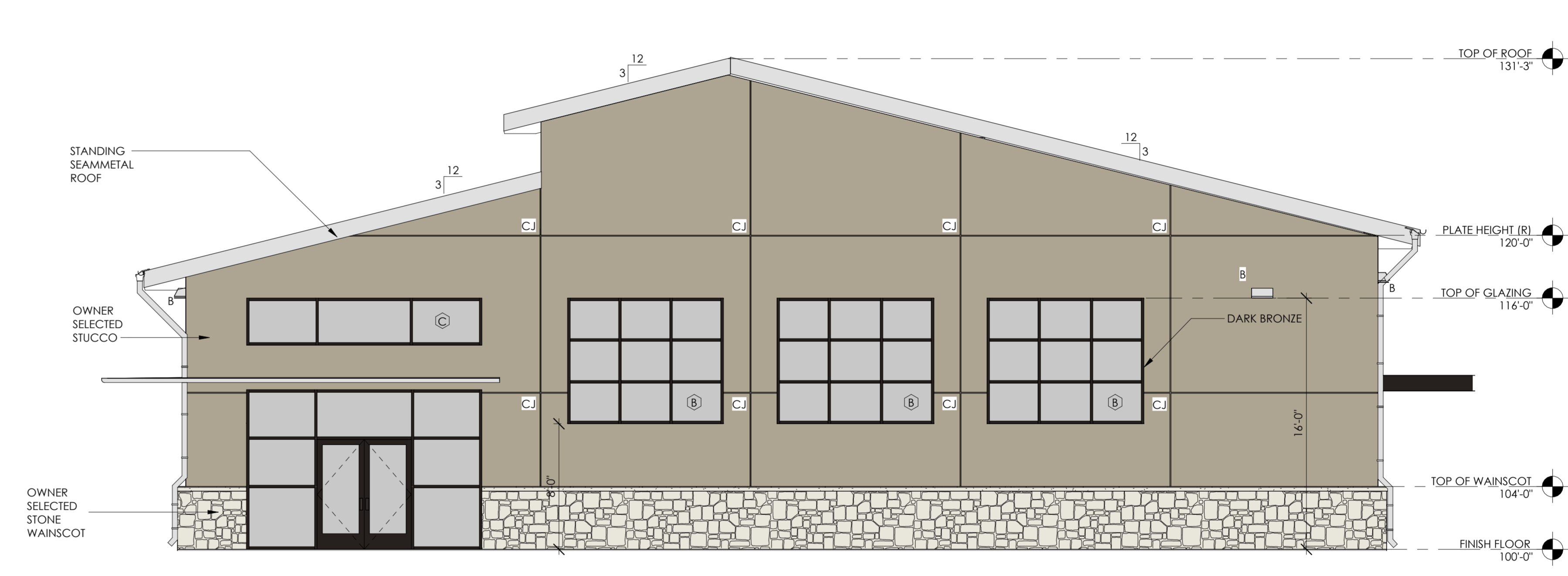
CATEGORIES	WEST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1612.22 S.F.	100%
Galvalume roof	635.85 S.F.	39.4%
Stucco - Velvet antler SW 9111	762.85 S.F.	47.4%
Stone - TBD	213.52 S.F.	13.2%

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	SOUTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1391.16 S.F.	100%
Galvalume roof	0 S.F.	0%
Stucco - Velvet antler SW 9111	1145.22 S.F.	82.32%
Stone - TBD	245.94 S.F.	17.68%



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



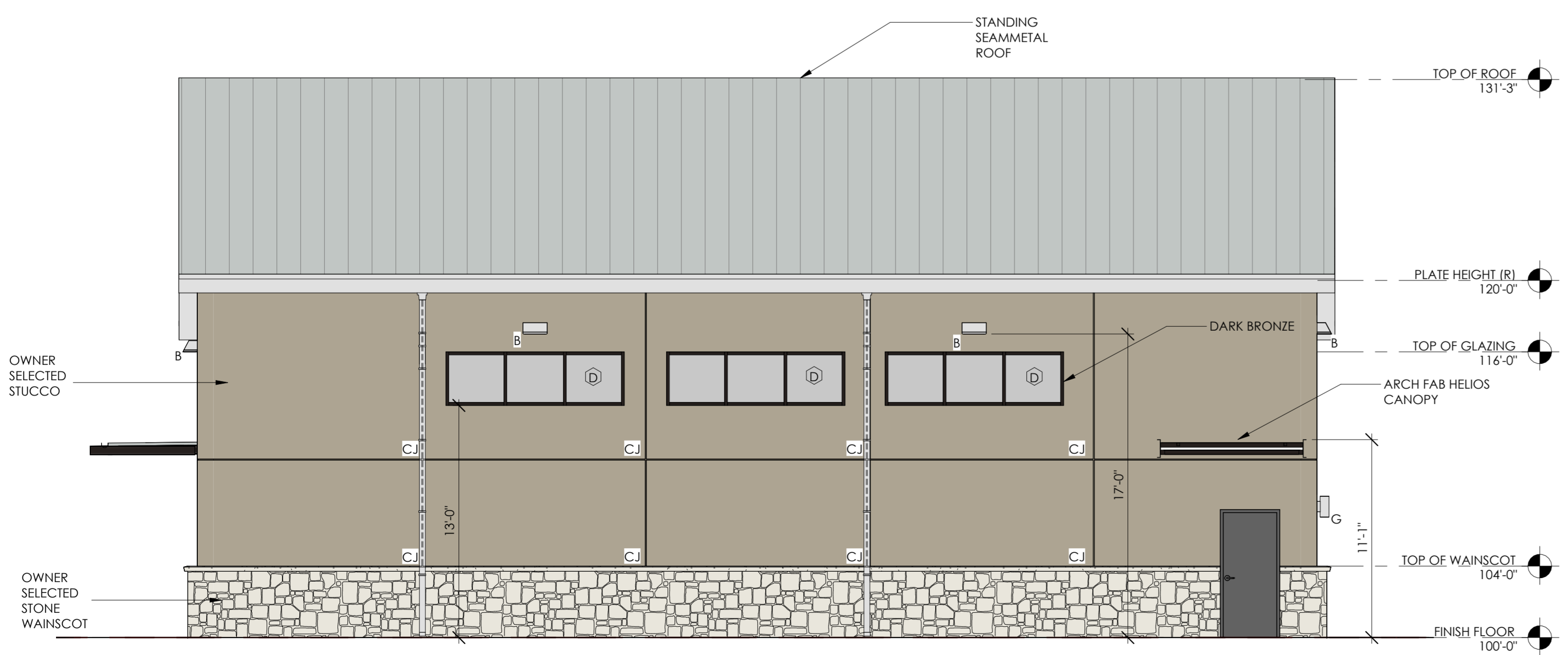
3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS

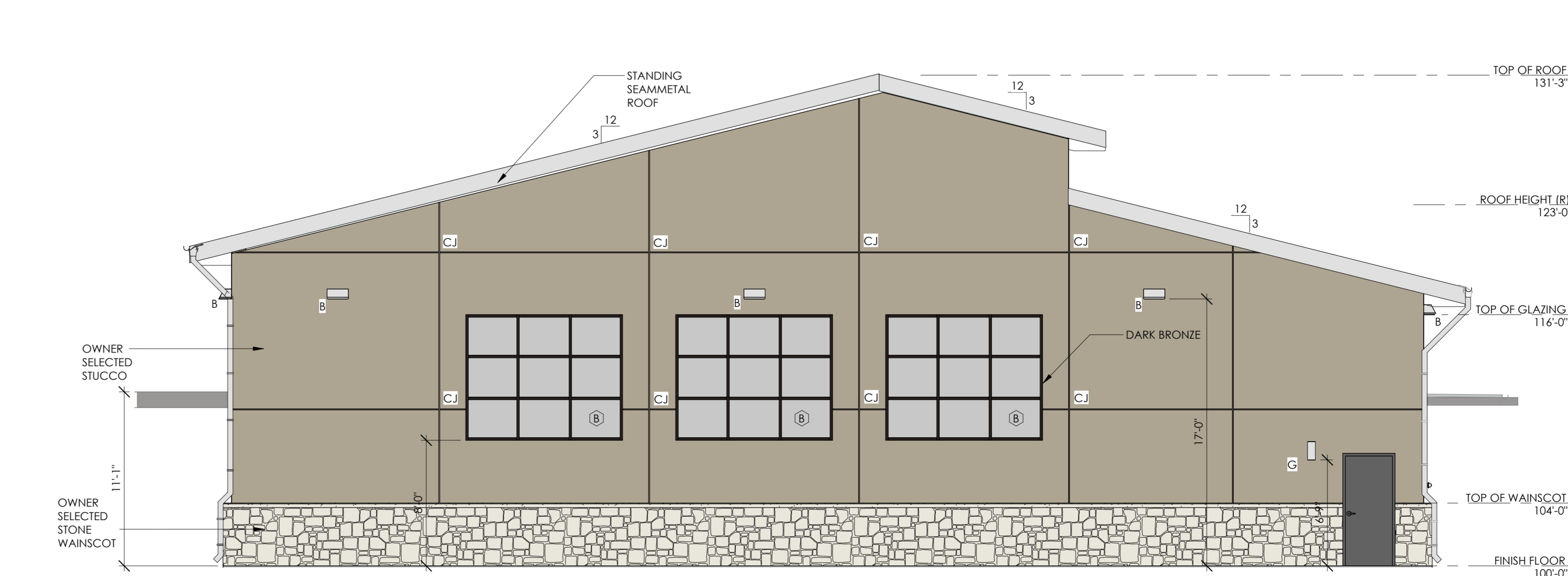
CATEGORIES	EAST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1793.7 S.F.	100%
Galvalume roof	701.29 S.F.	39.1%
Stucco - Velvet antler SW 9111	852.22 S.F.	47.5%
Stone - TBD	240.19 S.F.	13.4%

BUILDING MATERIAL CALCULATIONS FOR WALLS

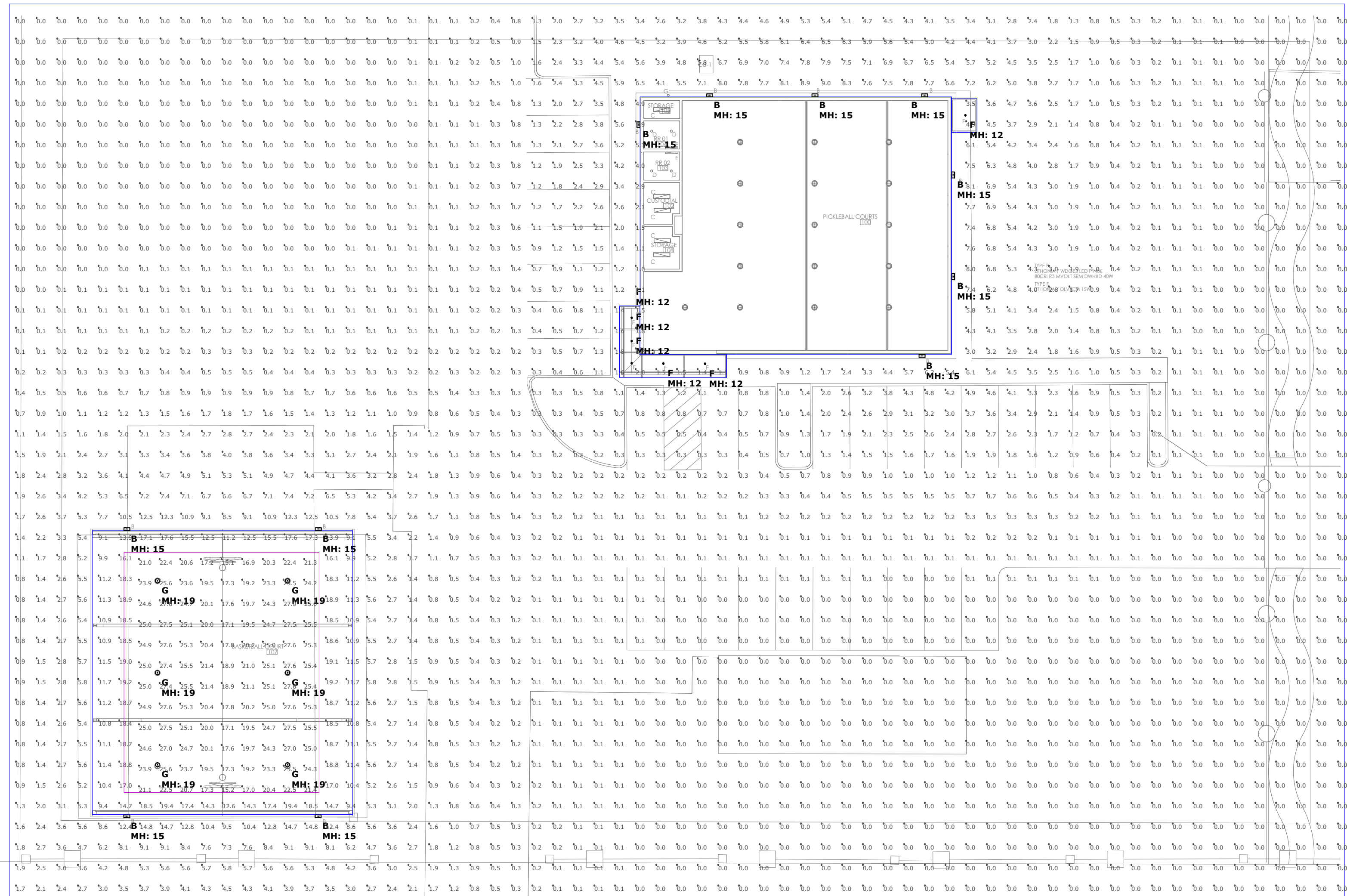
CATEGORIES	NORTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1564.3 S.F.	100%
Galvalume roof	0 S.F.	0%
Stucco - Velvet antler SW 9111	1271.70 S.F.	81.3%
Stone - TBD	292.60 S.F.	18.7%



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



Luminaire Schedule										
Symbol	Type	Qty	Manufacturer / Catalog Number			Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
□	B	11	LITHONIA WDGE3 LED P1 40K 80CRI R3 MVOLT SRM DWHXD			7524	51.172	1.000	0.850	1.000
⊙	F	6	LITHONIA OLVTCM			590	15.3	1.000	0.850	1.000
○	G	6	LITHONIA REBL ALO13 (18000LM) MD UVOLT SSW3 (40K) 80CRI [FINISH]			19371	118.4	1.000	0.850	1.000

Calculation Summary							
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	
SITE Planar	0	Fc	1.51	19.4	0.0	N.A.	
BASKETBALL COURT	0	Fc	22.84	27.6	15.1	1.51	

Notes:

1. Surface reflectances: Vertical/Horizontal - 50/20.
2. Calculation values are at height indicated in summary table.
3. Mounting heights are designated on drawing with "MH."
4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/21/2024

PROJECT NUMBER: SP2024-046
PROJECT NAME: Site Plan for 2686 S. Goliad Street
SITE ADDRESS/LOCATIONS: 2686 S GOLIAD ST

CASE CAPTION: Discuss and consider a request by Frank Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger Rayburn County Electric Cooperative for the approval of a Site Plan for Private Recreation Facilities on a 1.57-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	11/21/2024	Needs Review

11/21/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Private Recreation Facilities on a 1.57-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2024-046) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish or abandoned easements.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan.

- (1) Please only delineate the building setback adjacent to S. Goliad Street. In addition, the front building setback is 25-feet. (Subsection 03.04.B, of Article 11, UDC)
- (2) Please verify how many courts will be within the facility. Based on the parking requirements shown on the site plan, there would only be two (2) courts within the building.

(Subsection 03.04.B, of Article 11, UDC)

- (3) Please indicate the height of the proposed fencing and gates. In addition, please provide a detail of the fence and gates. (Subsection 0308.02.F, of Article 08, UDC)
- (4) Please indicate any ground mounted equipment. On the landscape plan provide the necessary five (5) gallon evergreen shrubs for screening. (Subsection 01.05. C, of Article 05, UDC)
- (5) Please clarify if there will be any RTUs. If so, they must be crosshatched on the building elevations. (Subsection 01.05. C, of Article 05, UDC)
- (6) Provide a note that there will be no outside storage or above ground storage tanks. (Subsection 01.05. D, of Article 05, UDC)
- (7) Please clarify the dumpster situation. Will there be a dumpster enclosure or will poly carts be used? Please note that poly carts must be stored within the building, and if a dumpster enclosure is proposed it must be shown on the site plan and a detail (including elevations) must be provided. (Subsection 01.05, of Article 05, UDC)

M.7 Landscape Plan.

- (1) Please delineate and label the 25-foot landscape buffer along S. Goliad Street. (Subsection 05.01, of Article 08, UDC)
- (2) Per the Planned Development District 44 (PD-44) Ordinance, "berms and shrubbery shall have a minimum combined height of 48-inches." Please delineate the berm on the landscape plan and provide the required shrubs. (PD-44, Ordinance No. 24-30)

M.8 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please note that up lighting is not permitted. (Subsection 03.03, of Article 07, UDC)
- (3) The light levels may not exceed 0.2 FC at any property line where new light fixtures are proposed. Currently the lighting on the new building exceeds this requirement. If none of the lighting is being replaced for the basketball court then this does not need to be included on the photometric plan. If this lighting is being replaced, it must meet the 0.2 FC requirement. (Subsection 03.03.G, of Article 07, UDC)
- (4) Please provide lighting cut sheets for all proposed fixtures. (Subsection 03.03, of Article 07, UDC)

M.9 Building Elevations

- (1) Please update the table indicating the percentage surface area for each of the proposed materials. This should not include the roof. This will change the material percentages for the stone and stucco. Based on this, the stone may be over the 20% stone requirements (Subsection 04.01, of Article 05, UDC)
- (2) Each façade is required 20% natural or quarried stone. In this case, the north and south facades do not meet this requirement. With the roof being removed from the material calculations, the east and west facades may or may not meet this requirement. This will be a variance.
- (3) Each façade is limited to 50% cementitious material on each façade. In this case, each façade does not meet this requirement. This will be a variance.
- (4) Please update the stone callout in the material percentage tables. It is currently indicated as TBD, but the material sample board provided a specific stone. (Subsection 06.02.C, of Article 05, UDC)
- (5) The proposed building does not meet the four (4) sided architecture or articulation standards. These will be variances. (Subsection 04.01.C, of Article 05, UDC)
- (6) Please provide building elevations for the existing basketball court facility. (Subsection 03.04.B, of Article 11, UDC)

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.11 Revised and corrected plans are due by 3:00 PM on December 3, 2024.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on November 26, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on December 10, 2024.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

- 11/19/2024: 1. Will need a looped water main - cannot dead end this main. Is it tying into an existing main? Please clarify.
2. Fence shall "straddle" the water line easement. No poles or structures allowed in easements.
 3. Shift location so that meter is not in parking stall or sidewalk next to the building.
 4. All site drainage must go to the existing detention system.
 5. Check with the Fire Marshal to make sure that you don't need additional fire hydrants.
 6. Min 10' island
 7. Dead end fire lane is too long without a Fire Department turn around
 8. Currently not a fire lane. Need to plat as fire lane

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction Manual
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences with easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Show commercial dumpster location on site plan, if there will be a commercial dumpster.
- Additional comments may be provided at time of Engineering submittal.

Drainage Items:

- No Detention is required
- Existing flow patterns must be maintained.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- Dumpster areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is currently an existing 12" water main and a 8" water main running along SH205 available for use if needed.
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is currently an existing 10" sewer main and manhole on the southwest side of the property available for use if needed.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- Commercial sanitary sewer services are minimum 6", and connected to a manhole.

Roadway Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed)

- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without a City approved turnaround.
- All drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.
- If remaining separate lots, will need access easements on this lot and adjacent.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	11/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/18/2024	Approved w/ Comments

11/18/2024: Gates that cross the fire lane will need to have a permit from the fire department.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/18/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	11/18/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/19/2024	Approved w/ Comments

11/19/2024: Landscape plants are good varieties and will do well
 There are better varieties of Bermudagrass that are more drought, cold, wear and shade tolerant such as Tif Tuf and Tahoma 31.

- General Items:**
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 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer & Roadway)
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
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PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
17	1	18

PAVEMENT INFORMATION:

ALL PAVEMENTS BELOW HAVE #3 BARS 24" O.C.E.W.

PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)	MIN. CEMENT (SACKS/CY)	
			MACHINE	HAND
FIRE LANE	6"	3,600	6.0	6.5
DRIVEWAYS	6"	3,600	6.0	6.5
BARRIER FREE RAMPS	6"	3,600	6.0	6.5
DUMPSTER PADS	7"	3,600	6.0	6.5
SIDEWALKS	4"	3,000	N/A	5.5
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____.

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE
0	11/13/2024	RDE	FAP	RDE	ISSUED FOR REVIEW

REC
Rayburn Electric
COOPERATIVE

618 Main Street
Garland, TX 75040
Ph. (972) 494-5031
Fax (972) 487-2270
www.rdelta.com
TBPE No. F-1515

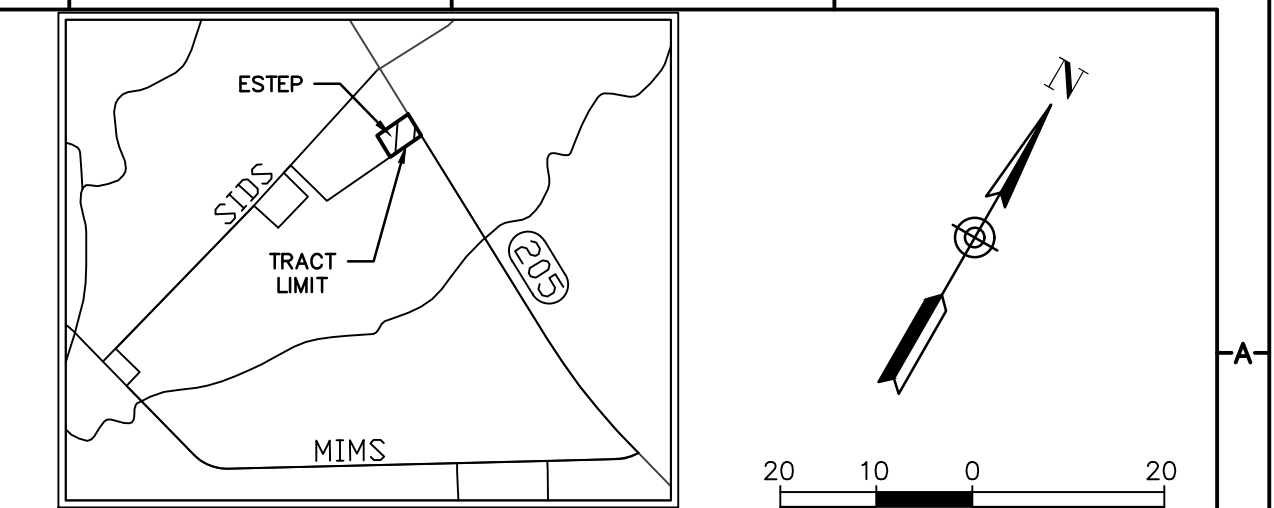
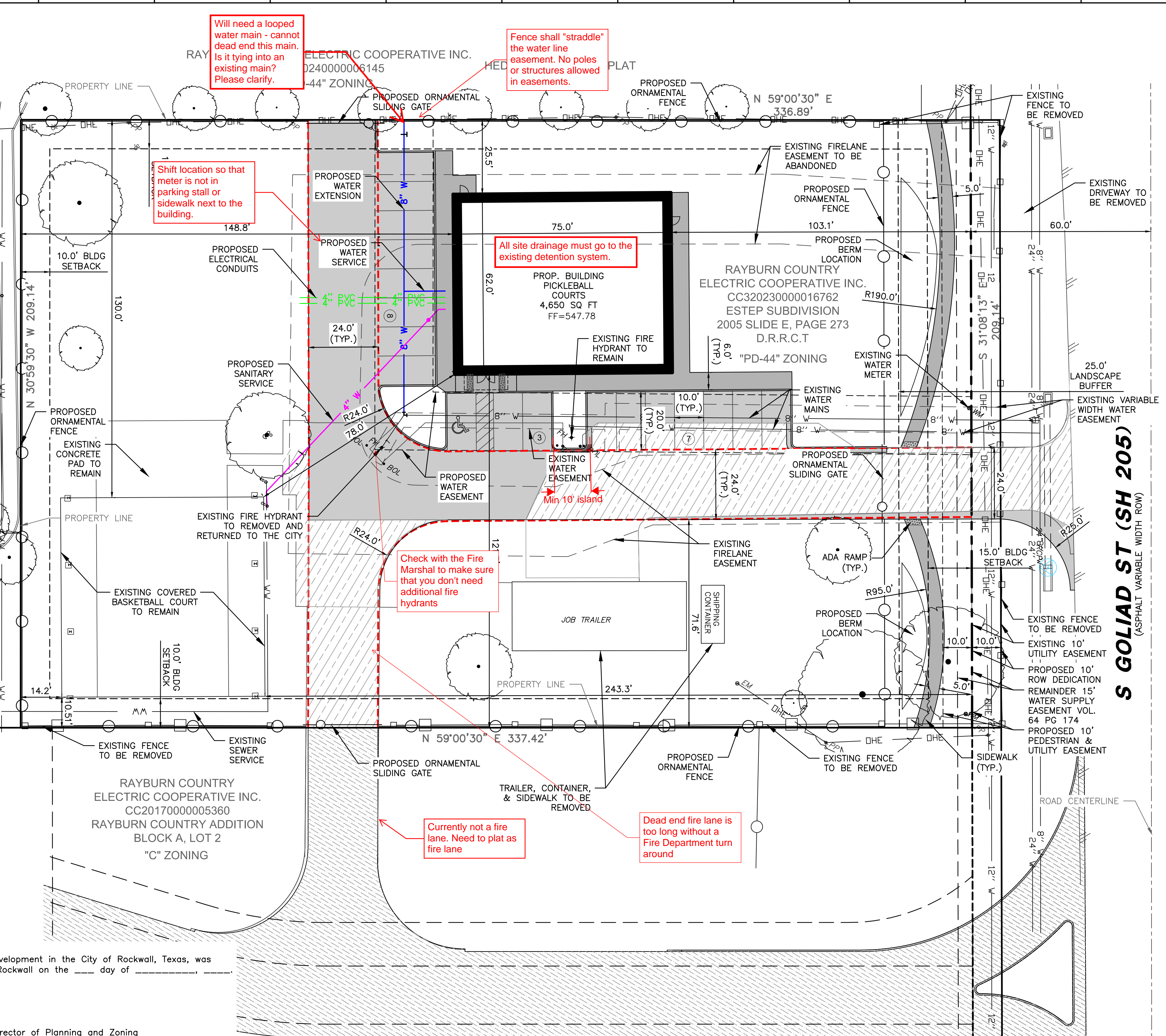
rdelta
ENGINEERS

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY FRANK A. POLINA, P.E. 80274 ON NOVEMBER 13, 2024. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

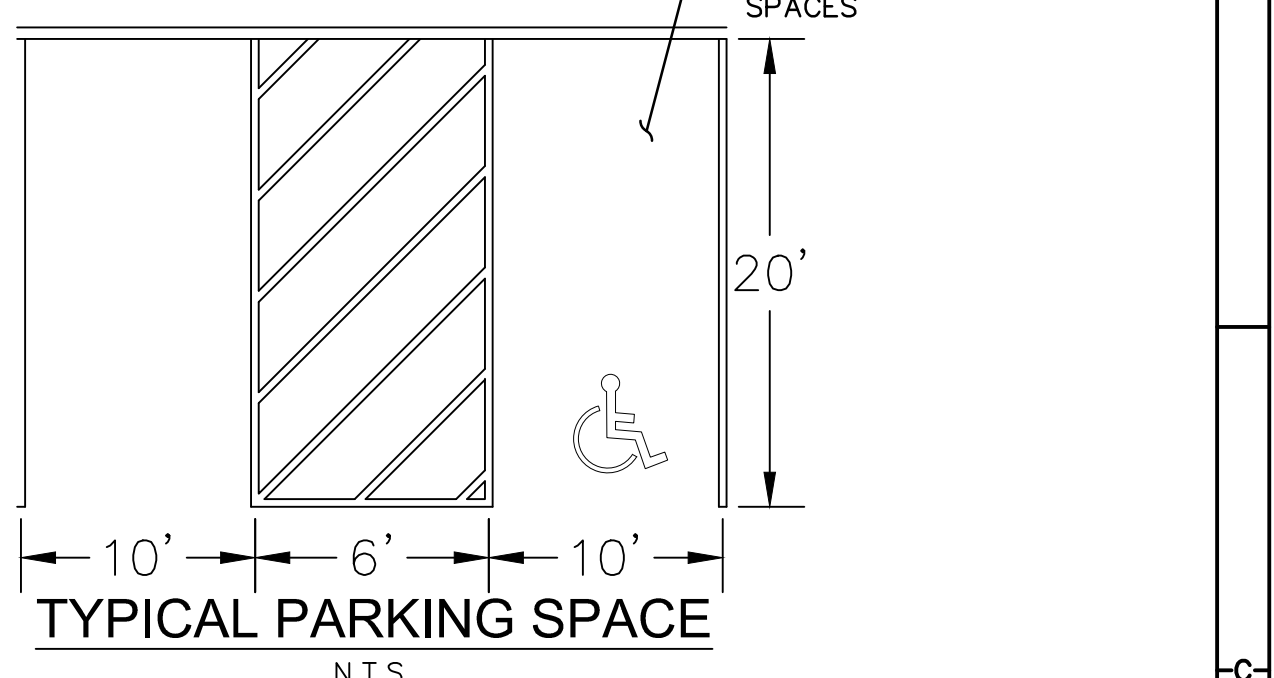
JOB NO. 3036-21	DESIGN BY AGU
CREATED	CODE
PLOTTED 11/13/2024	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-1
APPROVED:	ISSUE: 0
FILENAME:	

**REC CAMPUS EXPANSION
PICKLEBALL COURT**
2686 S GOLIAD ST (SH 205)
ROCKWALL, TX 75032

CASE #
CITY SITE PLAN SUBMITTAL



- NOTES:**
1. ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
 2. ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
 3. EXISTING UTILITY, WATER, AND FIRELANE EASEMENT TO BE REPLATTED FOR NEW SITE LAYOUT.
 4. ALL RADIUS ARE 2' UNLESS OTHERWISE STATED.



LEGEND

SYMBOL	DESCRIPTION
EM	EX. ELECTRIC METER
ICV	EX. IRRIGATION CONTROL VALVE
B	EX. BOLLARD
WM	EX. WATER METER
SSMH	EX. SANITARY SEWER MANHOLE
EB	EX. ELECTRIC BOX
FH	EX. FIRE HYDRANT
X" W	EX. WATER MAIN PIPE
X" WW	EX. WASTE WATER MAIN PIPE
XX" RCP	EXISTING CONCRETE PIPE & SIZE
□	EXISTING WROUGHT IRON FENCE
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CIVIL ENGINEER
R - DELTA ENGINEERS, INC.
618 MAIN STREET
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TBPE No. F-1515

S GOLIAD ST (SH 205)
(ASPHALT VARIABLE WIDTH ROW)

All site drainage must go to the existing detention system.

Shift location so that meter is not in parking stall or sidewalk next to the building.

Fence shall "straddle" the water line easement. No poles or structures allowed in easements.

Will need a looped water main - cannot dead end this main. Is it tying into an existing main? Please clarify.

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Currently not a fire lane. Need to plat as fire lane

Dead end fire lane is too long without a Fire Department turn around



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input checked="" type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²</p> <p>NOTES:</p> <p>¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
--	---

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 2686 S Goliad St (SH205)

SUBDIVISION: Estep Subdivision LOT: 1 BLOCK: A

GENERAL LOCATION: 615 feet south of Sids Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: PD-44 CURRENT USE: Commercial

PROPOSED ZONING: _____ PROPOSED USE: Recreation Facility

ACREAGE: 1.57 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Rayburn County Electric Coop.	<input type="checkbox"/> APPLICANT	R-Delta Engineers Inc
CONTACT PERSON	Stephen Geiger	CONTACT PERSON	Frank A Polma, P.E.
ADDRESS	950 Sids Road	ADDRESS	618 Main Street
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Garland, TX 75040
PHONE	469-402-2112	PHONE	972-494-5031
E-MAIL	sgeiger@rayburnelectric.com	E-MAIL	fapolma@rdelta.com

NOTARY VERIFICATION [REQUIRED]

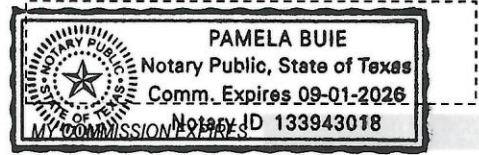
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Naylor [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 331.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF November, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF November, 2024

OWNER'S SIGNATURE: [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]



0 30 60 120 180 240 Feet

SP2024-046: Site Plan for 2686 S. Goliad Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SITE INFORMATION:

EXISTING ZONING: PD-44
 PROPOSED ZONING: NO CHANGE
 PROPOSED USE: PICKLEBALL COURTS
 TOTAL AREA: 70,511 SQ FT 1.619 AC

"PD-44" ZONING
 MAXIMUM BUILDING HEIGHT: 60 FT
 MAXIMUM LOT COVERAGE: 60%
 MAXIMUM FLOOR AREA RATIO: 4:1
 MAXIMUM IMPERVIOUS PARKING: 85% TO 90%

PROPOSED MAX. BUILDING HEIGHT: 30'-4"
 PROPOSED LOT COVERAGE: 33,339/70,511 = 47.3%
 PROPOSED FLOOR AREA RATIO: 4,650/70,511 = 6.6%
 PROPOSED IMPERVIOUS PARKING: 5,580/70,511 = 7.9%

REQUIRED PARKING:
 PROPOSED BUILDING 4650 SQ FT
 (3:COURT & 1:200) = 30 SPACES

TOTAL REQUIRED PARKING = 30 SPACES
 TOTAL PROVIDED PARKING = 18 SPACES

EXISTING SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
7	1	8

PROPOSED SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
17	1	18

PAVEMENT INFORMATION:

ALL PAVEMENTS BELOW HAVE #3 BARS 24" O.C.E.W.

PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)	MIN. CEMENT (SACKS/CY)	
			MACHINE	HAND
FIRE LANE	6"	3,600	6.0	6.5
DRIVEWAYS	6"	3,600	6.0	6.5
BARRIER FREE RAMPS	6"	3,600	6.0	6.5
DUMPSTER PADS	7"	3,600	6.0	6.5
SIDEWALKS	4"	3,000	N/A	5.5
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.

WITNESS OUR HANDS, this ___ day of _____.

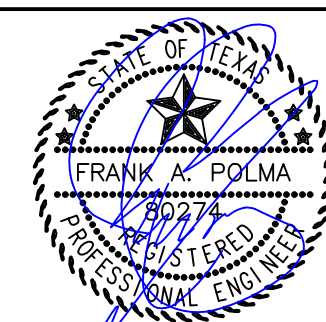
Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE
0	11/13/2024	RDE	FAP	RDE	ISSUED FOR REVIEW

REC
 Rayburn Electric
 COOPERATIVE

618 Main Street
 Garland, TX 75040
 Ph. (972) 494-5031
 Fax (972) 487-2270
 www.rdelta.com
 TBPE No. F-1515

rdelta
 ENGINEERS

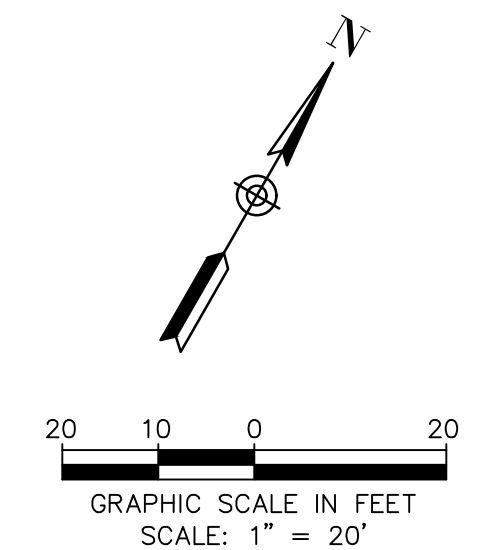
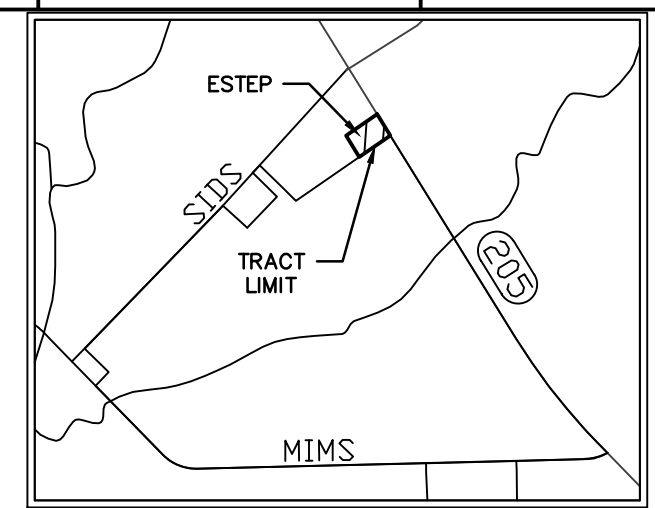
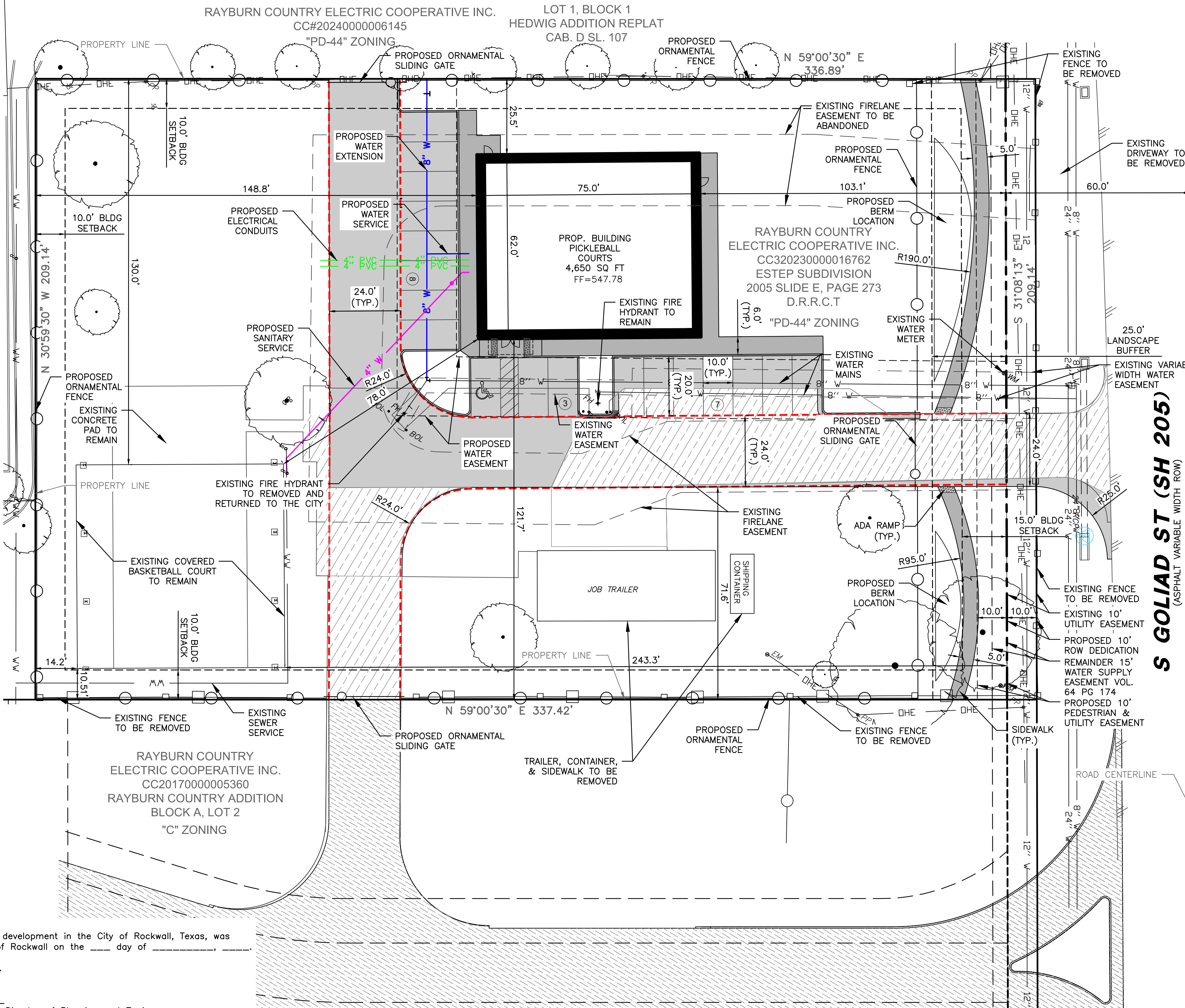


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY FRANK A. POLMA, P.E. 80274 ON NOVEMBER 13, 2024. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

JOB NO. 3036-21	DESIGN BY AGU
CREATED	CODE
PLOTTED 11/13/2024	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-1
APPROVED:	ISSUE: 0
FILENAME:	

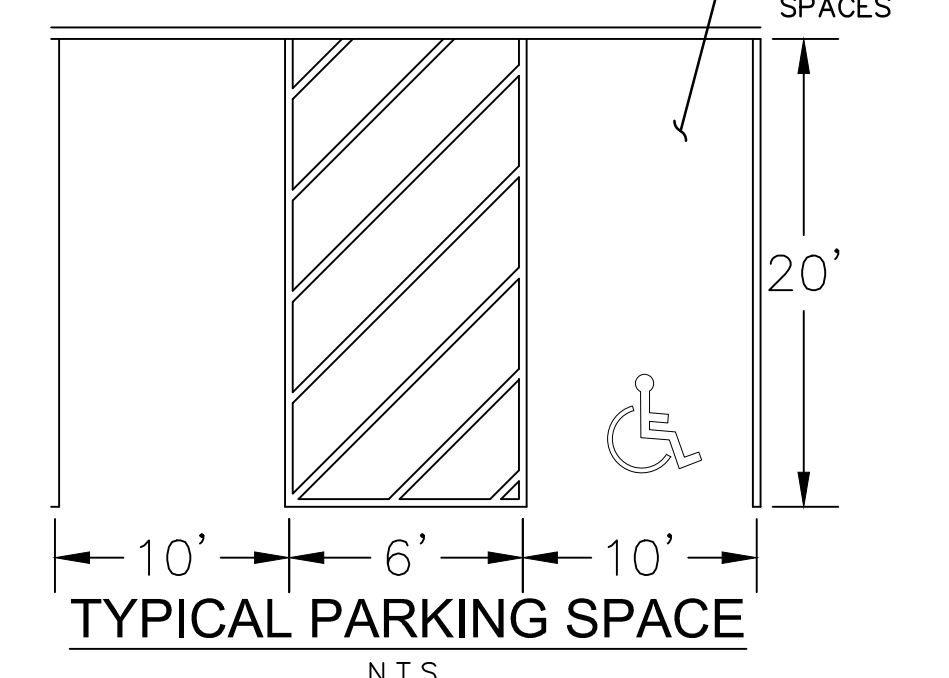
**REC CAMPUS EXPANSION
 PICKLEBALL COURT**
 2686 S GOLIAD ST (SH 205)
 ROCKWALL, TX 75032

CASE #
CITY SITE PLAN SUBMITTAL



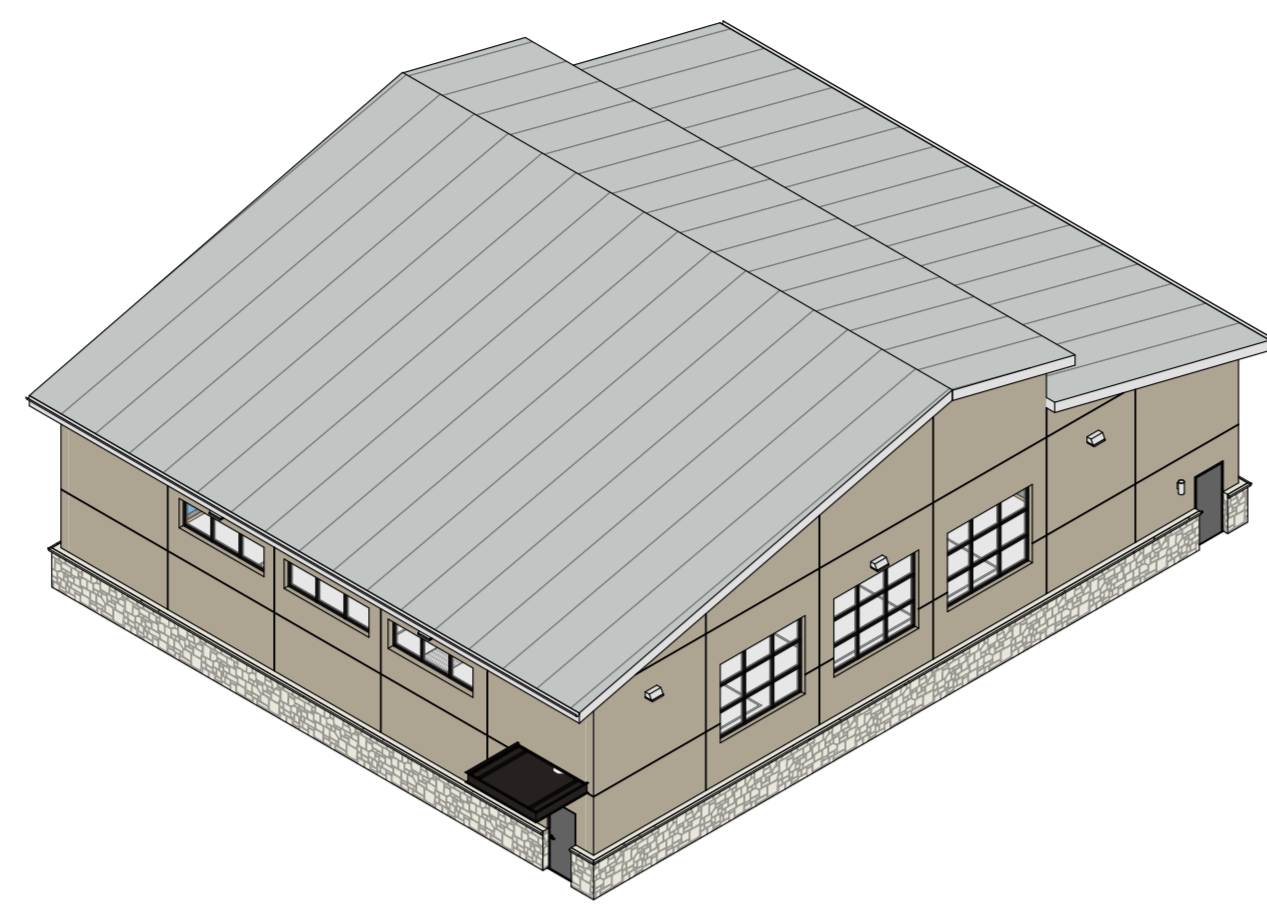
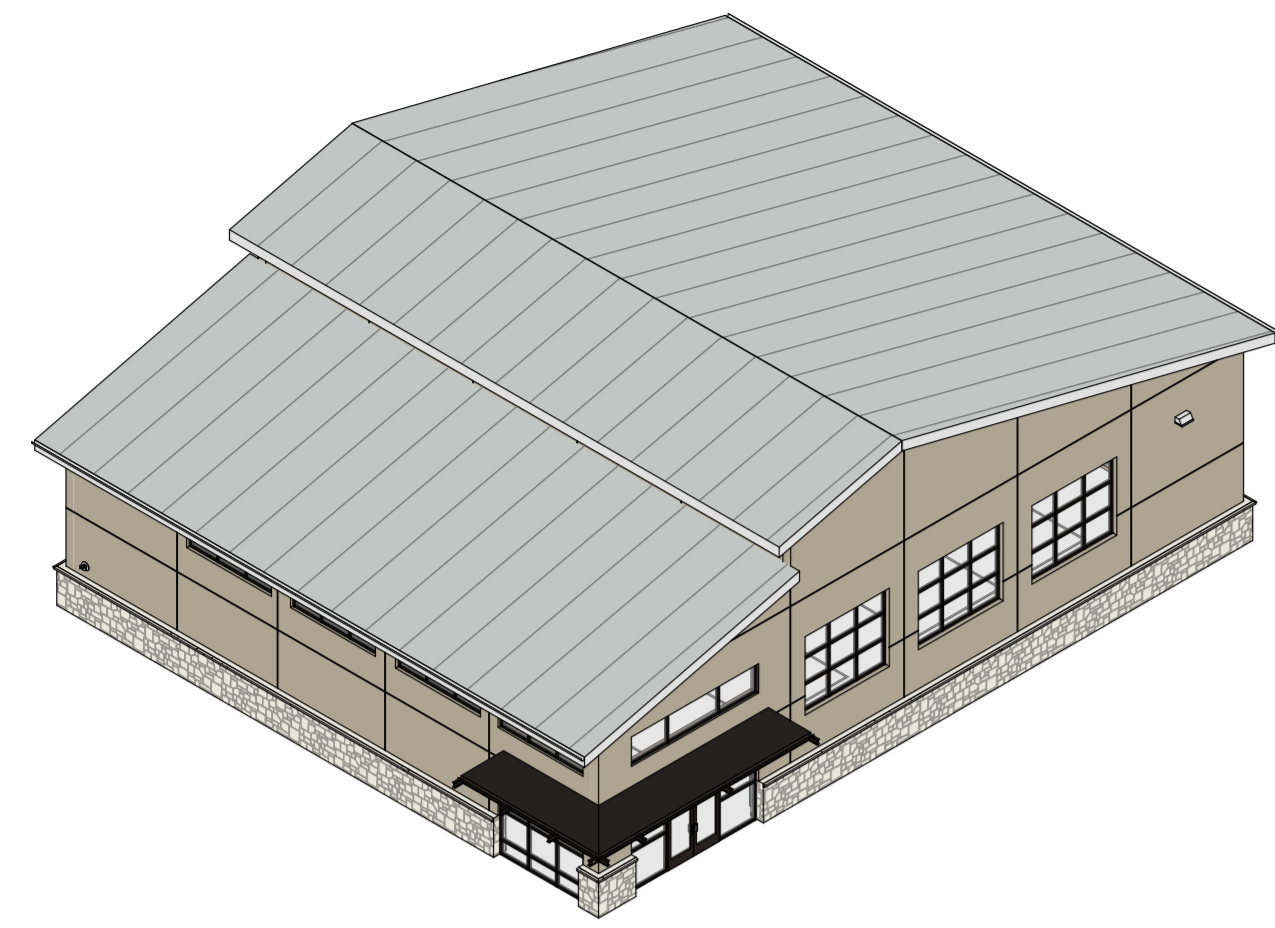
NOTES:

- ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
- EXISTING UTILITY, WATER, AND FIRELANE EASEMENT TO BE REPLATTED FOR NEW SITE LAYOUT.
- ALL RADIUS ARE 2' UNLESS OTHERWISE STATED.



LEGEND

- ARCHITECT**
 MCCARTHY ARCHITECTURE
 1000 N. FIRST ST.
 GARLAND, TX 75040
- LANDSCAPE ARCHITECT**
 DUNKIN SIM STOFFELS, INC.
 4305 PECAN GROVE LANE
 ROWLETT, TX 75088
- OWNER/ APPLICANT**
 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087
 469-402-2100
- CIVIL ENGINEER**
 R - DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040
 TBPE No. F-1515
- EM EX. ELECTRIC METER
 - ICV EX. IRRIGATION CONTROL VALVE
 - B EX. BOLLARD
 - WM EX. WATER METER
 - SSMH EX. SANITARY SEWER MANHOLE
 - EB EX. ELECTRIC BOX
 - FH EX. FIRE HYDRANT
 - X" W EX. WATER MAIN PIPE
 - X" WW EX. WASTE WATER MAIN PIPE
 - XX" RCP EXISTING CONCRETE PIPE & SIZE
 - EXISTING WROUGHT IRON FENCE
 - EXISTING CHAIN LINK FENCE
 - OPP EXISTING POWER POLE
 - OHE EXISTING OVERHEAD ELECTRIC
 - EXISTING GUY WIRE
 - EXISTING FLOOD LIGHT
 - EDGE OF ASPHALT
 - PROPOSED ORNAMENTAL FENCE
 - BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
 - ACCESSIBLE AISLE STRIPING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CONCRETE PAVEMENT
 - EXISTING SITE CONCRETE PAVEMENT TO REMAIN
 - EXISTING CAMPUS CONCRETE PAVEMENT TO REMAIN



STUCCO -
SW9111 VELVET
ANTLER



STONE - TBD



DARK BRONZE
ALUM. FRAME



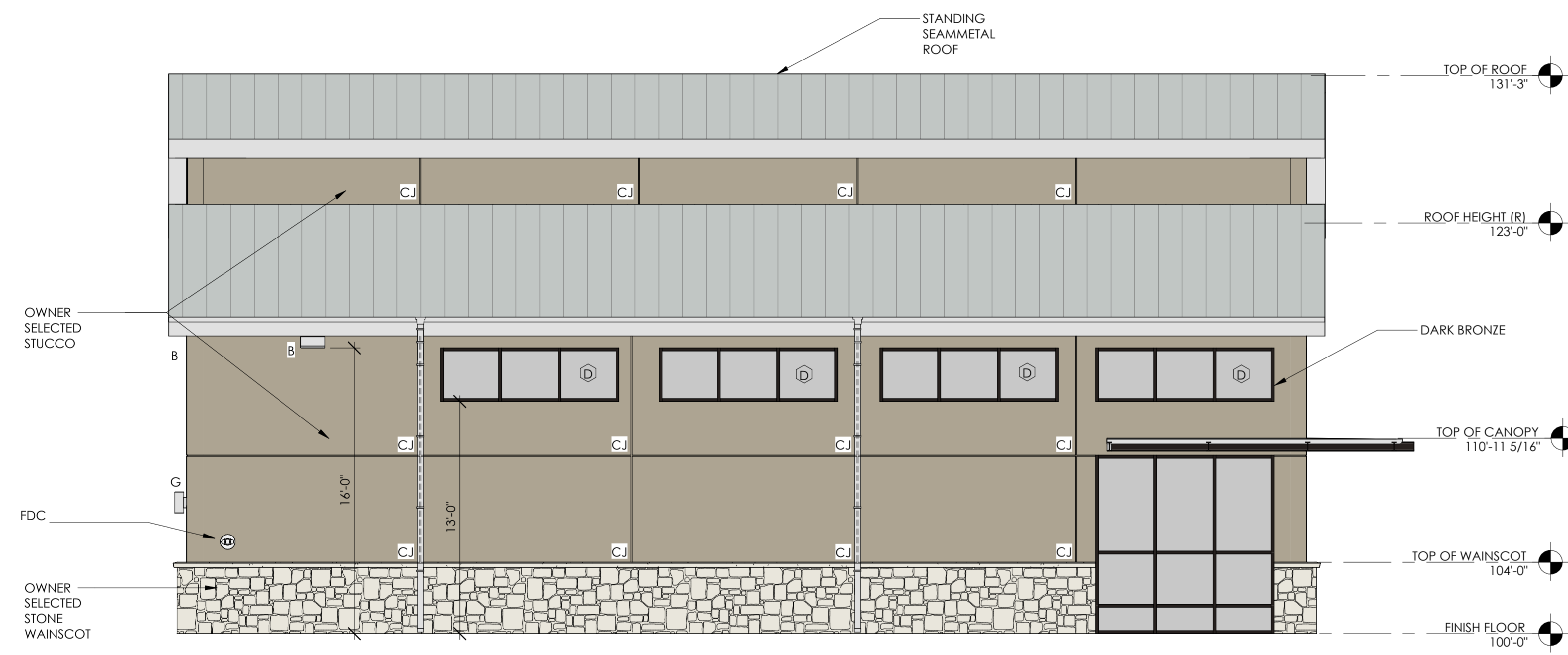
GALVALUME

BUILDING MATERIAL CALCULATIONS FOR WALLS

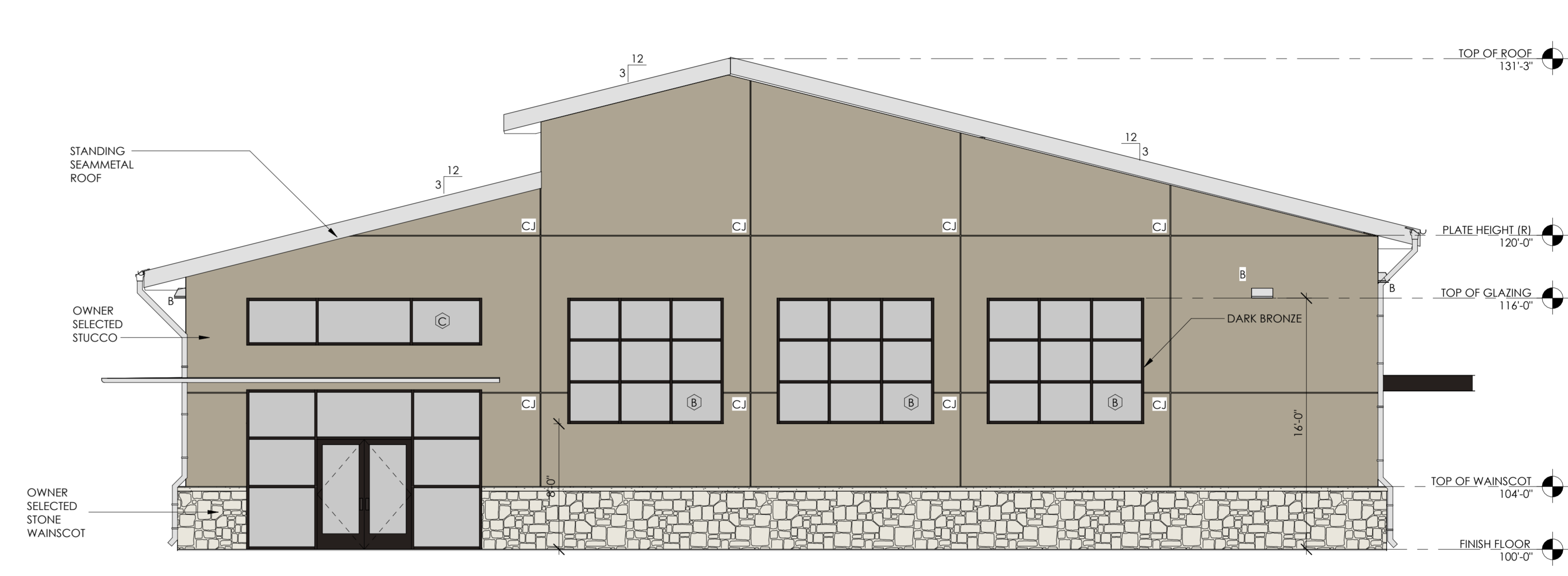
CATEGORIES	WEST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1612.22 S.F.	100%
Galvalume roof	635.85 S.F.	39.4%
Stucco - Velvet antler SW 9111	762.85 S.F.	47.4%
Stone - TBD	213.52 S.F.	13.2%

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	SOUTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1391.16 S.F.	100%
Galvalume roof	0 S.F.	0%
Stucco - Velvet antler SW 9111	1145.22 S.F.	82.32%
Stone - TBD	245.94 S.F.	17.68%



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



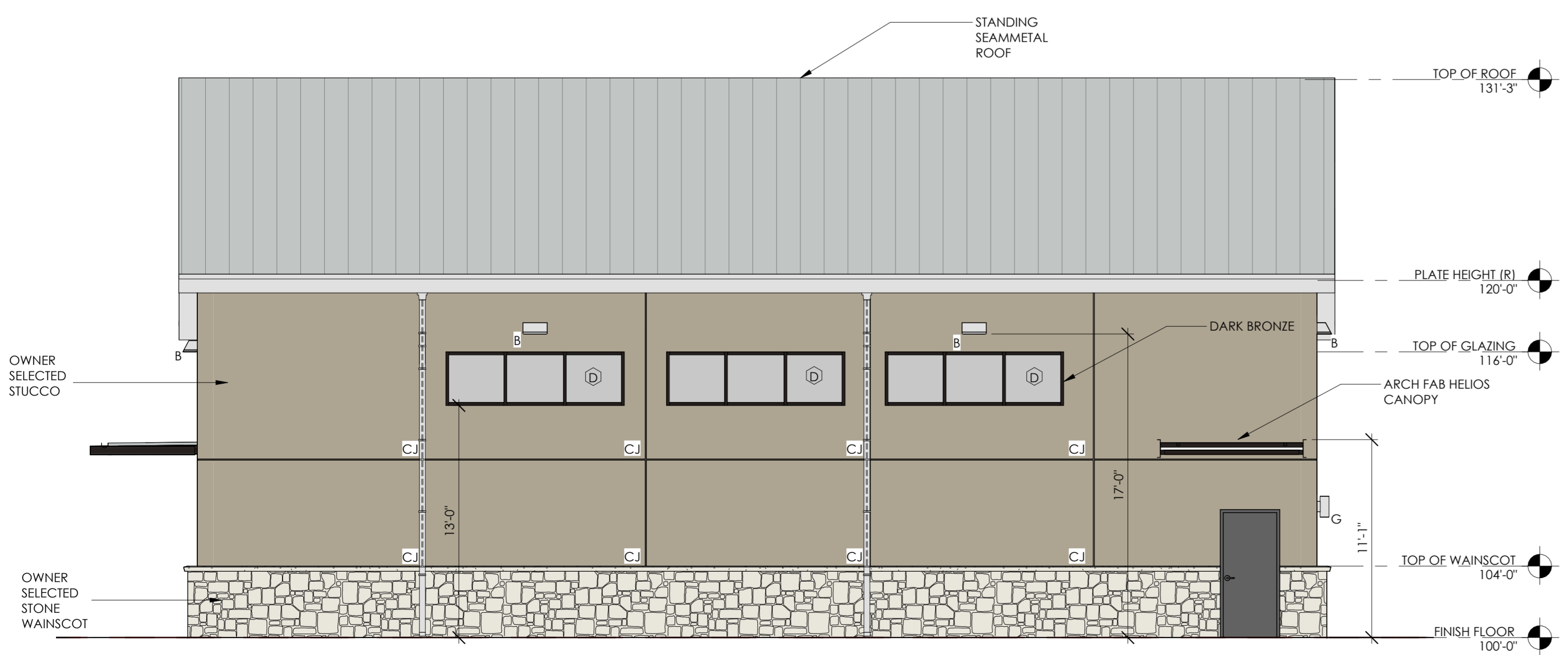
3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS

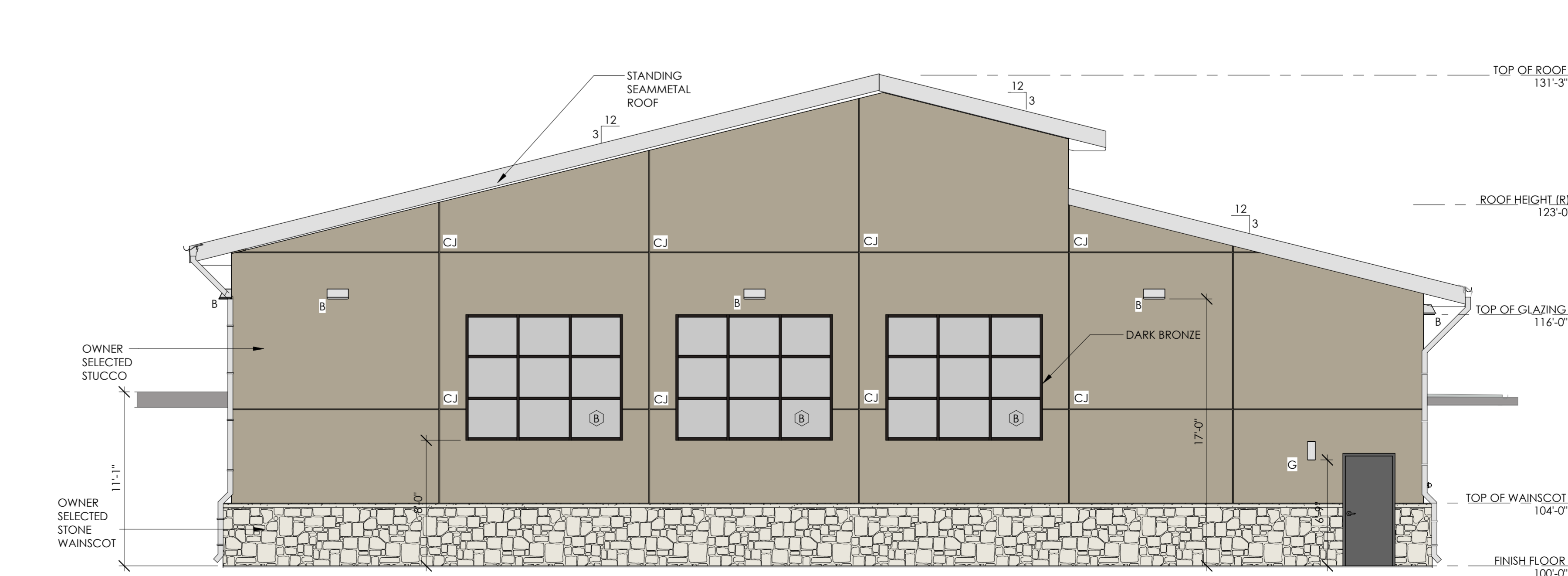
CATEGORIES	EAST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1793.7 S.F.	100%
Galvalume roof	701.29 S.F.	39.1%
Stucco - Velvet antler SW 9111	852.22 S.F.	47.5%
Stone - TBD	240.19 S.F.	13.4%

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	NORTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1564.3 S.F.	100%
Galvalume roof	0 S.F.	0%
Stucco - Velvet antler SW 9111	1271.70 S.F.	81.3%
Stone - TBD	292.60 S.F.	18.7%



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

LANDSCAPE REQUIREMENTS
Total Site Area - 70,511 SF = 1.619 Acres

Site Landscape Area
Total Site Landscape Area - 46,278 SF = 65% of Site
45,361 SF TURF PROVIDED
917 SF LANDSCAPE PLANTING BED PROVIDED

Landscape Buffer Components Street Frontage- SH 205
Total (25' Wide) Required Landscape Buffer Area - 5,225 SF
Total (30' Wide) Provided Landscape Buffer Area - 6,270 SF

917 SF OF LANDSCAPE BED
4,308 SF OF TURF PROVIDED

Landscape Buffer Trees Street Frontage- SH 205
Street Frontage Length - 209 LF
3 Canopy Tree per 100 LF of Street Frontage (Min. 4" Cal.)
4 Accent Tree per 100 LF of Street Frontage (4' Ht. Min.)

7 CANOPY / 9 ACCENT TREES REQUIRED
7 CANOPY / 9 ACCENT TREES PROVIDED

Landscape Parking Trees
1 Canopy Tree/ 10 parking spaces
1 Tree within 80' of each parking space

2 TREES REQUIRED
3 TREES PROVIDED

IRRIGATION:
An automatic irrigation system will be installed by the Owner, to water the required landscape improvements. Irrigation plans to be provided.

NOTE:
Landscape Plans shall meet requirements in the Unified Development Code-Article 8 and the 205 PD-044 with exceptions granted to Owner.

Trees that are existing within the landscape buffer or limbs that enter into the landscape buffer shall be pruned by a certified arborist. It shall be pruned to allow for sunlight to filter through existing tree to facilitate success of newly planted trees.

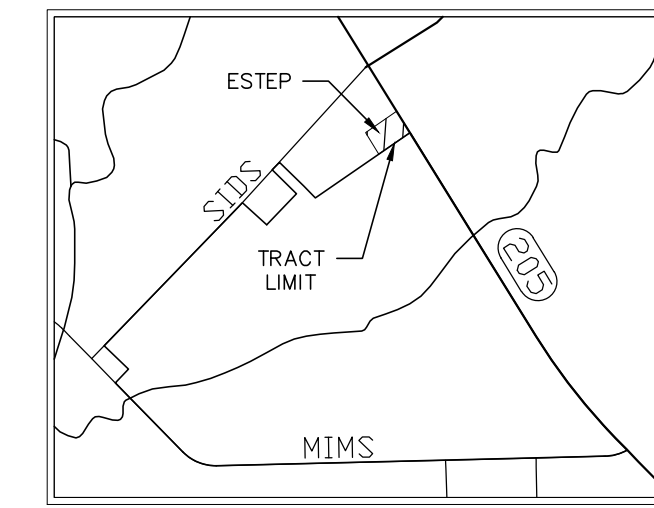
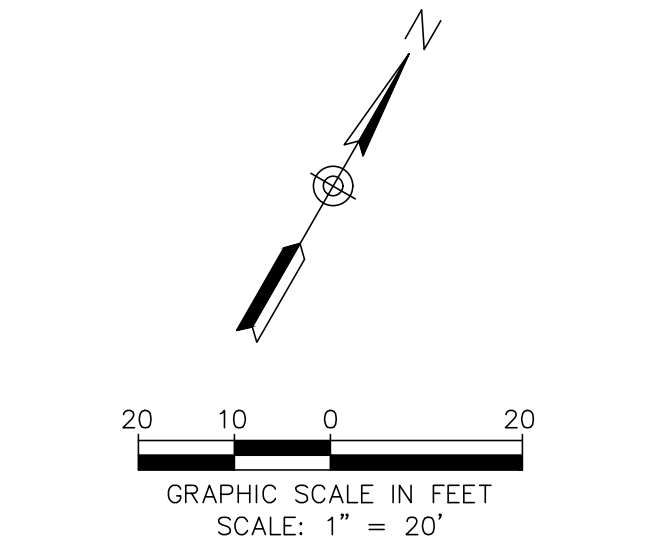
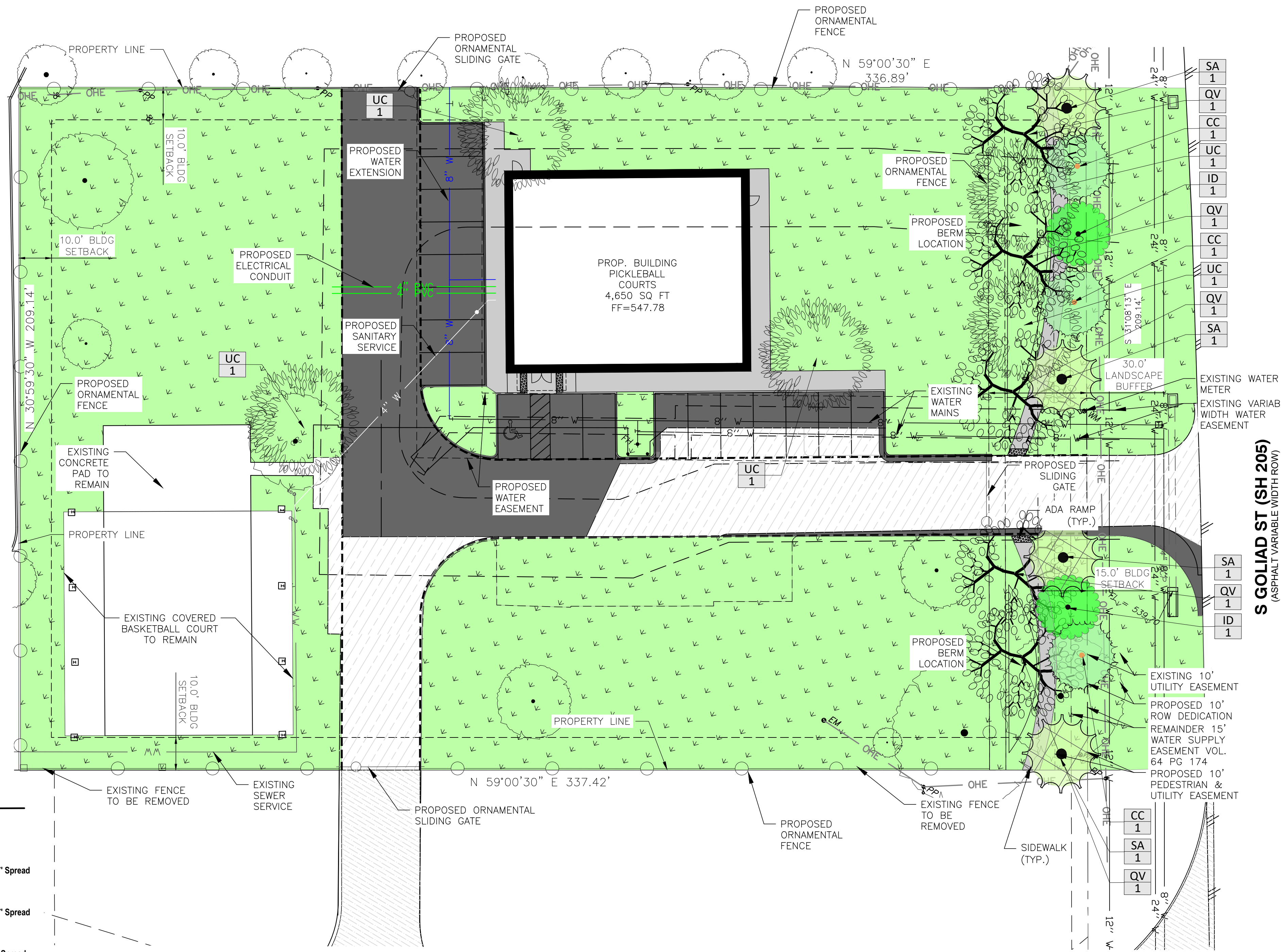
LEGEND

LO 3 PLANT SYMBOL, REF. PLANT SCHEDULE
PLANT QUANTITY

EXISTING TREES TO REMAIN

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	QV	5	Quercus virginiana	Live Oak	65 gal.	Cont.	4" Caliper, Min 12' Height, 7' Spread
	UC	5	Ulmus crassifolia	Cedar Elm	65 gal.	Cont.	4" Caliper, Min 12' Height, 7' Spread
	CC	3	Cercis canadensis	Red Bud	45 gal.	Cont.	3" Caliper, Min 6' Height, 4' Spread
	ID	2	Ilex decidua	Possumhaw Holly	45 gal.	Cont.	3" Caliper, Min 6' Height, 4' Spread
	SA	4	Sophora affinis	Eve's Necklace	45 gal.		3" Caliper, Min 6' Height, 4' Spread
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	Ber c11	46,612 s.f.	Bermuda species	Common Bermuda	Common Bermuda Grass	--	Solid Sod



- SA 1
- QV 1
- CC 1
- UC 1
- ID 1
- QV 1
- CC 1
- UC 1
- QV 1
- SA 1
- SA 1
- QV 1
- ID 1
- SA 1
- QV 1
- ID 1
- CC 1
- SA 1
- QV 1

SITE INFORMATION:
EXISTING ZONING: PD-44
PROPOSED ZONING: NO CHANGE
PROPOSED USE: PICKLEBALL COURTS
TOTAL AREA: 70,511 SQ FT 1.619 AC
"PD-44" ZONING
MAXIMUM BUILDING HEIGHT: 60 FT
MAXIMUM LOT COVERAGE: 60%
MAXIMUM FLOOR AREA RATIO: 4:1
MAXIMUM IMPERVIOUS PARKING: 85% TO 90%
PROPOSED MAX. BUILDING HEIGHT: 30'-4"
PROPOSED LOT COVERAGE: 33,339/70,511 = 47.3%
PROPOSED FLOOR AREA RATIO: 4,650/70,511 = 6.6%
PROPOSED IMPERVIOUS PARKING: 5,580/70,511 = 7.9%
EXISTING PARKING:
EXISTING JOB TRAILER TO BE REMOVED LEAVING NO BUILDINGS
REQUIRED PARKING:
PROPOSED BUILDING 4650 SQ FT (3:COURT & 1:200) = 30 SPACES
TOTAL REQUIRED PARKING = 30 SPACES
TOTAL PROVIDED PARKING = 18 SPACES

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, _____.
WITNESS OUR HANDS, this ___ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

0	11/14/2024	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE

REC
Rayburn Electric
COOPERATIVE
618 Main Street
Garland, TX 75040
Ph. (972) 494-5031
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TBPE No. F-1515

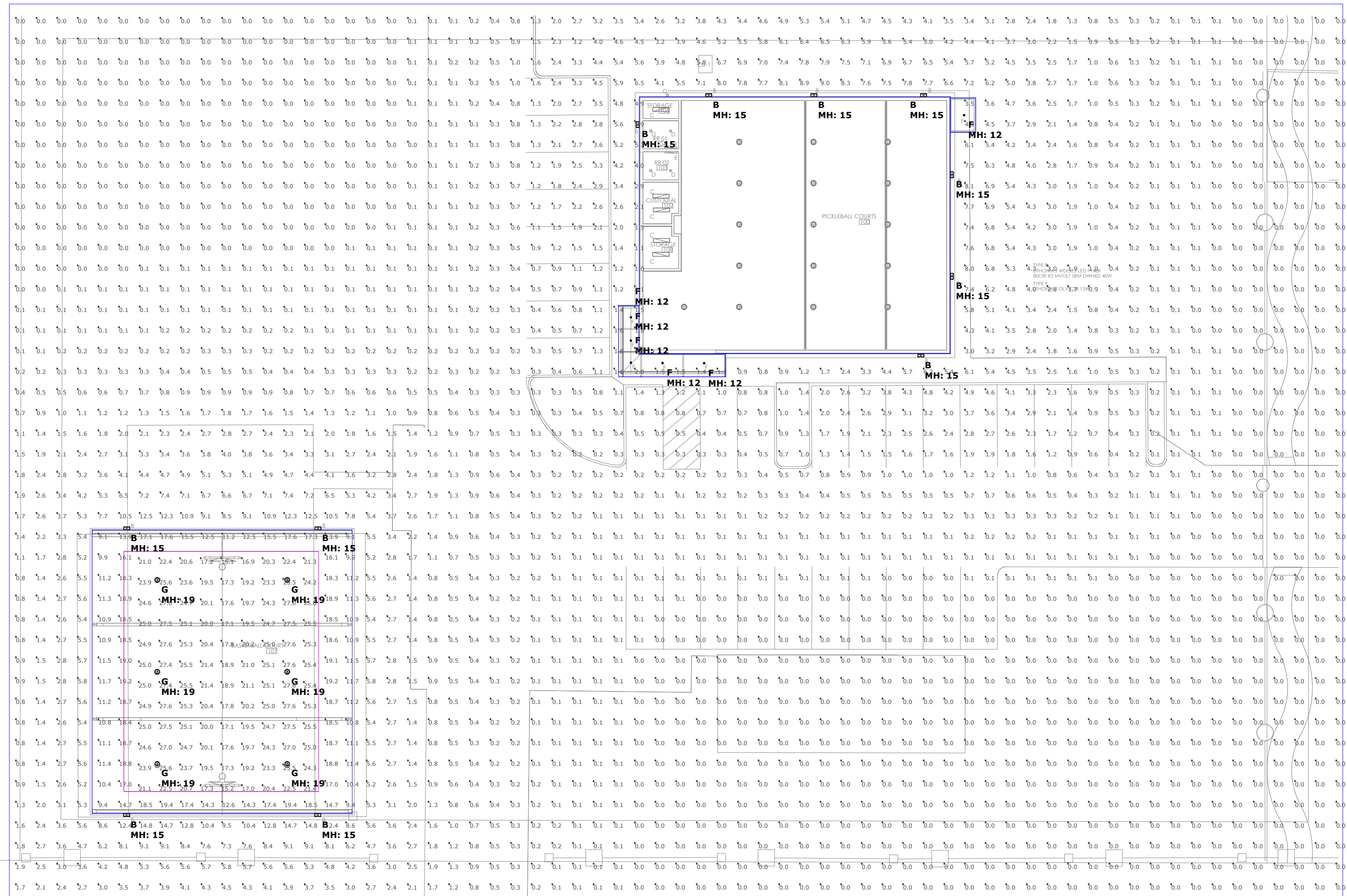
rdelta
ENGINEERS



THE CROSSHAIR APPEARING ON THIS DOCUMENT IS VOID IF, AND ONLY IF, ACCOMPANIED BY AN ORIGINAL SIGNATURE OF THE REGISTRANT AND DATE OF EXECUTION. DOCUMENTS NOT BEARING EACH OF THE 3 AFFORSAID ITEMS SHALL BE CONSIDERED INCOMPLETE AND SHALL NOT BE USED FOR CONSTRUCTION, PERMIT, OR BIDDING PURPOSES.
THIS DRAWING IS RELEASED FOR REVIEW FOR BIDDING, CONSTRUCTION AND PERMITTING UNDER THE AUTHORITY OF ROBERT P. STOFFELS, LA #1025 ON OCTOBER 24, 2024.

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	11/14/2024	CHECKED BY	BS
LAST UPDATE BY			
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	ISSUE:
APPROVED:		LP-1	0
FILENAME:			

REC CAMPUS EXPANSION
PICKLEBALL COURT
2686 S GOLIAD ST (SH 205)
ROCKWALL, TX 75032
CASE #
LANDSCAPE PLAN



Luminaire Schedule										
Symbol	Type	Qty	Manufacturer / Catalog Number			Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
□	B	11	LITHONIA WDGE3 LED P1 40K 80CRI R3 MVOLT SRM DWHXD			7524	51.172	1.000	0.850	1.000
⊙	F	6	LITHONIA OLVTCM			590	15.3	1.000	0.850	1.000
○	G	6	LITHONIA REBL ALO13 (18000LM) MD UVOLT SSW3 (40K) 80CRI [FINISH]			19371	118.4	1.000	0.850	1.000

Calculation Summary							
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	
SITE Planar	0	Fc	1.51	19.4	0.0	N.A.	
BASKETBALL COURT	0	Fc	22.84	27.6	15.1	1.51	

Notes:

1. Surface reflectances: Vertical/Horizontal - 50/20.
2. Calculation values are at height indicated in summary table.
3. Mounting heights are designated on drawing with "MH."
4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: December 10, 2024
APPLICANT: Frank Polma, PE; *R-Delta Engineers, Inc.*
CASE NUMBER: SP2024-046; *Site Plan for 2686 S. Goliad Street*

SUMMARY

Discuss and consider a request by Frank Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger Rayburn County Electric Cooperative for the approval of a *Site Plan for Private Recreation Facilities* on a 1.57-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [*SH-205*], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on May 19, 1986 by *Ordinance No. 86-37 [Case No. A1986-005]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's December 7, 1993 historic zoning map, at some point between the time of annexation and December 7, 1993, the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. On March 13, 2003, the City Council approved a final plat [*Case No. PZ2003-005*] that established the subject property as Lot 1, Block A, Estep Addition. According to the Rockwall County Appraisal District (RCAD) there are six (6) structures on the subject property that range in size from 1,120 SF to 7,640 SF and were constructed circa 2003. On April 12, 2022, the Planning and Zoning Commission approved a site plan [*Case No. SP2024-010*] to allow the expansion of an existing building on the subject property. On November 13, 2023, the Building Inspections Department approved a demolition permit [*Permit No. COM2023-5543*] that allowed the demolition of all of the existing buildings on the subject property except for the basketball court canopy. On August 5, 2024, the City Council approved a zoning case [*Case No. Z2024-028*] that incorporated the subject property into Planned Development District 44 (PD-44), where the underlying Commercial (C) District remained and the *Private Outdoor Recreation Facilities* and *Banquet Facility/Event Hall* were added as *by-right* land uses.

PURPOSE

On November 15, 2024, the applicant -- *Frank Polma, PE of R-Delta Engineers, Inc.* -- submitted an application requesting the approval of a *Site Plan* for the purpose of allowing the construction of a *Private Recreation Facility* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2686 S. Goliad Street [*SH-205*]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is an 8.868-acre tract of land (*i.e. Lot 1, Block 1, Helwig Addition*), formally developed with a trucking company (*i.e. TransAm Trucking*), zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses. Beyond this is the intersection of S. Goliad Street [*SH-205*] and Sids Road. SH-205 is classified as a P6D (*i.e. principle arterial, six [6] lane, divided roadway*) and Sids Road is classified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant 5.354-acre tract of land zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses.

South: Directly south of the subject property are three (3) large tracts (i.e. Lots 6-7, Block A, Rayburn Country Addition; Tract 3 of the W. H. Barnes Survey, Abstract No. 26) of land that make up the remainder of Planned Development District 44 (PD-44). Beyond this is Mims Road, which is identified as a M4U (i.e. major collector, four [4] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is S. Goliad Street [SH-205], which is identified as a M4U (i.e. major collector, four [4] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) vacant parcels of land owned by the City of Rockwall, which serve as part of the Hickory Ridge Park. Beyond this is Phase 1 of the Hickory Ridge Subdivision, which consists of 139 lots on 41.67-acres. This subdivision was established on February 22, 2001 and is zoned Planned Development District 10 (PD-10) for Single-Family 7 (SF-7) District land uses.

West: Directly west of the subject property is an 8.868-acre tract of land (i.e. Lot 1, Block 1, Helwig Addition) formally developed with a trucking company (TransAm Trucking) zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses. Beyond this is a 11.4699-acre parcel of land (i.e. Lot 6, Block A, Rayburn Country Addition) of land zoned Planned Development District 44 (PD-44) for Heavy Commercial (HC) District land uses. Following this is 2.00-acre parcel of land (i.e. Lot 1, Block 1, Pott Shrigley Addition) developed with an Office Warehouse Building, zoned Planned Development District 43 (PD-43) for Commercial (C) District land uses. West of this is Sids Road, which is identified as a M4U (i.e. major collector, four [4] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



DENSITY AND DIMENSIONAL REQUIREMENTS

According to *Exhibit 'D', Development Standards*, of Planned Development District 44 (PD-44) [Ordinance No. 24-30], a *Private Recreational Facility* is permitted *by-right*. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within Planned Development District 44 (PD-44) and the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=1.619-Acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X=209.14-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=336.89-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>15-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=31.25-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=6.59%; In Conformance
<i>Minimum Number of Parking Spaces</i>	18 Required Spaces	X=18; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=52.7%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=47.3%; In Conformance

TREESCAPE PLAN

The landscape plan provided by the applicant indicates that no trees are to be removed. Given this, the applicant was not required to provide a treescape plan.

CONFORMANCE WITH THE CITY'S CODES

The subject property is zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses. According to *Exhibit 'D', Development Standards*, of Planned Development District 44 (PD-44) [Ordinance No. 24-30] a *Private Recreation Facility* is permitted *by-right*. According to Subsection 02.02(E)(4)(b), *Recreation, Entertainment and Amusement Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Private Recreation Facility* is defined as a "(f)acility operated for the exclusive use of private residents or neighborhood groups and their guests, and not the general public." In this case, the applicant has indicated that the facility will be for the exclusively used by Rayburn Electric Cooperative employees and their guests. To ensure private access to the *Private Recreation Facility* the subject property will be fenced and gated with ornamental metal fencing (*i.e. wrought-iron fencing*), which conforms to Subsection 08.04, *Non-Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the requirements of the *General Commercial District Standards* and *General Overlay District Standards*, stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variance(s) and exception(s) being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

(1) *Architectural Standards*.

- (a) *Cementitious Material*. According to Subsection 06.02(C)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he use of cementitious materials... shall be limited to 50% of the building's exterior façade..." In this case, each façade of the proposed building does not meet this requirement. This will require a *variance* from the Planning and Zoning Commission.

- (b) Stone. According to Subsection 06.02(C)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of 20% natural or quarried stone is required on all building façades...” In this case, the north and south façades of the proposed buildings do not meet this requirement. This will require a variance from the Planning and Zoning Commission.
- (c) Primary Articulation. According to Subsection 06.02(D), *Site Design Guidelines and Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features.” Given this, each building façade is required to meet the primary articulation standards outlined in the *General Commercial District Standards*. In this case, each façade of the proposed building does not meet this requirement. This will require a variance from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is proposing the following compensatory measures: [1] a 30-foot landscape buffer, and [2] additional architectural elements. Staff should note, that the Planned Development District 44 (PD-44) ordinance [*Ordinance No. 24-30*] states that all buildings in PD-44 “shall incorporate complementary architectural styles, building materials, and colors.” In this case, the three (3) variances associated with the architectural standards are being requested in order to maintain architectural consistency with the remainder of Rayburn Electric Cooperative’s corporate campus. Based on this staff is required to consider this building conforming in accordance with the requirements of the Planned Development District ordinance; however, requests for exceptions and variances to the *General Standards* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Southwest Residential District and is designated for Commercial/Industrial and Commercial/Retail land uses on the Future Land Use Plan. Given that the proposed *Private Recreation Facility* land use is part of the large *Corporate Campus* (i.e. Rayburn Electric Cooperative) it appears to be in conformance with the Commercial/Industrial designation as outlined in the Southwest Residential District. In addition, according to the *District Strategies* for the Southwest Residential District, “(t)he areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for Commercial/Industrial land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. residential land uses -- higher density or otherwise). This should protect the businesses that currently exist in these areas.” Since the proposed *Private Recreation Facility* is associated with an existing *Corporate Campus* (i.e. Rayburn Electric Cooperative), the applicant’s request appears to meet the intent of the *District Strategies*. Based on all this information, the proposed *Private Recreation Facility* appears to be in conformance with the Comprehensive Plan.

In addition, the proposed changes to the subject property help further the following goals and objectives contained in the OURHometown Vision 2040 Comprehensive Plan:

- (1) CH. 07 | Goal 05: Allow only high-quality buildings that are constructed for the long-term value of the community, are easily adaptable to the changing market conditions, and that reflect a sense of permanence and public pride ... [*Policy 1*] All building should be architecturally significant, reflecting characteristics of the community.
- (2) CH. 08 | Goal 01: All non-residential developments should create distinctive destinations that further a sense of place and will attract people to the community.

- (3) *CH. 08 | Goal 03*: All non-residential buildings should be designed so that negative visual impacts of the development are minimized ... [*Policy 1*] Large industrial developments should utilize a campus design style (*i.e. utilizing green spaces adjacent to roadways, incorporating pedestrian scale elements throughout the development, assimilating functional green spaces into the development, using traditional architecture characteristics, etc.*) to further the small-town, park-like feeling that is characteristic of the City of Rockwall.

In this case, the proposed *Private Recreation Facility* utilizes the same design and architectural style as Rayburn Electric Cooperative *Corporate Campus*. Based on this, the applicant's proposal appears to be in substantial conformance to many of the policies and goals that relate to commercial/industrial developments.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On November 26, 2024, the Architectural Review Board (ARB) reviewed the proposed building elevations and approved a motion to recommend approval of the building elevations by a vote of 3-0, with Board Members Miller, McAngus, Dalton, and Hadawi absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the *Private Recreation Facility* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input checked="" type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²</p> <p>NOTES:</p> <p>¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
--	---

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 2686 S Goliad St (SH205)

SUBDIVISION: Estep Subdivision LOT: 1 BLOCK: A

GENERAL LOCATION: 615 feet south of Sids Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: PD-44 CURRENT USE: Commercial

PROPOSED ZONING: _____ PROPOSED USE: Recreation Facility

ACREAGE: 1.57 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Rayburn County Electric Coop.	<input type="checkbox"/> APPLICANT	R-Delta Engineers Inc
CONTACT PERSON	Stephen Geiger	CONTACT PERSON	Frank A Polma, P.E.
ADDRESS	950 Sids Road	ADDRESS	618 Main Street
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Garland, TX 75040
PHONE	469-402-2112	PHONE	972-494-5031
E-MAIL	sgeiger@rayburnelectric.com	E-MAIL	fapolma@rdelta.com

NOTARY VERIFICATION [REQUIRED]

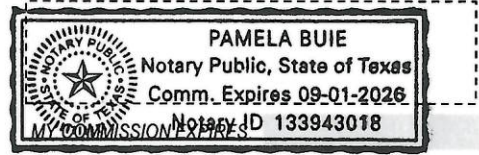
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Naylor [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 331.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF November, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF November, 2024

OWNER'S SIGNATURE: [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]



0 30 60 120 180 240 Feet

SP2024-046: Site Plan for 2686 S. Goliad Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SITE INFORMATION:

EXISTING ZONING: PD-44
 PROPOSED ZONING: NO CHANGE
 PROPOSED USE: PICKLEBALL COURTS
 TOTAL AREA: 70,511 SQ FT 1.619 AC
 "PD-44" ZONING
 MAXIMUM BUILDING HEIGHT: 60 FT
 MAXIMUM LOT COVERAGE: 60%
 MAXIMUM FLOOR AREA RATIO: 4:1
 MAXIMUM IMPERVIOUS PARKING: 85% TO 90%
 PROPOSED MAX. BUILDING HEIGHT: 30'-4"
 PROPOSED LOT COVERAGE: 33,339/70,511 = 47.3%
 PROPOSED FLOOR AREA RATIO: 4,650/70,511 = 6.6%
 PROPOSED IMPERVIOUS PARKING: 5,580/70,511 = 7.9%
 REQUIRED PARKING:
 PROPOSED BUILDING 4650 SQ FT
 (3:COURT & 1:200) = 30 SPACES
 TOTAL REQUIRED PARKING = 30 SPACES
 TOTAL PROVIDED PARKING = 18 SPACES

NOTES:

- ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
- EXISTING UTILITY, WATER, AND FIRELANE EASEMENT TO BE REPLATTED FOR NEW SITE LAYOUT.
- ALL RADIUS ARE 2' UNLESS OTHERWISE STATED.
- CAMPUS DUMPSTER TO BE UTILIZED FOR REFUSE. LOCAL PLASTIC CARTS TO BE USED FOR COLLECTION INSIDE THE BUILDING. NO OUTDOOR TRASH CANS PROVIDED.
- THERE SHALL BE NO OUTSIDE STORAGE OR ABOVE GROUND STORAGE TANKS.
- PROPOSED DRAINAGE PATTERNS MATCH EXISTING DRAINAGE PATTERNS.

EXISTING SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
7	1	8

PROPOSED SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
17	1	18

PAVEMENT INFORMATION:

ALL PAVEMENTS BELOW HAVE #3 BARS 24" O.C.E.W.

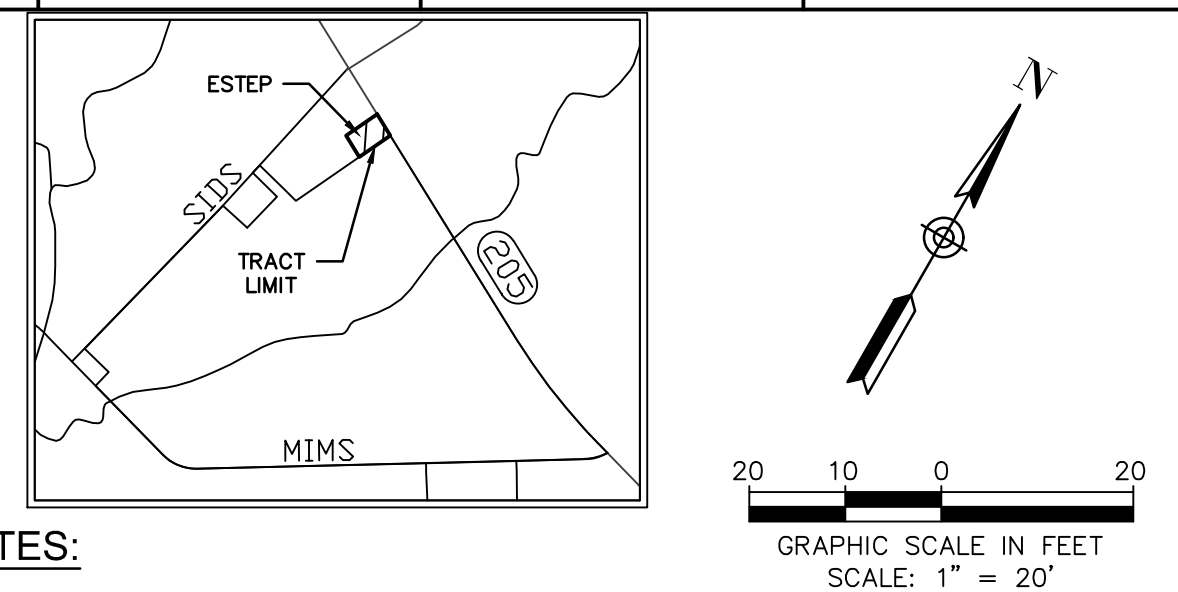
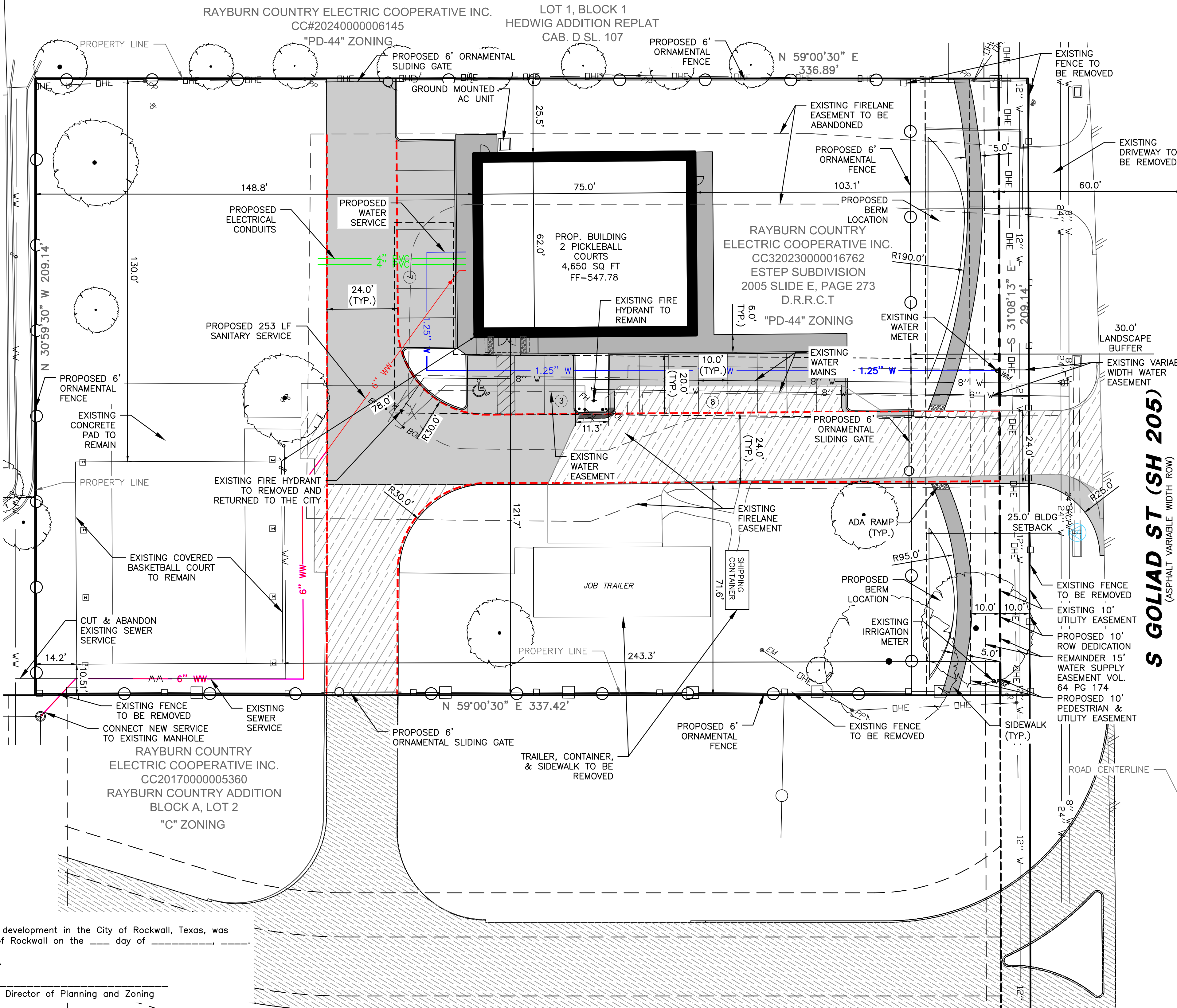
PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)		MIN. CEMENT (SACKS/CY)	
		MACHINE	HAND	MACHINE	HAND
FIRE LANE	6"	3,600	6.0	6.0	6.5
DRIVEWAYS	6"	3,600	6.0	6.0	6.5
BARRIER FREE RAMPS	6"	3,600	6.0	6.0	6.5
DUMPSTER PADS	7"	3,600	6.0	6.0	6.5
SIDEWALKS	4"	3,000	N/A	5.5	
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5	

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2024.
 WITNESS OUR HANDS, this ___ day of ___, 2024.

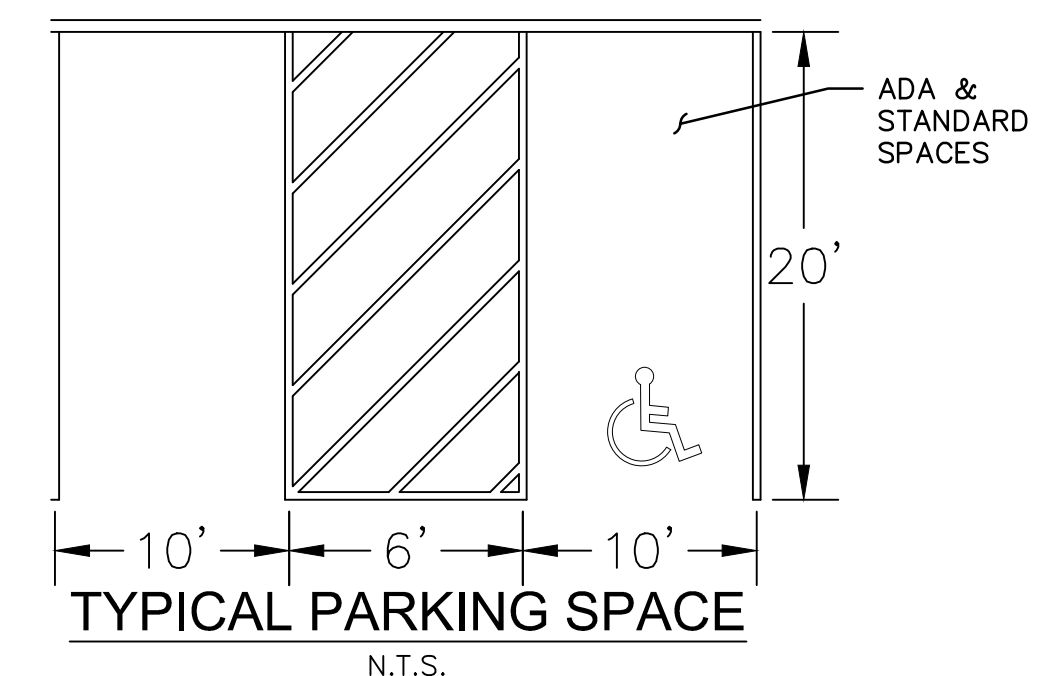
 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE
0	11/27/2024	RDE	FAP	RDE	ISSUED FOR REVIEW
1	12/03/2024	RDE	FAP	RDE	ISSUED FOR REVIEW



NOTES:
 1. GROUND SURFACE CONTOURS ARE SHOWN AT 2-FOOT INTERVALS.



ARCHITECT
 MCCARTHY ARCHITECTURE
 1000 N. FIRST ST.
 GARLAND, TX 75040

LANDSCAPE ARCHITECT
 DUNKIN SIM STOFFELS, INC.
 4305 PECAN GROVE LANE
 ROWLETT, TX 75088

OWNER/ APPLICANT
 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087
 469-402-2100

CIVIL ENGINEER
 R - DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040
 TBPE No. F-1515

LEGEND

EM	EX. ELECTRIC METER
ICV	EX. IRRIGATION CONTROL VALVE
B	EX. BOLLARD
WM	EX. WATER METER
SSMH	EX. SANITARY SEWER MANHOLE
EB	EX. ELECTRIC BOX
FH	EX. FIRE HYDRANT
X" W	EX. WATER MAIN PIPE
X" WW	EX. WASTE WATER MAIN PIPE
XX" RCP	EXISTING CONCRETE PIPE & SIZE
[Symbol]	EXISTING WROUGHT IRON FENCE
[Symbol]	EXISTING CHAIN LINK FENCE
[Symbol]	EXISTING POWER POLE
[Symbol]	EXISTING OVERHEAD ELECTRIC
[Symbol]	EXISTING GUY WIRE
[Symbol]	EDGE OF ASPHALT
[Symbol]	PROPOSED ORNAMENTAL FENCE
[Symbol]	BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
[Symbol]	ACCESSIBLE AISLE STRIPING
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED CONCRETE PAVEMENT
[Symbol]	EXISTING SITE CONCRETE PAVEMENT TO REMAIN
[Symbol]	EXISTING CAMPUS CONCRETE PAVEMENT TO REMAIN

S GOLIAD ST (SH 205)
 (ASPHALT VARIABLE WIDTH ROW)

REC
 Rayburn Electric COOPERATIVE
 618 Main Street
 Garland, TX 75040
 Ph. (972) 494-5031
 Fax (972) 487-2270
 www.rdelta.com
 TBPE No. F-1515

rdelta
 ENGINEERS

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY FRANK A. POLMA, P.E. 80274 ON NOVEMBER 13, 2024. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

FRANK A. POLMA
 PROFESSIONAL ENGINEER

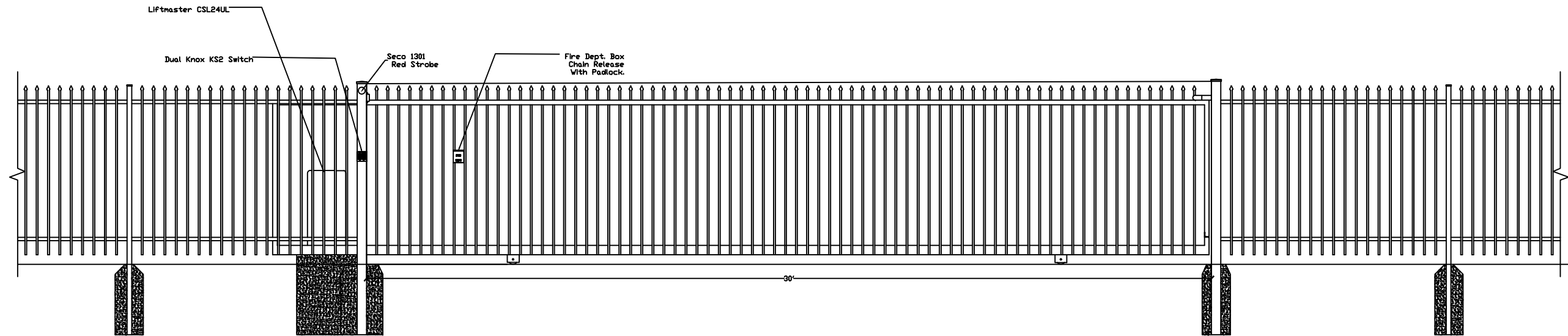
JOB NO. 3036-21	DESIGN BY AGU
CREATED	CODE
PLOTTED 12/3/2024	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-1
APPROVED:	ISSUE: 1
FILENAME:	

REC CAMPUS EXPANSION
PICKLEBALL COURT
 2886 S GOLIAD ST
 ROCKWALL, TX 75087
 CASE#2024-46
CITY SITE PLAN SUBMITTAL

11/26/2024

J.R. Hernandez

REVISIONS				
ZONE	REV	DESCRIPTION	DATE	APPROVED



CASE No. SP2024-046



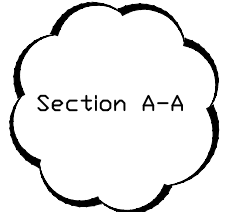
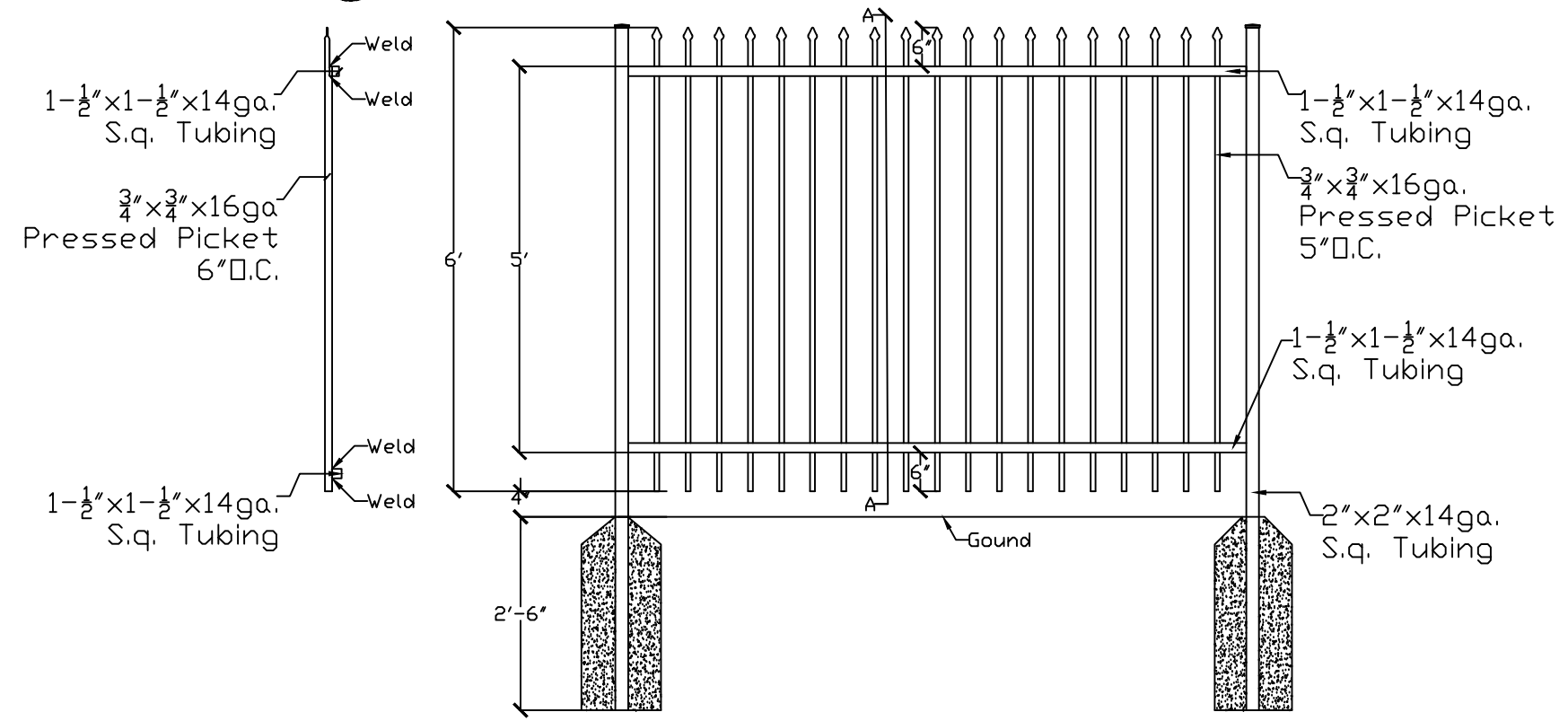
REC PICKLEBALL FACILITY			
SLIDING GATE DETAILS			
SIZE	FSCM NO.	DWG NO.	REV
SCALE	SHEET		

11/26/2024

J.R. Hernandez

REVISIONS				
ZONE	REV	DESCRIPTION	DATE	APPROVED

Section A-A

CASE No. SP2024-046



REC PICKLEBALL FACILITY			
TYPICAL FENCE ELEVATION			
SIZE	FSCM NO.	DWG NO.	REV
SCALE	SHEET		



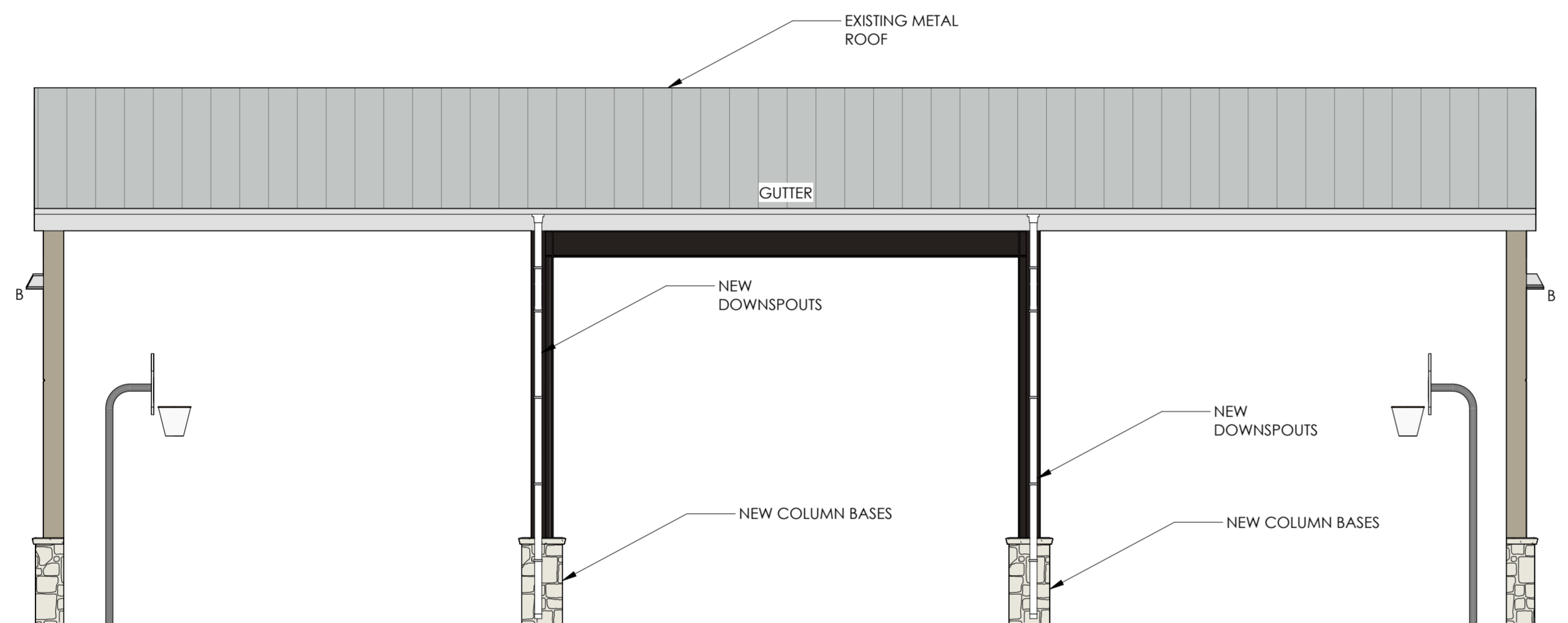
STUCCO -
SW9111 VELVET
ANTLER



STONE - BUFF
LUEDERS
LIMESTONE

FIELD VERIFY ALL EXISTING CONDITIONS
PRIOR TO CONSTRUCTION

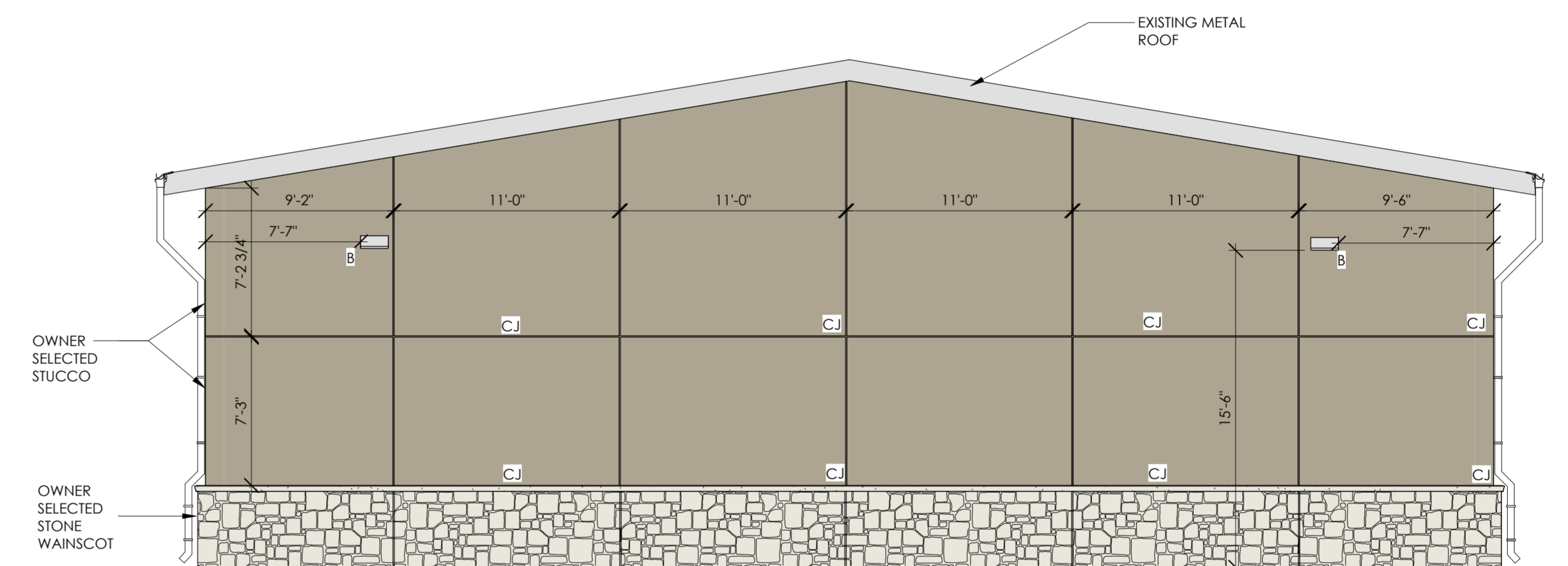
ALL EXPOSED STEEL TO BE PAINTED -
TYPICAL



4 WEST ELEVATION - BASKETBALL COURT
SCALE: 3/16" = 1'-0"

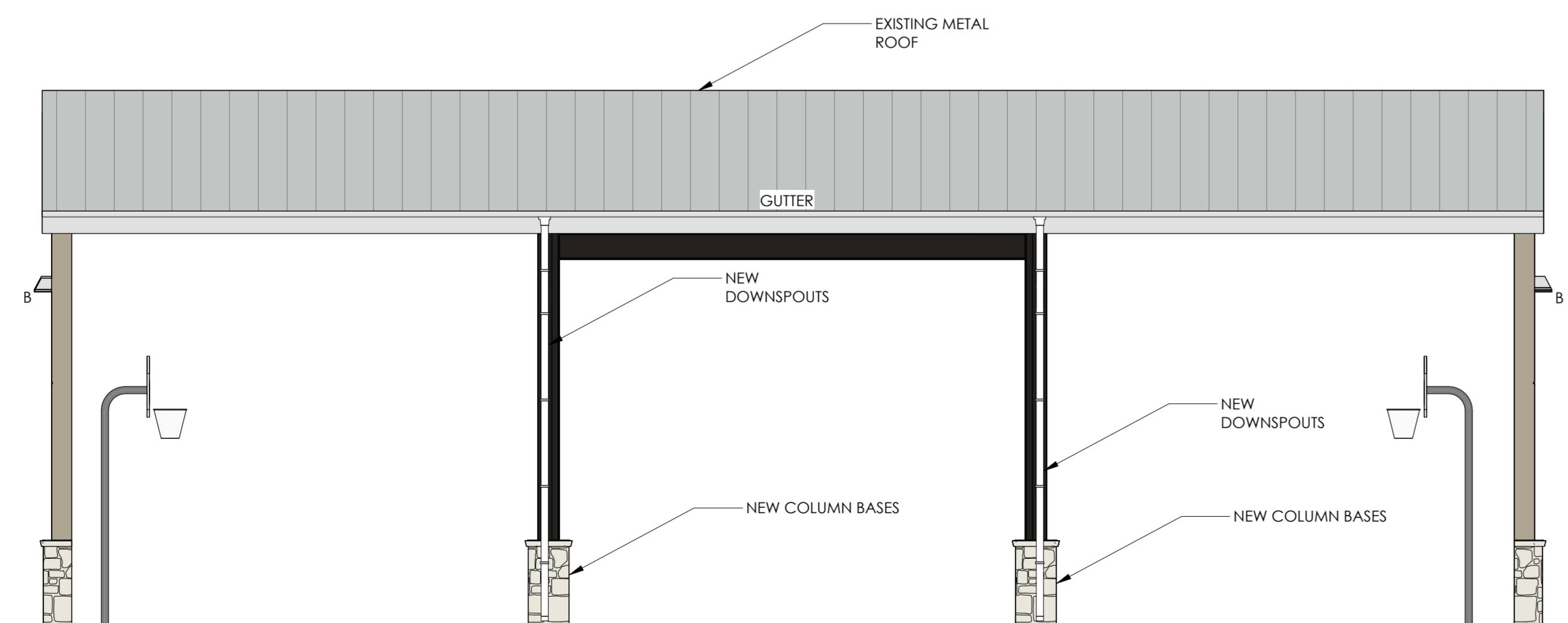
FIELD VERIFY ALL EXISTING CONDITIONS
PRIOR TO CONSTRUCTION

ALL EXPOSED STEEL TO BE PAINTED -
TYPICAL



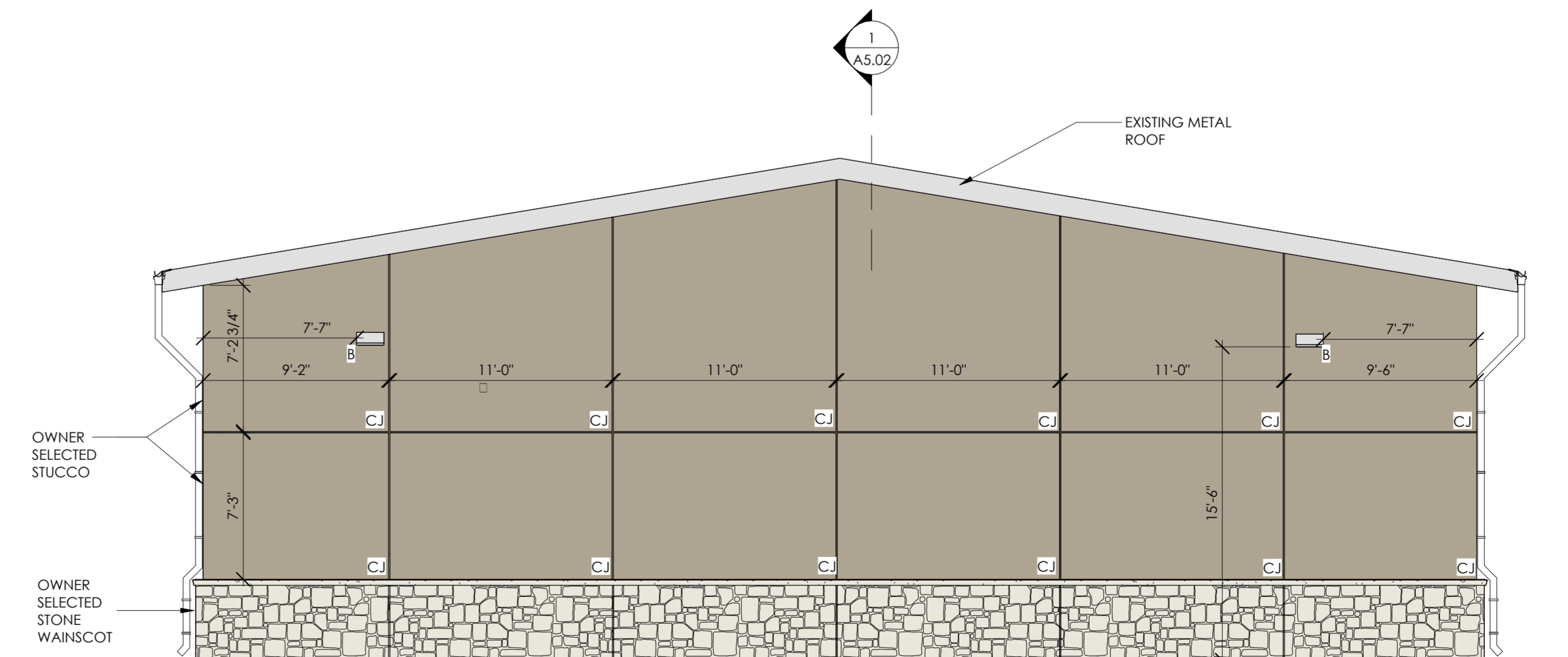
3 SOUTH ELEVATION - BASKETBALL COURT
SCALE: 3/16" = 1'-0"

ALL EXPOSED STEEL TO BE PAINTED -
TYPICAL



2 EAST ELEVATION - BASKETBALL COURT
SCALE: 3/16" = 1'-0"

ALL EXPOSED STEEL TO BE PAINTED -
TYPICAL



1 NORTH ELEVATION - BASKETBALL COURT
SCALE: 3/16" = 1'-0"

BASKETBALL COURT RENOVATION
#SP2024-046

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, ____.

WITNESS OUR HANDS, this ___ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SEAL

Copyright © 2019

DATE: 11-18-2024

SCALE:

JOB NO. MA24017

CITY CASE No. SP2024-046

DRAWN: AH

APPD: Approver

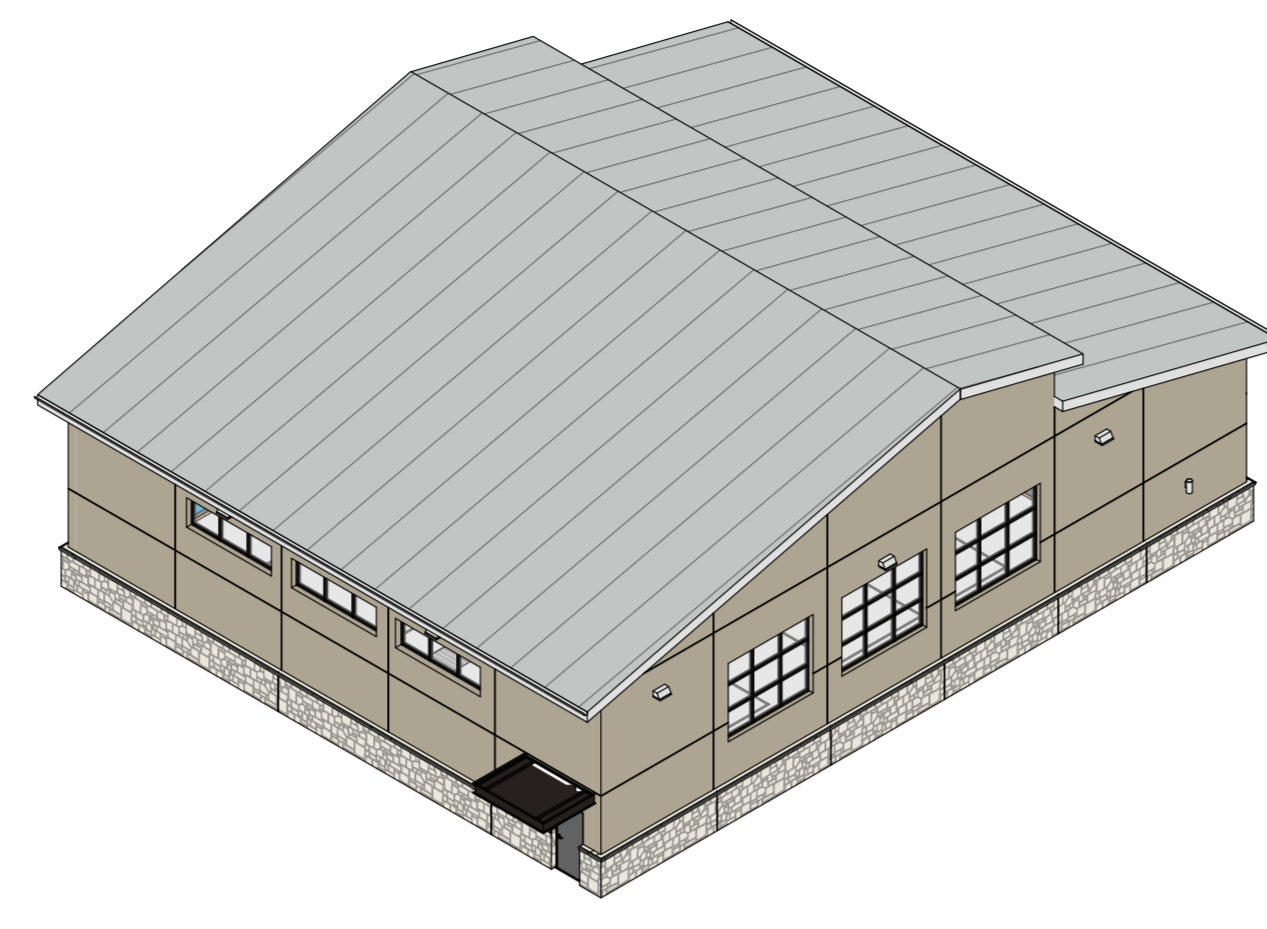
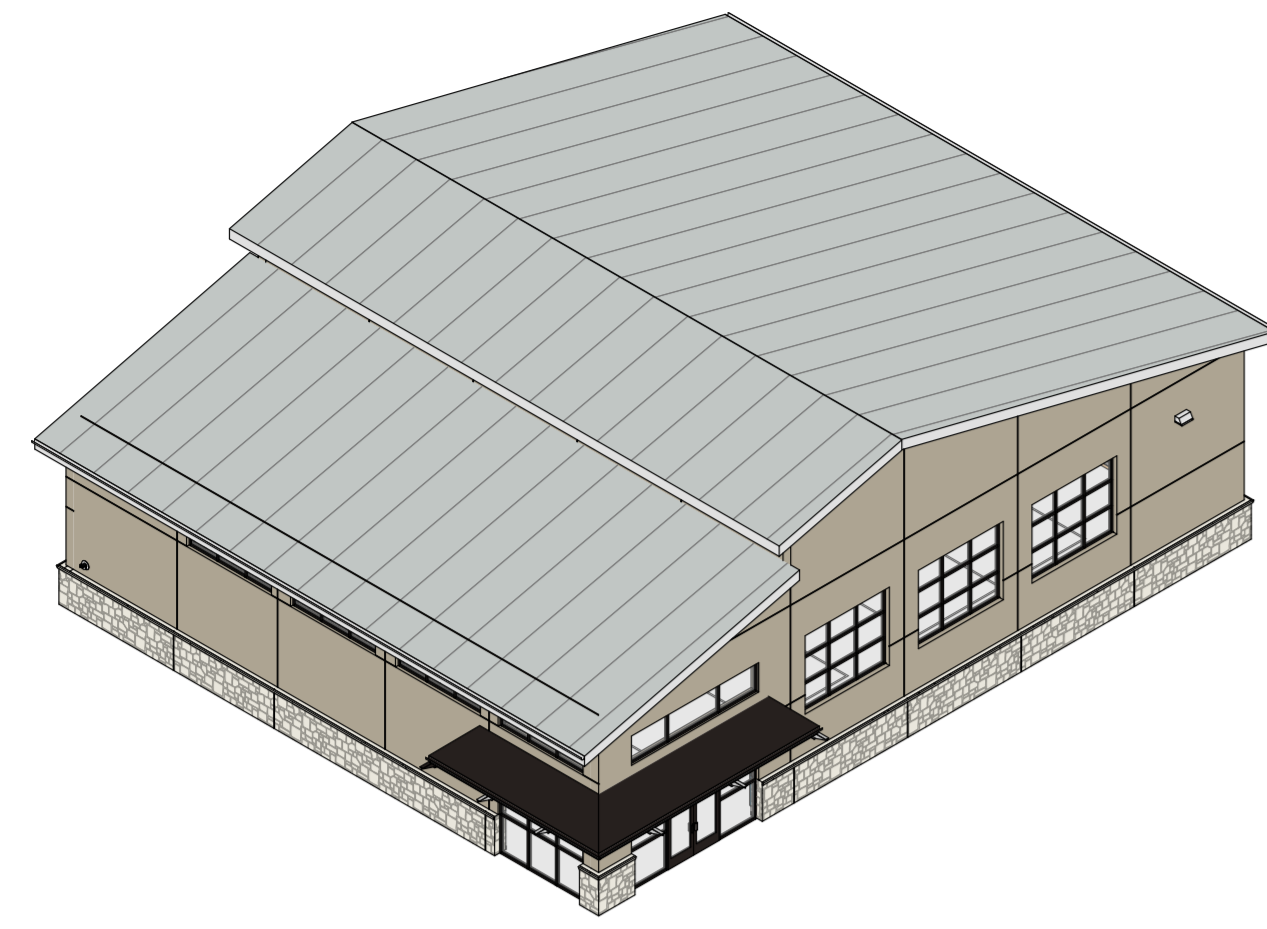
ACAD #

EXTERIOR ELEVATIONS -

BASKETBALL COURT

DRAWING NO. REV NO.

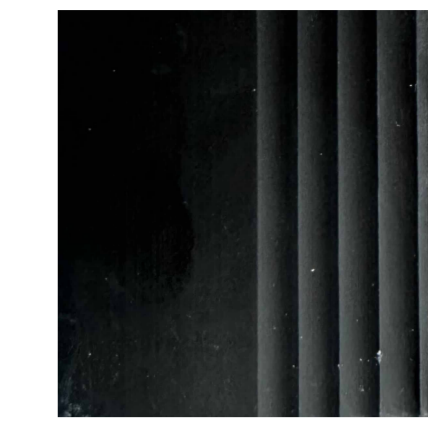
A4.01



STUCCO -
SW9111 VELVET
ANTLER



STONE - BUFF
LUEDELS
LIMESTONE



DARK BRONZE
ALUM. FRAME



GALVALUME

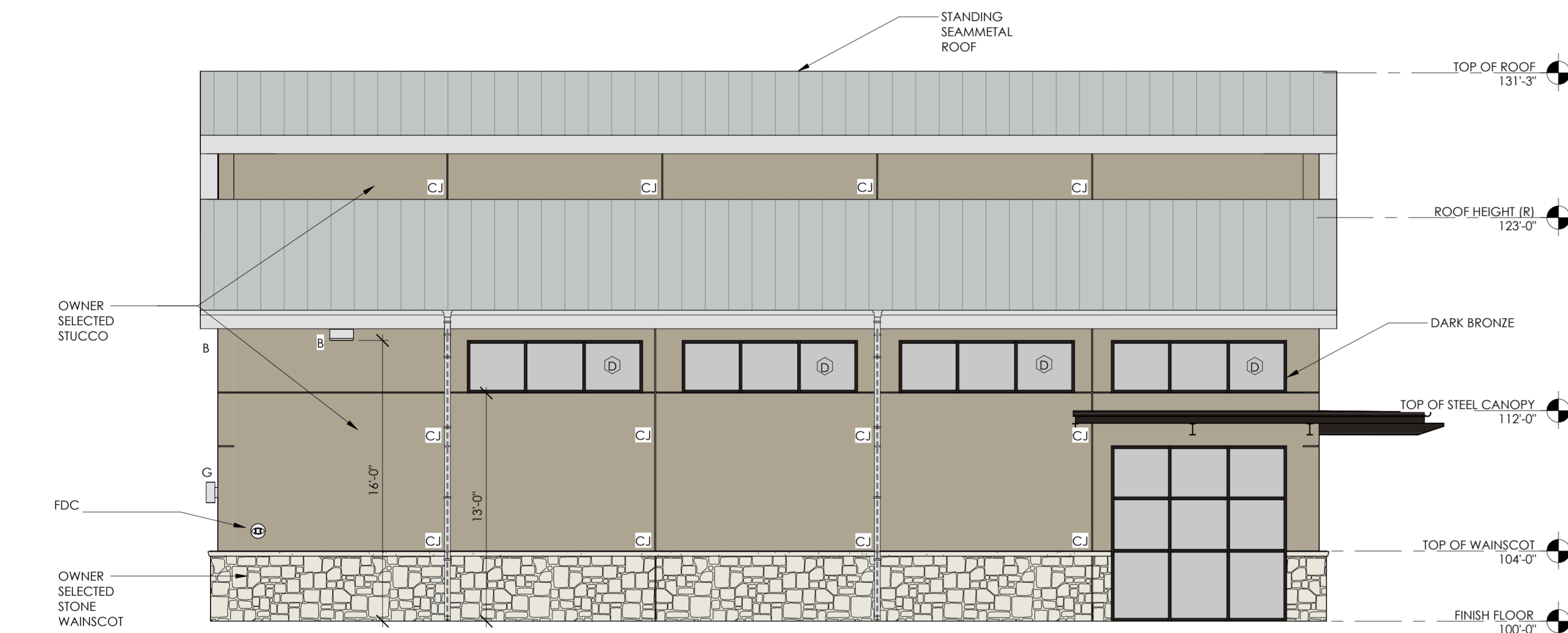
BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	WEST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS, DOORS AND ROOF	965.89 S.F.	100%
Stucco - Velvet antler SW 9111	789.99 S.F.	80%
Stone - Buff Lueders limestone	176.30 S.F.	20%

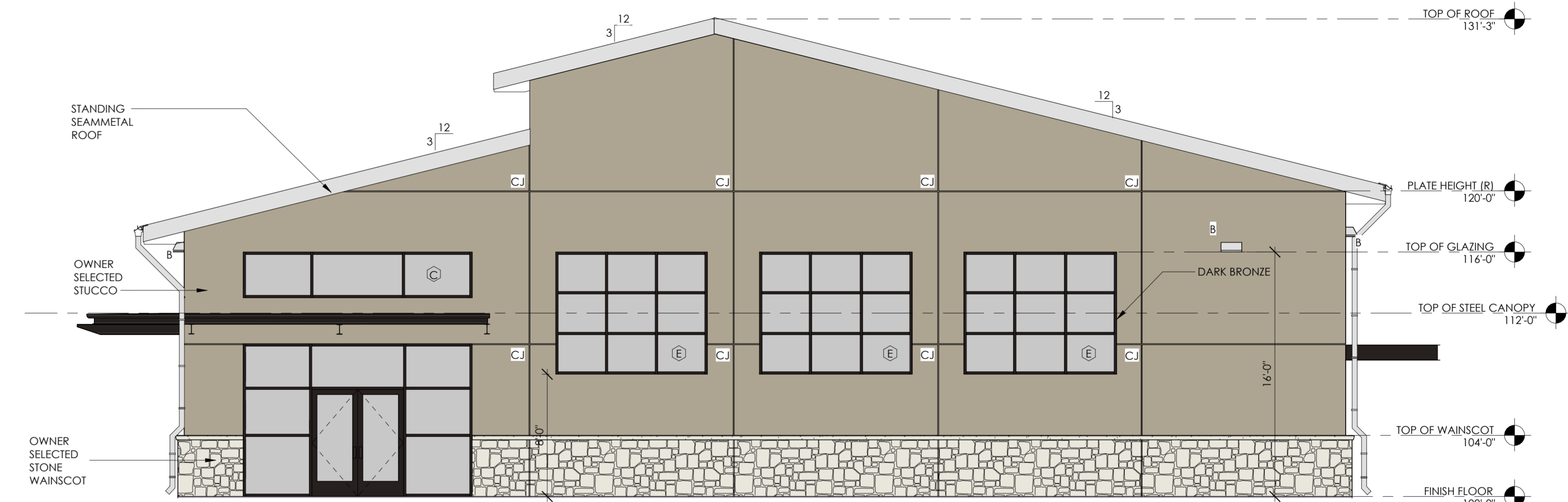
GENERAL NOTE: ROOF NOT PART OF ELEVATION CALCULATIONS

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	SOUTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS, DOORS AND ROOF	1392.27 S.F.	100%
Stucco - Velvet antler SW 9111	1142.74 S.F.	84%
Stone - Buff Lueders limestone	229.53 S.F.	16%



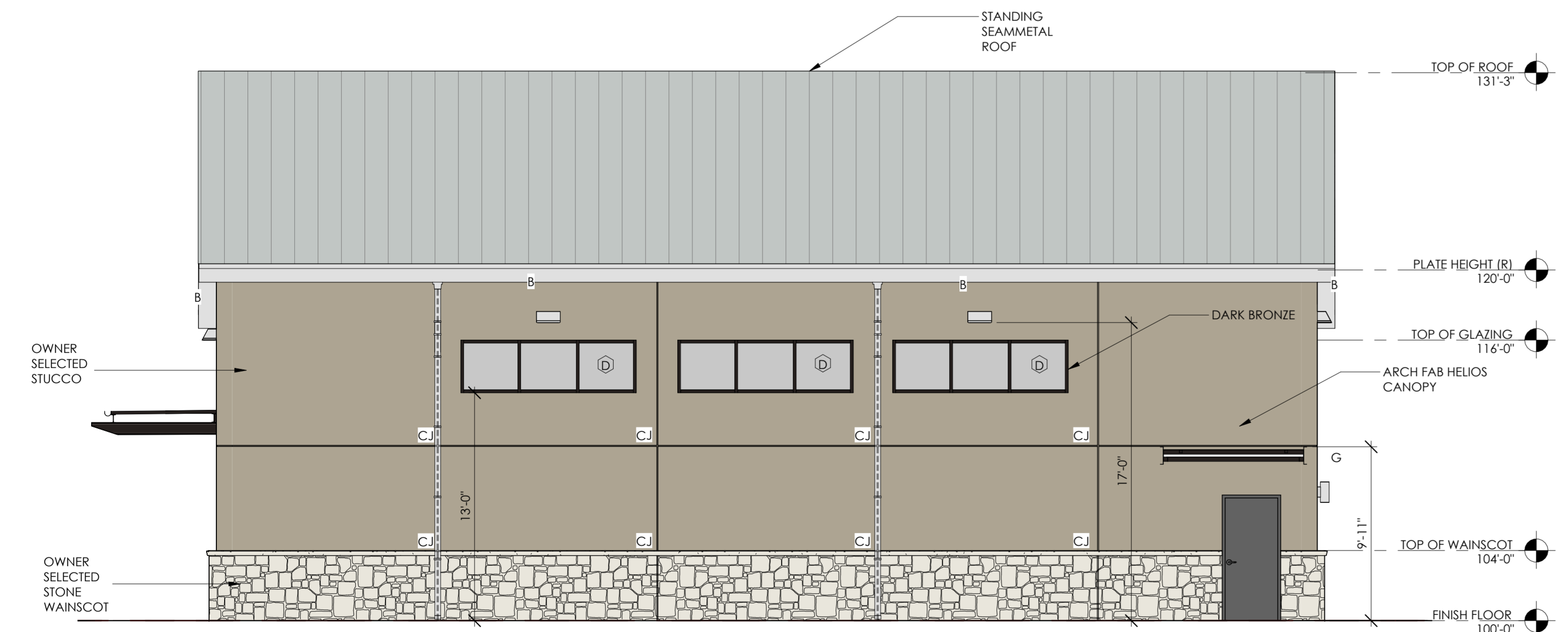
4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS

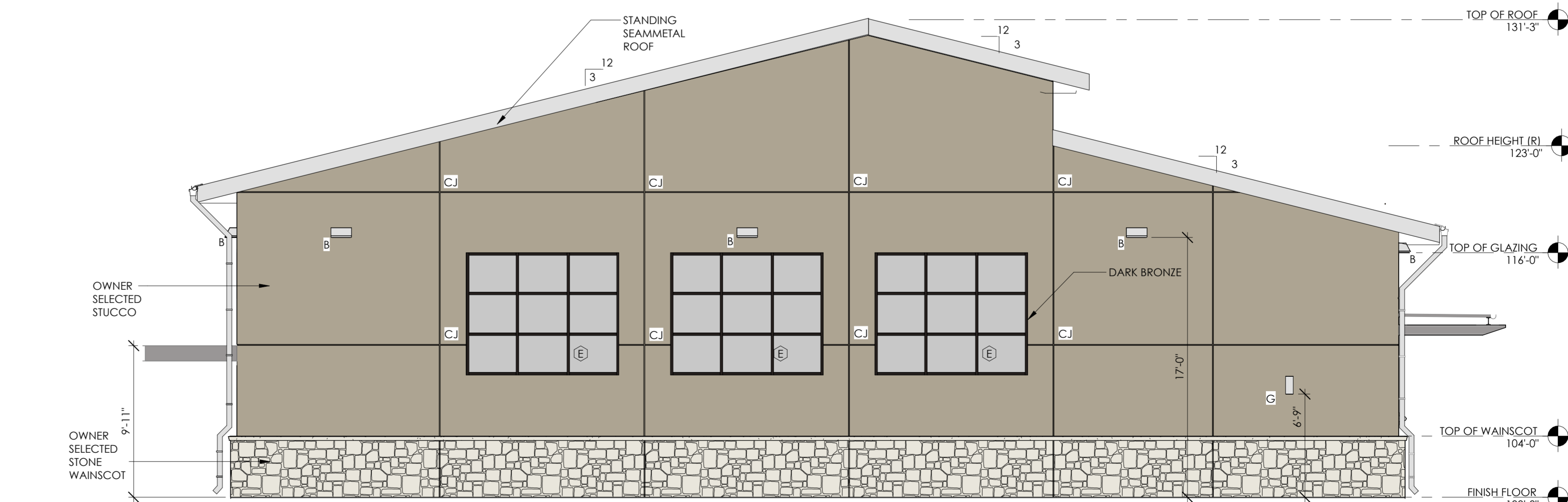
CATEGORIES	EAST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS, DOORS AND ROOF	1080.48 S.F.	100%
Stucco - Velvet antler SW 9111	859.66 S.F.	80%
Stone - Buff Lueders limestone	221.02 S.F.	20%



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	NORTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS, DOORS AND ROOF	1589.15 S.F.	100%
Stucco - Velvet antler SW 9111	1298 S.F.	82%
Stone - Buff Lueders limestone	285.15 S.F.	18%



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

SEAL

Copyright © 2019
DATE: 11-18-2024
SCALE: MA24017
JOB NO. SP2024-046
CITY CASE No. AH
DRAWN: Approver
ACAD #
COLORED EXTERIOR ELEVATIONS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, ____.

WITNESS OUR HANDS, this ___ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

DRAWING NO. REV NO.

LANDSCAPE REQUIREMENTS
Total Site Area - 70,511 SF = 1.619 Acres

Site Landscape Area
Total Site Landscape Area - 46,278 SF = 65% of Site

45,361 SF TURF PROVIDED
917 SF LANDSCAPE PLANTING BED PROVIDED

Landscape Buffer Components Street Frontage- SH 205
Total (25' Wide) Required Landscape Buffer Area - 5,225 SF
Total (30' Wide) Provided Landscape Buffer Area - 6,270 SF

917 SF OF LANDSCAPE BED
4,308 SF OF TURF PROVIDED

Landscape Buffer Trees Street Frontage- SH 205
Street Frontage Length - 209 LF
3 Canopy Tree per 100 LF of Street Frontage (Min. 4" Cal.)
4 Accent Tree per 100 LF of Street Frontage (4' Ht. Min.)

7 CANOPY / 9 ACCENT TREES REQUIRED
7 CANOPY / 9 ACCENT TREES PROVIDED

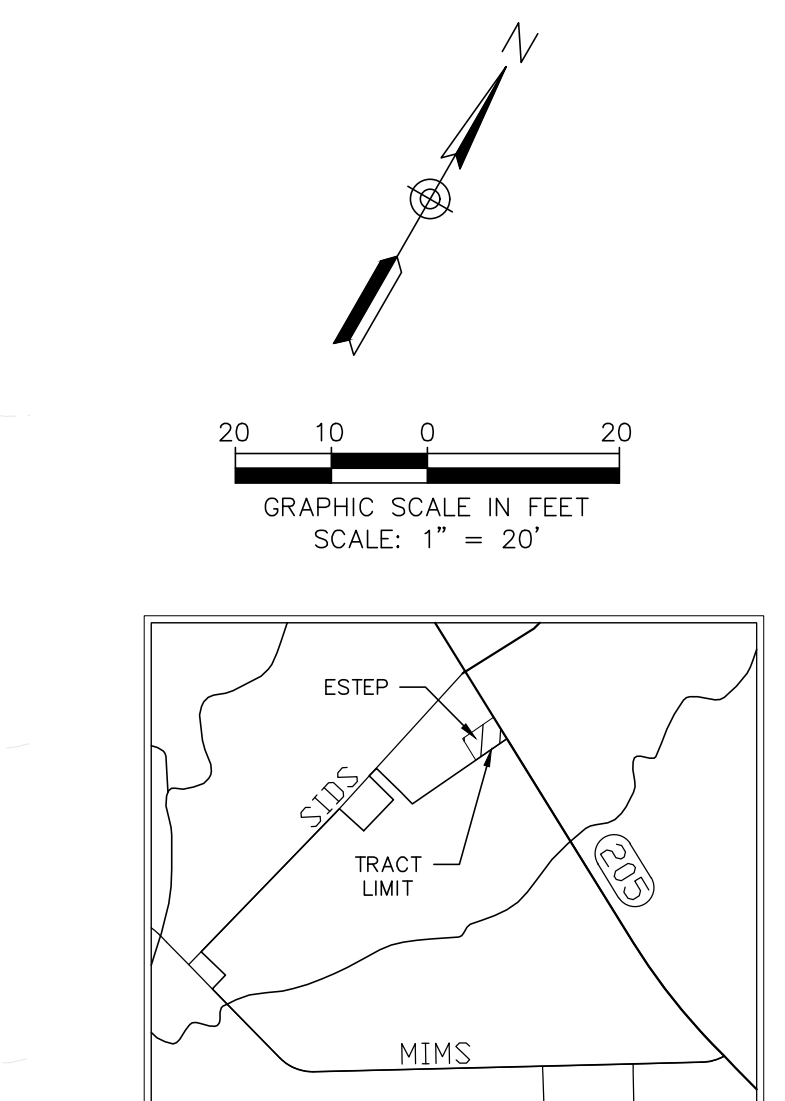
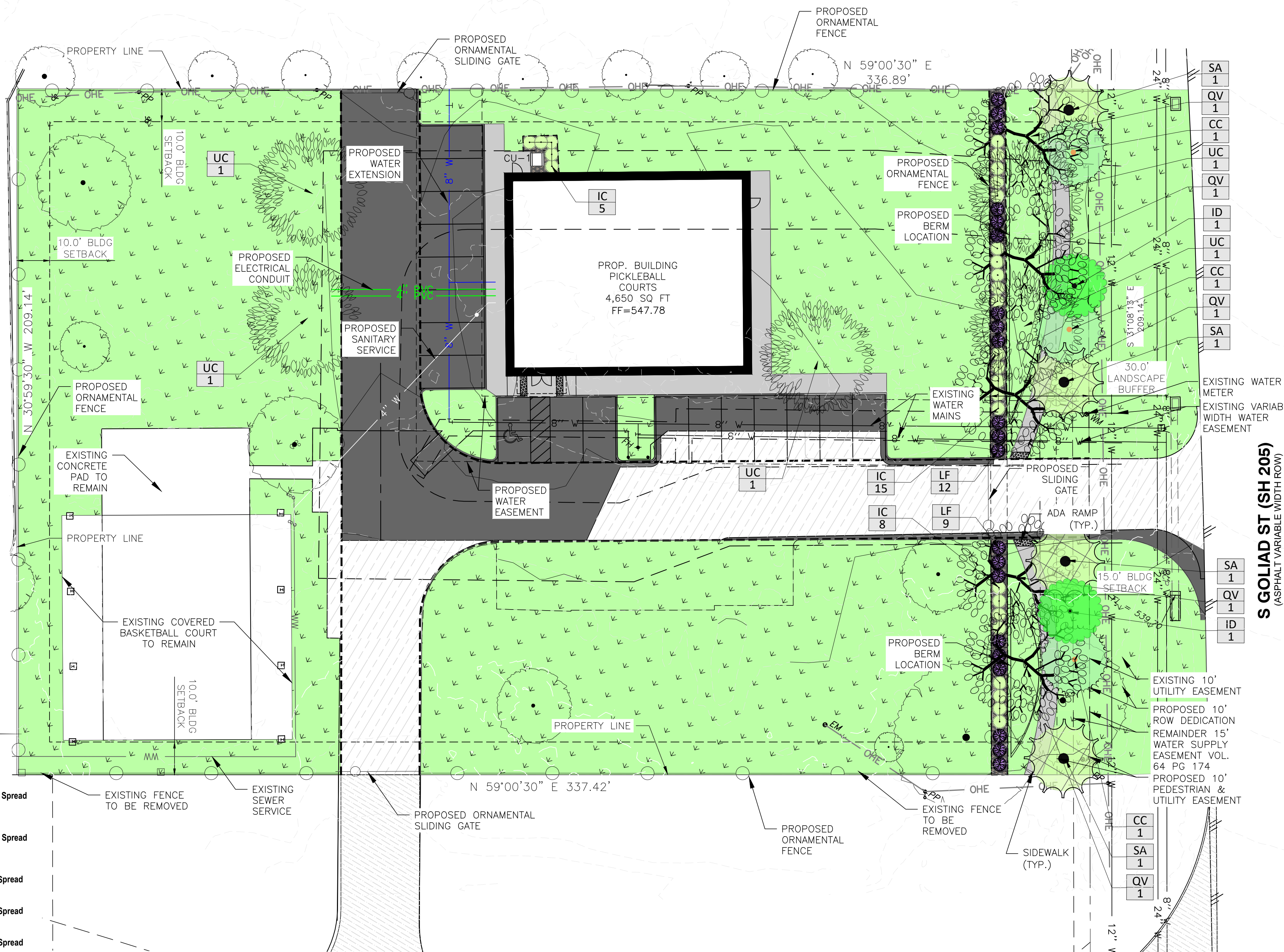
Landscape Parking Trees
1 Canopy Tree/ 10 parking spaces
1 Tree within 80' of each parking space

2 TREES REQUIRED
3 TREES PROVIDED

IRRIGATION:
An automatic irrigation system will be installed by the Owner, to water the required landscape improvements. Irrigation plans to be provided.

NOTE:
Landscape Plans shall meet requirements in the Unified Development Code-Article 8 and the 205 PD-044 with exceptions granted to Owner.

Trees that are existing within the landscape buffer or limbs that enter into the landscape buffer shall be pruned by a certified arborist. It shall be pruned to allow for sunlight to filter through existing tree to facilitate success of newly planted trees.



- LEGEND**
- LO 3 PLANT SYMBOL, REF. PLANT SCHEDULE
 - PLANT QUANTITY
 - EXISTING TREES TO REMAIN
 - METAL EDGING @ PLANTING BED BORDER WITH TURF, QUANTITY- 390 L.F.

SITE INFORMATION:

EXISTING ZONING: PD-44
PROPOSED ZONING: NO CHANGE
PROPOSED USE: PICKLEBALL COURTS
TOTAL AREA: 70,511 SQ FT 1.619 AC

"PD-44" ZONING

MAXIMUM BUILDING HEIGHT: 60 FT
MAXIMUM LOT COVERAGE: 60%
MAXIMUM FLOOR AREA RATIO: 4:1
MAXIMUM IMPERVIOUS PARKING: 85% TO 90%

PROPOSED MAX. BUILDING HEIGHT: 30'-4"
PROPOSED LOT COVERAGE: 33,339/70,511 = 47.3%
PROPOSED FLOOR AREA RATIO: 4,650/70,511 = 6.6%
PROPOSED IMPERVIOUS PARKING: 5,580/70,511 = 7.9%

EXISTING PARKING:
EXISTING JOB TRAILER TO BE REMOVED LEAVING NO BUILDINGS

REQUIRED PARKING:
PROPOSED BUILDING 4650 SQ FT (3:COURT & 1:200) = 30 SPACES

TOTAL REQUIRED PARKING = 30 SPACES
TOTAL PROVIDED PARKING = 18 SPACES

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	QV	5	Quercus virginiana	Live Oak	65 gal. Cont.	4" Caliper, Min 12' Height, 7' Spread	
	UC	5	Ulmus crassifolia	Cedar Elm	65 gal. Cont.	4" Caliper, Min 12' Height, 7' Spread	
	CC	3	Cercis canadensis	Red Bud	45 gal. Cont.	3" Caliper, Min 6' Height, 4' Spread	
	ID	2	Ilex decidua	Possumhaw Holly	45 gal. Cont.	3" Caliper, Min 6' Height, 4' Spread	
	SA	4	Sophora affinis	Eve's Necklace	45 gal.	3" Caliper, Min 6' Height, 4' Spread	

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	IC	28	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 gal. Cont.	4" O.C., Min. 3' Height	
	LF	21	Leucophyllum frutescens	Texas Sage	5 gal. Cont.	4" O.C., Min. 3' Height	

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
	Ber c11	45,585 s.f.	Tif Tuf Bermuda	Tif Tuf Bermuda Grass	Solid Sod
	Shd mul	1,012 s.f.		Shredded Hardwood Mulch	--

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, ____.

WITNESS OUR HANDS, this ___ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE
0	12/03/2024	BS	BS	BS	ISSUED FOR REVIEW

REC
Rayburn Electric
COOPERATIVE

618 Main Street
Garland, TX 75040
Ph. (972) 494-5031
Fax (972) 487-2270
www.rdelta.com
TBPE No. F-1515

rdelta
ENGINEERS



THE ORIGINAL APPEARING ON THIS DOCUMENT IS VOID IF, AND ONLY IF, ACCOMPANIED BY AN ORIGINAL SIGNATURE OF THE REGISTERANT AND DATE OF EXECUTION. DOCUMENTS NOT BEARING EACH OF THE 3 AFFIRMED ITEMS SHALL BE CONSIDERED INCOMPLETE AND SHALL NOT BE USED FOR CONSTRUCTION, PERMIT, OR BIDDING PURPOSES.

THIS DRAWING IS RELEASED FOR REVIEW FOR BIDDING, CONSTRUCTION AND PERMITTING UNDER THE AUTHORITY OF ROBERT P. STOFFELS, LA #1025 ON DECEMBER 3, 2024.

JOB NO. 3036-21	DESIGN BY BS
CREATED	CODE
PLOTTED 12/3/2024	CHECKED BY BS
LAST UPDATE BY	
DRAWN: MW	SCALE: AS NOTED
CHECKED:	DRAWING NO.: LP-1
APPROVED:	ISSUE: 0
FILENAME:	

REC CAMPUS EXPANSION
PICKLEBALL COURT
2686 S GOLIAD ST (SH 205)
ROCKWALL, TX 75032
CASE # SP2024-046
LANDSCAPE PLAN

**RAYBURN ELECTRIC
CO-OP PICKLEBALL
COURT FACILITY
ROCKWALL, TEXAS**

DESIGN TEAM
OWNER:
RAYBURN ELECTRIC CO-OP
950 SIDS RD.
ROCKWALL, TX 75032
P: 469.402.2100

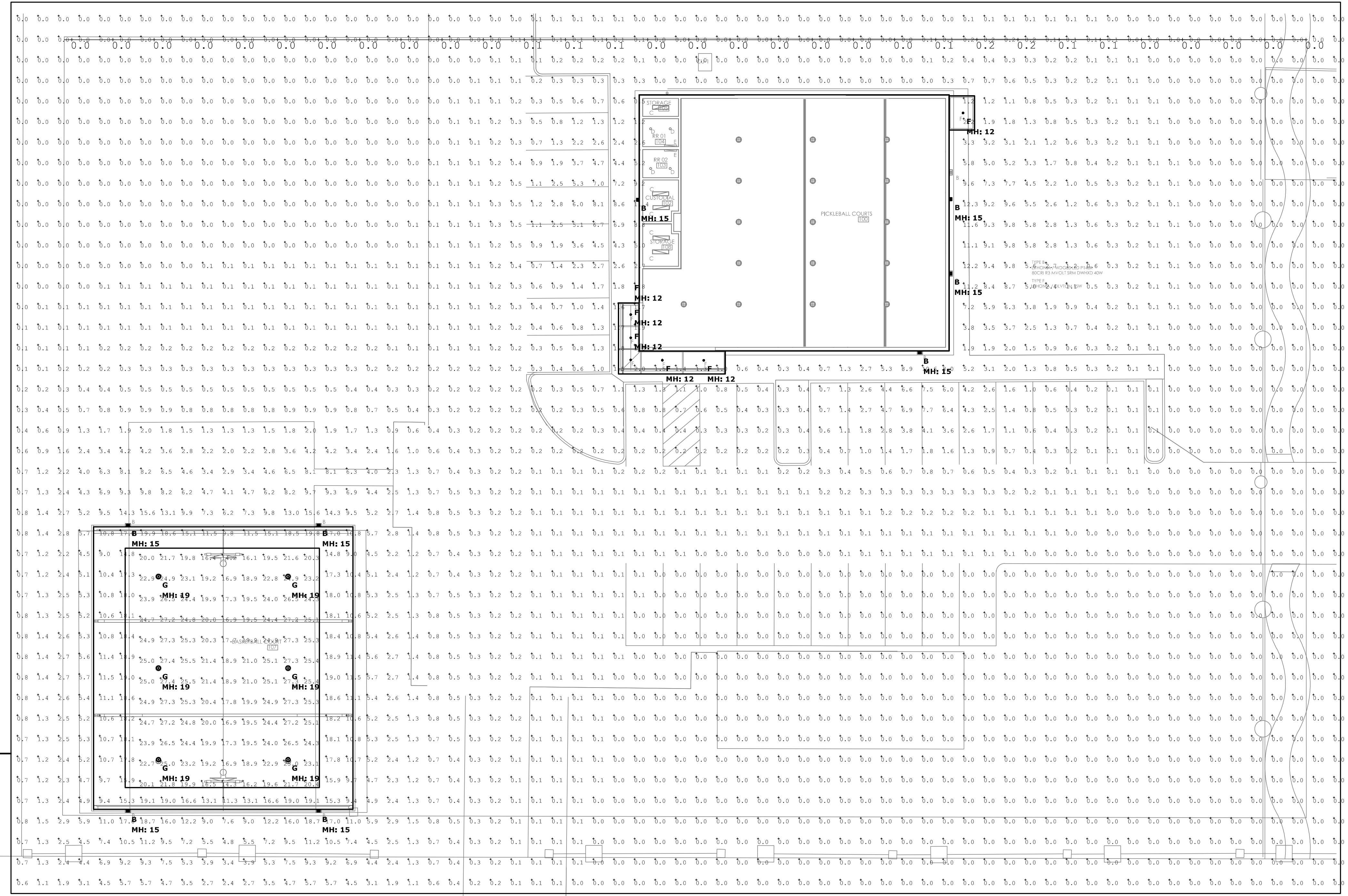
ISSUE
**PULLIAM CONSTRUCTION
MANAGEMENT**
CONSTRUCTION MANAGER:
101 CALLOWAYST., STE. 200
WYLIE, TEXAS 75098
P: 972.442.8077

ISSUE
ARCHITECT:
MCCARTHY ARCHITECTURE
1000 N. FIRST ST.
GARLAND, TX. 75040
P: 972.272.2500

ISSUE
STRUCTURAL ENGINEER:
**BLAKE WILSON
ENGINEERING, PLLC**
1848 NORWOOD PLAZA
SUITE 114
HURST, TEXAS 76054
P: 817.268.2345 P
P: 817.282.1636 F

ISSUE
MEP SYSTEMS:
MARK PORTNOY
918 DRAGON ST
DALLAS, TEXAS 75207
P: 214.915.0929

ISSUE
11/13/2024 PERMIT



SITE INFORMATION:

EXISTING ZONING: PD-44

PROPOSED ZONING: NO CHANGE

PROPOSED USE: PICKLEBALL COURTS

TOTAL AREA: 70,511 SQ FT 1.619 AC

"PD-44" ZONING

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TOTAL REQUIRED PARKING = 30 SPACES
TOTAL PROVIDED PARKING = 18 SPACES

Luminaire Schedule						
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor
H	B	8	LITHONIA WDGE2 LED P5 40K 80CRI VW MVOLT [MOUNT] [FINISH]	6153	48.44	1.000
F	F	6	LITHONIA OLVTCM	590	15.3	1.000
G	G	6	LITHONIA REBL ALO13 (18000LM) MD UVOLT SWW3 (40K) 80CRI [FINISH]	19371	118.4	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A.	Fc	0.03	0.2	0.0	N.A.
SITE_Planar	0	Fc	1.27	19.9	0.0	N.A.
BASKETBALL COURT		Fc	22.46	27.4	14.2	1.58

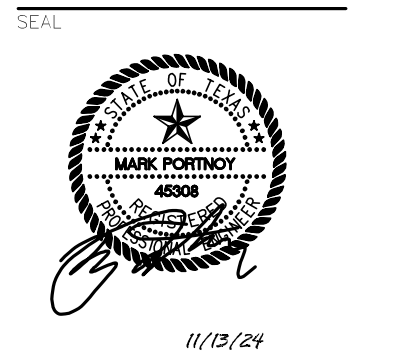
1 PHOTOMETRIC PLAN

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.

WITNESS OUR HANDS, this ___ day of _____.

Planning & Zoning Commission Chairman Director of Planning & Zoning

CASE #SP2024-046



Copyright © 2024
DATE: _____
SCALE: _____
JOB NO: _____
DRAWN: _____
CHECKED: _____
PHOTOMETRIC PLAN

DRAWING NO: _____ REV NO: _____
PH1.00



December 3, 2024

City of Rockwall, Texas
385 S. Goliad Street
Rockwall, Texas 75087

**ATTENTION: Mr. Henry Lee, AICP
Planner**

**SUBJECT: Rayburn Electric Cooperative Pickleball Facility
2686 S. Goliad Street Rockwall, Texas
Case #SP2024-046
Variance Requests**

Dear Mr. Lee,

Pursuant to submittal of the project Site Plan and supporting documents and on behalf of Rayburn Electric Cooperative (REC); we request variances to address the following items not in compliance with the City of Rockwall Unified Development Code (UDC):

- Exterior Stone coverage percentage less than 20 percent (UDC Article 05, Subsection 04.01.C) on North and South building facades.
- Cementitious material exceeding 50 percent on building facades.
- Building not in conformance with four-sided architecture and articulation requirements (UDC Article 05 Subsection 04.01.C).

Compensatory measures included in the Pickleball site and building design (UDC Article 11 Subsection 09.01) include the following:

- Increase SH205 Landscape Buffer width to 30-feet.
- Peaked Roof Form.
- Building Canopies.
- Varied Roof Heights.

The architecture of the proposed Pickleball Building is consistent with the recent building additions at the adjacent Rayburn Main Campus for which similar variances were previously approved. Rayburn Electric Cooperative desires to have architectural harmony between this site and their main Campus. The City of Rockwall Architectural Review Board (ARB) approved the Pickleball Building architecture at their November 26, 2024 meeting.

We greatly appreciate your consideration of these variance requests.

Best Regards,



R-DELTA ENGINEERS, INC.
TBPE Firm No. F-001515

Frank A. Polma, P.E.
President

Cc: Mr. David Naylor, P.E. – Rayburn Electric Cooperative
Mr. Stephen Geiger, P.E. – Rayburn Electric Cooperative



DATE: December 12, 2024

TO: Frank A. Polma, P.E.
R-Delta Engineers Inc.
618 Main Street
Garland, Texas 75040

CC: Stephen Geiger
Rayburn County Electric Coop.
950 Sids Road
Rockwall, Texas 75087

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2024-046; *Site Plan for 2686 S. Goliad Street*

Frank Polma:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on December 10, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Conditions of Approval

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On December 10, 2024, the Planning and Zoning Commission approved a motion to approve the site plan by a vote of 6-0, with Commissioner Conway absent.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6434.

Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a light blue horizontal line.

Henry Lee, AICP, *Senior Planner*
City of Rockwall Planning and Zoning Department