



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 5901 Horizon Road, Rockwall, Texas 75032

SUBDIVISION Rainbo Acres Addition LOT 22 BLOCK

GENERAL LOCATION East corner of Horizon Rd (FM 3097) and Country Club Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-96 Ordinance No. 22-32 CURRENT USE

PROPOSED ZONING PROPOSED USE

ACREAGE 13.54 LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Garages of America @ Rockwall LLC APPLICANT

CONTACT PERSON Fred Gans CONTACT PERSON

ADDRESS 2323 Tarpley Rd, Suite 100 ADDRESS

CITY, STATE & ZIP Carrollton, TX 75006 CITY, STATE & ZIP

PHONE 214-341-9620 PHONE

E-MAIL fgans@garagesofamerica.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

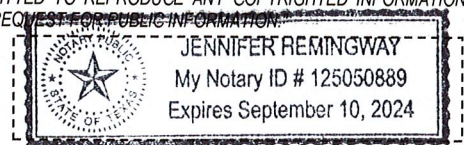
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Fred A. Gans [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF July, 2024

By Garages of America LLC OWNER'S SIGNATURE Fred A. Gans, Manager
Its Manager

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jennifer Remingway



MY COMMISSION EXPIRES 9/10/2024



CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

CASE NUMBER:
 OVERLAY DISTRICT:

REVIEWED BY:
 REVIEW DATE:

1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.A, of Art. 11
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	§03.04.A, of Art. 11
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") folded copies and one (1) PDF digital copy of each plan is required at the time of submittal.	§03.04.A, of Art. 11
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	§03.04.A, of Art. 11
Case Number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	§03.04.A, of Art. 11
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	§03.04.A, of Art. 11
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	§03.04.A, of Art. 11
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	§03.04.A, of Art. 11
Signature Block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	§03.04.A, of Art. 11
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	§03.04.A, of Art. 11
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	§03.04.A, of Art. 11
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	§03.04.B, of Art. 11

Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	§03.04.B, of Art. 11
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	§03.04.B, of Art. 11
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	§03.04.B, of Art. 11
Distance Between Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	§03.04.B, of Art. 11
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	§03.04.B, of Art. 11
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	§03.04.B, of Art. 11
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	§03.04.B, of Art. 11
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	§03.04.B, of Art. 11
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	§03.04.B, of Art. 11
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	§03.04.B, of Art. 11
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	§03.04.B, of Art. 11
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	§03.04.B, of Art. 11
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	§03.04.B, of Art. 11
Median Breaks in Adjacent Streets	<input type="checkbox"/>	<input checked="" type="checkbox"/>		§03.04.B, of Art. 11

2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	§05.03, of Art. 06
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	§05.01, of Art. 06
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§05.04, of Art. 06
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Reference Table 3 of Article VI.</i>	Table 5, Art. 06
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (<i>Check w/ the Engineering Department</i>).	§05.03.C, of Art. 06
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer (<i>Art. VI 6.5 Loading Requirements</i>).	§06.04, of Art. 06
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>	It is also the purpose of this Article to require allocation of sufficient off-street/on-site loading facilities by businesses and industry to ensure that the loading and unloading of vehicles will not interfere with traffic flow or block roadways or fire lanes.	§01.02, of Art. 06
Type and Depth of Paving Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	§03.02, of Art. 06

2.3 SITE PLAN: SIGNAGE

Requirements	✓= OK	N/A	Comments	UDC Reference
NOTE: All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				

Proposed or Existing Signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	§06.02.F, of Art. 05
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2.4 SITE PLAN: SCREENING

Requirements	√= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the height and type of fence proposed or existing.	§08.02.F, of Art. 08
Utility Equipment Screening (Pad or Ground Mounted)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	§01.05.C, of Art. 05
Utility Equipment Screening (Roof Mounted)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	§01.05.C, of Art. 05
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening – screening wall – and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan.	§01.05.D, of Art. 05
Dumpster Screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	§01.05.B, of Art. 05
Outside Storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	§01.05.A, of Art. 05
Residential Adjacency Standards	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	§01.06, of Art. 05

3.1 LANDSCAPE PLAN

Requirements	√= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	§01.01.B, of Art. 05
Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	§05.03.B, of Art. 08
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	§05.03.B, of Art. 08
Location of Water Courses and Significant Drainage Features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	§05.01, of Art. 08

Acceptable Landscape Materials:			Sec. 04., of Art. 08	
✓ Trees allowed in Street Landscape Buffers	✓	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix C
✓ Trees not allowed in Landscape Buffers	✓	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix C
Protected Trees (That Will Remain On-Site)	✓	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Prior to any construction or land development, the developer shall clearly mark all protected and feature trees with an aluminum tag -- indicating the trees relationship to the treescape plan -- and flag (i.e. bright fluorescent red vinyl tape). In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required.	§07.01, of Art. 09
Parking Lot Landscaping	✓	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square footage included in the parking area, and the number and location of required off-street parking and loading spaces.	§05.03.E, of Art. 08
Location of all Site Amenities	✓	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	-
Identify Visibility Triangles	✓	<input type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	§01.08, of Art. 05
Landscape Buffer - Street Trees	✓	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	§05.01, of Art. 08
Tree Locations	✓	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	§05.03.E, of Art. 08
Irrigation Requirements Note	✓	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	§05.04, of Art. 08
Hydro mulch (or non-sod option)	✓	<input type="checkbox"/>	The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City.	Sec. 4.2, Coverage, Engr Standards of Design and Construction
Rights-of-Way & Landscape Buffers	✓	<input type="checkbox"/>	All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).	§05.03.G, of Art. 08

4.1 TREESCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	✓	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	See Sec. 2.1 of this checklist
Buildings	✓	<input type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	§03.01.A, of Art. 09
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	✓	<input type="checkbox"/>		§03.01.C, of Art. 09

Protected Trees (To Remain On Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	§03.01.E, of Art. 09
Protected Trees (To be Removed from the Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	§03.01.F, of Art. 09
Treescape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	§03.01.G, of Art. 09

5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	See Sec. 2.1 of this checklist -
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	§03.03, of Art. 07
Adjacent Property with Common Lot Lines:				
✓ Residential Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	§03.03.B, of Art. 07
✓ Commercial Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	§03.03.C, of Art. 07
Under-Canopy Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	§03.03.E.1, of Art. 07
Lighting for Motor Vehicle Dealerships	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	§03.03.E.2, of Art. 07
Lighting in Parking Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Exceptions: (1) under canopy lighting and (2) motor vehicle dealerships)	§03.03.G, of Art. 07
Building and Pole Mounted Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	§03.03.E, of Art. 07
Indicate the Mounting Height for all Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	§03.03.D of Art. 07
Indicate the Wattage of all Light Sources	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line.	§03.03.A, of Art. 07
Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	§03.03, of Art. 07

6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Minimum 90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§06.02.C, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§06.02.C, of Art. 05
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	§04.01, of Art. 05
Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	§04.01, of Art. 05
Indicate the Roofing Materials and Color	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

Indicate Parapet Wall Height **(If Applicable, finish the interior side of the parapet wall)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck. **Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.	§04.01, of Art. 05
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	§01.05.C, of Art. 05
Indicate Any Additional Design Elements Proposed (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	§07.03 of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 25% x L 4. Wall Projection = 25% x H 5. Primary Entry/Arch. Element Width = 2 x (25% x L) 6. Projection Height = 25% x H 7. Primary Entry/Arch. Element Length = 2 x (25% x L)	§04.01.C.1, of Art. 05
Secondary Facades	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 15% x L 4. Secondary Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§04.01.C.2, of Art. 05

6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
NOTE: Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
Minimum 90% Masonry Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§05.01.A.1, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§05.01.A.1.a.1, of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 4 x H 3. Wall Projection = 25% x H 4. Entry/Arch. Element Length = 33% x L 5. Projection Height = 25% x H 6. Entry/Arch. Element Width = 2 x (25% x H)	§05.01.C.1, of Art. 05
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Entry/Arch. Element Length = 15% x L 4. Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§05.01.C.2, of Art. 05

MATCHLINE (SEE THIS SHEET)

MATCHLINE (SEE THIS SHEET)

AMENDED SITE PLAN

5901 HORIZON RD, ROCKWALL, TX 75032
13.55± ACRES
5879, 5917 & 5981 FM 3097, ROCKWALL, TX 75035
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. SP24XXXX

OWNER/APPLICANT: GARAGES OF AMERICA @ ROCKWALL, LLC
2323 TARPLEY RD, STE 100
CARROLLTON, TX 75006
PHONE: 988-379-3570
CONTACT: FRED GANS

ENGINEER: BOHLER ENGINEERING TX, LLC
2600 NETWORK BLVD, SUITE 310
FRISCO, TX 75034
PHONE: 469-458-7300
CONTACT: MATHIAS HAUBERT

SURVEYOR: HUDSON SITE CONTROL, LLC
2384 HIGHWAY 287 N STE 224
MANSFIELD, TX 76063
PHONE: 817-225-6700
CONTACT: RICHARD CUMMOCK

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED SIDEWALKS, LANDINGS, AND BARRIER-FREE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
3. HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
4. THE REQUIRED SIDEWALK ALONG FM 3097 SHALL BE IN ACCORDANCE WITH TxDOT STANDARDS.
5. NO 100-YEAR FLOODPLAIN EXISTS ON THE PROPERTY.
6. PROPOSED BUILDINGS THAT ARE CLOSER THAN 15' SHALL INCORPORATE A FIRE RATED WALL.
7. ALL CURB RADII WILL BE 3' UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR BUILDING BOLLARD LOCATION AND DESIGN.
9. CONTRACTOR SHALL PAINT CURB LESS THAN 6" IN FLUORESCENT RED COLOR.

FLOOD NOTE:

ACCORDING TO THE FLOOD INSURANCE RATE MAPS (FIRM) COMMUNITY PANEL NUMBER 48397000AL, EFFECTIVE SEPTEMBER 26, 2008, AND COMMUNITY PANEL NUMBER 483970105L, EFFECTIVE SEPTEMBER 26, 2008, THE SUBJECT PROPERTIES LIE IN AN UNSHADED "ZONE X" AREA, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



LOCATION MAP

SCALE: N.T.S.

SITE DATA SUMMARY TABLE

LEGAL	
GROSS ACREAGE	13.55 ACRES 590,200 SF
CURRENT ZONING	PD - PLANNED DEVELOPMENT DISTRICT
CURRENT BASE ZONING DISTRICT	C - COMMERCIAL DISTRICT
CURRENT LAND USE	MINI-WAREHOUSE & FLEX OFFICE
UNITS/ BUILDING AREA	
MINI-WAREHOUSE	58 UNITS/ 106,715 SF
MINI-WAREHOUSE WITH OFFICE	42 UNITS/ 62,533 SF 54,811 SF MINI WAREHOUSE 7,722 SF OFFICE
FLEX OFFICE	11 UNITS/ 48,281 SF
PARKING	
PHASE 1 REQUIRED PARKING (FLEX OFFICE)	(1 SPACE/300 SF) @ 48,281 SF = 161 SPACES
PHASE 1 PROVIDED PARKING (FLEX OFFICE)	118 SPACES
PHASE 2 REQUIRED PARKING (MINI-WAREHOUSE WITH OFFICE)	(1 SPACE/300 SF OFFICE) @ 7,722 SF = 26 SPACES (3 SPACES + 1 SPACE/100 UNITS MINI WAREHOUSE) @ 42 UNITS = 4 SPACES
PHASE 2 PROVIDED PARKING (MINI-WAREHOUSE WITH OFFICE)	126 SPACES
PHASE 1 REQUIRED PARKING (MINI-WAREHOUSE)	(3 SPACES + 1 SPACE/100 UNITS) @ 58 UNITS = 4 SPACES (1 SPACE/300 SF OF CLUBHOUSE) @ 1592 SF = 6 SPACES
PHASE 1 PROVIDED PARKING (MINI-WAREHOUSE)	74 SPACES
PHASE 1 REQUIRED PARKING (FLEX OFFICE/ MINI WAREHOUSE)	171 SPACES
PHASE 1 PROVIDED PARKING (FLEX OFFICE+ MINI WAREHOUSE)	192 SPACES
TOTAL REQUIRED PARKING (FLEX OFFICE + MINI WAREHOUSE + MINI WAREHOUSE W/ OFFICE)	201 SPACES
TOTAL PROVIDED PARKING (FLEX OFFICE + MINI WAREHOUSE + MINI WAREHOUSE W/ OFFICE)	318 SPACES
PHASE 1 TOTAL REQUIRED ADA PARKING	6 SPACES (1 VAN, 5 STANDARD)
PHASE 1 TOTAL PROVIDED ADA PARKING	9 SPACES (3 VAN, 6 STANDARD)
TOTAL REQUIRED ADA PARKING	7 SPACES (1 VAN, 6 STANDARD)
TOTAL PROVIDED ADA PARKING	16 SPACES (9 VAN, 7 STANDARD)
SETBACKS	
FRONT YARD SETBACK	15' REQUIRED / 40' PROVIDED
REAR YARD SETBACK	10' REQUIRED / 30' PROVIDED
REAR YARD SETBACK (ADJACENT TO RESIDENTIAL)	20' REQUIRED / 30' PROVIDED
SIDE YARD SETBACK	10' REQUIRED / 14' PROVIDED
SIDE YARD SETBACK (ADJACENT TO RESIDENTIAL)	20' REQUIRED / N/A PROVIDED
BUILDINGS	
MINIMUM DISTANCE BETWEEN BUILDINGS	10' REQUIRED / 10' PROVIDED
MAXIMUM BUILDING COVERAGE	60% REQUIRED / 28% PROVIDED
MAXIMUM FLOOR-AREA-RATIO (FAR)	4.1 REQUIRED / 4.1 PROVIDED
MAXIMUM HEIGHT	36' REQUIRED / 26' PROVIDED
LANDSCAPING	
LANDSCAPE BUFFER (ABUTTING PUBLIC R.O.W.)	PER PD
LANDSCAPE BUFFER (ABUTTING RESIDENTIAL)	PER PD
MAXIMUM IMPERVIOUS PARKING (%)	REQUIRED 85%-90% / PROVIDED 65%
MINIMUM REQUIRED LANDSCAPING/OPEN SPACE AREAS	REQUIRED 20% / PROVIDED 35%

LEGEND

(Symbol)	PROPERTY BOUNDARY
(Symbol)	ADJACENT PROPERTY BOUNDARY
(Symbol)	EXST. EASEMENTS
(Symbol)	PROP. BUILDING SETBACK
(Symbol)	PROP. LANDSCAPE BUFFER
(Symbol)	PROP. CONCRETE CURB
(Symbol)	PROP. WATER EASEMENT
(Symbol)	PROP. DEPRESSED CURB
(Symbol)	PROP. PHASE LINE

HATCH LEGEND

(Hatch)	FIRE, ACCESS & UTILITY EASEMENT
(Hatch)	BUILDING
(Hatch)	SIDEWALK

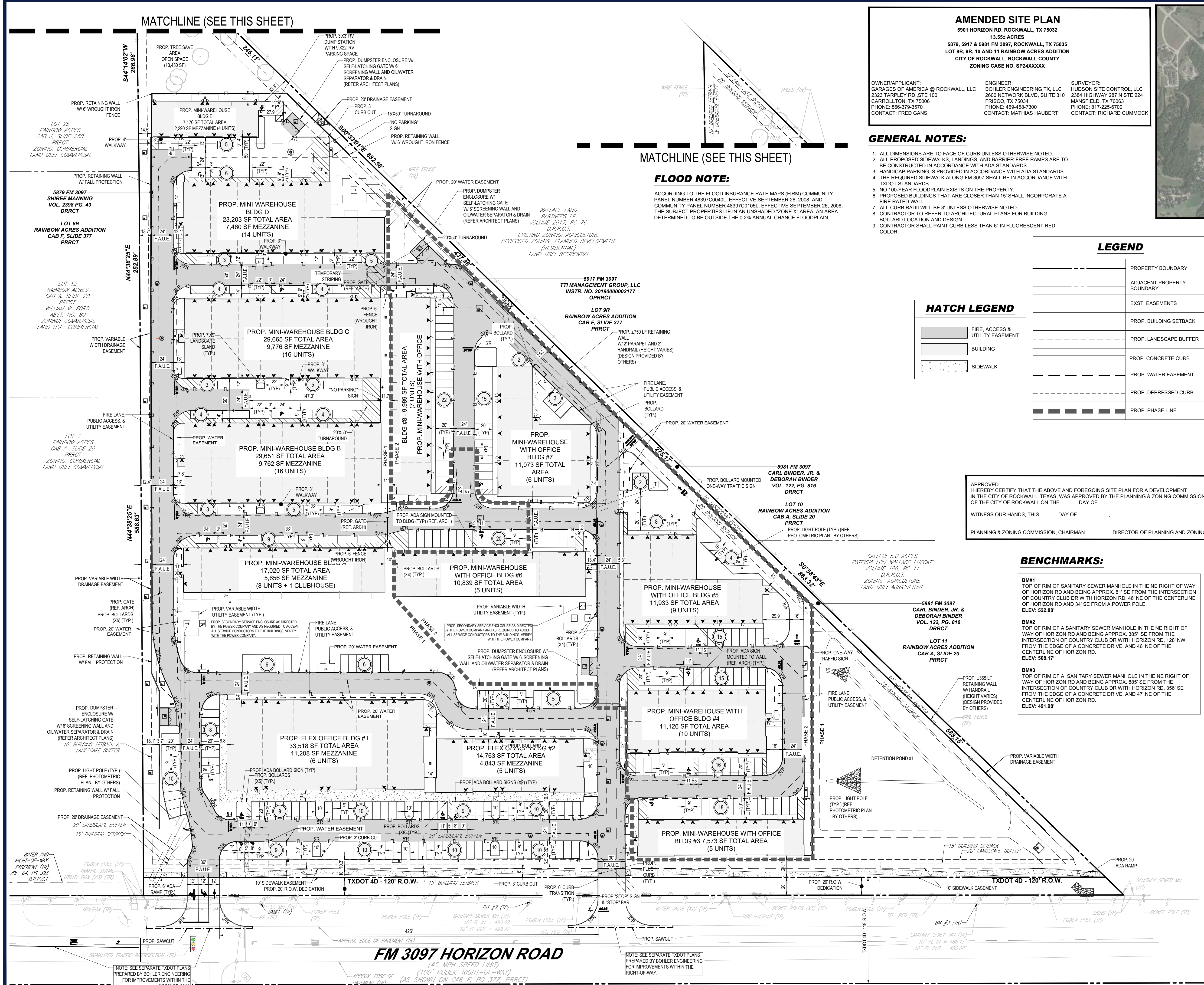
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 2024.

WITNESS OUR HANDS, THIS _____ DAY OF _____, 2024.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

BENCHMARKS:

- BM#1**
TOP OF RIM OF SANITARY SEWER MANHOLE IN THE NE RIGHT OF WAY OF HORIZON RD AND BEING APPROX. 81' SE FROM THE INTERSECTION OF COUNTRY CLUB DR WITH HORIZON RD, 46' NE OF THE CENTERLINE OF HORIZON RD AND 34' SE FROM A POWER POLE.
ELEV: 522.88'
- BM#2**
TOP OF RIM OF A SANITARY SEWER MANHOLE IN THE NE RIGHT OF WAY OF HORIZON RD AND BEING APPROX. 385' SE FROM THE INTERSECTION OF COUNTRY CLUB DR WITH HORIZON RD, 128' NW FROM THE EDGE OF A CONCRETE DRIVE, AND 46' NE OF THE CENTERLINE OF HORIZON RD.
ELEV: 506.17'
- BM#3**
TOP OF RIM OF A SANITARY SEWER MANHOLE IN THE NE RIGHT OF WAY OF HORIZON RD AND BEING APPROX. 885' SE FROM THE INTERSECTION OF COUNTRY CLUB DR WITH HORIZON RD, 356' SE FROM THE EDGE OF A CONCRETE DRIVE, AND 47' NE OF THE CENTERLINE OF HORIZON RD.
ELEV: 491.98'



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
#1	10/20/23	SEWER INVERTS	MJH	MJH
#2	11/15/23	BUILDING PERMIT RESUBMITTAL	MJH	MJH
#3	12/04/23	FINAL CITY COMMENTS	MJH	MJH

811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: TXA220027.00
DRAWN BY: PJCMG
CHECKED BY: MJH
DATE: 7/16/2024
CAD ID: SITE

FINAL ENGINEERING PLANS
FOR

PROPOSED MINI-WAREHOUSE & OFFICE DEVELOPMENT
5901 HORIZON ROAD
ROCKWALL, TX 75032
13.55± ACRES
5879, 5917, & 5981 FM 3097
LOT 8R, 9R, 10 & 11
RAINBOW ACRES ADDITION
CITY OF ROCKWALL
ROCKWALL COUNTY

BOHLER
2600 NETWORK BLVD, SUITE 310
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com
TBPE No. 18665 | TBPLS No. 10194413

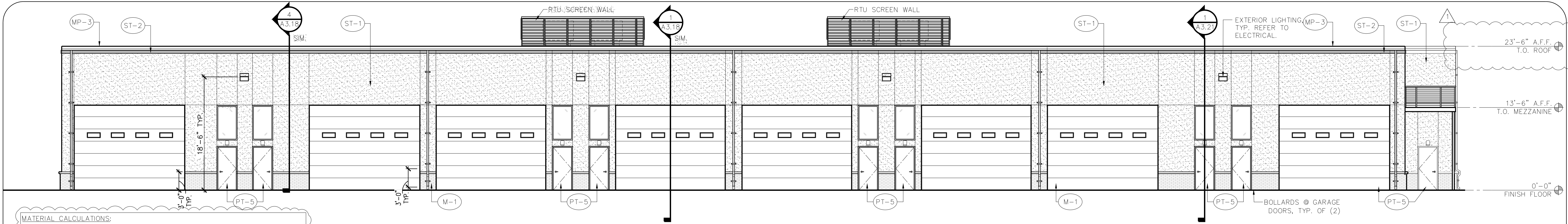
AMENDED SITE PLAN

SHEET TITLE:
AMENDED SITE PLAN
SHEET NUMBER:
C-301
ORG. DATE - 06/12/2023



Revisions:
REVISION 1 / 10-11-2023 / BY DBL
GRADING/OWNER CHANGES

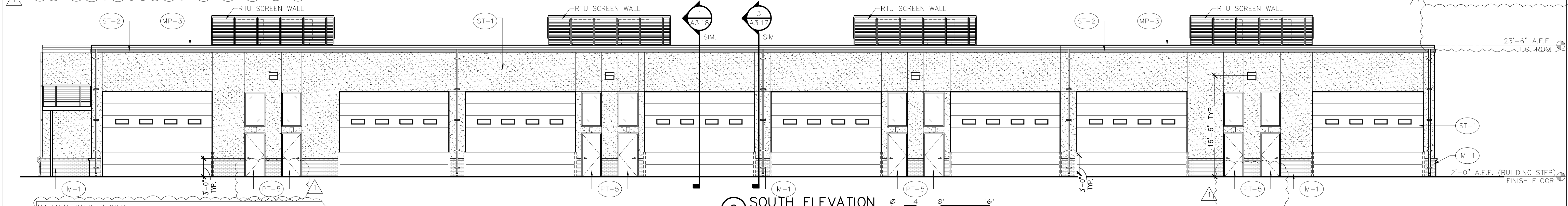
File Name: 22161-A2.10
Project No: 22161
Date: 10/11/23
Drawn By: DBL
Checked By: JWF



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

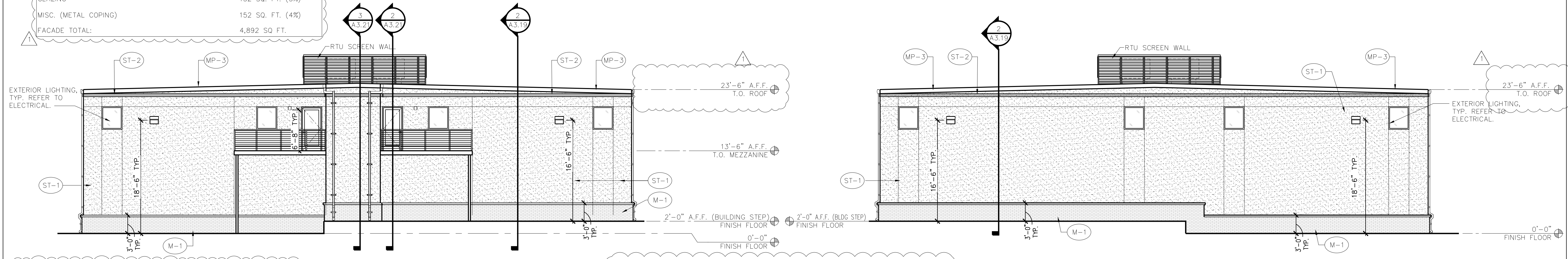
BRICK VENEER (ICE BLACK):	148 SQ. FT. (3%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2,548 SQ. FT. (48%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	120 SQ. FT. (2%)
OVERHEAD COILING DOOR:	2,000 SQ. FT. (37%)
HOLLOW METAL DOOR	216 SQ. FT. (4%)
GLAZING	152 SQ. FT. (3%)
MISC. (METAL COPING)	152 SQ. FT. (3%)
FACADE TOTAL:	5,184 SQ. FT.



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	172 SQ. FT. (4%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2,105 SQ. FT. (43%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	114 SQ. FT. (2%)
OVERHEAD COILING DOOR:	2,000 SQ. FT. (40%)
HOLLOW METAL DOOR	192 SQ. FT. (4%)
GLAZING	152 SQ. FT. (3%)
MISC. (METAL COPING)	152 SQ. FT. (4%)
FACADE TOTAL:	4,892 SQ. FT.



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	270 SQ. FT. (13%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1,578 SQ. FT. (77%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	45 SQ. FT. (2%)
GLAZING	96 SQ. FT. (5%)
MISC. (METAL COPING)	60 SQ. FT. (3%)
FACADE TOTAL:	2,049 SQ. FT.

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	277 SQ. FT. (14%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1,621 SQ. FT. (79%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	45 SQ. FT. (2%)
GLAZING	48 SQ. FT. (2%)
MISC. (METAL COPING)	60 SQ. FT. (3%)
FACADE TOTAL:	2,051 SQ. FT.

EXTERIOR FINISH SCHEDULE

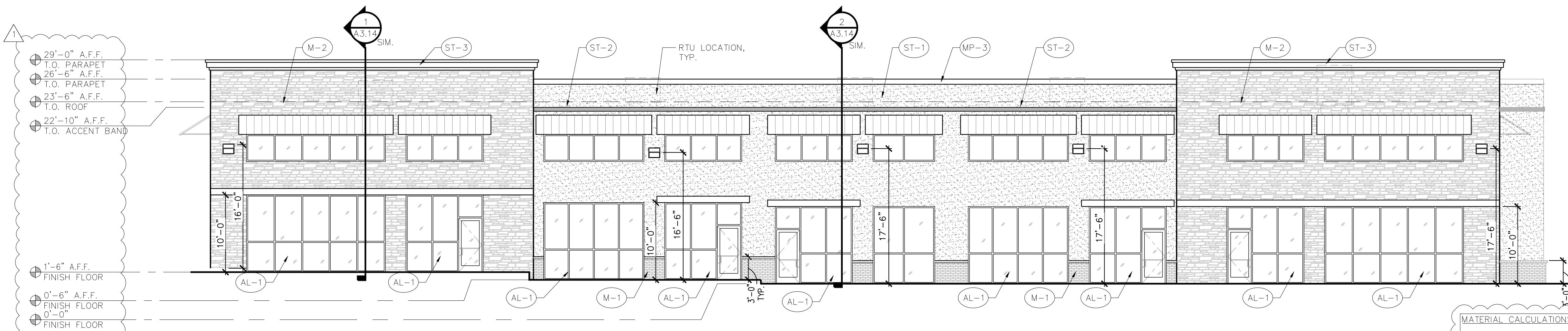
NUMBER	TYPE	DETAIL DESCRIPTION
M-1	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK-ICE MORTAR: BLACK
MP-3	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
PT-5	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
ST-1	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
ST-2	3-COAT STUCCO	MANUFACTURER: ALLIANCE STEEL COLOR: GARAGES OF AMERICA RED NOTE: PANTONE 200C
ST-3	3-COAT STUCCO	COLOR: GAUNTLET GRAY (SW7019)
AL-1	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

HVAC - SCREENING

DETAIL DESCRIPTION
MANUFACTURER: ALLIANCE STEEL STYLE: LOUVER (HORIZONTAL) COLOR: ASH GRAY

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

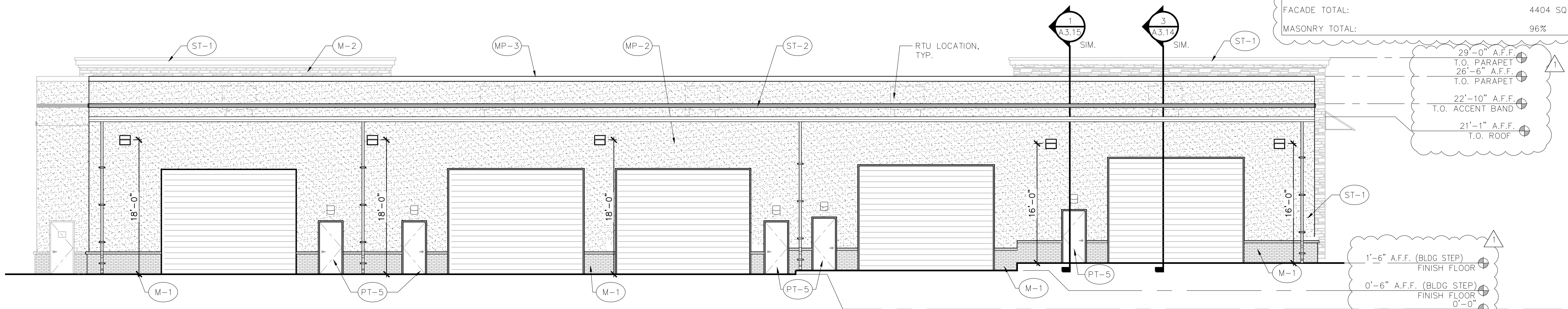
NOTE: ALL LISTED HEIGHTS ARE ESTABLISHED FROM FINISH FLOOR 0'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

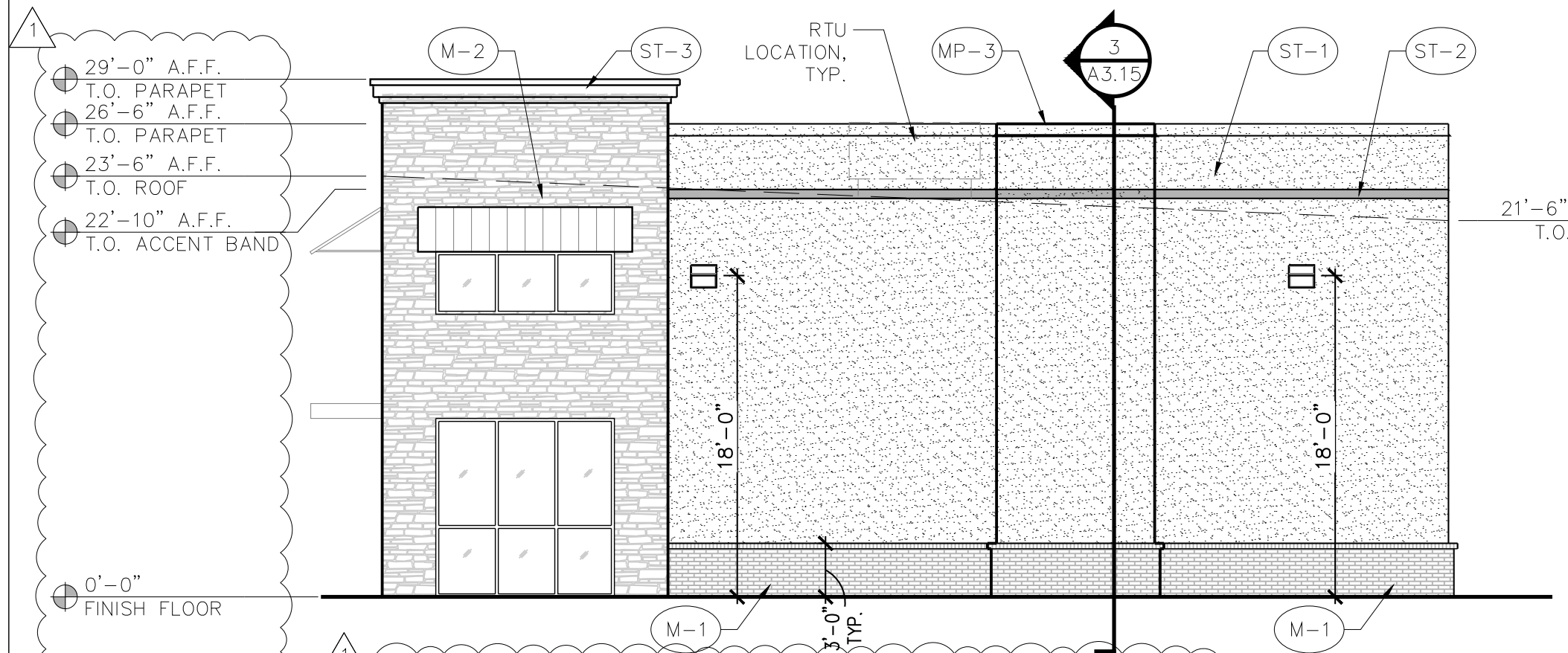
BRICK VENEER (ICE BLACK):	75 SQ. FT. (2%)
AUSTIN STONE VENEER:	1645 SQ. FT. (37%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1246 SQ. FT. (28%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	45 SQ. FT. (1%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	114 SQ. FT. (3%)
MISC. (METAL COPING / AWNING)	159 SQ. FT. (4%)
GLAZING (STORE FRONT)	1120 SQ. FT. (25%)
FACADE TOTAL:	4404 SQ. FT.
MASONRY TOTAL:	96%



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

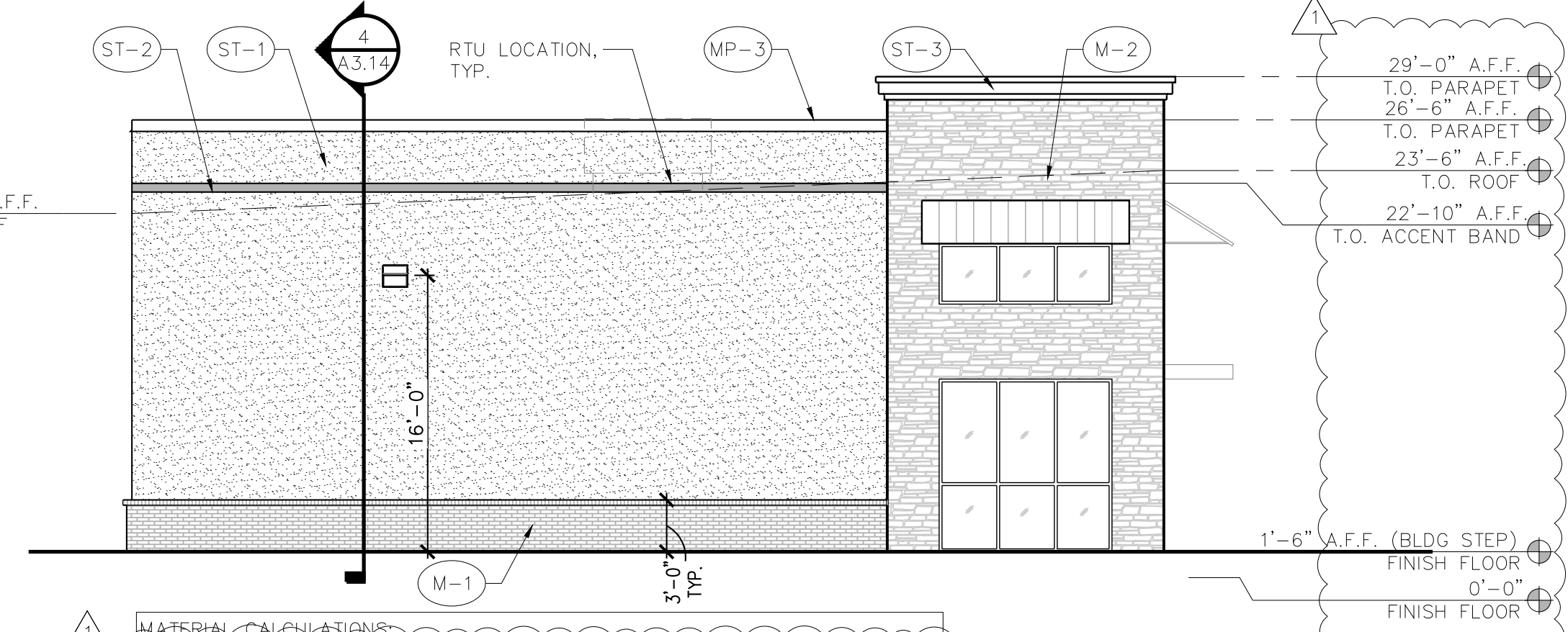
BRICK VENEER (ICE BLACK):	182 SQ. FT. (4%)
AUSTIN STONE VENEER:	132 SQ. FT. (3%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2676 SQ. FT. (57%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	86 SQ. FT. (2%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	114 SQ. FT. (2%)
OVERHEAD COILING DOOR:	1280 SQ. FT. (27%)
HOLLOW METAL DOOR	144 SQ. FT. (3%)
MISC. (METAL COPING / AWNING)	114 SQ. FT. (2%)
FACADE TOTAL:	4728 SQ. FT.
MASONRY TOTAL:	98%



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	132 SQ. FT. (8%)
AUSTIN STONE VENEER:	451 SQ. FT. (27%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	998 SQ. FT. (61%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	22 SQ. FT. (1%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	23 SQ. FT. (1%)
MISC. (METAL COPING / AWNING)	32 SQ. FT. (2%)
FACADE TOTAL:	1658 SQ. FT.
MASONRY TOTAL:	98%



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	132 SQ. FT. (9%)
AUSTIN STONE VENEER:	419 SQ. FT. (27%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	910 SQ. FT. (60%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	22 SQ. FT. (1%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	23 SQ. FT. (1%)
MISC. (METAL COPING / AWNING)	32 SQ. FT. (2%)
FACADE TOTAL:	1538 SQ. FT.
MASONRY TOTAL:	98%

EXTERIOR FINISH SCHEDULE

NUMBER	TYPE	DETAIL DESCRIPTION
M-1	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK
M-2	STONE VENEER	4" NATURAL STONE VENEER COLOR: AUSTIN STONE
MP-3	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
PT-5	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
ST-1	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
ST-2	3-COAT STUCCO	MANUFACTURER: SHERWIN WILLIAMS COLOR: GARAGES OF AMERICA RED NOTE: PANTONE 200C RGB: 183, 18, 52 CMYK 3, 100, 66, 21 HEX: B71234
ST-3	3-COAT STUCCO	COLOR: GAUNTLET GRAY (SW7019)
AL-1	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY



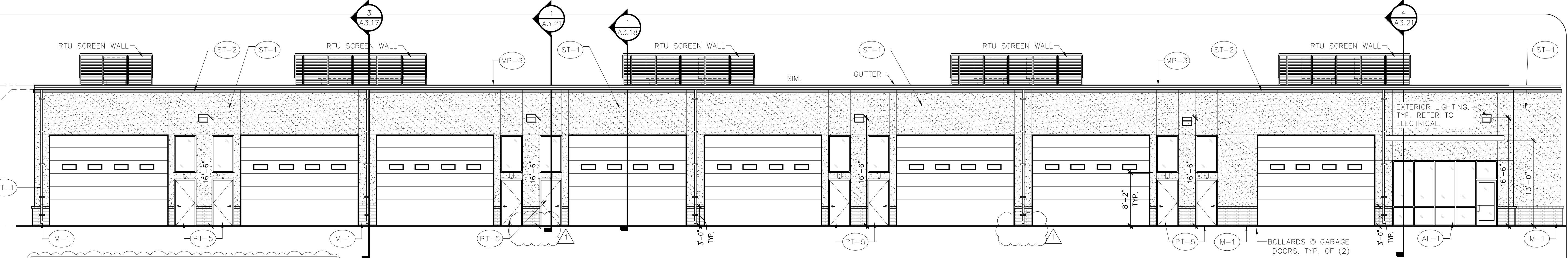
GARAGES OF AMERICA
5901 HORIZON ROAD
ROCKWALL, TEXAS 75032



Revisions:
REVISION 1 / 10-11-2023 / BY DBL
GRADING/OWNER CHANGES

File Name: 22161-A2.2
Project No: 22161
Date: 10/11/23
Drawn By: DBL, JLB
Checked By: JWF

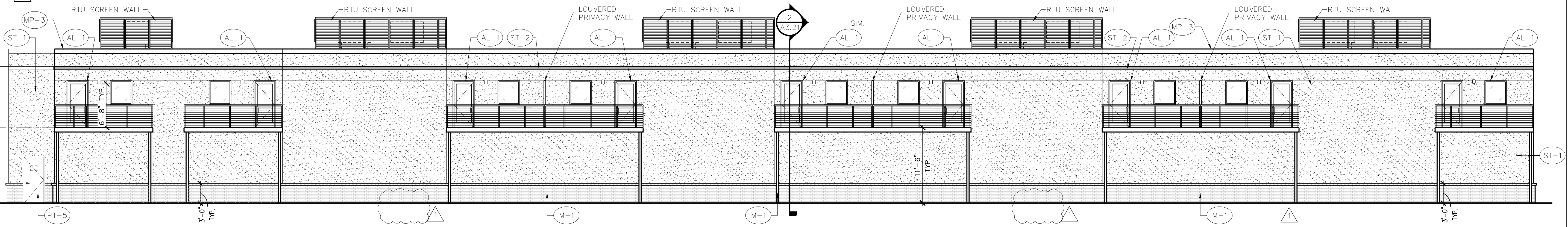
SHEET
A2.2
EXTERIOR ELEVATIONS
BUILDING 2



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

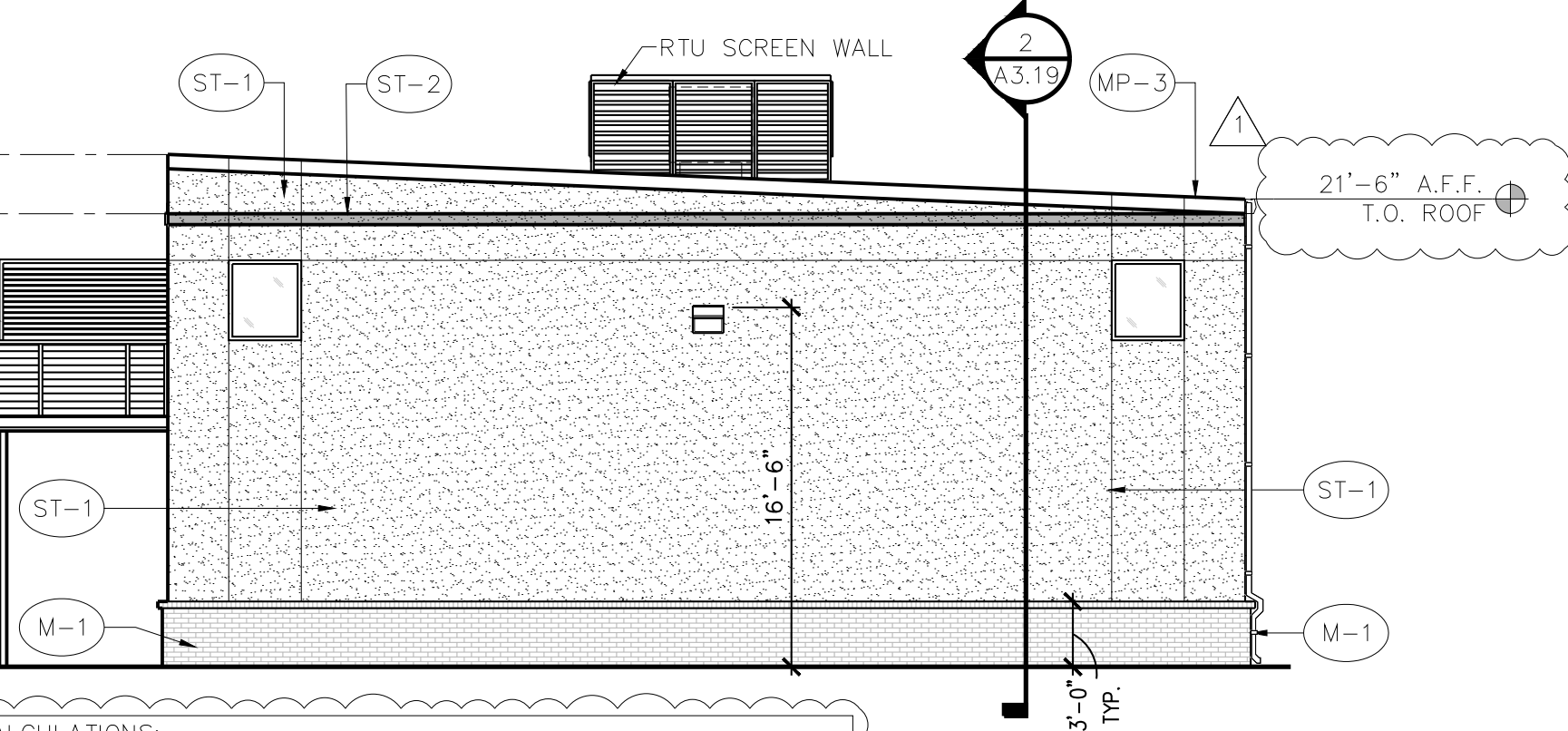
BRICK VENEER (ICE BLACK):	140 SQ. FT. (3%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2,072 SQ. FT. (42%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	117 SQ. FT. (2%)
OVERHEAD COILING DOOR:	2,000 SQ. FT. (40%)
HOLLOW METAL DOOR	192 SQ. FT. (4%)
GLAZING	312 SQ. FT. (6%)
MISC. (METAL COPING / AWNING)	170 SQ. FT. (3%)
FACADE TOTAL:	5,147 SQ. FT.



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	689 SQ. FT. (13%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	4,156 SQ. FT. (76%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	116 SQ. FT. (2%)
HOLLOW METAL DOOR	24 SQ. FT. (1%)
GLAZING	324 SQ. FT. (6%)
MISC. (METAL COPING)	155 SQ. FT. (2%)
FACADE TOTAL:	5,464 SQ. FT.



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	126 SQ. FT. (11%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	908 SQ. FT. (81%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	25 SQ. FT. (2%)
GLAZING	24 SQ. FT. (2%)
MISC. (METAL COPING)	33 SQ. FT. (4%)
FACADE TOTAL:	1,116 SQ. FT.

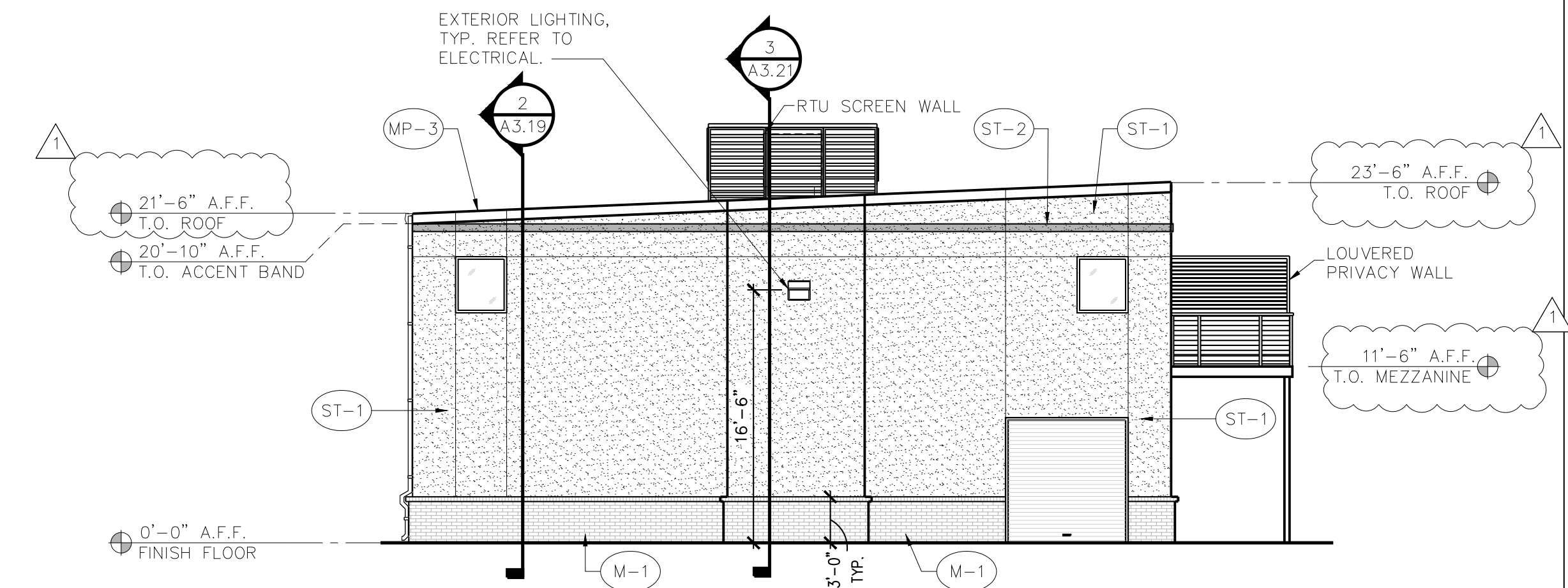
EXTERIOR FINISH SCHEDULE

NUMBER	TYPE	DETAIL DESCRIPTION
(M-1)	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK
(MP-3)	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
(PT-5)	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
(ST-1)	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
(ST-2)	3-COAT STUCCO	MANUFACTURER: ALLIANCE STEEL COLOR: GARAGES OF AMERICA RED NOTE: PANTONE 200C RGB: 183, 18, 52 CMYK 3, 100, 66, 21 HEX: B71234
(ST-3)	3-COAT STUCCO	COLOR: GAUNTLET GRAY (SW7019)
(AL-1)	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

HVAC - SCREENING

DETAIL DESCRIPTION
MANUFACTURER: ALLIANCE STEEL STYLE: LOUVER (HORIZONTAL) COLOR: ASH GRAY

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

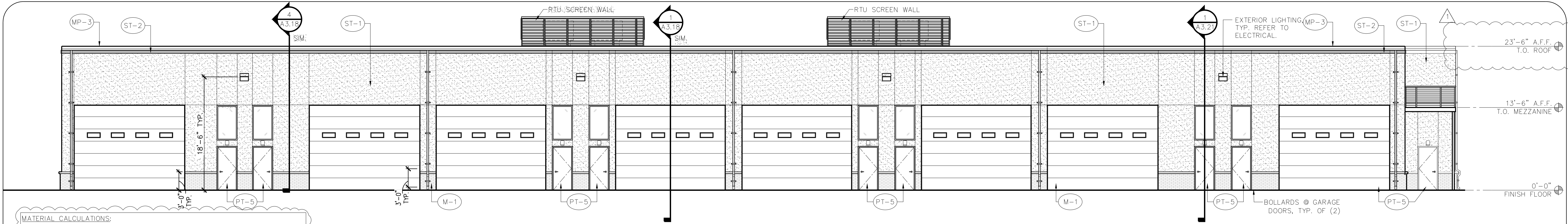
MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	126 SQ. FT. (11%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	843 SQ. FT. (76%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	25 SQ. FT. (2%)
OVERHEAD COILING DOOR:	65 SQ. FT. (6%)
GLAZING	24 SQ. FT. (2%)
MISC. (METAL COPING)	33 SQ. FT. (3%)
FACADE TOTAL:	1,116 SQ. FT.



Revisions:
REVISION 1 / 10-11-2023 / BY DBL
GRADING/OWNER CHANGES

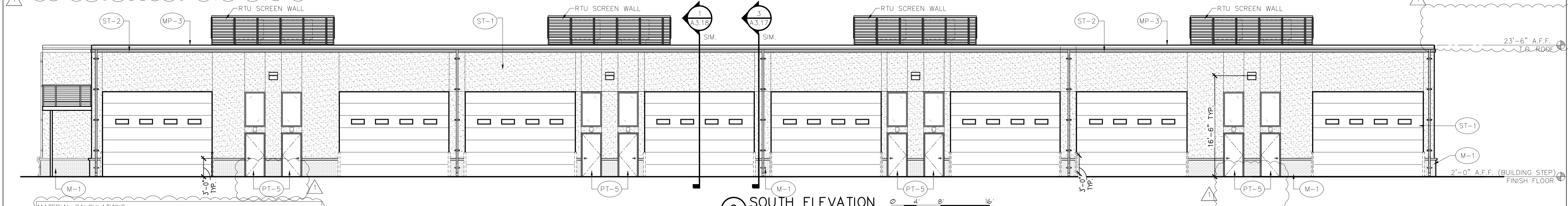
File Name: 22161-A2.10
Project No: 22161
Date: 10/11/23
Drawn By: DBL
Checked By: JWF



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

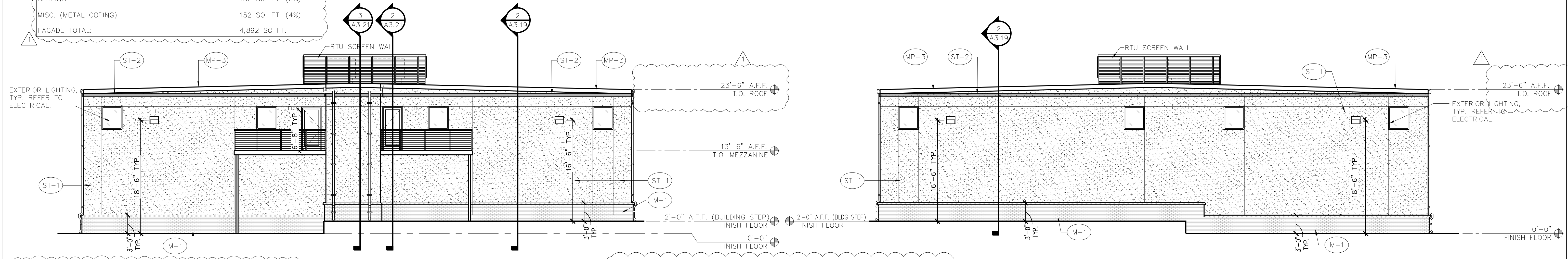
BRICK VENEER (ICE BLACK):	148 SQ. FT. (3%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2,548 SQ. FT. (48%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	120 SQ. FT. (2%)
OVERHEAD COILING DOOR:	2,000 SQ. FT. (37%)
HOLLOW METAL DOOR	216 SQ. FT. (4%)
GLAZING	152 SQ. FT. (3%)
MISC. (METAL COPING)	152 SQ. FT. (3%)
FACADE TOTAL:	5,184 SQ. FT.



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	172 SQ. FT. (4%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2,105 SQ. FT. (43%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	114 SQ. FT. (2%)
OVERHEAD COILING DOOR:	2,000 SQ. FT. (40%)
HOLLOW METAL DOOR	192 SQ. FT. (4%)
GLAZING	152 SQ. FT. (3%)
MISC. (METAL COPING)	152 SQ. FT. (4%)
FACADE TOTAL:	4,892 SQ. FT.



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	270 SQ. FT. (13%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1,578 SQ. FT. (77%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	45 SQ. FT. (2%)
GLAZING	96 SQ. FT. (5%)
MISC. (METAL COPING)	60 SQ. FT. (3%)
FACADE TOTAL:	2,049 SQ. FT.

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	277 SQ. FT. (14%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1,621 SQ. FT. (79%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	45 SQ. FT. (2%)
GLAZING	48 SQ. FT. (2%)
MISC. (METAL COPING)	60 SQ. FT. (3%)
FACADE TOTAL:	2,051 SQ. FT.

EXTERIOR FINISH SCHEDULE

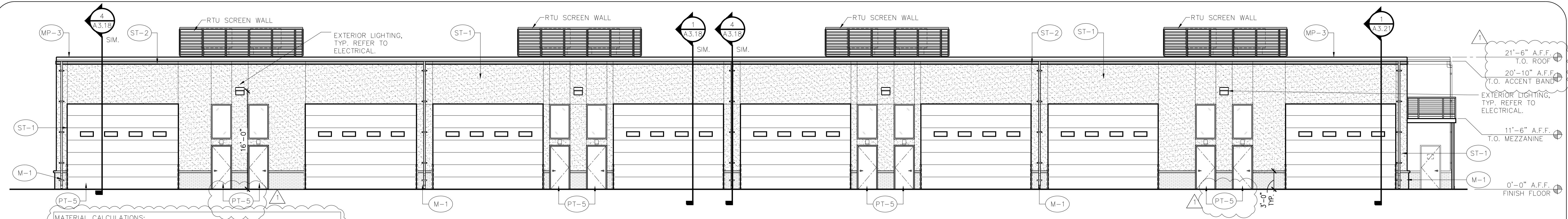
NUMBER	TYPE	DETAIL DESCRIPTION
M-1	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK-ICE MORTAR: BLACK
MP-3	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
PT-5	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
ST-1	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
ST-2	3-COAT STUCCO	MANUFACTURER: ALLIANCE STEEL COLOR: GARAGES OF AMERICA RED NOTE: PANTONE 200C
ST-3	3-COAT STUCCO	COLOR: GAUNTLET GRAY (SW7019)
AL-1	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

HVAC - SCREENING

DETAIL DESCRIPTION
MANUFACTURER: ALLIANCE STEEL STYLE: LOUVER (HORIZONTAL) COLOR: ASH GRAY

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

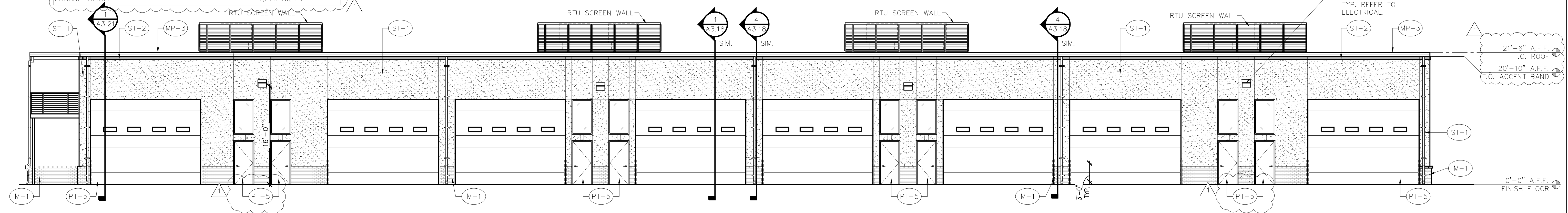
NOTE: ALL LISTED HEIGHTS ARE ESTABLISHED FROM FINISH FLOOR 0'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

MATERIAL CALCULATIONS:

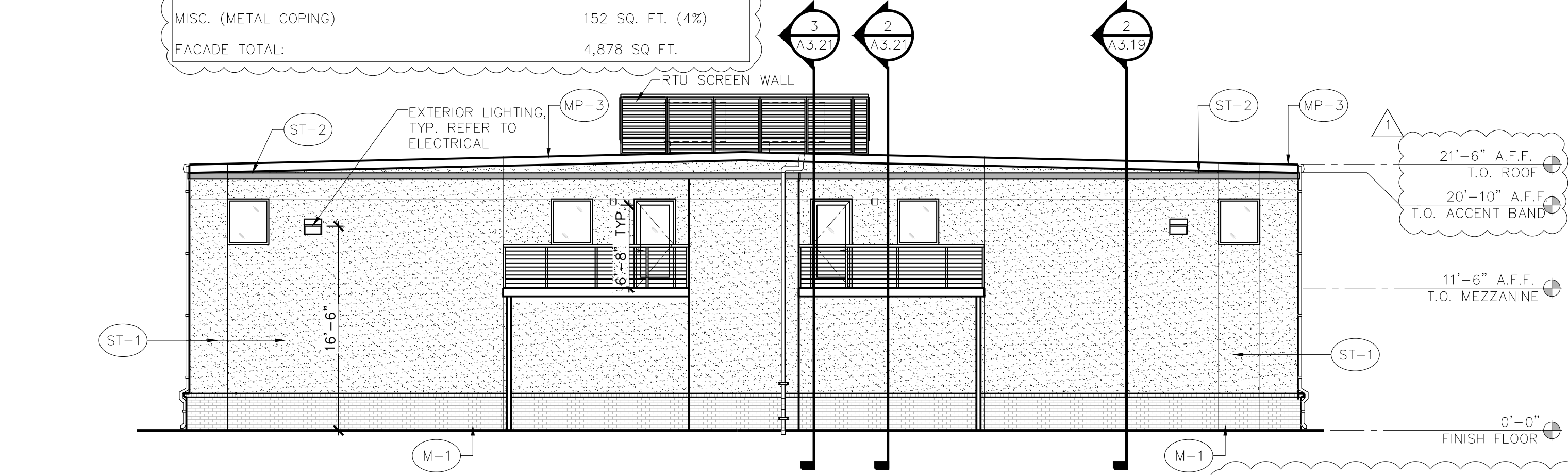
BRICK VENEER (ICE BLACK):	156 SQ. FT. (3%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2,065 SQ. FT. (42%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	114 SQ. FT. (2%)
OVERHEAD COILING DOOR:	2,024 SQ. FT. (42%)
HOLLOW METAL DOOR	216 SQ. FT. (4%)
GLAZING	152 SQ. FT. (3%)
MISC. (METAL COPING)	152 SQ. FT. (4%)
FAÇADE TOTAL:	4,878 SQ. FT.



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	166 SQ. FT. (3%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2,079 SQ. FT. (42%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	114 SQ. FT. (2%)
OVERHEAD COILING DOOR:	2,024 SQ. FT. (42%)
HOLLOW METAL DOOR	192 SQ. FT. (4%)
GLAZING	152 SQ. FT. (3%)
MISC. (METAL COPING)	152 SQ. FT. (4%)
FAÇADE TOTAL:	4,878 SQ. FT.



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

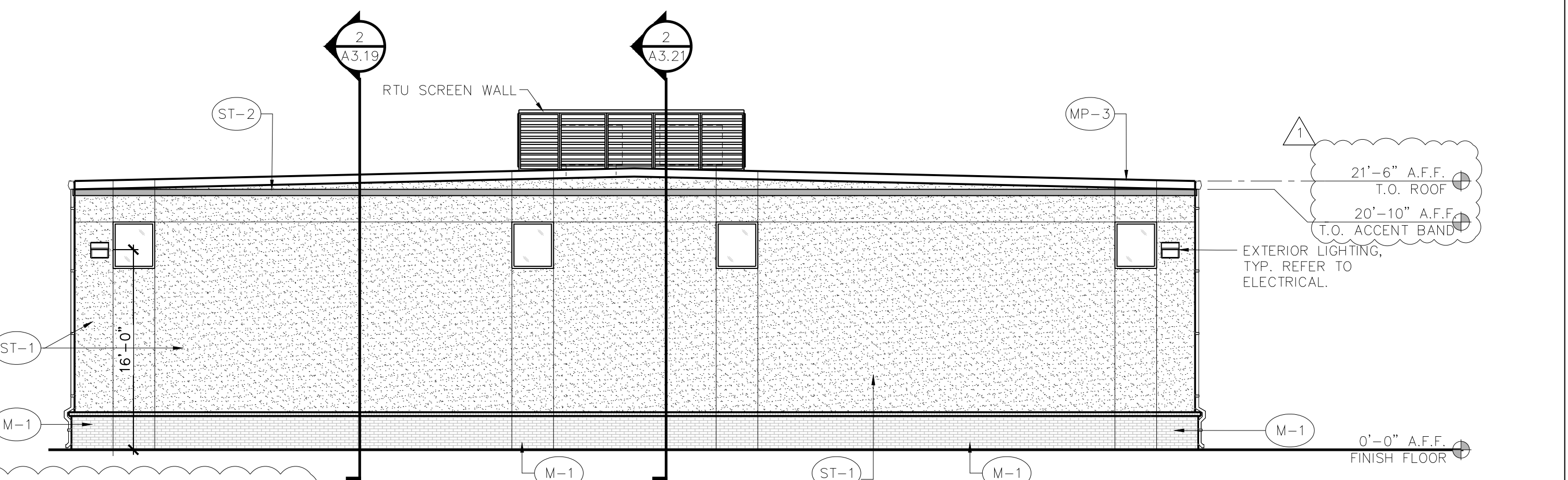
MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	270 SQ. FT. (13%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1,500 SQ. FT. (76%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	45 SQ. FT. (2%)
GLAZING	96 SQ. FT. (5%)
MISC. (METAL COPING)	60 SQ. FT. (4%)
FAÇADE TOTAL:	1,971 SQ. FT.

EXTERIOR FINISH SCHEDULE

NUMBER	TYPE	DETAIL DESCRIPTION
M-1	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK
MP-3	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
PT-5	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
ST-1	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
ST-2	3-COAT STUCCO	MANUFACTURER: ALLIANCE STEEL COLOR: GARAGES OF AMERICA RED NOTE: PANTONE 200C
ST-3	3-COAT STUCCO	COLOR: GAUNTLET GRAY (SW7019)
AL-1	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

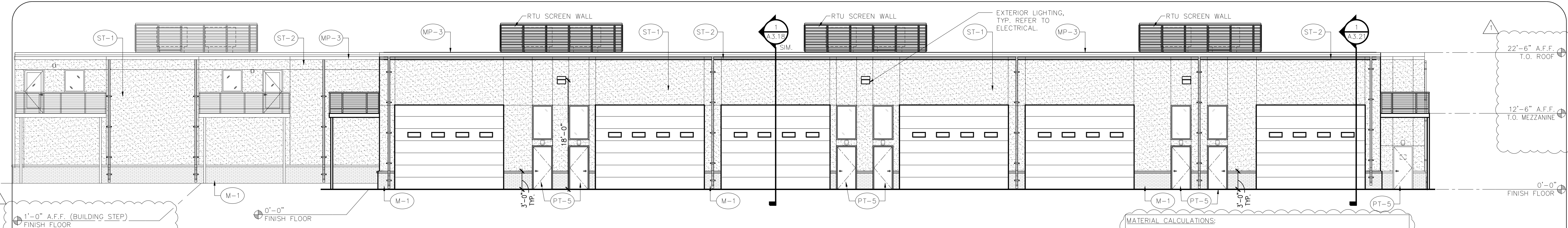
MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	270 SQ. FT. (14%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1,548 SQ. FT. (79%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	45 SQ. FT. (2%)
GLAZING	48 SQ. FT. (2%)
MISC. (METAL COPING)	60 SQ. FT. (3%)
FAÇADE TOTAL:	1,971 SQ. FT.

HVAC - SCREENING

DETAIL DESCRIPTION
MANUFACTURER: CITYSCAPES
STYLE: LOUVER (HORIZONTAL)
TRIM: LINEAL BAD
COLOR: SHADOW GRAY

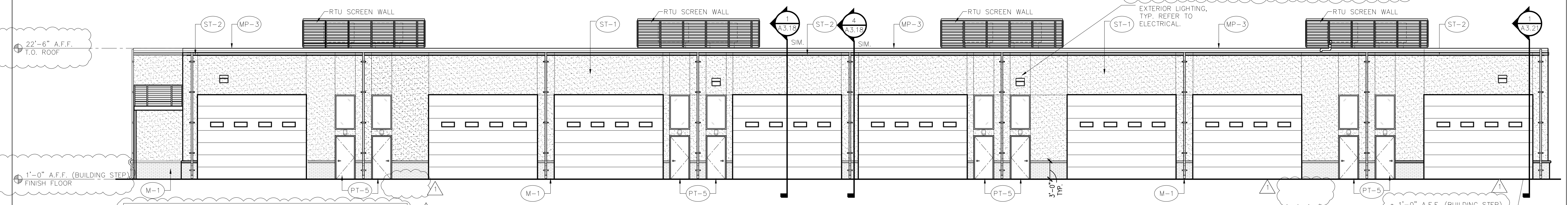
NOTE: ALL LISTED HEIGHTS ARE ESTABLISHED FROM FINISH FLOOR 0'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

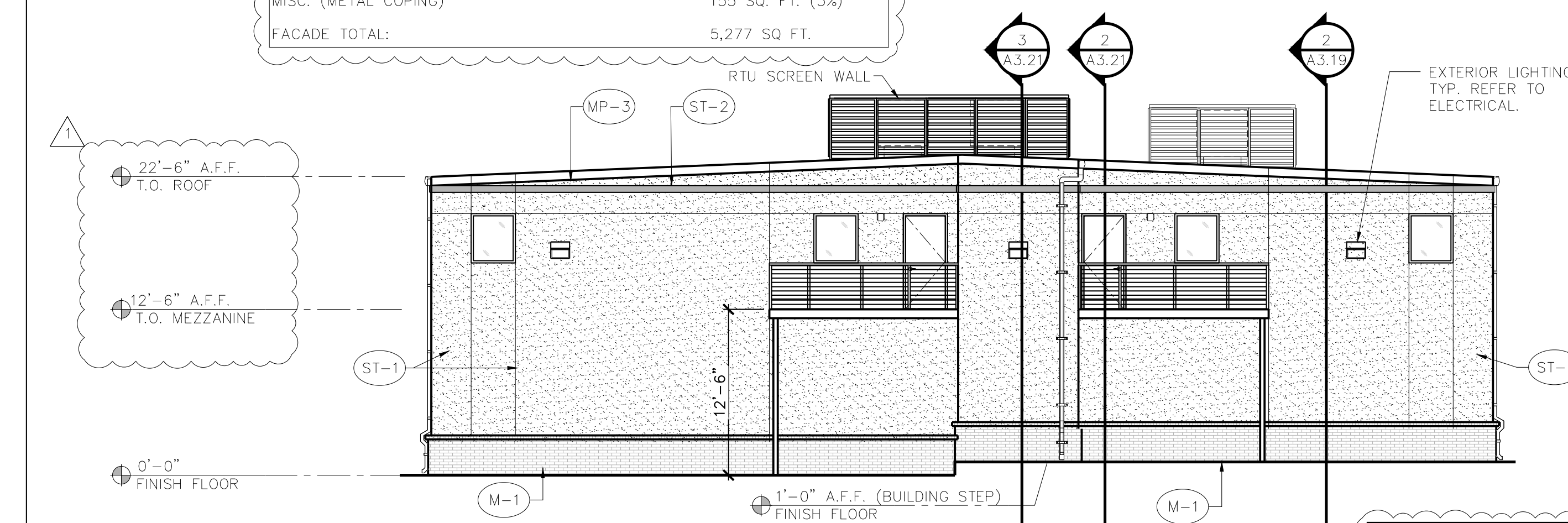
BRICK VENEER (ICE BLACK):	303 SQ. FT. (6%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2,728 SQ. FT. (53%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	155 SQ. FT. (3%)
OVERHEAD COILING DOOR:	1,500 SQ. FT. (29%)
HOLLOW METAL DOOR	168 SQ. FT. (3%)
GLAZING	186 SQ. FT. (3%)
MISC. (METAL COPING)	155 SQ. FT. (3%)
FACADE TOTAL:	5,156 SQ. FT.



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	242 SQ. FT. (5%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2,396 SQ. FT. (45%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	116 SQ. FT. (2%)
OVERHEAD COILING DOOR:	2,024 SQ. FT. (38%)
HOLLOW METAL DOOR	192 SQ. FT. (4%)
GLAZING	152 SQ. FT. (3%)
MISC. (METAL COPING)	155 SQ. FT. (3%)
FACADE TOTAL:	5,277 SQ. FT.



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	242 SQ. FT. (13%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1,373 SQ. FT. (76%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	05 SQ. FT. (2%)
GLAZING	96 SQ. FT. (5%)
MISC. (METAL COPING)	63 SQ. FT. (4%)
FACADE TOTAL:	1,804 SQ. FT.

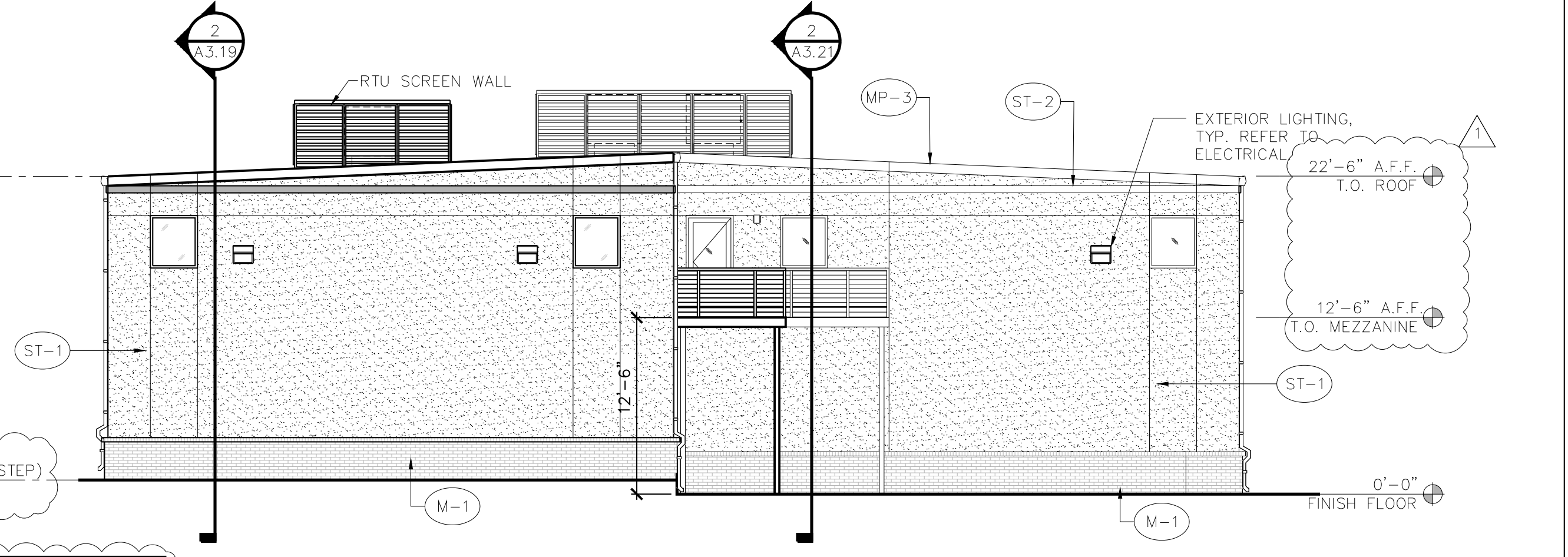
EXTERIOR FINISH SCHEDULE

NUMBER	TYPE	DETAIL DESCRIPTION
M-1	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK
MP-3	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
PT-5	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
ST-1	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
ST-2	3-COAT STUCCO	MANUFACTURER: ALLIANCE STEEL COLOR: GARAGES OF AMERICA RED NOTE: PANTONE 200C RGB: 183, 18, 52 CMYK 3, 100, 66, 21 HEX: B71234
ST-3	3-COAT STUCCO	COLOR: GAUNTLET GRAY (SW7019)
AL-1	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

HVAC - SCREENING

DETAIL DESCRIPTION
MANUFACTURER: ALLIANCE STEEL STYLE: LOUVER (HORIZONTAL) COLOR: ASH GRAY

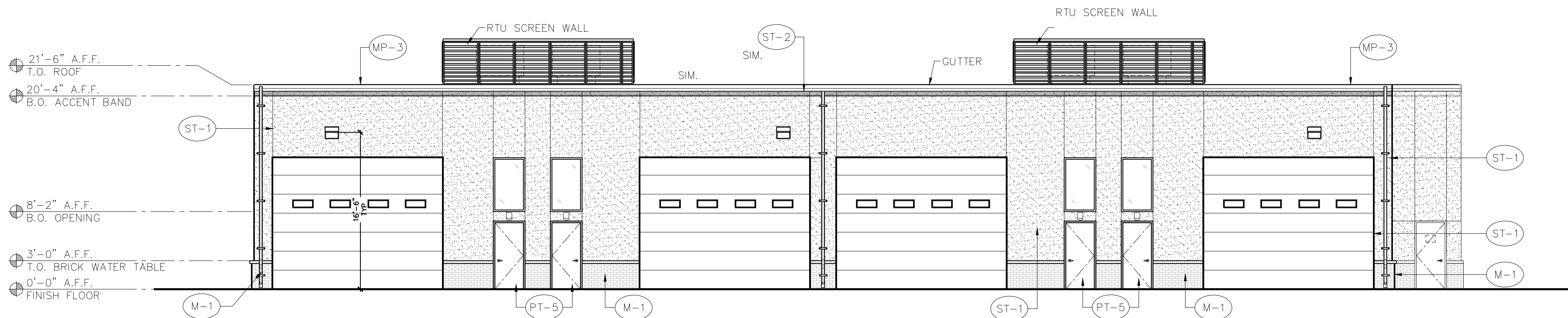


4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	242 SQ. FT. (13%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1,418 SQ. FT. (78%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	53 SQ. FT. (2%)
GLAZING	72 SQ. FT. (4%)
MISC. (METAL COPING)	60 SQ. FT. (3%)
FACADE TOTAL:	1,825 SQ. FT.

NOTE: ALL LISTED HEIGHTS ARE ESTABLISHED FROM FINISH FLOOR 0'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	116 SQ. FT. (4%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1,268 SQ. FT. (47%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	85 SQ. FT. (2%)
OVERHEAD COILING DOOR:	1,000 SQ. FT. (37%)
HOLLOW METAL DOOR	120 SQ. FT. (4%)
GLAZING	76 SQ. FT. (3%)
MISC. (METAL COPING)	85 SQ. FT. (3%)
FACADE TOTAL:	2,729 SQ. FT.

EXTERIOR FINISH SCHEDULE

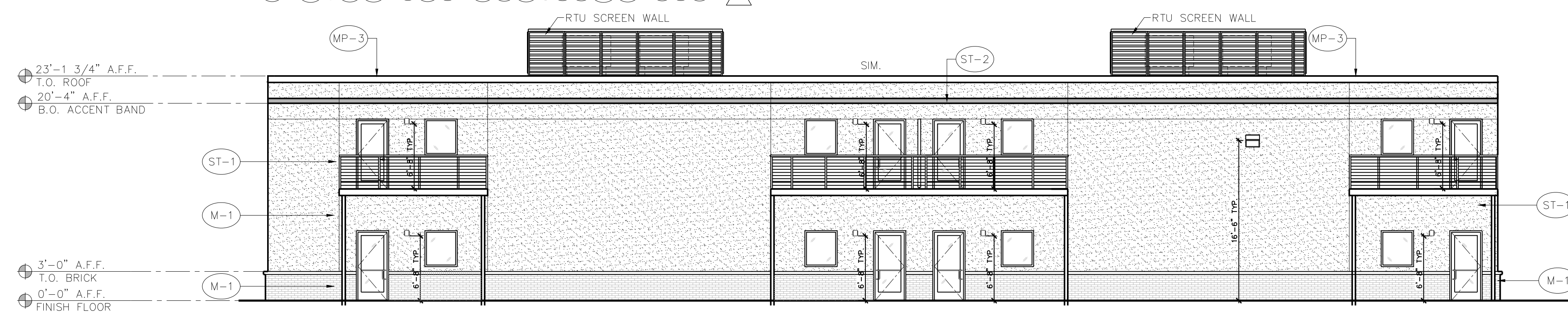
NUMBER	TYPE	DETAIL DESCRIPTION
M-1	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK
MP-3	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
PT-5	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: DORIAN GRAY (SW7017)
ST-1	3-COAT STUCCO	MANUFACTURER: ALLIANCE STEEL COLOR: GAUNTLET GRAY (SW7019)
ST-2	3-COAT STUCCO	MANUFACTURER: ALLIANCE STEEL COLOR: GARAGES OF AMERICA RED NOTE: PANTONE 200C RGB: 183, 18, 52 CMYK: 3, 100, 66, 21 HEX: B71234
ST-3	3-COAT STUCCO	COLOR: GAUNTLET GRAY (SW7019)
AL-1	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

HVAC - SCREENING

DETAIL DESCRIPTION
MANUFACTURER: ALLIANCE STEEL
STYLE: LOUVER (HORIZONTAL)
COLOR: ASH GRAY

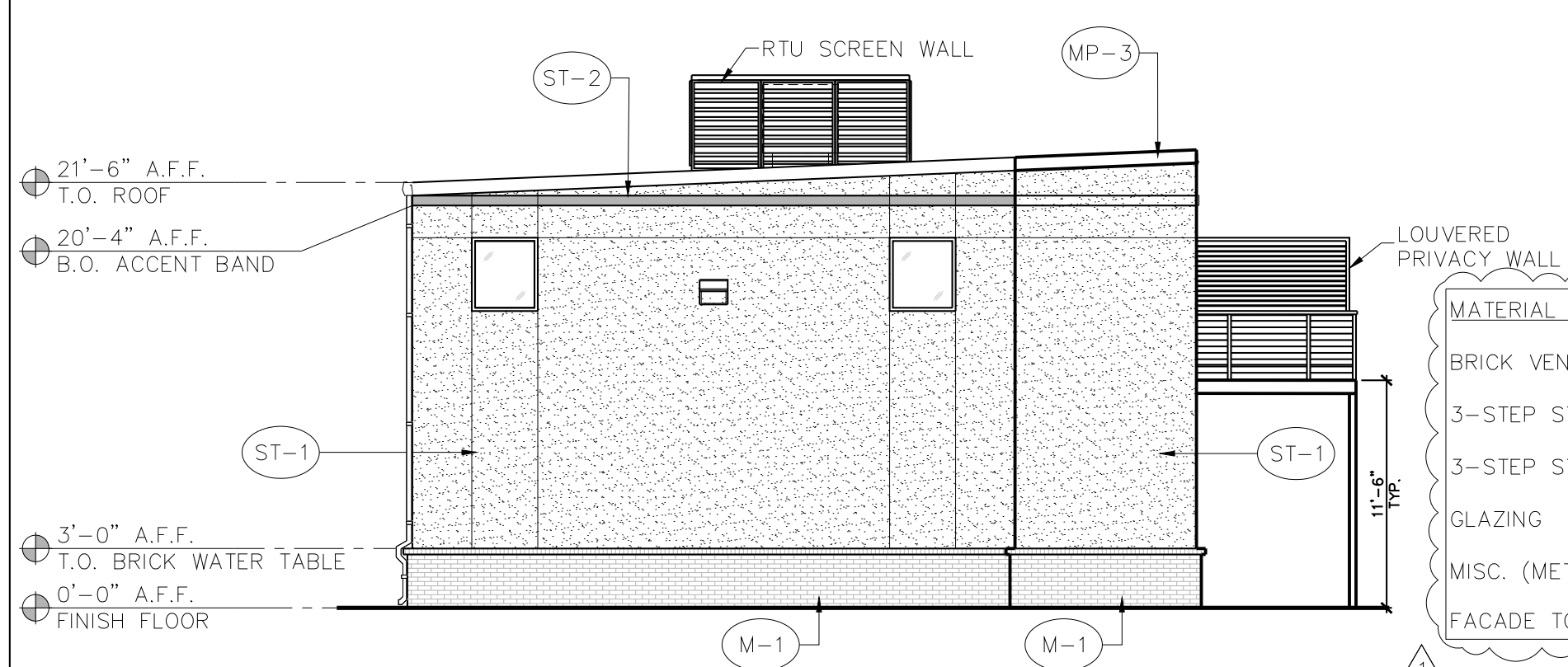
NOTE: ALL LISTED HEIGHTS ARE ESTABLISHED FROM FINISH FLOOR 0'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	342 SQ. FT. (12%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2,152 SQ. FT. (73%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	85 SQ. FT. (2%)
GLAZING	288 SQ. FT. (10%)
MISC. (METAL COPING)	85 SQ. FT. (3%)
FACADE TOTAL:	2,930 SQ. FT.



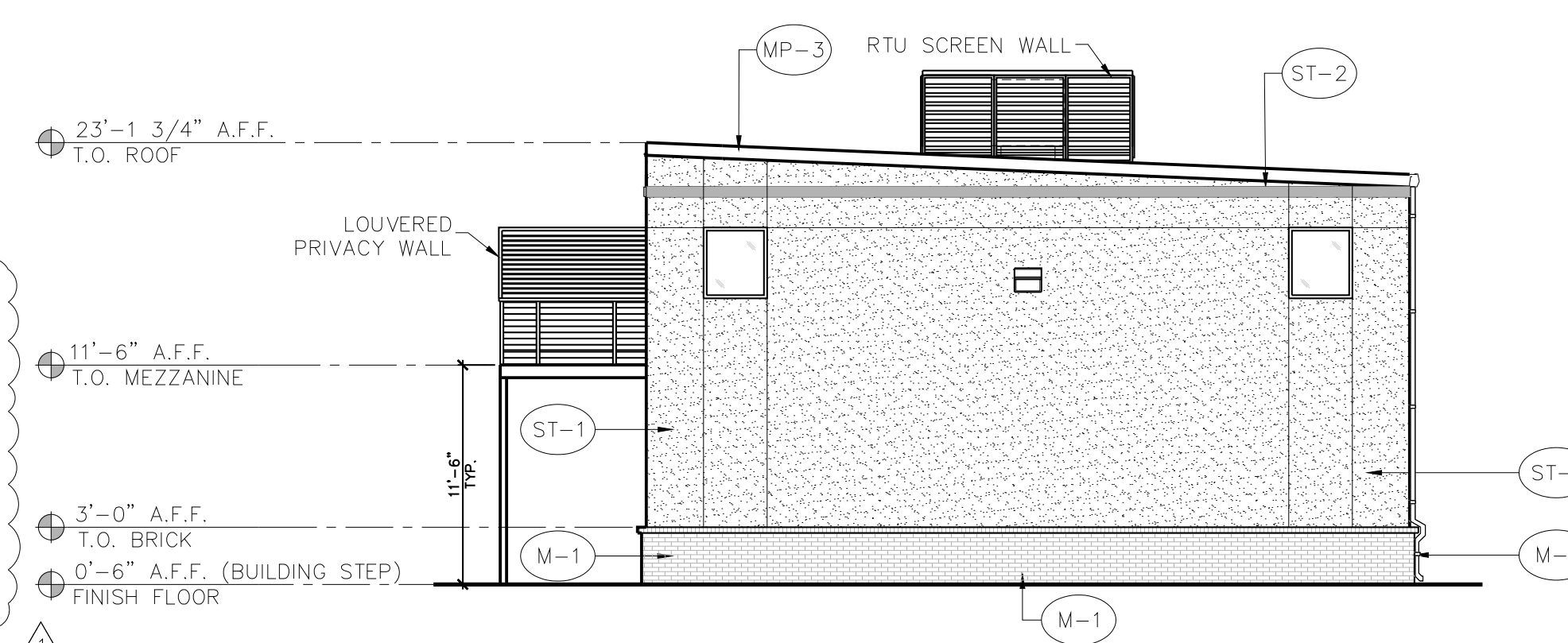
3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

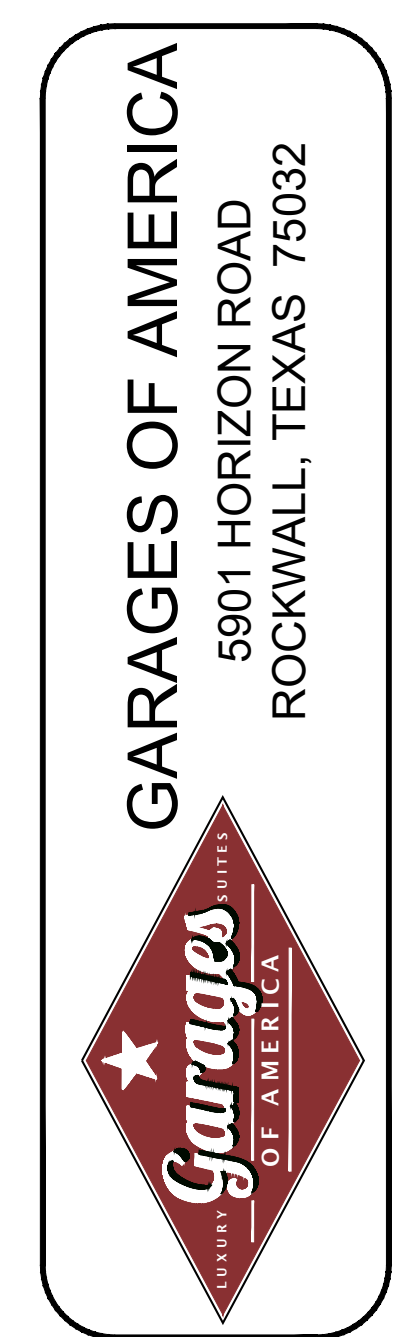
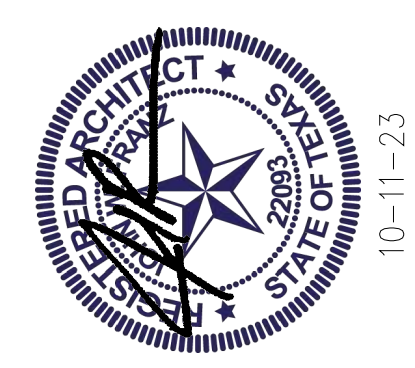
BRICK VENEER (ICE BLACK):	121 SQ. FT. (14%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	695 SQ. FT. (78%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	20 SQ. FT. (2%)
GLAZING	24 SQ. FT. (3%)
MISC. (METAL COPING)	27 SQ. FT. (3%)
FACADE TOTAL:	887 SQ. FT.

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	122 SQ. FT. (14%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	702 SQ. FT. (78%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	20 SQ. FT. (2%)
GLAZING	24 SQ. FT. (3%)
MISC. (METAL COPING)	27 SQ. FT. (3%)
FACADE TOTAL:	895 SQ. FT.



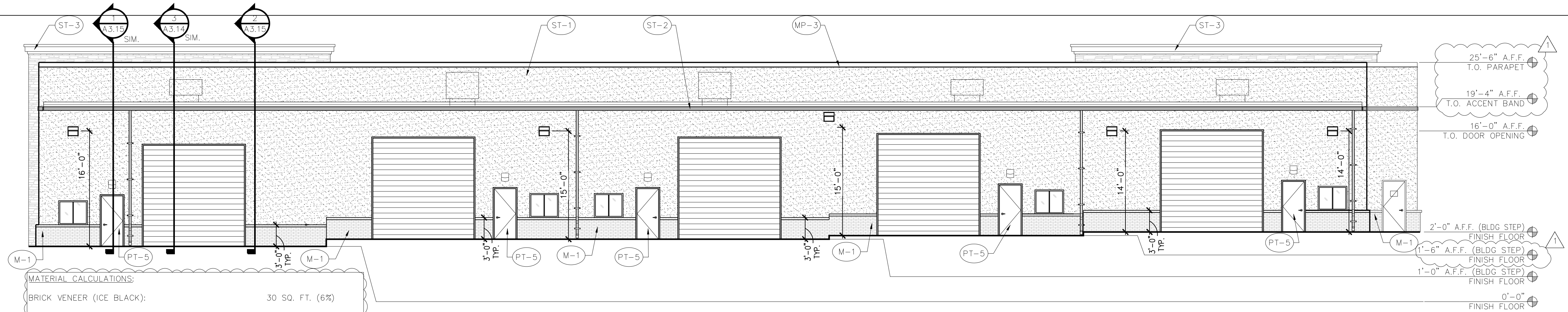
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



Revisions:
REVISION 1 / 10-11-2023 / BY DBL
GRADING/OWNER CHANGES

File Name: 22161-A2.13
Project No: 22161
Date: 10/11/23
Drawn By: DBL
Checked By: JWF

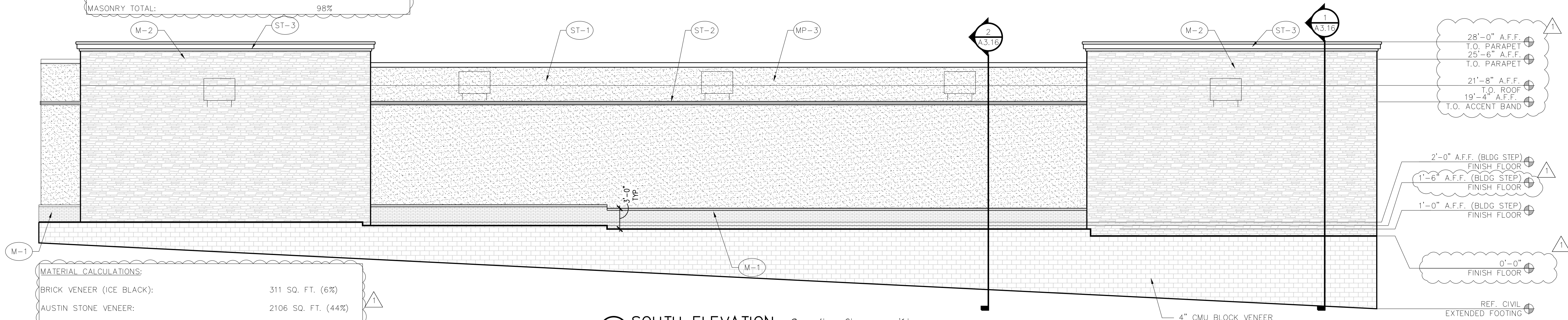




1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

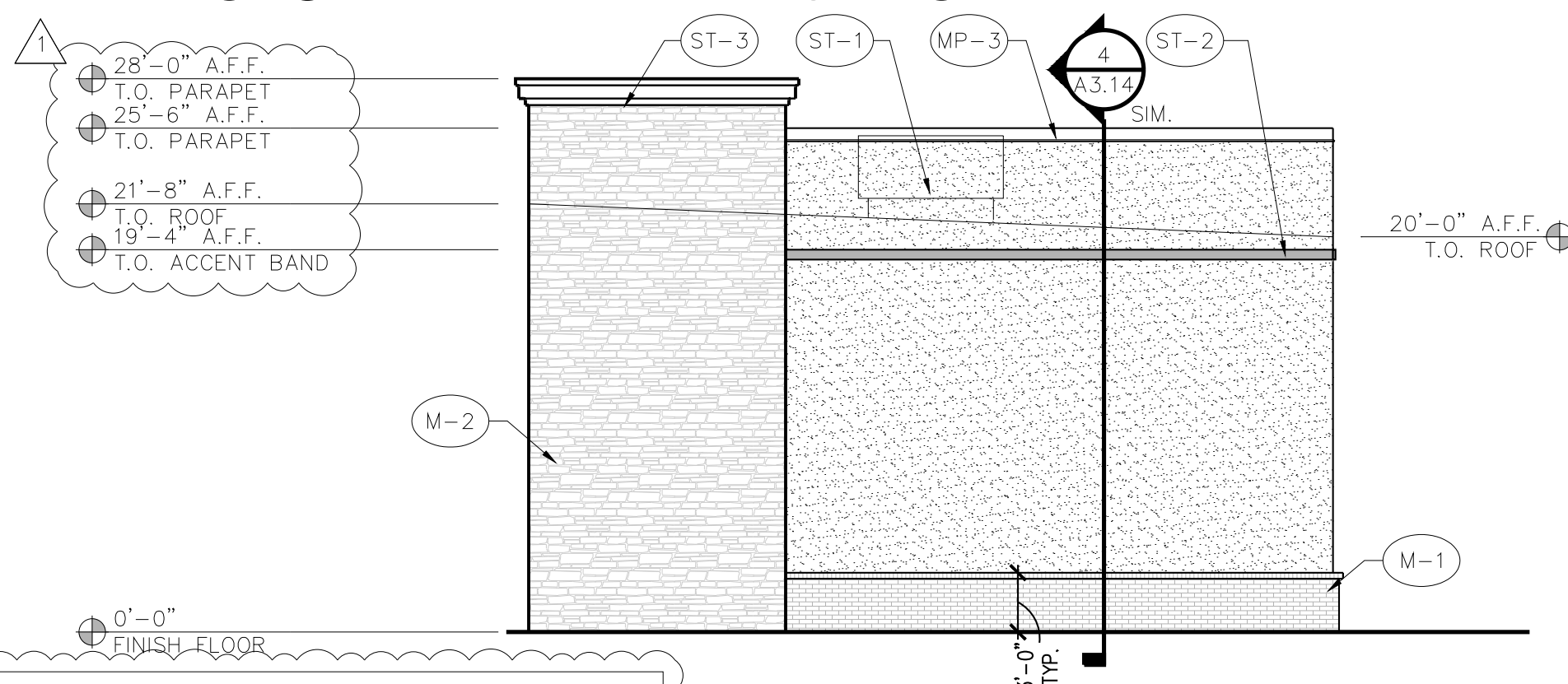
BRICK VENEER (ICE BLACK):	30 SQ. FT. (6%)
AUSTIN STONE VENEER:	132 SQ. FT. (3%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2884 SQ. FT. (56%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	96 SQ. FT. (2%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	114 SQ. FT. (2%)
OVERHEAD COILING DOOR:	1275 SQ. FT. (25%)
HOLLOW METAL DOOR	150 SQ. FT. (3%)
GLAZING	70 SQ. FT. (1%)
MISC. (METAL COPING / AWNING)	125 SQ. FT. (2%)
FACADE TOTAL:	5147 SQ. FT.
MASONRY TOTAL:	98%



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

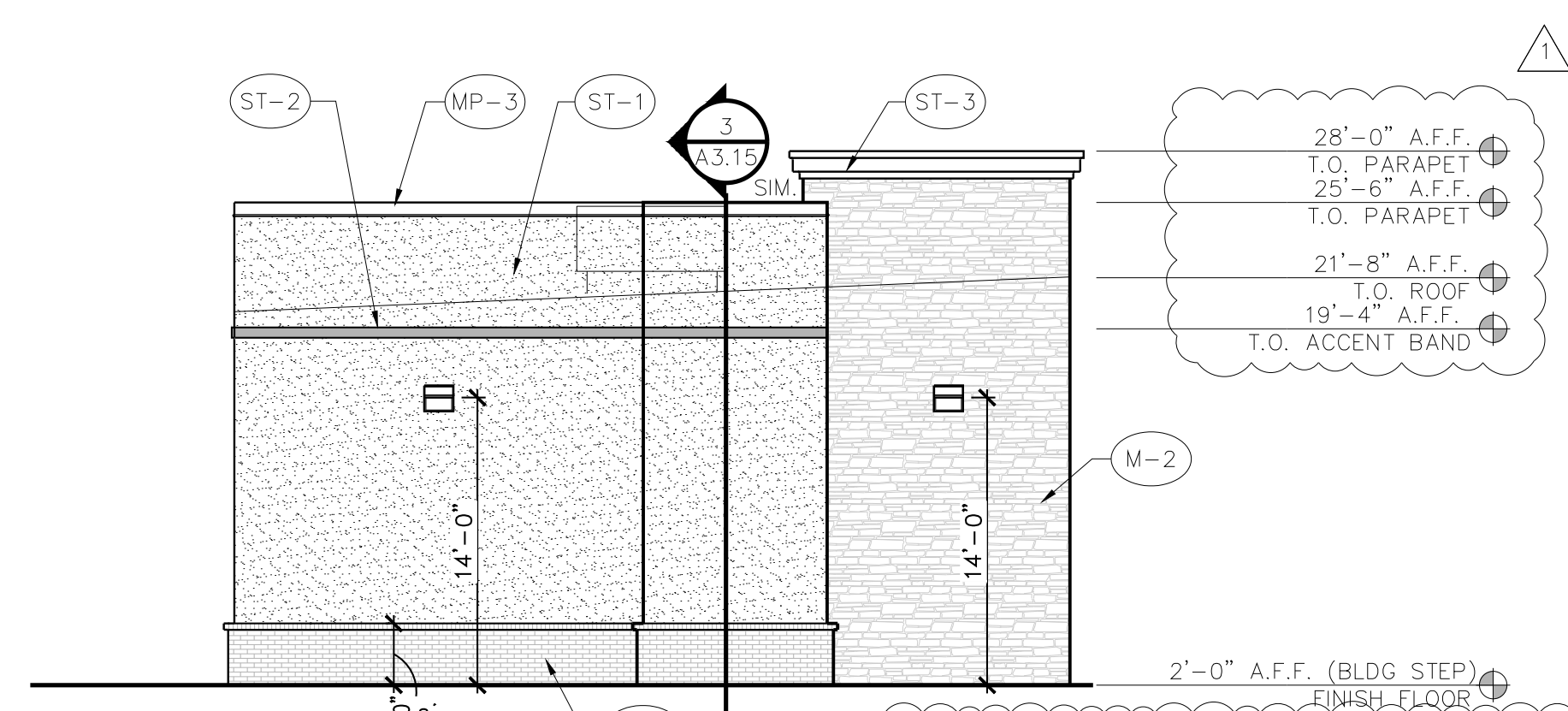
BRICK VENEER (ICE BLACK):	311 SQ. FT. (6%)
AUSTIN STONE VENEER:	2106 SQ. FT. (44%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2156 SQ. FT. (45%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	55 SQ. FT. (1%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	114 SQ. FT. (2%)
MISC. (METAL COPING)	73 SQ. FT. (2%)
FACADE TOTAL:	4815 SQ. FT.
MASONRY TOTAL:	98%



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	84 SQ. FT. (9%)
AUSTIN STONE VENEER:	314 SQ. FT. (32%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	522 SQ. FT. (54%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	14 SQ. FT. (1%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	19 SQ. FT. (2%)
MISC. (METAL COPING / AWNING)	19 SQ. FT. (2%)
FACADE TOTAL:	972 SQ. FT.
MASONRY TOTAL:	98%



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	89 SQ. FT. (9%)
AUSTIN STONE VENEER:	310 SQ. FT. (29%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	602 SQ. FT. (57%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	14 SQ. FT. (1%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	19 SQ. FT. (2%)
MISC. (METAL COPING / AWNING)	19 SQ. FT. (2%)
FACADE TOTAL:	1053 SQ. FT.
MASONRY TOTAL:	98%

EXTERIOR FINISH SCHEDULE

NUMBER	TYPE	DETAIL DESCRIPTION
M-1	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK
M-2	STONE VENEER	4" NATURAL STONE VENEER COLOR: AUSTIN STONE
PT-5	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
MP-3	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
ST-1	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
ST-2	3-COAT STUCCO	MANUFACTURER: SHERWIN WILLIAMS COLOR: GARAGES OF AMERICA RED NOTE: PANTONE 200C RGB: 183, 18, 52 CMYK 3, 100, 66, 21 HEX: B71234
ST-3	3-COAT STUCCO	COLOR: GAUNTLET GRAY (SW7019)
AL-1	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY. COPYRIGHT © 2023

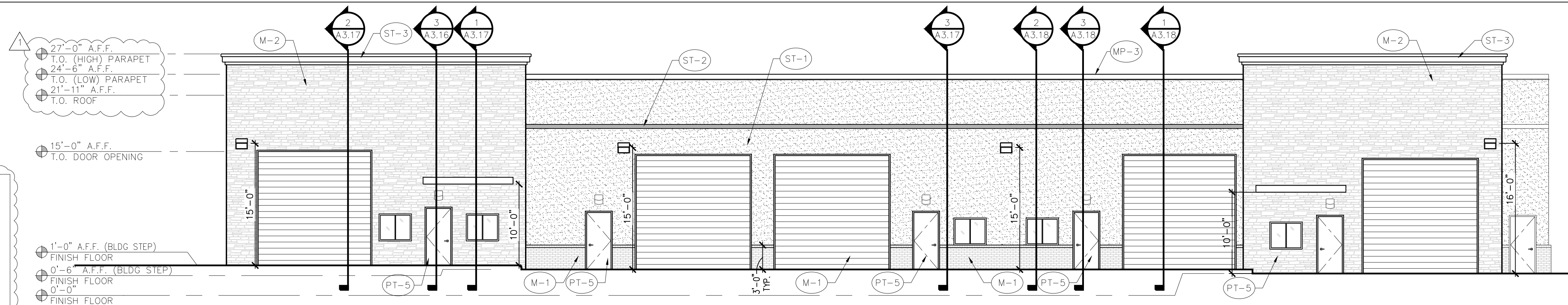


GARAGES OF AMERICA
5901 HORIZON ROAD
ROCKWALL, TEXAS 75032

Revisions:
REVISION 1 / 10-11-2023 / BY DBL
GRADING/OWNER CHANGES

File Name: 22161-A2.3
Project No: 22161
Date: 10/11/23
Drawn By: DBL, JLB
Checked By: JWF

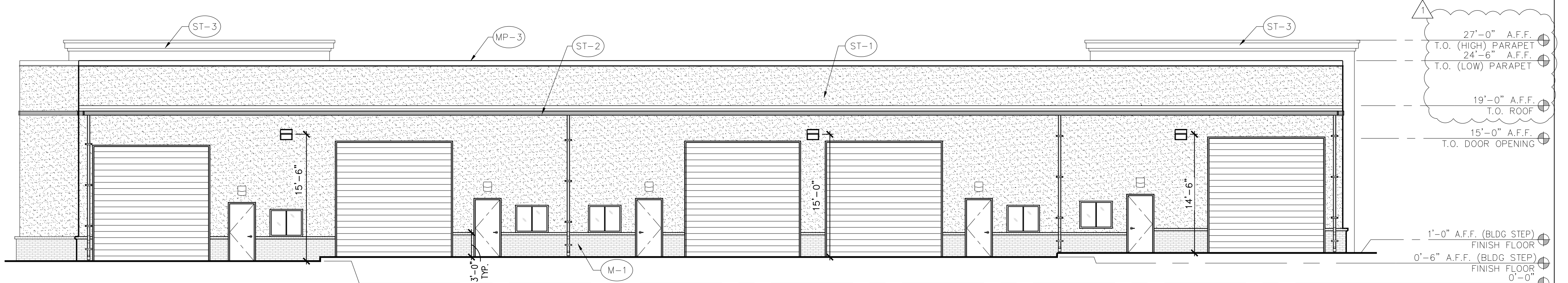
SHEET
A2.3
EXTERIOR ELEVATION SHELL BUILDING 3



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

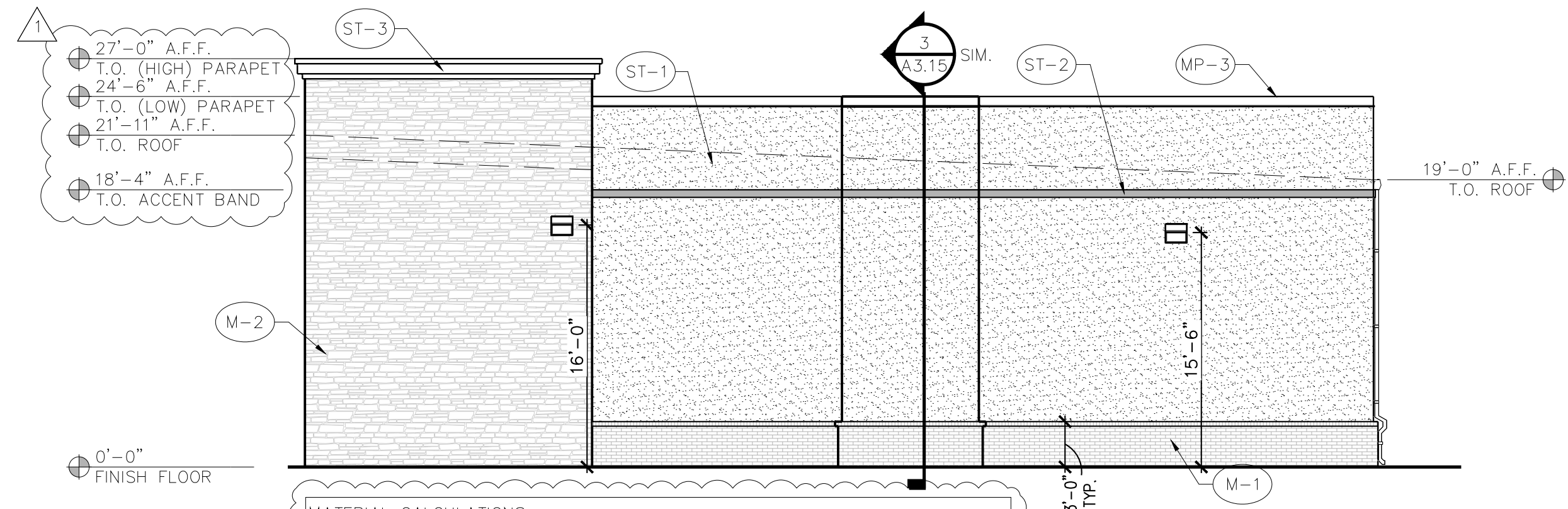
BRICK VENEER (ICE BLACK):	117 SQ. FT. (3%)
AUSTIN STONE VENEER:	1182 SQ. FT. (30%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1262 SQ. FT. (31%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	47 SQ. FT. (1%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	94 SQ. FT. (2%)
OVERHEAD COILING DOOR:	1000 SQ. FT. (25%)
HOLLOW METAL DOOR	150 SQ. FT. (4%)
GLAZING	70 SQ. FT. (2%)
MISC. (METAL COPING / AWNING)	77 SQ. FT. (2%)
FACADE TOTAL:	3999 SQ. FT.
MASONRY TOTAL:	98%



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	218 SQ. FT. (5%)
AUSTIN STONE VENEER:	106 SQ. FT. (3%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	2195 SQ. FT. (55%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	81 SQ. FT. (2%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	89 SQ. FT. (2%)
OVERHEAD COILING DOOR:	1000 SQ. FT. (25%)
HOLLOW METAL DOOR	125 SQ. FT. (3%)
GLAZING	70 SQ. FT. (2%)
MISC. (METAL COPING)	108 SQ. FT. (3%)
FACADE TOTAL:	3992 SQ. FT.
MASONRY TOTAL:	97%



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

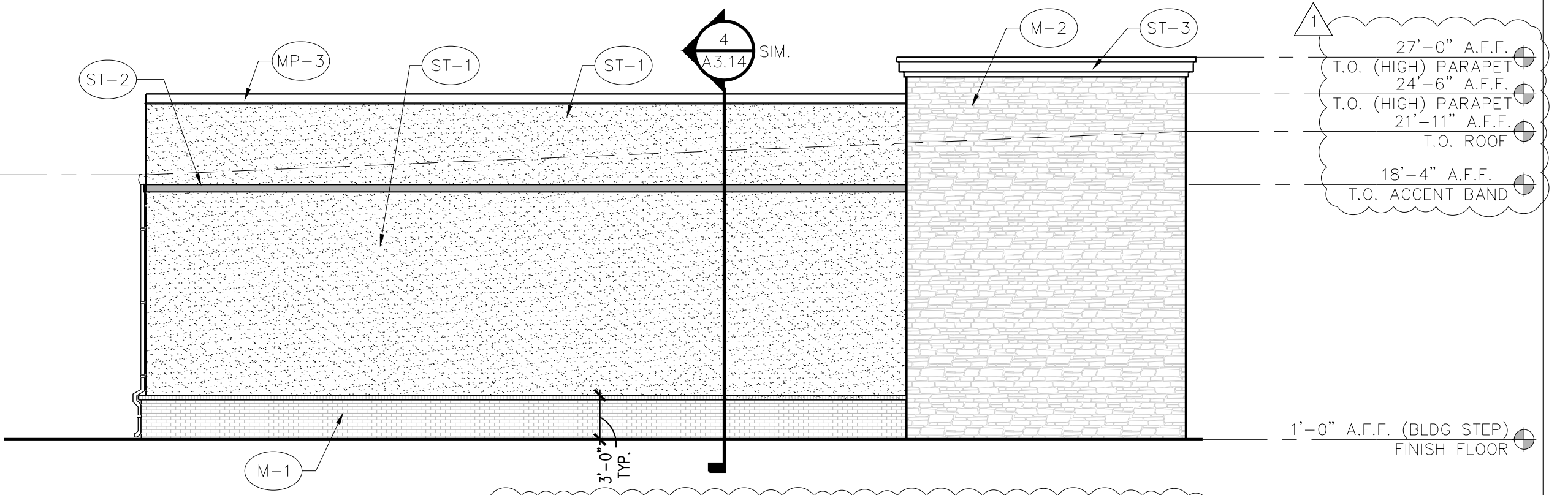
MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	156 SQ. FT. (9%)
AUSTIN STONE VENEER:	478 SQ. FT. (27%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	1025 SQ. FT. (59%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	26 SQ. FT. (1%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	27 SQ. FT. (2%)
MISC. (METAL COPING)	33 SQ. FT. (2%)
FACADE TOTAL:	1745 SQ. FT.
MASONRY TOTAL:	98%

EXTERIOR FINISH SCHEDULE

NUMBER	TYPE	DETAIL DESCRIPTION
M-1	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK
M-2	STONE VENEER	4" NATURAL STONE VENEER COLOR: AUSTIN STONE
MP-3	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
PT-5	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
ST-1	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
ST-2	3-COAT STUCCO	MANUFACTURER: SHERWIN WILLIAMS COLOR: GARAGES OF AMERICA RED NOTE: PANTONE 200C RGB: 183, 18, 52 CMYK 3, 100, 66, 21 HEX: B71234
ST-3	3-COAT STUCCO	COLOR: GAUNTLET GRAY (SW7019)
AL-1	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

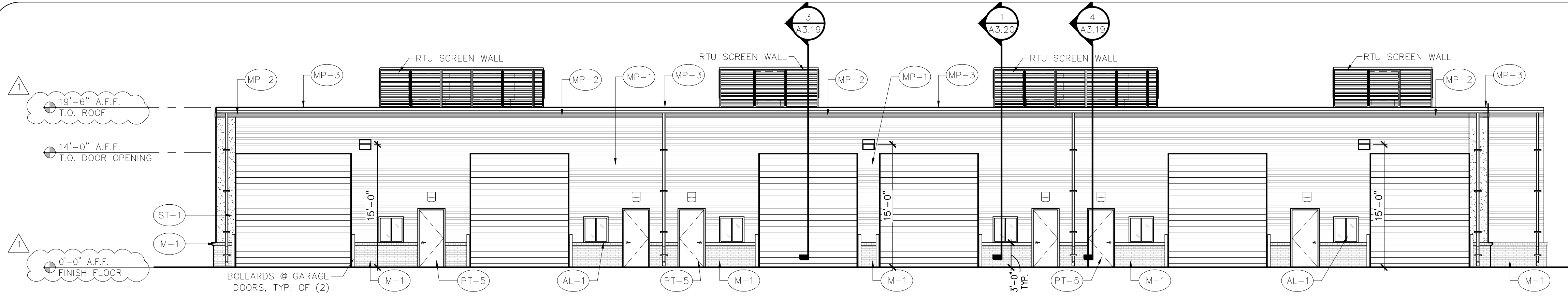
NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

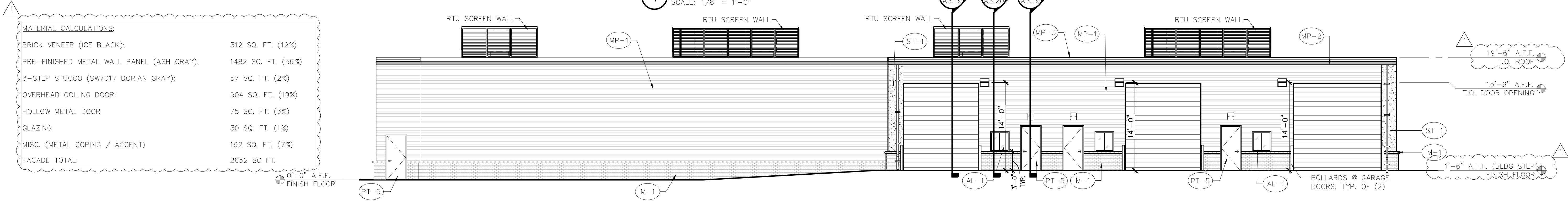
BRICK VENEER (ICE BLACK):	156 SQ. FT. (9%)
AUSTIN STONE VENEER:	459 SQ. FT. (27%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	974 SQ. FT. (58%)
3-STEP STUCCO (GARAGES OF AMERICA RED):	26 SQ. FT. (2%)
3-STEP STUCCO (SW7019 GAUNTLET GRAY):	27 SQ. FT. (2%)
MISC. (METAL COPING)	35 SQ. FT. (2%)
FACADE TOTAL:	1677 SQ. FT.
MASONRY TOTAL:	98%



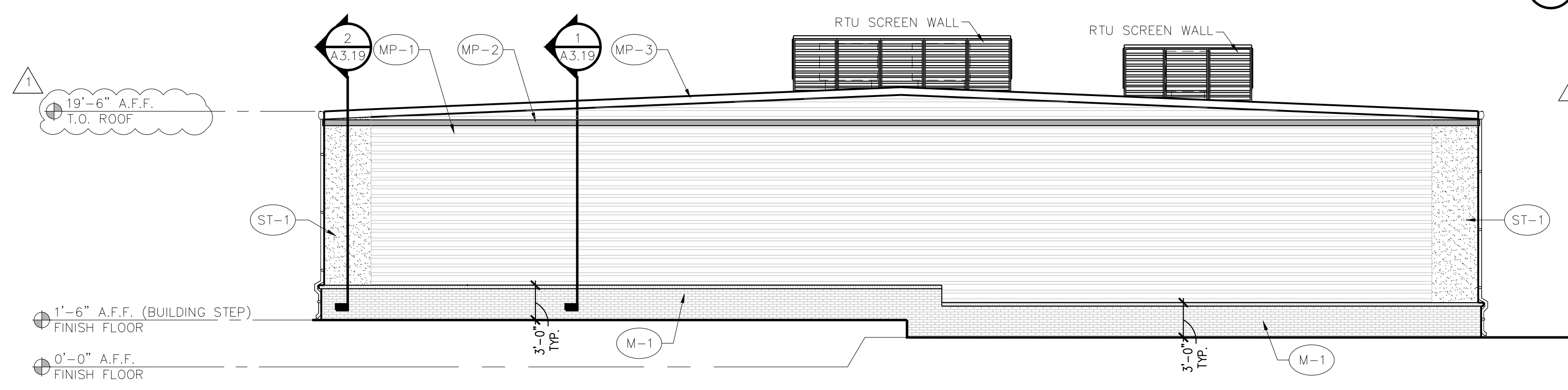
MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	204 SQ. FT. (7%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	1142 SQ. FT. (40%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	62 SQ. FT. (2%)
OVERHEAD COILING DOOR:	1040 SQ. FT. (37%)
HOLLOW METAL DOOR	150 SQ. FT. (5%)
GLAZING	60 SQ. FT. (2%)
MISC. (METAL COPING / ACCENT)	192 SQ. FT. (7%)
FACADE TOTAL:	2850 SQ. FT.

1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



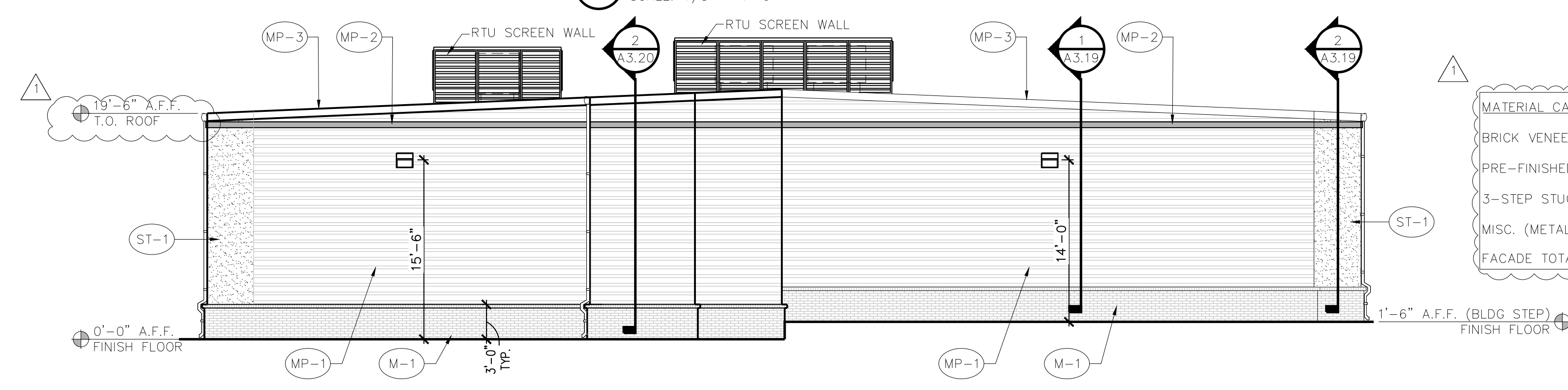
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	305 SQ. FT. (17%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	1251 SQ. FT. (71%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	102 SQ.FT. (6%)
MISC. (METAL COPING / ACCENT)	116 SQ.FT. (6%)
FACADE TOTAL:	1774 SQ.FT.



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

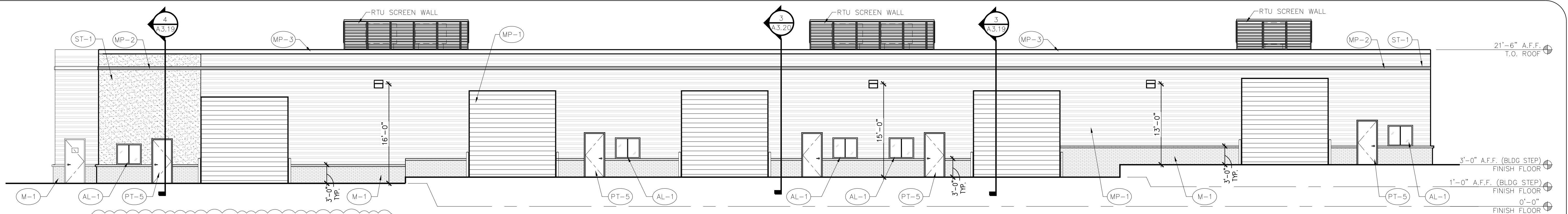
BRICK VENEER (ICE BLACK):	305 SQ. FT. (17%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	1256 SQ. FT. (71%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	102 SQ.FT. (6%)
MISC. (METAL COPING / ACCENT)	116 SQ.FT. (6%)
FACADE TOTAL:	1779 SQ.FT.

EXTERIOR FINISH SCHEDULE

NUMBER	TYPE	DETAIL DESCRIPTION
(M-1)	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK
(M-2)	STONE VENEER	4" NATURAL STONE VENEER COLOR: AUSTIN STONE
(PT-5)	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
(MP-1)	PRE-FINISHED METAL PANEL	MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY
(MP-2)	PRE-FINISHED METAL FLASHING	MANUFACTURER: ALLIANCE STEEL COLOR: TO MATCH GARAGES OF AMERICA RED NOTE: PANTONE 200C RGB: 183, 18, 52 CMYK 3, 100, 66, 21 HEX: B71234
(MP-3)	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
(ST-1)	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
(AL-1)	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

HVAC - SCREENING
DETAIL DESCRIPTION
MANUFACTURER: ALLIANCE STEEL
STYLE: LOUVER (HORIZONTAL)
COLOR: ASH GRAY

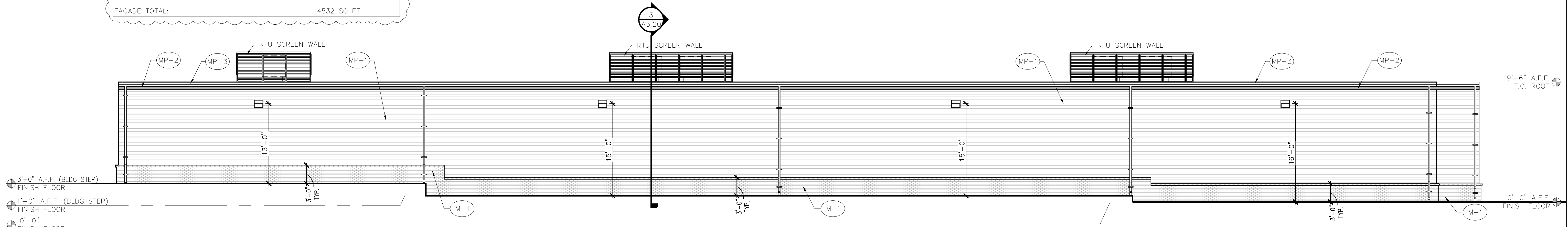
NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

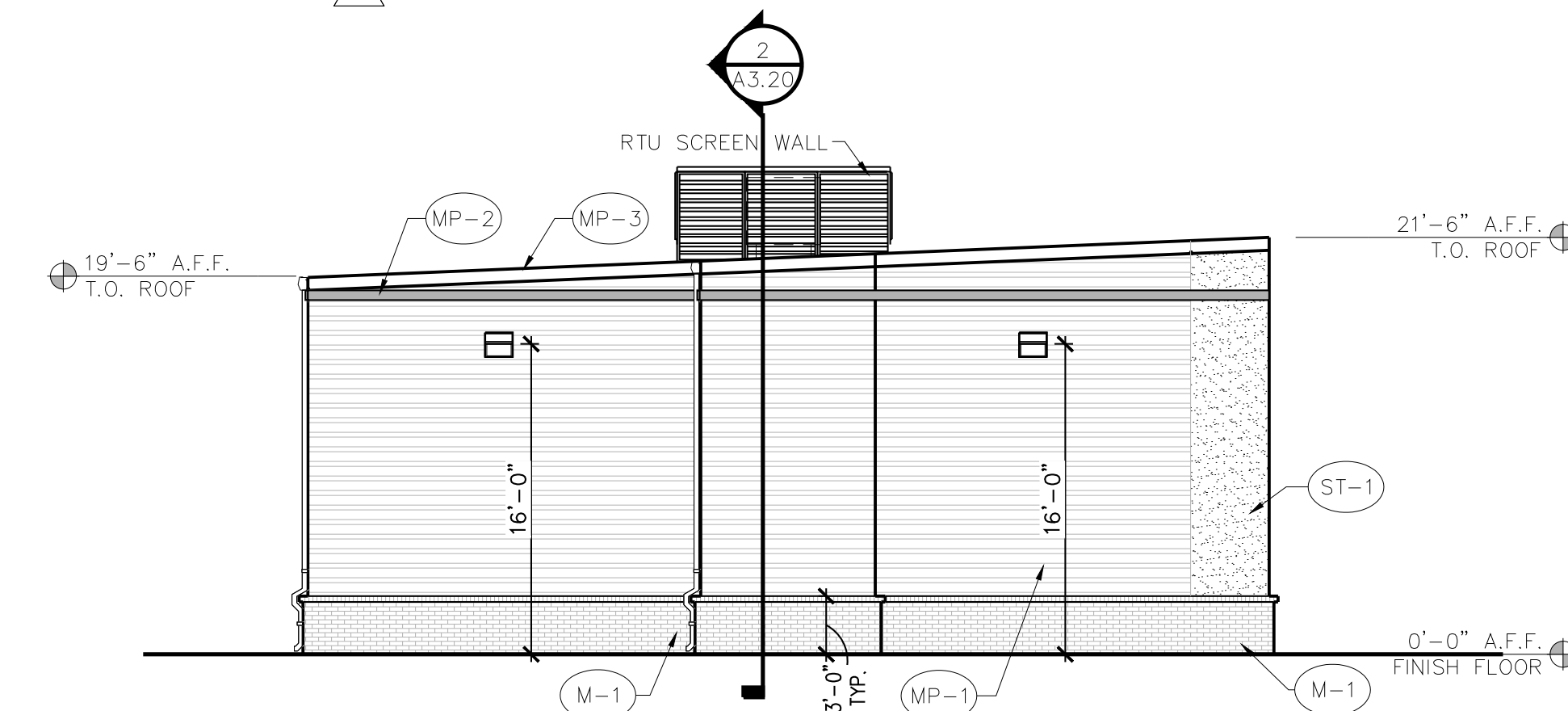
BRICK VENEER (ICE BLACK):	415 SQ. FT. (9%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	2377 SQ. FT. (52%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	258 SQ. FT. (6%)
OVERHEAD COILING DOOR:	1000 SQ. FT. (22%)
HOLLOW METAL DOOR	150 SQ. FT. (3%)
GLAZING	70 SQ. FT. (2%)
MISC. (METAL COPING / ACCENT)	262 SQ. FT. (6%)
FACADE TOTAL:	4532 SQ. FT.



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	676 SQ. FT. (17%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	3108 SQ. FT. (76%)
MISC. (METAL COPING / ACCENT)	273 SQ. FT. (7%)
FACADE TOTAL:	4057 SQ. FT.



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

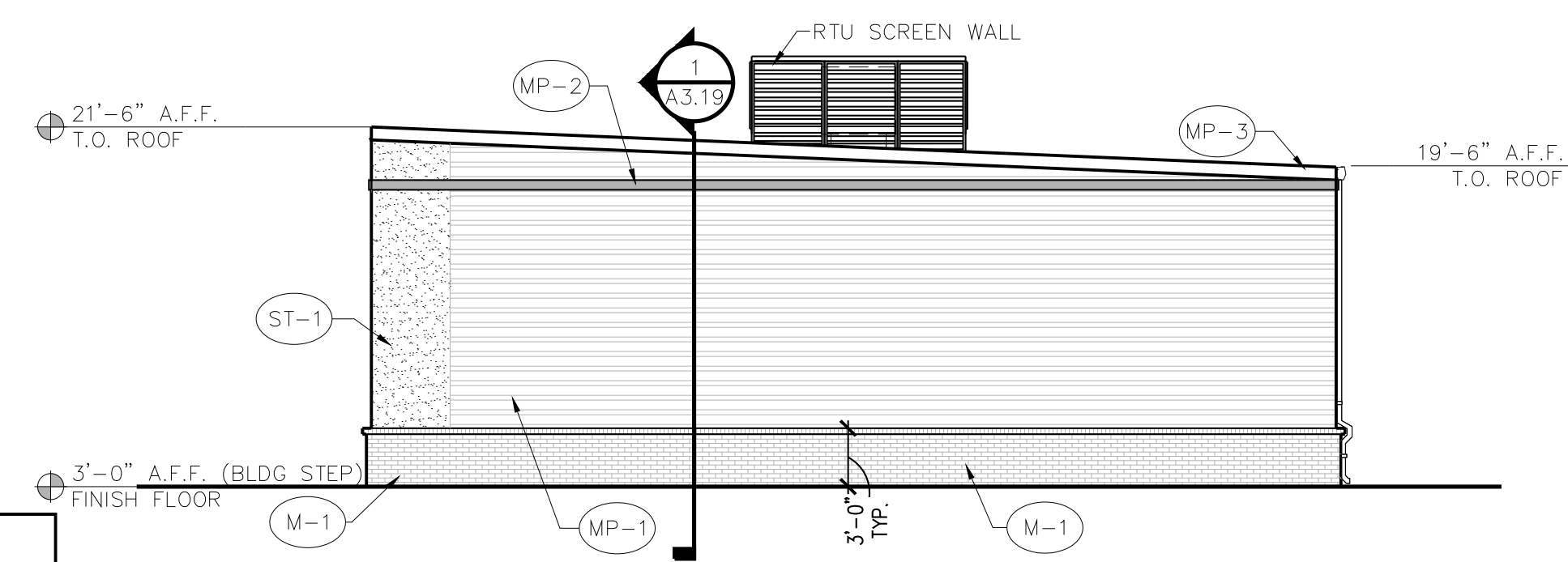
MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	151 SQ. FT. (16%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	669 SQ. FT. (71%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	70 SQ. FT. (7%)
MISC. (METAL COPING / ACCENT)	58 SQ. FT. (6%)
FACADE TOTAL:	975 SQ. FT.

EXTERIOR FINISH SCHEDULE

NUMBER	TYPE	DETAIL DESCRIPTION
(M-1)	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK
(M-2)	STONE VENEER	4" NATURAL STONE VENEER COLOR: AUSTIN STONE
(PT-5)	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
(MP-1)	PRE-FINISHED METAL PANEL	MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY
(MP-2)	PRE-FINISHED METAL FLASHING	MANUFACTURER: ALLIANCE STEEL COLOR: TO MATCH GARAGES OF AMERICA RED NOTE: PANTONE 200C RGB: 183, 18, 52 CMYK 3, 100, 66, 21 HEX: B71234
(MP-3)	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
(ST-1)	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
(AL-1)	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	151 SQ. FT. (17%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	602 SQ. FT. (69%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	58 SQ. FT. (7%)
MISC. (METAL COPING / ACCENT)	58 SQ. FT. (7%)
FACADE TOTAL:	869 SQ. FT.

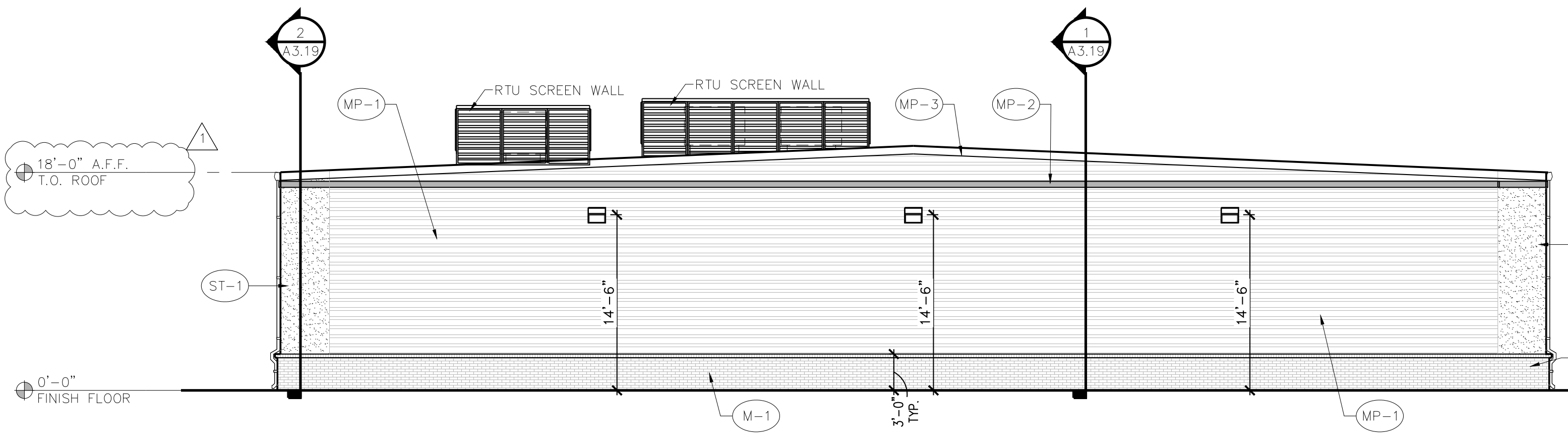
HVAC - SCREENING

DETAIL DESCRIPTION
MANUFACTURER: ALLIANCE STEEL STYLE: LOUVER (HORIZONTAL) COLOR: ASH GRAY



Revisions:
REVISION 1 / 10-11-2023 / BY DBL
GRADING/OWNER CHANGES

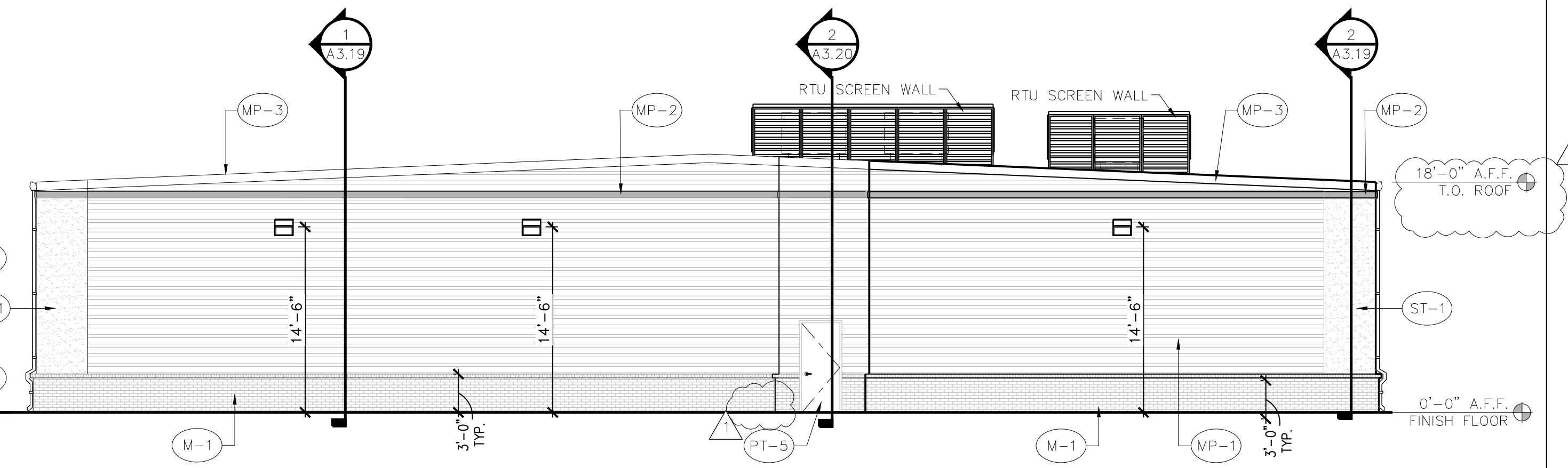
File Name: 22161-A2.7
Project No: 22161
Date: 10/11/23
Drawn By: DBL
Checked By: JWF



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

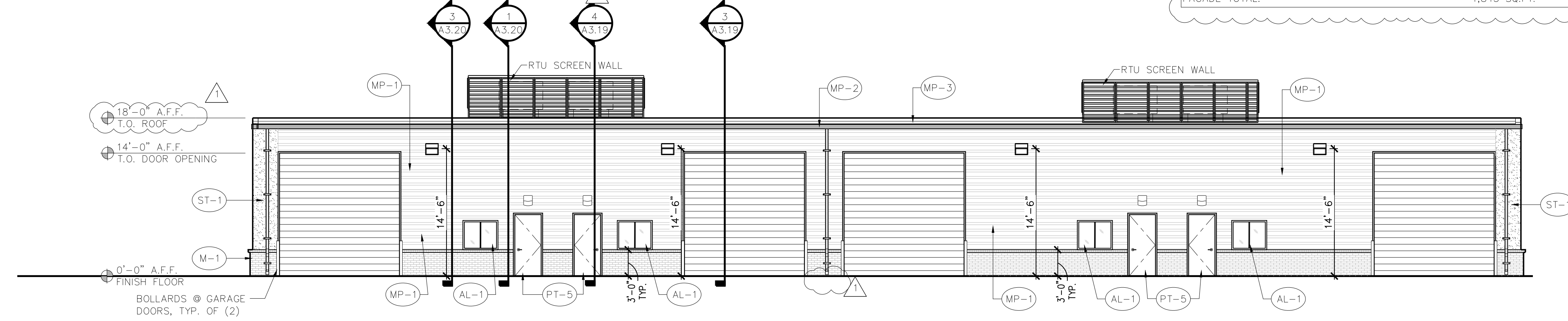
BRICK VENEER (ICE BLACK):	315 SQ. FT. (17%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	1,305 SQ. FT. (71%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	100 SQ.FT. (4%)
MISC. (METAL COPING / ACCENT)	123 SQ.FT. (8%)
FACADE TOTAL:	1,843 SQ.FT.



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

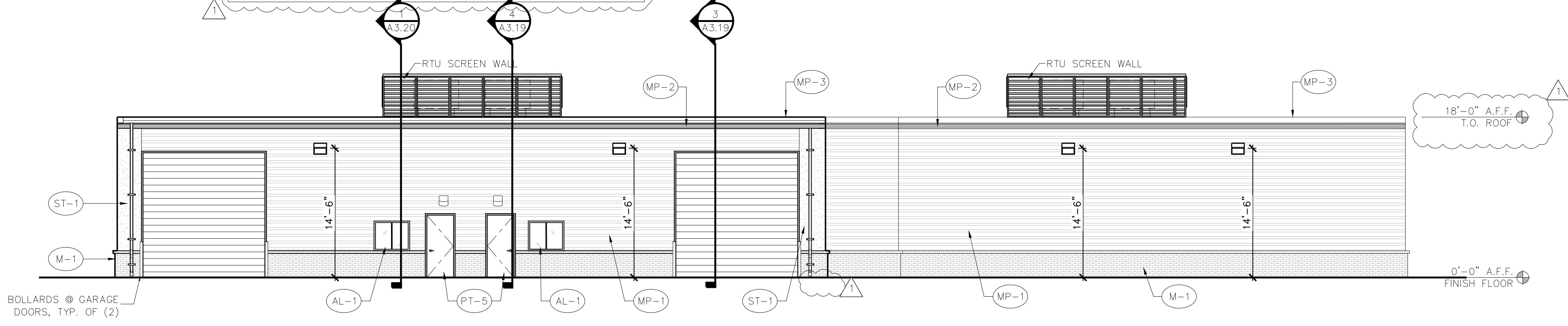
BRICK VENEER (ICE BLACK):	306 SQ. FT. (17%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	1,290 SQ. FT. (71%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	100 SQ.FT. (4%)
HOLLOW METAL DOOR:	24 SQ.FT. (1%)
MISC. (METAL COPING / ACCENT)	123 SQ.FT. (7%)
FACADE TOTAL:	1,843 SQ.FT.



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	228 SQ. FT. (10%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	967 SQ. FT. (40%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	71 SQ. FT. (3%)
OVERHEAD COILING DOOR:	800 SQ. FT. (33%)
HOLLOW METAL DOOR	96 SQ. FT. (4%)
GLAZING	56 SQ. FT. (2%)
MISC. (METAL COPING / ACCENT)	178 SQ. FT. (8%)
FACADE TOTAL:	2,396 SQ. FT.



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

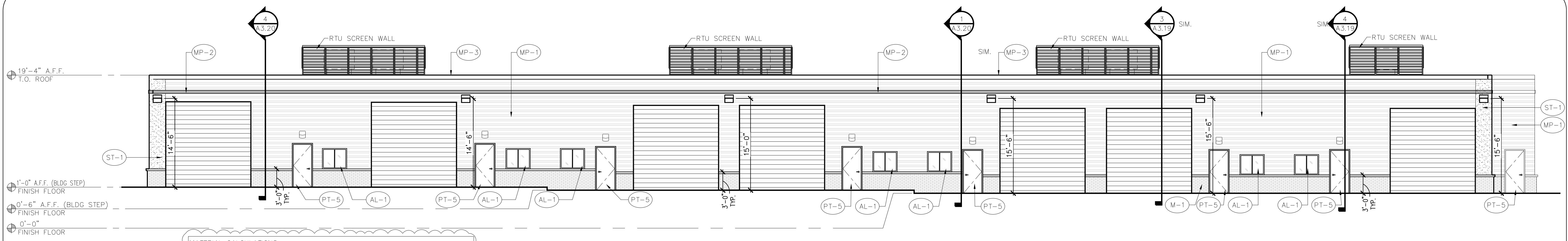
MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	331 SQ. FT. (14%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	1,330 SQ. FT. (56%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	71 SQ. FT. (3%)
OVERHEAD COILING DOOR:	400 SQ. FT. (16%)
HOLLOW METAL DOOR	48 SQ. FT. (2%)
GLAZING	28 SQ. FT. (1%)
MISC. (METAL COPING / ACCENT)	178 SQ. FT. (8%)
FACADE TOTAL:	3,284 SQ. FT.

HVAC - SCREENING
DETAIL DESCRIPTION
MANUFACTURER: ALLIANCE STEEL
STYLE: LOUVER (HORIZONTAL)
COLOR: ASH GRAY

NUMBER	TYPE	DETAIL DESCRIPTION
M-1	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK
M-2	STONE VENEER	4" NATURAL STONE VENEER COLOR: AUSTIN STONE
PT-5	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
MP-1	PRE-FINISHED METAL PANEL	MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY
MP-2	PRE-FINISHED METAL FLASHING	MANUFACTURER: ALLIANCE STEEL COLOR: TO MATCH GARAGES OF AMERICA RED NOTE: PANTONE 200C
MP-3	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
ST-1	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
AL-1	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

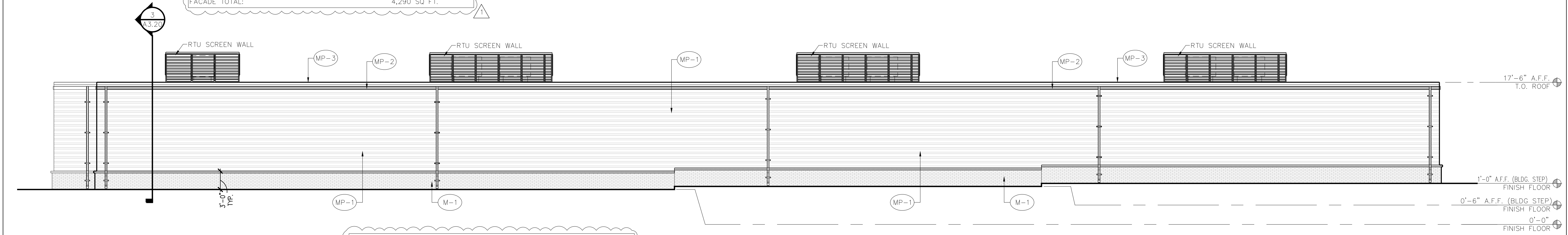
NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY



MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	315 SQ. FT. (7%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	1,968 SQ. FT. (46%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	78 SQ. FT. (2%)
OVERHEAD COILING DOOR:	1,372 SQ. FT. (32%)
HOLLOW METAL DOOR	192 SQ. FT. (4%)
GLAZING	98 SQ. FT. (2%)
MISC. (METAL COPING / ACCENT)	267 SQ. FT. (7%)
FACADE TOTAL:	4,290 SQ. FT.

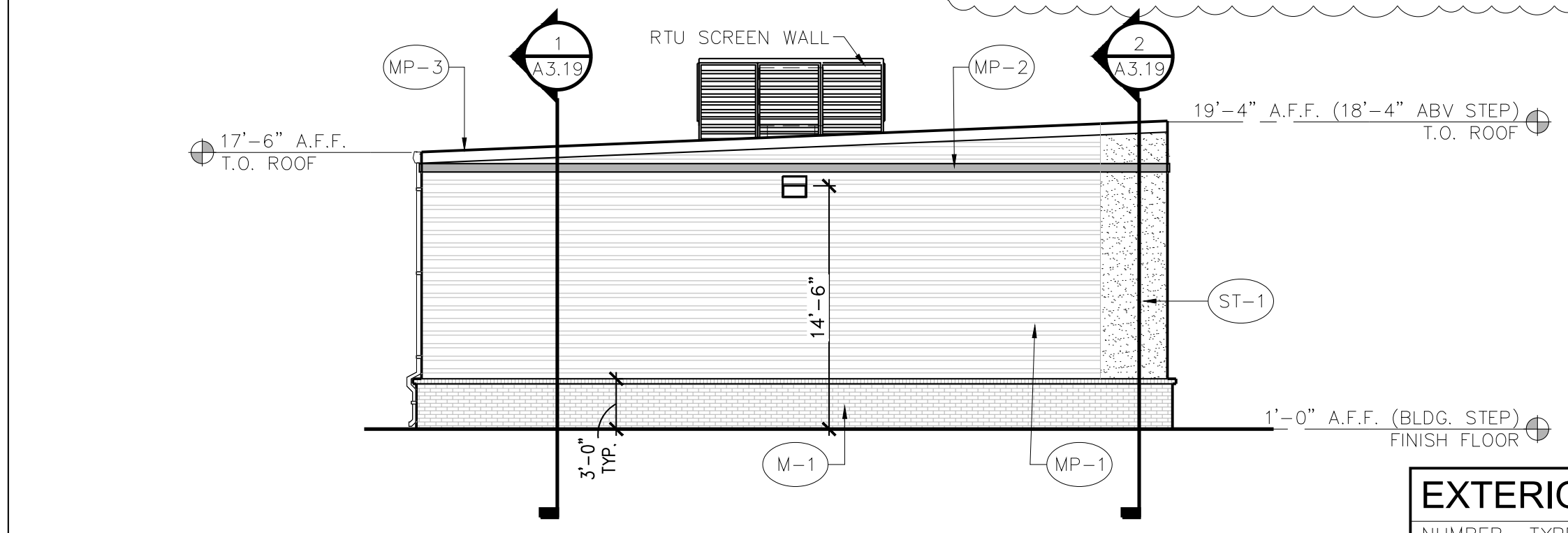
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	681 SQ. FT. (18%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	2,925 SQ. FT. (76%)
MISC. (METAL COPING / ACCENT)	267 SQ. FT. (6%)
FACADE TOTAL:	3,873 SQ. FT.

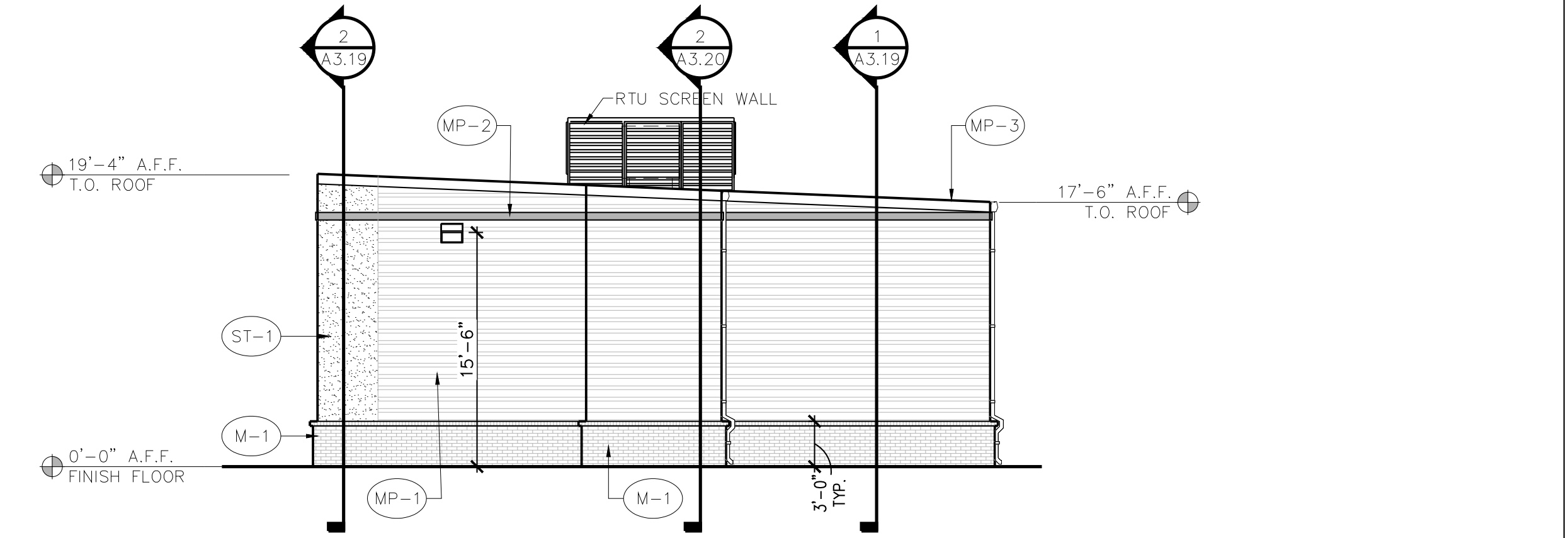
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	135 SQ. FT. (17%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	535 SQ. FT. (69%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	57 SQ. FT. (7%)
MISC. (METAL COPING / ACCENT)	51 SQ. FT. (7%)
FACADE TOTAL:	779 SQ. FT.

3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



MATERIAL CALCULATIONS:

BRICK VENEER (ICE BLACK):	135 SQ. FT. (16%)
PRE-FINISHED METAL WALL PANEL (ASH GRAY):	575 SQ. FT. (70%)
3-STEP STUCCO (SW7017 DORIAN GRAY):	61 SQ. FT. (7%)
MISC. (METAL COPING / ACCENT)	51 SQ. FT. (7%)
FACADE TOTAL:	822 SQ. FT.

4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

EXTERIOR FINISH SCHEDULE

NUMBER	TYPE	DETAIL DESCRIPTION
M-1	BRICK VENEER	MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK
M-2	STONE VENEER	4" NATURAL STONE VENEER COLOR: AUSTIN STONE
PT-5	PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019)
MP-1	PRE-FINISHED METAL PANEL	MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY
MP-2	PRE-FINISHED METAL FLASHING	MANUFACTURER: ALLIANCE STEEL COLOR: TO MATCH GARAGES OF AMERICA RED NOTE: PANTONE 200C
MP-3	PRE-FINISHED METAL COPING	MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY
ST-1	3-COAT STUCCO	COLOR: DORIAN GRAY (SW7017)
AL-1	ALUMINUM STOREFRONT	MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED

HVAC - SCREENING

DETAIL DESCRIPTION
MANUFACTURER: ALLIANCE STEEL STYLE: LOUVER (HORIZONTAL) COLOR: ASH GRAY

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

PLAN LEGEND

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	78	ACER SACCHARUM 'CADD0' CADD0 MAPLE	4" CAL.	16'-18" HT
	41	MAGNOLIA G. 'LITTLE GEM' LITTLE GEM MAGNOLIA	4" CAL.	14'-16" HT
	79	QUERCUS STELLATA DELTA POST OAK	4" CAL MIN	14'-16" HT
	33	PLATANUS OCCIDENTALIS AMERICAN SYCAMORE	4" CAL MIN	14'-16" HT
	27	TAXODIUM DISTICHUM BALD CYPRESS	4" CAL. MIN	14'-16" HT
	78	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL.	16'-18" HT
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	21	CERCIS CANADENSIS EASTERN REDBUD, 3-5 STEMS	1/2" PER STEM	4' -6' HT
	26	ILEX DECIDUA POSSUM HAW, 3-5 STEMS	1/2" PER STEM	4' -6' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	95	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	
	56	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	5 GAL	
	49	MUHLENBERGIA RIGENS DEER GRASS	5 GAL.	
	522	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	122,110 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	
	63,033 SF	BLACKLAND PRAIRIE SEED MIX	HYDROSEED	
	12,362 SF	DAM SLOPE SEED MIX	HYDROSEED	
	11,882 SF	2"-4" ROCK COBBLE, 3"-6" DEEP, LOCALLY SOURCED, PLACE OVER PERMEABLE WEED BARRIER FABRIC W/ NO FABRIC VISIBLE		

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	30' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
FM 3097 - HORIZON RD.: ±1,090' STREET FRONTAGE	20' WIDE BUFFER REQ. W/ 3 CANOPY + 4 ACCENT TREE PER 100 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE. 30" HIGH, MIN. 33 CANOPY TREES, 44 ACCENT TREES, BERM W/ SHRUBS 33 NEW CANOPY TREES; 44 ACCENT TREES W/ BERM AND SHRUBS 1 CANOPY TREE @ 20' O.C. + CONTINUOUS ROW OF SHRUBS 78 TREES + SHRUB ROW 2 EXISTING TREES + 76 CANOPY TREES + SHRUB ROW
REQUIRED PLANTING: PROVIDED 30' BUFFER:	NOT REQUIRED. PROPERTY ZONED COMMERCIAL (C)
EAST PROPERTY LINE BUFFER: 1,531 L.F. REQUIRED PLANTING PROVIDED:	
WEST PROPERTY LINE BUFFER:	
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS DWARF WAX MYRTLE SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES NOT APPLICABLE
PROVIDED SCREENING	
SCREENING FROM RESIDENTIAL	
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT	
TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	590,200 SF 118,040 SF (20%) ±187,380 SF (31.7%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	102,608 SF (17.4%)
MIN. SIZE OF AREAS:	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASIN (XERISCAPE OPTION): PROPOSED DETENTION BASIN:	MIN. (1) SHRUB/ORNAMENTAL GRASS PER 750 SF ±29,713 SF / 750 = 40 SHRUBS
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA. ±70,690 SF ±3,535 SF (70,690 x 5%) AND (1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES INTERNAL TO PARKING AREAS (PARKING AREA OVER 20,000 SF) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK ±9,968 SF (9.9%) 295 PARKING SPACES / 10 = 29.5 (30) TREES 33 CANOPY TREES
PROPOSED PARKING AREA: REQ. PARKING LOT LANDSCAPING:	
PROPOSED PARKING LOT LANDSCAPING:	
TREES PROVIDED:	

SITE DATA TABLE

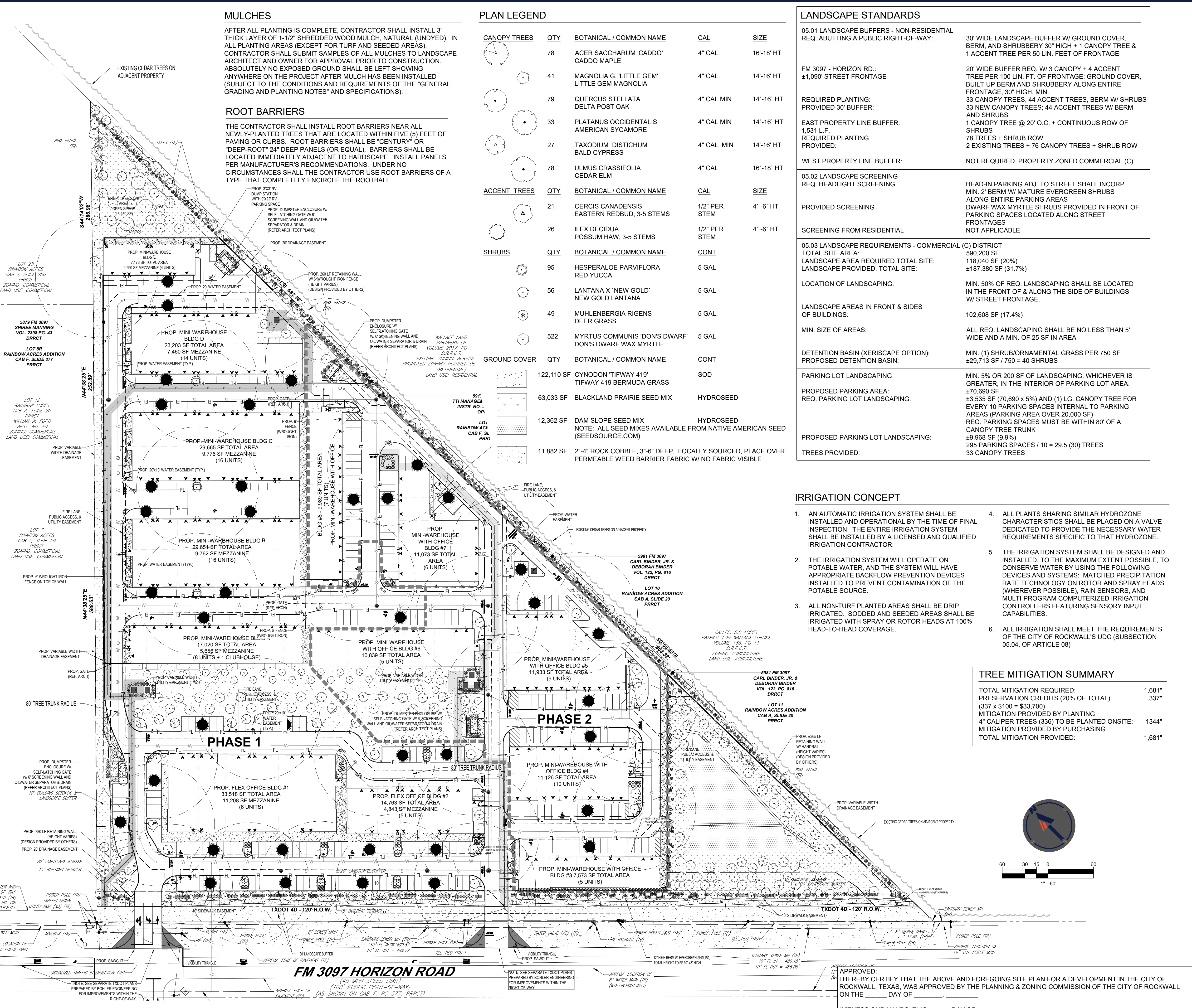
SITE AREA	13.55 AC / 590,200 SF
LEGAL DESCRIPTION	LOT 5, BLOCK B HORIZON RIDGE ADDITION
EXISTING ZONING	AG (Agricultural District)
PROPOSED ZONING	PD (Planned Devel. District)
PROPOSED BASE ZONING DISTRICT	C (Commercial District)
EXISTING LAND USE	RESIDENTIAL
PROP. LAND USE	Mini-Warehouse & Flex Office
MINI-WAREHOUSE UNIT COUNT	58
MINI-WAREHOUSE W/ OFFICE UNIT COUNT	42
FLEX OFFICE UNIT COUNT	11
MINIMUM DISTANCE BTWN BUILDINGS	10'
MAX. BLDG. COVERAGE	60%
MAX. FLOOR-AREA-RATIO (FAR)	4:1
MAX. HEIGHT	36'
PERVIOUS AREA	193,242 SF
IMPERVIOUS AREA	396,958 SF
PERCENT IMPERVIOUS	67.26%

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	1,681"
PRESERVATION CREDITS (20% OF TOTAL):	337"
(337 x \$100 = \$33,700)	
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (336) TO BE PLANTED ONSITE:	1344"
MITIGATION PROVIDED BY PURCHASING	
TOTAL MITIGATION PROVIDED:	1,681"



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LANDSCAPE ARCHITECTURE
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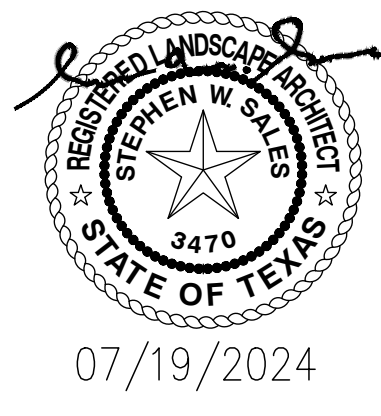
REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT: **FINAL ENGINEERING PLANS** FOR **Garages of Texas**
PROPOSED MINI-WAREHOUSE & OFFICE DEVELOPMENT
5901 HORIZON ROAD
ROCKWALL, TX 75032
13.55± ACRES
5879, 5917, & 5981 FM 3097
LOT 8R, 9R, 10 & 11
RAINBOW ACRES ADDITION
CITY OF ROCKWALL
ROCKWALL COUNTY



EVERGREEN DESIGN GROUP
(800) 686-6630
15455 Dallas Pkwy., Ste 600
Address, TX 75001
www.EvergreenDesignGroup.com

CASE # : SP2022-031
GARAGES OF TEXAS

OWNER:
GARAGES OF TEXAS @ TARPLEY, LLC
2323 TARPLEY RD., STE 100
CARROLLTON, TX 75006
PHONE: 866-379-3570
CONTACT NAME: FRED GANS

APPLICANT:
GARAGES OF TEXAS @ TARPLEY, LLC
2323 TARPLEY RD., STE 100
CARROLLTON, TX 75006
PHONE: 866-379-3570
CONTACT NAME: FRED GANS

SURVEYOR
HUDSON SITE CONTROL, LLC
2384 HWY 287 N, STE 224
MANSFIELD, TX 76063
PHONE: 817-225-6700
CONTACT NAME: RICHARD CUMMOCK

LEGAL DESCRIPTION:
5879,5917, & 5981 FM 3097
LOT 8R, 9R, & 10 RAINBOW ACRES ADDITION
CITY: ROCKWALL STATE: TEXAS
COUNTY: ROCKWALL SURVEY: ABSTRACT NO.

PLANS PREPARED BY **BOHLER** FOR REVIEW PURPOSES ONLY
MATHIAS HAUBERT LICENSE NUMBER: 19036

SHEET TITLE: **LANDSCAPE PLANTING PLAN**

SHEET NUMBER: **LP-1**

ORG. DATE - 04/21/2023

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 27 DAY OF SEPTEMBER 2022.

WITNESSED MY HANDS THIS 27 DAY OF SEPTEMBER 2022.

PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

CONTACTS

OWNER/APPLICANT: GARAGES OF TEXAS @ TARPLEY, LLC
2323 TARPLEY RD, STE 100
CARROLLTON, TX 75006
PHONE: 866-378-3370
CONTACT: FRED GANS

ENGINEER: BOHLER
6017 MAIN STREET
FRISCO, TX 75034
PHONE: 469-458-7300
CONTACT: MATHIAS HAUBERT

SURVEYOR: HUDSON SITE CONTROL, LLC
2384 HIGHWAY 287 N STE 224
MANSFIELD, TX 76063
PHONE: 817-225-6700
CONTACT: RICHARD CUMMOCK



GENERAL NOTES:

- THE PROPOSED DEVELOPMENT IS TO BE FOR MINI-WAREHOUSE & FLEX OFFICE USE.
- THE PROPERTY IS COMPOSED OF 13.55 ACRES.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PROPOSED SIDEWALKS, LANDINGS, AND BARRIER-FREE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
- HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
- THE REQUIRED SIDEWALK ALONG FM 3097 SHALL BE IN ACCORDANCE WITH TXDOT STANDARDS.
- NO 100-YEAR FLOODPLAIN EXISTS ON THE PROPERTY.
- PROPOSED BUILDINGS THAT ARE CLOSER THAN 15' SHALL INCORPORATE A FIRE RATED WALL.

LEGEND

[Symbol]	PROPERTY BOUNDARY
[Symbol]	ADJACENT PROPERTY BOUNDARY
[Symbol]	EXST. FENCE
[Symbol]	EXST. EASEMENTS
[Symbol]	EXST. TREE TO REMAIN
[Symbol]	EXST. TREE TO BE REMOVED

TREE MITIGATION INVENTORY:

LOCATION KEY	SPECIES	DBH (in)	PROTECTION CLASSIFICATION	TO BE REMOVED	MITIGATION REQUIRED (in)	TO REMAIN
10031	Winged Elm	16	Primary			X
10032	Winged Elm	8	Primary			X
10035	Cedar Elm	12	Secondary			X
10038	Bois D'arc	12	Unprotected			X
10039	Cedar Elm	12	Secondary	X	12	
10045	White Ash	16	Primary			X
10046	Hackberry	11	Secondary			X
10050	Cedar Elm	20	Secondary			X
10051	Bodarc	14	Primary	X		
10057	Hackberry	11	Secondary			X
10058	Cedar Elm	15	Secondary	X		
10061	Hackberry	15	Secondary			X
10066	Winged Elm	13	Primary			X
10069	Winged Elm	11	Primary			X
10072	Cedar Elm	12	Secondary			X
10073	Cedar Elm	12	Secondary			X
10075	Winged Elm	11	Primary			X
10078	Cedar Elm	11	Secondary			X
10080	Cedar Elm	12	Secondary	X	12	
10081	Cedar Elm	11	Secondary	X	11	
10082	Cedar Elm	11	Secondary	X	11	
10085	White Ash	12	Primary	X	12	
10086	White Ash	11	Primary	X	11	
10090	White Ash	14	Primary	X	14	
10166	Red Oak	12	Primary	X	12	
10167	Red Oak	17	Primary	X	17	
10170	Red Oak	15	Primary	X	15	
10171	Pecan	15	Primary	X	15	
10174	White Ash	18	Primary	X	18	
10175	White Ash	12	Primary	X	12	
10176	White Ash	14	Primary	X	14	
10177	White Ash	13	Primary	X	13	
10178	Cedar Elm	11	Secondary	X	11	
10179	White Ash	14	Primary	X	14	
10283	Cedar Elm	17	Secondary	X	17	
10284	White Ash	17	Primary			X
10285	White Ash	11	Primary	X	11	
10286	White Ash	12	Primary	X	12	
10287	Cedar Elm	11	Secondary	X	11	
10288	Cedar Elm	12	Secondary	X	12	
10289	Cedar Elm	11	Secondary	X	11	
10290	Cedar Elm	12	Secondary	X	12	
10291	Cedar Elm	14	Secondary	X	14	
10292	Cedar Elm	16	Secondary	X	16	
10293	Cedar Elm	12	Secondary	X	12	
10294	Cedar Elm	11	Secondary	X	11	
10295	Cedar	12	Secondary	X	6	
10296	Cedar	12	Secondary	X	6	
10297	Cedar	11	Secondary	X	5.5	
10298	Cedar	11	Secondary	X	5.5	
10299	Cedar	11	Secondary	X	5.5	
10300	Red Oak	11	Primary	X	11	
10301	Cedar Elm	20	Secondary	X	20	
10303	Red Oak	12	Primary	X	12	
10304	Sycamore	18	Primary	X	18	
10305	Sycamore	17	Primary	X	17	
10306	White Ash	17	Primary	X	17	
10307	Pine	10	Primary	X	10	
10322	White Ash	19	Primary			X
10323	Box Elder	20	Primary	X	20	
10324	Box Elder	16	Primary	X	16	
10325	Hackberry	11	Secondary	X	5.5	
10326	Bodarc	15	Unprotected	X		
10327	Cedar Elm	12	Secondary	X	12	
10328	Cedar Elm	11	Secondary	X	11	
10329	Cedar Elm	12	Secondary	X	12	
10330	Cedar Elm	19	Secondary	X	19	
10331	Cedar Elm	17	Secondary	X	17	
10332	Cedar Elm	13	Secondary	X	13	
10333	Cedar Elm	11	Secondary	X	11	

TREE MITIGATION INVENTORY NOTES:

- IT WAS ASSUMED THAT ALL TREES WERE IN "GOOD" CONDITION. FINAL DETERMINATION OF TREE HEALTH WILL BE INVESTIGATED AT THE TIME OF THE FINAL SITE PLAN.

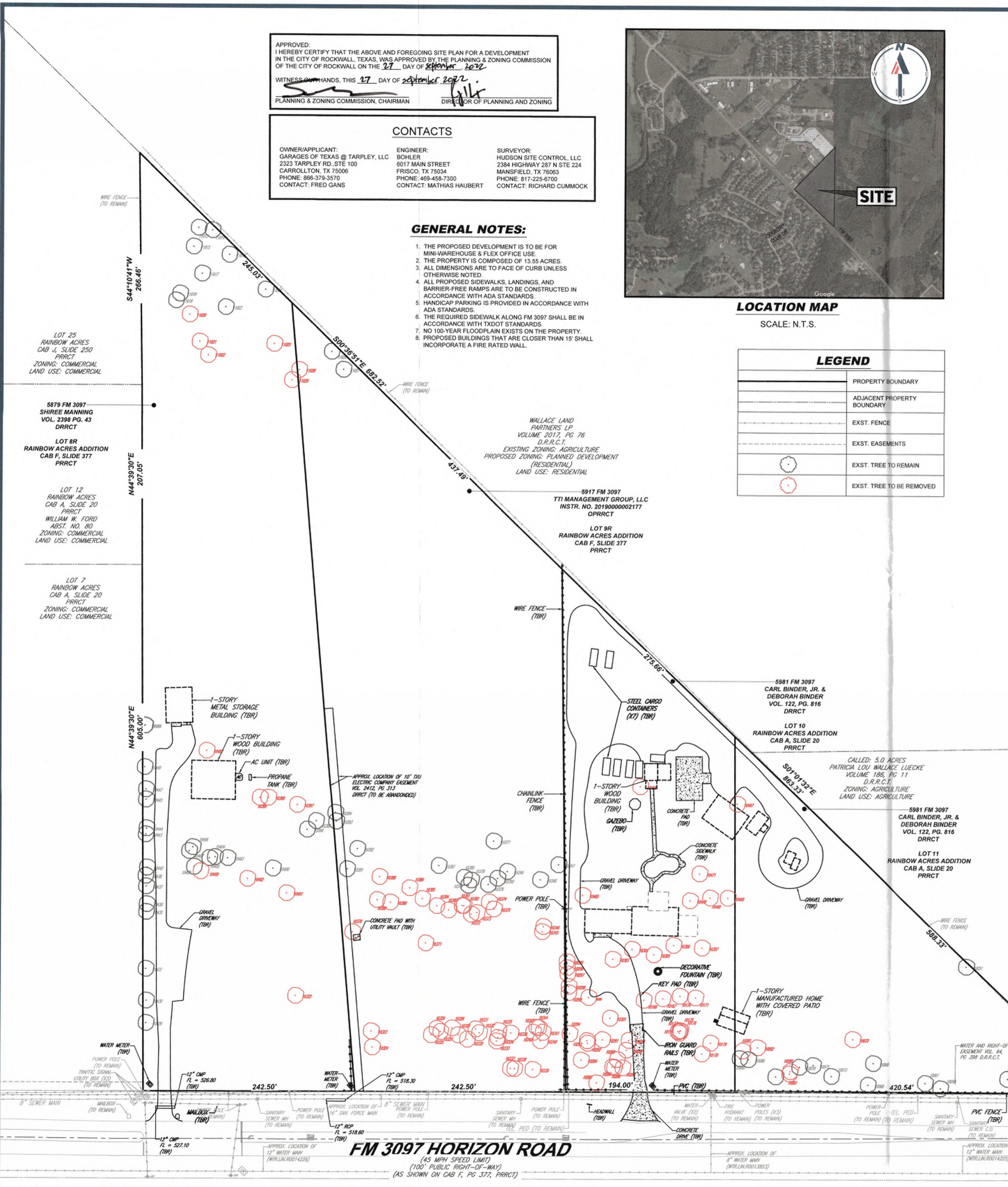
PREPARATION DATE NOTES:

- THIS TREE DISPOSITION PLAN WAS PREPARED ON MAY 3RD, 2022.
- THIS PLAN WAS BASED ON THE TREE LOCATION SURVEY SIGNED ON MARCH 18TH, 2022 BY HUDSON SITE CONTROL, LLC.

FLOOD NOTE:

PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY FEMA ON FLOOD INSURANCE RATE MAP NO. 48397C0105L, WITH A DATE OF IDENTIFICATION OF 09/26/2006.

TREE MITIGATION REQUIRED:
TOTAL MITIGATION REQUIRED (IN): 1,147"
(SEE LANDSCAPE PLAN)



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PROJECT No.: TXA220027-00
DRAWN BY: MJP
CHECKED BY: MJH
DATE: 07/06/2022
CAD I.D.: SDO

ROCKWALL SITE PLAN
FOR

5601 HORIZON ROAD
ROCKWALL, TX 75032
13.55± ACRES
5879, 5917 & 5981 FM 3097,
ROCKWALL, TX 75035
LOT 8R, 9R, 10 AND 11
RAINBOW ACRES ADDITION
CITY OF ROCKWALL,
ROCKWALL COUNTY

BOHLER

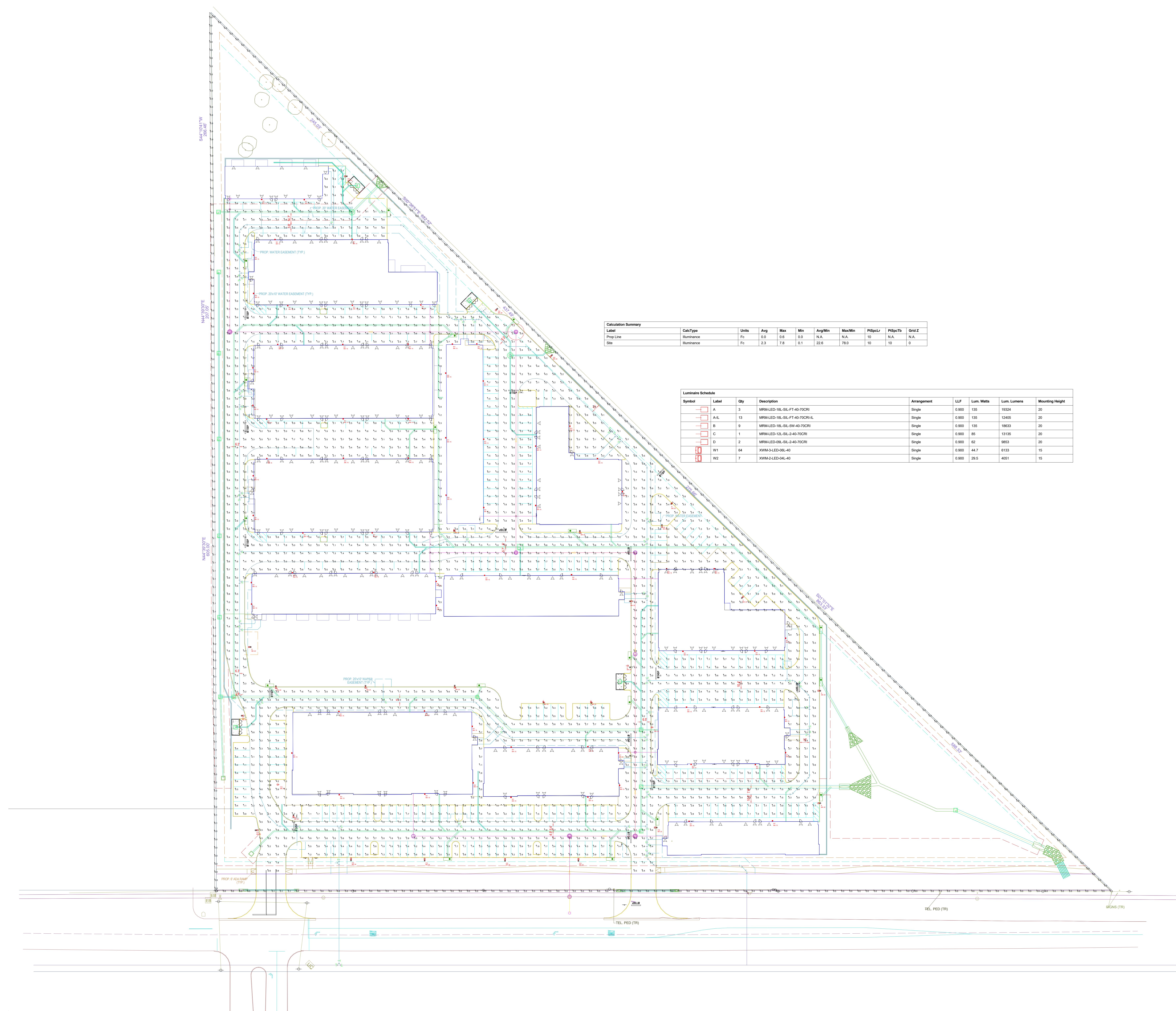
6017 MAIN STREET
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com
TBPE No. 18065 | TBPLS No. 10194413

PLANS PREPARED BY
BOHLER
FOR REVIEW PURPOSES ONLY
MATHIAS HAUBERT
LICENSE NUMBER: 13336

SHEET TITLE:
TREE MITIGATION PLAN

SHEET NUMBER:
02

ZONING CASE: SP2022-031



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Pts/L	Pts/Tb	Grid Z
Prop Line	Illuminance	Fc	0.0	0.6	0.0	N.A.	N.A.	10	N.A.	N.A.
Site	Illuminance	Fc	2.3	7.8	0.1	22.6	78.0	10	10	0

Luminaire Schedule

Symbol	Label	Qty	Description	Arrangement	LLF	Lum. Watts	Lum. Lumens	Mounting Height
[Symbol]	A	3	MRM4-LED-18L-SL-FT-40-70CRI	Single	0.900	135	19324	20
[Symbol]	A-IL	13	MRM4-LED-18L-SL-FT-40-70CRI-IL	Single	0.900	135	12405	20
[Symbol]	B	9	MRM4-LED-18L-SL-5W-40-70CRI	Single	0.900	135	19633	20
[Symbol]	C	1	MRM4-LED-12L-SL-2-40-70CRI	Single	0.900	85	13135	20
[Symbol]	D	2	MRM4-LED-06L-SL-2-40-70CRI	Single	0.900	62	9853	20
[Symbol]	W1	64	XWM3-LED-06L-40	Single	0.900	44.7	6133	15
[Symbol]	W2	7	XWM2-LED-04L-40	Single	0.900	29.5	4051	15

DISCLAIMER: --- CALCULATED VALUES:
 Calculations have been performed according to IESNA & CIE standards and good practice. Some differences between measured values and calculated results may occur due to changes in room and site conditions, such as room geometry, furniture, and ceiling reflectance, temperature variations, measuring techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectance, furniture and architecture elements significantly affect the lighting calculations. Such as differences in luminaire locations, area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions or lighting from other sources than listed in layouts, differences will occur between measured values and calculated values.

Comments:

Rev #	Date	Comments:
REV A	06/02/22	LED Lighting proposal
REV B	06/02/22	Changed per request
REV C	07/11/22	Changed background and future locations
REV D	07/13/22	Changed background and future locations
REV E	11/16/22	Changed background and future locations
REV F	11/16/22	Removed poles near retaining walls
REV G	04/18/23	Updated site with new CAD file

Revisions



**Garages of Texas
 Rockwell, TX**

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/6/2024

PROJECT NUMBER: SP2024-037
PROJECT NAME: Amended Site Plan for 5901 Horizon Road
SITE ADDRESS/LOCATIONS: 5901 HORIZON RD

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/05/2024	Needs Review

08/05/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.2 For reference, include the case number (SP2024-037) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- M.3 Only a scanned copy of the development application was provided. Staff must have a development application with a wet signature and notary. (Subsection 01.02(D), Article 11, UDC)
- M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Director of Planning & Zoning of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Director of Planning and Zoning

M.5 Landscape Plan.

(1) Understand that all of the required landscaping will be installed with Phase 1 of this development. This will include the landscape buffers, detention pond, adjacency, and parking lot landscaping. (Subsection 05.01, of Article 08)

M.6 Treescape Plan.

(1) If there are no changes to the treescape plan then it is not needed for the amended site plan. (Subsection 03.01, of Article 09)

M.7 Photometric Plan.

- (1) Please provide the same site data that was provided on the site plan (See Sec. 2.1 of the Checklist)
- (2) The light levels exceed 0.2 FC on a portion of the east property line. Please correct this. (Subsection 03.03. G, of Article 07)
- (3) Please provide cut sheets of all proposed light fixtures. (Subsection 03.03, of Article 07)

M.8 Building Elevations

- (1) Please provide Building 1 with the Phase 1 building elevations; Building B was included twice. (Subsection 06.02, of Article 05)
- (2) Please remove the doors and windows from the material percentages. Staff needs to verify that the material requirements are still met. (Subsection 04.01, of Article 05)
- (3) Please indicate the roofing material on the pitched roof buildings. If metal, they must be standing seam; include this on the material table for each building. (Subsection 04.01, of Article 05)

I.9 Based on the scope of work (i.e. establishing phasing) for the proposed amended site plan, this case is administrative in nature. This is due to no changes in conformance to the Unified Development Code (UDC).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Henry Lee	08/05/2024	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Henry Lee	08/05/2024	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/06/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/02/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/01/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	08/05/2024	N/A
No Comments			



DATE: August 29, 2024

TO: Fred Gans
Garages of America @ Rockwall LLC
2323 Tarpley Road, Suite 100
Carrollton, Texas 75006

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2024-037; *Administrative Site Plan for Garages of America*

Fred Gans:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Director of Planning and Zoning on August 25, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning

On August 25, 2024, the Director of Planning and Zoning approved the administrative site plan.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6434.

Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a faint, larger signature.

Henry Lee, AICP, *Senior Planner*
City of Rockwall Planning and Zoning Department

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.

PLAN LEGEND

Table with columns: CANOPY TREES, QTY, BOTANICAL / COMMON NAME, CAL, SIZE. Includes entries for Acer saccharum, Magnolia, Quercus stellata, etc.

LANDSCAPE STANDARDS

Table with columns: REQUIREMENT, STANDARD. Includes sections for Landscape Buffers, Screening, and Requirements - Commercial (C) District.

IRRIGATION CONCEPT

- 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.

TREE MITIGATION SUMMARY

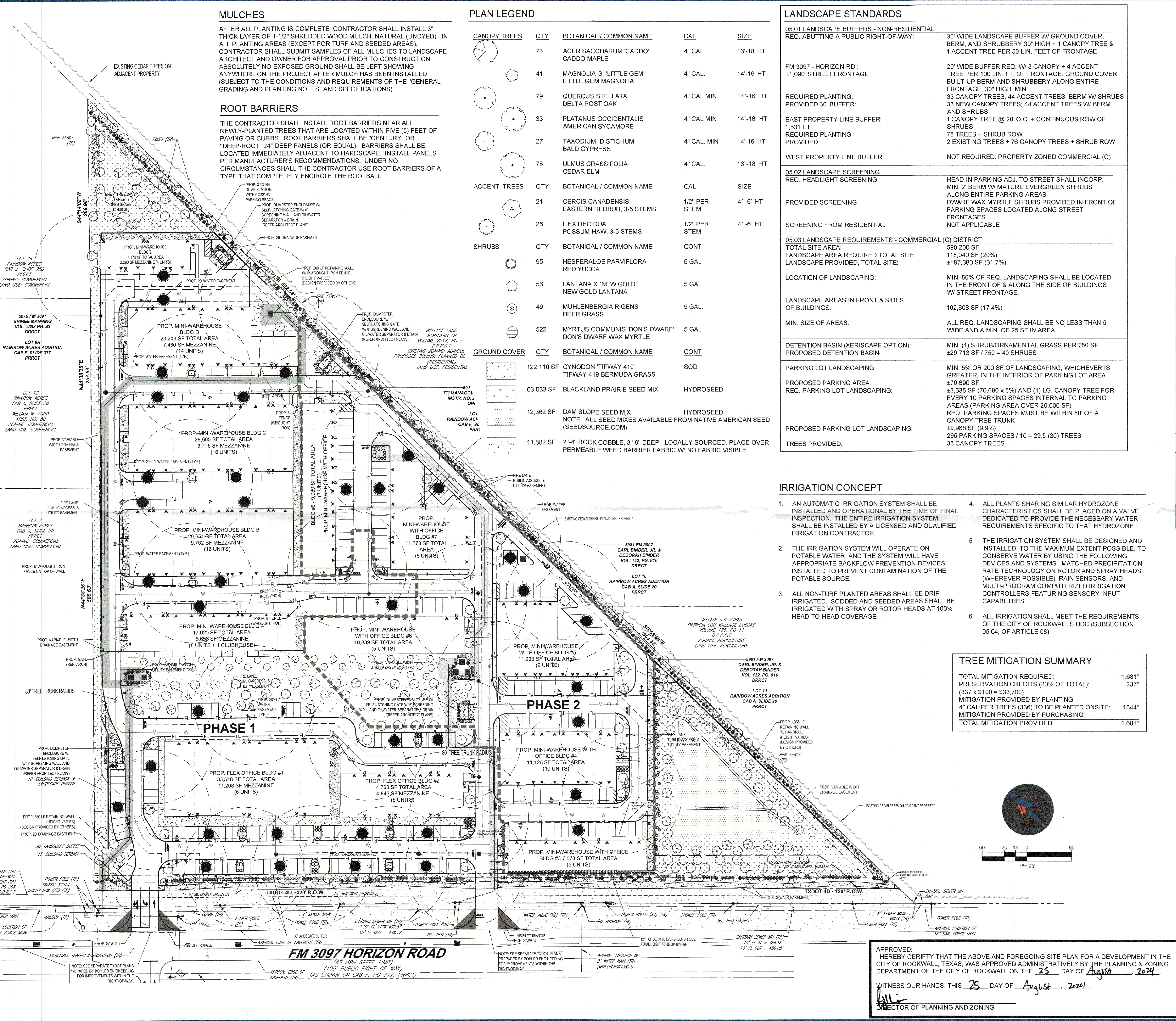
Table with columns: CATEGORY, QUANTITY. Includes Total Mitigation Required (1,681"), Preservation Credits (337"), and Mitigation Provided (1,344").

SITE DATA TABLE

Table with columns: SITE AREA, LEGAL DESCRIPTION, EXISTING ZONING, PROPOSED ZONING, etc.

LEGEND

Table with columns: SYMBOL, DESCRIPTION. Includes symbols for Property Line, Setback Line, Landscape Buffer, etc.



Project information block including Case # SP2024-037, Garages of Texas, Owner: Garages of Texas @ Tarpley, LLC, and Surveyor: Hudson Site Control, LLC.

Bohler logo and company information: Bohler Engineering, Site Civil and Consulting Engineering, Land Surveying, etc.

Revisions table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY.

811 logo and slogan: Know what's below. Call before you dig. Always call 811.

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

This drawing is intended for municipal and/or agency review and approval. It is not intended as a construction document unless indicated otherwise.

Project metadata table including Project No., Drawn By, Date, and CAD ID.

FINAL ENGINEERING PLANS



PROPOSED MINI-WAREHOUSE & OFFICE DEVELOPMENT 5901 HORIZON ROAD ROCKWALL, TX 75032

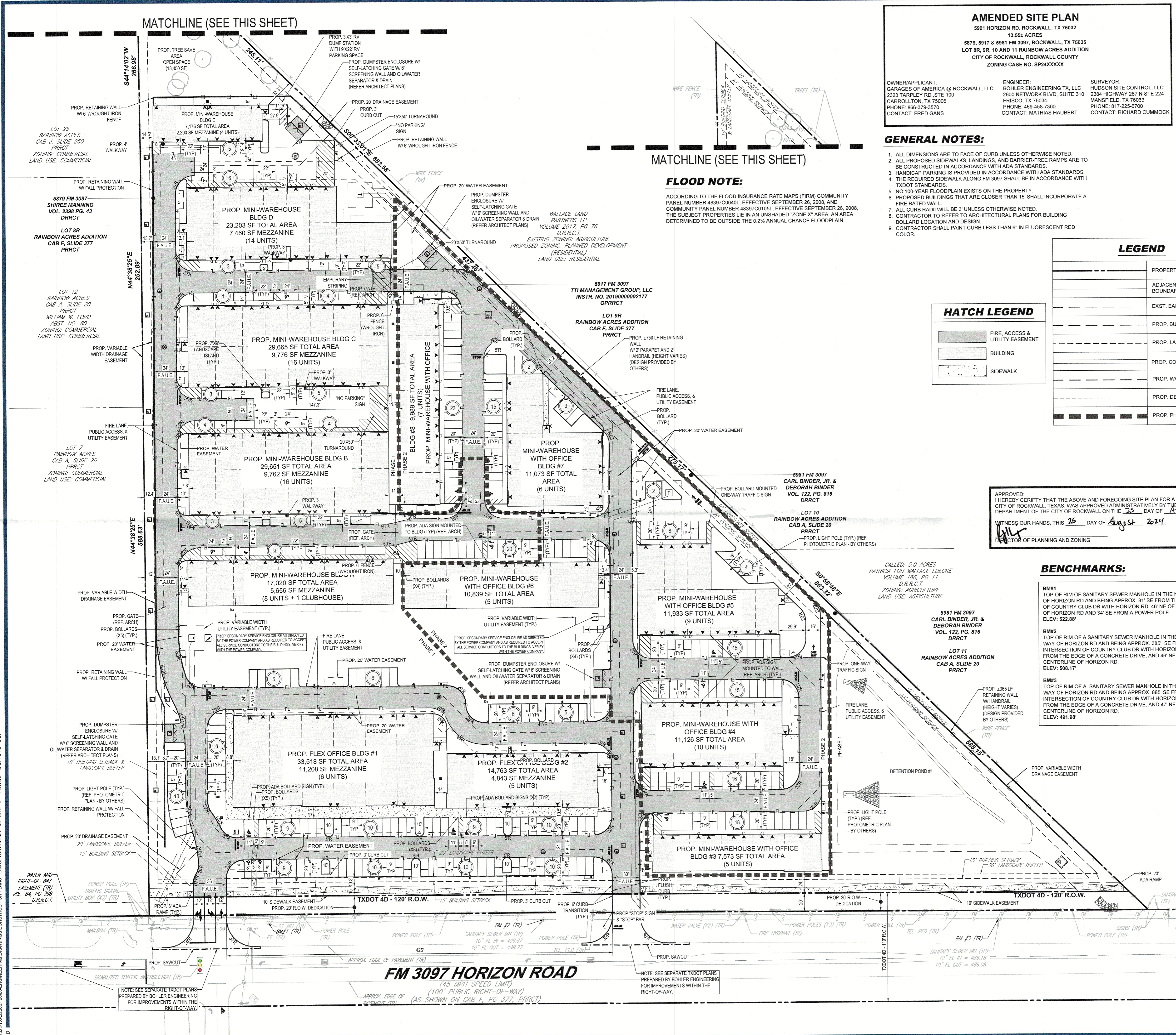
BOHLER

2600 NETWORK BLVD. SUITE 310 FRISCO, TX 75034 Phone: (469) 458-7300 TX@BohlerEng.com

PLANS PREPARED BY BOHLER FOR REVIEW PURPOSES ONLY

LANDSCAPE PLANTING PLAN

SHEET NUMBER: LP-1. City: ROCKWALL, State: TEXAS. County: ROCKWALL, Survey: ABSTRACT NO.



AMENDED SITE PLAN
 5901 HORIZON RD, ROCKWALL, TX 75032
 13.55± ACRES
 5879, 5917 & 5981 FM 3097, ROCKWALL, TX 75038
 LOT 8R, 9R, 10 & 11 RAINBOW ACRES ADDITION
 CITY OF ROCKWALL, ROCKWALL COUNTY
 ZONING CASE NO. SP24XXXX

OWNER/APPLICANT: GARAGES OF AMERICA @ ROCKWALL, LLC
 2323 TARPLEY RD, STE 100
 CARROLLTON, TX 75006
 PHONE: 866-379-3570
 CONTACT: FRED GANS

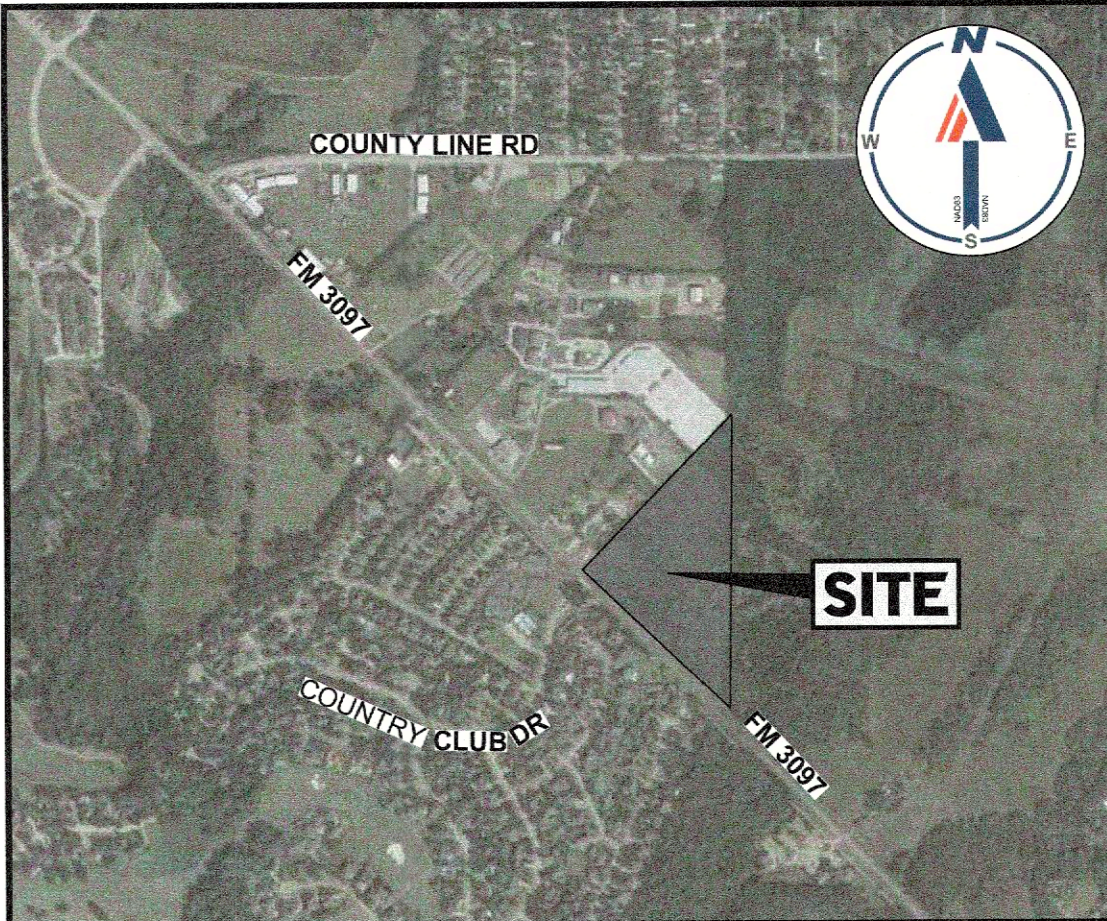
ENGINEER: BOHLER ENGINEERING TX, LLC
 2600 NETWORK BLVD, SUITE 310
 FRISCO, TX 75034
 PHONE: 469-458-7300
 CONTACT: MATHIAS HAUBERT

SURVEYOR: HUDSON SITE CONTROL, LLC
 2384 HIGHWAY 287 N STE 224
 MANSFIELD, TX 76063
 PHONE: 817-225-6700
 CONTACT: RICHARD CUMOCK

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED SIDEWALKS, LANDINGS, AND BARRIER-FREE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
3. HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
4. THE REQUIRED SIDEWALK ALONG FM 3097 SHALL BE IN ACCORDANCE WITH TXDOT STANDARDS.
5. NO 100-YEAR FLOODPLAIN EXISTS ON THE PROPERTY.
6. PROPOSED BUILDINGS THAT ARE CLOSER THAN 15' SHALL INCORPORATE A FIRE RATED WALL.
7. ALL CURB RADIUS WILL BE 3' UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR BUILDING BOLLARD LOCATION AND DESIGN.
9. CONTRACTOR SHALL PAINT CURB LESS THAN 6" IN FLUORESCENT RED COLOR.

FLOOD NOTE:
 ACCORDING TO THE FLOOD INSURANCE RATE MAPS (FIRM), COMMUNITY PANEL NUMBER 483970040L, EFFECTIVE SEPTEMBER 26, 2008, AND COMMUNITY PANEL NUMBER 4839700105L, EFFECTIVE SEPTEMBER 26, 2008, THE SUBJECT PROPERTIES LIE IN AN UNSHADED "ZONE X" AREA, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



LOCATION MAP

SCALE: N.T.S.

SITE DATA SUMMARY TABLE

LEGAL	
GROSS ACREAGE	13.55 ACRES 590,200 SF
CURRENT ZONING	PD - PLANNED DEVELOPMENT DISTRICT
CURRENT BASE ZONING DISTRICT	C - COMMERCIAL DISTRICT
CURRENT LAND USE	MINI-WAREHOUSE & FLEX OFFICE
UNITS/ BUILDING AREA	
MINI-WAREHOUSE	58 UNITS/ 108,715 SF
MINI-WAREHOUSE WITH OFFICE	42 UNITS/ 62,533 SF 54,811 SF MINI WAREHOUSE 7,722 SF OFFICE
FLEX OFFICE	11 UNITS/ 48,281 SF
PARKING	
PHASE 1 REQUIRED PARKING (FLEX OFFICE)	(1 SPACE/300 SF) @ 48,281 SF = 161 SPACES
PHASE 1 PROVIDED PARKING (FLEX OFFICE)	118 SPACES
PHASE 2 REQUIRED PARKING (MINI-WAREHOUSE WITH OFFICE)	(1 SPACE/300 SF OFFICE) @ 7,722 SF = 26 SPACES (3 SPACES + 1 SPACE/100 UNITS MINI WAREHOUSE) @ 42 UNITS = 4 SPACES
PHASE 2 PROVIDED PARKING (MINI-WAREHOUSE WITH OFFICE)	128 SPACES
PHASE 1 REQUIRED PARKING (MINI-WAREHOUSES)	(3 SPACES + 1 SPACE/100 UNITS) @ 58 UNITS = 4 SPACES (1 SPACE/300 SF OF CLUBHOUSE) @ 1592 SF = 6 SPACES
PHASE 1 PROVIDED PARKING (MINI-WAREHOUSES)	74 SPACES
PHASE 1 REQUIRED PARKING (FLEX OFFICE+ MINI WAREHOUSE)	171 SPACES
PHASE 1 PROVIDED PARKING (FLEX OFFICE+ MINI WAREHOUSE)	192 SPACES
TOTAL REQUIRED PARKING (FLEX OFFICE + MINI WAREHOUSE + MINI WAREHOUSE W/ OFFICE)	201 SPACES
TOTAL PROVIDED PARKING (FLEX OFFICE + MINI WAREHOUSE + MINI WAREHOUSE W/ OFFICE)	318 SPACES
PHASE 1 TOTAL REQUIRED ADA PARKING	(1 VAN, 5 STANDARD)
PHASE 1 TOTAL PROVIDED ADA PARKING	9 SPACES (3 VAN, 6 STANDARD)
TOTAL REQUIRED ADA PARKING	7 SPACES (1 VAN, 6 STANDARD)
TOTAL PROVIDED ADA PARKING	16 SPACES (9 VAN, 7 STANDARD)
SETBACKS	
FRONT YARD SETBACK	REQUIRED: 15' PROVIDED: 40'
REAR YARD SETBACK	10' 30'
REAR YARD SETBACK (ADJACENT TO RESIDENTIAL)	20' 30'
SIDE YARD SETBACK	10' 14'
SIDE YARD SETBACK (ADJACENT TO RESIDENTIAL)	20' N/A
BUILDINGS	
MINIMUM DISTANCE BETWEEN BUILDINGS	REQUIRED: 10' PROVIDED: 10'
MAXIMUM BUILDING COVERAGE	60% 28%
MAXIMUM FLOOR-AREA-RATIO (FAR)	4.1 4.1
MAXIMUM HEIGHT	36' 26'
LANDSCAPING	
LANDSCAPE BUFFER (ABUTTING PUBLIC R.O.W.)	PER PD
LANDSCAPE BUFFER (ABUTTING RESIDENTIAL)	PER PD
MAXIMUM IMPERVIOUS PARKING (%)	REQUIRED: 85%-90% PROVIDED: 65%
MINIMUM REQUIRED LANDSCAPING/OPEN SPACE AREAS	REQUIRED: 20% PROVIDED: 35%

LEGEND

(---)	PROPERTY BOUNDARY
(---	ADJACENT PROPERTY BOUNDARY
(---)	EXST. EASEMENTS
(---)	PROP. BUILDING SETBACK
(---)	PROP. LANDSCAPE BUFFER
(---)	PROP. CONCRETE CURB
(---)	PROP. WATER EASEMENT
(---)	PROP. DEPRESSED CURB
(---)	PROP. PHASE LINE

HATCH LEGEND

(Pattern)	FIRE ACCESS & UTILITY EASEMENT
(Pattern)	BUILDING
(Pattern)	SIDEWALK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED ADMINISTRATIVELY BY THE PLANNING & ZONING DEPARTMENT OF THE CITY OF ROCKWALL ON THE 25 DAY OF August 2024.

WITNESS OUR HANDS, THIS 25 DAY OF August 2024.

(Signature)

DIRECTOR OF PLANNING AND ZONING

BENCHMARKS:

- BM#1**
 TOP OF RIM OF SANITARY SEWER MANHOLE IN THE NE RIGHT OF WAY OF HORIZON RD AND BEING APPROX. 81' SE FROM THE INTERSECTION OF COUNTRY CLUB DR WITH HORIZON RD, 46' NE OF THE CENTERLINE OF HORIZON RD AND 34' SE FROM A POWER POLE. ELEV: 522.88'
- BM#2**
 TOP OF RIM OF A SANITARY SEWER MANHOLE IN THE NE RIGHT OF WAY OF HORIZON RD AND BEING APPROX. 385' SE FROM THE INTERSECTION OF COUNTRY CLUB DR WITH HORIZON RD, 128' NW FROM THE EDGE OF A CONCRETE DRIVE, AND 46' NE OF THE CENTERLINE OF HORIZON RD. ELEV: 508.17'
- BM#3**
 TOP OF RIM OF A SANITARY SEWER MANHOLE IN THE NE RIGHT OF WAY OF HORIZON RD AND BEING APPROX. 885' SE FROM THE INTERSECTION OF COUNTRY CLUB DR WITH HORIZON RD, 356' SE FROM THE EDGE OF A CONCRETE DRIVE, AND 47' NE OF THE CENTERLINE OF HORIZON RD. ELEV: 491.98'

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
#1	10/20/23	SEWER INVERTS	MJH	MG
#2	11/15/23	BUILDING PERMIT RESUBMITTAL	MJH	MG
#3	12/04/23	FINAL CITY COMMENTS	MJH	SEL

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 Know what's below.
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 ALWAYS CALL 811
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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT TO BE USED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT NO.: TXA220027.00
 DRAWN BY: FJCMG
 CHECKED BY: MJH
 DATE: 7/16/2024
 CAD I.D.: SITE

FINAL ENGINEERING PLANS
 FOR

 PROPOSED MINI-WAREHOUSE & OFFICE DEVELOPMENT
 5901 HORIZON ROAD
 ROCKWALL, TX 75032
 13.55± ACRES
 5879, 5917, & 5981 FM 3097
 LOT 8R, 9R, 10 & 11
 RAINBOW ACRES ADDITION
 CITY OF ROCKWALL
 ROCKWALL COUNTY

BOHLER
 2600 NETWORK BLVD, SUITE 310
 FRISCO, TX 75034
 Phone: (469) 458-7300
 TX@BohlerEng.com
 TBP# No. 18065 | TPPL# No. 10184413

SHEET TITLE:
AMENDED SITE PLAN

SHEET NUMBER:
C-301

ORG. DATE - 06/12/2023