



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION **450' NORTH OF THE INTERSECTION OF JOHN KING BLVD. & FM 552**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **SF-8.4**

CURRENT USE **AGRICULTURAL**

PROPOSED ZONING **SF-8.4**

PROPOSED USE **MUNICIPALLY CONTROLLED UTILITY**

ACREAGE **0.4**

LOTS [CURRENT] **N/A**

LOTS [PROPOSED] **N/A**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167, THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **NORTH TEXAS MUNICIPAL WATER DISTRICT**

APPLICANT **TEAGUE, NALL, & PERKINS**

CONTACT PERSON **ELISA CARDONA**

CONTACT PERSON **ERIC WILLIAMS**

ADDRESS **505 E. Brown Street**

ADDRESS **825 WATTERS CREEK BOULEVARD
SUITE M300**

CITY, STATE & ZIP **WYLIE, TX 75098**

CITY, STATE & ZIP **ALLEN, TX 75013**

PHONE **469-626-4736**

PHONE **214-396-9560**

E-MAIL **ECARDONA@NTMWD.COM**

E-MAIL **EWILLIAMS@TNPINC.COM**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mark A. Simon [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

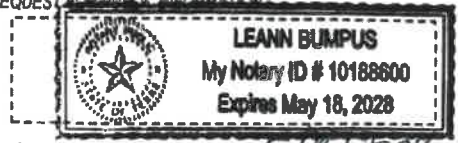
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE Eighth, 8th DAY OF August 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8th DAY OF August 2024

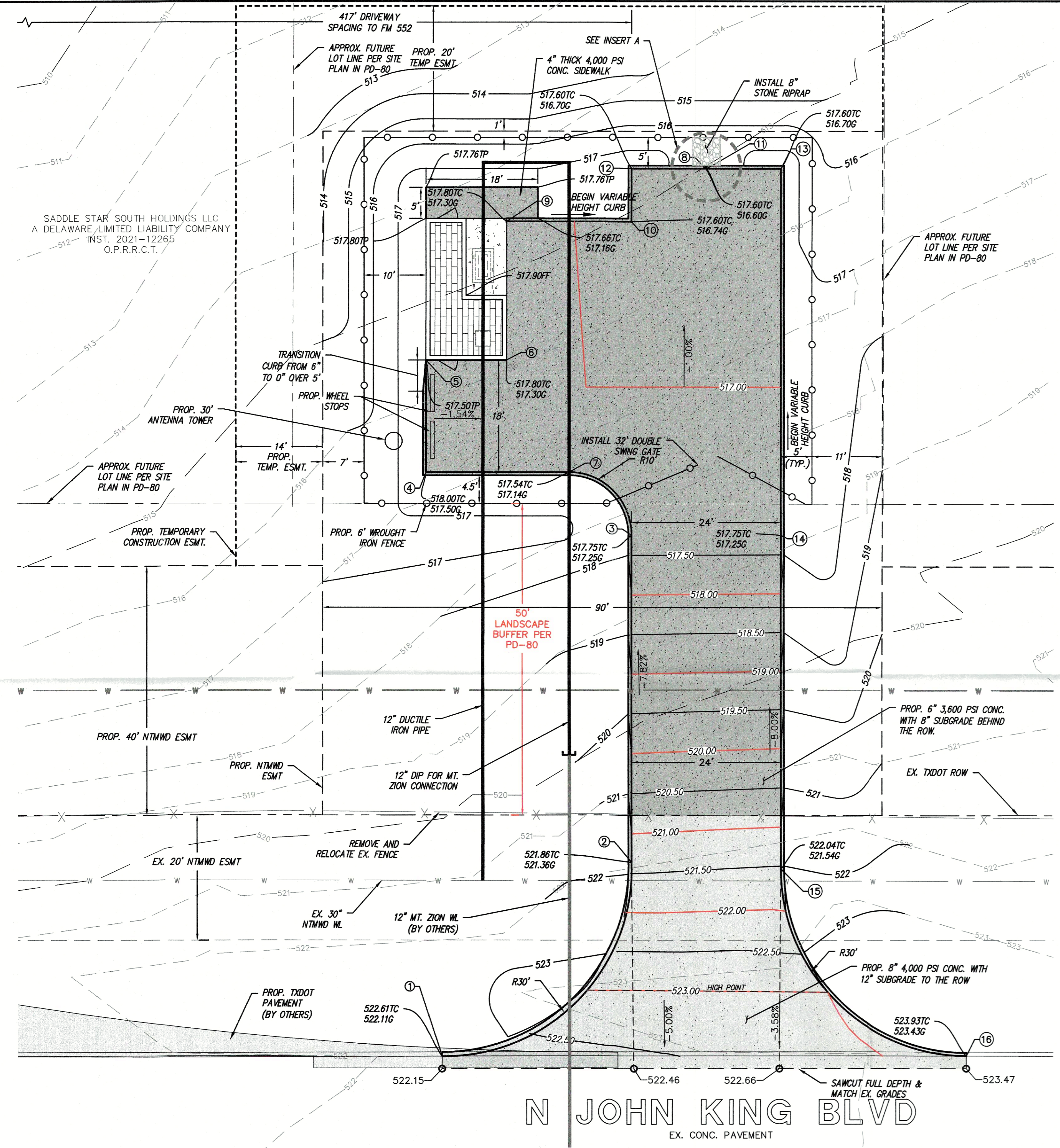
OWNER'S SIGNATURE

Mark A. Simon
Leann Bumpus

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 5/18/2028



Point #	Northing	Eastng	DESCRIPTION
1	7041856.64	2596718.03	PC
2	7041886.80	2596686.68	PT
3	7041886.29	2596634.13	PT
4	7041853.19	2596624.45	PI
5	7041853.00	2596606.45	PI
6	7041866.00	2596606.31	PI
7	7041876.20	2596624.23	PC
8	7041897.66	2596575.33	PI
9	7041865.77	2596584.15	PI
10	7041885.80	2596583.96	PI
11	7041897.79	2596575.33	PI
12	7041885.73	2596575.45	PI
13	7041909.72	2596575.21	PI
14	7041910.29	2596633.88	PI
15	7041910.80	2596687.45	PC
16	7041941.06	2596717.16	PT

G=GUTTER ELEVATION
 TC=TOP OF CURB ELEVATION
 TP=TOP OF PAVEMENT ELEVATION
 FF= FINISHED FLOOR ELEVATION

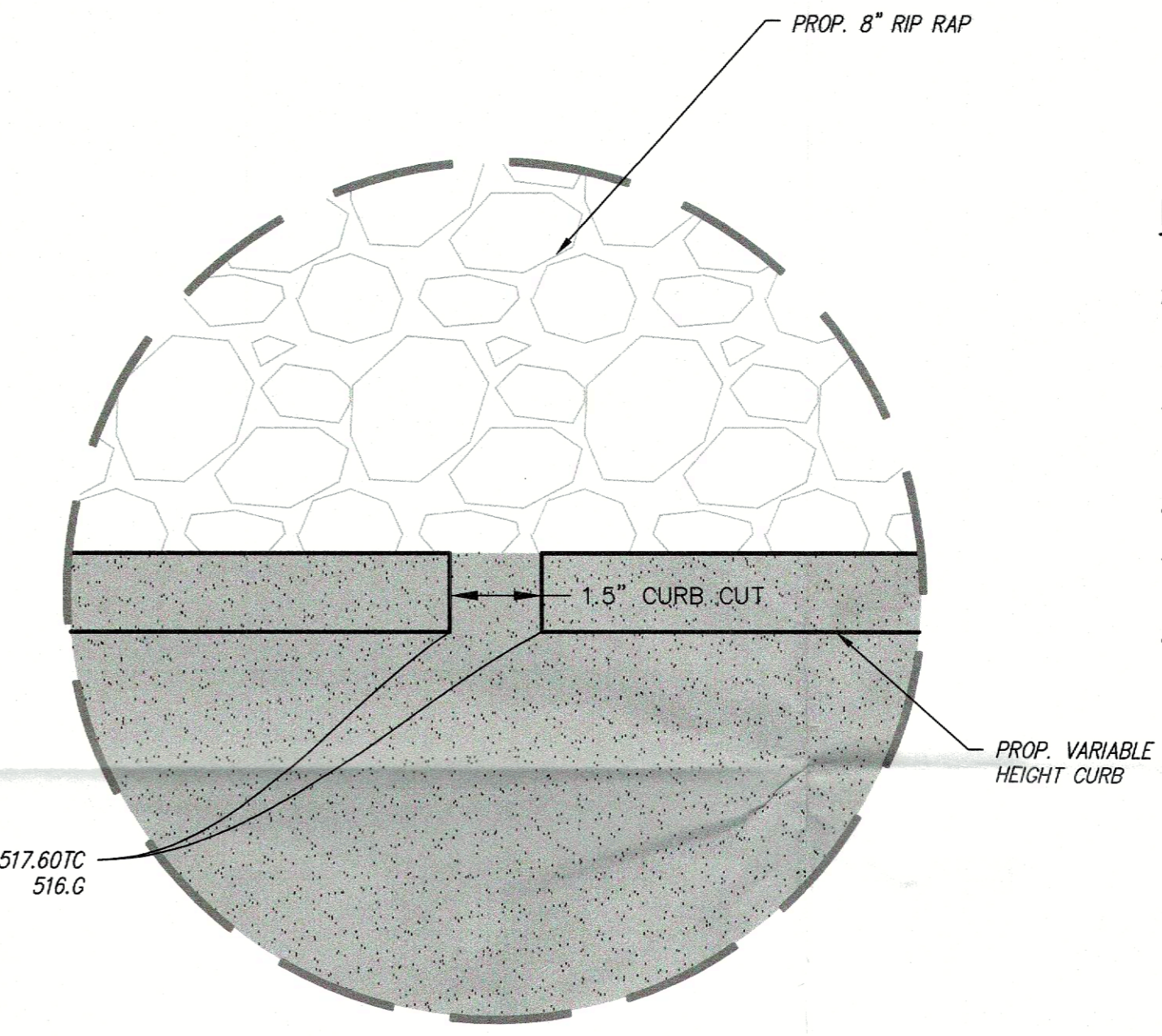
UTILITY NOTE:
 THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. TNP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES AND TEXAS 811 AT 800-344-8377 OR 811 AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

LEGEND

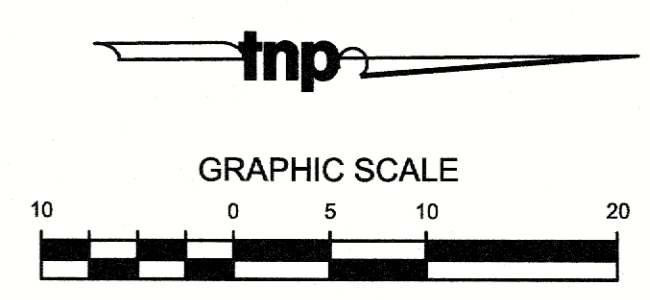
- PROP WATER LINE
- PROP TEMPORARY ESMT.
- PROP PERMANENT NTMWD ESMT.
- EX TXDOT ROW
- EX WATER LINE
- PROP. 6\"/>

8\"/>

- NOTES:**
- CONTRACTOR SHALL UNCOVER AND FIELD VERIFY HORIZONTAL AND VERTICAL DIMENSIONS AND EXISTING JOINT LOCATIONS FOR CONNECTION TIE-INS PRIOR TO MANUFACTURING OF NEW PIPE AND CONSTRUCTION.
 - CONTRACTOR SHALL PREPARE A WRITTEN DESCRIPTION OF THE TIE-IN PROCEDURES AND SUBMIT TO THE OWNER AT LEAST TWO WEEKS PRIOR TO SHUTDOWN.
 - REBAR SHALL BE #4 BARS @ 18\"/>

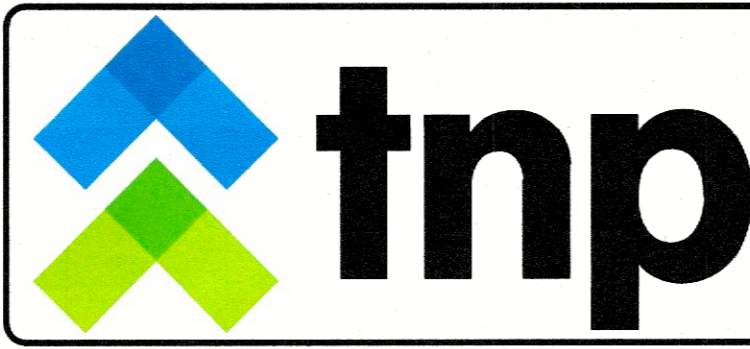


INSERT A
 N.T.S.



Drawing: T:\Projects\NTW22113\Eng-CSD\CAD\SHEETS\Site Plan.dwg at Aug 07, 2024--3:44pm by ewilliams
 Layout: MT_ZION_METER_VAULT_SITE_PLAN (2) Xrefs: XREF-BORDER.dwg - ZP-LAYOUT.dwg - ZP-BASE.dwg - DIS-ULM_LA.dwg

no.	revision	by	date



teague nall and perkins, inc
 825 Waters Creek Blvd., Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 www.tnppinc.com
 TRPELS: ENGR F-230; SURV 10011600, 10011601, 1019438
 GBPE: PEF007431; TBAE: BR 2673

This document is for interim review and is not intended for construction, bidding or permit purposes.
 JUSTIN N. WALTON, P.E. Date: 8/7/2024
 Tx. Reg. # 97267

scale when bar is 1 inch long
 1" = 10'
 vert N/A
 AUG 2024

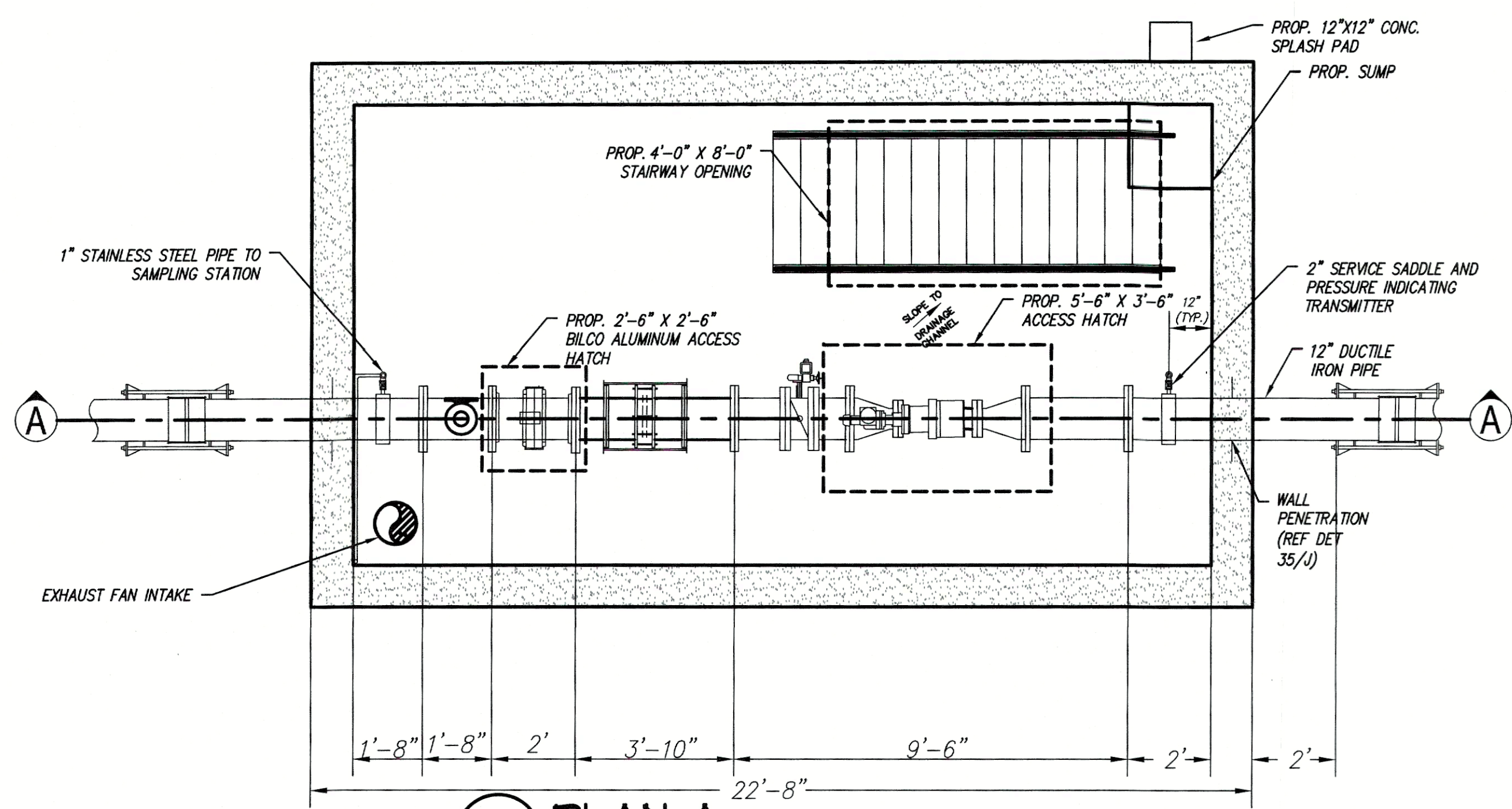


WYLIE TO ROCKWALL 20\"/>

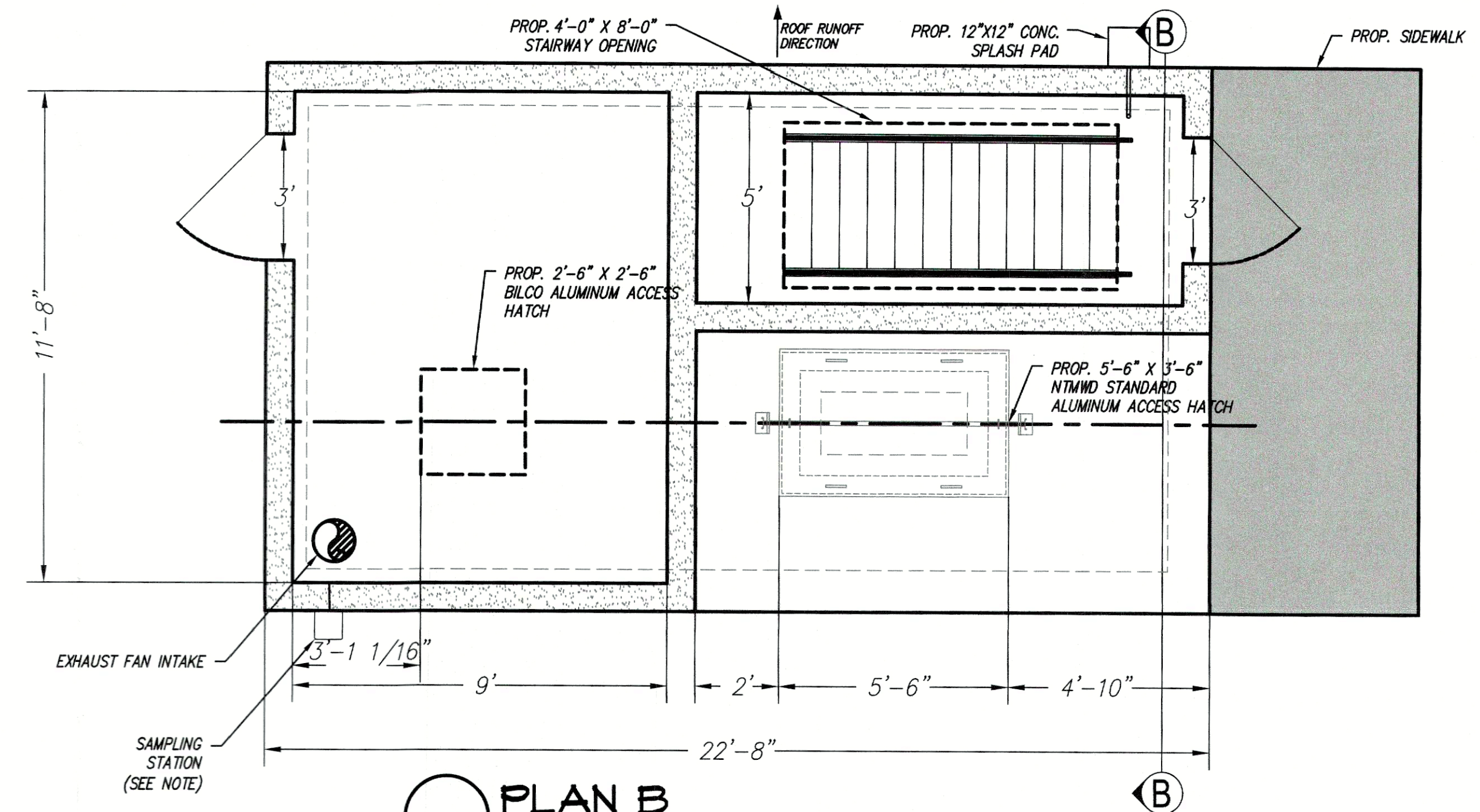
MT. ZION METER VAULT SITE PLAN

tnp project NTW22113 sheet

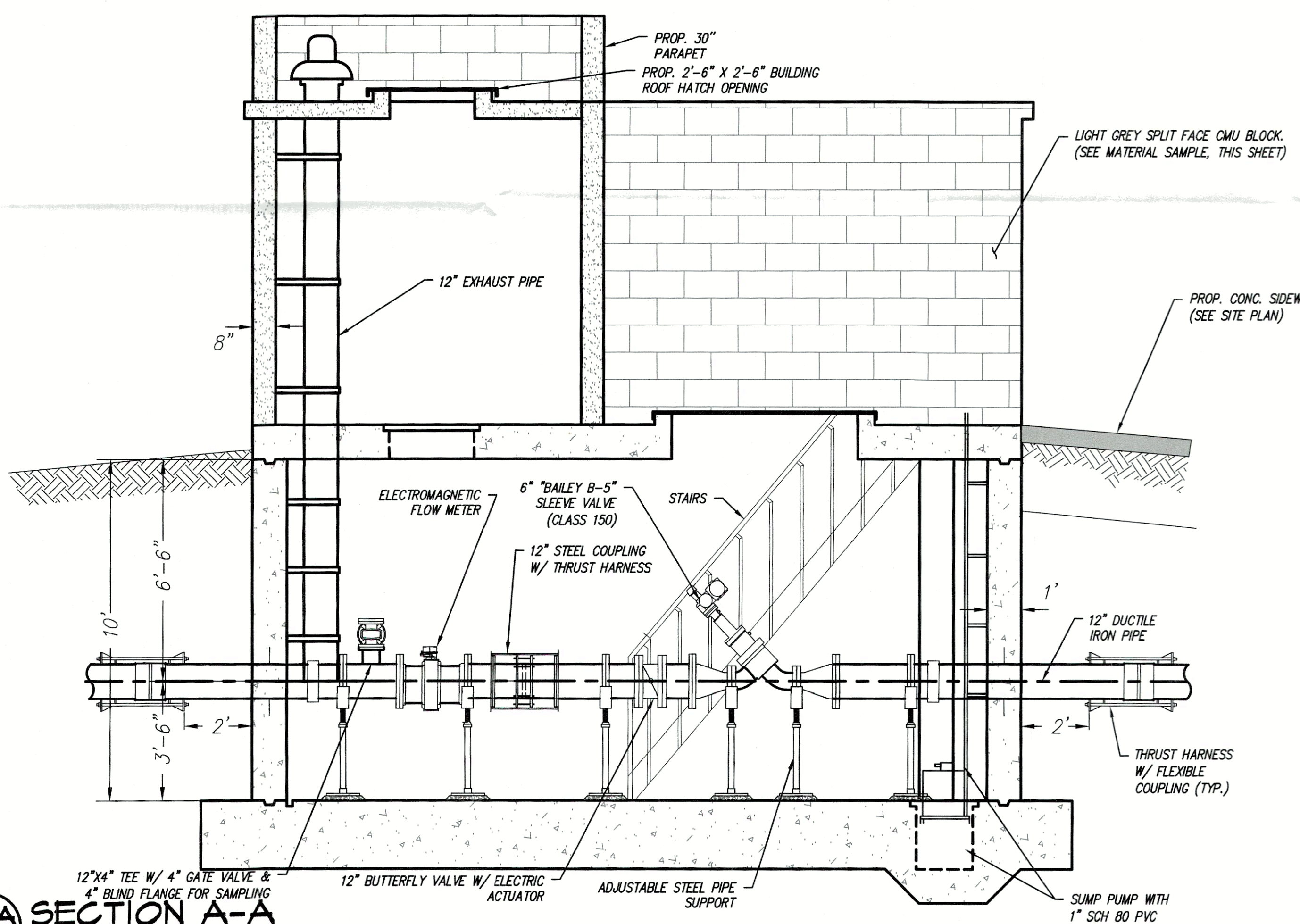
32



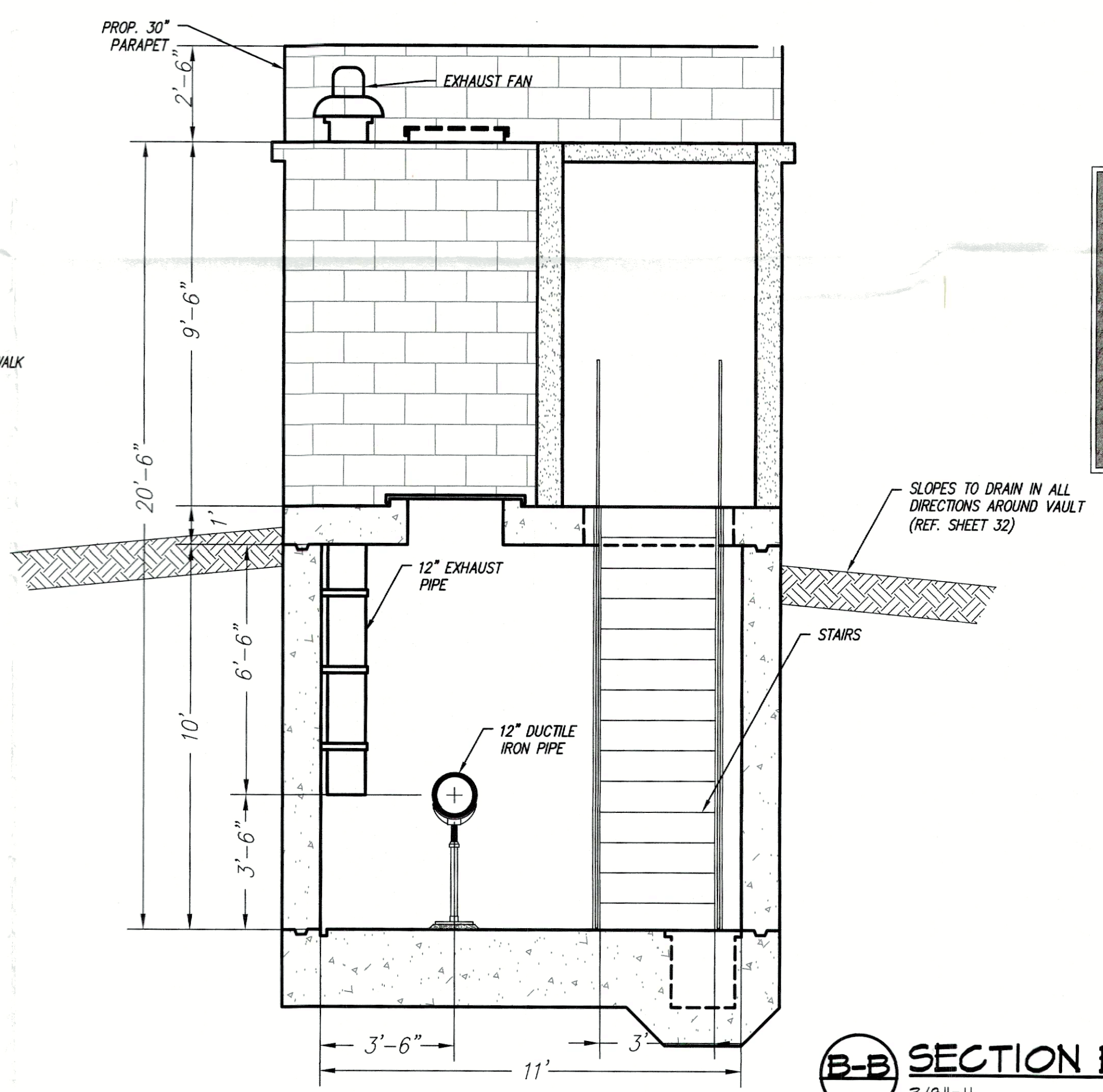
PLAN A
3/8"=1'



PLAN B
3/8"=1'

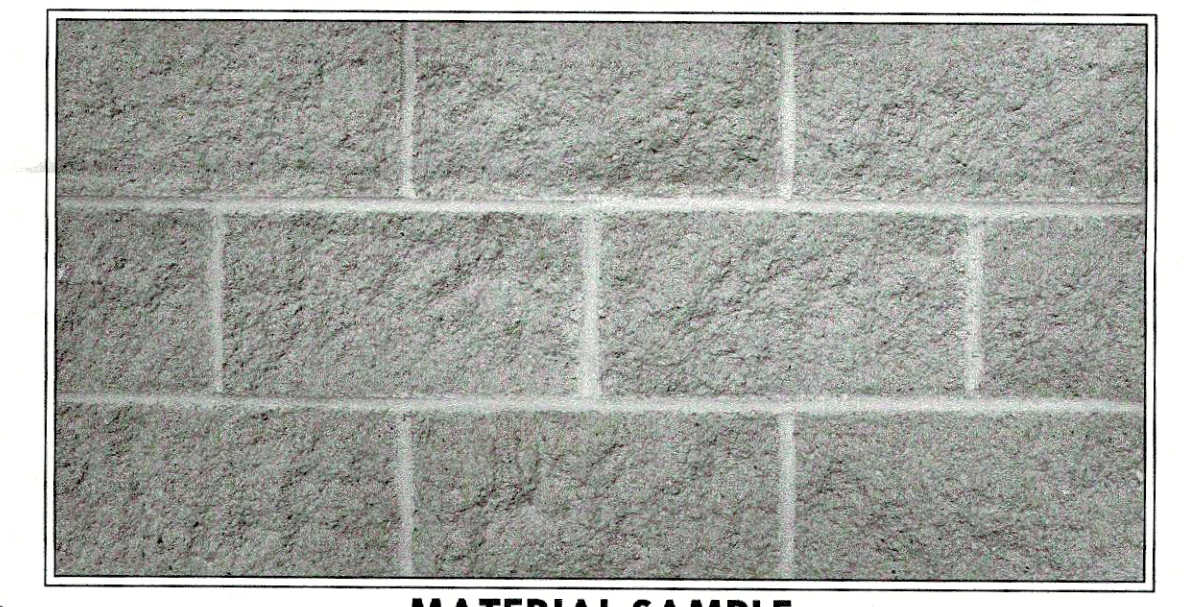


A-A SECTION A-A
3/8"=1'



B-B SECTION B-B
3/8"=1'

NOTES:
1. FINAL LOCATION OF SAMPLING STATION AND VAULT/WALL PENETRATION SHALL BE COORDINATED IN THE FIELD WITH THE DISTRICT INSPECTOR



MATERIAL SAMPLE

Drawing: T:\Projects\NTW22113\Eng-CED\CAD\SHEETS\Meter Vault Civil Drawings.dwg of Aug 05, 2024-2:44pm by williams
Layout: METER VAULT PLANS & SECTIONS - A01

no.	revision	by	date



teague nall and perkins, inc
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TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381
GBPE: PEF007431; TBAE: BR 2673

This document is for interim review and is not intended for construction, bidding or permit purposes.
JUSTIN N. WALTON, P.E. Date: JULY 14, 2023
Tx. Reg. # 97267

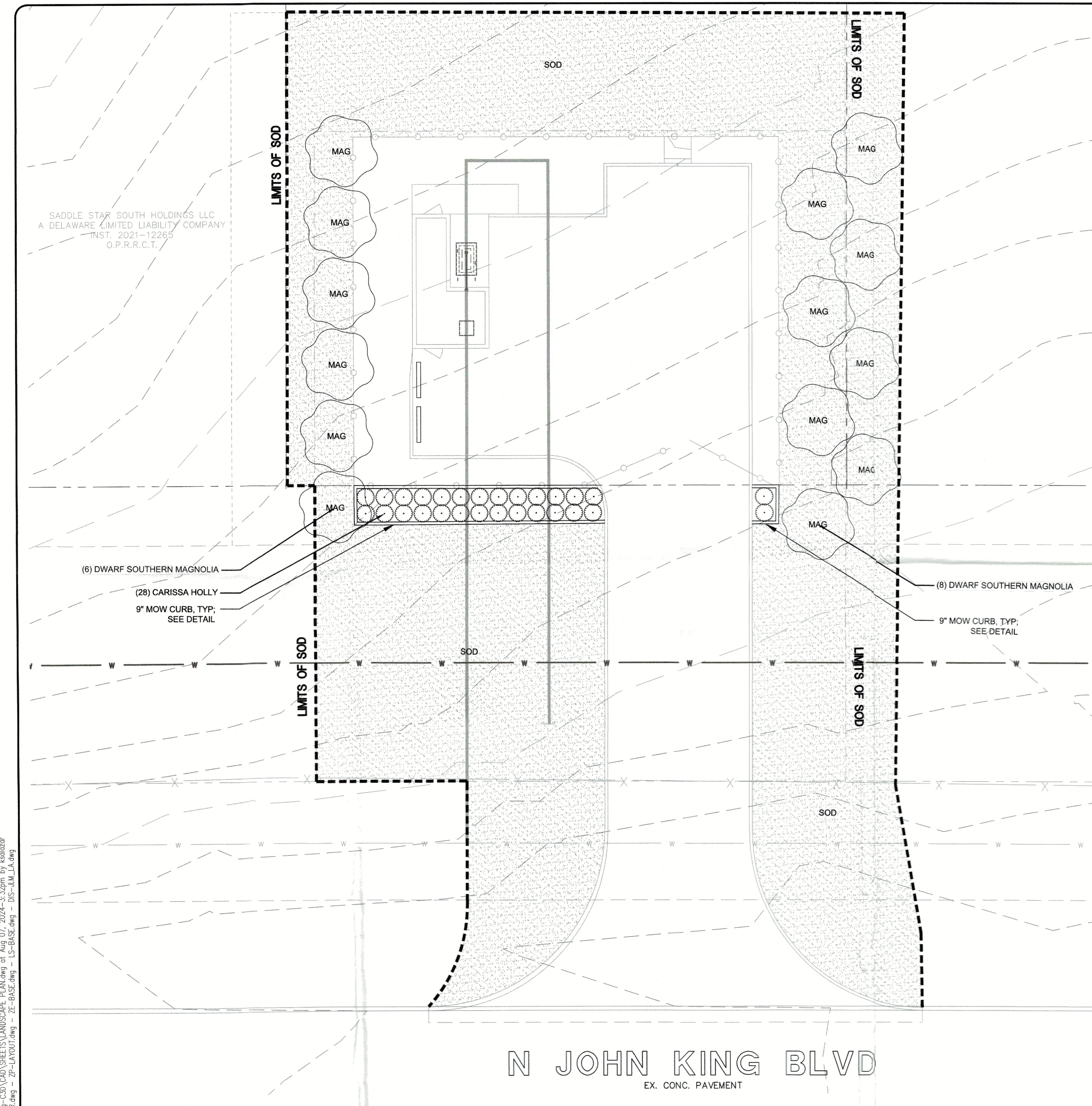
scale when bar is 1 inch long
horiz 3/8"=1'
vert N/A
AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

METER VAULT PLANS & SECTIONS

tnp project NTW22113
sheet
33



SADDLE STAR SOUTH HOLDINGS LLC
A DELAWARE LIMITED LIABILITY COMPANY
INST. 2021-12265
O.P.R.R.C.T.

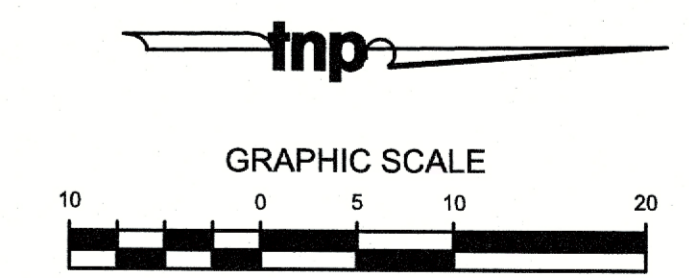
PLANT KEY

SYMBOL	COMMON NAME
ORNAMENTAL TREES	
	DWARF SOUTHERN MAGNOLIA
SHRUBS	
	CARISSA HOLLY
SOD/SEED	
	TIF 419 BERMUDA SOD

ALL PROPOSED LANDSCAPE SHALL BE TEMPORARILY IRRIGATED UNTIL PLANT ESTABLISHMENT

(6) DWARF SOUTHERN MAGNOLIA
(28) CARISSA HOLLY
9" MOW CURB, TYP. SEE DETAIL

(8) DWARF SOUTHERN MAGNOLIA
9" MOW CURB, TYP. SEE DETAIL



N JOHN KING BLVD
EX. CONC. PAVEMENT

Drawing: T:\Projects\NTW22113\Eng-CAD\Drawings\LANDSCAPE PLAN.dwg at Aug 07, 2024 - 3:32pm by isalazar
Layout: 52
Refs: REF-BURIED.dwg - ZP-LAYOUT.dwg - ZL-BASE.dwg - LS-BASE.dwg - US-LM.dwg

no.	revision	by	date



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GBPE: PEF007431; TBAE: BR 2673

This document is for interim review and is not intended for construction, bidding or permit purposes
JOE L. MADRID, L.A. Date: AUG 2024
Tx. Reg. # 3207

scale when bar is 1 inch long
horiz 1" = 10'
vert N/A
AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

LANDSCAPE PLAN

tnp project NTW22113 sheet **53**

PLANTING NOTES

SECTION 1 - GENERAL

- These notes are intended as a field reference for the Contractor. The Contractor will thoroughly review these notes, specifications and the drawings prior to start of any work. The Contractor shall visit the site prior to submitting his bid and prior to start of work to become completely familiar with site conditions.
- It is the responsibility of the contractor to advise the Landscape Architect (hereinafter, LA) of any condition found on the site which prohibits installation as shown on these drawings.
- Prior to submitting a bid, the Contractor shall verify any discrepancies between the notes, specifications, or the drawings with the LA for clarification. If there is a discrepancy between the quantity of materials shown on the plans and the quantity of materials shown in the materials legends, the greater quantity will take precedence for bidding purposes. All quantities listed are for information only. It is the contractor's responsibility to provide full coverage of materials in all areas.
- Written dimensions prevail over scaled dimensions. Notify landscape architect of any discrepancies
- The Contractor bears all responsibility for obtaining all licenses and permits required by federal, state, and local agencies to accomplish the work of this project.
- Contractor shall complete soil test in all planting areas to determine soil amendment requirements and submit test results to LA for approval. Contractor shall adjust pH and fertility based upon these results. No addition to or placement of soil is to be done prior to initial soil test report approval. Testing shall be done by LA approved laboratory. No planting shall begin until results and proper adjustment have been made. It is the Contractor's responsibility to ensure proper drainage and fertility of all planting areas.
- Coordinate all work with the project's building contractor or owner.
- Warning! Call toll-free 811 before you dig! The contractor bears all responsibility for verifying all underground utilities, pipes, and structures in the field prior to construction. Any damage to utilities that are to remain shall be repaired immediately at no expense to the owner. The Contractor shall contact the building contractor and all utility authorities to mark location of site utilities. Install flags or stakes and maintain them in place throughout the project. Damage to utilities or other work shall be repaired at the expense of the contractor responsible for the damage. The locations of existing utilities as shown on these plans are approximate. There may be other underground utilities within the project area that are not shown. Landscape Architect and/or Engineer assumes no responsibility for any utilities not shown on plans.
- Due to existing vegetation and other site conditions, the Contractor should anticipate field adjustments by the LA and should understand such adjustments are not a change order.
- The Contractor shall give the LA 48 hours' notice of required inspections upon completion of each of the following phases:
 - Pre-Construction Conference after award of bid (on-site)
 - Construction debris/ weed clean-up (before any grading, fill, or irrigation)
 - Rough Grading (within 2" of finish grade), Utility Marking, and Tree Staking
 - Fine Grading and Tree Staking (before any tree pits are dug)
 - Tree Planting
 - Staking of Bedlines and/or Edging
 - Shrub Planting
 - Substantial Completion
 - Final Acceptance
- Contractor shall guarantee all plant material for one (1) full year from date of final acceptance. The cutting off of water or electricity by other trades or persons shall not void the warranty.
- It is the contractor's responsibility to insure the availability of water to the plants at all times until final acceptance. The contractor shall reject and replace all trees with tip-dieback of more than one (1) inch over the entire canopy of the tree and replace all shrubs or plants with any dieback. All rejected plant material shall be replaced with specified plant material within 14 calendar days at the contractor's expense.
- LA assumes no responsibility for damages, liabilities, or cost resulting from changes or alterations made to the plan without the express written consent of LA.
- All materials, locations, and workmanship are subject to approval or refusal by the LA. All materials, locations, and workmanship rejected by the LA shall be remedied at the Contractor's expense.

SECTION 2 - MATERIALS

- The Contractor shall check all material for specified requirements, shipping damage, pests, and diseases and shall reject all unsatisfactory materials. All plant material is to be carefully handled by the root ball, not the trunk, branches, and/or foliage of the plant. Mishandled material will be rejected. B&B material shall be "hardened off" after digging for at least 90 days and have at least 10" of rootball for every caliper inch. All material rejected by the LA shall be removed from the site and replaced with acceptable material at the Contractor's expense
- Plants shall be well formed, vigorous, growing specimens with growth typical of variety specified and shall be free from injury, insects, and diseases. All plant material is to be well rooted, not root bound, such that the root ball remains intact throughout the planting process. The Contractor shall reject all cracked root balls. All plant material shall conform to the specifications and sizes shown in the plant list and shall be nursery grown in accordance with the latest edition (ANSI Z60.1) of "American Standard for Nursery Stock." Any plant substitution shall be approved by landscape architect prior to purchase. Trees with co-dominant stems shall be rejected.
- Do not make substitutions. If specified material is not available, submit proof of non-availability to LA.
- All planting areas shall have organic topsoil that is natural, well-drained, friable, fertile, sandy-loam. Sandy-loam is to be pH 6.5-7.5. Heavy clays, limestone, poorly drained bottomland soil, silt, or alluvial soils are not allowed in any planting areas. Topsoil shall be free of harmful insects or nematodes, soil-borne diseases, toxins, select fill, inorganic subsoils, heavy metals, trash, petroleum by-products, rocks over 1/2" in diameter, rubble, roots, and weeds or weed seeds. Contractor shall submit a 2-cup sample in a gallon-size baggie to Landscape Architect before delivery of any soil to the site or placement of any soil in planting areas.
- Sod shall consist of live growing plants secured from sources which have dense, thickly matted root system throughout the soil of the sod for a minimum of one inch. Sod shall be free of weeds or other varieties of grasses.

20. Sod shall consist of live growing plants secured from sources which have dense, thickly matted root system throughout the soil of the sod for a minimum of one inch. Sod shall be free of weeds or other varieties of grasses.

21. Sod shall not be used where the roots are dried because of sun or wind. The landscape architect has the right to reject any or all of sod due to lack of care, improper cutting, or other agronomic problems.

SECTION 3 - EXECUTION

- The Contractor shall thoroughly remove from the construction site all limestone larger than 1/2" in diameter and all heavy clay to these depths: 6" minimum in turf and seed areas, and 18" minimum in planting beds. The LA shall verify that this is complete before the Contractor is authorized to proceed with fill of specified topsoil or grading. Scarify subsoil after removal of rock or heavy clay before adding topsoil so as to break up any surface tension.
- The Contractor shall thoroughly remove from the construction site all the following particles that are larger than 3/4" in diameter: inorganic select fill, heavy clay, limestone, and construction debris, mortar, concrete, paint, chemicals, weeds, plastic, paper, steel, mortar, masonry, construction debris, and other substances that are harmful to plant growth. Remove the above items to these depths: 6" minimum in turf and seed areas, and 18" minimum in planting beds. The LA shall verify that the above items are removed before the Contractor is authorized to proceed with fill with specified topsoil or grading. DO NOT PLACE ANY FILL ON CONSTRUCTION DEBRIS.
- Mow curbs shall be used at all planting bed edges when they are adjacent to lawn (see detail). Unless otherwise shown on plans, mow curbs shall intersect curbs, sidewalks, and buildings at 90 degrees (square). Mow curbs shall have expansion joints every 50' and at all abutments to other hardscape elements. Construction joints shall be saw cut at 10' on center. Mow curbs shall have curves that are smooth, flowing, and consistent in nature. Mow curbs with straight lines shall be straight. All formwork shall be within a 1/4" tolerance of drawings. No mow curb shall have a radius smaller than 72" unless specifically called out on drawings.
- Contractor shall fine grade all areas for approval by LA. Contractor shall be responsible for providing 2% positive drainage in all planting areas. No planting or mulching will take place until all construction, clean-up, fine grading, and irrigation is complete in the immediate area. Final finish grading shall be reviewed by the LA before any planting takes place. Contractor shall be responsible for any additional topsoil required to create a smooth condition prior to planting.
- All planting beds shall be amended as per plans details and specs. Submit trip tickets to L.A. for approval of quantity and type of materials.
- All sod and seed areas shall be amended as per plans and specifications.
- Scarify all rootballs (#1 and larger) to prevent plants from remaining pot-bound. This is to be done by hand or with a 3-prong cultivator but never with a shovel or machete.
- Place shrubs and groundcovers so that the top of the rootball is 1/4" to 3/4" above finish grade. Trees shall be set 1" above finish grade for each caliper inch of trunk. Example: A 3" tree shall be set 3" above finish grade.
- Water in and compact planting backfill to prevent formation of air pockets.
- Plants shall be set plumb, unless otherwise directed by LA.
- Back row of shrubs shall be planted 36" from face of building wall, groundcovers shall be 12" from building or as required by conditions. Front row of shrubs shall be planted a minimum of 24" behind (12" for ground cover) bed lines at lawns or walks and minimum 36" back from curbs, driveways, and parking areas.
- After planting, remove strapping, wire "ears" and string, cords, burlap, etc. from top of B&B rootballs.
- All planting beds and trees shall be mulched with 3" of mulch (2.5" after settlement).
- All trees are to be stabilized per detail and specs immediately after planting.
- All sod areas shall be thoroughly graded and smoothed with at least 8 passes in different directions using a drag-behind system such as a bunker rake or other device until very smooth and with 1/4" of specified grade (see civil sheets for grading plans).
- Prior to sod installation, a fertilizer shall be applied and tilled into the prepared soil. Application must be done no longer than 24 hours prior to installation of sod. Do not apply fertilizer when a possibility of rain might occur before sod is installed. Reference specifications for specific type of fertilizer to be used.
- Lay sod in parallel rows with tight joints. All sod must be placed perpendicular to slopes and staggered no less than 12" on each row. Slopes greater than 4:1 must be held in place with galvanized sod pins, wood pegs, or other method approved by LA. All sod shall be rolled with a 5-ton mechanical roller in at least two directions within 24 hours of laying. All sod areas shall be barricaded with wood stakes and ribbon for no less than 7 days.
- Plant material shall be pruned as necessary to control size but not to disrupt the natural growth pattern or characteristic form of the plant except as necessary to achieve height clearance for visibility and pedestrian passage or to achieve a continuous opaque hedge if required.
- All plant material shall be fully-maintained in a healthy and growing condition until final acceptance, and must be replaced with plant material of same variety and size if damaged, destroyed, or removed. This includes mowing, pruning, watering, and weeding.
- Landscape areas shall be kept free of trash, weeds, debris, and dead plant material until final acceptance. Any damage to landscape areas shall be repaired at no cost to owner.

PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
CANOPY TREES								
	CEDAR ELM	Ulmus crassifolia	3	4" Cal.	12'-14'	5'-6"	As shown	CONTAINER GROWN, FULL DENSE HEAD, SYMMETRICAL, SINGLE, STRAIGHT TRUNK
ORNAMENTAL TREES								
	TEXAS REDBUD	Cercis canadensis texensis	4	45 Gal.	10'-12'	5'-6"	As shown	CONTAINER GROWN, FULL DENSE HEAD, SYMMETRICAL, SINGLE, STRAIGHT TRUNK, GLOSSY LEAF VARIETY.
SHRUBS								
	CARISSA HOLLY	Ilex cornuta 'Carissa'	28	5 Gal.	18"-22"	20"-24"	32" O.C.	CONTAINER GROWN, MATURE ROOT SYSTEM BUT NOT ROOT BOUND, FULL BROAD TOP.
SOD/SEED								
	TIF 419 BERMUDA SOD	Cynodon dactylon 'TIF 419'	7,845 sf	Rollod sod	n/a	n/a	n/a	REF PLANTING NOTES AND SPECIFICATIONS

Drawing: I:\Projects\NTW22113\Eng-CAD\01\SHEETS\LANDSCAPE SCHEDULE AND NOTES.dwg at Aug 07, 2024 3:33pm by ksozior
Layout: LANDSCAPE SCHEDULE AND NOTES - XREF-BORDER.dwg - ZP-LAYOUT.dwg - ZP-BA-SE.dwg - LS-BA-SE.dwg - DIS-ALL.dwg

no.	revision	by	date



teague nall and perkins, inc
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 www.tnpsc.com
 TBPFLS: ENGR F-230; SURV 10011600, 10011601, 1019438
 GBPE: PEF007431; TBAE: BR 2673

This document is for interim review and is not intended for construction, bidding or permit purposes.
 JOE L. MADRID, L.A. Date: AUG 2024
 Tx. Reg. # 3207

scale when bar is 1 inch long
 horiz N/A
 vert N/A
 AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

LANDSCAPE SCHEDULE AND NOTES

tnp project NTW22113 sheet **54**



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION **450' NORTH OF THE INTERSECTION OF JOHN KING BLVD. & FM 552**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **SF-8.4**

CURRENT USE **AGRICULTURAL**

PROPOSED ZONING **SF-8.4**

PROPOSED USE **MUNICIPALLY CONTROLLED UTILITY**

ACREAGE **0.4**

LOTS [CURRENT] **N/A**

LOTS [PROPOSED] **N/A**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167, THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **NORTH TEXAS MUNICIPAL WATER DISTRICT**

APPLICANT **TEAGUE, NALL, & PERKINS**

CONTACT PERSON **ELISA CARDONA**

CONTACT PERSON **ERIC WILLIAMS**

ADDRESS **505 E. Brown Street**

ADDRESS **825 WATTERS CREEK BOULEVARD
SUITE M300**

CITY, STATE & ZIP **WYLIE, TX 75098**

CITY, STATE & ZIP **ALLEN, TX 75013**

PHONE **469-626-4736**

PHONE **214-396-9560**

E-MAIL **ECARDONA@NTMWD.COM**

E-MAIL **EWILLIAMS@TNPINC.COM**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mark A. Simon [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

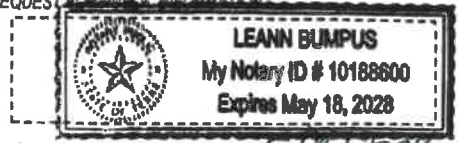
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE Eighth, 8th DAY OF August 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8th DAY OF August 2024

OWNER'S SIGNATURE

Mark A. Simon
Leann Bumpus

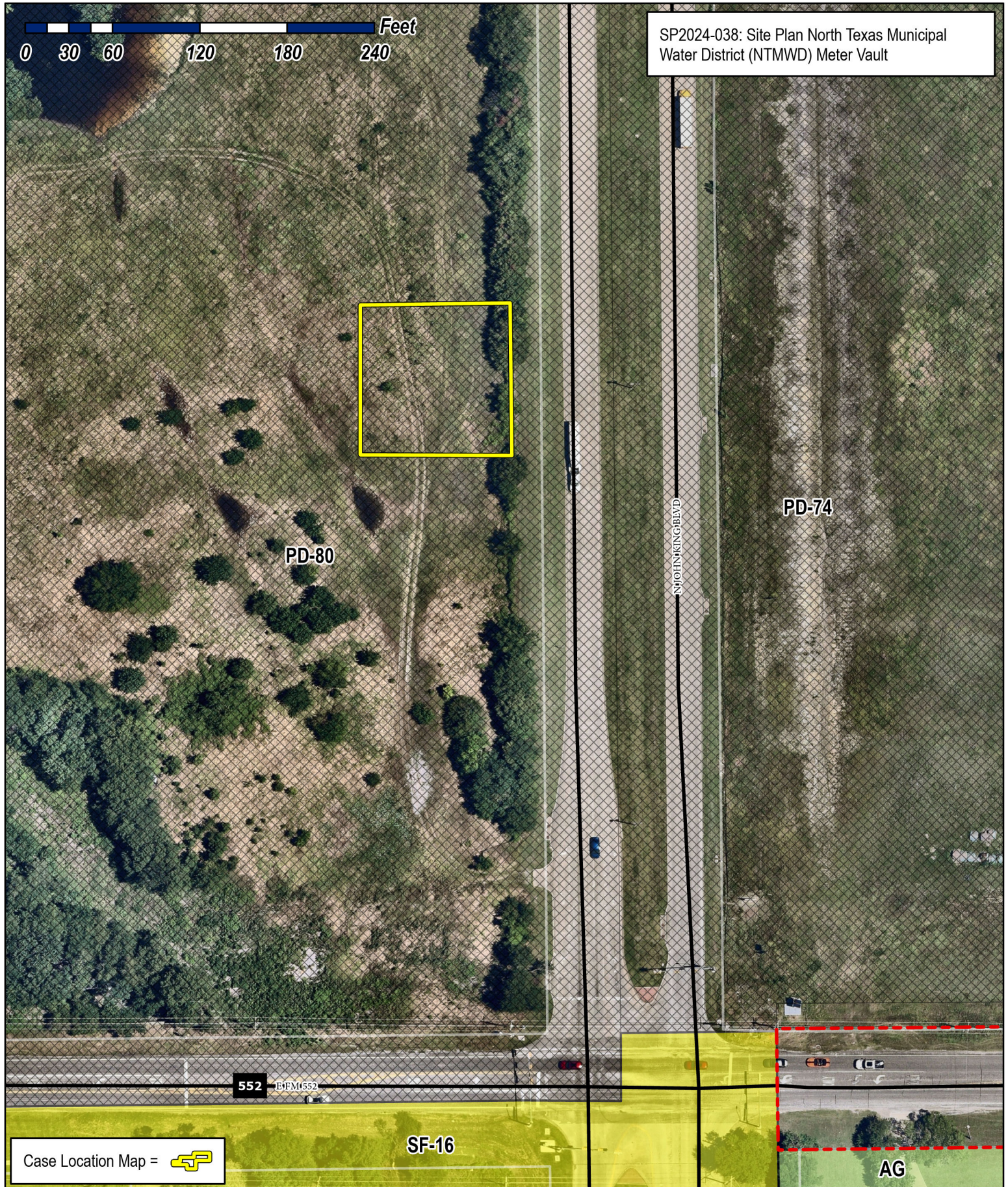
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES 5/18/2028



SP2024-038: Site Plan North Texas Municipal Water District (NTMWD) Meter Vault



Case Location Map = 

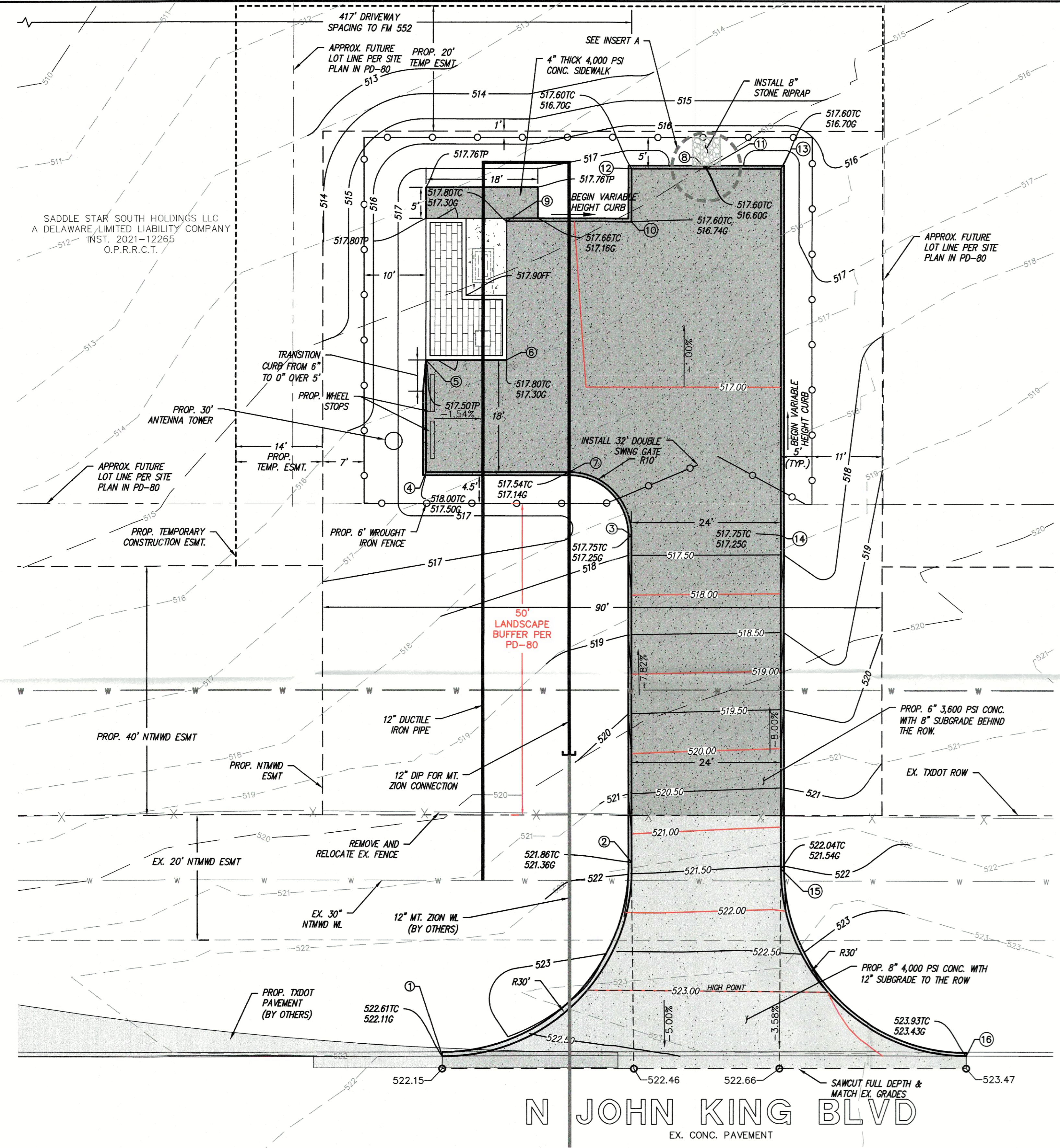


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Point #	Northing	Easting	DESCRIPTION
1	7041856.64	2596718.03	PC
2	7041886.80	2596686.68	PT
3	7041886.29	2596634.13	PT
4	7041853.19	2596624.45	PI
5	7041853.00	2596606.45	PI
6	7041866.00	2596606.31	PI
7	7041876.20	2596624.23	PC
8	7041897.66	2596575.33	PI
9	7041865.77	2596584.15	PI
10	7041885.80	2596583.96	PI
11	7041897.79	2596575.33	PI
12	7041885.73	2596575.45	PI
13	7041909.72	2596575.21	PI
14	7041910.29	2596633.88	PI
15	7041910.80	2596687.45	PC
16	7041941.06	2596717.16	PT

G=GUTTER ELEVATION
 TC=TOP OF CURB ELEVATION
 TP=TOP OF PAVEMENT ELEVATION
 FF= FINISHED FLOOR ELEVATION

UTILITY NOTE:
 THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. TNP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES AND TEXAS 811 AT 800-344-8377 OR 811 AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

LEGEND

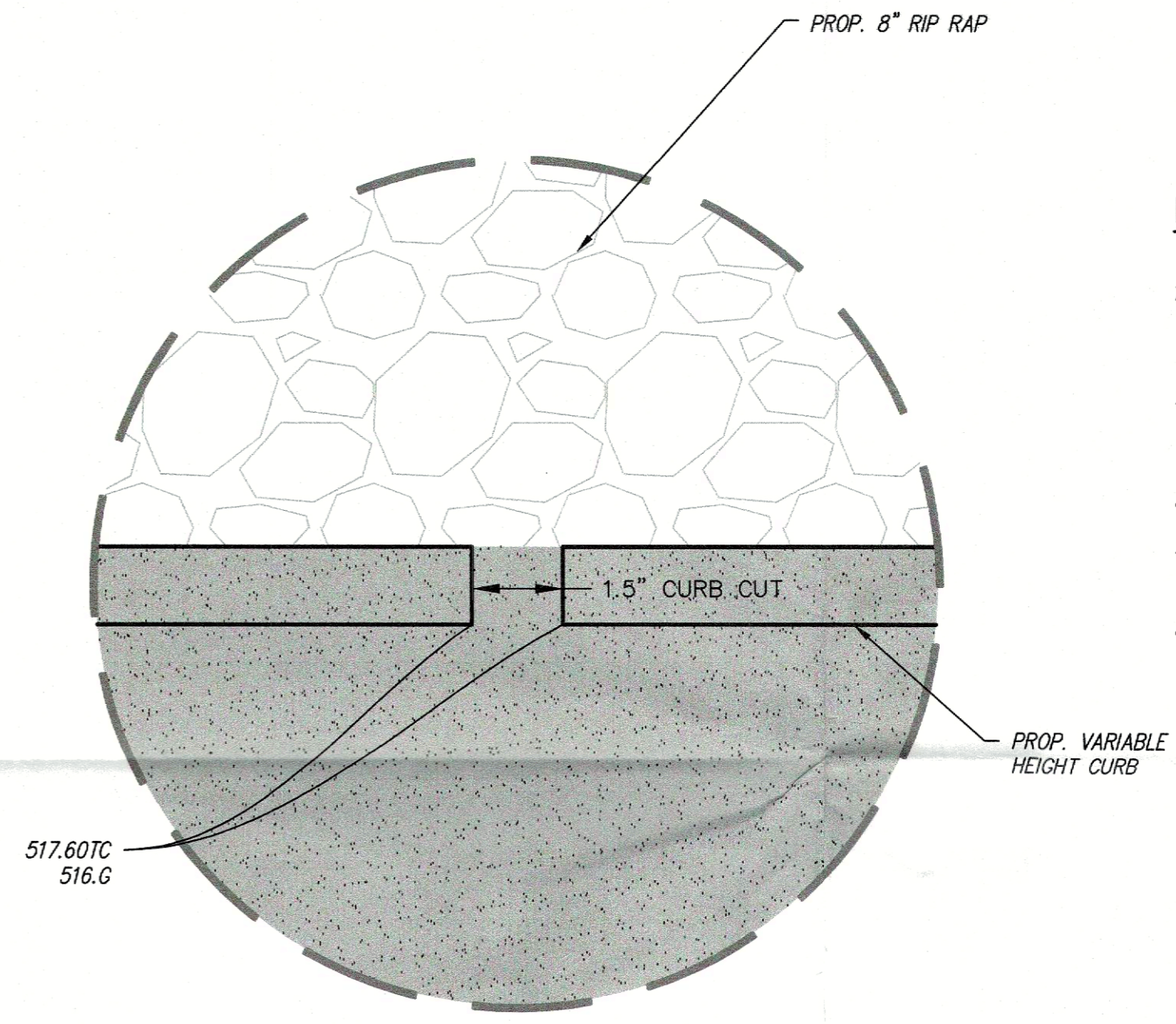
- PROP WATER LINE
- PROP TEMPORARY ESMT.
- PROP PERMANENT NTMWD ESMT.
- EX TXDOT ROW
- EX WATER LINE
- PROP. 6\"/>

8\"/>

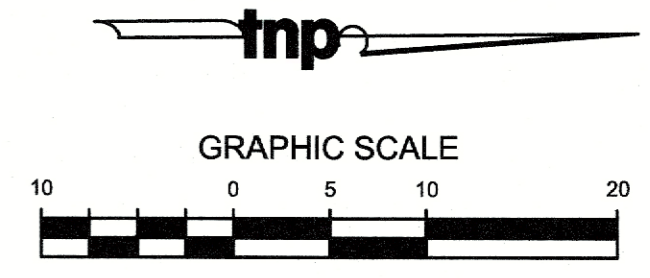
6\"/>

PROP. TXDOT PAVEMENT (BY OTHERS)

- NOTES:**
- CONTRACTOR SHALL UNCOVER AND FIELD VERIFY HORIZONTAL AND VERTICAL DIMENSIONS AND EXISTING JOINT LOCATIONS FOR CONNECTION TIE-INS PRIOR TO MANUFACTURING OF NEW PIPE AND CONSTRUCTION.
 - CONTRACTOR SHALL PREPARE A WRITTEN DESCRIPTION OF THE TIE-IN PROCEDURES AND SUBMIT TO THE OWNER AT LEAST TWO WEEKS PRIOR TO SHUTDOWN.
 - REBAR SHALL BE #4 BARS @ 18\"/>

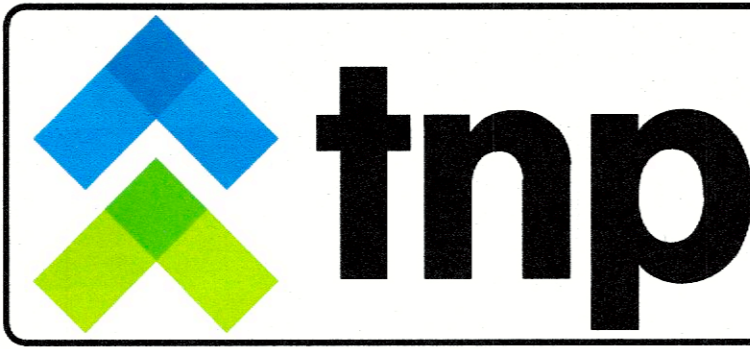


INSERT A
 N.T.S.



Drawing: T:\Projects\NTW22113\Eng-CSD\CAD\SHEETS\Site Plan.dwg at Aug 07, 2024--3:44pm by ewilliams
 Layout: MT. ZION METER VAULT SITE PLAN (2) Xrefs: XREF-BORDER.dwg - ZP-LAYOUT.dwg - ZP-BASE.dwg - DIS-ULM.LA.dwg

no.	revision	by	date



teague nall and perkins, inc
 825 Waters Creek Blvd., Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 www.tnppinc.com
 TRPELS: ENGR F-230; SURV 10011600, 10011601, 1019438
 GBPE: PEF007431; TBAE: BR 2673

This document is for interim review and is not intended for construction, bidding or permit purposes.
 JUSTIN N. WALTON, P.E. Date: 8/7/2024
 Tx. Reg. # 97267

scale when bar is 1 inch long
 1" = 10'
 vert N/A
 AUG 2024

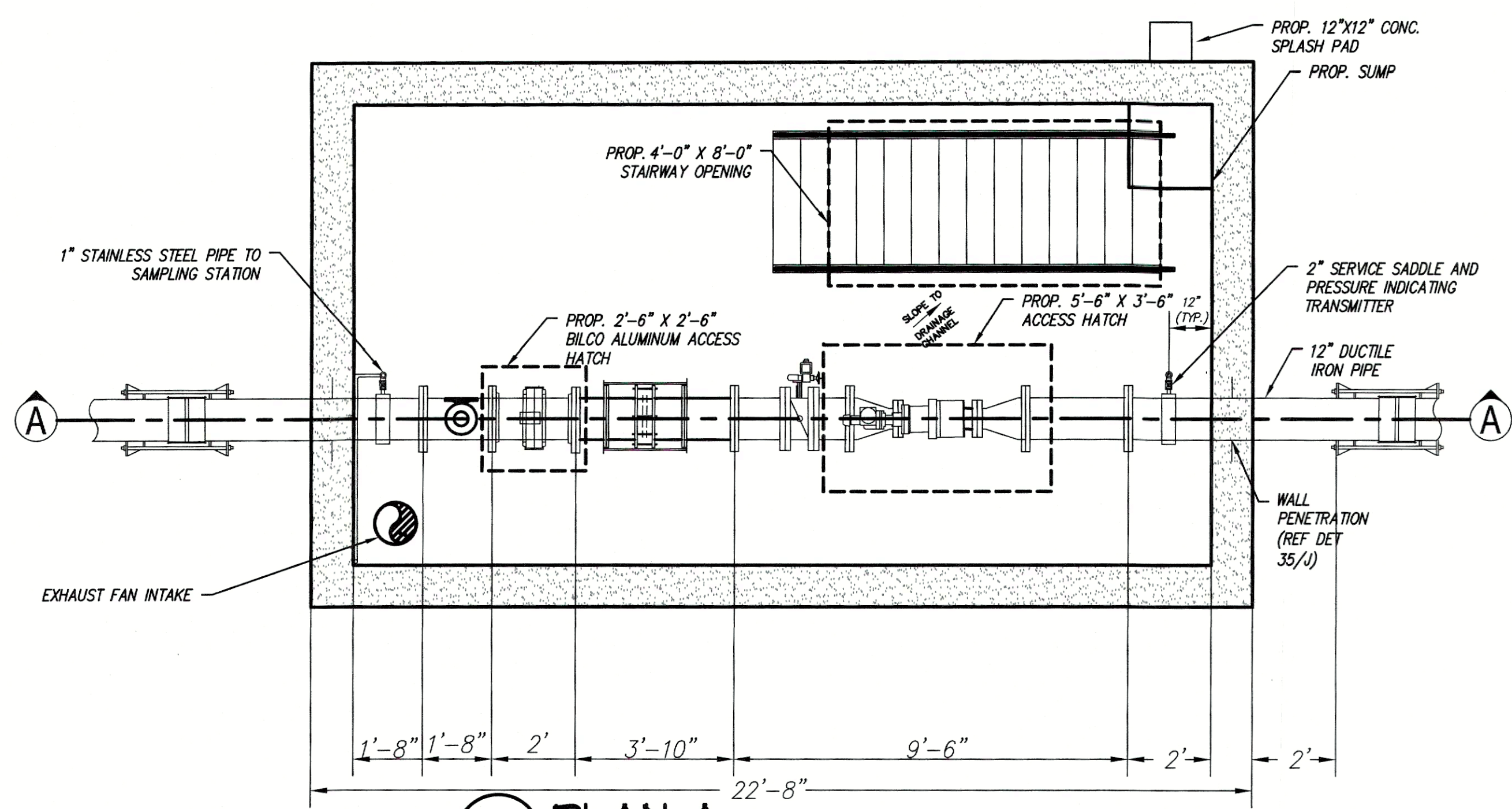


WYLIE TO ROCKWALL 20\"/>

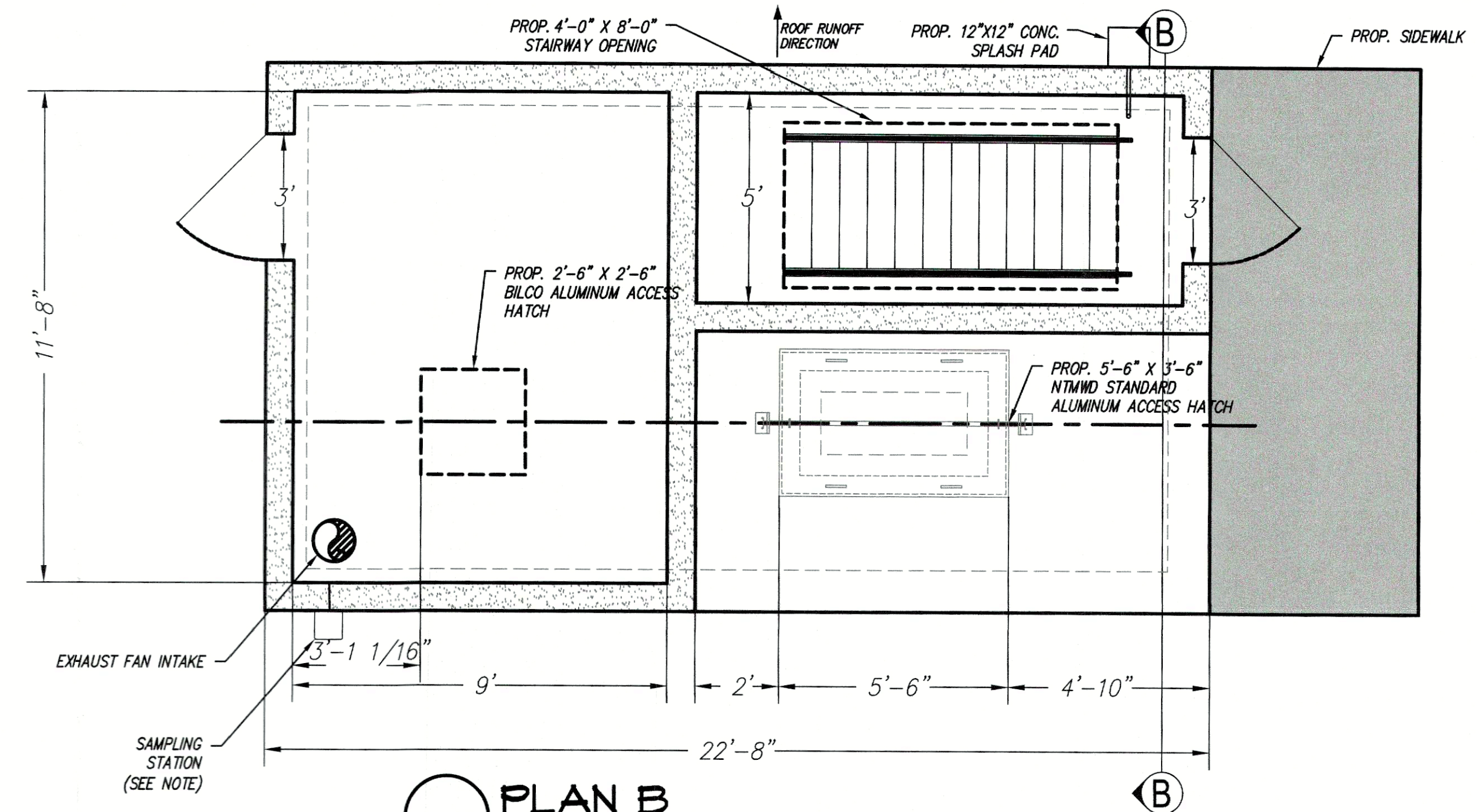
MT. ZION METER VAULT SITE PLAN

tnp project NTW22113 sheet

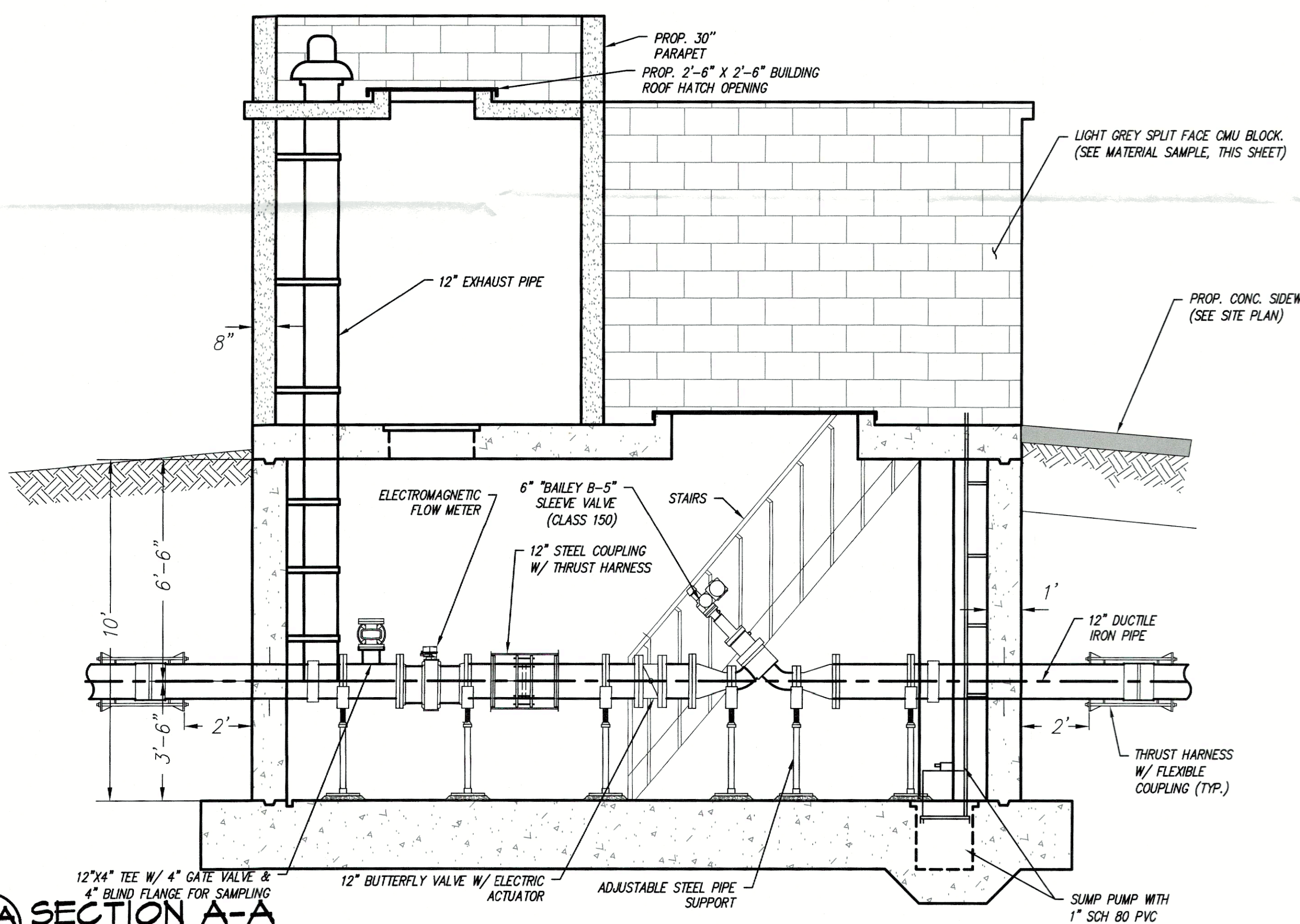
32



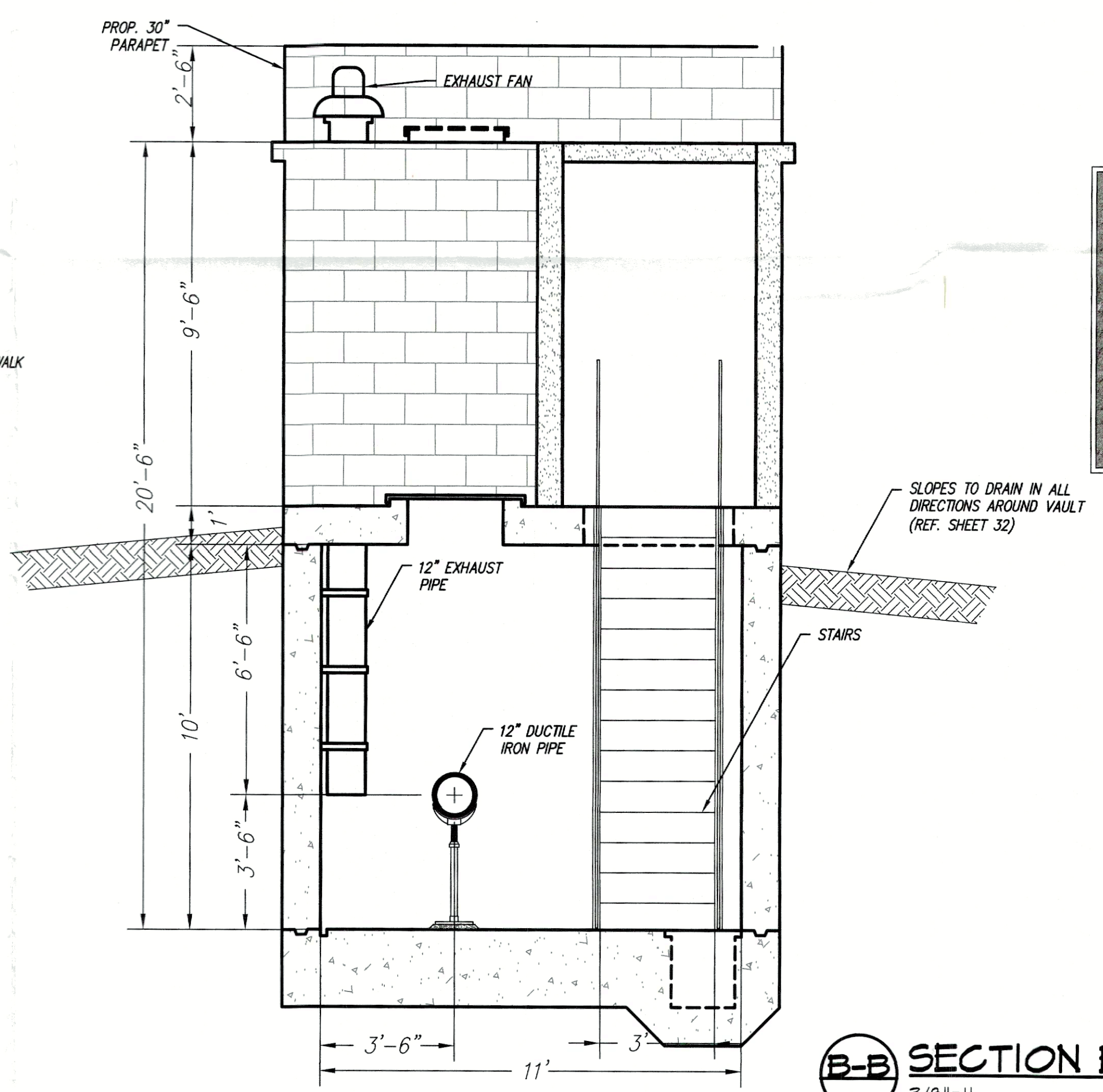
PLAN A
3/8"=1'



PLAN B
3/8"=1'

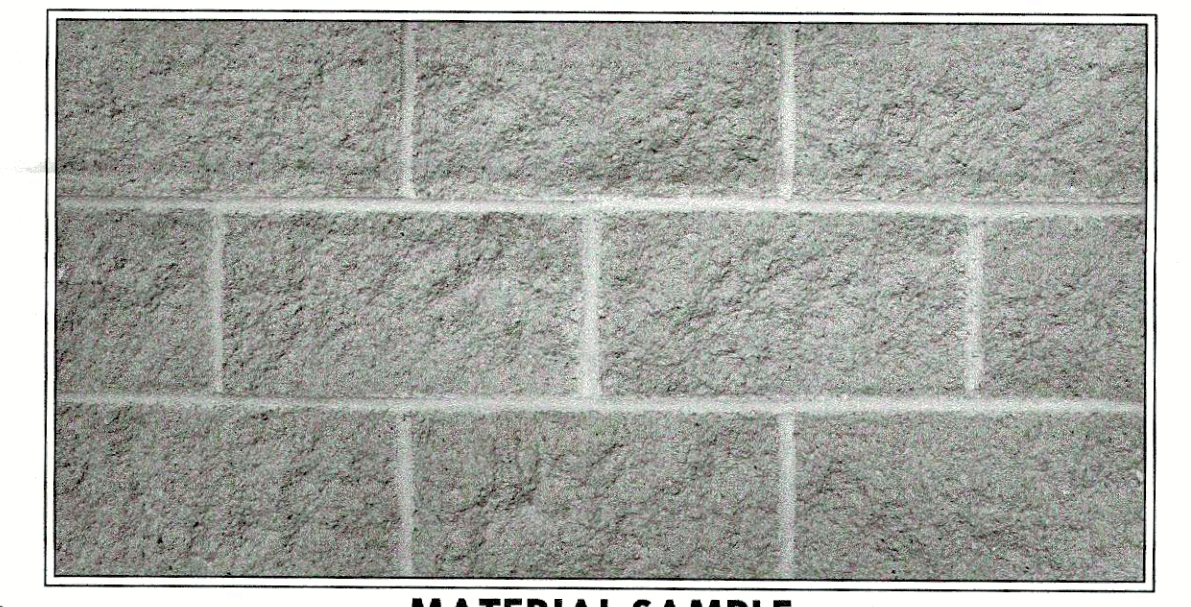


A-A SECTION A-A
3/8"=1'



B-B SECTION B-B
3/8"=1'

- NOTES:**
1. FINAL LOCATION OF SAMPLING STATION AND VAULT/WALL PENETRATION SHALL BE COORDINATED IN THE FIELD WITH THE DISTRICT INSPECTOR



MATERIAL SAMPLE

Drawing: T:\Projects\NTW22113\Eng-CED\CAD\SHEETS\Meter Vault Civil Drawings.dwg of Aug 05, 2024-2:44pm by williams
 Layout: METER VAULT PLANS & SECTIONS - A0E

no.	revision	by	date



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 825 Watters Creek Blvd., Suite M300
 Allen, Texas 75013
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 GBPE: PEF007431; TBAE: BR 2673

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 JUSTIN N. WALTON, P.E. Date: JULY 14, 2023
 Tx. Reg. # 97267

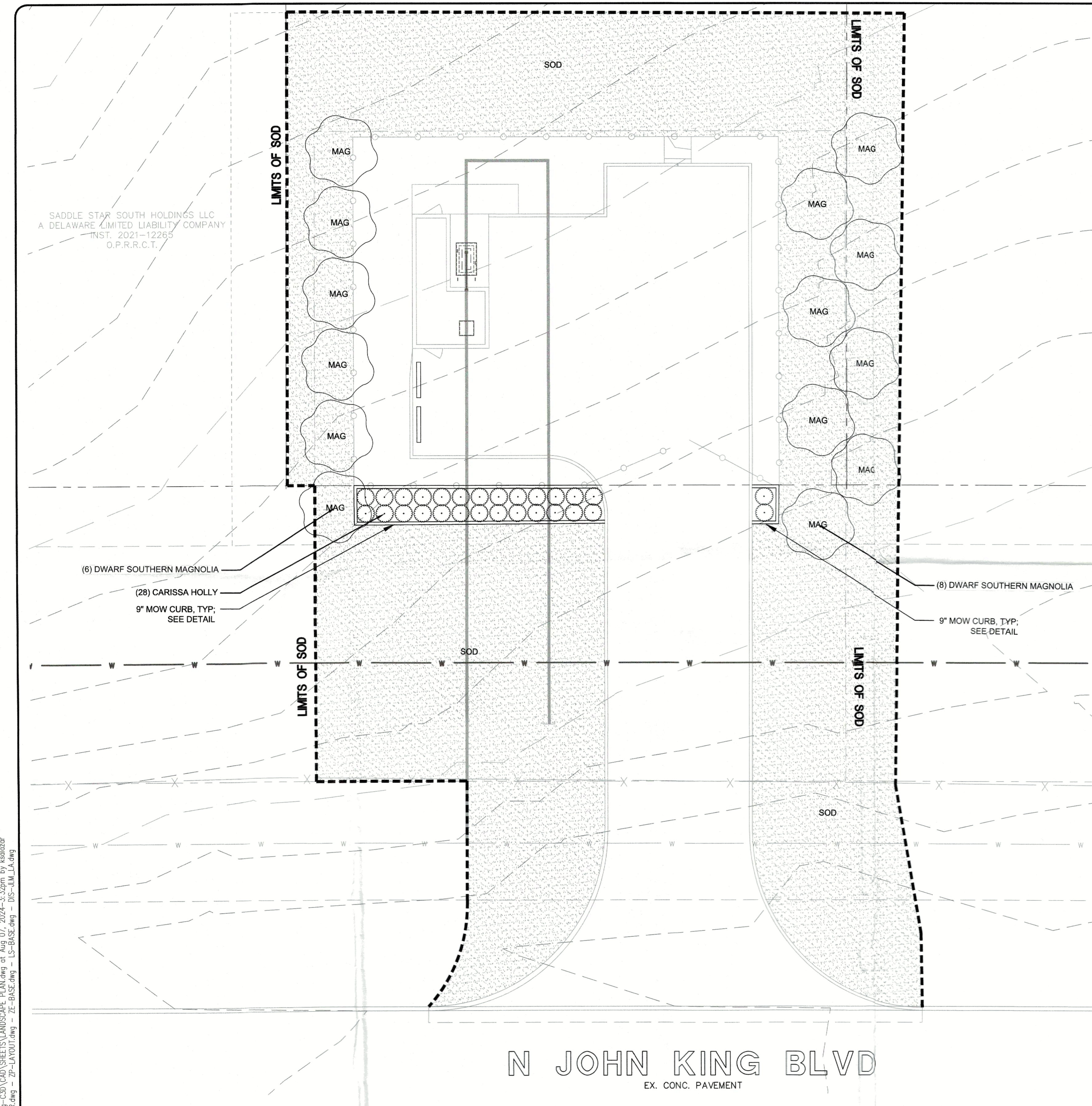
scale when bar is 1 inch long
 horiz 3/8"=1'
 vert N/A
 AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

METER VAULT PLANS & SECTIONS

tnp project NTW22113
 sheet
33

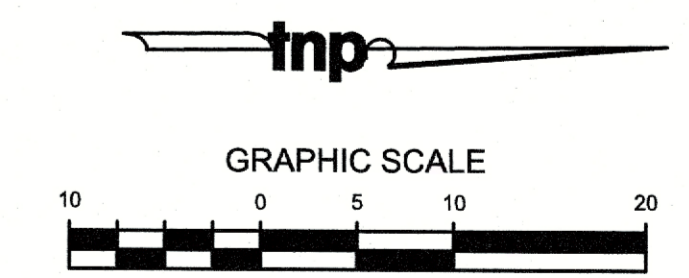


SADDLE STAR SOUTH HOLDINGS LLC
A DELAWARE LIMITED LIABILITY COMPANY
INST. 2021-12265
O.P.R.R.C.T.

PLANT KEY

SYMBOL	COMMON NAME
ORNAMENTAL TREES	
	DWARF SOUTHERN MAGNOLIA
SHRUBS	
	CARISSA HOLLY
SOD/SEED	
	TIF 419 BERMUDA SOD

ALL PROPOSED LANDSCAPE SHALL BE TEMPORARILY IRRIGATED UNTIL PLANT ESTABLISHMENT



Drawing: I:\Projects\NTW22113\Eng-CAD\Drawings\LANDSCAPE PLAN.dwg at Aug 07, 2024 - 3:32pm by isalazar
 Layout: 52
 Xrefs: REF-BORDER.dwg - ZP-LAYOUT.dwg - ZL-BASE.dwg - LS-BASE.dwg - US-MA.dwg

no.	revision	by	date



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 vert N/A
 AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

LANDSCAPE PLAN

tnp project
 NTW22113
 sheet
53

PLANTING NOTES

SECTION 1 - GENERAL

- These notes are intended as a field reference for the Contractor. The Contractor will thoroughly review these notes, specifications and the drawings prior to start of any work. The Contractor shall visit the site prior to submitting his bid and prior to start of work to become completely familiar with site conditions.
- It is the responsibility of the contractor to advise the Landscape Architect (hereinafter, LA) of any condition found on the site which prohibits installation as shown on these drawings.
- Prior to submitting a bid, the Contractor shall verify any discrepancies between the notes, specifications, or the drawings with the LA for clarification. If there is a discrepancy between the quantity of materials shown on the plans and the quantity of materials shown in the materials legends, the greater quantity will take precedence for bidding purposes. All quantities listed are for information only. It is the contractor's responsibility to provide full coverage of materials in all areas.
- Written dimensions prevail over scaled dimensions. Notify landscape architect of any discrepancies
- The Contractor bears all responsibility for obtaining all licenses and permits required by federal, state, and local agencies to accomplish the work of this project.
- Contractor shall complete soil test in all planting areas to determine soil amendment requirements and submit test results to LA for approval. Contractor shall adjust pH and fertility based upon these results. No addition to or placement of soil is to be done prior to initial soil test report approval. Testing shall be done by LA approved laboratory. No planting shall begin until results and proper adjustment have been made. It is the Contractor's responsibility to ensure proper drainage and fertility of all planting areas.
- Coordinate all work with the project's building contractor or owner.
- Warning! Call toll-free 811 before you dig! The contractor bears all responsibility for verifying all underground utilities, pipes, and structures in the field prior to construction. Any damage to utilities that are to remain shall be repaired immediately at no expense to the owner. The Contractor shall contact the building contractor and all utility authorities to mark location of site utilities. Install flags or stakes and maintain them in place throughout the project. Damage to utilities or other work shall be repaired at the expense of the contractor responsible for the damage. The locations of existing utilities as shown on these plans are approximate. There may be other underground utilities within the project area that are not shown. Landscape Architect and/or Engineer assumes no responsibility for any utilities not shown on plans.
- Due to existing vegetation and other site conditions, the Contractor should anticipate field adjustments by the LA and should understand such adjustments are not a change order.
- The Contractor shall give the LA 48 hours' notice of required inspections upon completion of each of the following phases:
 - Pre-Construction Conference after award of bid (on-site)
 - Construction debris/ weed clean-up (before any grading, fill, or irrigation)
 - Rough Grading (within 2" of finish grade), Utility Marking, and Tree Staking
 - Fine Grading and Tree Staking (before any tree pits are dug)
 - Tree Planting
 - Staking of Bedlines and/or Edging
 - Shrub Planting
 - Substantial Completion
 - Final Acceptance
- Contractor shall guarantee all plant material for one (1) full year from date of final acceptance. The cutting off of water or electricity by other trades or persons shall not void the warranty.
- It is the contractor's responsibility to insure the availability of water to the plants at all times until final acceptance. The contractor shall reject and replace all trees with tip-dieback of more than one (1) inch over the entire canopy of the tree and replace all shrubs or plants with any dieback. All rejected plant material shall be replaced with specified plant material within 14 calendar days at the contractor's expense.
- LA assumes no responsibility for damages, liabilities, or cost resulting from changes or alterations made to the plan without the express written consent of LA.
- All materials, locations, and workmanship are subject to approval or refusal by the LA. All materials, locations, and workmanship rejected by the LA shall be remedied at the Contractor's expense.

SECTION 2 - MATERIALS

- The Contractor shall check all material for specified requirements, shipping damage, pests, and diseases and shall reject all unsatisfactory materials. All plant material is to be carefully handled by the root ball, not the trunk, branches, and/or foliage of the plant. Mishandled material will be rejected. B&B material shall be "hardened off" after digging for at least 90 days and have at least 10" of rootball for every caliper inch. All material rejected by the LA shall be removed from the site and replaced with acceptable material at the Contractor's expense
- Plants shall be well formed, vigorous, growing specimens with growth typical of variety specified and shall be free from injury, insects, and diseases. All plant material is to be well rooted, not root bound, such that the root ball remains intact throughout the planting process. The Contractor shall reject all cracked root balls. All plant material shall conform to the specifications and sizes shown in the plant list and shall be nursery grown in accordance with the latest edition (ANSI Z60.1) of "American Standard for Nursery Stock." Any plant substitution shall be approved by landscape architect prior to purchase. Trees with co-dominant stems shall be rejected.
- Do not make substitutions. If specified material is not available, submit proof of non-availability to LA.
- All planting areas shall have organic topsoil that is natural, well-drained, friable, fertile, sandy-loam. Sandy-loam is to be pH 6.5-7.5. Heavy clays, limestone, poorly drained bottomland soil, silt, or alluvial soils are not allowed in any planting areas. Topsoil shall be free of harmful insects or nematodes, soil-borne diseases, toxins, select fill, inorganic subsoils, heavy metals, trash, petroleum by-products, rocks over 1/2" in diameter, rubble, roots, and weeds or weed seeds. Contractor shall submit a 2-cup sample in a gallon-size baggie to Landscape Architect before delivery of any soil to the site or placement of any soil in planting areas.
- Sod shall consist of live growing plants secured from sources which have dense, thickly matted root system throughout the soil of the sod for a minimum of one inch. Sod shall be free of weeds or other varieties of grasses.

20. Sod shall consist of live growing plants secured from sources which have dense, thickly matted root system throughout the soil of the sod for a minimum of one inch. Sod shall be free of weeds or other varieties of grasses.

21. Sod shall not be used where the roots are dried because of sun or wind. The landscape architect has the right to reject any or all of sod due to lack of care, improper cutting, or other agronomic problems.

SECTION 3 - EXECUTION

- The Contractor shall thoroughly remove from the construction site all limestone larger than 1/2" in diameter and all heavy clay to these depths: 6" minimum in turf and seed areas, and 18" minimum in planting beds. The LA shall verify that this is complete before the Contractor is authorized to proceed with fill of specified topsoil or grading. Scarify subsoil after removal of rock or heavy clay before adding topsoil so as to break up any surface tension.
- The Contractor shall thoroughly remove from the construction site all the following particles that are larger than 3/4" in diameter: inorganic select fill, heavy clay, limestone, and construction debris, mortar, concrete, paint, chemicals, weeds, plastic, paper, steel, mortar, masonry, construction debris, and other substances that are harmful to plant growth. Remove the above items to these depths: 6" minimum in turf and seed areas, and 18" minimum in planting beds. The LA shall verify that the above items are removed before the Contractor is authorized to proceed with fill with specified topsoil or grading. DO NOT PLACE ANY FILL ON CONSTRUCTION DEBRIS.
- Mow curbs shall be used at all planting bed edges when they are adjacent to lawn (see detail). Unless otherwise shown on plans, mow curbs shall intersect curbs, sidewalks, and buildings at 90 degrees (square). Mow curbs shall have expansion joints every 50' and at all abutments to other hardscape elements. Construction joints shall be saw cut at 10' on center. Mow curbs shall have curves that are smooth, flowing, and consistent in nature. Mow curbs with straight lines shall be straight. All formwork shall be within a 1/4" tolerance of drawings. No mow curb shall have a radius smaller than 72" unless specifically called out on drawings.
- Contractor shall fine grade all areas for approval by LA. Contractor shall be responsible for providing 2% positive drainage in all planting areas. No planting or mulching will take place until all construction, clean-up, fine grading, and irrigation is complete in the immediate area. Final finish grading shall be reviewed by the LA before any planting takes place. Contractor shall be responsible for any additional topsoil required to create a smooth condition prior to planting.
- All planting beds shall be amended as per plans details and specs. Submit trip tickets to L.A. for approval of quantity and type of materials.
- All sod and seed areas shall be amended as per plans and specifications.
- Scarify all rootballs (#1 and larger) to prevent plants from remaining pot-bound. This is to be done by hand or with a 3-prong cultivator but never with a shovel or machete.
- Place shrubs and groundcovers so that the top of the rootball is 1/4" to 3/4" above finish grade. Trees shall be set 1" above finish grade for each caliper inch of trunk. Example: A 3" tree shall be set 3" above finish grade.
- Water in and compact planting backfill to prevent formation of air pockets.
- Plants shall be set plumb, unless otherwise directed by LA.
- Back row of shrubs shall be planted 36" from face of building wall, groundcovers shall be 12" from building or as required by conditions. Front row of shrubs shall be planted a minimum of 24" behind (12" for ground cover) bed lines at lawns or walks and minimum 36" back from curbs, driveways, and parking areas.
- After planting, remove strapping, wire "ears" and string, cords, burlap, etc. from top of B&B rootballs.
- All planting beds and trees shall be mulched with 3" of mulch (2.5" after settlement).
- All trees are to be stabilized per detail and specs immediately after planting.
- All sod areas shall be thoroughly graded and smoothed with at least 8 passes in different directions using a drag-behind system such as a bunker rake or other device until very smooth and with 1/4" of specified grade (see civil sheets for grading plans).
- Prior to sod installation, a fertilizer shall be applied and tilled into the prepared soil. Application must be done no longer than 24 hours prior to installation of sod. Do not apply fertilizer when a possibility of rain might occur before sod is installed. Reference specifications for specific type of fertilizer to be used.
- Lay sod in parallel rows with tight joints. All sod must be placed perpendicular to slopes and staggered no less than 12" on each row. Slopes greater than 4:1 must be held in place with galvanized sod pins, wood pegs, or other method approved by LA. All sod shall be rolled with a 5-ton mechanical roller in at least two directions within 24 hours of laying. All sod areas shall be barricaded with wood stakes and ribbon for no less than 7 days.
- Plant material shall be pruned as necessary to control size but not to disrupt the natural growth pattern or characteristic form of the plant except as necessary to achieve height clearance for visibility and pedestrian passage or to achieve a continuous opaque hedge if required.
- All plant material shall be fully-maintained in a healthy and growing condition until final acceptance, and must be replaced with plant material of same variety and size if damaged, destroyed, or removed. This includes mowing, pruning, watering, and weeding.
- Landscape areas shall be kept free of trash, weeds, debris, and dead plant material until final acceptance. Any damage to landscape areas shall be repaired at no cost to owner.

PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
CANOPY TREES								
	CEDAR ELM	Ulmus crassifolia	3	4" Cal.	12'-14'	5'-6"	As shown	CONTAINER GROWN, FULL DENSE HEAD, SYMMETRICAL, SINGLE, STRAIGHT TRUNK
ORNAMENTAL TREES								
	TEXAS REDBUD	Cercis canadensis texensis	4	45 Gal.	10'-12'	5'-6"	As shown	CONTAINER GROWN, FULL DENSE HEAD, SYMMETRICAL, SINGLE, STRAIGHT TRUNK, GLOSSY LEAF VARIETY.
SHRUBS								
	CARISSA HOLLY	Ilex cornuta 'Carissa'	28	5 Gal.	18"-22"	20"-24"	32" O.C.	CONTAINER GROWN, MATURE ROOT SYSTEM BUT NOT ROOT BOUND, FULL BROAD TOP.
SOD/SEED								
	TIF 419 BERMUDA SOD	Cynodon dactylon 'TIF 419'	7,845 sf	Rollod sod	n/a	n/a	n/a	REF PLANTING NOTES AND SPECIFICATIONS

Drawing: I:\Projects\NTW22113\Eng-CAD\01\LANDSCAPE SCHEDULE AND NOTES.dwg at Aug 07, 2024 3:33pm by ksalazar
 Layout: LANDSCAPE SCHEDULE AND NOTES - XREF-BORDER.dwg - ZP-LAYOUT.dwg - ZP-BA&E.dwg - LS-BA&E.dwg - DIS-ALL.dwg

no.	revision	by	date



teague nall and perkins, inc
 825 Watters Creek Blvd., Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 www.tnpsc.com
 TBPFLS: ENGR F-230; SURV 10011600, 10011601, 1019438
 GBPE: PEF007431; TBAE: BR 2673

This document is for interim review and is not intended for construction, bidding or permit purposes.
 JOE L. MADRID, L.A. Date: AUG 2024
 Tx. Reg. # 3207

scale when bar is 1 inch long
 horiz N/A
 vert N/A
 AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

LANDSCAPE SCHEDULE AND NOTES

tnp project NTW22113 sheet **54**



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Angelica Guevara, *Planning Technician*
DATE: August 27, 2024
SUBJECT: SP2024-038; *Site Plan for a Municipally Controlled Utility Substation (NTMWD)*

The applicant, Eric Williams of Teague, Nall, & Perkins on behalf of Elisa Cardona of the North Texas Municipal Water District, is requesting the approval of a *Site Plan for a Municipally Controlled Utility Substation (NTMWD)*. The subject property is a 0.40-acre portion of a larger 44.557-acre tract of land located north of the intersection of John King Boulevard and FM-552, zoned Planned Development District 80 (PD-80) for Single-Family 10 (SF-10) District land uses. In accordance with the *Development Application Schedule* the applicant submitted an application, site plan, landscape plan, and building elevations..

The applicant's site plan indicates a six (6) foot wrought iron perimeter fence, a double swing gate, an access driveway off N. John King Boulevard, two (2) parking spaces, one (1) utility vault, and a 30-foot antenna tower. Based on the landscape plan provided by the applicant, they are providing all the required landscape screening required by Article 05, *District Development Standards*, of the Unified Development Code (UDC). According to the Planned Development District 80 (PD-80) Ordinance (*i.e. Ordinance No. 16-08*) all buildings shall be 90% masonry, being composed of full width brick, natural stone, or cast stone. In this case, the proposed building elevations indicate the utility vault building will be constructed using light grey, split face, concrete masonry units (*i.e. CMU's*). In accordance with PD-80, the applicant is requesting a variance to the building material requirements. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the August 27, 2024 Planning and Zoning Commission meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/23/2024

PROJECT NUMBER: SP2024-038
PROJECT NAME: Site Plan for Mt. Zion Meter Vault
SITE ADDRESS/LOCATIONS: 3275 N JOHN KING BLVD, ROCKWALL, TX 75032

CASE CAPTION: Discuss and consider a request by Eric Williams of Teague, Nall & Perkins on behalf of Elisa Cardona of the North Texas Municipal Water District for the approval of a Site Plan for a Municipally Controlled Utility Substation on a 0.40-acre portion of a larger 44.557-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 10 (SF-10) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located north of the intersection of John King Boulevard and FM-552, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	08/23/2024	Approved w/ Comments

08/23/2024: SP2024-038: Site Plan for a Municipally Controlled Utility Substation
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Municipally Controlled Utility Substation on a 0.40-acre portion of a larger 44.557-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 10 (SF-10) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located north of the intersection of John King Boulevard and FM-552.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (SP2024-038) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Provide a corrected signature block as shown below with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Specifically, the Photometric Plan and the Treescape Plan are missing this. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Site Plan

(1) The PD ordinance calls for a minimum masonry requirement of 90% on the exterior façades of all building. Masonry allowed shall be full width brick, natural stone, and cast stone only. In this case, the applicant is requesting to construct using CMU's. This will require a variance from the Planning and Zoning Commission. (PD-80; Ordinance No. 16-

08)

- (2) The site plan indicates a 30-foot antenna tower. Please provide elevations for this and for the screening required on any equipment associated with the tower. Please note that ice bridges are not permitted. (Subsection 03.03, Article 04, UDC)
- (3) The proposed swing metal gates and proposed fence shall be wrought iron. Please provide a detail of each. (PD-80; Ordinance No. 16-08)
- (4) Please provide a vicinity map as a reference for the subject property location. (Subsection 03.04 A, of Article 11, UDC)
- (5) Please indicate the dimensions of the parking spacing. The minimum is 9'x20'. (Engineering Standards of Design and Construction)
- (6) The applicant will be required to plat the plat prior to the issuance of a Building Permit.

M.6 Landscape Plan

- (1) The landscape plan indicates Dwarf Southern Magnolias will be used. Please switch these out to the approved canopy/shade trees such as "Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak." (PD-80; Ordinance No. 16-08)
- (2) Please indicate that all canopy trees will be a minimum of four (4) caliper inches in size and shrubs shall be five (5) gallon. (PD-80; Ordinance No. 16-08)

I.7 Please note that failure to address all comments provided by staff will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. It is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 27, 2024 Planning & Zoning Meeting.

I.9 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Meeting will be held on August 27, 2024.

I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires a representative(s) to be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

I.11 If the Planning and Zoning Commission approves this site plan case, the applicant will be responsible for submitting hard copies of the final site plan submittal package -- with all comments addressed -- for signatures from the Planning and Zoning Commission Chairman and Director of Planning and Zoning. Please note that this will be required to be completed prior to the acceptance of civil engineering plans.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/22/2024	Approved w/ Comments

08/22/2024: 1. Is this the detention area?

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees for any public improvements
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls (if needed) 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- All utilities must be underground.

- Additional comments may be provided at the time of Engineering site/civil plan review.

Drainage Items:

- Detention will be required if increasing impervious area.
- Existing flow patterns must be maintained.
- 4:1 maximum side slopes.
- No grate inlets allowed.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems and flow path.

Water and Wastewater Items:

- Commercial sanitary sewer service line (if needed) size is minimum 6" and must connect to an existing or proposed manhole. If sewer is needed, sewer impact fee will need to be paid.
- Any utility connection made underneath of an existing public roadway must be completed by dry bore. Opening cutting will not be allowed. Crossings of John King must be steel encased.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.

Roadway Paving Items:

- Must meet City driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Pavement Specs will be reviewed with Engineering plans.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2024	Approved w/ Comments

08/23/2024: * SEPARATE BUILDING PERMITS REQUIRED FOR THE STRUCTURES, FENCING AND IRRIGATION

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/19/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/20/2024	Approved w/ Comments

08/20/2024: Assigned address will be 3275 N JOHN KING BLVD, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/15/2024	Approved

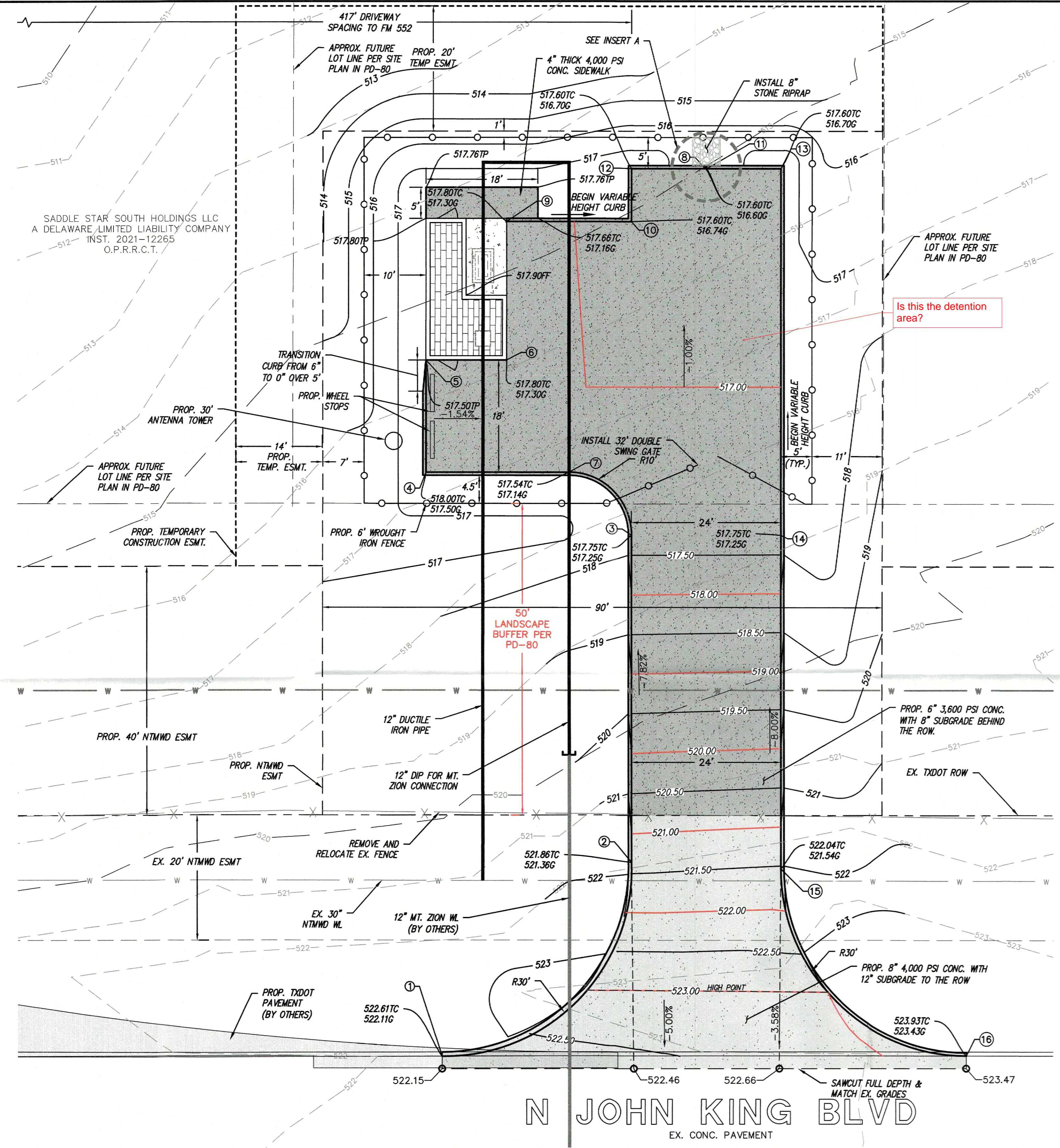
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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08/19/2024: 1. Tif Tuf, Tahoma 31 or Northbridge are much better varieties vs. Tifway 419 due to their drought, cold, wear and shade tolerances.
2. Teddy Bear or Little Gem Magnolia would be a better fit for this project.

1 and 2 or recommendation and not required.

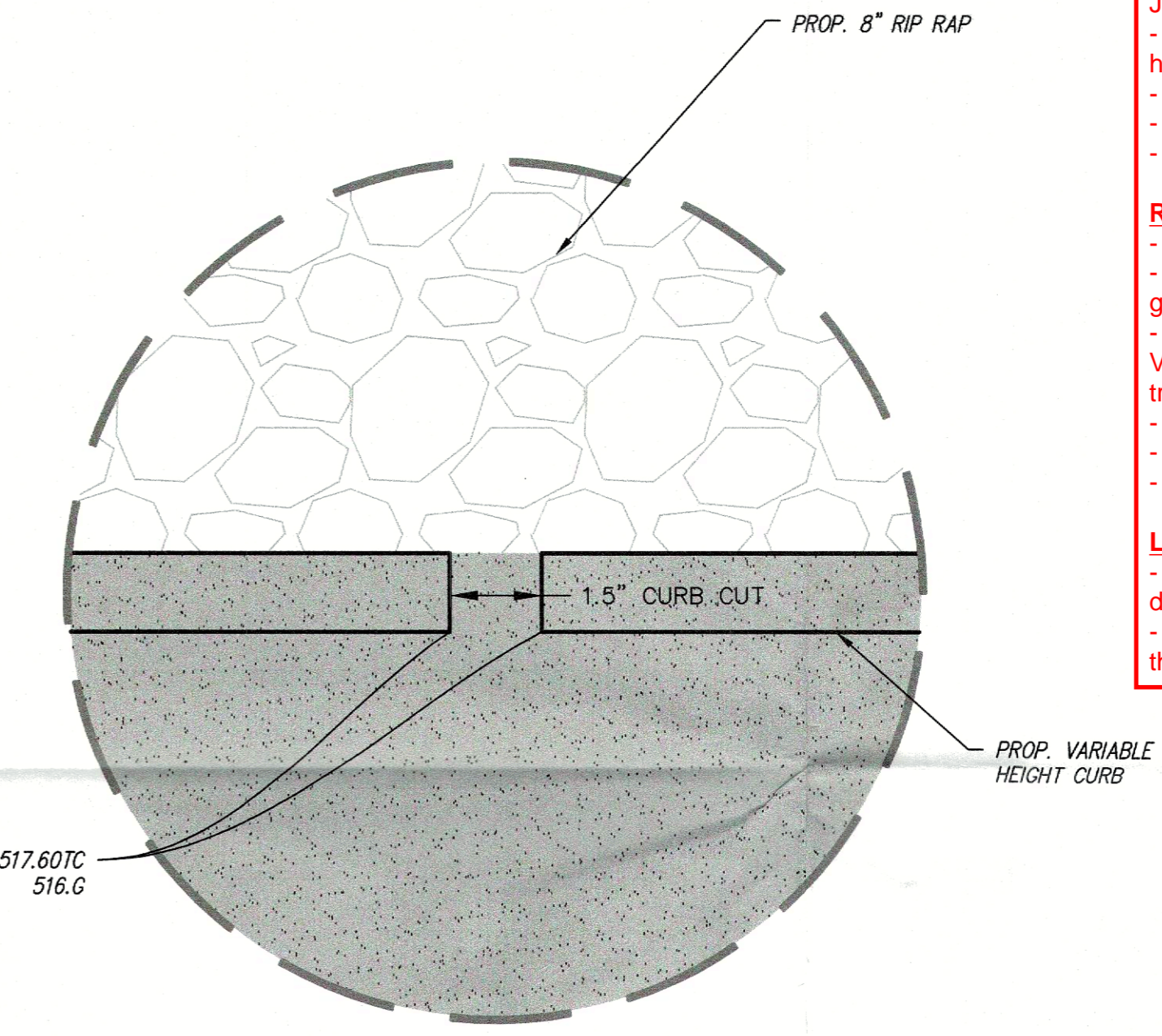
Drawing: T:\Projects\NTW22113\Eng-CSD\CAD\SHEETS\Site Plan.dwg at Aug 07, 2024 - 3:44pm by ewilliams
 Layout: MT. ZION METER VAULT SITE PLAN (2) Xrefs: XREF-BORDER.dwg - ZP-LAYOUT.dwg - ZP-BASE.dwg - DIS-UM.LA.dwg



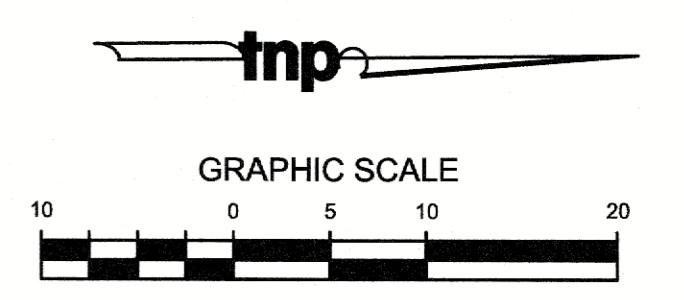
Point #	Northing	Eastng	DESCRIPTION
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12	7041885.73	2596575.45	PI
13	7041905.72	2596575.21	PI
14	7041910.29	2596633.88	PI
15	7041910.80	2596687.45	PC
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G= GUTTER ELEVATION
 TC= TOP OF CURB ELEVATION
 TP= TOP OF PAVEMENT ELEVATION
 FF= FINISHED FLOOR ELEVATION

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- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees for any public improvements
 - Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
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 - No grate inlets allowed.
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 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Min 20' utility easements.
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 - Drive isles to be 24' wide
 - Pavement Specs will be reviewed with Engineering plans.
- Landscaping:**
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 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



INSERT A
N.T.S.



no.	revision	by	date



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 JUSTIN N. WALTON, P.E. Date: 8/7/2024
 Tx. Reg. # 97267

scale when bar is 1 inch long
 1" = 10'
 vert N/A
 AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

MT. ZION METER VAULT SITE PLAN

Inp project NTW22113
 sheet 32



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION **450' NORTH OF THE INTERSECTION OF JOHN KING BLVD. & FM 552**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **SF-8.4**

CURRENT USE **AGRICULTURAL**

PROPOSED ZONING **SF-8.4**

PROPOSED USE **MUNICIPALLY CONTROLLED UTILITY**

ACREAGE **0.4**

LOTS [CURRENT] **N/A**

LOTS [PROPOSED] **N/A**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167, THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **NORTH TEXAS MUNICIPAL WATER DISTRICT**

APPLICANT **TEAGUE, NALL, & PERKINS**

CONTACT PERSON **ELISA CARDONA**

CONTACT PERSON **ERIC WILLIAMS**

ADDRESS **505 E. Brown Street**

ADDRESS **825 WATTERS CREEK BOULEVARD
SUITE M300**

CITY, STATE & ZIP **WYLIE, TX 75098**

CITY, STATE & ZIP **ALLEN, TX 75013**

PHONE **469-626-4736**

PHONE **214-396-9560**

E-MAIL **ECARDONA@NTMWD.COM**

E-MAIL **EWILLIAMS@TNPINC.COM**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mark A. Simon [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

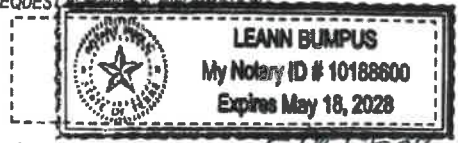
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE Eighth, 8th DAY OF August 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8th DAY OF August 2024

OWNER'S SIGNATURE

Mark A. Simon
Leann Bumpus

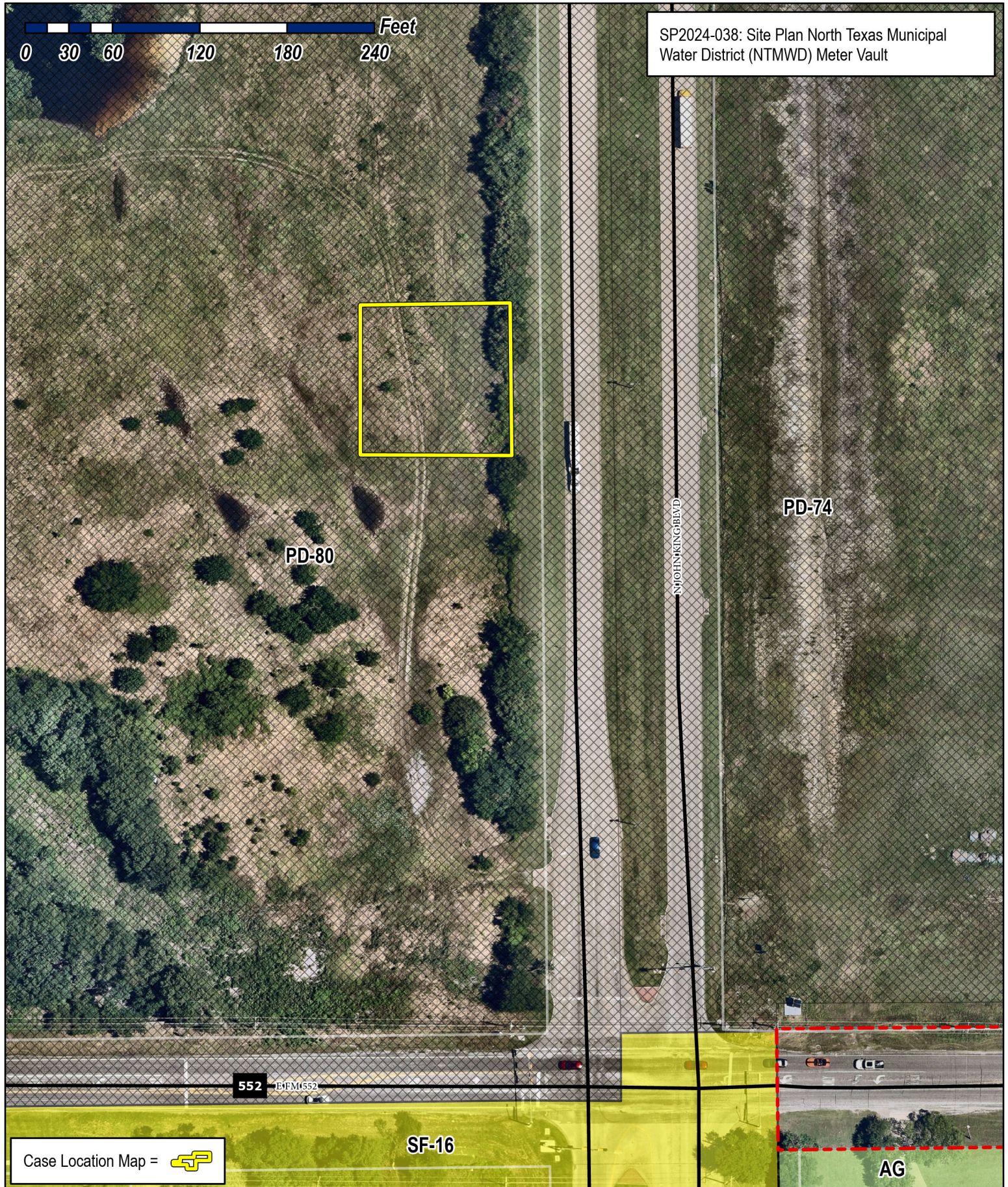
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES 5/18/2028



SP2024-038: Site Plan North Texas Municipal Water District (NTMWD) Meter Vault



Case Location Map = 

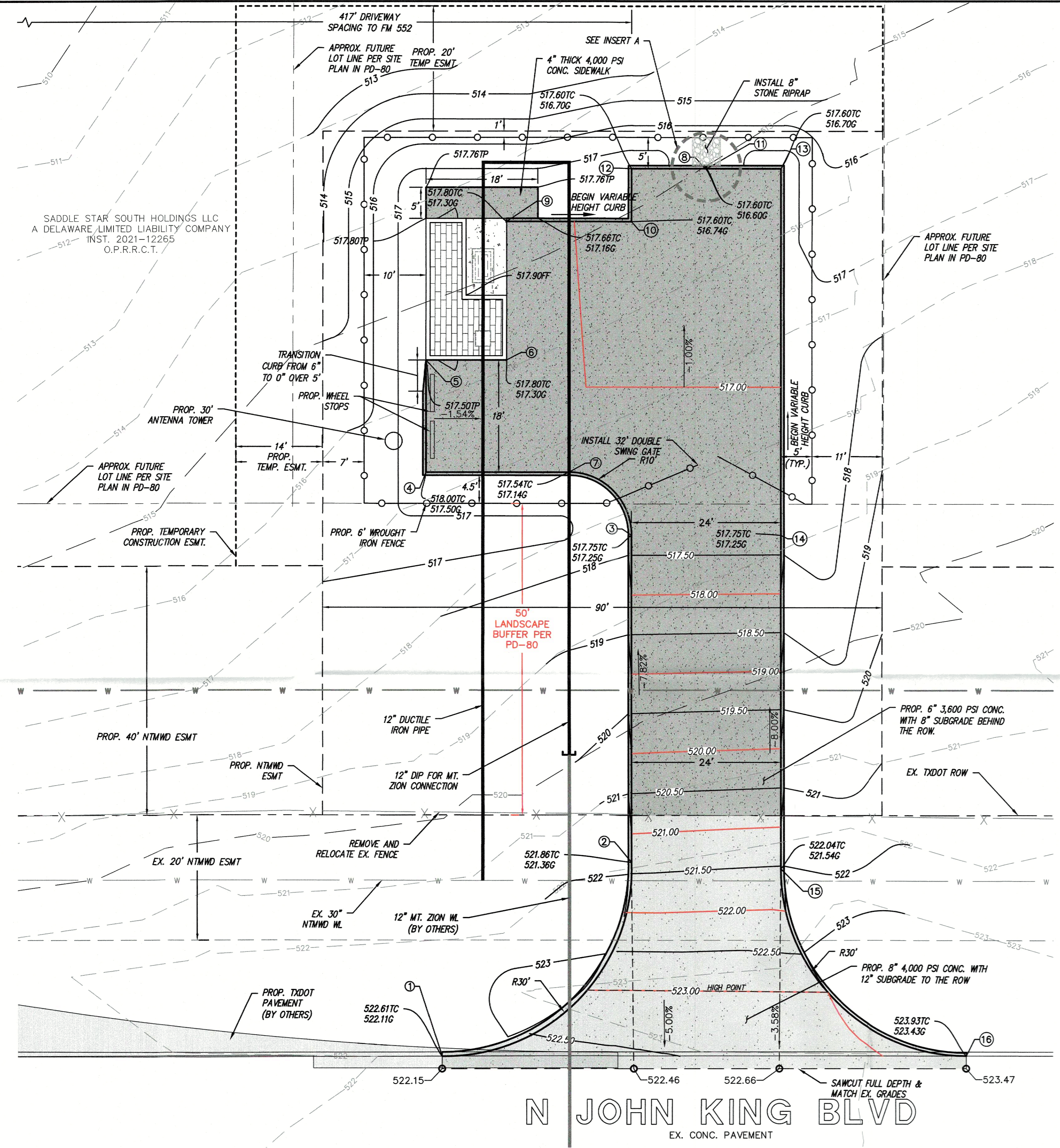


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Point #	Northing	Easting	DESCRIPTION
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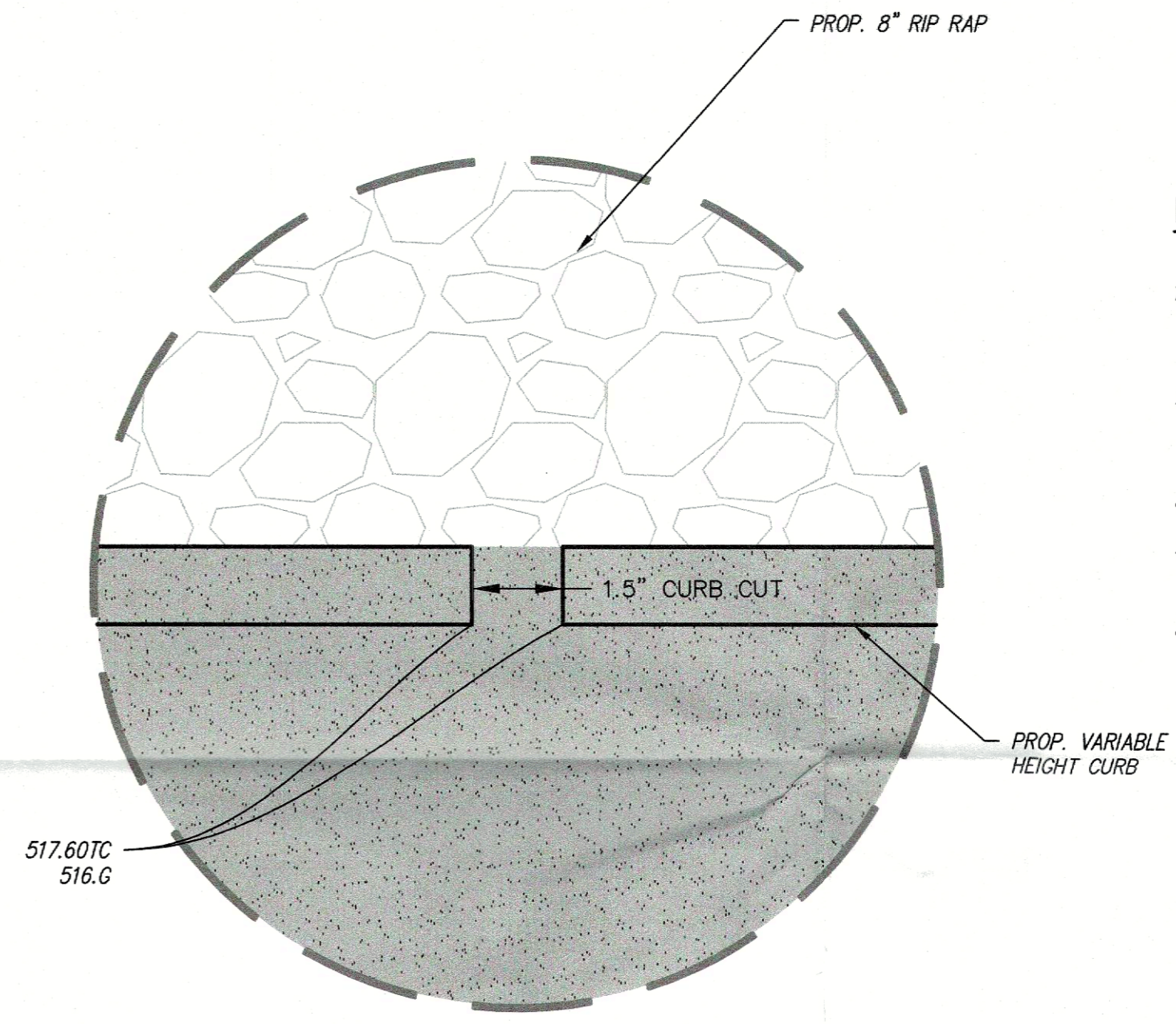
UTILITY NOTE:
 THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. TNP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES AND TEXAS 811 AT 800-344-8377 OR 811 AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

LEGEND

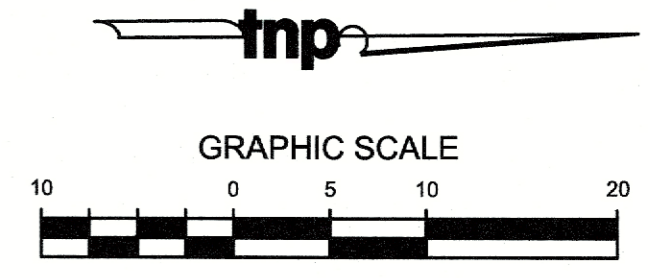
- PROP WATER LINE
- PROP TEMPORARY ESMT.
- PROP PERMANENT NTMWD ESMT.
- EX TXDOT ROW
- EX WATER LINE
- PROP. 6\"/>

8\"/>

- NOTES:**
- CONTRACTOR SHALL UNCOVER AND FIELD VERIFY HORIZONTAL AND VERTICAL DIMENSIONS AND EXISTING JOINT LOCATIONS FOR CONNECTION TIE-INS PRIOR TO MANUFACTURING OF NEW PIPE AND CONSTRUCTION.
 - CONTRACTOR SHALL PREPARE A WRITTEN DESCRIPTION OF THE TIE-IN PROCEDURES AND SUBMIT TO THE OWNER AT LEAST TWO WEEKS PRIOR TO SHUTDOWN.
 - REBAR SHALL BE #4 BARS @ 18\"/>

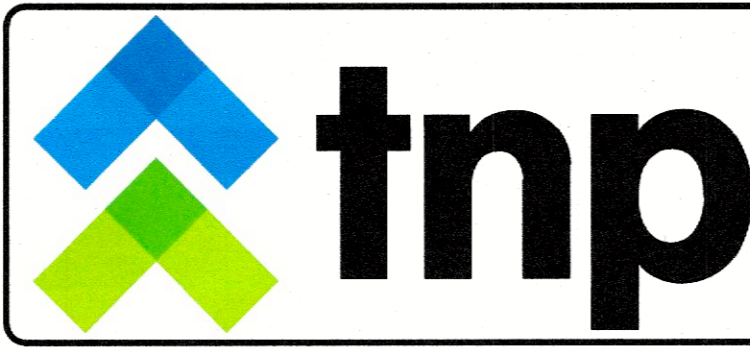


INSERT A
 N.T.S.



Drawing: T:\Projects\NTW22113\Eng-CSD\CAD\SHEETS\Site Plan.dwg at Aug 07, 2024--3:44pm by ewilliams
 Layout: MT. ZION METER VAULT SITE PLAN (2) Xrefs: XREF-BORDER.dwg - ZP-LAYOUT.dwg - ZP-BASE.dwg - DIS-ULM.LA.dwg

no.	revision	by	date



teague nall and perkins, inc
 825 Waters Creek Blvd., Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 www.tnppinc.com
 TRPELS: ENGR F-230; SURV 10011600, 10011601, 1019438
 GBPE: PEF007431; TBAE: BR 2673

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 JUSTIN N. WALTON, P.E. Date: 8/7/2024
 Tx. Reg. # 97267

scale when bar is 1 inch long
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 vert N/A
 AUG 2024

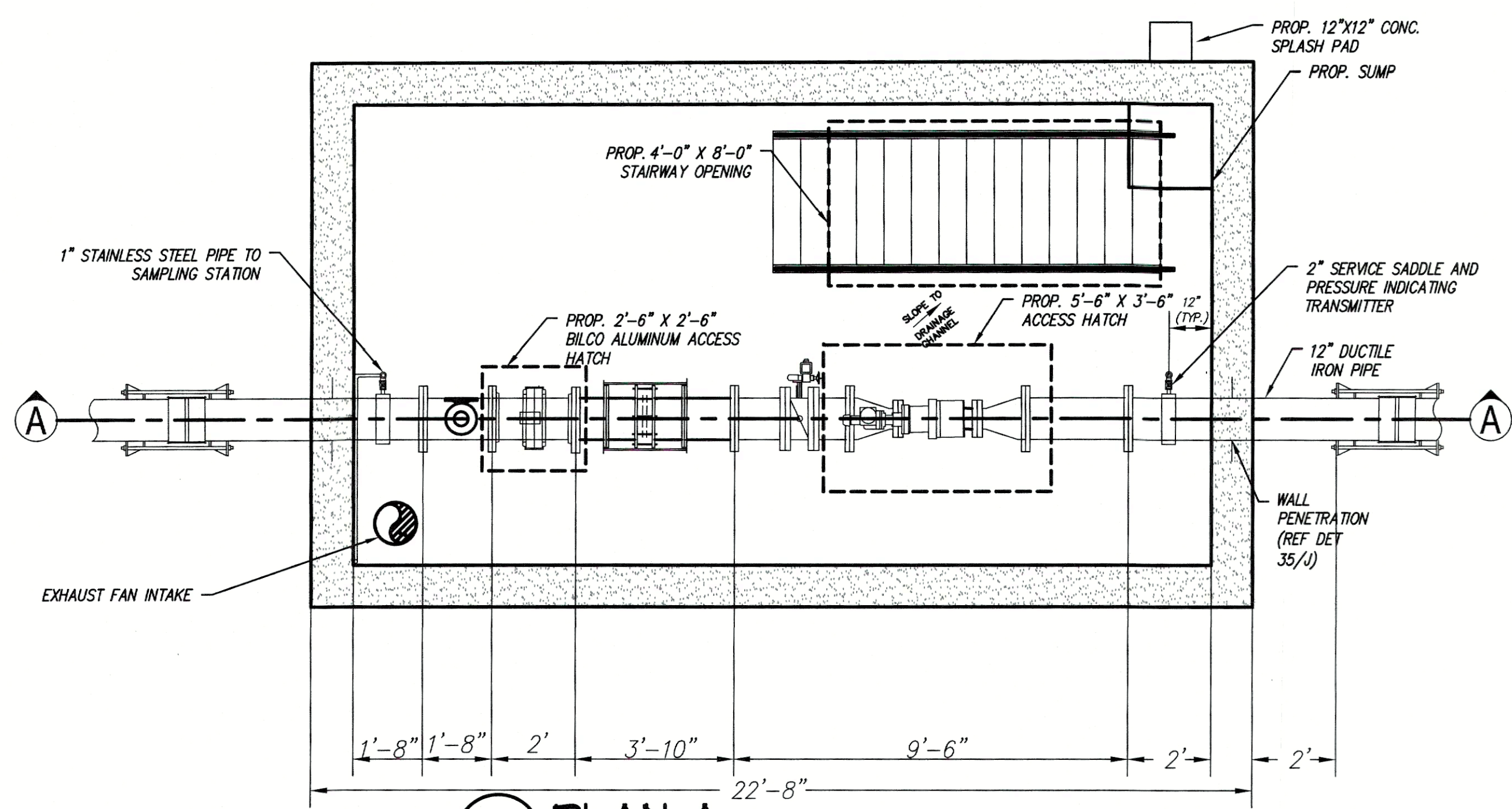


WYLIE TO ROCKWALL 20\"/>

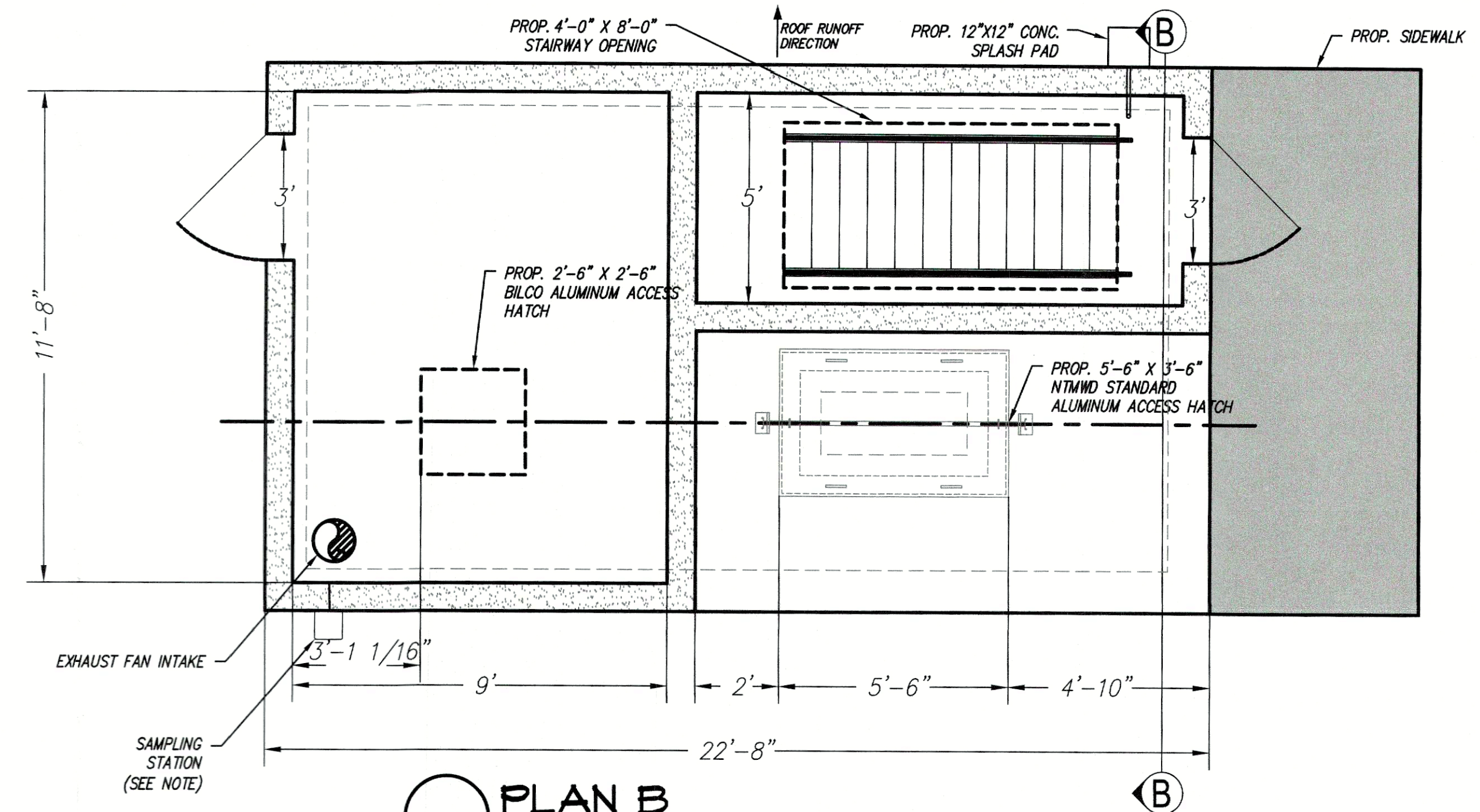
MT. ZION METER VAULT SITE PLAN

tnp project NTW22113 sheet

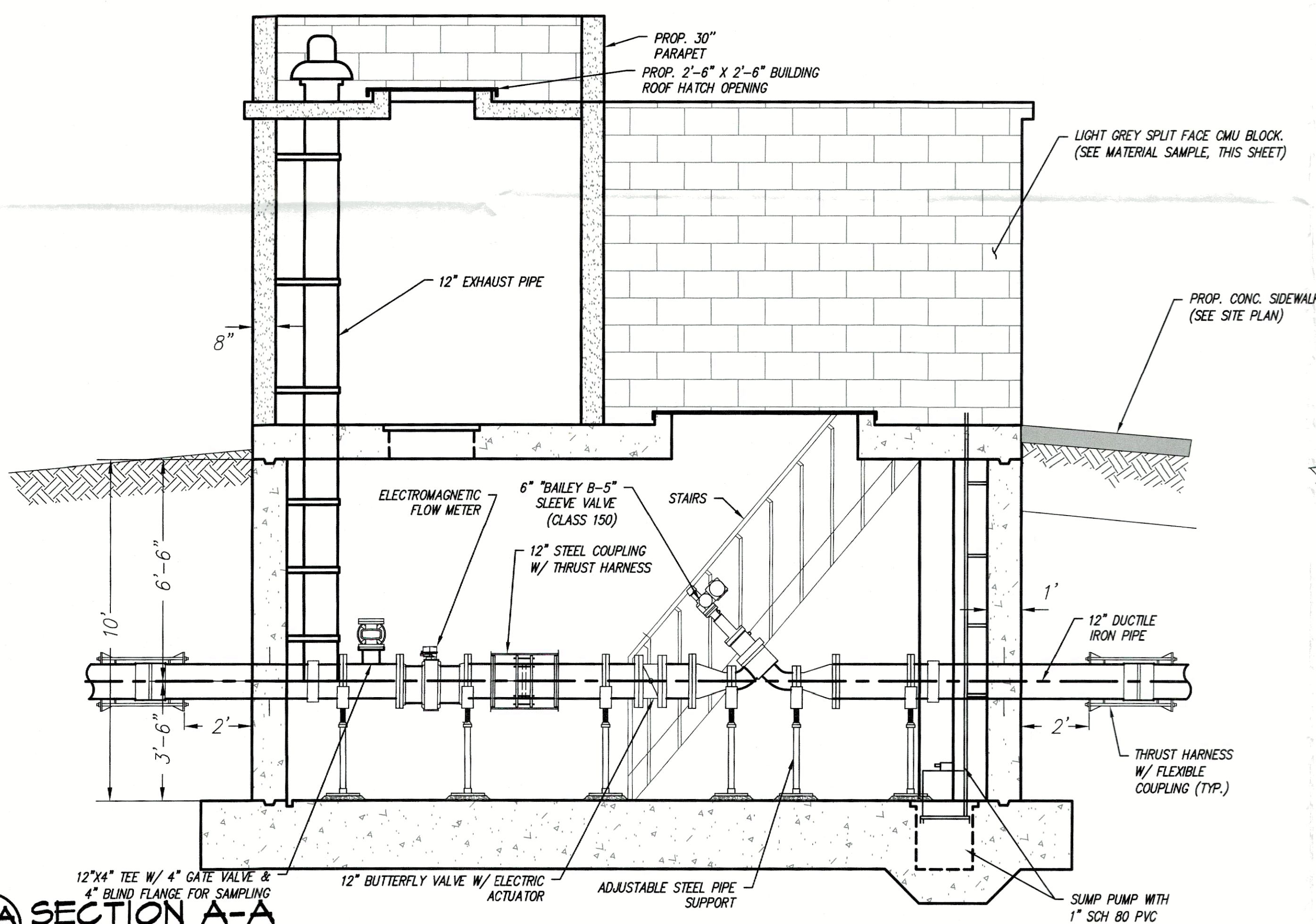
32



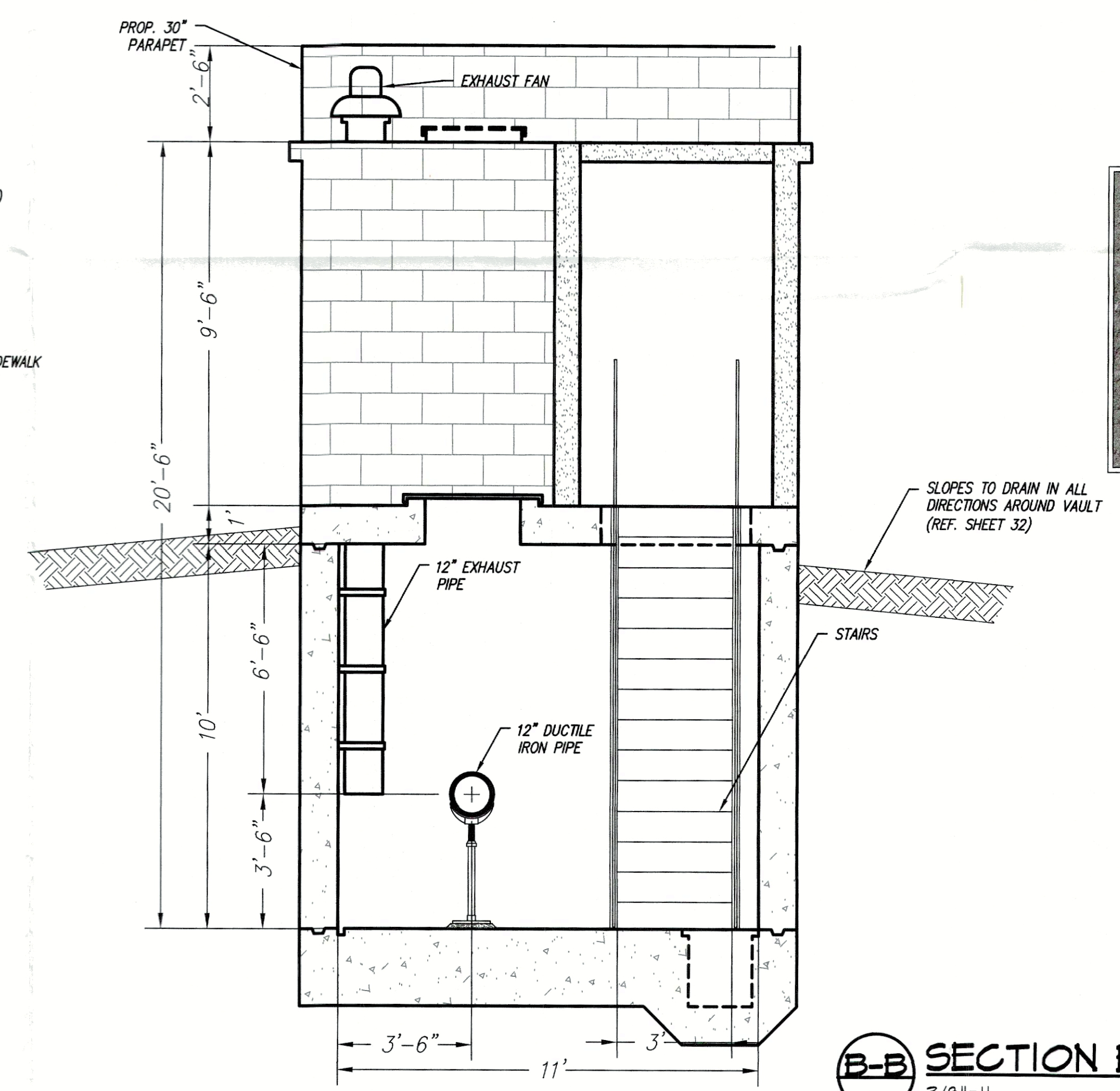
PLAN A
3/8"=1'



PLAN B
3/8"=1'

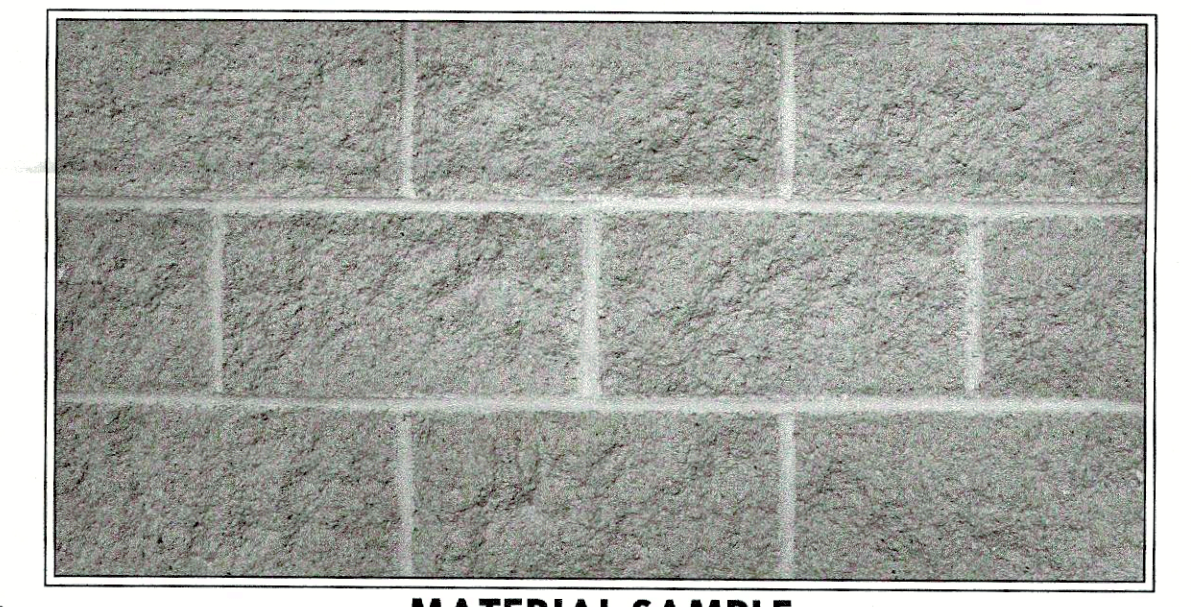


A-A SECTION A-A
3/8"=1'



B-B SECTION B-B
3/8"=1'

NOTES:
1. FINAL LOCATION OF SAMPLING STATION AND VAULT/WALL PENETRATION SHALL BE COORDINATED IN THE FIELD WITH THE DISTRICT INSPECTOR



MATERIAL SAMPLE

Drawing: T:\Projects\NTW22113\Eng-CED\CAD\SHEETS\Meter Vault Civil Drawings.dwg of Aug 05, 2024-2:44pm by williams
Layout: METER VAULT PLANS & SECTIONS - A&B

no.	revision	by	date



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825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
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TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381
GBPE: PEF007431; TBAE: BR 2673

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JUSTIN N. WALTON, P.E. Date: JULY 14, 2023
Tx. Reg. # 97267

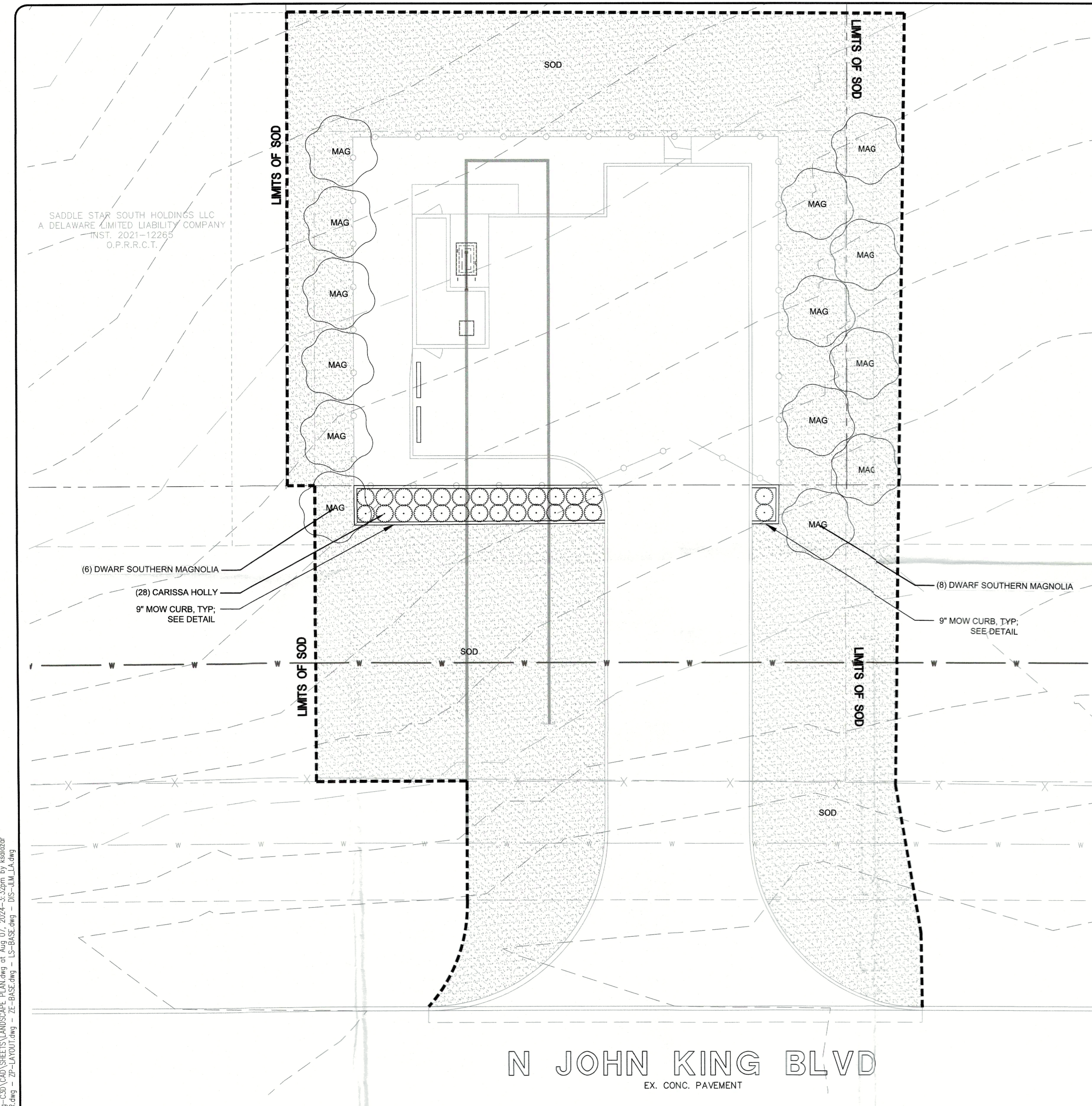
scale when bar is 1 inch long
horiz 3/8"=1'
vert N/A
AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

METER VAULT PLANS & SECTIONS

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sheet
33

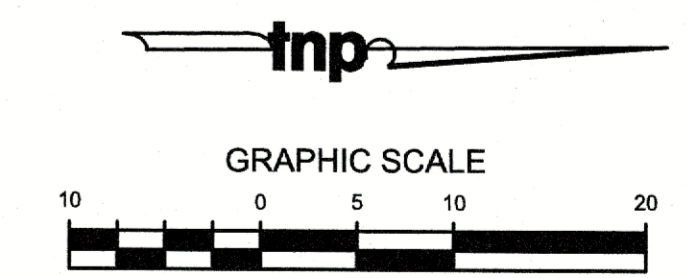


SADDLE STAR SOUTH HOLDINGS LLC
 A DELAWARE LIMITED LIABILITY COMPANY
 INST. 2021-12265
 O.P.R.R.C.T.

PLANT KEY

SYMBOL	COMMON NAME
ORNAMENTAL TREES	
	DWARF SOUTHERN MAGNOLIA
SHRUBS	
	CARISSA HOLLY
SOD/SEED	
	TIF 419 BERMUDA SOD

ALL PROPOSED LANDSCAPE SHALL
 BE TEMPORARILY IRRIGATED UNTIL
 PLANT ESTABLISHMENT



Drawing: I:\Projects\NTW22113\Eng-CAD\Drawings\LANDSCAPE PLAN.dwg at Aug 07, 2024 - 3:32pm by isalazar
 Layout: 52
 Xrefs: REF-BORDER.dwg - ZP-LAYOUT.dwg - ZL-BASE.dwg - LS-BASE.dwg - US-DM.dwg

no.	revision	by	date



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 JOE L. MADRID, L.A. Date: AUG 2024
 Tx. Reg. # 3207

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 horiz 1" = 10'
 vert N/A
 AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

LANDSCAPE PLAN

tnp project
 NTW22113
 sheet
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PLANTING NOTES

SECTION 1 - GENERAL

- These notes are intended as a field reference for the Contractor. The Contractor will thoroughly review these notes, specifications and the drawings prior to start of any work. The Contractor shall visit the site prior to submitting his bid and prior to start of work to become completely familiar with site conditions.
- It is the responsibility of the contractor to advise the Landscape Architect (hereinafter, LA) of any condition found on the site which prohibits installation as shown on these drawings.
- Prior to submitting a bid, the Contractor shall verify any discrepancies between the notes, specifications, or the drawings with the LA for clarification. If there is a discrepancy between the quantity of materials shown on the plans and the quantity of materials shown in the materials legends, the greater quantity will take precedence for bidding purposes. All quantities listed are for information only. It is the contractor's responsibility to provide full coverage of materials in all areas.
- Written dimensions prevail over scaled dimensions. Notify landscape architect of any discrepancies
- The Contractor bears all responsibility for obtaining all licenses and permits required by federal, state, and local agencies to accomplish the work of this project.
- Contractor shall complete soil test in all planting areas to determine soil amendment requirements and submit test results to LA for approval. Contractor shall adjust pH and fertility based upon these results. No addition to or placement of soil is to be done prior to initial soil test report approval. Testing shall be done by LA approved laboratory. No planting shall begin until results and proper adjustment have been made. It is the Contractor's responsibility to ensure proper drainage and fertility of all planting areas.
- Coordinate all work with the project's building contractor or owner.
- Warning! Call toll-free 811 before you dig! The contractor bears all responsibility for verifying all underground utilities, pipes, and structures in the field prior to construction. Any damage to utilities that are to remain shall be repaired immediately at no expense to the owner. The Contractor shall contact the building contractor and all utility authorities to mark location of site utilities. Install flags or stakes and maintain them in place throughout the project. Damage to utilities or other work shall be repaired at the expense of the contractor responsible for the damage. The locations of existing utilities as shown on these plans are approximate. There may be other underground utilities within the project area that are not shown. Landscape Architect and/or Engineer assumes no responsibility for any utilities not shown on plans.
- Due to existing vegetation and other site conditions, the Contractor should anticipate field adjustments by the LA and should understand such adjustments are not a change order.
- The Contractor shall give the LA 48 hours' notice of required inspections upon completion of each of the following phases:
 - Pre-Construction Conference after award of bid (on-site)
 - Construction debris/ weed clean-up (before any grading, fill, or irrigation)
 - Rough Grading (within 2" of finish grade), Utility Marking, and Tree Staking
 - Fine Grading and Tree Staking (before any tree pits are dug)
 - Tree Planting
 - Staking of Bedlines and/or Edging
 - Shrub Planting
 - Substantial Completion
 - Final Acceptance
- Contractor shall guarantee all plant material for one (1) full year from date of final acceptance. The cutting off of water or electricity by other trades or persons shall not void the warranty.
- It is the contractor's responsibility to insure the availability of water to the plants at all times until final acceptance. The contractor shall reject and replace all trees with tip-dieback of more than one (1) inch over the entire canopy of the tree and replace all shrubs or plants with any dieback. All rejected plant material shall be replaced with specified plant material within 14 calendar days at the contractor's expense.
- LA assumes no responsibility for damages, liabilities, or cost resulting from changes or alterations made to the plan without the express written consent of LA.
- All materials, locations, and workmanship are subject to approval or refusal by the LA. All materials, locations, and workmanship rejected by the LA shall be remedied at the Contractor's expense.

SECTION 2 - MATERIALS

- The Contractor shall check all material for specified requirements, shipping damage, pests, and diseases and shall reject all unsatisfactory materials. All plant material is to be carefully handled by the root ball, not the trunk, branches, and/or foliage of the plant. Mishandled material will be rejected. B&B material shall be "hardened off" after digging for at least 90 days and have at least 10" of rootball for every caliper inch. All material rejected by the LA shall be removed from the site and replaced with acceptable material at the Contractor's expense
- Plants shall be well formed, vigorous, growing specimens with growth typical of variety specified and shall be free from injury, insects, and diseases. All plant material is to be well rooted, not root bound, such that the root ball remains intact throughout the planting process. The Contractor shall reject all cracked root tails. All plant material shall conform to the specifications and sizes shown in the plant list and shall be nursery grown in accordance with the latest edition (ANSI Z60.1) of "American Standard for Nursery Stock." Any plant substitution shall be approved by landscape architect prior to purchase. Trees with co-dominant stems shall be rejected.
- Do not make substitutions. If specified material is not available, submit proof of non-availability to LA.
- All planting areas shall have organic topsoil that is natural, well-drained, friable, fertile, sandy-loam. Sandy-loam is to be pH 6.5-7.5. Heavy clays, limestone, poorly drained bottomland soil, silt, or alluvial soils are not allowed in any planting areas. Topsoil shall be free of harmful insects or nematodes, soil-borne diseases, toxins, select fill, inorganic subsoils, heavy metals, trash, petroleum by-products, rocks over 1/2" in diameter, rubble, roots, and weeds or weed seeds. Contractor shall submit a 2-cup sample in a gallon-size baggie to Landscape Architect before delivery of any soil to the site or placement of any soil in planting areas.
- Sod shall consist of live growing plants secured from sources which have dense, thickly matted root system throughout the soil of the sod for a minimum of one inch. Sod shall be free of weeds or other varieties of grasses.

20. Sod shall consist of live growing plants secured from sources which have dense, thickly matted root system throughout the soil of the sod for a minimum of one inch. Sod shall be free of weeds or other varieties of grasses.

21. Sod shall not be used where the roots are dried because of sun or wind. The landscape architect has the right to reject any or all of sod due to lack of care, improper cutting, or other agronomic problems.

SECTION 3 - EXECUTION

- The Contractor shall thoroughly remove from the construction site all limestone larger than 1/2" in diameter and all heavy clay to these depths: 6" minimum in turf and seed areas, and 18" minimum in planting beds. The LA shall verify that this is complete before the Contractor is authorized to proceed with fill of specified topsoil or grading. Scarify subsoil after removal of rock or heavy clay before adding topsoil so as to break up any surface tension.
- The Contractor shall thoroughly remove from the construction site all the following particles that are larger than 3/4" in diameter: inorganic select fill, heavy clay, limestone, and construction debris, mortar, concrete, paint, chemicals, weeds, plastic, paper, steel, mortar, masonry, construction debris, and other substances that are harmful to plant growth. Remove the above items to these depths: 6" minimum in turf and seed areas, and 18" minimum in planting beds. The LA shall verify that the above items are removed before the Contractor is authorized to proceed with fill with specified topsoil or grading. DO NOT PLACE ANY FILL ON CONSTRUCTION DEBRIS.
- Mow curbs shall be used at all planting bed edges when they are adjacent to lawn (see detail). Unless otherwise shown on plans, mow curbs shall intersect curbs, sidewalks, and buildings at 90 degrees (square). Mow curbs shall have expansion joints every 50' and at all abutments to other hardscape elements. Construction joints shall be saw cut at 10' on center. Mow curbs shall have curves that are smooth, flowing, and consistent in nature. Mow curbs with straight lines shall be straight. All formwork shall be within a 1/4" tolerance of drawings. No mow curb shall have a radius smaller than 72" unless specifically called out on drawings.
- Contractor shall fine grade all areas for approval by LA. Contractor shall be responsible for providing 2% positive drainage in all planting areas. No planting or mulching will take place until all construction, clean-up, fine grading, and irrigation is complete in the immediate area. Final finish grading shall be reviewed by the LA before any planting takes place. Contractor shall be responsible for any additional topsoil required to create a smooth condition prior to planting.
- All planting beds shall be amended as per plans details and specs. Submit trip tickets to L.A. for approval of quantity and type of materials.
- All sod and seed areas shall be amended as per plans and specifications.
- Scarify all rootballs (#1 and larger) to prevent plants from remaining pot-bound. This is to be done by hand or with a 3-prong cultivator but never with a shovel or machete.
- Place shrubs and groundcovers so that the top of the rootball is 1/4" to 3/4" above finish grade. Trees shall be set 1" above finish grade for each caliper inch of trunk. Example: A 3" tree shall be set 3" above finish grade.
- Water in and compact planting backfill to prevent formation of air pockets.
- Plants shall be set plumb, unless otherwise directed by LA.
- Back row of shrubs shall be planted 36" from face of building wall, groundcovers shall be 12" from building or as required by conditions. Front row of shrubs shall be planted a minimum of 24" behind (12" for ground cover) bed lines at lawns or walks and minimum 36" back from curbs, driveways, and parking areas.
- After planting, remove strapping, wire "ears" and string, cords, burlap, etc. from top of B&B rootballs.
- All planting beds and trees shall be mulched with 3" of mulch (2.5" after settlement).
- All trees are to be stabilized per detail and specs immediately after planting.
- All sod areas shall be thoroughly graded and smoothed with at least 8 passes in different directions using a drag-behind system such as a bunker rake or other device until very smooth and within 1/4" of specified grade (see civil sheets for grading plans).
- Prior to sod installation, a fertilizer shall be applied and tilled into the prepared soil. Application must be done no longer than 24 hours prior to installation of sod. Do not apply fertilizer when a possibility of rain might occur before sod is installed. Reference specifications for specific type of fertilizer to be used.
- Lay sod in parallel rows with tight joints. All sod must be placed perpendicular to slopes and staggered no less than 12" on each row. Slopes greater than 4:1 must be held in place with galvanized sod pins, wood pegs, or other method approved by LA. All sod shall be rolled with a 5-ton mechanical roller in at least two directions within 24 hours of laying. All sod areas shall be barricaded with wood stakes and ribbon for no less than 7 days.
- Plant material shall be pruned as necessary to control size but not to disrupt the natural growth pattern or characteristic form of the plant except as necessary to achieve height clearance for visibility and pedestrian passage or to achieve a continuous opaque hedge if required.
- All plant material shall be fully-maintained in a healthy and growing condition until final acceptance, and must be replaced with plant material of same variety and size if damaged, destroyed, or removed. This includes mowing, pruning, watering, and weeding.
- Landscape areas shall be kept free of trash, weeds, debris, and dead plant material until final acceptance. Any damage to landscape areas shall be repaired at no cost to owner.

PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
CANOPY TREES								
	CEDAR ELM	Ulmus crassifolia	3	4" Cal.	12'-14'	5'-6"	As shown	CONTAINER GROWN, FULL DENSE HEAD, SYMMETRICAL, SINGLE, STRAIGHT TRUNK
ORNAMENTAL TREES								
	TEXAS REDBUD	Cercis canadensis texensis	4	45 Gal.	10'-12'	5'-6"	As shown	CONTAINER GROWN, FULL DENSE HEAD, SYMMETRICAL, SINGLE, STRAIGHT TRUNK, GLOSSY LEAF VARIETY.
SHRUBS								
	CARISSA HOLLY	Ilex cornuta 'Carissa'	28	5 Gal.	18"-22"	20"-24"	32" O.C.	CONTAINER GROWN, MATURE ROOT SYSTEM BUT NOT ROOT BOUND. FULL BROAD TOP.
SOD/SEED								
	TIF 419 BERMUDA SOD	Cynodon dactylon 'TIF 419'	7,845 sf	Rolled sod	n/a	n/a	n/a	REF PLANTING NOTES AND SPECIFICATIONS

Drawing: I:\Projects\NTW22113\Eng-CAD\DWG\LANDSCAPE SCHEDULE AND NOTES.dwg at Aug 07, 2024 3:33pm by ksozior
Layout: LANDSCAPE SCHEDULE AND NOTES - XREF-BORDER.dwg - ZP-LAYOUT.dwg - ZP-BA&E.dwg - LS-BA&E.dwg - DIS-ALL.dwg

no.	revision	by	date



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 JOE L. MADRID, L.A. Date: AUG 2024
 Tx. Reg. # 3207

scale when bar is 1 inch long
 horiz N/A
 vert N/A
 AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

LANDSCAPE SCHEDULE AND NOTES

tnp project NTW22113 sheet **54**



August 29, 2024

TO: Eric Williams
Teague, Nall, & Perkins
825 Watters Creek, Suite M300
Allen, TX 75013

CC: Elisa Cardona
North Texas Municipal Water District
506 E. Brown Street
Wylie, TX 75098

FROM: Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2024-038; *Site Plan for a NTMWD Meter Vault*

Mr. Williams:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on August 27, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans;
- (2) The applicant will be required to plat the property prior to the issuance a Building Permit; and,
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On August 27, 2024, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 7-0.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6438.

Sincerely,

Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department