



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

855 Whitmore Dr

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Salvador Salcedo

APPLICANT

CONTACT PERSON

Salvador Salcedo

CONTACT PERSON

ADDRESS

210 Cedar Tree Ln

ADDRESS

CITY, STATE & ZIP

Heath, Texas 75032

CITY, STATE & ZIP

PHONE

214-552-2008

PHONE

E-MAIL

salvasalce@novaairac.com

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Salvador Salcedo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF May, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

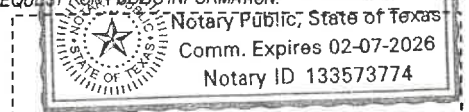
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF May, 2024

OWNER'S SIGNATURE

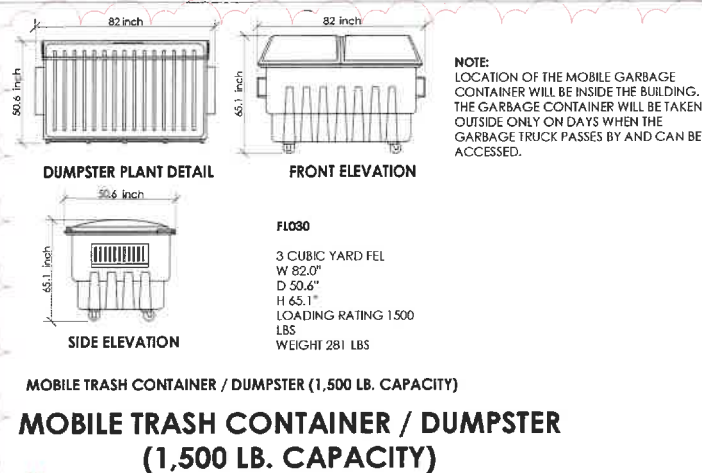
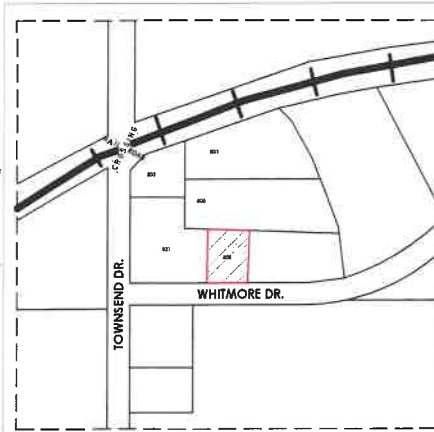
*Salvador Salcedo*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Notary Signature*



MY COMMISSION EXPIRES 02-07-2026



**PLANE DATE**

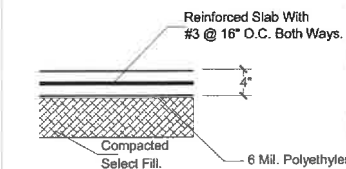
SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
WALKING AREA	385 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

**PARKING REQUIREMENT SCHEDULE**

INDUSTRIAL AND MANUFACTURING LAND USES (LI)	MINIMUM PARKING REQUIRED
Apparel Manufacturing	1/200 SF
Asphalt or Concrete Batch Plant	As Determined by the Director
Industrial and Manufacturing Other Than Listed	As Determined by the Director
Light Assembly and Fabrication	1/500 SF or 0.75/Employee <sup>1,3</sup>
Heavy Manufacturing	1/500 SF or 0.75/Employee <sup>1,3</sup>
Printing, Engraving, and Related Businesses	1/300 SF or 1/Employee <sup>1</sup>
Welding Repair	1/500 SF or 1/2 Employees <sup>1</sup>

**USE OF STRUCTURE**

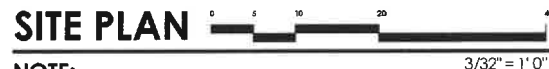
CONSTRUCTION TYPE: LI  
 LIGHT INDUSTRIAL  
 NO. STORIES: ONE  
 HEIGHT: 60' 0"  
 SETBACKS  
 FRONT: 25' 0"  
 SIDE: 15' 0"  
 REAR: 20' 0"  
 MAX. LOT COVERAGE: 60%



**1 CONCRETE DETAIL UNSCALED**

NOTE:  
 • NO TYPE OF FENCE IS PROPOSED IN THIS PROJECT.  
 • DOES NOT PROPOSE ANY GROUND OR PLATFORM MOUNTED UTILITY EQUIPMENT  
 • NO OFF-STREET LOADING DOCK PROPOSED SINCE THE BUILDING IS DESIGNED FOR TRUCKS TO LOAD INSIDE

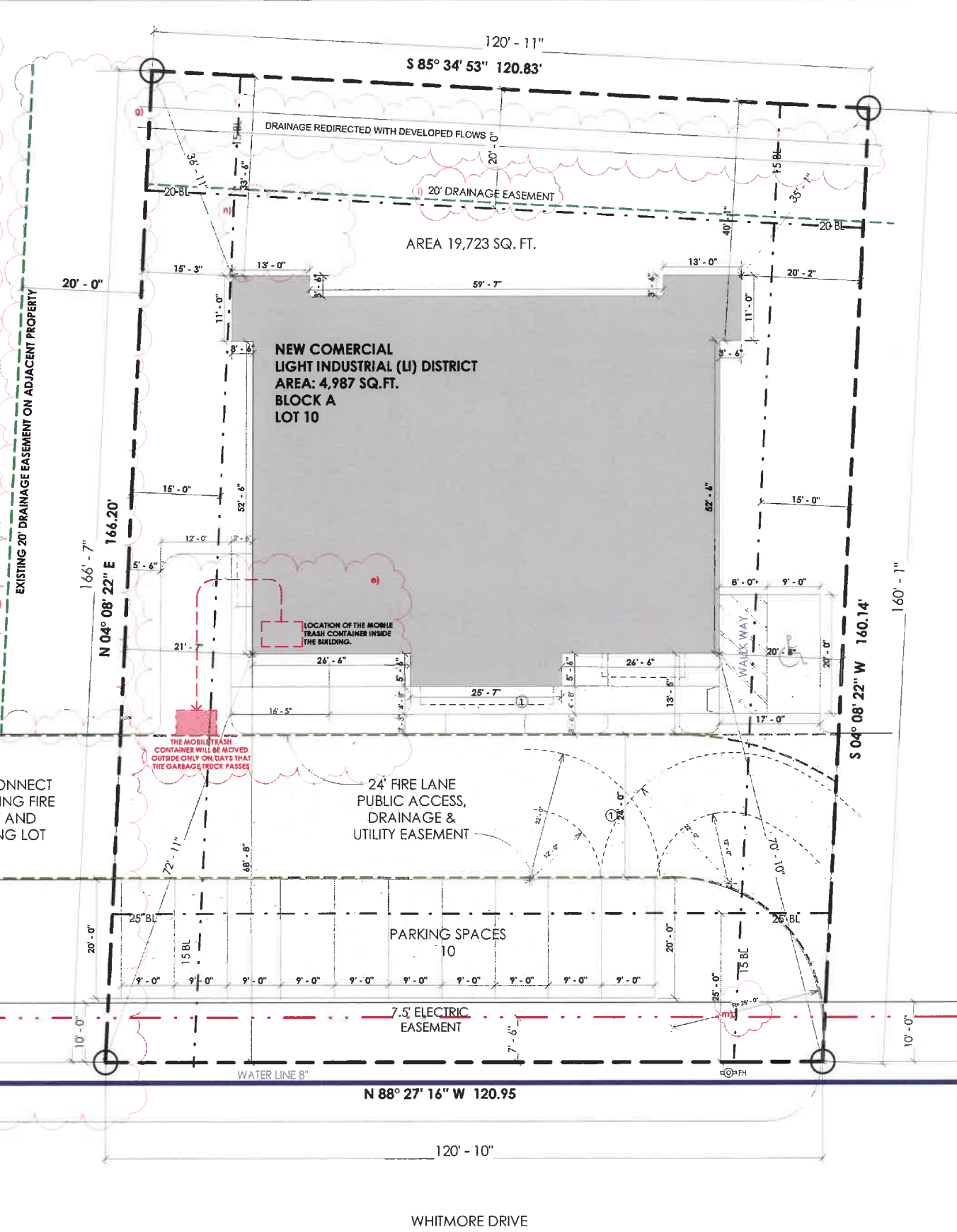
**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.  
 WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024



**NOTE:**  
 THERE IS NO EXTERNAL STORAGE  
 THERE ARE NO LOADING AREAS

Planning & Zoning Commission, chairman

Director of Planning and Zoning



PROJECT: **NEW COMERCIAL**

OWNER: **SALVADOR SALCEDO**

LOCATION: **855 WHITMORE DRIVE, ROCKWALL, TX**

Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER. THE DESIGNER'S RIGHTS IN THESE DOCUMENTS, INCLUDING WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAW, SHALL BE RESERVED AND SHALL REMAIN THE PROPERTY OF THE DESIGNER. ANY VIOLATION OF THESE RIGHTS SHALL BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**ENGINEERING GENERAL NOTES**

1- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED

2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED

3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS, THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS AND DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**LEGEND**

CM	CONTROLLING MONUMENT	CONCRETE	
5/8"	IRON ROD FOUND	BUILDING	
X	FOUND IN CONCRETE	PORCH, DECK, ETC.	
○	POINT FOR CORNER	OHT	OVERHEAD TELEPHONE
FB	FIBER OPTIC PEDESTAL	OHP	OVERHEAD ELECTRIC
○	POWER POLE	—	ELECTRIC EASEMENT
—	FIRE LANE	—	METAL FENCE
W	WATER METER	—	WOOD FENCE
①	TELE. MANHOLE	②	SANITARY SEWER MANHOLE
③	TELE. VAULT	④	STORM DRAIN MANHOLE
⑤	VACUUM	⑥	HANDICAP PARKING
⊙	LIGHT POLE	E	ELECTRIC BOX
⊙-FH	UNDERGROUND ELECTRIC	⊙	CLEANOUT
⊙-FH	PROPOSAL FIRE HYDRANT	⊙	TELEPHONE PEDESTAL
⊙	GAS METER	⊙	CABLE PEDESTAL
⊙	WATER VALVE	⊙	ASPHALT PAVING GRAVEL

DIRECTION:

REV. NO.	DATE	COMMENTS
1	03/23/2024	4-Added site number 5-Added site number 6-Added site number 7-Added site number 8-Added site number 9-Added site number 10-Added site number 11-Added site number 12-Added site number 13-Added site number 14-Added site number 15-Added site number 16-Added site number 17-Added site number 18-Added site number 19-Added site number 20-Added site number 21-Added site number 22-Added site number 23-Added site number 24-Added site number 25-Added site number 26-Added site number 27-Added site number 28-Added site number 29-Added site number 30-Added site number 31-Added site number 32-Added site number 33-Added site number 34-Added site number 35-Added site number 36-Added site number 37-Added site number 38-Added site number 39-Added site number 40-Added site number 41-Added site number 42-Added site number 43-Added site number 44-Added site number 45-Added site number 46-Added site number 47-Added site number 48-Added site number 49-Added site number 50-Added site number 51-Added site number 52-Added site number 53-Added site number 54-Added site number 55-Added site number 56-Added site number 57-Added site number 58-Added site number 59-Added site number 60-Added site number 61-Added site number 62-Added site number 63-Added site number 64-Added site number 65-Added site number 66-Added site number 67-Added site number 68-Added site number 69-Added site number 70-Added site number 71-Added site number 72-Added site number 73-Added site number 74-Added site number 75-Added site number 76-Added site number 77-Added site number 78-Added site number 79-Added site number 80-Added site number 81-Added site number 82-Added site number 83-Added site number 84-Added site number 85-Added site number 86-Added site number 87-Added site number 88-Added site number 89-Added site number 90-Added site number 91-Added site number 92-Added site number 93-Added site number 94-Added site number 95-Added site number 96-Added site number 97-Added site number 98-Added site number 99-Added site number 100-Added site number

EXPIRATION DATE: \_\_\_\_\_

PAPER SIZE 36X24

PLAN: \_\_\_\_\_

**SITE PLAN**

DATE: 04/22/2024

DRAWN BY: F.G.M.

**A1**

SHEET 02 OF 10

PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S ORIGINAL WORK AND ARE RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS SUBJECT TO LEGAL ACTION.

ENGINEERING GENERAL NOTES

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM, WE DO NOT QUALIFY TO BE ONE, NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

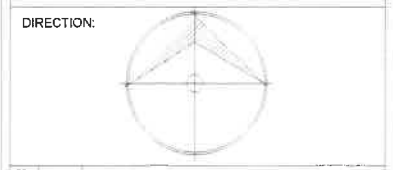
THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND REQUIREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN



REV. NO.	DATE	COMMENTS
1	12/03/2024	a) Added case number b) Standard signature block with signature space for Planning and Zoning Chair and Planning Director attached c) The roof will be standing seam d) Parapet height noted and the rear part of the parapet will be covered with the same material as the exterior facade e) The bottom of RTUs is indicated

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: ELEVATIONS

DATE: 04/11/2022  
DRAWN BY: F.G.M.  
SHEET 08 OF 10

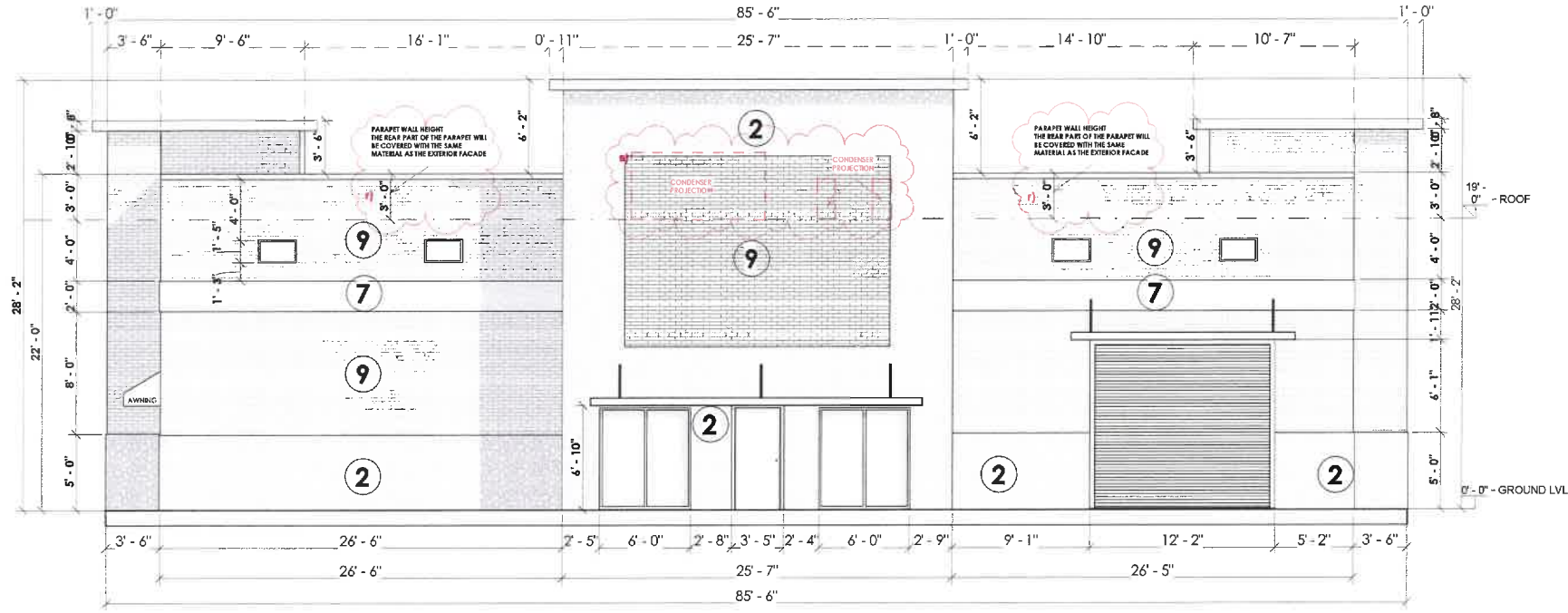
A2

AREA AND PERCENTAGE OF MATERIALS

	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,312 S.Q. F.T.	100 %
9	BRICKS	2,136 S.Q. F.T.	94.0 %
2	NATURAL STONE	1,510 S.Q. F.T.	64.0 %
7	SECONDARY MATERIAL	106 S.Q. F.T.	30.0 %
	TOTAL	2,312 S.Q. F.T.	100 %

FRONT ELEVATION

3/16" = 1' 0"

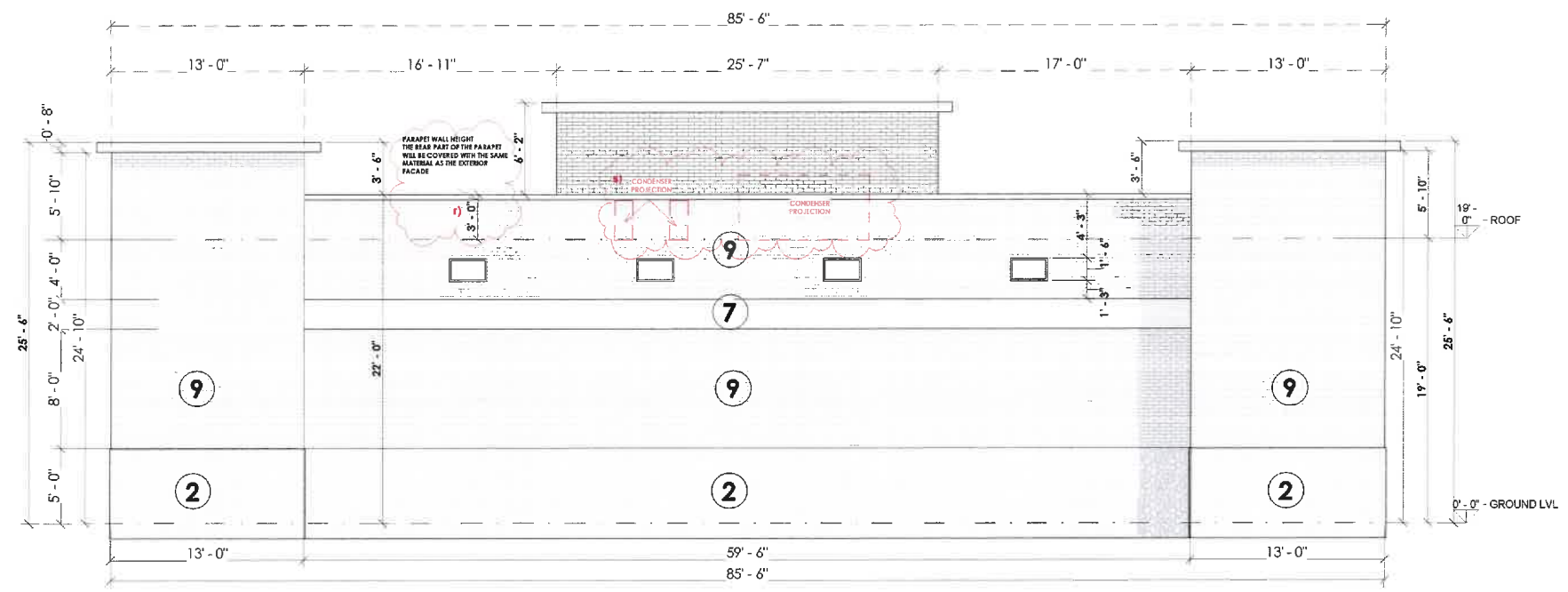


AREA AND PERCENTAGE OF MATERIALS

	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,128 S.Q. F.T.	100 %
9	BRICKS	2,116 S.Q. F.T.	94.0 %
2	NATURAL STONE	1,415 S.Q. F.T.	73.0 %
7	SECONDARY MATERIAL	427 S.Q. F.T.	21.0 %
	TOTAL	159 S.Q. F.T.	06.0 %
	TOTAL	2,128 S.Q. F.T.	100 %

REAR ELEVATION

3/16" = 1' 0"



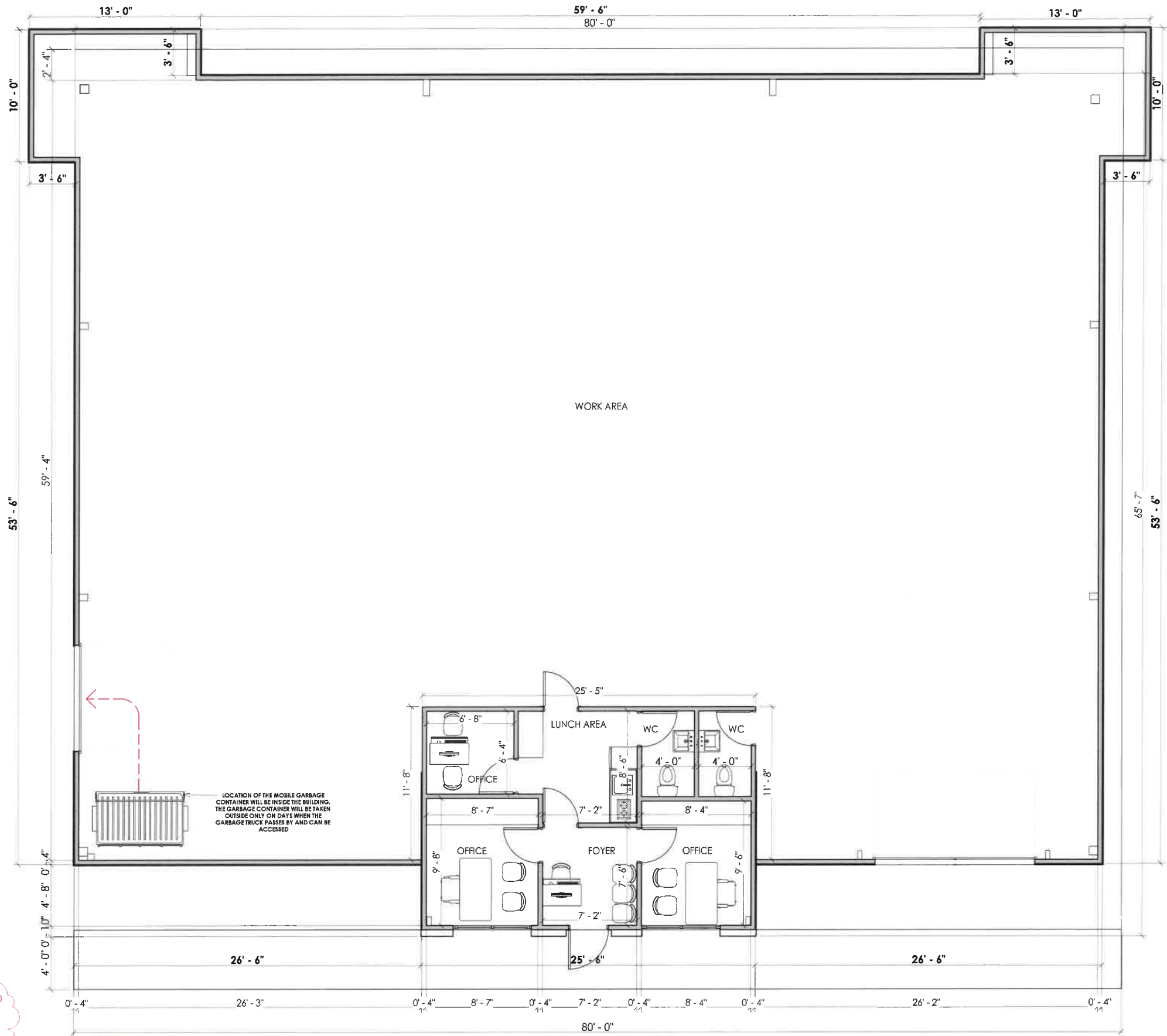
**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

\_\_\_\_\_  
Planning & Zoning Commission, chairman

\_\_\_\_\_  
Director of Planning and Zoning



**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

\_\_\_\_\_  
 Planning & Zoning Commission, chairman

\_\_\_\_\_  
 Director of Planning and Zoning

**FLOOR PLAN**

1/4" = 1' 0"

PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

**Gamma Group**  
 Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS, THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL, FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULT IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNERS IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

TABULATION AREA	
WORK AREA	4,656 SQ.FT.
OFFICE	432 SQ.FT.
<b>TOTAL</b>	<b>4,960 SQ.FT.</b>

DIRECTION:

REV. NO.	DATE	COMMENTS
1	22/09/2024	a) added case number b) changed signature block with signature space for Planning and Zoning Clerk and Planning Director attached c) location of the Mobile Garbage Container will be inside the building. The garbage container will be taken outside only on days when the garbage truck passes by and can be accessed.

EXPIRATION DATE: \_\_\_\_\_

PAPER SIZE 36X24

PLAN: \_\_\_\_\_

**FLOOR PLAN**

DATE: 04/11/2022

DRAW BY: F.G.M.

**A1**

SHEET 07 OF 10

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANNING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +10. OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO US AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 1" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO ALLS AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 1" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALK AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 18" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 1" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH MATTERS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS, OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

- MULCHES**
- AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH (NATURAL UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANNING NOTES" AND SPECIFICATIONS).
- ROOT BARRIERS**
- THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE, INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

- IRRIGATION CONCEPT**
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
  - THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
  - ALIGNMENT-TURF PLANTING AREAS SHALL BE DWP IRRIGATED. SOODED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
  - ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
  - THE IRRIGATION SYSTEM SHALL BE INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTORIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
  - ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08).

- CONCRETE**
- PORTLAND CEMENT SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.2.
  - UP TO 20% (BY WEIGHT) OF THE CEMENT CONTENT MAY BE REPLACED WITH TYPE C FLY ASH. FLY ASH REPLACEMENT SHALL BE 1.25 POUNDS PER 1.0 POUND OF CEMENT REDUCTION. ALSO REFER TO N.C.T.C.O.G. ITEM 303.
  - AGGREGATES SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.1. RIVER ROCK OR BLENDED AGGREGATES MUST NOT BE ALLOWED.
  - MANUFACTURED SAND SHALL NOT EXCEED 20% OF THE TOTAL SAND CONTENT IN THE CONCRETE MIX DESIGN.
  - CONCRETE FOR ALL PAVING AND CURBS WITHIN THE RIGHT-OF-WAY SHALL HAVE A MINIMUM 5 1/2 SACKS/CUBIC YARD OF CEMENT CONTENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI WHEN TESTED AT THE AGE OF 28 DAYS. HAND PLACED CONCRETE SHALL HAVE A MINIMUM 4 1/2 SACKS/CUBIC YARD OF CEMENT CONTENT AND MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI.
  - THE DESIGN ENGINEER SHALL APPROVE THE CONCRETE MIX DESIGN IN WRITING PRIOR TO USE.
  - PAVEMENT CURBS SHALL BE POURED MONOLITHICALLY. PLEASE REFER TO N.C.T.C.O.G. ITEM 303.5.2.4.
  - STAMP OR DIE PROJECT PAVING LIMITS INCLUDING ALL STREET INTERSECTIONS TO N.C.T.C.O.G. ITEM 303.4.2.3 AND DETAILS ON THIS SHEET.
  - THERE SHALL BE ZERO TO BRANES FOR CONCRETE STRENGTH AND DEPTH. NO VARIANCES ARE ALLOWED. ANY AREAS OF (1) DEFICIENCY SHALL BE REMOVED AND REPLACED. ALL CURBS AND GUTTERS SHALL BE POURED IN ONE COURSE. CONSTRUCTION CONCRETE SHALL BE PLACED IN FORMS ON COMPACTED, WETTED SUBGRADE AND SHALL BE TAMPED AND SPADED UNTIL MORTAR COVERS THE ENTIRE SURFACE. TAMPING AND SPADED OF NEWLY POURED CONCRETE SHALL BE GIVEN SPECIAL ATTENTION TO ENSURE ADEQUATE COMPACTION AND SURFACES FREE OF HONEYCOMBS.

- CURING**
- PLEASE REFER TO ITEM 303.5.8 AND 303.2.12.1.1 OF THE N.C.T.C.O.G. SPECIFICATIONS.
  - THE CONTRACTOR SHALL USE A WHITE PIGMENTED LIQUID CURING COMPOUND AS PER N.C.T.C.O.G. ITEM 303.5.8 AND 303.2.12.1.1.

**REFERENCE CONCRETE**

MIX DESIGN	MASS PER M <sup>3</sup>	C1-270-F10-W165
CLUNKER 1: CEM1 S2.5R	KG	270
FLY ASH (EN 450)	KG	10
WATER	KG	162
SUPERPLASTICIZER	KG	2.8
RIVER SAND 0-2 mm	KG	597
RIVER GRAVEL 2-8mm	KG	446
RIVER GRAVEL 8-16mm	KG	847
w <sub>c</sub>	-	0.61
w <sub>ca</sub>	-	0.60

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman      Director of Planning and Zoning

**LANDSCAPE STANDARDS**

**05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (LI) DISTRICT.**

TOTAL SITE AREA: 519,737 SQ.FT.  
LANDSCAPE AREA REQUIRED TOTAL SITE: 2,960 SQ.FT. (15%)  
LANDSCAPE PROVIDED, TOTAL SITE: 8,516 SQ.FT. (43%)

LOCATION OF LANDSCAPING: A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTAGES 2,960 SQ.FT. X 100% = 2,960 SQ.FT.

LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS: 3,960 SQ.FT. (46%)

MIN. SIZE OF AREAS: ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA UNLESS IT IS WITHIN TEN (10) FEET OF A BUILDING ON THE SAME LOT.

DETECTION BASIN: DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES. THERE SHALL BE A MINIMUM OF ONE (1) CANOPY TREE PER 750 SF AND ONE (1) ACCENT TREE PER 1,500 SF OF DETENTION AREA.

PROPOSED DETENTION BASIN: 1,250 SQ. FT.  
CANOPY TREES REQUIRED: 1,250 SQ. FT. / 750 SQ. FT. = 2 CANOPY TREE  
ACCENT TREES PROVIDED: 2,960 SQ. FT. / 1,500 SQ. FT. = 2 ACCENT TREE  
ACCENT TREES REQUIRED: 2 ACCENT TREE

PARKING LOT LANDSCAPING: PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES (I.E. ONE (1) DRIVE ISLE WITH ROWS OF PARKING ON EITHER SIDE SHALL HAVE A MINIMUM FOR FIVE (5) PERCENT OR 200 SF OF LANDSCAPING - WHICHEVER IS GREATER - IN THE INTERIOR OF THE PARKING LOT AREA. SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL REQUIRED LANDSCAPING.

PROPOSED PARKING AREA: 2,140 SQ. FT.  
REQ. PARKING AREA LANDSCAPING: 40 SQ. FT. OR 200 SQ. FT.  
PROPOSED PARKING LOT LANDSCAPING: 1,400 SQ. FT.

PARKING SPACES: (1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE REQUIRED TO BE PLANTED INTERNAL TO THE PARKING AREAS, (3) NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO THE EDGE OF PAVEMENT

TREES REQUIRED: 1 LARGE CANOPY TREE  
TREES PROVIDED: 2 LARGE CANOPY TREE

**05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL**

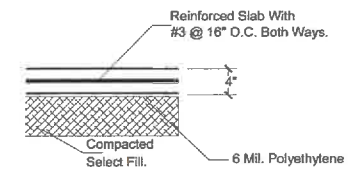
INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50-FEET ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE MINIMUM HEIGHT OF 30-INCHES AND A MAXIMUM HEIGHT OF 48-INCHES. IN ADDITION, TWO (1) CANOPY TREES FOUR (2) ACCENT TREES SHALL BE PLANTED PER 100-FOOT OF LINEAR FRONTAGE ALONG THE PRIMARY ROADWAY.

4207' STREET FRONTAGE  
REQUIRED PLANTING:  
PROVIDED 10' BUFFER:  
SHRUBS

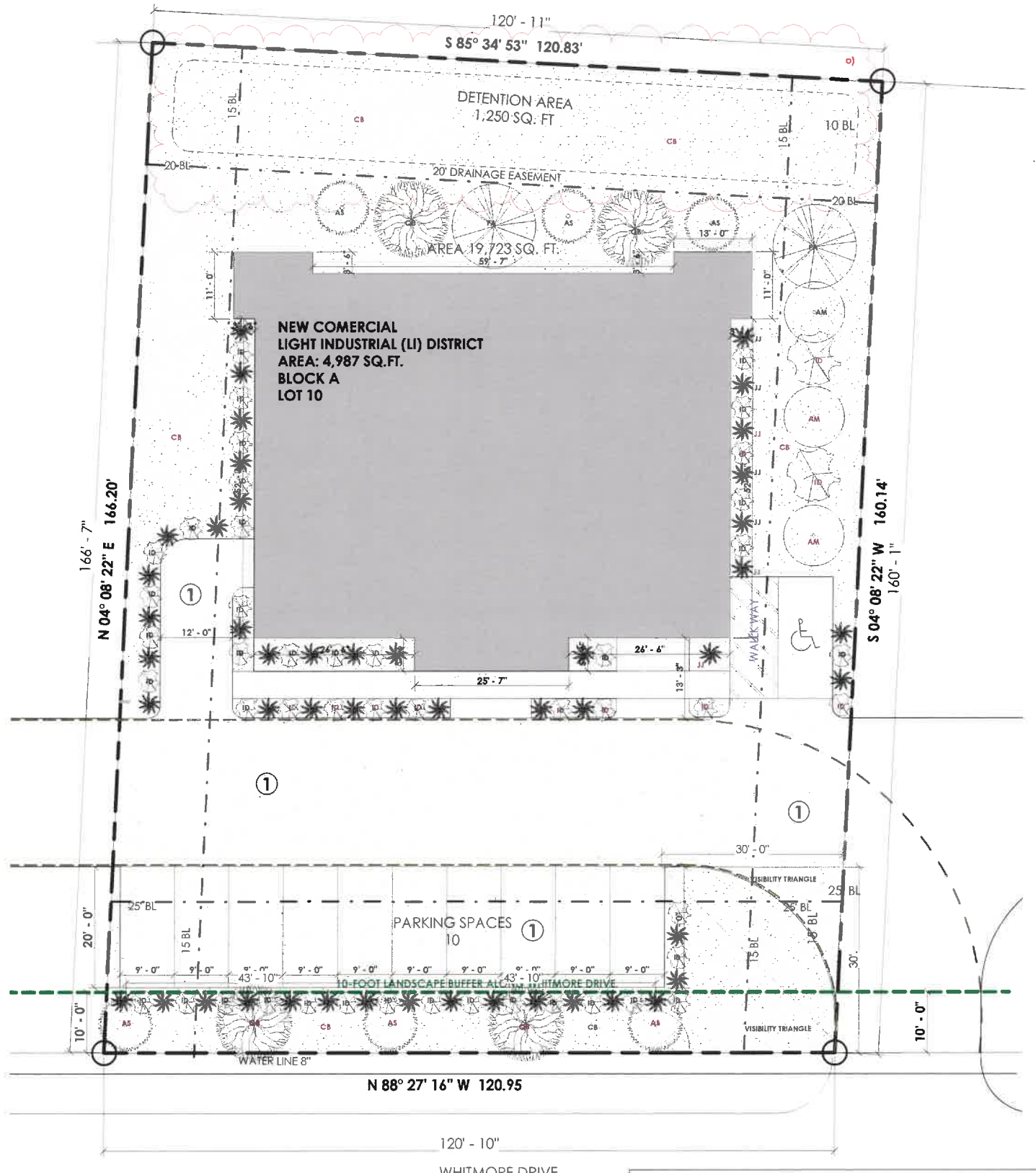
BASED ON CITY OF ROCKWALL | UNIFIED DEVELOPMENT CODE

**PLANT SCHEDULE**

CODE	TREES	QTY	BOTANICAL / COMMON NAME	CAL	CONT.	SIZE
QB		4	QUERCUS MACROCARPA / BUR OAK	4" CAL	CONT.	14" MIN
AM		3	ACER SACCHARUM 'CADD0' / CADD0 MAPLE	4" CAL	CONT.	12" MIN
PA		2	PINUS ELDIRICA /AFGHAN PINE	4" CAL	CONT.	12" MIN
AS		6	ACER TRUNCATUM/ SHANTUNG MAPLE	4" CAL	CONT.	12" MIN
CODE	SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
ID		49	ILEX VOMIFORIA 'NANA' / DWARF YALUPON HOLLY	5 GAL	36" OC	24" MIN
JJ		48	JUNIPERUS SP. /JUNIPER	5 GAL	36" OC	24" MIN
CODE	GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
CB		8,516 SQ.FT	CYNODON DACTYLON / BERMUDA GRASS	SOND		



**1 CONCRETE DETAIL UNSCALED**



**LANDSCAPE PLAN**

**NOTE:** THE IRRIGATION SYSTEM WILL COMPLY WITH THE REQUIREMENTS OF THE UDC.

3/32" = 1" 0"

**SITE PLANE DATE**

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (43%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGNER'S IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S ORIGINAL WORK AND ARE HEREBY RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL, FRAMING, WINDBRACING OR FOUNDATION. ALL LICENSED PROFESSIONAL ENGINEERS SHOULD BE CONTACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

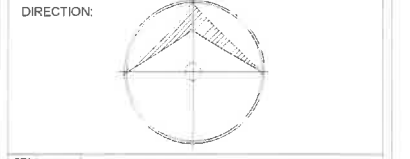
**NOTE:** GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SEALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.



REV. NO.	DATE	COMMENTS
1	05/01/2024	20240501: #1 Address issue number #1. Add notes with signature space for Planning and Zoning Chair and Planning Director attached. #2 Address issue number #2. Add notes with signature space for Planning and Zoning Chair and Planning Director attached. #3 Address issue number #3. Add notes with signature space for Planning and Zoning Chair and Planning Director attached.

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: **LANDSCAPE PLANTING PLAN**

DATE: 05/01/2023

DRAWN BY: F.G.M. SHEET 03 OF 10

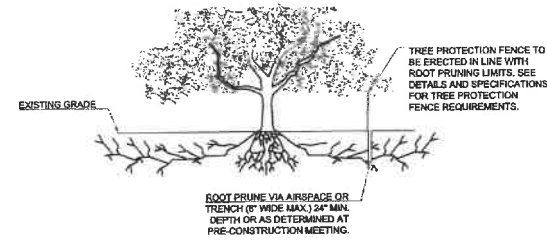
**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- " FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T-SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- THE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

**CONSTRUCTION METHODS**

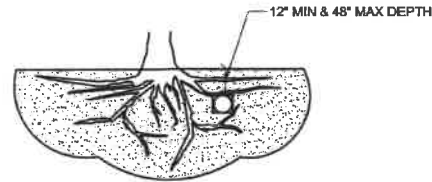
- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERRECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO FROM THE TRUNK FOR EVERY 1° OF DEHJ AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTIONS SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERRECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING, SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (M-C-30 OIL), ETC., TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
  - ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
  - WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
  - THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY, FOR OAKS ONLY. ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
  - REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
  - TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
  - ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
  - COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
  - IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  - WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
  - WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
  - CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.



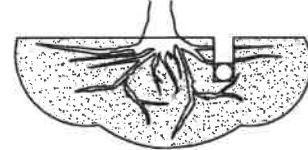
**ROOT PRUNING DETAIL**

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

**BORING THROUGH ROOT PROTECTION ZONE**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

**EXISTING TREE LEGEND**

- EXISTING TREE OFF SITE 10
- EXISTING TREE TO BE REMOVED 10

**TREE MIGRATION SUMMARY**

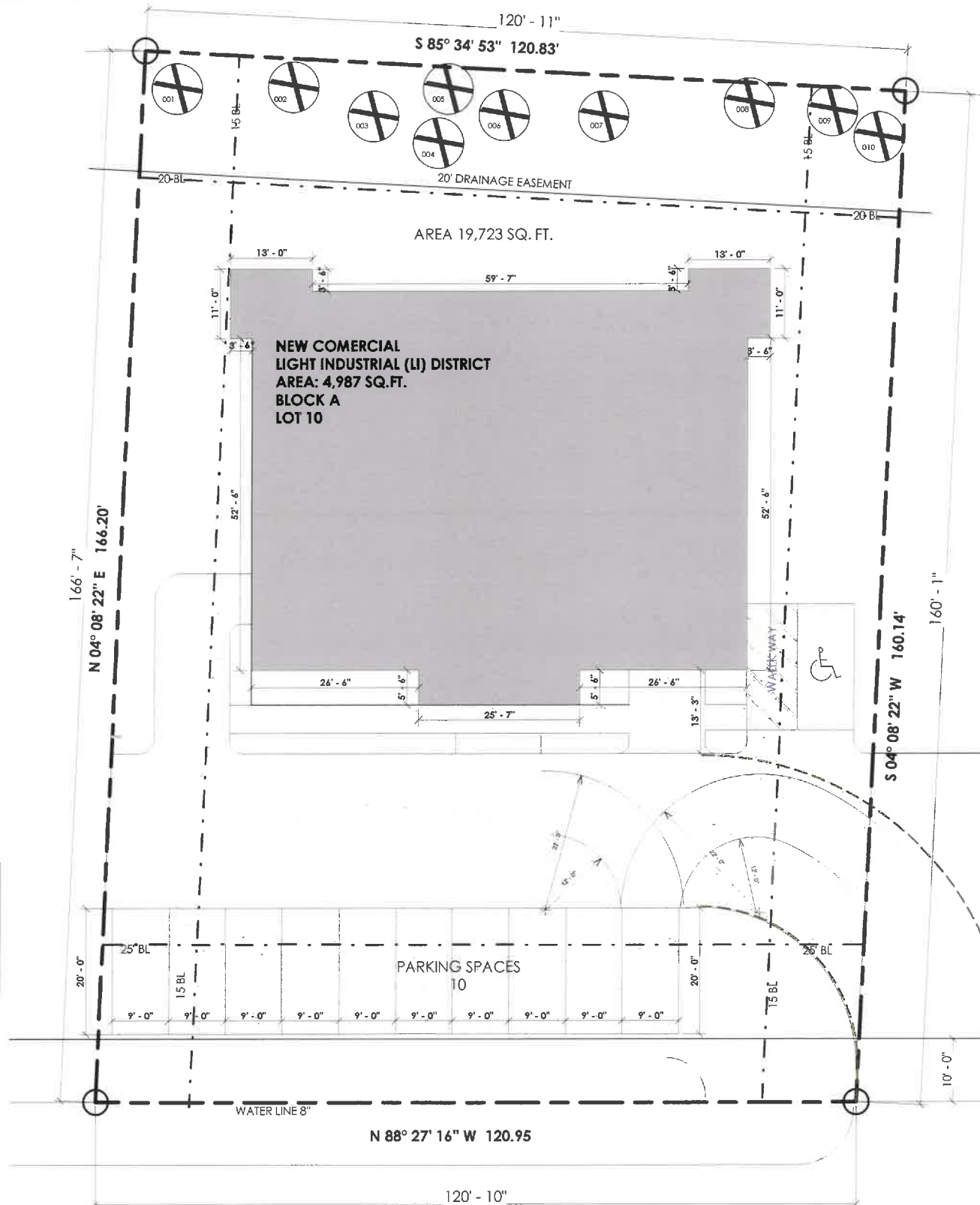
TOTAL MIGRATION REQUIRED:	40"
PROPOSED CODE REQUIRED TREES:	19"
BALANCE OF MITIGATION:	14"
4" CAL MITIGATION TREES (5) ON SITE	21"

**TRÉESCAPE PLAN SPREADSHEET**

#	SPECIES	CAUPER	PROTECT OR REMOVE	TREE HEALTH (1-5)	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
10	RED OAK	4"	REMOVE	1	N	N	N	40"
<b>TOTAL:</b>								40"

**LANDSCAPE PLAN**

3/32" = 1' 0"



**SITE PLANE DATE**

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (38%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPY OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING OR FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, VANDERBACH AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, VANDERBACH OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, VANDERBACH, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, VANDERBACH AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IF THE RESPONSIBILITY OF PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

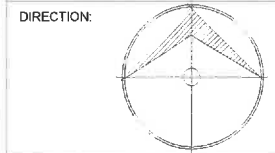
- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**EXISTING TREE LEGEND**

- EXISTING TREE OFF SITE
- EXISTING TREE TO BE REMOVED



REV NO	DATE	COMMENTS
1	22/05/2024	#1-Added case number, #2-Added case number, #3-Added case number, #4-Added case number, #5-Added case number, #6-Added case number, #7-Added case number, #8-Added case number, #9-Added case number, #10-Added case number

EXPIRATION DATE: PAPER SIZE 36X24

**TRESCAPE PLAN DETAILS & SPECIFICATIONS**

DATE: 05/01/2023  
DRAW BY: F.G.M  
SHEET 04 OF 10

**TD1**

**Performance Data**

**Electrical Load**

Model	Wattage	Volts	Amperes	Wattage	Volts	Amperes
WPK1	12.0	120	0.10	12.0	120	0.10
WPK2	24.0	120	0.20	24.0	120	0.20
WPK3	36.0	120	0.30	36.0	120	0.30
WPK4	48.0	120	0.40	48.0	120	0.40
WPK5	60.0	120	0.50	60.0	120	0.50

**Lumen Output**

Model	Wattage	Lumen
WPK1	12.0	1,200
WPK2	24.0	2,400
WPK3	36.0	3,600
WPK4	48.0	4,800
WPK5	60.0	6,000

**Lumen Ambient Temperature (LUT) Multipliers**

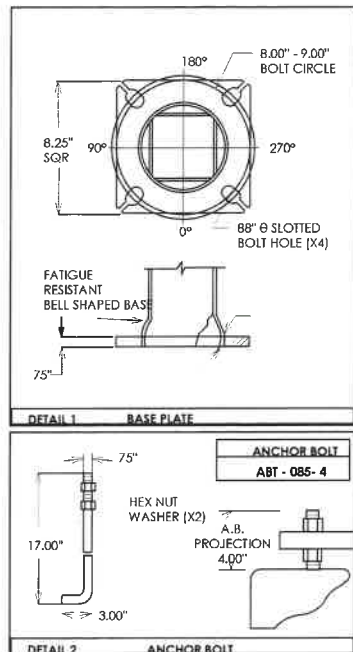
Temp (°F)	Temp (°C)	Multi
65	18	1.00
70	21	0.98
75	24	0.95
80	27	0.90
85	30	0.85
90	33	0.80
95	35	0.75
100	38	0.70
105	41	0.65
110	43	0.60
115	46	0.55
120	49	0.50
125	51	0.45
130	54	0.40
135	57	0.35
140	60	0.30
145	63	0.25
150	66	0.20
155	69	0.15
160	72	0.10
165	75	0.05
170	78	0.02
175	81	0.01

**Projected LED Lumen Maintenance**

Hours	LM-79 LM-80	LM-81	LM-82
10,000	90%	85%	80%
20,000	80%	75%	70%
30,000	70%	65%	60%
40,000	60%	55%	50%
50,000	50%	45%	40%



© 2024 Lutron Lighting LLC. All rights reserved. Lutron Lighting is a registered trademark of Lutron Lighting LLC. Lutron Lighting is not responsible for any damage or injury caused by the use of this product.



- 1) HARDWARE TO BE GALVANIZED TO ASTM A153
- 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER A153
- 3) ALL WELDING TO CONFORM TO: AWS D11 MOST RECENT EDITION
- 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION
- 5) PROVISIONS FOR GROUNDING LOCATED AT BASE HAND HOLE.

LOADING DATA		MATERIAL DATA				
DESIGN CRITERIA	COMMERCIAL STANDARD	COMPONENT	ASTM			
SPEED (mph)	80 90 100 110 120 130 140 150	POLE SHAFT	A500 GR. B			
EPA FT.	9.6 6.7 4.5 3.5 2.0 0.8 -- --	BASE PLATE	A36			
WEIGHT (lbs)	240 167 150 88 50 20 -- --	ANCHOR BOLTS	F1554 GR.55			
FINISH		MISC. STEEL	A36			
POLE DIMENSION DATA						
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA. (IN)	TOP DIA. (IN)	GAUGE OR THK (IN)	WEIGHT (LBS)
	SNS-20-40-11-AB	20	4.00	4.00	11-GA [11.92]	140



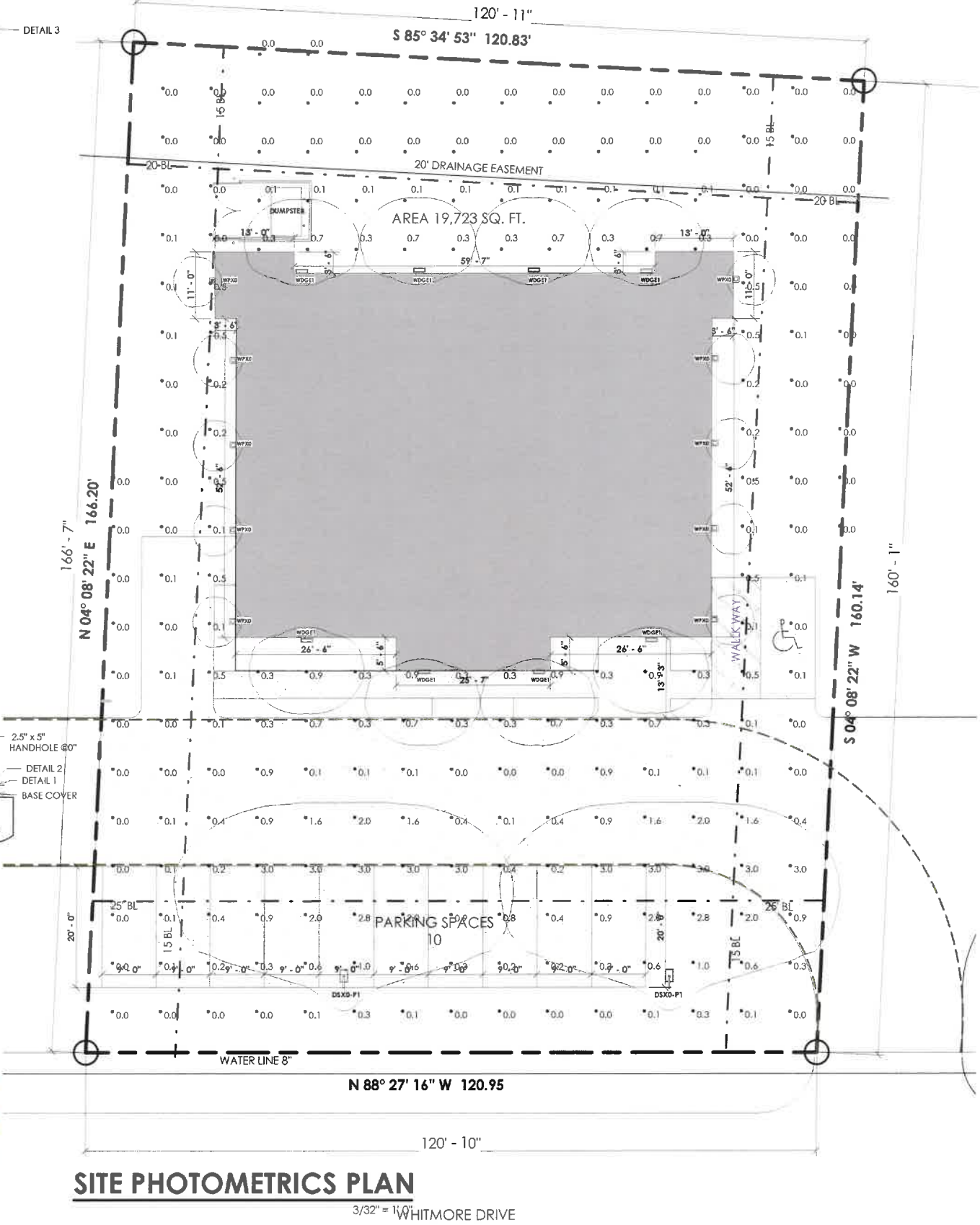
**Ordering Information** EXAMPLE: WPK1 LED ALO SWW2 MVCLT PE DBXK

Model	Color Temperature	Ballast	Mounting	Finish
WPK1	3000	0.20	VF	DBXK

**FEATURES & SPECIFICATIONS**

**Introduction:** The WPXO LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HD wall pack replacement and new construction applications. Available in four sizes, the WPXO family delivers 850 to 6,000 lumens with a wide, uniform distribution.

**The WPXO full cut-off wall pack:** is an excellent choice for the clean lighting solution. Variable IP66 construction and excellent LED lumen maintenance ensure a long service life. Standard features such as Adjustable Lumen Output (ALCO), color switching and switchable photocell enable WPXO ideal for any application.



**LUMINAIRE SCHEDULE**

SYMBOL	TYPE	QTY	MANUFACTURER / CATALOG NUMBER	TOTAL LUMEN OUTPUT	TOTAL INPUT WATTS	BALLAST FACTOR	LIGHT LOST FACTOR	USER DEFINED FACTOR
DSXO-P1	P	2	2 DSXO LED P6 40K 70CRI 13M MVCLT SPA NLAIR2 PIRHN DBXK / D-SERIES SIZE O LED AREA LUMINAIRE (LITHONIALIGHTING)	8,800	68.11	1.000	0.850	1.000
WDGE1	W	8	WDGE1 LED P2 40K 80CRI VF MVCLT SRM PE DBXK / WDGE1 LED ARCHITECTURAL WALL SCIENCE (LITHONIALIGHTING)	7,200	24	1.000	0.800	1.000
WPXO	W	10	WPXO LED ALO SWW2 MVCLT PE DBXK / WPXO LED WALL PACK (LITHONIALIGHTING)	6,940	20	1.000	0.850	1.000

**PROJECT:** NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

**OWNER:** SALVADOR SALCEDO

**LOCATION:** 855 WHITMORE DRIVE, ROCKWALL, TX



**Gamma Group, Design & Construction LLC**  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGNER CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN AND NOT THE PROPERTY OF ANY OTHER PARTY. THE DESIGNER RETAINS ALL COMMON LAW STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND/OR OF THE COPYRIGHT LAWS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT AWE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION DESIGN. ENGINEERS SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL OF PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**NOTE:** GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS, THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

- NOTES:**
1. SURFACE REFLECTANCES: VERTICAL/HORIZONTAL - 50/20
  2. MOUNTING HEIGHTS ARE DESIGNATED ON DRAWING WITH E2
  3. LUMINAIRE DESCRIPTION DOES NOT NECESSARILY REFLECTS SPECIFICATION MODEL NUMBER. CONTACT SALESPERSON FOR VERIFICATION.
  4. LIGHTING POWER DENSITY IS CALCULATED BASED ON ESTIMATED BALLAST/DRIVER ENERGY CONSUMPTION. ENGINEER TO VERIFY
  5. FOR LUMEN OUTPUT OF SCALE LUMINAIRES, MULTIPLY TOTAL LUMEN OUTPUT BY USER DEFINED FACTOR.
  6. CALCULATION VALUES ARE AT HEIGHT INDICATED IN SUMMARY TABLE



**REV NO** | **DATE** | **COMMENTS**

1	02/01/2024	1) AS-BUILT case number 2) Standard signature block with signature space for Planning and Zoning Chair and Planning Director added
---	------------	---

**EXPIRATION DATE:** PAPER SIZE 36X24

**PLAN:** SITE PHOTOMETRICS & DETAILS

**DATE:** 05/01/2023

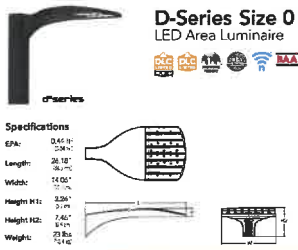
**DRAWN BY:** F.G.M. SHEET 05 OF 10

**APPROVED:** I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman | Director of Planning and Zoning





Introduction
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest LED technology into a high performance, high efficacy, long-life luminaire.

Ordering Information
EXAMPLE: D50X LED P6 40K 70CRI T3M MV01T SFA NTA1R2 PRRH V DB08

Controls Options
Table detailing various control options and their descriptions.



One Lithonia Way • Covington, Georgia 30012 • Phone: 1-800-765-6778 • www.lithonia.com

Performance Data

Lumen Ambient Temperature (LAT) Multiplier
Table showing LAT multipliers for various ambient temperatures.

Projected LED Lumen Maintenance
Table showing lumen maintenance over time for different temperatures.

Motion Sensor Default Settings
Table detailing motion sensor settings like sensitivity and delay.

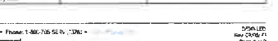


One Lithonia Way • Covington, Georgia 30012 • Phone: 1-800-765-6778 • www.lithonia.com

Electrical Load
Table detailing electrical load specifications for various luminaire models.

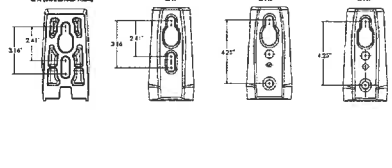
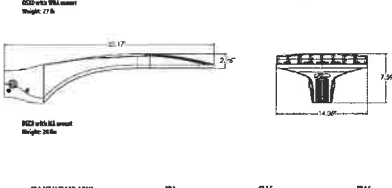
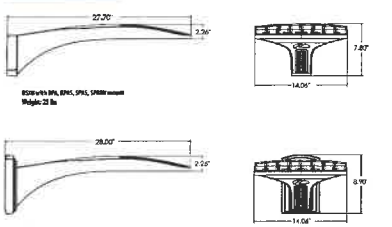
LED Color Temperature / Color Rendering Multiplier
Table showing color temperature and CRI multipliers.

Motion Sensor Default Settings
Table detailing motion sensor settings like sensitivity and delay.



One Lithonia Way • Covington, Georgia 30012 • Phone: 1-800-765-6778 • www.lithonia.com

Dimensions



One Lithonia Way • Covington, Georgia 30012 • Phone: 1-800-765-6778 • www.lithonia.com

WDGE1 LED Architectural Wall Sconce



WDGE1 LED Family Overview
Table showing various luminaire models and their specifications.

Ordering Information
EXAMPLE: WDGE1 LED P2 40K 80CRI VF MV01T SRM PE DB08



One Lithonia Way • Covington, Georgia 30012 • Phone: 1-800-765-6778 • www.lithonia.com

Performance Data

Lumen Output
Table showing lumen output for different luminaire models.

Electrical Load
Table detailing electrical load specifications.

Lumen Ambient Temperature (LAT) Multiplier
Table showing LAT multipliers for various ambient temperatures.



One Lithonia Way • Covington, Georgia 30012 • Phone: 1-800-765-6778 • www.lithonia.com

Performance Data

Lumen Output
Table showing lumen output for different luminaire models.

Electrical Load
Table detailing electrical load specifications.

Lumen Ambient Temperature (LAT) Multiplier
Table showing LAT multipliers for various ambient temperatures.



One Lithonia Way • Covington, Georgia 30012 • Phone: 1-800-765-6778 • www.lithonia.com

Performance Data

Lumen Output
Table showing lumen output for different luminaire models.

Electrical Load
Table detailing electrical load specifications.

Lumen Ambient Temperature (LAT) Multiplier
Table showing LAT multipliers for various ambient temperatures.



One Lithonia Way • Covington, Georgia 30012 • Phone: 1-800-765-6778 • www.lithonia.com

Performance Data

Lumen Output
Table showing lumen output for different luminaire models.

Electrical Load
Table detailing electrical load specifications.

Lumen Ambient Temperature (LAT) Multiplier
Table showing LAT multipliers for various ambient temperatures.



One Lithonia Way • Covington, Georgia 30012 • Phone: 1-800-765-6778 • www.lithonia.com

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE
OWNER: SALVADOR SALCEDO
LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX
Gamma Group, Design & Construction LLC
33 09 ELM ST # 250, Dallas Texas, 75228
www.gammagroup-usa.com
(469)-583-7174 & (469)-463-2761



PHOTOMETRICS DETAILS table with columns for REV NO., DATE, COMMENTS.

EXPIRATION DATE: PAPER SIZE 36X24
PLAN: SITE PHOTOMETRICS DETAILS
DATE: 05/01/2023
DRAWN BY: F.G.M SHEET 06 OF 10

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024. WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024.

PROJECT: NEW COMERCIAL  
 OWNER: SALVADOR SALCEDO  
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGNER'S IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN AND NOT NECESSARILY THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

ENGINEERING GENERAL NOTES

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT BE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

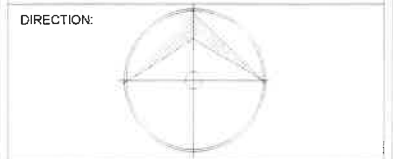
NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:  
 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.  
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
 3- PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN



REV NO	DATE	COMMENTS
1	2024/03/28	a) Added case number b) Deleted signature block with space for Planning and Zoning Chair and Planning Director attached c) The roof is 8' standing seam d) Parapet height added and the rear part of the parapet will be covered with the same material as the exterior facade e) The location of RTUs is indicated

EXPIRATION DATE: PAPER SIZE 35X24

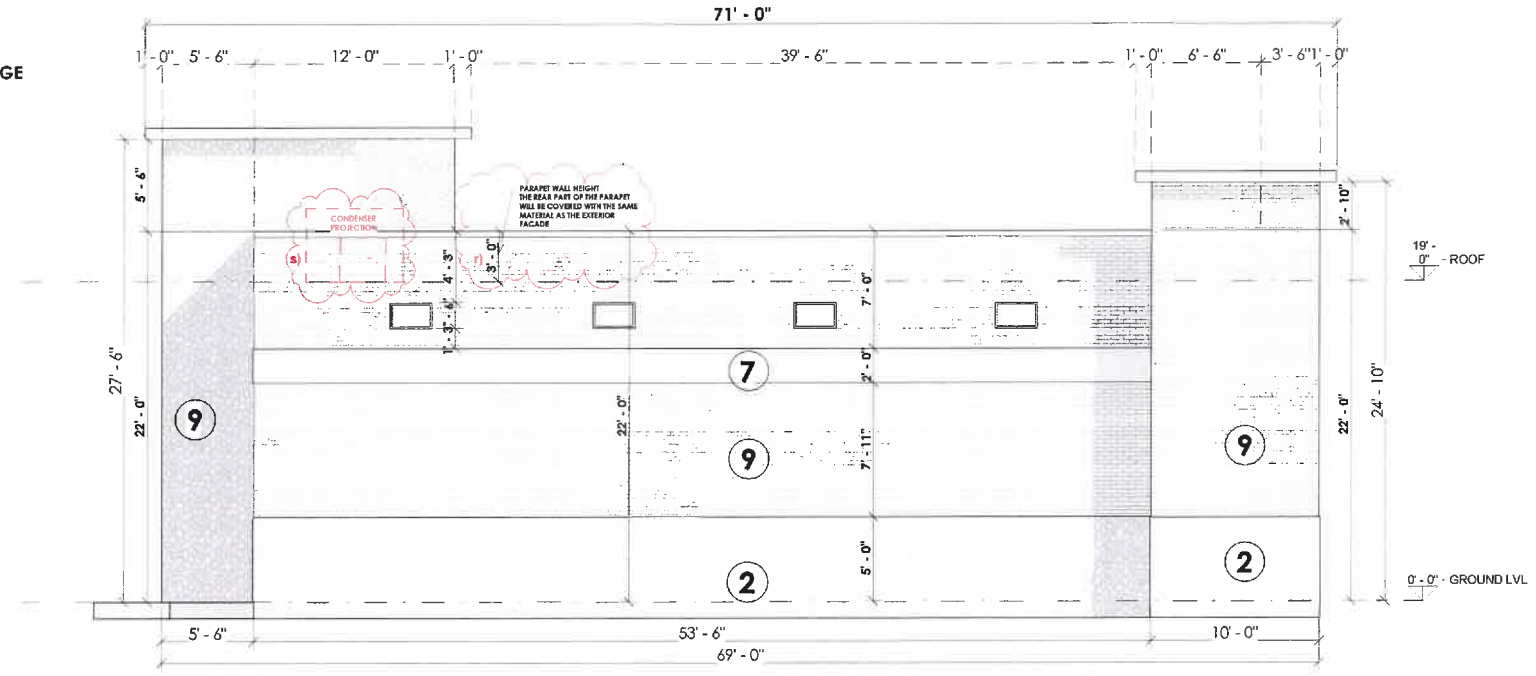
PLAN: ELEVATIONS

DATE: 04/11/2022  
 DRAW BY: F.G.M. SHEET 09 OF 10

AREA AND PERCENTAGE OF MATERIALS

	TOTAL AREA	PERCENTAGE
LEFT ELEVATION	1,801 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	1,693 S.Q. F.T.	93.0 %
9 BRICKS	1,217 S.Q. F.T.	63.0 %
2 NATURAL STONE	476 S.Q. F.T.	30.0 %
7 SECONDARY MATERIAL	106 S.Q. F.T.	07.0 %
TOTAL	1,801 S.Q. F.T.	100 %

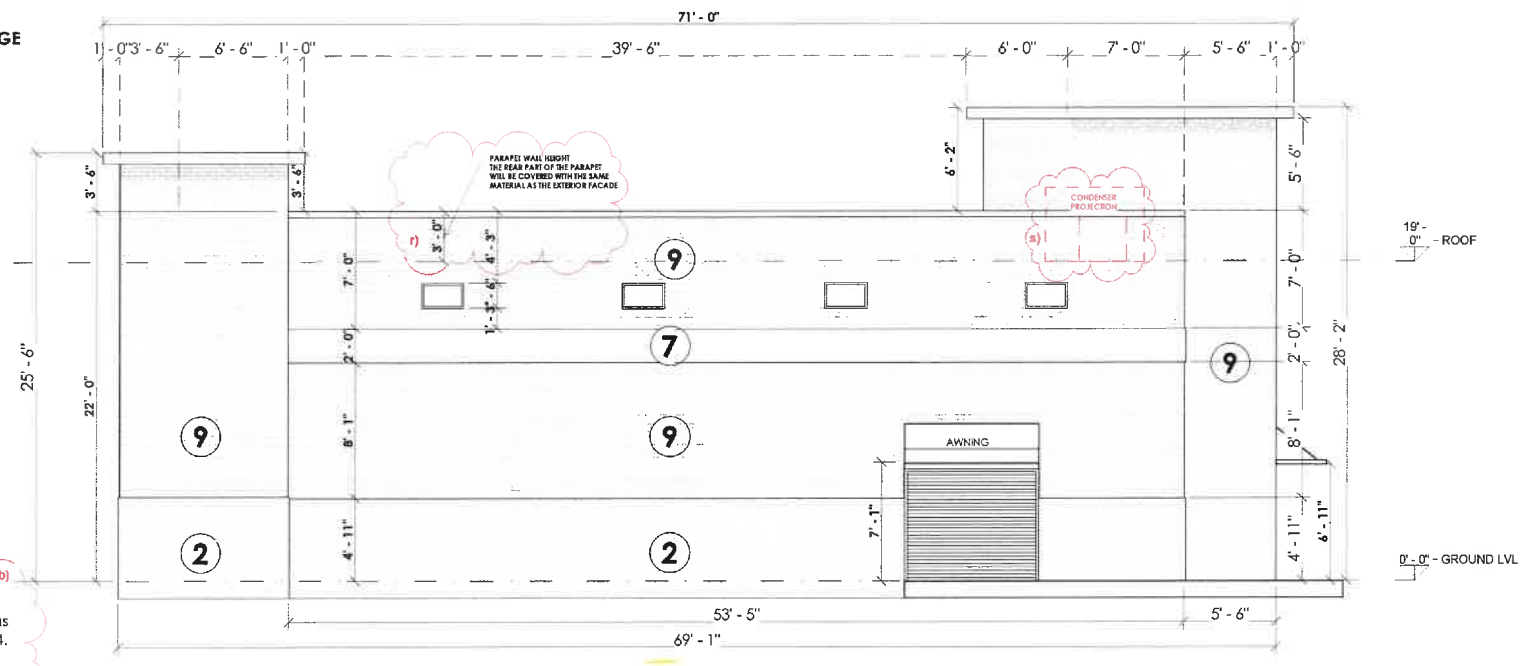
RIGHT ELEVATION  
 3/16" = 1' 0"



AREA AND PERCENTAGE OF MATERIALS

	TOTAL AREA	PERCENTAGE
LEFT ELEVATION	1,801 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	1,693 S.Q. F.T.	93.0 %
9 BRICKS	1,217 S.Q. F.T.	63.0 %
2 NATURAL STONE	476 S.Q. F.T.	30.0 %
7 SECONDARY MATERIAL	106 S.Q. F.T.	07.0 %
TOTAL	1,801 S.Q. F.T.	100 %

LEFT ELEVATION  
 3/16" = 1' 0"



APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.  
 WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman  
 Director of Planning and Zoning



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

855 Whitmore Dr

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Salvador Salcedo

APPLICANT

CONTACT PERSON

Salvador Salcedo

CONTACT PERSON

ADDRESS

210 Cedar Tree Ln

ADDRESS

CITY, STATE & ZIP

Heath, Texas 75032

CITY, STATE & ZIP

PHONE

214-552-2008

PHONE

E-MAIL

salvasalce@novaairac.com

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Salvador Salcedo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF May, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

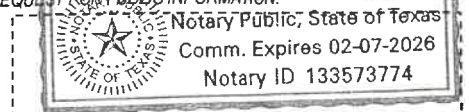
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF May, 2024

OWNER'S SIGNATURE

*Salvador Salcedo*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*




MY COMMISSION EXPIRES 02-07-2026



SP2024-032: Site Plan for 855 Whitmore Drive



Case Location Map = 

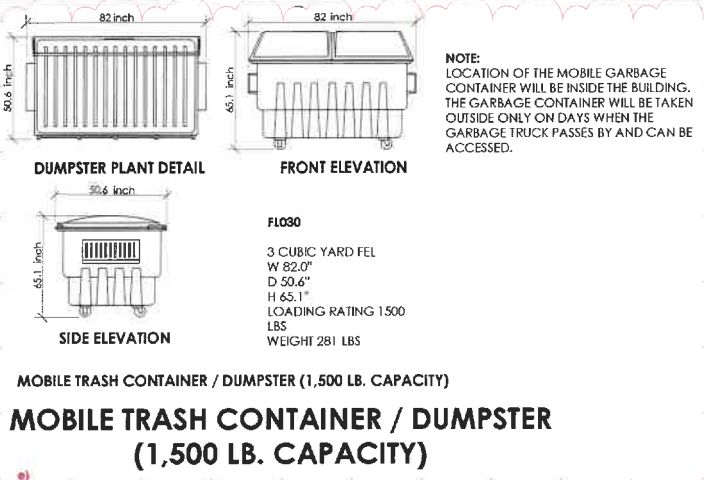
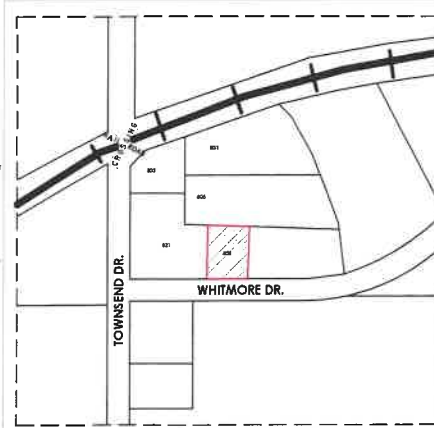


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**PLANE DATE**

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
WALKING AREA	385 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

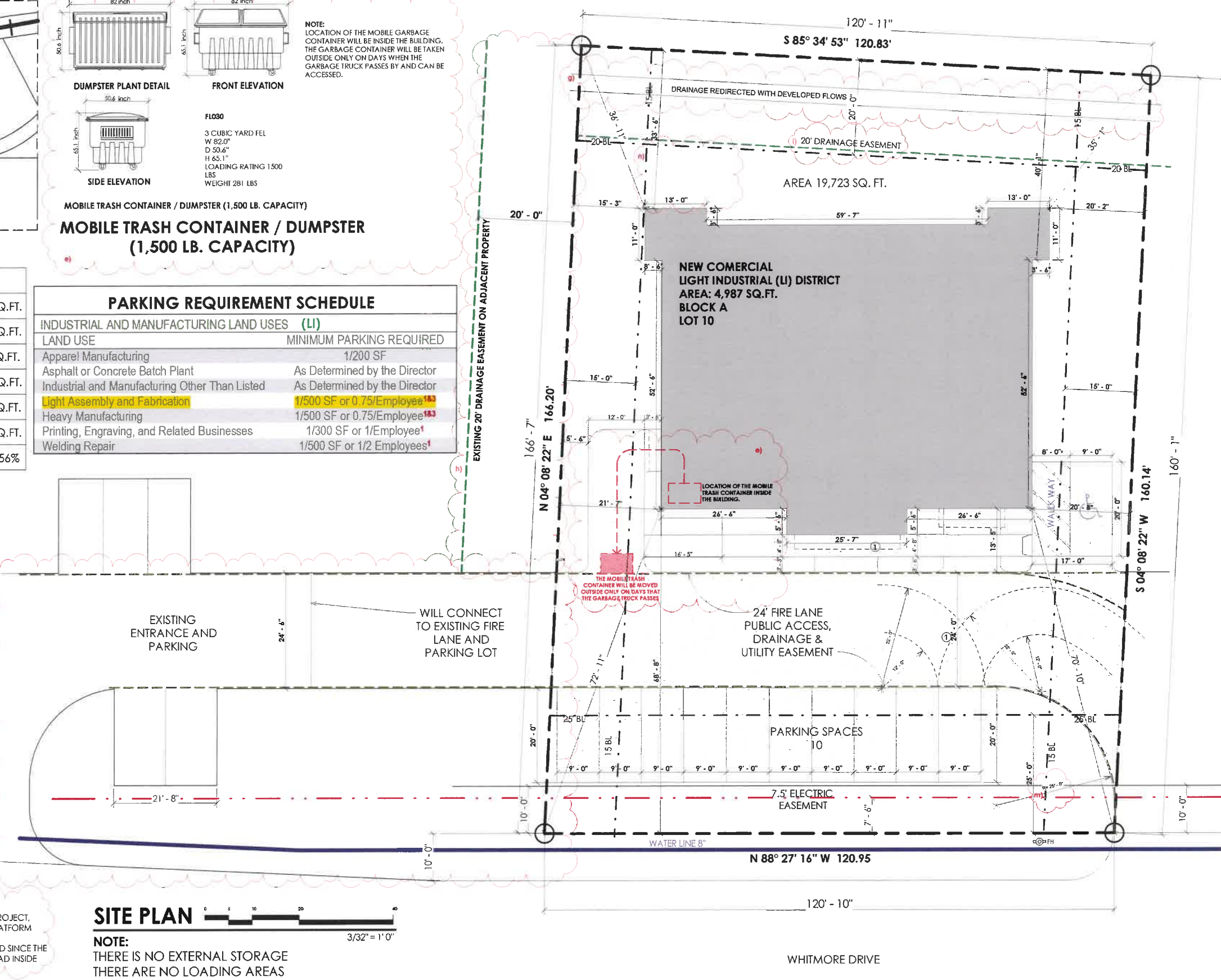
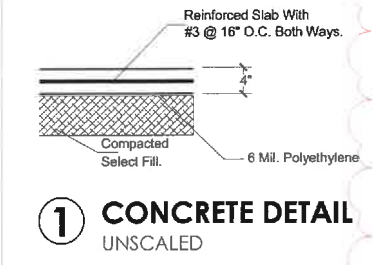
**PARKING REQUIREMENT SCHEDULE**

INDUSTRIAL AND MANUFACTURING LAND USES (LI)	MINIMUM PARKING REQUIRED
Apparel Manufacturing	1/200 SF
Asphalt or Concrete Batch Plant	As Determined by the Director
Industrial and Manufacturing Other Than Listed	As Determined by the Director
Light Assembly and Fabrication	1/500 SF or 0.75/Employee <sup>1,3</sup>
Heavy Manufacturing	1/500 SF or 0.75/Employee <sup>1,3</sup>
Printing, Engraving, and Related Businesses	1/300 SF or 1/Employee <sup>1</sup>
Welding Repair	1/500 SF or 1/2 Employees <sup>1</sup>

**USE OF STRUCTURE**

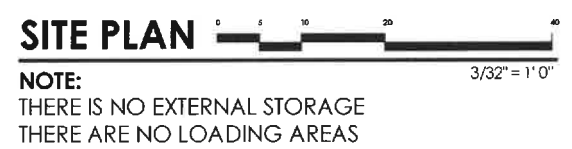
CONSTRUCTION TYPE: LI  
LIGHT INDUSTRIAL

NO. STORIES: ONE  
HEIGHT: 60' 0"  
SETBACKS  
FRONT: 25' 0"  
SIDE: 15' 0"  
REAR: 20' 0"  
MAX. LOT COVERAGE: 60%



**NOTE:**

- NO TYPE OF FENCE IS PROPOSED IN THIS PROJECT.
- DOES NOT PROPOSE ANY GROUND OR PLATFORM MOUNTED UTILITY EQUIPMENT
- NO OFF-STREET LOADING DOCK PROPOSED SINCE THE BUILDING IS DESIGNED FOR TRUCKS TO LOAD INSIDE



**NOTE:**  
THERE IS NO EXTERNAL STORAGE  
THERE ARE NO LOADING AREAS

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman  
Director of Planning and Zoning

PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**ENGINEERING GENERAL NOTES**

1. GAMMA GROUP, INC. IS AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ENGINEERS. WE ARE LICENSED TO DESIGN STRUCTURAL FRAMING, INTERIOR OR FOUNDATION. LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, INTERIOR, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, INTERIOR AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS, THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS AND DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

LEGEND			
CM	CONTROLLING MONUMENT	CONCRETE	
5/8"	IRON ROD FOUND	BUILDING	
"X"	FOUND IN CONCRETE	PORCH, DECK, ETC.	
○	POINT FOR CORNER	OHT	OVERHEAD TELEPHONE
FO	FIBER OPTIC PEDESTAL	OHP	OVERHEAD ELECTRIC
○	POWER POLE	—	ELECTRIC EASEMENT
—	FIRE LANE	—	METAL FENCE
⊙	WATER METER	—	WOOD FENCE
⊙	TELE. MANHOLE	⊙	SANITARY SEWER MANHOLE
⊙	TELE. VAULT	⊙	STORM DRAIN MANHOLE
⊙	VACUUM	♿	HANDICAP PARKING
⊙	LIGHT POLE	E	ELECTRIC BOX
⊙	UNDERGROUND ELECTRIC	⊙	CLEANOUT
⊙	PROPOSAL FIRE HYDRANT	⊙	TELEPHONE PEDESTAL
⊙	GAS METER	⊙	CABLE PEDESTAL
⊙	WATER VALVE	⊙	ASPHALT PAVING GRAVEL

DIRECTION:

REV. NO.	DATE	COMMENTS
1	03/23/2024	4-Added site number 5-Added site number 6-Added site number 7-Added site number 8-Added site number 9-Added site number 10-Added site number 11-Added site number 12-Added site number 13-Added site number 14-Added site number 15-Added site number 16-Added site number 17-Added site number 18-Added site number 19-Added site number 20-Added site number 21-Added site number 22-Added site number 23-Added site number 24-Added site number 25-Added site number 26-Added site number 27-Added site number 28-Added site number 29-Added site number 30-Added site number 31-Added site number 32-Added site number 33-Added site number 34-Added site number 35-Added site number 36-Added site number 37-Added site number 38-Added site number 39-Added site number 40-Added site number 41-Added site number 42-Added site number 43-Added site number 44-Added site number 45-Added site number 46-Added site number 47-Added site number 48-Added site number 49-Added site number 50-Added site number 51-Added site number 52-Added site number 53-Added site number 54-Added site number 55-Added site number 56-Added site number 57-Added site number 58-Added site number 59-Added site number 60-Added site number 61-Added site number 62-Added site number 63-Added site number 64-Added site number 65-Added site number 66-Added site number 67-Added site number 68-Added site number 69-Added site number 70-Added site number 71-Added site number 72-Added site number 73-Added site number 74-Added site number 75-Added site number 76-Added site number 77-Added site number 78-Added site number 79-Added site number 80-Added site number 81-Added site number 82-Added site number 83-Added site number 84-Added site number 85-Added site number 86-Added site number 87-Added site number 88-Added site number 89-Added site number 90-Added site number 91-Added site number 92-Added site number 93-Added site number 94-Added site number 95-Added site number 96-Added site number 97-Added site number 98-Added site number 99-Added site number 100-Added site number

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:

**SITE PLAN**

DATE: 04/22/2024

DRAWN BY: F.G.M.

SHEET 02 OF 10

**A1**

PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S ORIGINAL WORK AND ARE THE PROPERTY OF THE DESIGNER. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

ENGINEERING GENERAL NOTES

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM, WE DO NOT QUALIFY TO BE ONE, NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

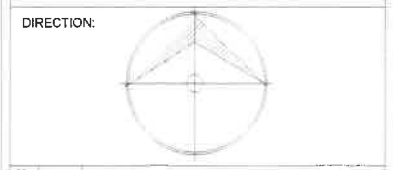
THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND REQUIREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN



REV. NO.	DATE	COMMENTS
1	12/03/2024	a) Added case number b) Standard signature block with signature space for Planning and Zoning Chair and Planning Director attached c) The roof will be standing seam d) Parapet height noted and the rear part of the parapet will be covered with the same material as the exterior facade e) The bottom of RTUs is redlined

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: ELEVATIONS

DATE: 04/11/2022  
DRAWN BY: F.G.M.  
SHEET 08 OF 10

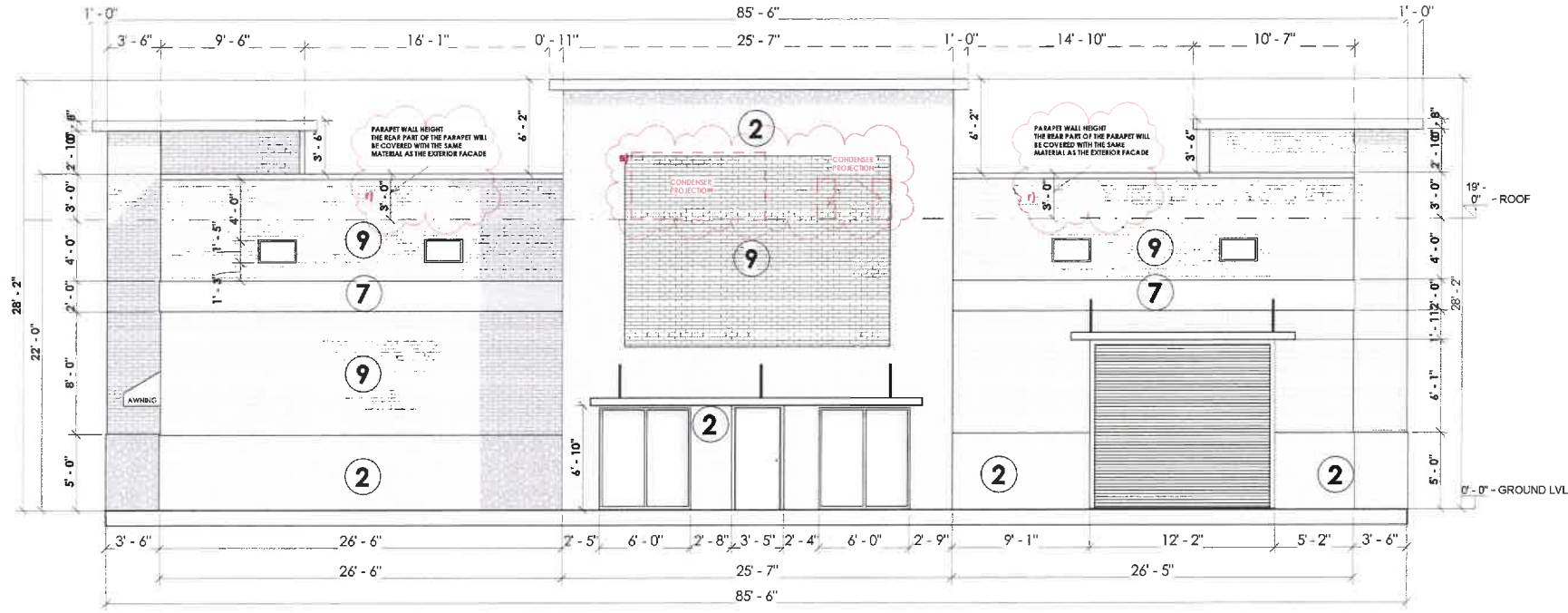
A2

AREA AND PERCENTAGE OF MATERIALS

	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,312 S.Q. F.T.	100 %
9	BRICKS	2,136 S.Q. F.T.	94.0 %
2	NATURAL STONE	1,510 S.Q. F.T.	64.0 %
7	SECONDARY MATERIAL	106 S.Q. F.T.	30.0 %
	TOTAL	2,312 S.Q. F.T.	100 %

FRONT ELEVATION

3/16" = 1' 0"

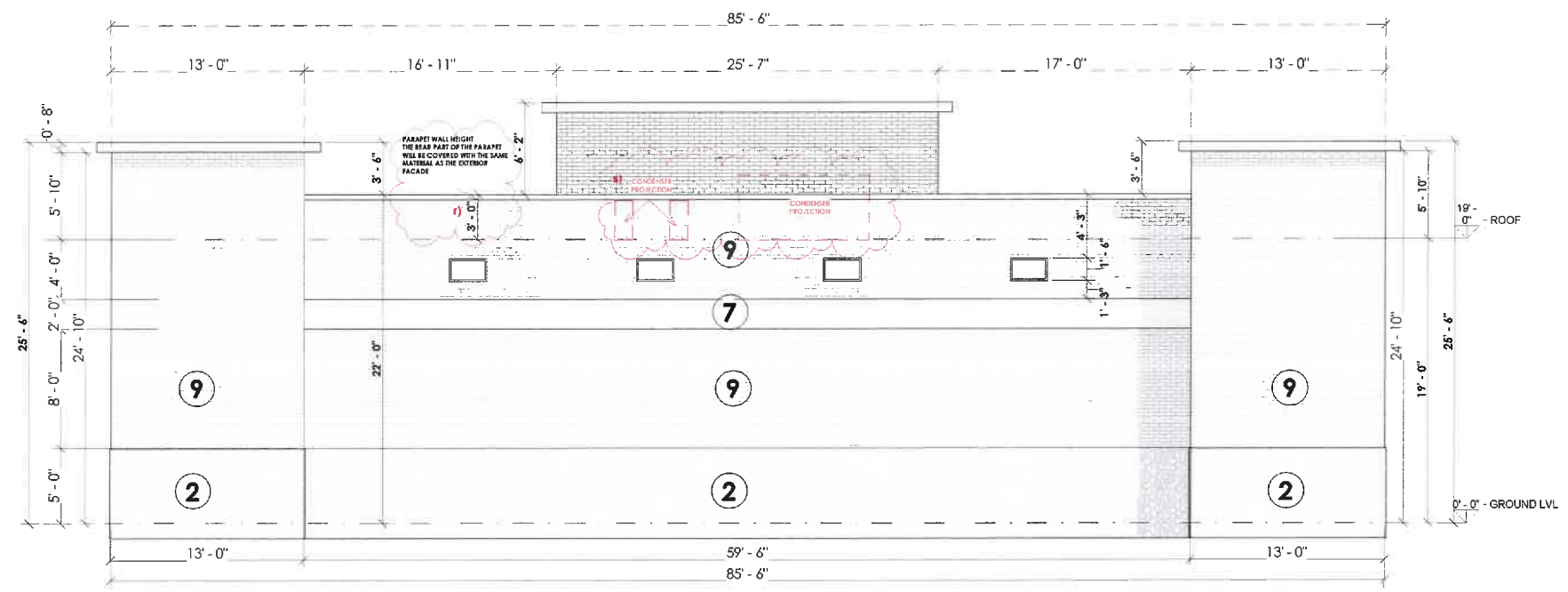


AREA AND PERCENTAGE OF MATERIALS

	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,128 S.Q. F.T.	100 %
9	BRICKS	2,116 S.Q. F.T.	94.0 %
2	NATURAL STONE	1,415 S.Q. F.T.	73.0 %
7	SECONDARY MATERIAL	159 S.Q. F.T.	21.0 %
	TOTAL	2,128 S.Q. F.T.	100 %

REAR ELEVATION

3/16" = 1' 0"



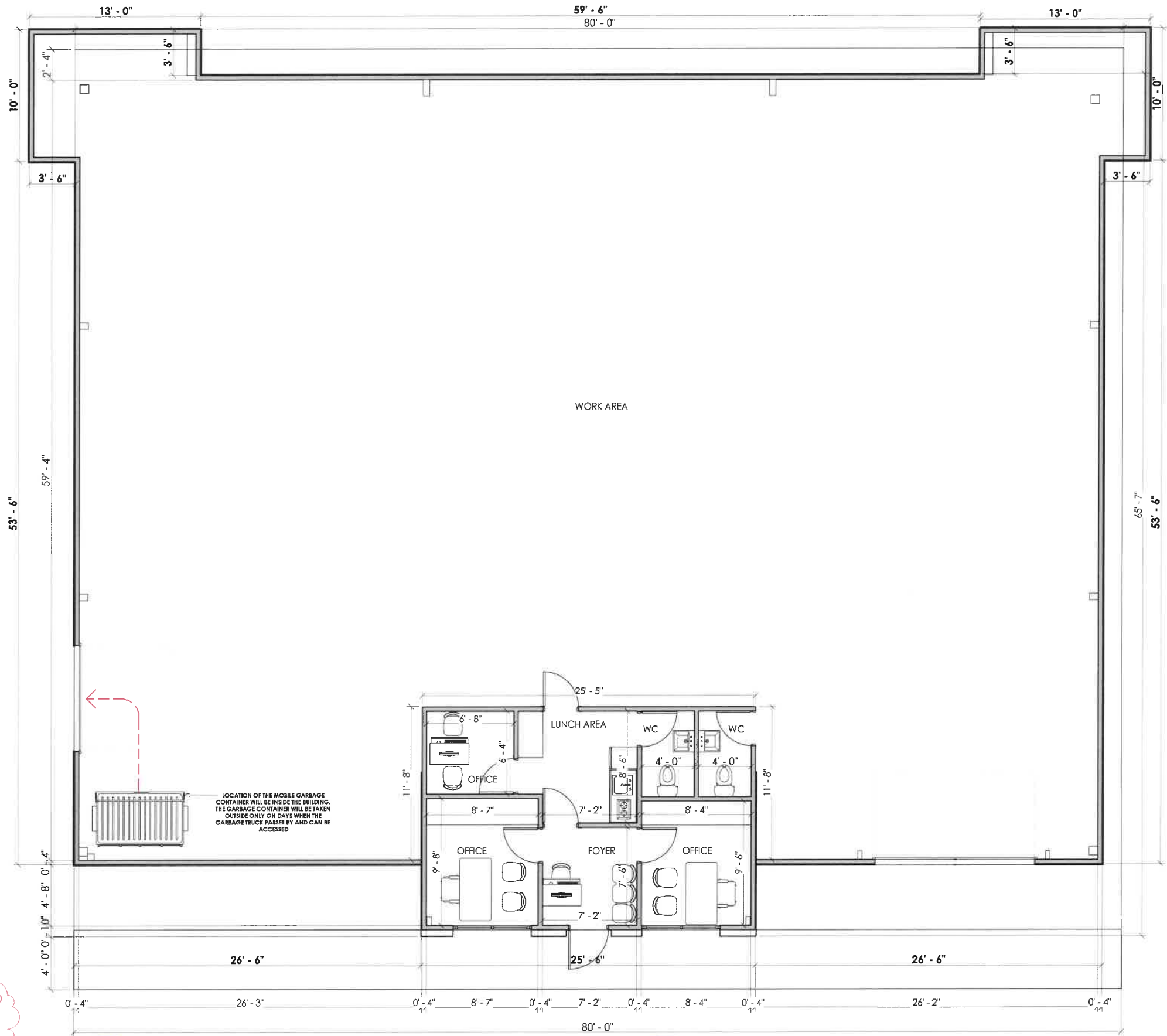
**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

\_\_\_\_\_  
Planning & Zoning Commission, chairman

\_\_\_\_\_  
Director of Planning and Zoning



**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

\_\_\_\_\_  
 Planning & Zoning Commission, chairman

\_\_\_\_\_  
 Director of Planning and Zoning

**FLOOR PLAN**

1/4" = 1' 0"

PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

**Gamma Group**  
 Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS, THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL, FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULT IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNERS IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

TABULATION AREA	
WORK AREA	4,656 SQ.FT.
OFFICE	432 SQ.FT.
<b>TOTAL</b>	<b>4,960 SQ.FT.</b>

DIRECTION:

REV. NO.	DATE	COMMENTS
1	22/09/2024	a) added case number b) changed signature box with signature space for Planning and Zoning Chair and Planning Director attached c) location of the Mobile Garbage Container will be inside the building. The garbage container will be taken outside only on days when the garbage truck passes by and can be accessed.

EXPIRATION DATE: \_\_\_\_\_

PAPER SIZE 36X24

PLAN: \_\_\_\_\_

**FLOOR PLAN**

DATE: 04/11/2022

DRAW BY: F.G.M.

**A1**

SHEET 07 OF 10

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANNING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +10. OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON SOIL TEST PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO US AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO ALLS AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALK AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 18" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH MATTERS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC)
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT QUANTITIES AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS, OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
  - SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

- MULCHES**
- AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH (NATURAL UNDyed), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANNING NOTES" AND SPECIFICATIONS).
- ROOT BARRIERS**
- THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.
- IRRIGATION CONCEPT**
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
  - THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
  - ALIGNMENT/TURF PLANTING AREAS SHALL BE DWP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
  - ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
  - THE IRRIGATION SYSTEM SHALL BE INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTORIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
  - ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08).

- CONCRETE**
- (A) PORTLAND CEMENT SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.2
  - (B) UP TO 20% (BY WEIGHT) OF THE CEMENT CONTENT MAY BE REPLACED WITH TYPE C FLY ASH. FLY ASH REPLACEMENT SHALL BE 1.25 POUNDS PER 1.0 POUND OF CEMENT REDUCTION. ALSO REFER TO N.C.T.C.O.G. ITEM 303
  - (C) AGGREGATES SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.1. RIVER ROCK OR BLENDED AGGREGATES MUST NOT BE ALLOWED.
  - (D) MANUFACTURED SAND SHALL NOT EXCEED 20% OF THE TOTAL SAND CONTENT IN THE CONCRETE MIX DESIGN.
  - (E) CONCRETE FOR ALL PAVING AND CURBS WITHIN THE RIGHT-OF-WAY SHALL HAVE A MINIMUM 5 1/2 SACKS/CUBIC YARD OF CEMENT CONTENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI WHEN TESTED AT THE AGE OF 28 DAYS. HAND PLACED CONCRETE SHALL HAVE A MINIMUM 4 1/2 SACKS/CUBIC YARD OF CEMENT CONTENT AND MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI.
  - (F) THE DESIGN ENGINEER SHALL APPROVE THE CONCRETE MIX DESIGN IN WRITING PRIOR TO USE.
  - (G) PAVEMENT CURBS SHALL BE POURED MONOLITHICALLY. PLEASE REFER TO N.C.T.C.O.G. ITEM 303.5.2.4.
  - (H) STAMP OR DIE PROJECT PAVING LIMITS INCLUDING ALL STREET INTERSECTIONS TO N.C.T.C.O.G. ITEM 303.4.2.3 AND DETAILS ON THIS SHEET.
  - (I) THERE SHALL BE ZERO TO BRANES FOR CONCRETE STRENGTH AND DEPTH. NO VARIANCES ARE ALLOWED. ANY AREAS OF (J) DEFICIENCY SHALL BE REMOVED AND REPLACED. ALL CURBS AND GUTTERS SHALL BE POURED IN ONE COURSE. CONSTRUCTION CONCRETE SHALL BE PLACED IN FORMS ON COMPACTED, WETTED SUBGRADE AND SHALL BE TAMPED AND SPADED UNTIL MORTAR COVERS THE ENTIRE SURFACE. TAMPING AND SPADED OF NEWLY POURED CONCRETE SHALL BE GIVEN SPECIAL ATTENTION TO ENSURE ADEQUATE COMPACTION AND SURFACES FREE OF HONEYCOMBS.
- CURING:**
- (A) PLEASE REFER TO ITEM 303.5.8 AND 303.2.12.1.1 OF THE N.C.T.C.O.G. SPECIFICATIONS
  - (B) THE CONTRACTOR SHALL USE A WHITE PIGMENTED LIQUID CURING COMPOUND AS PER N.C.T.C.O.G. ITEM 303.5.8 AND 303.2.12.1.1

- REFERENCE CONCRETE**
- | MIX DESIGN            | MASS PER M <sup>3</sup> | C1-270-F10-W165 |
|-----------------------|-------------------------|-----------------|
| CLUNKER 1: CEM1 S2.5R | KG                      | 270             |
| FLY ASH (EN 450)      | KG                      | 10              |
| WATER                 | KG                      | 162             |
| SUPERPLASTICIZER      | KG                      | 2.8             |
| RIVER SAND 0-2 mm     | KG                      | 597             |
| RIVER GRAVEL 2-8mm    | KG                      | 446             |
| RIVER GRAVEL 8-16mm   | KG                      | 847             |
| w/c                   |                         | 0.61            |
| w/c <sub>req</sub>    |                         | 0.60            |

- APPROVED:**
- I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.
- WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

**CONCRETE DETAIL UNSCALED**

Reinforced Slab With #3 @ 16" O.C. Both Ways.

6 Mil. Polyethylene

Compacted Select Fill.

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman Director of Planning and Zoning

**LANDSCAPE STANDARDS**

**05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (LI) DISTRICT.**

TOTAL SITE AREA: 519,737 SQ.FT.  
 LANDSCAPE AREA REQUIRED TOTAL SITE: 2,960 SQ.FT. (15%)  
 LANDSCAPE PROVIDED, TOTAL SITE: 8,516 SQ.FT. (43%)

LOCATION OF LANDSCAPING: A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTAGES 2,960 SQ.FT X 100% = 2,960 SQ.FT

LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS: 3,960 SQ.FT. (46%)

MIN. SIZE OF AREAS: ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA UNLESS IT IS WITHIN TEN (10) FEET OF A BUILDING ON THE SAME LOT.

DETECTION BASIN: DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES. THERE SHALL BE A MINIMUM OF ONE (1) CANOPY TREE PER 750 SF AND ONE (1) ACCENT TREE PER 1,500 SF OF DETENTION AREA.

PROPOSED DETENTION BASIN: 1,250 SQ. FT. 2,960 SQ. FT. / 750 SQ. FT. = 2 CANOPY TREE  
 CANOPY TREES REQUIRED: 2  
 ACCENT TREES PROVIDED: 3  
 ACCENT TREES REQUIRED: 2

PARKING LOT LANDSCAPING: PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES (I.E. ONE (1) DRIVE ISLE WITH ROWS OF PARKING ON EITHER SIDE SHALL HAVE A MINIMUM FOR FIVE (5) PERCENT OR 200 SF OF LANDSCAPING - WHICHEVER IS GREATER - IN THE INTERIOR OF THE PARKING LOT AREA. SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL REQUIRED LANDSCAPING.

PROPOSED PARKING AREA: 2,140 SQ. FT.  
 REQ. PARKING AREA LANDSCAPING: 40 SQ. FT. OR 200 SQ. FT.  
 PROPOSED PARKING LOT LANDSCAPING: 1,400 SQ. FT.

TREES REQUIRED: (1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE REQUIRED TO BE PLANTED INTERNAL TO THE PARKING AREAS. (3) NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO THE EDGE OF PAVEMENT

TREES PROVIDED: 1 LARGE CANOPY TREE  
 2 LARGE CANOPY TREE

**05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL**

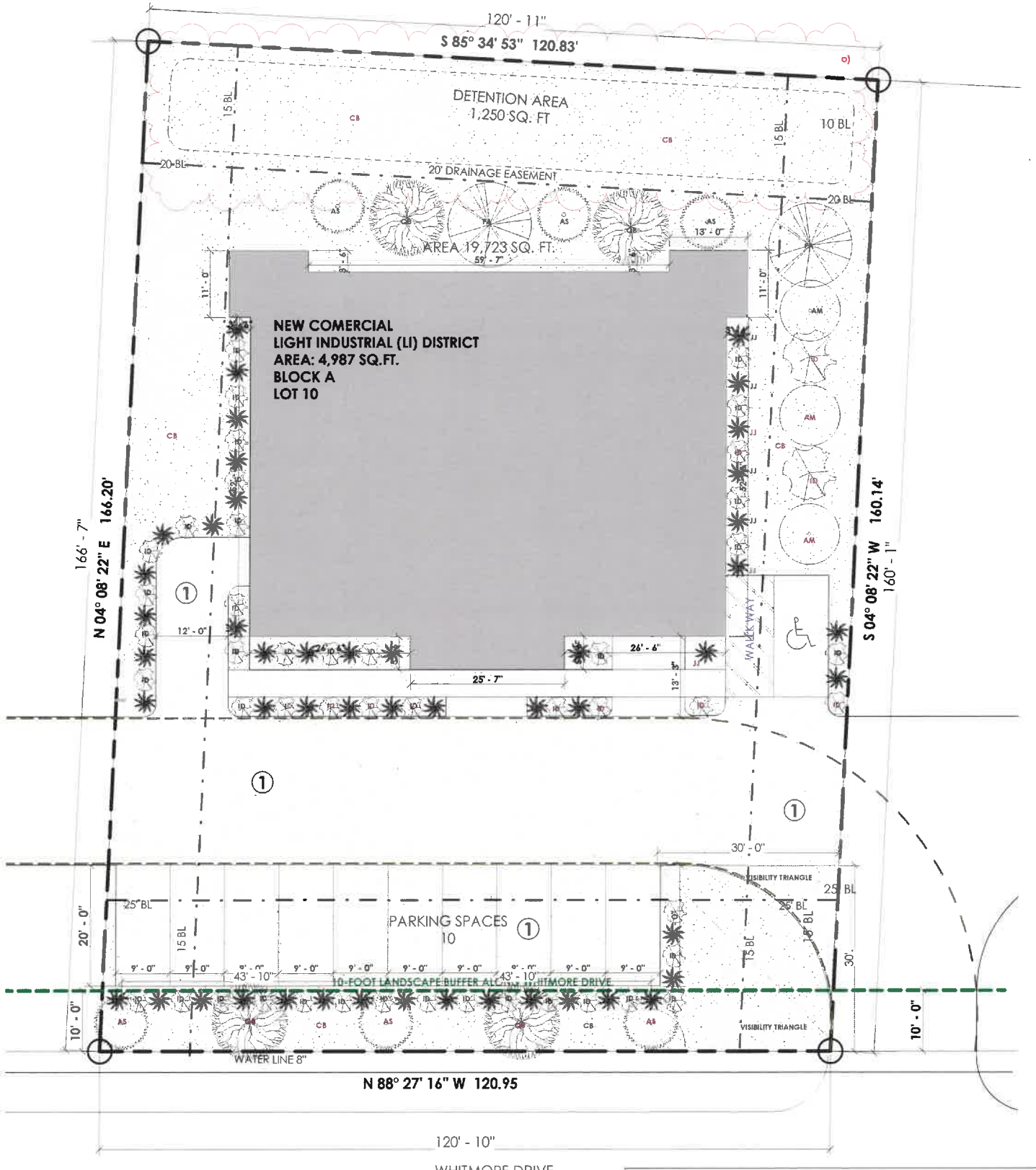
INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50- FEET ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE MINIMUM HEIGHT OF 30-INCHES AND A MAXIMUM HEIGHT OF 48-INCHES. IN ADDITION:  
 TWO (1) CANOPY TREES  
 FOUR (2) ACCENT TREES  
 TREES SHALL BE PLANTED PER 100- FEET OF LINEAR FRONTAGE ALONG THE PRIMARY ROADWAY.

4207' STREET FRONTAGE  
 REQUIRED PLANTING:  
 PROVIDED 10' BUFFER:  
 SHRUBS

BASED ON CITY OF ROCKWALL | UNIFIED DEVELOPMENT CODE

**PLANT SCHEDULE**

CODE	TREES	QTY	BOTANICAL / COMMON NAME	CAL	CONT.	SIZE
QB		4	QUERCUS MACROCARPA / BUR OAK	4" CAL	CONT.	14" MIN
AM		3	ACER SACCHARUM 'CADD0' / CADD0 MAPLE	4" CAL	CONT.	12" MIN
PA		2	PINUS ELDIRICA /AFGHAN PINE	4" CAL	CONT.	12" MIN
AS		6	ACER TRUNCATUM/ SHANTUNG MAPLE	4" CAL	CONT.	12" MIN
CODE	SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
ID		49	ILEX VOMITORIA 'NANA' / DWARF YALUPON HOLLY	5 GAL	36" OC	24" MIN
JJ		48	JUNIPERUS SP. /JUNIPER	5 GAL	36" OC	24" MIN
CODE	GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
CB		8,516 SQ.FT	CYNODON DACTYLON / BERMUDA GRASS	SOND		



**LANDSCAPE PLAN**

**NOTE:** 3/32" = 1' 0"

THE IRRIGATION SYSTEM WILL COMPLY WITH THE REQUIREMENTS OF THE UDC.

**SITE PLANE DATE**

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (43%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

**Gamma Group, Design & Construction LLC**  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE ONLY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGNER'S IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S ORIGINAL WORK AND ARE RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL, FRAMING, WINDBRACING OR FOUNDATION. ALL LICENSED PROFESSIONAL ENGINEERS SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**NOTE:**  
 GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:  
 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.  
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SEALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

DIRECTION:

**REV** | **DATE** | **COMMENTS**

- 2024/04/22 | Add notes and signature space for Planning and Zoning Chair and Planning Director attached. Previous version references noted on the detention area and subsequent landscaping are indicated.

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: **LANDSCAPE PLANTING PLAN**

DATE: 05/01/2023

DRAWN BY: F.G.M. SHEET 03 OF 10

**LP1**



### TREE PROTECTION SPECIFICATIONS

#### MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T-SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- THE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

#### CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO FROM THE TRUNK FOR EVERY 1° OF DEHJ AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTIONS SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING). DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING, SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (M-C-30 OIL), ETC., TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
  - ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
  - WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
  - THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY, FOR OAKS ONLY. ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
  - REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
  - TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
  - ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
  - COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
  - IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  - WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
  - WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
  - CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.

#### TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABRAGE PALMS.
  - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES.
  - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED, WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

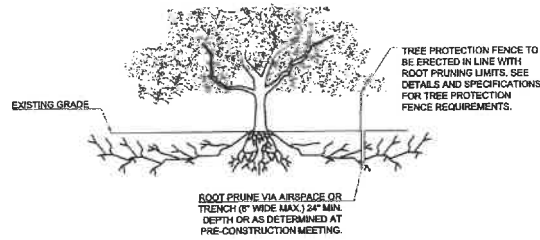
#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

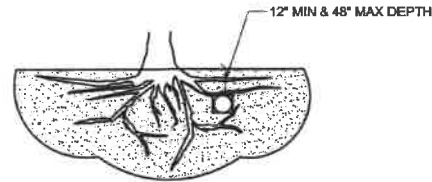
Director of Planning and Zoning



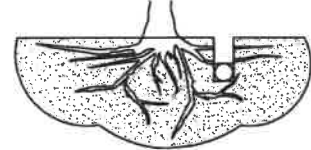
#### ROOT PRUNING DETAIL

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



#### BORING THROUGH ROOT PROTECTION ZONE

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

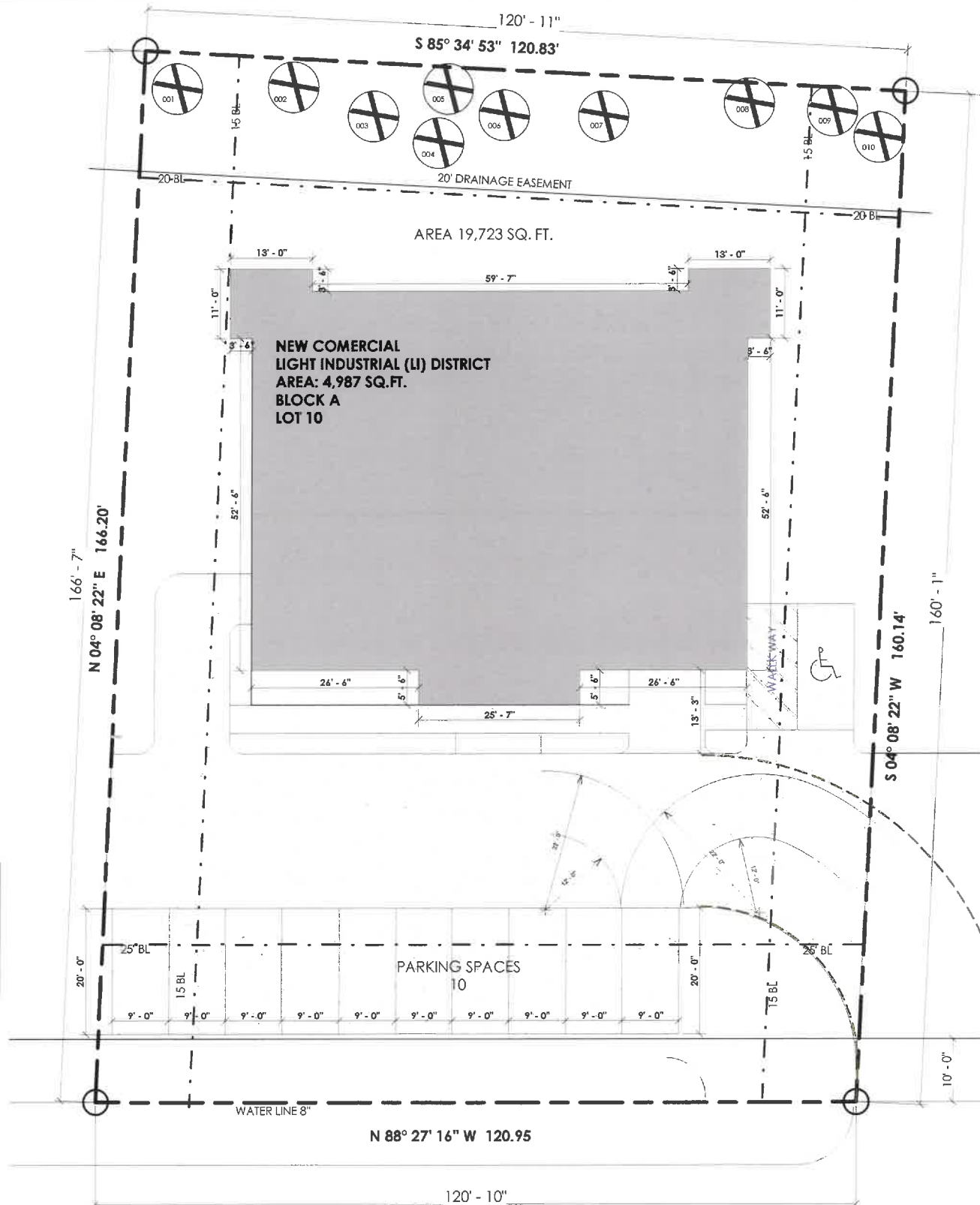
#### EXISTING TREE LEGEND

	EXISTING TREE OFF SITE	10
	EXISTING TREE TO BE REMOVED	10

#### TREE MIGRATION SUMMARY

TOTAL MIGRATION REQUIRED:	40"
PROPOSED CODE REQUIRED TREES:	19"
BALANCE OF MITIGATION:	14"
4" CAL MITIGATION TREES (5) ON SITE	21"

TREESCAPE PLAN SPREADSHEET								
#	SPECIES	CAUPER	PROTECT OR REMOVE	TREE HEALTH (1-5)	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
10	RED OAK	4"	REMOVE	1	N	N	N	40"
TOTAL:								40"



#### LANDSCAPE PLAN

3/32" = 1' 0"

SITE PLANE DATE	
SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (38%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

**Gamma Group, Design & Construction LLC**  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPY OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING OR FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S ORIGINAL WORK AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. ANY VIOLATION OF THESE TERMS SHALL BE SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**NOTE:** GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IF THE RESPONSIBILITY OF PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATION ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**EXISTING TREE LEGEND**

EXISTING TREE OFF SITE

EXISTING TREE TO BE REMOVED

DIRECTION:

REV NO. DATE COMMENTS

1 22/05/2024 #1-Added case number #2-Added signature lines with signature spaces for Planning and Zoning Chair and Planning Director #3-Added signature lines with signature spaces for Planning Director and Planning Director #4-Added signature lines with signature spaces for Planning Director and Planning Director #5-Added signature lines with signature spaces for Planning Director and Planning Director #6-Added signature lines with signature spaces for Planning Director and Planning Director #7-Added signature lines with signature spaces for Planning Director and Planning Director #8-Added signature lines with signature spaces for Planning Director and Planning Director #9-Added signature lines with signature spaces for Planning Director and Planning Director #10-Added signature lines with signature spaces for Planning Director and Planning Director

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: **TRESCAPE PLAN DETAILS & SPECIFICATIONS**

DATE: 05/01/2023 **TD1**

DRAW BY: F.G.M SHEET 04 OF 10

**Performance Data**

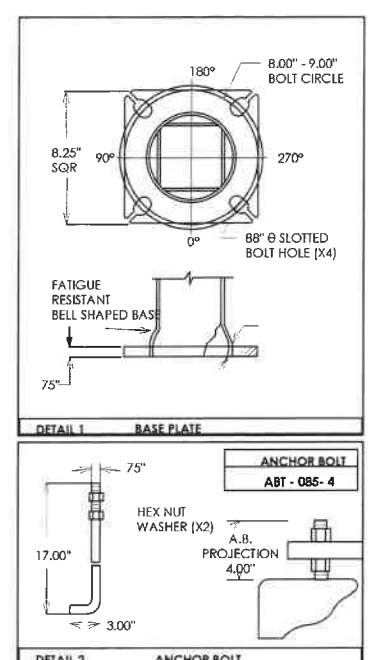
Model	Beam Angle	Beam Diameter	Beam Length	Beam Area	Beam Volume
WPK1	30°	1.1"	1.1"	1.1"	1.1"
WPK2	45°	1.1"	1.1"	1.1"	1.1"
WPK3	60°	1.1"	1.1"	1.1"	1.1"
WPK4	75°	1.1"	1.1"	1.1"	1.1"
WPK5	90°	1.1"	1.1"	1.1"	1.1"

**Projected LED Lumen Maintenance**

Light output over the intended service life of the luminaire is guaranteed to be at least 90% of the initial output at the end of the service life. The luminaire is designed to meet the requirements of the Illuminating Engineering Society (IES) LM-79 and LM-80.



© 2024 Lutron Lighting LLC. All rights reserved. Lutron Lighting is a registered trademark of Lutron Lighting LLC.



**GENERAL NOTES**

- HARDWARE TO BE GALVANIZED TO ASTM A153
- ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER A153
- ALL WELDING TO CONFORM TO: AWS D11 MOST RECENT EDITION
- FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION
- PROVISIONS FOR GROUNDING LOCATED AT BASE HAND HOLE.

LOADING DATA		MATERIAL DATA	
DESIGN CRITERIA	COMMERCIAL STANDARD	COMPONENT	ASTM
SPEED (mph)	80 90 100 110 120 130 140 150	POLE SHAFT	A500 GR. B
EPA FT.	9.6 6.7 4.5 3.5 2.0 0.8 -- --	BASE PLATE	A36
WEIGHT (lbs)	240 167 150 88 50 20 -- --	ANCHOR BOLTS	F1554 GR.55
FINISH		MISC. STEEL	A58

POLE DIMENSION DATA					
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA. (IN)	TOP DIA. (IN)	GAUGE OR THK (IN)
	SNS-20-40-11-AB	20	4.00	4.00	11-GA [11.92]



**Ordering Information**

EXAMPLE: WPK1 LED ALO SWW2 MVCLT PE DBXK

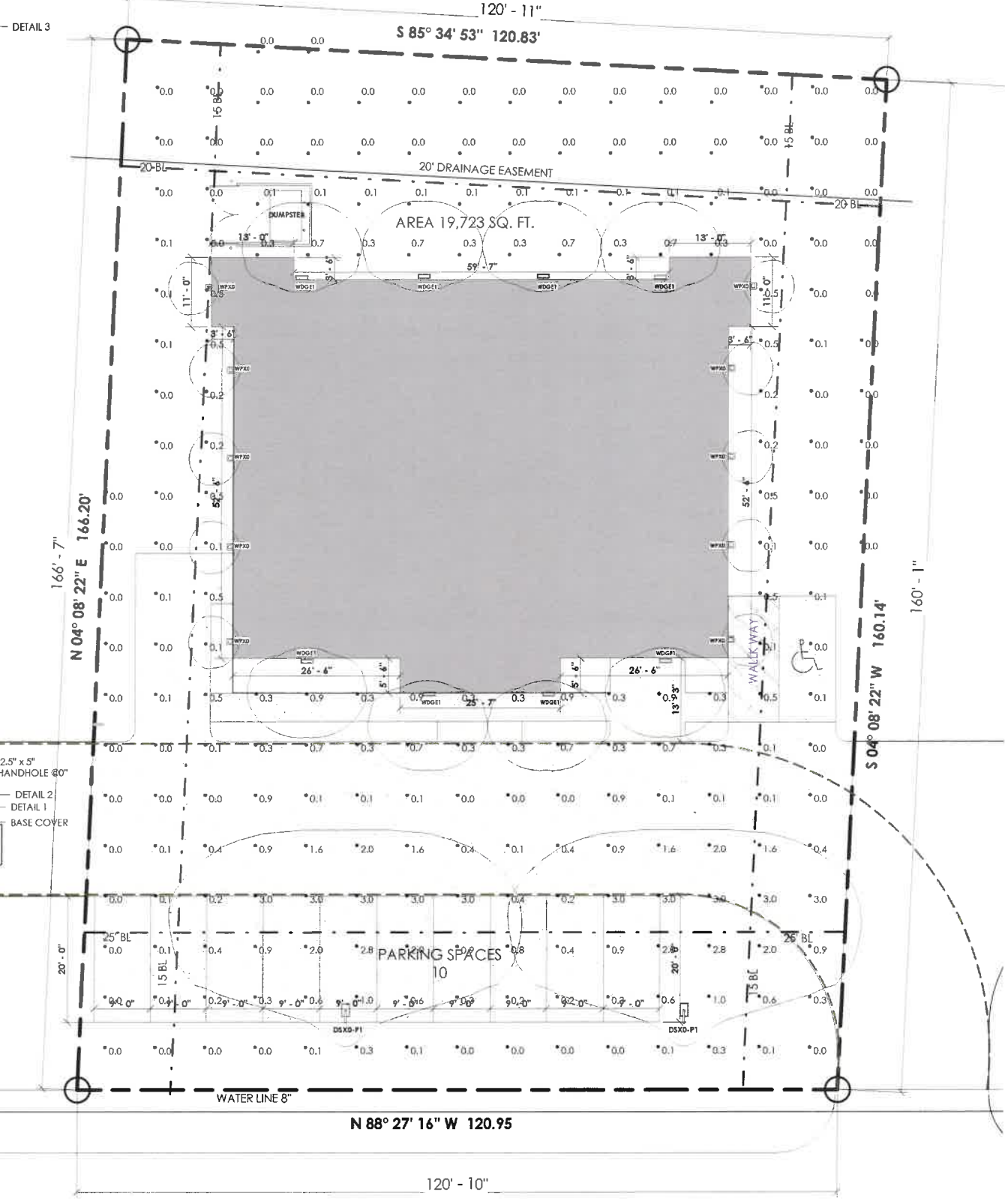
Model	Light Temperature	Ballast	Photo	Finish
WPK1	3000 / 4000 / 5000	WPK1	250-274	PE DBXK

**FEATURES & SPECIFICATIONS**

**DESCRIPTION**  
The WPXO LED wall packs are designed to provide a cost-effective, energy-efficient lighting solution for both HD wall pack replacement and new construction opportunities. Available in four sizes, the WPXO family delivers 850 to 3,000 lumens with a wide, uniform distribution.

**CONSTRUCTION**  
The WPXO LED wall packs are constructed from high-quality materials and are designed for long-term performance. The WPXO family offers a wide range of options, including adjustable lumen output, color switching, and switchable photocell.

**ELECTRICAL**  
The WPXO LED wall packs are designed to meet the requirements of the National Electrical Code (NEC) and are listed by a recognized testing laboratory.



**SITE PHOTOMETRICS PLAN**

**LUMINAIRE SCHEDULE**

SYMBOL	TYPE	QTY	MANUFACTURER / CATALOG NUMBER	TOTAL LUMEN OUTPUT	TOTAL INPUT WATTS	BALLAST FACTOR	LIGHT LOST FACTOR	USER DEFINED FACTOR
DSXO-P1	P	2	2 DSXO LED P6 40K 70CRI 13M MVCLT SPA NLAIR2 PIRH DBXK / D-SERIES SIZE 0 LED AREA LUMINAIRE (LITHONIALIGHTING)	8,800	68.11	1.000	0.850	1.000
WDGE1	W	8	WDGE1 LED P2 40K 80CRI VF MVCLT SRM PE DBXK / WDGE1 LED ARCHITECTURAL WALL SCONCE (LITHONIALIGHTING)	7,200	24	1.000	0.800	1.000
WPXO	W	10	WPXO LED ALO SWW2 MVCLT PE DBXK / WPXO LED WALL PACK (LITHONIALIGHTING)	6,940	20	1.000	0.850	1.000

**PROJECT:** NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

**OWNER:** SALVADOR SALCEDO

**LOCATION:** 855 WHITMORE DRIVE, ROCKWALL, TX

**gamma group**

**Gamma Group, Design & Construction LLC**  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGNER CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN AND NOT THOSE OF ANY OTHER PARTY. THE DESIGNER RETAINS ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND/OR OF THE COPYRIGHT LAWS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT AWE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION DESIGN. ENGINEERS SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL OF PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**NOTE:**  
GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:  
1 - BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
2 - BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
3 - PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS, THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**NOTES:**

- SURFACE REFLECTANCES: VERTICAL/HORIZONTAL - 50/20
- MOUNTING HEIGHTS ARE DESIGNATED ON DRAWING WITH E2
- LUMINAIRE DESCRIPTION DOES NOT NECESSARILY REFLECTS SPECIFICATION MODEL NUMBER. CONTACT SALESPERSON FOR VERIFICATION.
- LIGHTING POWER DENSITY IS CALCULATED BASED ON ESTIMATED BALLAST/DRIVER ENERGY CONSUMPTION. ENGINEER TO VERIFY
- FOR LUMEN OUTPUT OF SCALE LUMINAIRES, MULTIPLY TOTAL LUMEN OUTPUT BY USER DEFINED FACTOR.
- CALCULATION VALUES ARE AT HEIGHT INDICATED IN SUMMARY TABLE

**DIRECTION:**

**REV NO** | **DATE** | **COMMENTS**

1 | 05/01/2024 | E1-Added case number  
E1-Standard signature block with signature space for Planning and Zoning Chair and Planning Director added

**EXPIRATION DATE:** PAPER SIZE 36X24

**PLAN:** SITE PHOTOMETRICS & DETAILS

**DATE:** 05/01/2024

**DRAWN BY:** F.G.M. SHEET 05 OF 10

**E1**

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

**Planning & Zoning Commission, chairman**

**Director of Planning and Zoning**

### D-Series Size 0 LED Area Luminaire

**Specifications**

- EPA: 24.12
- Length: 24.12"
- Width: 15.00"
- Height: 2.75"
- Height H2: 4.44"
- Height H1: 7.19"
- Weight: 11.12 lbs

**Introduction**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater color spacing and lower power density by D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

**Ordering Information**

EXAMPLE: DS10 LED P6 40K 70CRI T3M MV01T SPAN12R2 PRHV DOB20

DS10	LED	P6	40K	70CRI	T3M	MV01T	SPAN12R2	PRHV	DOB20
DS10	DS10	P6	40K	70CRI	T3M	MV01T	SPAN12R2	PRHV	DOB20

**Options**

Option	Description	Code
SP1	Standard 120V AC	SP1
SP2	Standard 277V AC	SP2
SP3	Standard 480V AC	SP3
SP4	Standard 600V AC	SP4
SP5	Standard 800V AC	SP5
SP6	Standard 1000V AC	SP6
SP7	Standard 1200V AC	SP7
SP8	Standard 1500V AC	SP8
SP9	Standard 2000V AC	SP9
SP10	Standard 2500V AC	SP10
SP11	Standard 3000V AC	SP11
SP12	Standard 3500V AC	SP12
SP13	Standard 4000V AC	SP13
SP14	Standard 4500V AC	SP14
SP15	Standard 5000V AC	SP15
SP16	Standard 5500V AC	SP16
SP17	Standard 6000V AC	SP17
SP18	Standard 6500V AC	SP18
SP19	Standard 7000V AC	SP19
SP20	Standard 7500V AC	SP20
SP21	Standard 8000V AC	SP21
SP22	Standard 8500V AC	SP22
SP23	Standard 9000V AC	SP23
SP24	Standard 9500V AC	SP24
SP25	Standard 10000V AC	SP25

LITHONIA LIGHTING COMMERCIAL OUTDOOR

One Lithonia Way • Conley, Georgia 30121 • Phone 1-800-765-6776 • www.lithonia.com

**Performance Data**

**Lumen Ambient Temperature (LAT) Multiplier**

LAT (°C)	Multiplier
25	1.00
30	0.95
35	0.90
40	0.85
45	0.80
50	0.75
55	0.70
60	0.65
65	0.60
70	0.55
75	0.50
80	0.45
85	0.40
90	0.35
95	0.30
100	0.25

**Electrical Load**

Power (W)	Current (A)	Voltage (V)
100	0.45	220
200	0.90	220
300	1.35	220
400	1.80	220
500	2.25	220
600	2.70	220
700	3.15	220
800	3.60	220
900	4.05	220
1000	4.50	220

**LED Color Temperature / Color Rendering Multiplier**

Color Temp (K)	Multiplier
2700	0.90
3000	0.95
3500	1.00
4000	1.05
4500	1.10
5000	1.15
5500	1.20
6000	1.25
6500	1.30
7000	1.35
7500	1.40
8000	1.45
8500	1.50
9000	1.55
9500	1.60
10000	1.65

**FAO Dimming Settings**

Setting	Value
Dimming Level	100%
Dimming Rate	10%
Dimming Delay	10s
Dimming Min	10%
Dimming Max	100%

**Motion Sensor Default Settings**

Setting	Value
Motion Sensitivity	High
Motion Delay	10s
Motion On	100%
Motion Off	10%

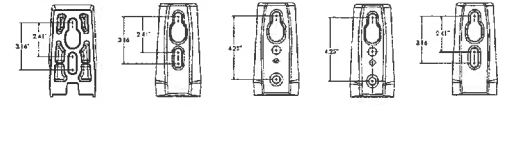
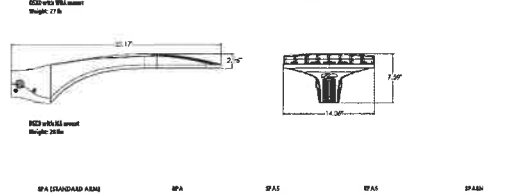
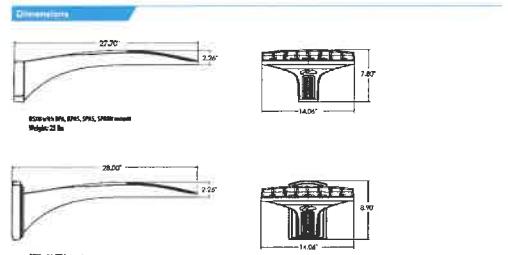
**Controls Options**

Option	Description
10	Standard 120V AC
11	Standard 277V AC
12	Standard 480V AC
13	Standard 600V AC
14	Standard 800V AC
15	Standard 1000V AC
16	Standard 1200V AC
17	Standard 1500V AC
18	Standard 2000V AC
19	Standard 2500V AC
20	Standard 3000V AC
21	Standard 3500V AC
22	Standard 4000V AC
23	Standard 4500V AC
24	Standard 5000V AC
25	Standard 5500V AC
26	Standard 6000V AC
27	Standard 6500V AC
28	Standard 7000V AC
29	Standard 7500V AC
30	Standard 8000V AC
31	Standard 8500V AC
32	Standard 9000V AC
33	Standard 9500V AC
34	Standard 10000V AC

**Photometric Diagrams**

LITHONIA LIGHTING COMMERCIAL OUTDOOR

One Lithonia Way • Conley, Georgia 30121 • Phone 1-800-765-6776 • www.lithonia.com



LITHONIA LIGHTING COMMERCIAL OUTDOOR

One Lithonia Way • Conley, Georgia 30121 • Phone 1-800-765-6776 • www.lithonia.com

### WDGE1 LED Architectural Wall Sconce

**Specifications**

- Depth: 2.19"
- Height: 1.5"
- Width: 8"
- Weight: 1.7 lbs

**Introduction**

The WDGE1 LED sconce is designed to meet specific every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, minimalist design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true size-wide solution.

WDGE1 delivers up to 2000 lumens with a soft, non-phantom light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

**WDGE1 LED Family Overview**

Model	Beam Angle	Beam Spread	Beam Depth	Beam Width	Beam Height	Beam Area	Beam Volume
WDGE1-1200	15°	1.00'	1.00'	1.00'	1.00'	1.00'	1.00'
WDGE1-1500	15°	1.25'	1.25'	1.25'	1.25'	1.25'	1.25'
WDGE1-2000	15°	1.67'	1.67'	1.67'	1.67'	1.67'	1.67'
WDGE1-2500	15°	2.08'	2.08'	2.08'	2.08'	2.08'	2.08'
WDGE1-3000	15°	2.50'	2.50'	2.50'	2.50'	2.50'	2.50'
WDGE1-3500	15°	2.92'	2.92'	2.92'	2.92'	2.92'	2.92'
WDGE1-4000	15°	3.33'	3.33'	3.33'	3.33'	3.33'	3.33'
WDGE1-4500	15°	3.75'	3.75'	3.75'	3.75'	3.75'	3.75'
WDGE1-5000	15°	4.17'	4.17'	4.17'	4.17'	4.17'	4.17'
WDGE1-5500	15°	4.58'	4.58'	4.58'	4.58'	4.58'	4.58'
WDGE1-6000	15°	5.00'	5.00'	5.00'	5.00'	5.00'	5.00'
WDGE1-6500	15°	5.42'	5.42'	5.42'	5.42'	5.42'	5.42'
WDGE1-7000	15°	5.83'	5.83'	5.83'	5.83'	5.83'	5.83'
WDGE1-7500	15°	6.25'	6.25'	6.25'	6.25'	6.25'	6.25'
WDGE1-8000	15°	6.67'	6.67'	6.67'	6.67'	6.67'	6.67'
WDGE1-8500	15°	7.08'	7.08'	7.08'	7.08'	7.08'	7.08'
WDGE1-9000	15°	7.50'	7.50'	7.50'	7.50'	7.50'	7.50'
WDGE1-9500	15°	7.92'	7.92'	7.92'	7.92'	7.92'	7.92'
WDGE1-10000	15°	8.33'	8.33'	8.33'	8.33'	8.33'	8.33'
WDGE1-10500	15°	8.75'	8.75'	8.75'	8.75'	8.75'	8.75'
WDGE1-11000	15°	9.17'	9.17'	9.17'	9.17'	9.17'	9.17'
WDGE1-11500	15°	9.58'	9.58'	9.58'	9.58'	9.58'	9.58'
WDGE1-12000	15°	10.00'	10.00'	10.00'	10.00'	10.00'	10.00'
WDGE1-12500	15°	10.42'	10.42'	10.42'	10.42'	10.42'	10.42'
WDGE1-13000	15°	10.83'	10.83'	10.83'	10.83'	10.83'	10.83'
WDGE1-13500	15°	11.25'	11.25'	11.25'	11.25'	11.25'	11.25'
WDGE1-14000	15°	11.67'	11.67'	11.67'	11.67'	11.67'	11.67'
WDGE1-14500	15°	12.08'	12.08'	12.08'	12.08'	12.08'	12.08'
WDGE1-15000	15°	12.50'	12.50'	12.50'	12.50'	12.50'	12.50'
WDGE1-15500	15°	12.92'	12.92'	12.92'	12.92'	12.92'	12.92'
WDGE1-16000	15°	13.33'	13.33'	13.33'	13.33'	13.33'	13.33'
WDGE1-16500	15°	13.75'	13.75'	13.75'	13.75'	13.75'	13.75'
WDGE1-17000	15°	14.17'	14.17'	14.17'	14.17'	14.17'	14.17'
WDGE1-17500	15°	14.58'	14.58'	14.58'	14.58'	14.58'	14.58'
WDGE1-18000	15°	15.00'	15.00'	15.00'	15.00'	15.00'	15.00'
WDGE1-18500	15°	15.42'	15.42'	15.42'	15.42'	15.42'	15.42'
WDGE1-19000	15°	15.83'	15.83'	15.83'	15.83'	15.83'	15.83'
WDGE1-19500	15°	16.25'	16.25'	16.25'	16.25'	16.25'	16.25'
WDGE1-20000	15°	16.67'	16.67'	16.67'	16.67'	16.67'	16.67'

**Ordering Information**

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MV01 SRM PE DOB20

Model	LED	P2	40K	80CRI	VF	MV01	SRM	PE	DOB20
WDGE1	LED	P2	40K	80CRI	VF	MV01	SRM	PE	DOB20

LITHONIA LIGHTING COMMERCIAL OUTDOOR

One Lithonia Way • Conley, Georgia 30121 • Phone 1-800-765-6776 • www.lithonia.com

**Performance Data**

**Lumen Output**

Power (W)	Current (A)	Voltage (V)	Lumen Output (lm)
100	0.45	220	1200
200	0.90	220	1500
300	1.35	220	2000
400	1.80	220	2500
500	2.25	220	3000
600	2.70	220	3500
700	3.15	220	4000
800	3.60	220	4500
900	4.05	220	5000
1000	4.50	220	5500
1100	4.95	220	6000
1200	5.40	220	6500
1300	5.85	220	7000
1400	6.30	220	7500
1500	6.75	220	8000
1600	7.20	220	8500
1700	7.65	220	9000
1800	8.10	220	9500
1900	8.55	220	10000
2000	9.00	220	10500
2100	9.45	220	11000
2200	9.90	220	11500
2300	10.35	220	12000
2400	10.80	220	12500
2500	11.25	220	13000
2600	11.70	220	13500
2700	12.15	220	14000
2800	12.60	220	14500
2900	13.05	220	15000
3000	13.50	220	15500
3100	13.95	220	16000
3200	14.40	220	16500
3300	14.85	220	17000
3400	15.30	220	17500
3500	15.75	220	18000
3600	16.20	220	18500
3700	16.65	220	19000
3800	17.10	220	19500
3900	17.55	220	20000
4000	18.00	220	20500
4100	18.45	220	21000
4200	18.90	220	21500
4300	19.35	220	22000
4400	19.80	220	22500
4500	20.25	220	23000
4600	20.70	220	23500
4700	21.15	220	24000
4800	21.60	220	24500
4900	22.05	220	25000

**Electrical Load**

Power (W)	Current (A)	Voltage (V)
100	0.45	220
200	0.90	220
300	1.35	220
400	1.80	220
500	2.25	220
600	2.70	220
700	3.15	220
800	3.60	220
900	4.05	220
1000	4.50	220

**Lumen Multiplier for 90CRI**

Power (W)	Multiplier
100	1.00
200	1.00
300	1.00
400	1.00
500	1.00
600	1.00
700	1.00
800	1.00
900	1.00
1000	1.00

**Lumen Output in Emergency Mode (4000K, 80 CRI)**

Power (W)	Current (A)	Voltage (V)	Lumen Output (lm)
100	0.45	220	1200
200	0.90	220	1500
300	1.35	220	2000
400	1.80	220	2500
500	2.25	220	3000
600	2.70	220	3500
700	3.15	220	4000
800	3.60	220	4500
900	4.05	220	5000
1000	4.50	220	5500

**Lumen Ambient Temperature (LAT) Multiplier**

LAT (°C)	Multiplier
25	1.00
30	0.95
35	0.90
40	0.85
45	0.80
50	0.75
55	0.70
60	0.65
65	0.60
70	0.55
75	0.50
80	0.45
85	0.40
90	0.35
95	0.30
100	0.25

**Projected LED Lumen Maintenance**

Hours	Maintenance Factor
0	1.00
1000	0.95
2000	0.90
3000	0.85
4000	0.80
5000	0.75
6000	0.70
7000	

PROJECT: NEW COMERCIAL  
 OWNER: SALVADOR SALCEDO  
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGNER'S IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN AND NOT THE PROPERTY OF ANY OTHER PARTY. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

ENGINEERING GENERAL NOTES

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT BE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

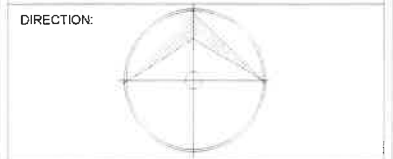
NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:  
 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.  
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
 3- PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN



REV NO	DATE	COMMENTS
1	2024/03/28	a) Added case number b) Deleted signature block with stipulator space for Planning and Zoning Chair and Planning Director attached c) The roof is 8' standing seam d) Parapet height added and the rear part of the parapet will be covered with the same material as the exterior facade e) The location of RTUs is indicated

EXPIRATION DATE: PAPER SIZE 35X24

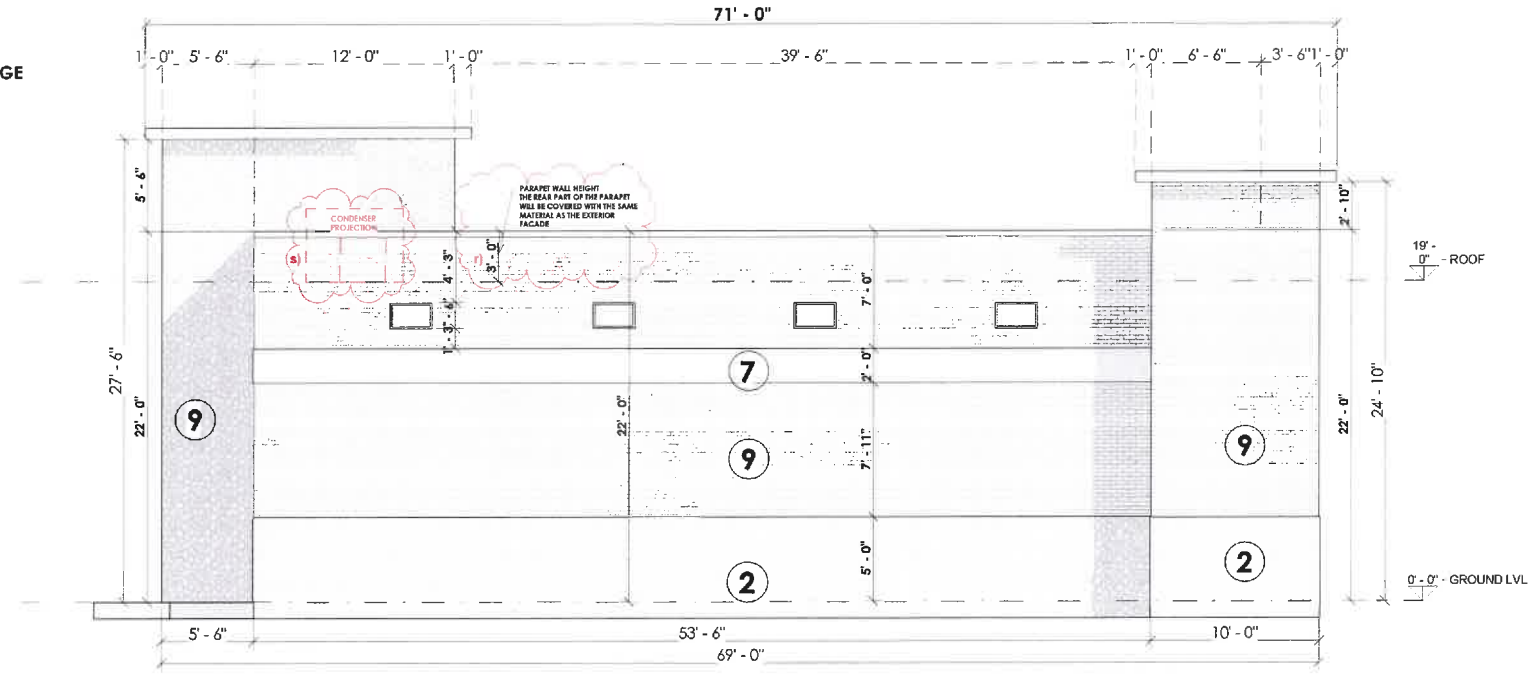
PLAN: ELEVATIONS

DATE: 04/11/2022  
 DRAW BY: F.G.M. SHEET 09 OF 10

AREA AND PERCENTAGE OF MATERIALS

	TOTAL AREA	PERCENTAGE
LEFT ELEVATION	1,801 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	1,693 S.Q. F.T.	93.0 %
9 BRICKS	1,217 S.Q. F.T.	63.0 %
2 NATURAL STONE	476 S.Q. F.T.	30.0 %
7 SECONDARY MATERIAL	106 S.Q. F.T.	07.0 %
TOTAL	1,801 S.Q. F.T.	100 %

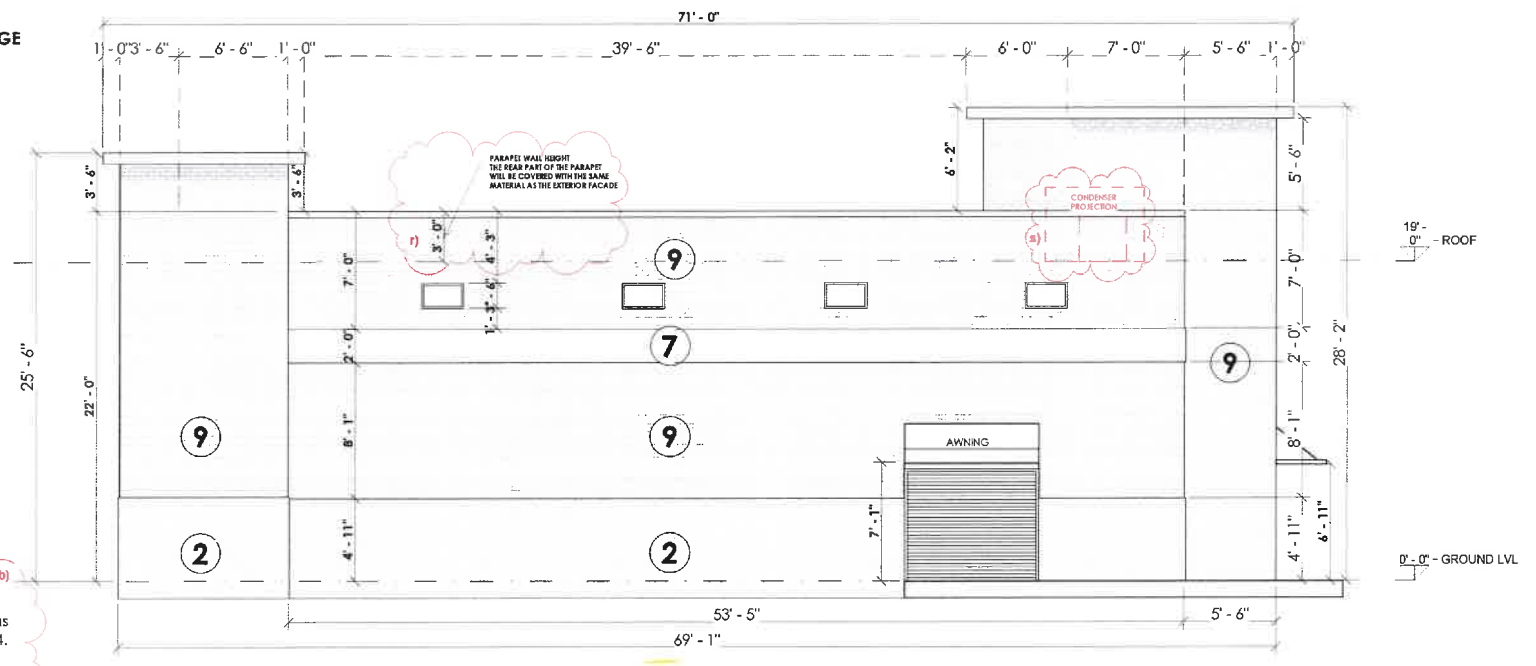
RIGHT ELEVATION  
 3/16" = 1' 0"



AREA AND PERCENTAGE OF MATERIALS

	TOTAL AREA	PERCENTAGE
LEFT ELEVATION	1,801 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	1,693 S.Q. F.T.	93.0 %
9 BRICKS	1,217 S.Q. F.T.	63.0 %
2 NATURAL STONE	476 S.Q. F.T.	30.0 %
7 SECONDARY MATERIAL	106 S.Q. F.T.	07.0 %
TOTAL	1,801 S.Q. F.T.	100 %

LEFT ELEVATION  
 3/16" = 1' 0"



APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.  
 WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman  
 Director of Planning and Zoning



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** June 25, 2024  
**APPLICANT:** Salvador Salcedo  
**CASE NUMBER:** SP2024-032; *Site Plan for 855 Whitmore Drive*

---

### SUMMARY

Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an *Office/Warehouse Building* on a 0.45- acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 zoning map the subject property was zoned Light Industrial (LI) District, which remains the zoning designation of the subject property today. In March of 1978, the subject property was platted establishing it as Lot 1, Block A, Municipal Industrial Park Addition. On March 19, 2007, the City Council approved a replat [*Case No. P2007-008*] that establish the subject property as Lot 8, Block A, Municipal Industrial Park Addition. On May 2, 2016, the City Council approved an additional replat [*Case No. P2016-017*] that establish the subject property as Lot 10, Block A, Municipal Industrial Park Addition. On November 14, 2023, the Planning and Zoning Commission denied a site plan request [*Case No. SP2023-032*] for an *Office/Warehouse Building* due to a recommendation of denial from the Architectural Review Board (ARB) and the failure to provide compensatory measures. On March 15, 2024 the applicant submit a site plan request [*Case No. SP2024-006*] for a similar request, which was ultimately withdrawn on May 9, 2024. The subject property has remained vacant since the time of annexation.

### PURPOSE

On April 19, 2024, the applicant -- *Salvador Salcedo*. -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an *Office/Warehouse Building* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 855 Whitmore Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 1.747-acre tract of land (*i.e. Tract 24 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Beyond this is a vacant 1.83-acre tract of land (*i.e. Tract 14 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Following this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. North of this is Phase 3 of the Park Place Subdivision, which consists of 85 residential lots and is zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is Whitmore Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 15.7017-acre tract of land (*i.e. Tract 20-1 of the A. Hanna Survey, Abstract No. 99*) zoned Light Industrial (LI) District. Following this is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a vacant 0.96-acre parcel of land (i.e. Lot 11, Block A, Municipal Industrial Park Addition) zoned Light Industrial (LI) District. Beyond this is a 3.35-acre parcel of land (i.e. Lot 5, Block A, Municipal Industrial Park Addition) developed with a maintenance building for Rockwall County that is zoned Light Industrial (LI) District. Following this is Whitmore Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 1.19-acre parcel of land (i.e. Lot 9, Block A, Municipal Industrial Park Addition) developed with a Bail Bond Service that is zoned Light Industrial (LI) District. Beyond this is T. L. Townsend Drive, which is identified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 13.368-acre parcel of land (i.e. Lot 2, Block A, Rockwall County Law Enforcement Center Addition) developed with the Rockwall County Detention Center, which is zoned Commercial (C) District and Light Industrial (LI) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office/Warehouse Building* is a permitted *by-right* land use in a Light Industrial (LI) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=19,737 SF; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 120.95-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=160-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=28.1-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=25.13%; In Conformance
	1 Parking Space/300 SF (Office)	
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/500 SF (Light Manufacturing) Total: 11 Parking Spaces	X=11; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	X=44%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X=56%; In Conformance

**TREESCAPE PLAN**

The treescape plan provided by the applicant indicates a total of 40 caliper inches will be removed from the site during construction. Based on the landscape requirements, the applicant is providing 60 caliper inches of canopy trees on site, which will satisfy the required tree mitigation.

**CONFORMANCE WITH THE CITY’S CODES**

The applicant is requesting to construct an *Office/Warehouse Building* on the subject property. According to Subsection 02.02(J)(7), *Wholesale, Distribution and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* is defined as a "... building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale ..." In addition, Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a "...(a) facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use..."

In this case, the applicant's request for an *Office/Warehouse Building* is permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 05.01, *Landscape Buffers*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way ..." and all buffers shall incorporate a berm, and one (1) canopy tree and one (1) accent tree per 50-linear feet of frontage. In this case, the applicant is incorporating the required landscaping and berm to satisfy the landscape buffer requirements for a non-residential property abutting a public right-of-way. In addition, the proposed site plan also generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exception being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

### **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

(1) Screening.

- (a) Off-Street Loading Docks. According to Subsection 1.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(o)ff-street loading docks must be screened from all public streets, any residential zoning district or residentially used property, and any parks and open space that abuts or is directly across a public street or alley from the subject property. The screening must be at least six (6) feet in height and shall be provided by using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless integral to the buildings design and otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers." In this case, the proposed building elevations indicate a loading dock facing directly onto Whitmore Drive, and an additional loading dock facing west that will be visible from Whitmore Drive. In addition, the applicant has not proposed any screening methods. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is not proposing any compensatory measures. That being said, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Central District. The Central District "...is composed of a wide range of land uses that vary from single-family to industrial." The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is proposing an *Office/Warehouse Building*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan; however, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states that staff should "...encourage high quality and inspiring architecture throughout the City..." The OURHometown Vision 2040 Comprehensive Plan goes on to state that "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks - or 'articulated' in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant is requesting exceptions to building articulation requirements and has failed to incorporate any horizontal articulation or relief to the proposed building. The lack of design appears to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Based on this the applicant's proposal does not appear to meet the vision of the Comprehensive Plan.

## **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

The Architectural Review Board (ARB) will review the proposed building elevations on June 25, 2024, and provide a recommendation to the Planning and Zoning Commission.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an *Office/Warehouse Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

855 Whitmore Dr

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Salvador Salcedo

APPLICANT

CONTACT PERSON

Salvador Salcedo

CONTACT PERSON

ADDRESS

210 Cedar Tree Ln

ADDRESS

CITY, STATE & ZIP

Heath, Texas 75032

CITY, STATE & ZIP

PHONE

214-552-2008

PHONE

E-MAIL

salvasalce@novaairac.com

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Salvador Salcedo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF May, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

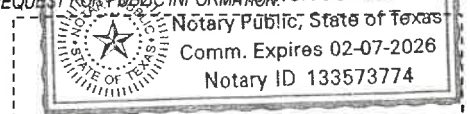
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF May, 2024

OWNER'S SIGNATURE

*Salvador Salcedo*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*




MY COMMISSION EXPIRES 02-07-2026



SP2024-032: Site Plan for 855 Whitmore Drive



Case Location Map = 

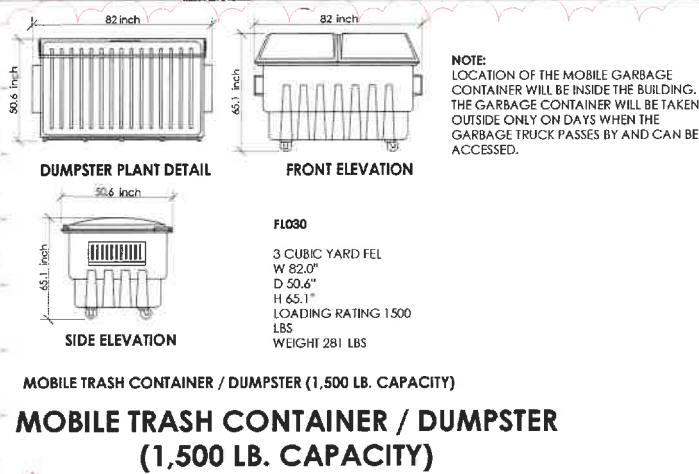


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**PLANE DATE**

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
WALKING AREA	385 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

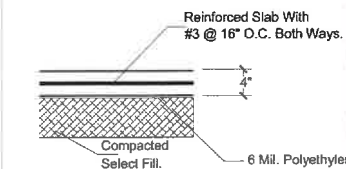
**PARKING REQUIREMENT SCHEDULE**

INDUSTRIAL AND MANUFACTURING LAND USES (LI)

LAND USE	MINIMUM PARKING REQUIRED
Apparel Manufacturing	1/200 SF
Asphalt or Concrete Batch Plant	As Determined by the Director
Industrial and Manufacturing Other Than Listed	As Determined by the Director
Light Assembly and Fabrication	1/500 SF or 0.75/Employee <sup>(1,3)</sup>
Heavy Manufacturing	1/500 SF or 0.75/Employee <sup>(1,3)</sup>
Printing, Engraving, and Related Businesses	1/300 SF or 1/Employee <sup>(1)</sup>
Welding Repair	1/500 SF or 1/2 Employees <sup>(1)</sup>

**USE OF STRUCTURE**

CONSTRUCTION TYPE: LI  
 LIGHT INDUSTRIAL  
 NO. STORIES: ONE  
 HEIGHT: 60' 0"  
 SETBACKS  
 FRONT: 25' 0"  
 SIDE: 15' 0"  
 REAR: 20' 0"  
 MAX. LOT COVERAGE: 60%



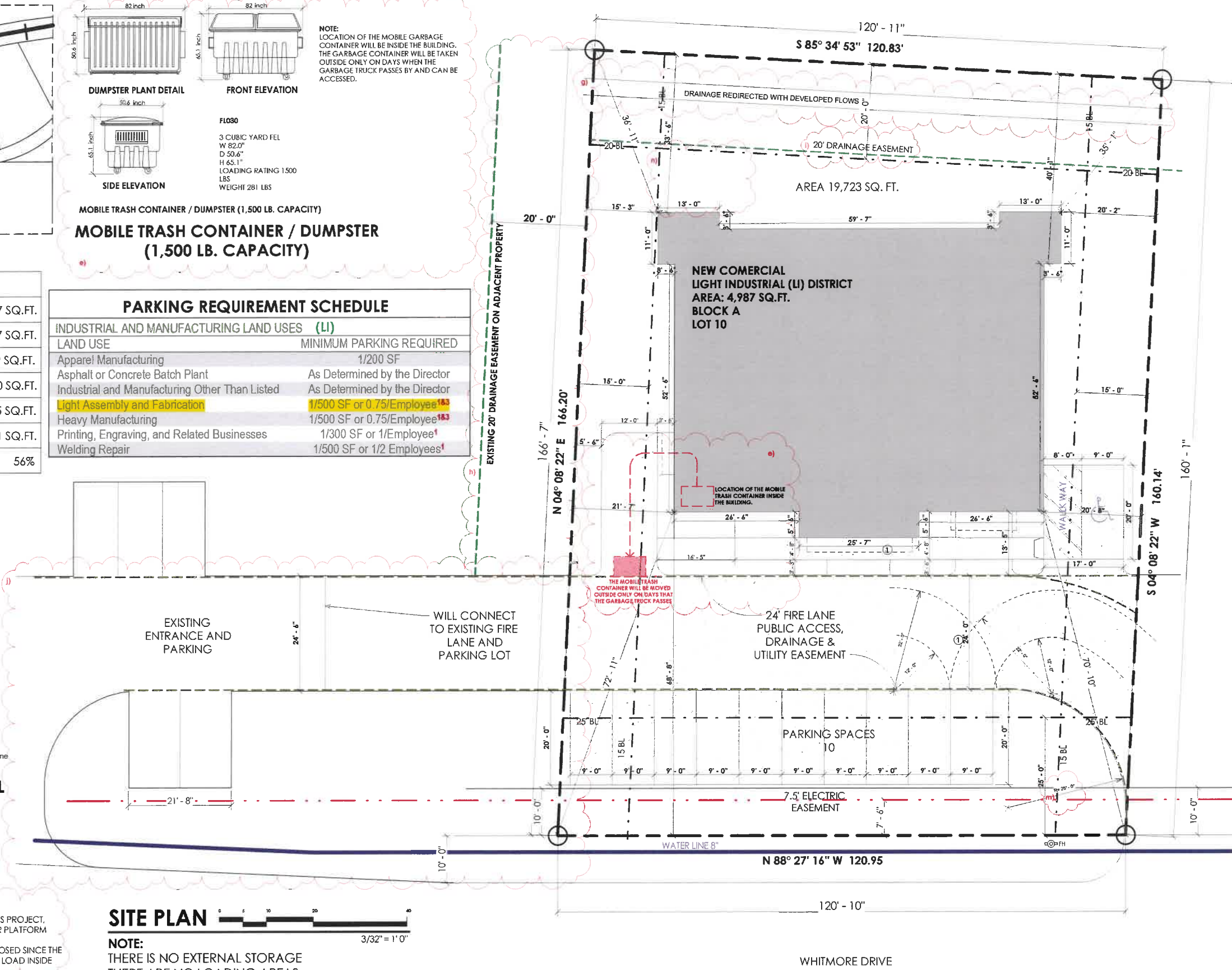
**1 CONCRETE DETAIL**  
UNSCALED

NOTE:  
 • NO TYPE OF FENCE IS PROPOSED IN THIS PROJECT.  
 • DOES NOT PROPOSE ANY GROUND OR PLATFORM MOUNTED UTILITY EQUIPMENT  
 • NO OFF-STREET LOADING DOCK PROPOSED SINCE THE BUILDING IS DESIGNED FOR TRUCKS TO LOAD INSIDE

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.  
 WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning



PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S ORIGINAL WORK AND ARE THE PROPERTY OF THE DESIGNER. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS, SHALL BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**ENGINEERING GENERAL NOTES**

1. GAMMA GROUP, INC. IS AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. WE ARE NOT LICENSED TO DESIGN STRUCTURAL FRAMING, REINFORCING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, REINFORCING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, REINFORCING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IF IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.

2. BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.

3. PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS, THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS AND ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**LEGEND**

CM	CONTROLLING MONUMENT	CONCRETE	
5/8"	IRON ROD FOUND	BUILDING	
X	FOUND IN CONCRETE	PORCH, DECK, ETC.	
○	POINT FOR CORNER	OHT	OVERHEAD TELEPHONE
FB	FIBER OPTIC PEDESTAL	OHP	OVERHEAD ELECTRIC
○	POWER POLE	—	ELECTRIC EASEMENT
—	FIRE LANE	—	METAL FENCE
⊙	WATER METER	—	WOOD FENCE
⊙	TELE. MANHOLE	⊙	SANITARY SEWER MANHOLE
⊙	TELE. VAULT	⊙	STORM DRAIN MANHOLE
⊙	VACUUM	⊙	HANDICAP PARKING
⊙	LIGHT POLE	⊙	ELECTRIC BOX
⊙	UNDERGROUND ELECTRIC	⊙	CLEANOUT
⊙	PROPOSAL FIRE HYDRANT	⊙	TELEPHONE PEDESTAL
⊙	GAS METER	⊙	CABLE PEDESTAL
⊙	WATER VALVE	⊙	ASPHALT PAVING GRAVEL

DIRECTION

REVISIONS

REV. NO.	DATE	COMMENTS
1	03/23/2024	4-Added site number 5-Added site number 6-Added site number 7-Added site number 8-Added site number 9-Added site number 10-Added site number 11-Added site number 12-Added site number 13-Added site number 14-Added site number 15-Added site number 16-Added site number 17-Added site number 18-Added site number 19-Added site number 20-Added site number 21-Added site number 22-Added site number 23-Added site number 24-Added site number 25-Added site number 26-Added site number 27-Added site number 28-Added site number 29-Added site number 30-Added site number 31-Added site number 32-Added site number 33-Added site number 34-Added site number 35-Added site number 36-Added site number 37-Added site number 38-Added site number 39-Added site number 40-Added site number 41-Added site number 42-Added site number 43-Added site number 44-Added site number 45-Added site number 46-Added site number 47-Added site number 48-Added site number 49-Added site number 50-Added site number 51-Added site number 52-Added site number 53-Added site number 54-Added site number 55-Added site number 56-Added site number 57-Added site number 58-Added site number 59-Added site number 60-Added site number 61-Added site number 62-Added site number 63-Added site number 64-Added site number 65-Added site number 66-Added site number 67-Added site number 68-Added site number 69-Added site number 70-Added site number 71-Added site number 72-Added site number 73-Added site number 74-Added site number 75-Added site number 76-Added site number 77-Added site number 78-Added site number 79-Added site number 80-Added site number 81-Added site number 82-Added site number 83-Added site number 84-Added site number 85-Added site number 86-Added site number 87-Added site number 88-Added site number 89-Added site number 90-Added site number 91-Added site number 92-Added site number 93-Added site number 94-Added site number 95-Added site number 96-Added site number 97-Added site number 98-Added site number 99-Added site number 100-Added site number

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:

**SITE PLAN**

DATE: 04/22/2024

DRAWN BY: F.G.M.

SHEET 02 OF 10

PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGNER'S DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE STRUCTURE AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM, WE DO NOT QUALIFY TO BE ONE, NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

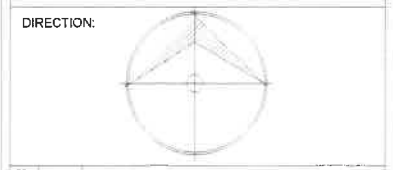
THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND REQUIREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN



REV. NO.	DATE	COMMENTS
1	12/03/2024	a) Added case number b) Added signature block with signature space for Planning and Zoning Chair and Planning Director attached c) The roof will be standing seam d) Parapet height noted and the rear part of the parapet will be covered with the same material as the exterior facade e) The bottom of RTUs is redlined

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: ELEVATIONS

DATE: 04/11/2022  
DRAWN BY: F.G.M.  
SHEET 08 OF 10

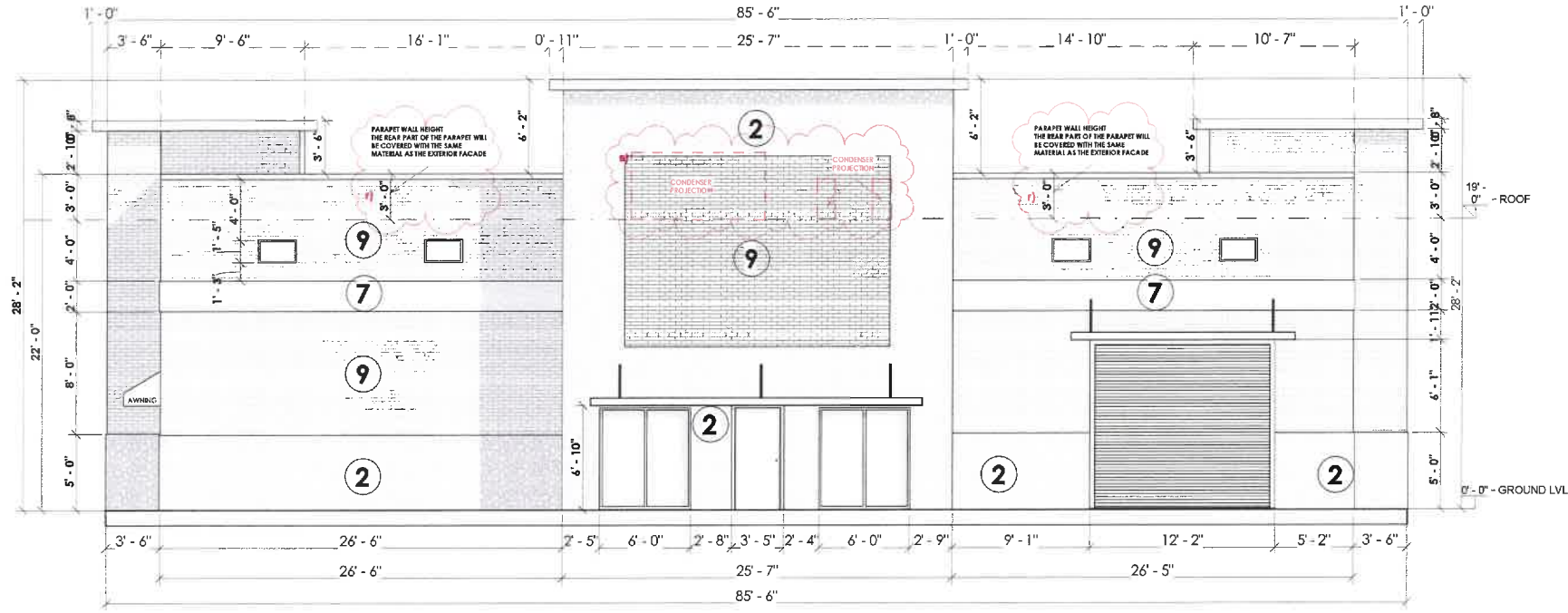
A2

**AREA AND PERCENTAGE OF MATERIALS**

	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,312 S.Q. F.T.	100 %
9	BRICKS	2,136 S.Q. F.T.	94.0 %
2	NATURAL STONE	1,510 S.Q. F.T.	64.0 %
7	SECONDARY MATERIAL	106 S.Q. F.T.	30.0 %
	TOTAL	2,312 S.Q. F.T.	100 %

**FRONT ELEVATION**

3/16" = 1' 0"

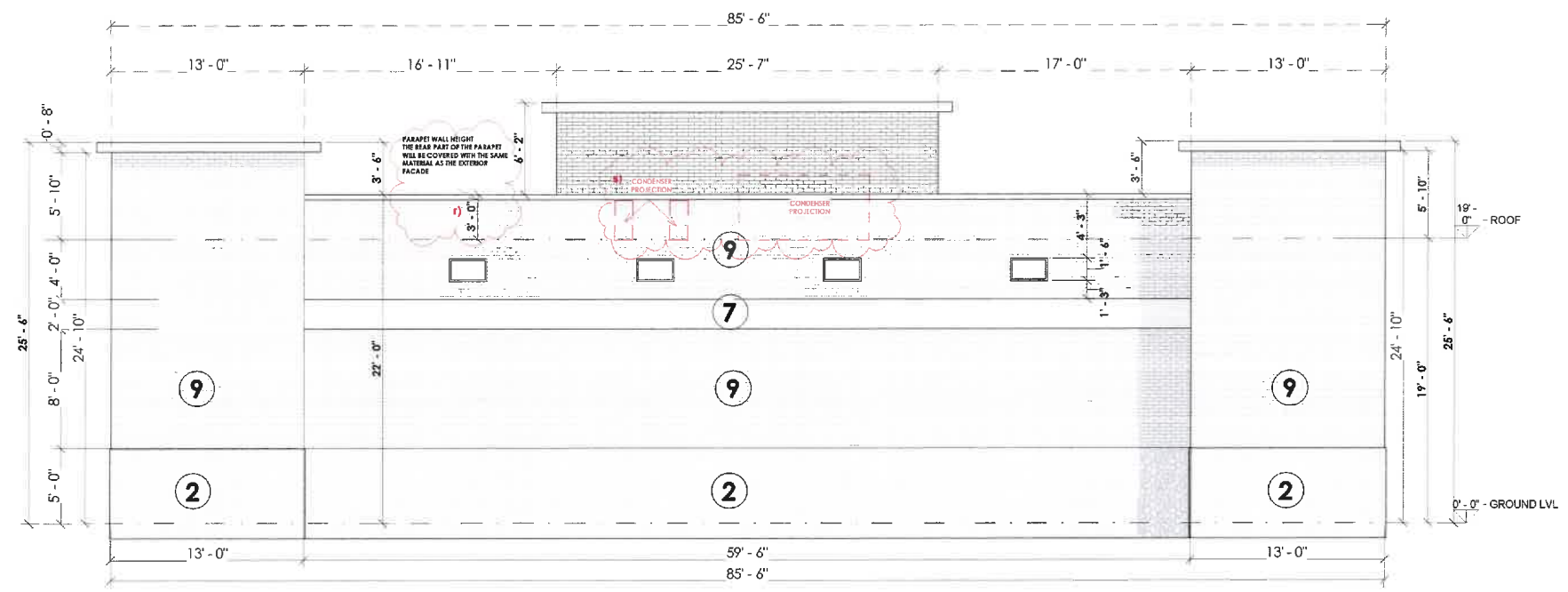


**AREA AND PERCENTAGE OF MATERIALS**

	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,128 S.Q. F.T.	100 %
9	BRICKS	2,116 S.Q. F.T.	94.0 %
2	NATURAL STONE	1,415 S.Q. F.T.	73.0 %
7	SECONDARY MATERIAL	427 S.Q. F.T.	21.0 %
	TOTAL	159 S.Q. F.T.	06.0 %
	TOTAL	2,128 S.Q. F.T.	100 %

**REAR ELEVATION**

3/16" = 1' 0"



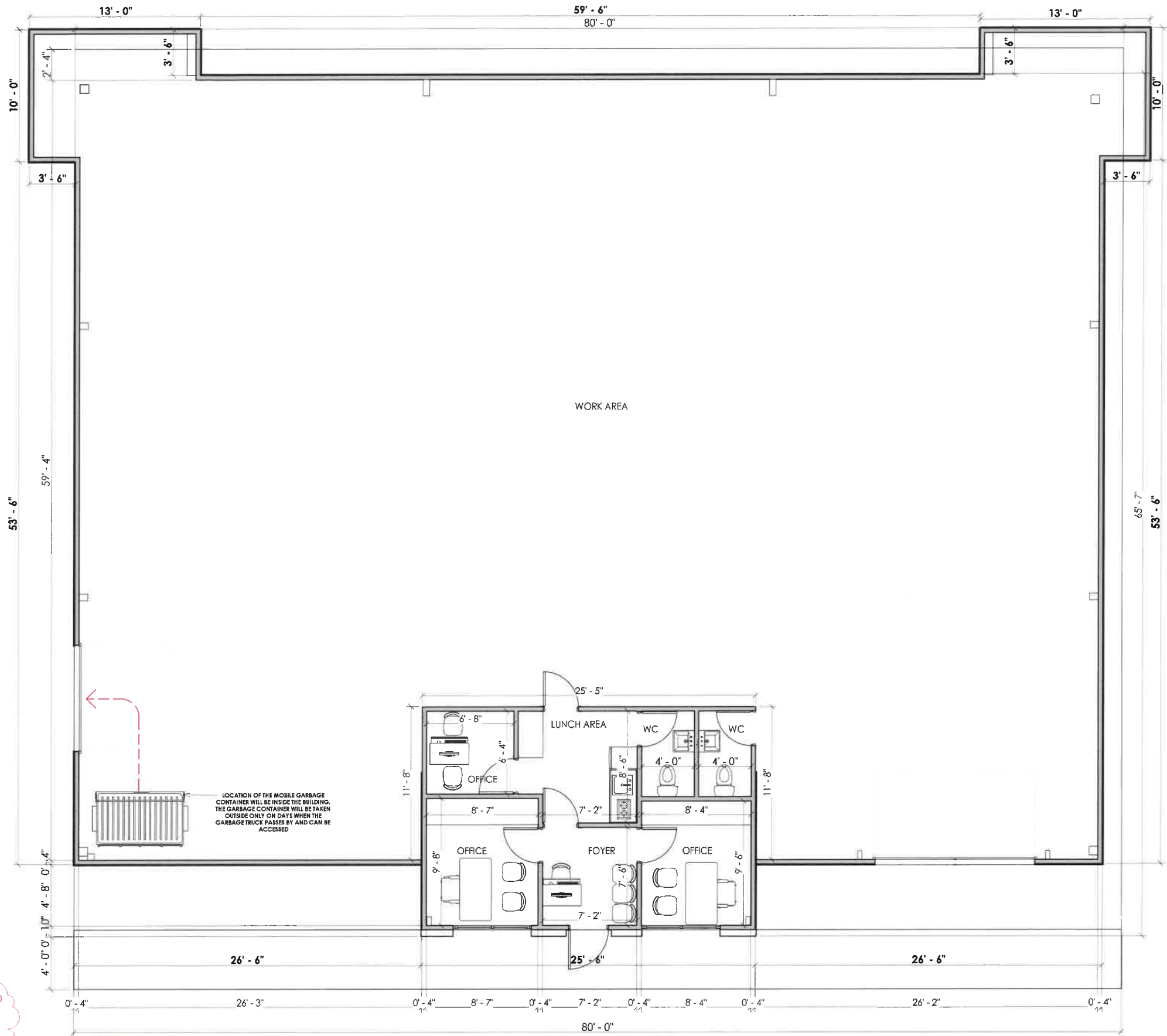
**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

\_\_\_\_\_  
Planning & Zoning Commission, chairman

\_\_\_\_\_  
Director of Planning and Zoning



**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

\_\_\_\_\_  
 Planning & Zoning Commission, chairman

\_\_\_\_\_  
 Director of Planning and Zoning

**FLOOR PLAN**

1/4" = 1' 0"

PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

**Gamma Group**  
 Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS, THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. WE ARE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULT IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

TABULATION AREA	
WORK AREA	4,656 SQ.FT.
OFFICE	432 SQ.FT.
<b>TOTAL</b>	<b>4,960 SQ.FT.</b>

DIRECTION:

REV. NO.	DATE	COMMENTS
1	22/09/2024	a) added case number b) changed signature box with signature space for Planning and Zoning Chair and Planning Director attached c) location of the Mobile Garbage Container will be inside the building. The garbage container will be taken outside only on days when the garbage truck passes by and can be accessed.

EXPIRATION DATE: \_\_\_\_\_

PAPER SIZE 36X24

PLAN: \_\_\_\_\_

**FLOOR PLAN**

DATE: 04/11/2022

DRAW BY: F.G.M.

**A1**

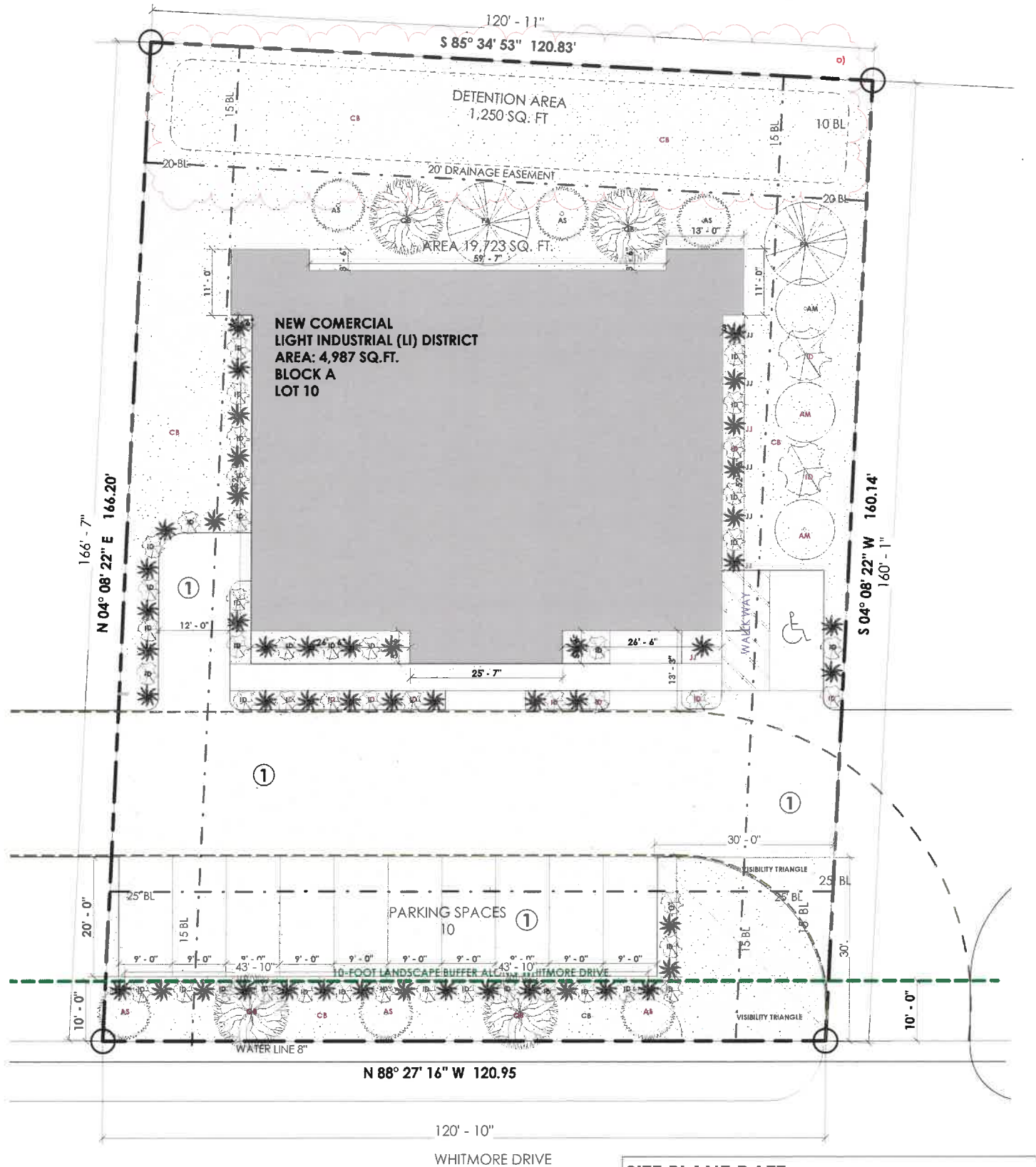
SHEET 07 OF 10

GENERAL GRADING AND PLANTING NOTES

- 1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANNING SCOPE OF WORK... 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION... 3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS... 4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC... 5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE... 6. MULCHES... 7. ROOF BARRIERS... 8. IRRIGATION CONCEPT... 9. CONCRETE... 10. CURING... 11. REFERENCE CONCRETE... 12. APPROVED: I hereby certify that the above and foregoing site plan... 13. WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

LANDSCAPE STANDARDS. 05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (LI) DISTRICT. TOTAL SITE AREA: 519,737 SQ.FT. LANDSCAPE AREA REQUIRED TOTAL SITE: 2,960 SQ.FT. (1.5%) LANDSCAPE PROVIDED, TOTAL SITE: 8,516 SQ.FT. (4.3%) LOCATION OF LANDSCAPING: A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTAGES... MIN. SIZE OF AREAS: ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA... DETENTION BASIN: DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES... PROPOSED DETENTION BASIN: 1,250 SQ. FT. CANOPY TREES REQUIRED: 3 CANOPY TREE ACCENT TREES REQUIRED: 2 ACCENT TREE PARKING LOT LANDSCAPING: PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES... PROPOSED PARKING AREA: 2,140 SQ. FT. PROPOSED PARKING LOT LANDSCAPING: 1,400 SQ. FT. PARKING SPACES: (1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES... TREES REQUIRED: 1 LARGE CANOPY TREE 2 LARGE CANOPY TREE 05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50-FOOT ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER... 4207' STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS

PLANT SCHEDULE. CODE TREES QTY BOTANICAL / COMMON NAME CAL CONT. SIZE. QB 4 QUERCUS MACROCARPA / BUR OAK 4" CAL CONT. 14" MIN. AM 3 ACER SACCHARUM 'CADDO' / CADDO MAPLE 4" CAL CONT. 12" MIN. PA 2 PINUS ELIDARICA / AFGHAN PINE 4" CAL CONT. 12" MIN. AS 6 ACER TRUNCATUM / SHANTUNG MAPLE 4" CAL CONT. 12" MIN. CODE SHRUBS QTY BOTANICAL / COMMON NAME CONTAINER SPACING SIZE. ID 49 ILEX VOMITORIA 'NANA' / DWARF YALUPOH HOLLY 5 GAL 36" OC 24" MIN. JJ 48 JUNIPERUS SP. / JUNIPER 5 GAL 36" OC 24" MIN. CODE GROUND COVERS QTY BOTANICAL / COMMON NAME CONT SPACING SIZE. CB 8,516 SQ.FT. CYNODON DACTYLON / BERMUDA GRASS SOND



LANDSCAPE PLAN. NOTE: THE IRRIGATION SYSTEM WILL COMPLY WITH THE REQUIREMENTS OF THE UDC. 3/32" = 1" 0". REINFORCED SLAB WITH #3 @ 16" O.C. BOTH WAYS. COMPACTED SELECT FILL. 6 MIL. POLYETHYLENE. 1 CONCRETE DETAIL UNSCALED.

SITE PLANE DATA. SIZE OF LOT 19,737 SQ.FT. BUILDING 4,987 SQ.FT. LANDSCAPE AREA REQUIRED TOTAL SITE: 2,960 SQ.FT. (1.5%) LANDSCAPE PROVIDED, TOTAL SITE: 8,516 SQ.FT. (4.3%) DRIVEWAY 3,559 SQ.FT. PARKING 2,140 SQ.FT. TOTAL COVERED AREA 11,071 SQ.FT. COVERAGE PERCENT 56%.

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE. OWNER: SALVADOR SALCEDO. LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX. gamma GROUP logo. Gamma Group, Design & Construction LLC. 33 09 ELM ST # 250, Dallas Texas, 75228. (469)-583-7174 & (469)-463-2761. ENGINEERING GENERAL NOTES. CONTRACTOR NOTES. DIRECTION: [North Arrow]. REV. DATE COMMENTS. PLAN: LANDSCAPE PLANTING PLAN. DATE: 05/01/2023. DRAWN BY: F.G.M. SHEET 03 OF 10. LP1

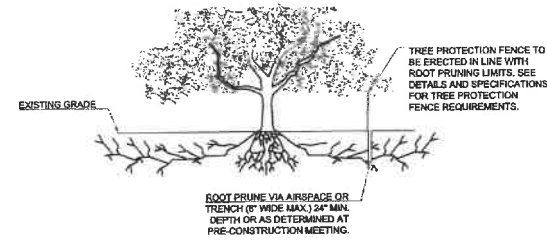
**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- " FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T-SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- THE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

**CONSTRUCTION METHODS**

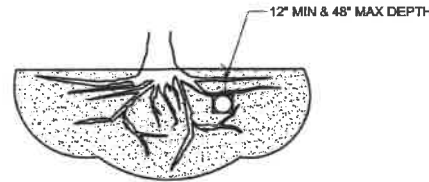
- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERRECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO FROM THE TRUNK FOR EVERY 1° OF DEHJ AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTIONS SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERRECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING, SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (M-C-30 OIL), ETC., TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
  - ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
  - WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
  - THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY, FOR OAKS ONLY. ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
  - REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
  - TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
  - ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
  - COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
  - IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  - WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
  - WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
  - CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.



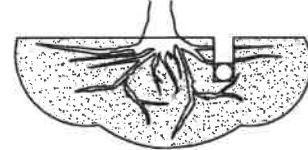
**ROOT PRUNING DETAIL**

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

**BORING THROUGH ROOT PROTECTION ZONE**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

**EXISTING TREE LEGEND**

- EXISTING TREE OFF SITE 10
- EXISTING TREE TO BE REMOVED 10

**TREE MIGRATION SUMMARY**

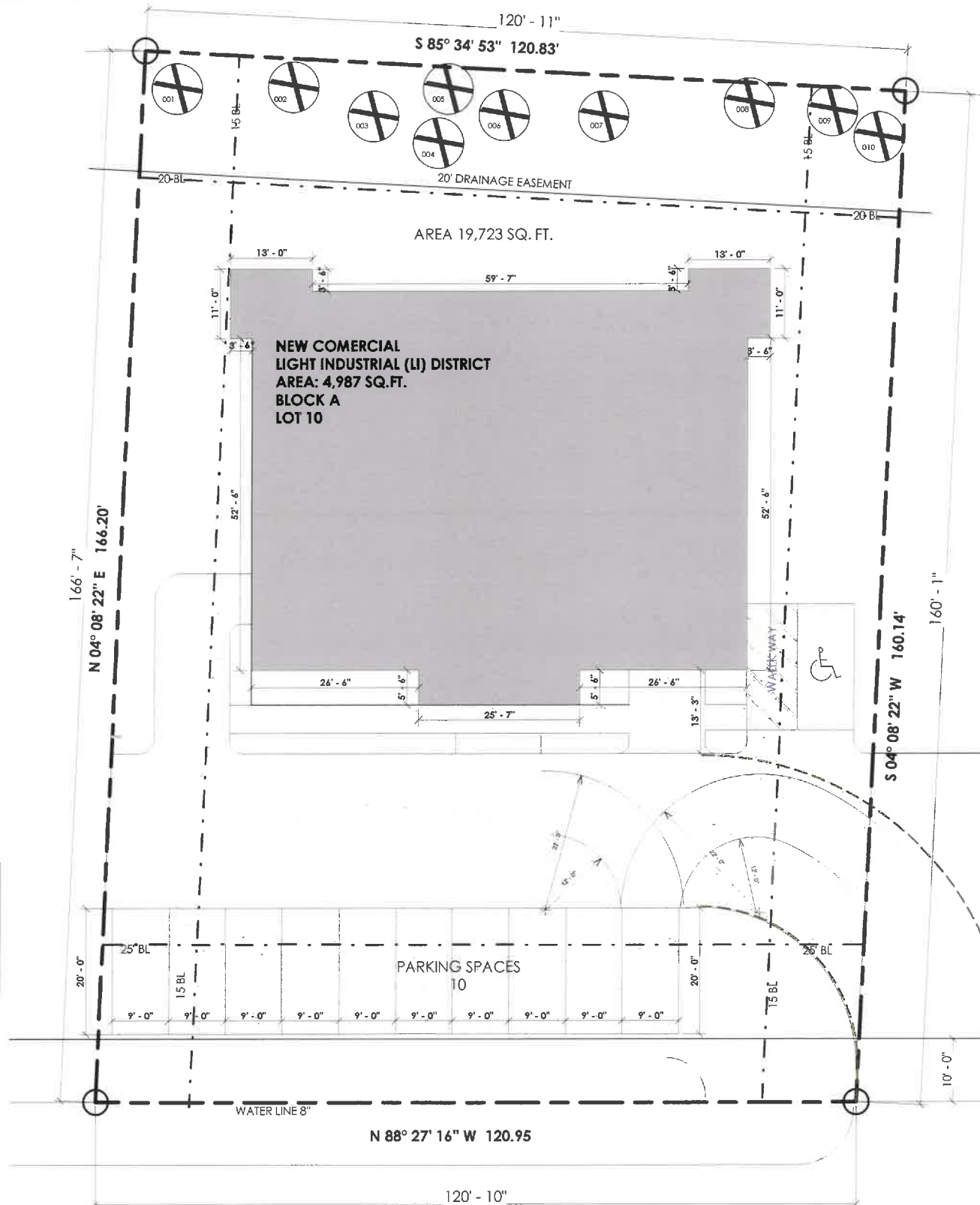
TOTAL MIGRATION REQUIRED:	40"
PROPOSED CODE REQUIRED TREES:	19"
BALANCE OF MITIGATION:	14"
4" CAL MITIGATION TREES (5) ON SITE	21"

**TRÉESCAPE PLAN SPREADSHEET**

#	SPECIES	CAUPEP	PROTECT OR REMOVE	TREE HEALTH (1-5)	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
10	RED OAK	4"	REMOVE	1	N	N	N	40"
<b>TOTAL:</b>								40"

**LANDSCAPE PLAN**

3/32" = 1' 0"



**SITE PLANE DATE**

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (38%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPY OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING OR FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S ORIGINAL WORK AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. ANY VIOLATION OF THESE TERMS SHALL BE SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT BE LICENSED TO DESIGN STRUCTURAL FRAMING, FOUNDATIONS OR FOUNDATION. ALL LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, FOUNDATIONS, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, FOUNDATIONS AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IF THE RESPONSIBILITY OF PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

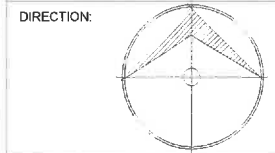
- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**EXISTING TREE LEGEND**

- EXISTING TREE OFF SITE
- EXISTING TREE TO BE REMOVED



REV NO	DATE	COMMENTS
1	22/05/2024	#1-Added case number, #2-Added case number, #3-Added case number, #4-Added case number, #5-Added case number, #6-Added case number, #7-Added case number, #8-Added case number, #9-Added case number, #10-Added case number

EXPIRATION DATE: PAPER SIZE 36X24

**TRESCAPE PLAN DETAILS & SPECIFICATIONS**

DATE: 05/01/2023  
DRAW BY: F.G.M  
SHEET 04 OF 10

**TD1**

**Performance Data**

Model	Beam Angle	Beam Diameter	Beam Length	Beam Area	Beam Power	Beam Voltage
WPK1	30°	3.0"	1.5'	0.85'	1.00'	1.50'
WPK2	45°	4.5"	2.25'	1.58'	2.25'	3.38'
WPK3	60°	6.0"	3.00'	2.25'	3.00'	4.50'
WPK4	75°	7.5"	3.75'	2.91'	3.75'	5.63'
WPK5	90°	9.0"	4.50'	3.54'	4.50'	6.75'

**Electrical Load**

Model	Power (W)	Current (A)	Voltage (V)
WPK1	1.00	0.045	22.0
WPK2	2.25	0.101	22.0
WPK3	3.00	0.136	22.0
WPK4	3.75	0.170	22.0
WPK5	4.50	0.205	22.0

**Projected LED Lumen Maintenance**

Hours	Lumen Output (%)
0	100
10,000	90
20,000	80
30,000	70
40,000	60
50,000	50

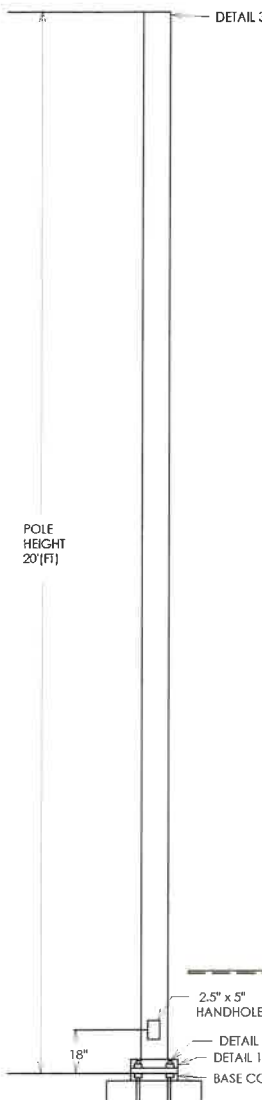
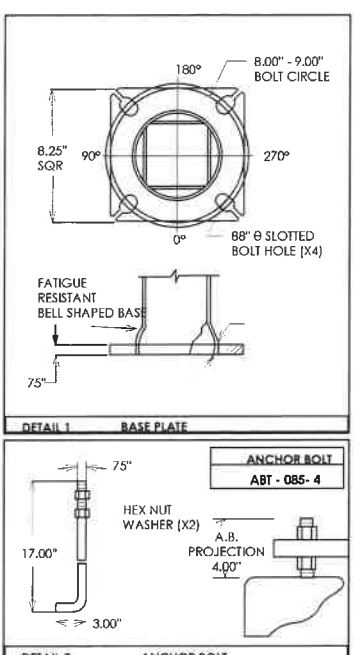


© 2024 LITHONIA LIGHTING. All rights reserved. LITHONIA LIGHTING is a registered trademark of LITHONIA LIGHTING.

**GENERAL NOTES**

- HARDWARE TO BE GALVANIZED TO ASTM A153
- ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER A153
- ALL WELDING TO CONFORM TO: AWS D11 MOST RECENT EDITION
- FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION
- PROVISIONS FOR GROUNDING LOCATED AT BASE HAND HOLE.

LOADING DATA		MATERIAL DATA				
DESIGN CRITERIA	COMMERCIAL STANDARD	COMPONENT	ASTM			
SPEED (mph)	80 90 100 110 120 130 140 150	POLE SHAFT	A500 GR. B			
EPA FT.	9.6 6.7 4.5 3.5 2.0 0.8 -- --	BASE PLATE	A36			
WEIGHT (lbs)	240 167 150 88 50 20 -- --	ANCHOR BOLTS	F1554 GR.55			
FINISH		MISC. STEEL	A58			
POLE DIMENSION DATA						
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA. (IN)	TOP DIA. (IN)	GAUGE OR THK (IN)	WEIGHT (LBS)
	SNS-20-40-11-AB	20	4.00	4.00	11-GA [11.92]	140



**Ordering Information**

EXAMPLE: WPXO LED ALO SWW2 MVOLT PE DBXK

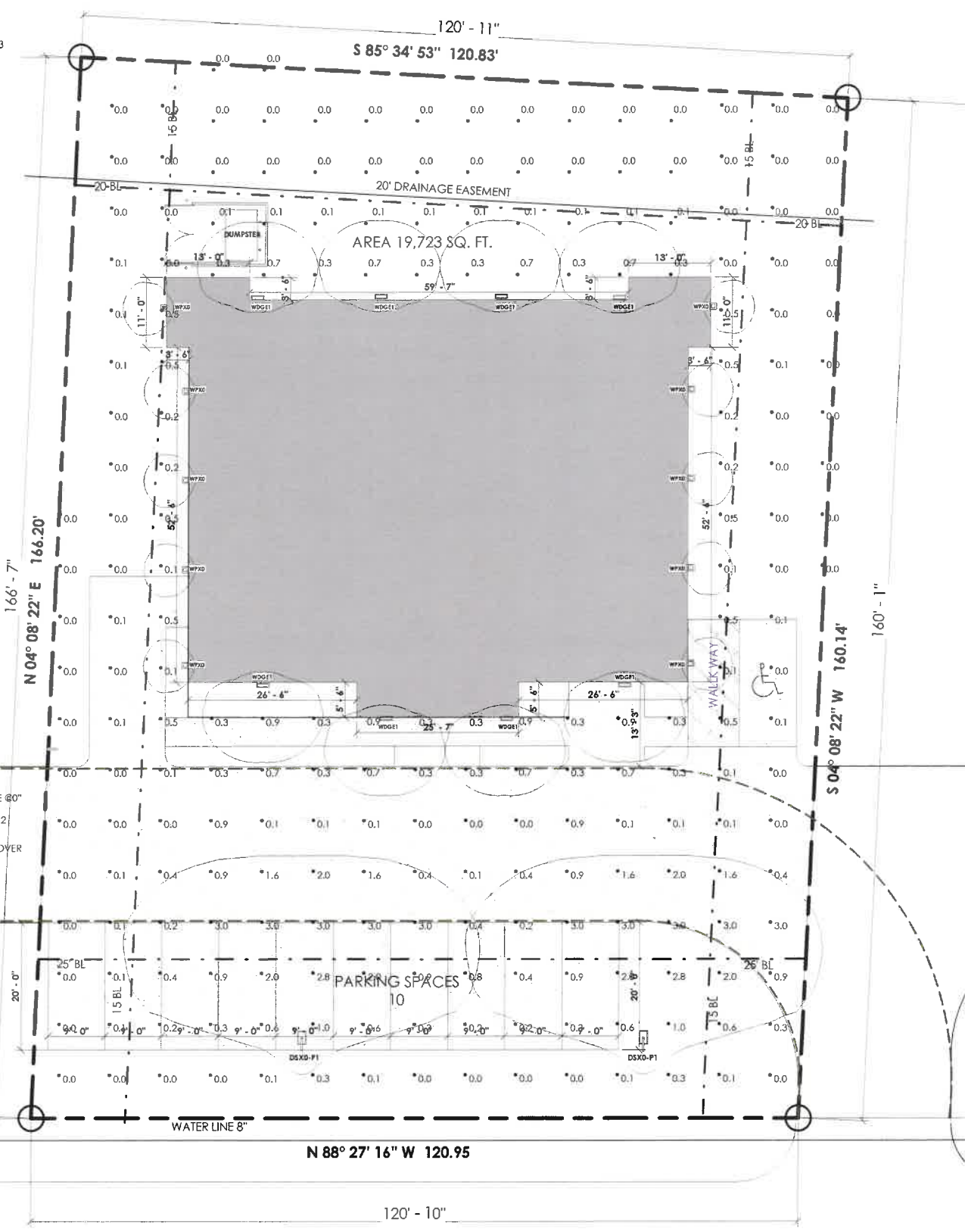
Model	Color Temperature	Input	Output	Notes
WPXO10	30° - 120 beam	30W	3000 / 4000 / 5000	10' Pole (DBXK)

**FEATURES & SPECIFICATIONS**

**Introduction**

The WPXO LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both LED wall pack replacement and new construction opportunities. Available in four sizes, the WPXO family delivers 850 to 3,000 lumens with a wide, uniform distribution.

The WPXO full cut-off wall pack is an excellent choice for the lighting industry. Variable IP66 construction and excellent LED lumen maintenance ensure a long service life. Standard features such as adjustable Lumen Output (ALCO), color switching and switchable photocell enable WPXO ideal for any application.



**SITE PHOTOMETRICS PLAN**  
3/32" = 1' WHITMORE DRIVE

**LUMINAIRE SCHEDULE**

SYMBOL	TYPE	QTY	MANUFACTURER / CATALOG NUMBER	TOTAL LUMEN OUTPUT	TOTAL INPUT WATTS	BALLAST FACTOR	LIGHT LOST FACTOR	USER DEFINED FACTOR
DSXO-P1	P	2	2 DSXO LED P6 40K 70CRI 13M MVOLT SPA NLAIR2 PIRH DBXK / D-SERIES SIZE O LED AREA LUMINAIRE (LITHONIALIGHTING)	8,800	68.11	1.000	0.850	1.000
WDGE1	W	8	WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DBXK / WDGE1 LED ARCHITECTURAL WALL SCIENCE (LITHONIALIGHTING)	7,200	24	1.000	0.800	1.000
WPXO	W	10	WPXO LED ALO SWW2 MVOLT PE DBXK / WPXO LED WALL PACK (LITHONIALIGHTING)	6,940	20	1.000	0.850	1.000

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGNER CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S ORIGINAL WORK AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE, NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION DESIGN. ANY ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING AND FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL OF PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**CONTRACTOR NOTES**

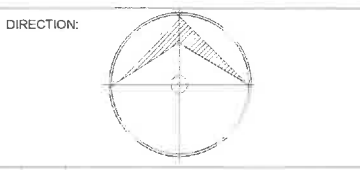
THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS, THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

- NOTES:**
- SURFACE REFLECTANCES: VERTICAL/HORIZONTAL - 50/20
  - MOUNTING HEIGHTS ARE DESIGNATED ON DRAWING WITH E2
  - LUMINAIRE DESCRIPTION DOES NOT NECESSARILY REFLECTS SPECIFICATION MODEL NUMBER. CONTACT SALESPERSON FOR VERIFICATION.
  - LIGHTING POWER DENSITY IS CALCULATED BASED ON ESTIMATED BALLAST/DRIVER ENERGY CONSUMPTION. ENGINEER TO VERIFY
  - FOR LUMEN OUTPUT OF SCALE LUMINAIRES, MULTIPLY TOTAL LUMEN OUTPUT BY USER DEFINED FACTOR.
  - CALCULATION VALUES ARE AT HEIGHT INDICATED IN SUMMARY TABLE



**REV NO**

NO	DATE	COMMENTS
1	05/01/2024	AS-ADDED case number B) Standard signature block with signature space for Planning and Zoning Chair and Planning Director added.

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: **SITE PHOTOMETRICS & DETAILS**

DATE: 05/01/2024

DRAWN BY: F.G.M. SHEET 05 OF 10

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman  
Director of Planning and Zoning





PROJECT: NEW COMERCIAL  
 OWNER: SALVADOR SALCEDO  
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS EXPRESSLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGNER CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

ENGINEERING GENERAL NOTES

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM, WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

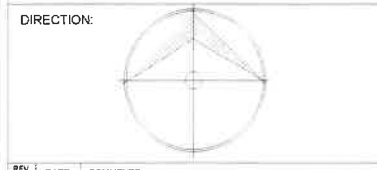
NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:  
 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.  
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
 3- PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN



REV NO	DATE	COMMENTS
1	22/04/2024	a) Added case number b) Deleted signature block with signature space for Planning and Zoning Chair and Planning Director attached c) The roof is 8' standing seam d) Parapet height added and the rear part of the parapet will be covered with the same material as the exterior facade e) The location of RTUs is indicated

EXPIRATION DATE: PAPER SIZE 35X24

PLAN: ELEVATIONS

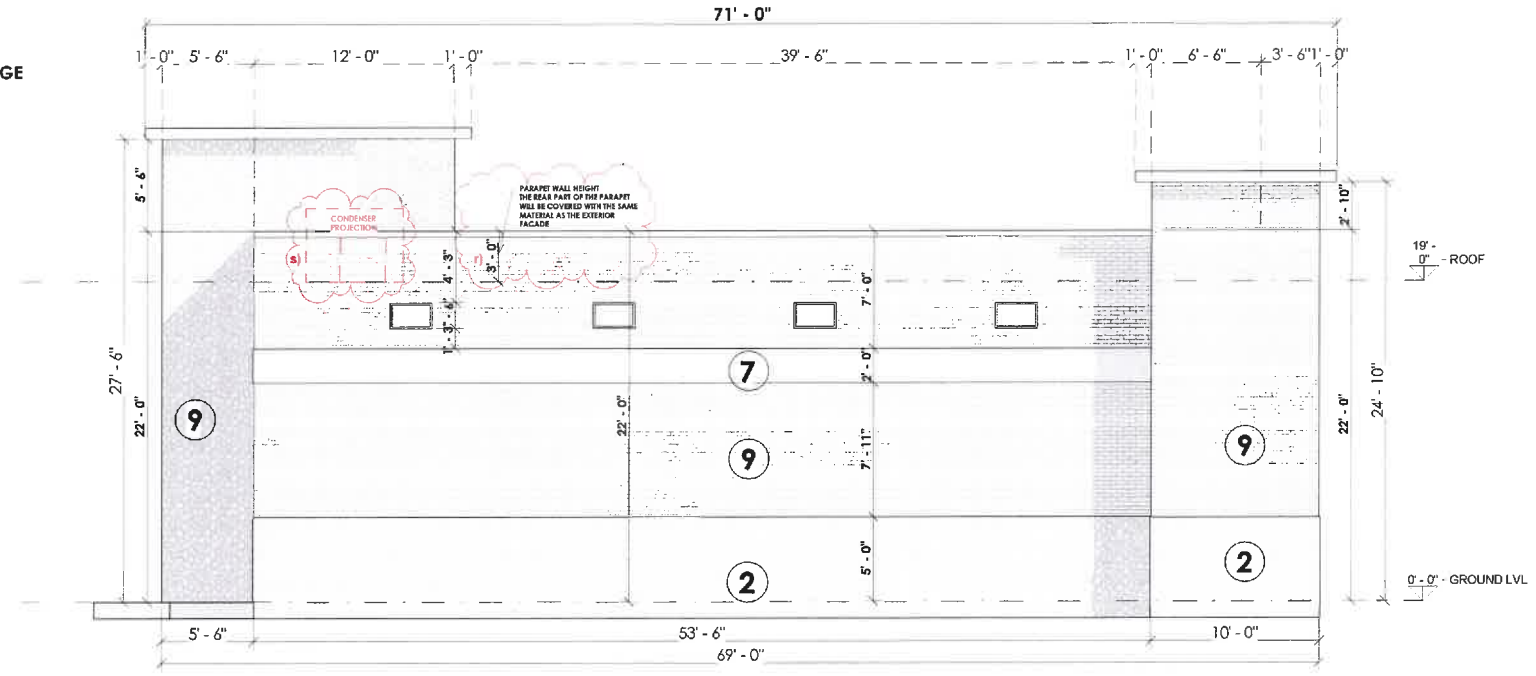
DATE: 04/11/2022  
 DRAW BY: F.G.M. SHEET 09 OF 10

AREA AND PERCENTAGE OF MATERIALS

	TOTAL AREA	PERCENTAGE
LEFT ELEVATION	1,801 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	1,693 S.Q. F.T.	93.0 %
9 BRICKS	1,217 S.Q. F.T.	63.0 %
2 NATURAL STONE	476 S.Q. F.T.	30.0 %
7 SECONDARY MATERIAL	106 S.Q. F.T.	07.0 %
TOTAL	1,801 S.Q. F.T.	100 %

RIGHT ELEVATION

3/16" = 1' 0"

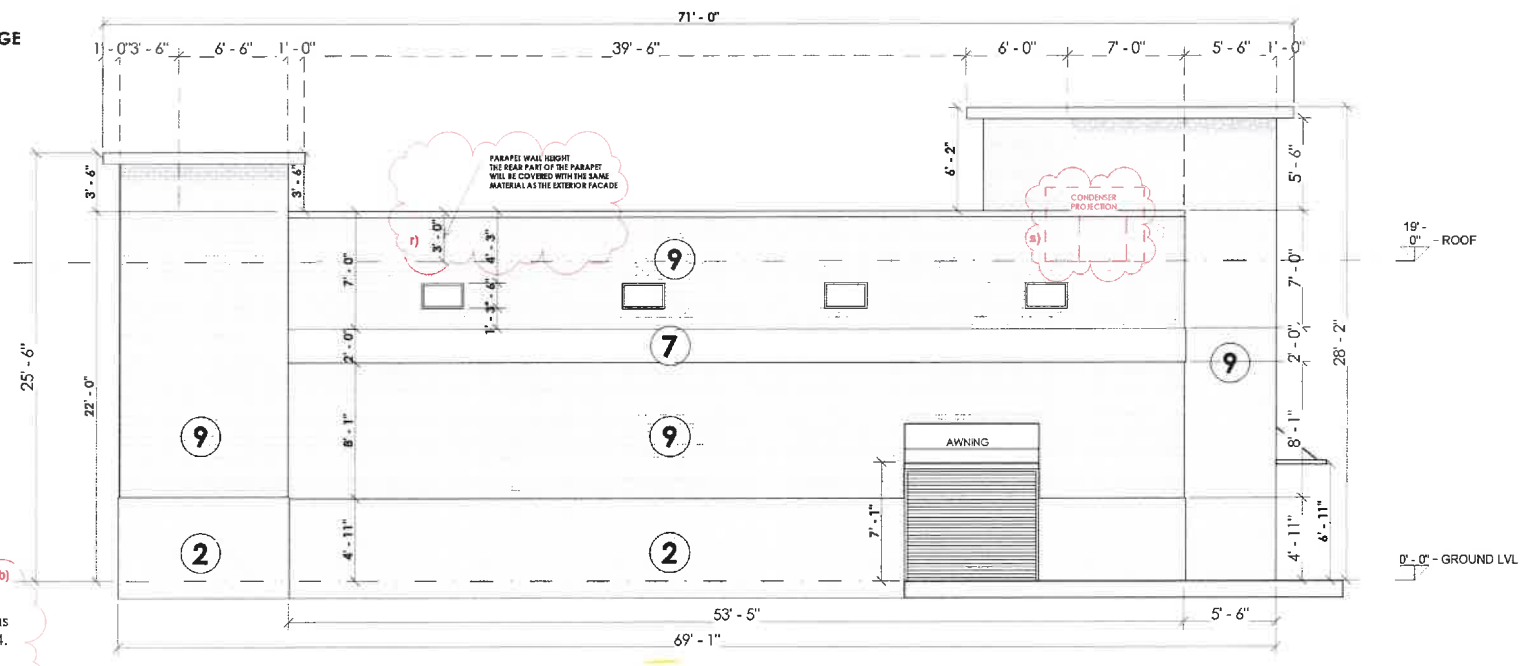


AREA AND PERCENTAGE OF MATERIALS

	TOTAL AREA	PERCENTAGE
LEFT ELEVATION	1,801 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	1,693 S.Q. F.T.	93.0 %
9 BRICKS	1,217 S.Q. F.T.	63.0 %
2 NATURAL STONE	476 S.Q. F.T.	30.0 %
7 SECONDARY MATERIAL	106 S.Q. F.T.	07.0 %
TOTAL	1,801 S.Q. F.T.	100 %

LEFT ELEVATION

3/16" = 1' 0"



APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman      Director of Planning and Zoning



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Planning and Zoning Commission  
**DATE:** July 9, 2024  
**APPLICANT:** Salvador Salcedo  
**CASE NUMBER:** SP2024-032; *Site Plan for 855 Whitmore Drive*

---

On June 25, 2024, the Architectural Review Board (ARB) reviewed the proposed building elevations and made the following recommendations: [1] provide a color rendering of the building, [2] change the awning over the west roll up door to match the awning over the front entry of the building, [3] center the windows and roll up door on their perspective façade, and [4] provide an architectural element or spandrel glass on the left side of the front entrance for the purpose of providing balance with the roll up door on the right side of the building. Since that the site plan was scheduled for action on June 25, 2024, the ARB approved a recommendation to table the case, by a vote of 5-0. Based on the ARB's recommendation and the applicant not being present at the meeting, the Planning and Zoning Commission approved a motion to table the site plan until the July 9, 2024 Planning and Zoning Commission meeting.

On July 3, 2024, the applicant provided staff a rendering and revised building elevations based on the recommendations from the Architectural Review Board (ARB). The revised building elevations address items 1-3 listed above; however, to address item 4 the applicant moved the roll up door on the west side of the building to the front of the building. This does not meet what the ARB was requesting, as they asked for an architectural element or spandrel glass. In addition, this brings the proposed building further out of conformance with the off-street loading dock requirements, as two (2) bay doors now face a public roadway (*i.e. Whitmore Drive*). Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 9, 2024 Planning and Zoning Commission meeting.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** July 9, 2024  
**APPLICANT:** Salvador Salcedo  
**CASE NUMBER:** SP2024-032; *Site Plan for 855 Whitmore Drive*

---

### SUMMARY

Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an *Office/Warehouse Building* on a 0.45- acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 zoning map the subject property was zoned Light Industrial (LI) District, which remains the zoning designation of the subject property today. In March of 1978, the subject property was platted establishing it as Lot 1, Block A, Municipal Industrial Park Addition. On March 19, 2007, the City Council approved a replat [*Case No. P2007-008*] that establish the subject property as Lot 8, Block A, Municipal Industrial Park Addition. On May 2, 2016, the City Council approved an additional replat [*Case No. P2016-017*] that establish the subject property as Lot 10, Block A, Municipal Industrial Park Addition. On November 14, 2023, the Planning and Zoning Commission denied a site plan request [*Case No. SP2023-032*] for an *Office/Warehouse Building* due to a recommendation of denial from the Architectural Review Board (ARB) and the failure to provide compensatory measures. On March 15, 2024 the applicant submit a site plan request [*Case No. SP2024-006*] for a similar request, which was ultimately withdrawn on May 9, 2024. The subject property has remained vacant since the time of annexation.

### PURPOSE

On June 14, 2024, the applicant -- *Salvador Salcedo*. -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an *Office/Warehouse Building* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 855 Whitmore Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 1.747-acre tract of land (*i.e. Tract 24 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Beyond this is a vacant 1.83-acre tract of land (*i.e. Tract 14 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Following this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. North of this is Phase 3 of the Park Place Subdivision, which consists of 85 residential lots and is zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is Whitmore Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 15.7017-acre tract of land (*i.e. Tract 20-1 of the A. Hanna Survey, Abstract No. 99*) zoned Light Industrial (LI) District. Following this is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a vacant 0.96-acre parcel of land (i.e. Lot 11, Block A, Municipal Industrial Park Addition) zoned Light Industrial (LI) District. Beyond this is a 3.35-acre parcel of land (i.e. Lot 5, Block A, Municipal Industrial Park Addition) developed with a maintenance building for Rockwall County that is zoned Light Industrial (LI) District. Following this is Whitmore Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 1.19-acre parcel of land (i.e. Lot 9, Block A, Municipal Industrial Park Addition) developed with a Bail Bond Service that is zoned Light Industrial (LI) District. Beyond this is T. L. Townsend Drive, which is identified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 13.368-acre parcel of land (i.e. Lot 2, Block A, Rockwall County Law Enforcement Center Addition) developed with the Rockwall County Detention Center, which is zoned Commercial (C) District and Light Industrial (LI) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office/Warehouse Building* is a permitted *by-right* land use in a Light Industrial (LI) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the *Variiances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=19,737 SF; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 120.95-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=160-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=28.1-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=25.13%; In Conformance
	1 Parking Space/300 SF (Office)	
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/500 SF (Light Manufacturing) Total: 11 Parking Spaces	X=11; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	X=44%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X=56%; In Conformance

**TREESCAPE PLAN**

The treescape plan provided by the applicant indicates a total of 40 caliper inches will be removed from the site during construction. Based on the landscape requirements, the applicant is providing 60 caliper inches of canopy trees on site, which will satisfy the required tree mitigation.

**CONFORMANCE WITH THE CITY’S CODES**

The applicant is requesting to construct an *Office/Warehouse Building* on the subject property. According to Subsection 02.02(J)(7), *Wholesale, Distribution and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* is defined as a "... building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale ..." In addition, Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a "...(a) facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use..."

In this case, the applicant's request for an *Office/Warehouse Building* is permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 05.01, *Landscape Buffers*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way ..." and all buffers shall incorporate a berm, and one (1) canopy tree and one (1) accent tree per 50-linear feet of frontage. In this case, the applicant is incorporating the required landscaping and berm to satisfy the landscape buffer requirements for a non-residential property abutting a public right-of-way. In addition, the proposed site plan also generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exception being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

### (1) Screening.

- (a) Off-Street Loading Docks. According to Subsection 1.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(o)ff-street loading docks must be screened from all public streets, any residential zoning district or residentially used property, and any parks and open space that abuts or is directly across a public street or alley from the subject property. The screening must be at least six (6) feet in height and shall be provided by using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless integral to the buildings design and otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers." In this case, the proposed building elevations indicate a loading dock facing directly onto Whitmore Drive, and an additional loading dock facing west that will be visible from Whitmore Drive. In addition, the applicant has not proposed any screening methods. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is not proposing any compensatory measures. That being said, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Central District. The Central District "...is composed of a wide range of land uses that vary from single-family to industrial." The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is proposing an *Office/Warehouse Building*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan; however, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states that staff should "...encourage high quality and inspiring architecture throughout the City..." The OURHometown Vision 2040 Comprehensive Plan goes on to state that "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks - or 'articulated' in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant is requesting exceptions to building articulation requirements and has failed to incorporate any horizontal articulation or relief to the proposed building. The lack of design appears to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Based on this the applicant's proposal does not appear to meet the vision of the Comprehensive Plan.

## **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

The Architectural Review Board (ARB) reviewed the proposed building elevations on June 25, 2024, and provide a recommendation table the case by a vote of 5-0 to the Planning and Zoning Commission.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an *Office/Warehouse Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 855 Whitmore Dr

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_ CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_ LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Salvador Salcedo</u>	<input type="checkbox"/> APPLICANT	_____
CONTACT PERSON	<u>Salvador Salcedo</u>	CONTACT PERSON	_____
ADDRESS	<u>210 Cedar Tree Ln</u>	ADDRESS	_____
CITY, STATE & ZIP	<u>Heath, Texas 75032</u>	CITY, STATE & ZIP	_____
PHONE	<u>214-552-2008</u>	PHONE	_____
E-MAIL	<u>salvasalce@novaairac.com</u>	E-MAIL	_____

### NOTARY VERIFICATION [REQUIRED]

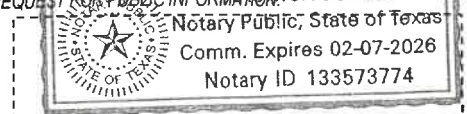
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Salvador Salcedo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF May, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF May, 2024

OWNER'S SIGNATURE \_\_\_\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_




MY COMMISSION EXPIRES 02-07-2026





SP2024-032: Site Plan for 855 Whitmore Drive



Case Location Map = 

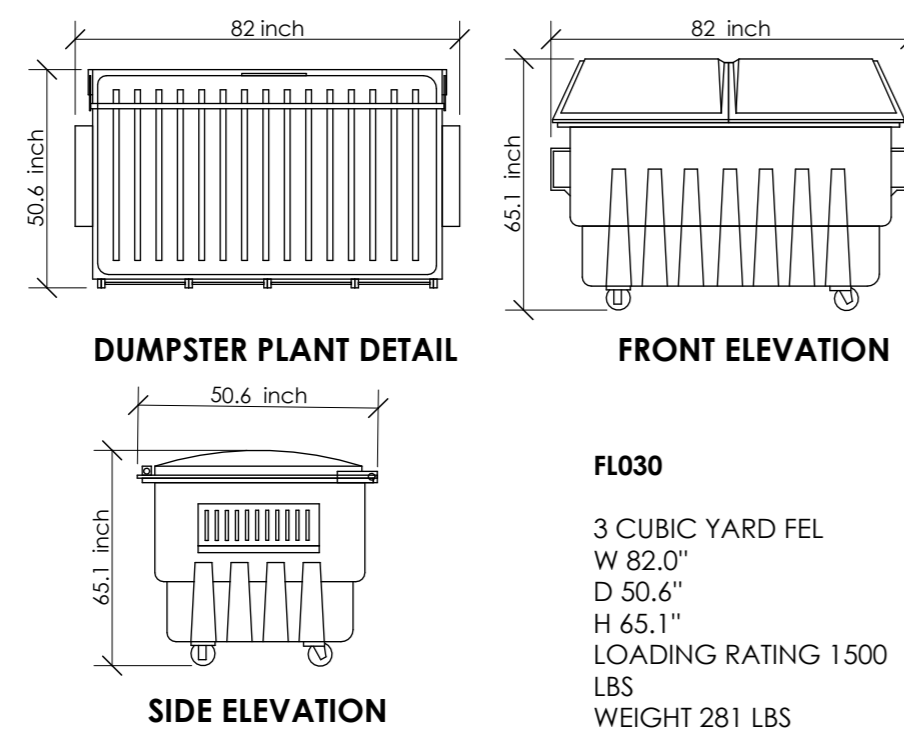
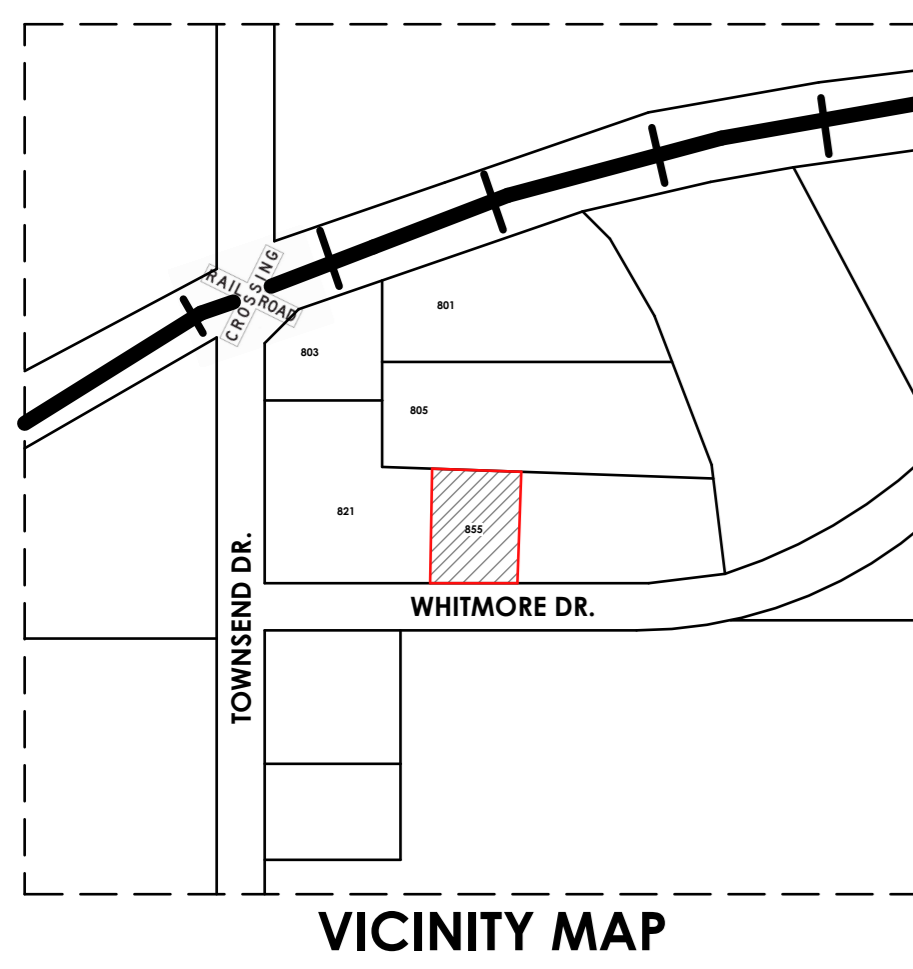


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**NOTE:**  
LOCATION OF THE MOBILE GARBAGE CONTAINER WILL BE INSIDE THE BUILDING. THE GARBAGE CONTAINER WILL BE TAKEN OUTSIDE ONLY ON DAYS WHEN THE GARBAGE TRUCK PASSES BY AND CAN BE ACCESSED.

**MOBILE TRASH CONTAINER / DUMPSTER (1,500 LB. CAPACITY)**  
**MOBILE TRASH CONTAINER / DUMPSTER (1,500 LB. CAPACITY)**

PLANE DATE	
SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
DRIVEWAY	3,259 SQ.FT.
PARKING	2,140 SQ.FT.
WALKING AREA	385 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PARKING REQUIREMENT SCHEDULE	
INDUSTRIAL AND MANUFACTURING LAND USES (LI)	
LAND USE	MINIMUM PARKING REQUIRED
Apparel Manufacturing	1/200 SF
Asphalt or Concrete Batch Plant	As Determined by the Director
Industrial and Manufacturing Other Than Listed	As Determined by the Director
Light Assembly and Fabrication	1/500 SF or 0.75/Employee <sup>1&amp;3</sup>
Heavy Manufacturing	1/500 SF or 0.75/Employee <sup>1&amp;3</sup>
Printing, Engraving, and Related Businesses	1/300 SF or 1/Employee <sup>1</sup>
Welding Repair	1/500 SF or 1/2 Employees <sup>1</sup>

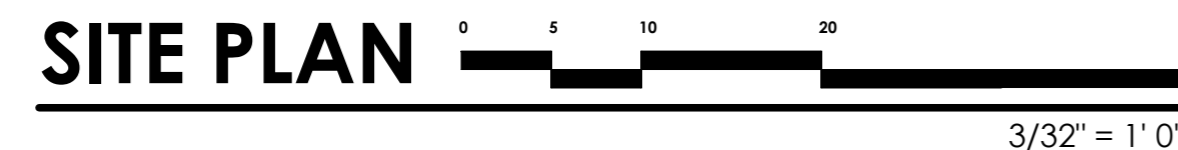
**USE OF STRUCTURE**

CONSTRUCTION TYPE: LI  
LIGHT INDUSTRIAL  
NO. STORIES: ONE  
HEIGHT: 60' 0"  
SETBACKS  
FRONT: 25' 0"  
SIDE: 15' 0"  
REAR: 20' 0"  
MAX. LOT COVERAGE: 60%

**1), 2)**

**NOTE:**

- IN THIS PROJECT NO TYPE OF FENCE IS PROPOSED.
- DOES NOT PROPOSE ANY GROUND OR PLATFORM MOUNTED UTILITY EQUIPMENT
- AN OFF-STREET LOADING DOCK IS NOT PROPOSED AS THE BUILDING IS DESIGNED FOR TRUCKS TO LOAD INSIDE.
- THERE WILL BE NO OUTSIDE STORAGE OR ABOVE-GROUND STORAGE TANKS.
- ALL PUBLIC SERVICES ARE UNDERGROUND.



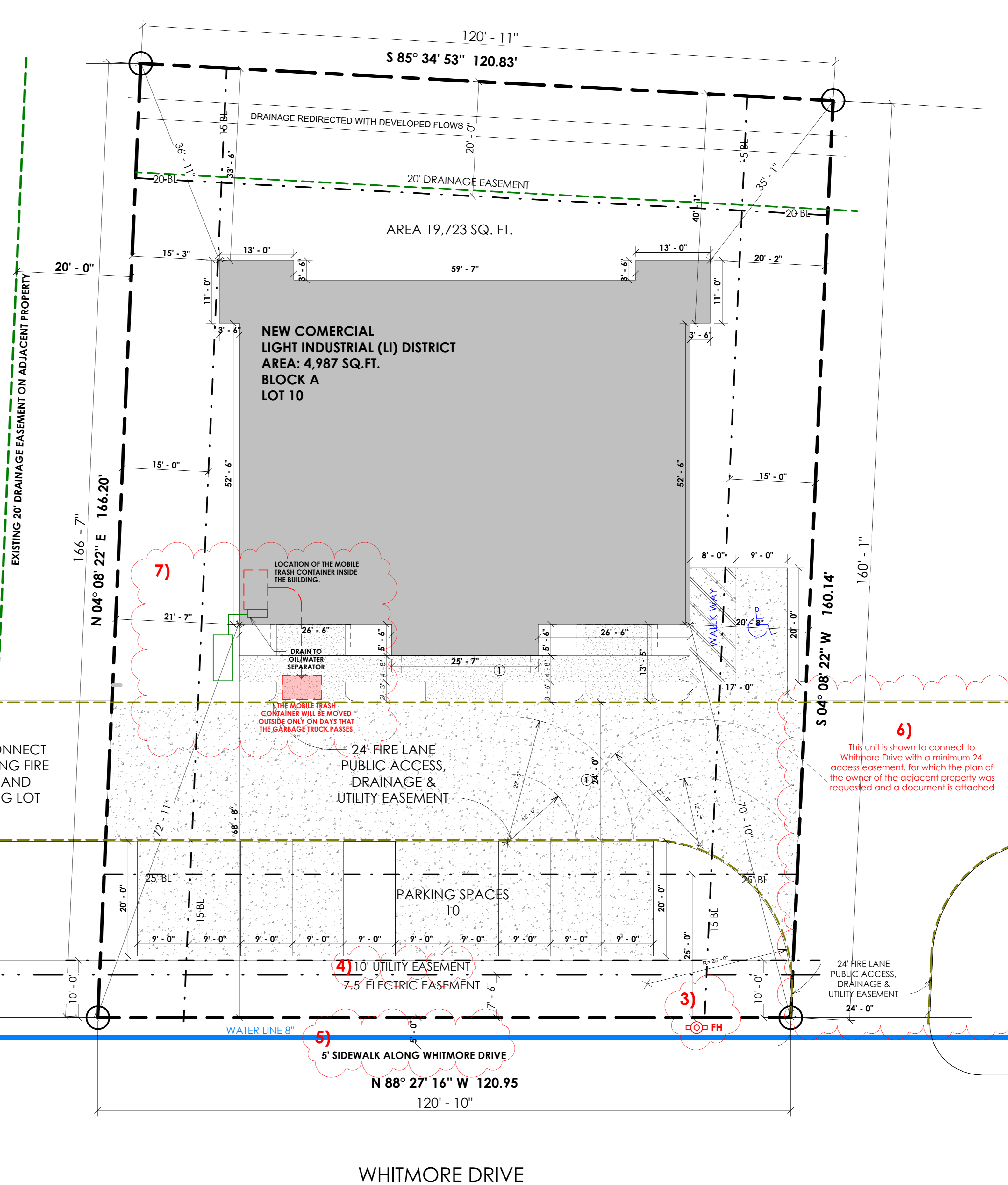
**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning



**PROJECT:**  
NEW COMERCIAL

**OWNER:**  
SALVADOR SALCEDO

**LOCATION:**  
855 WHITMORE DRIVE,  
ROCKWALL, TX

**Gamma Group, Design & Construction LLC**  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**NOTE:**  
GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL FIELD CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**LEGEND**

CM	CONTROLLING MONUMENT	CONCRETE	
○	5/8" IRON ROD FOUND	BUILDING	
⊗	X" FOUND IN CONCRETE	PORCH, DECK, ETC.	
○	POINT FOR CORNER	OHP OVERHEAD ELECTRIC	
⊞	FIBER OPTIC PEDESTAL	OHP OVERHEAD TELEPHONE	
○	POWER POLE	ELECTRIC EASEMENT	
—	FIRE LANE	METAL FENCE	
⊞	WATER METER	WOOD FENCE	
⊞	TELE. MANHOLE	⊞	SANITARY SEWER MANHOLE
⊞	TELE. VAULT	⊞	STORM DRAIN MANHOLE
⊞	VACUUM	⊞	HANDICAP PARKING
⊞	LIGHT POLE	⊞	ELECTRIC BOX
⊞	UNDERGROUND ELECTRIC	⊞	CLEANOUT
⊞	PROPOSAL FIRE HYDRANT	⊞	TELEPHONE PEDESTAL
⊞	GAS METER	⊞	CABLE PEDESTAL
⊞	WATER VALVE	⊞	ASPHALT PAVING/ GRAVEL

**DIRECTION:**

REV. NO.	DATE	COMMENTS
1	21/06/2024	1) Please provide a note indicating that there will be no outside storage or above ground storage tanks. 2) An off-street loading dock is not proposed as the building is designed for trucks to load inside the building. 3) 10' Utility Easement along Whitmore Drive. 4) 10' Utility Easement along Whitmore Drive. 5) 5' Sidewalk along Whitmore Drive. 6) This unit is shown to connect to Whitmore Drive with a minimum 24' access easement, for which the plan of the owner of the adjacent property was requested and a document is attached. 7) Dumpster areas to drain to oil/water separator and then to the storm lines.

**EXPIRATION DATE:**  
PAPER SIZE 36X24

**PLAN:**  
**SITE PLAN**

**DATE:** 04/22/2024

**DRAW BY:** F.G.M

**SHEET 02 OF 10**

**A1**

PROJECT: NEW COMERCIAL  
 OWNER: SALVADOR SALCEDO  
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas, Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAW IS SUBJECT TO LEGAL ACTION.

ENGINEERING GENERAL NOTES

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

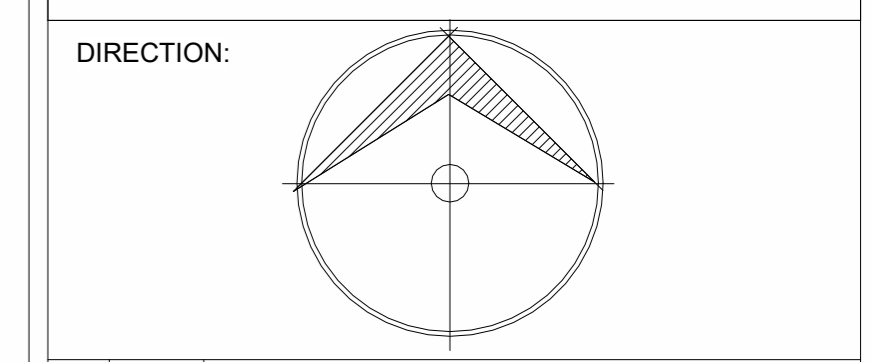
NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSIBILITY OF PURCHASER, OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:  
 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.  
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN



REV. NO.	DATE	COMMENTS
1	22/03/2024	1) Parapet height added and the rear part of the parapet will be covered with the same material as the exterior facade. 2) The location of RTUs is indicated.

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: ELEVATIONS

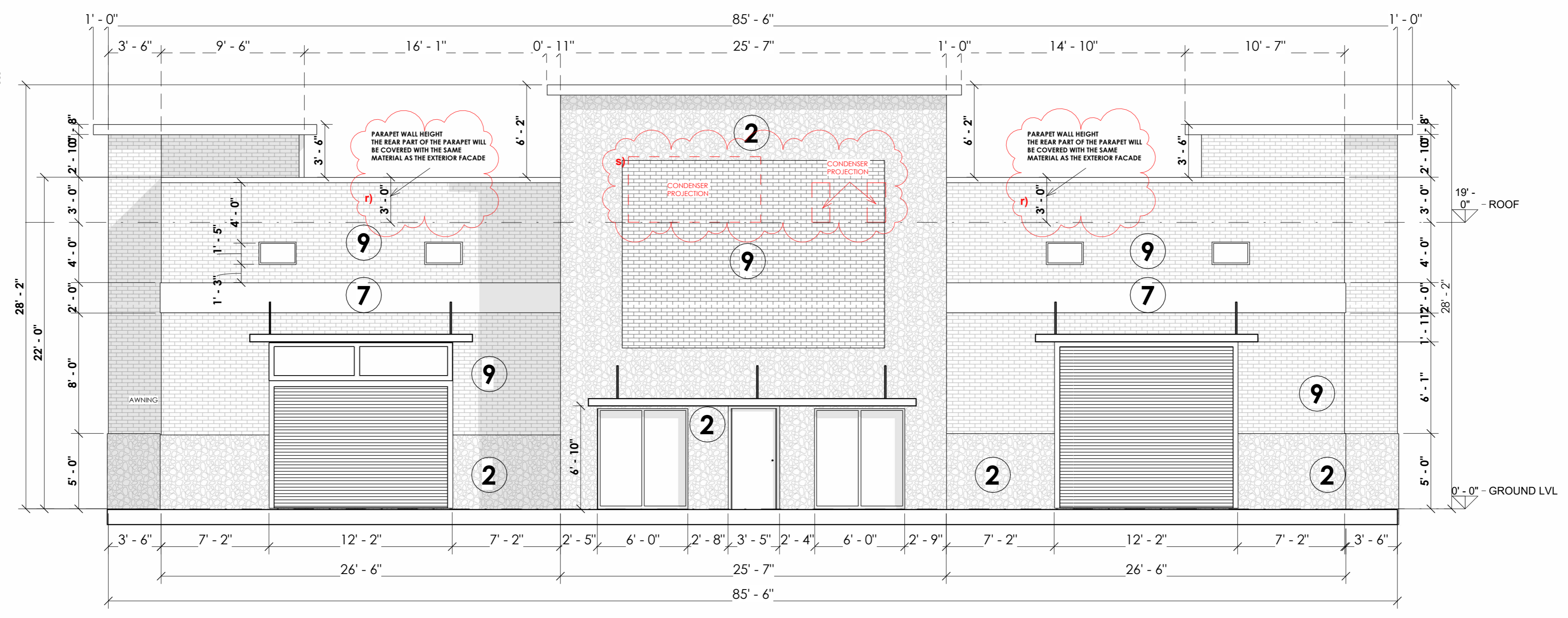
DATE: 04/11/2022  
 DRAW BY: F.G.M SHEET 08 OF 10  
**A2**

AREA AND PERCENTAGE OF MATERIALS

	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,312 S.Q. F.T.	100 %
9	BRICKS	2,136 S.Q. F.T.	94.0 %
2	NATURAL STONE	1,510 S.Q. F.T.	64.0 %
7	SECONDARY MATERIAL	616 S.Q. F.T.	30.0 %
	TOTAL	106 S.Q. F.T.	06.0 %
		2,312 S.Q. F.T.	100 %

FRONT ELEVATION

3/16" = 1' 0"

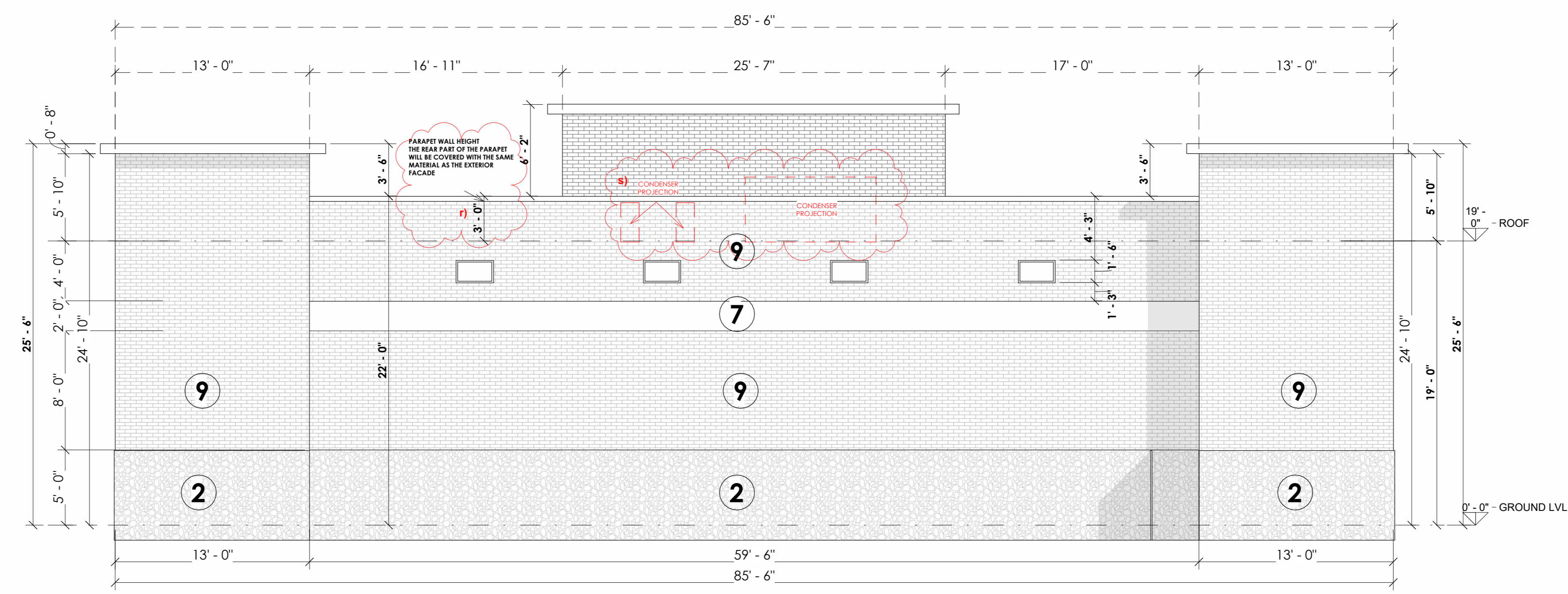


AREA AND PERCENTAGE OF MATERIALS

	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,128 S.Q. F.T.	100 %
9	BRICKS	2,116 S.Q. F.T.	94.0 %
2	NATURAL STONE	1,415 S.Q. F.T.	73.0 %
7	SECONDARY MATERIAL	427 S.Q. F.T.	21.0 %
	TOTAL	159 S.Q. F.T.	06.0 %
		2,128 S.Q. F.T.	100 %

REAR ELEVATION

3/16" = 1' 0"



APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.  
 WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

\_\_\_\_\_  
 Planning & Zoning Commission, chairman

\_\_\_\_\_  
 Director of Planning and Zoning

PROJECT: NEW COMERCIAL  
 OWNER: SALVADOR SALCEDO  
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
 33 09 Elm ST # 250 Dallas, Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGNER CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THESE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

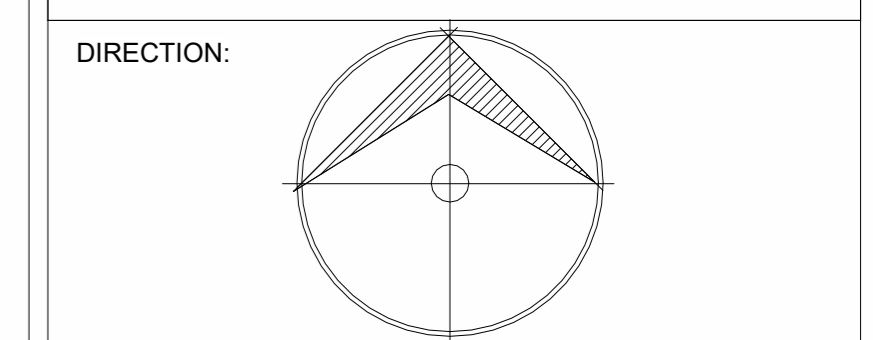
GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.  
 THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:  
 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.  
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
 13- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN



REV. NO.	DATE	COMMENTS
1	22/03/2024	1- Parapet height added and the rear part of the parapet will be covered with the same material as the exterior facade. 2- the location of RTUs is indicated

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: ELEVATIONS

DATE: 04/11/2022  
 DRAW BY: F.G.M  
 SHEET 09 OF 10

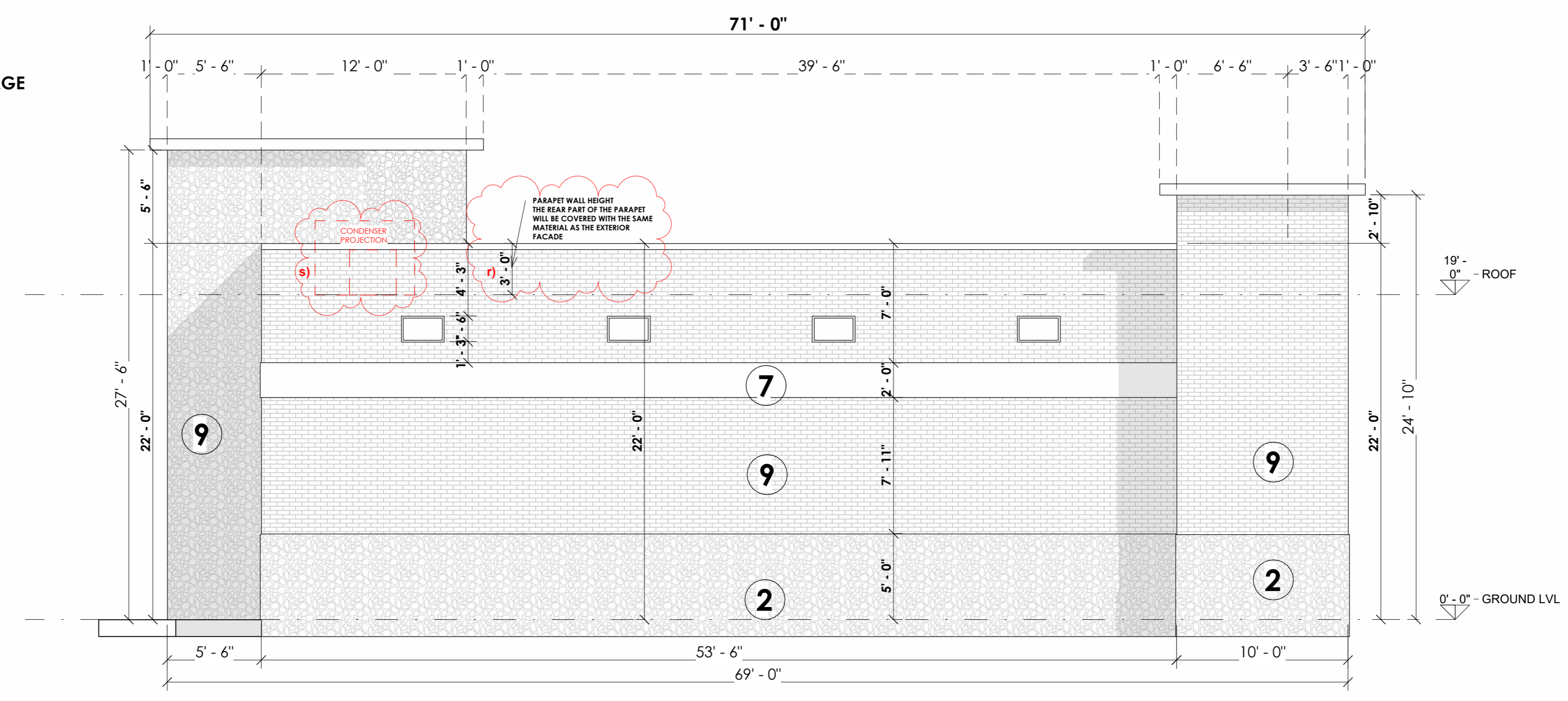
**A3**

**AREA AND PERCENTAGE OF MATERIALS**

	TOTAL AREA	PERCENTAGE
2 & 9 LEFT ELEVATION	1,801 S.Q. F.T.	100 %
9 MASONRY MATERIALS	1,693 S.Q. F.T.	93.0 %
9 BRICKS	1,217 S.Q. F.T.	63.0%
2 NATURAL STONE	476 S.Q. F.T.	30.0 %
7 SECONDARY MATERIAL	106 S.Q. F.T.	07.0%
TOTAL	1,801 S.Q. F.T.	100 %

**RIGHT ELEVATION**

3/16" = 1' 0"

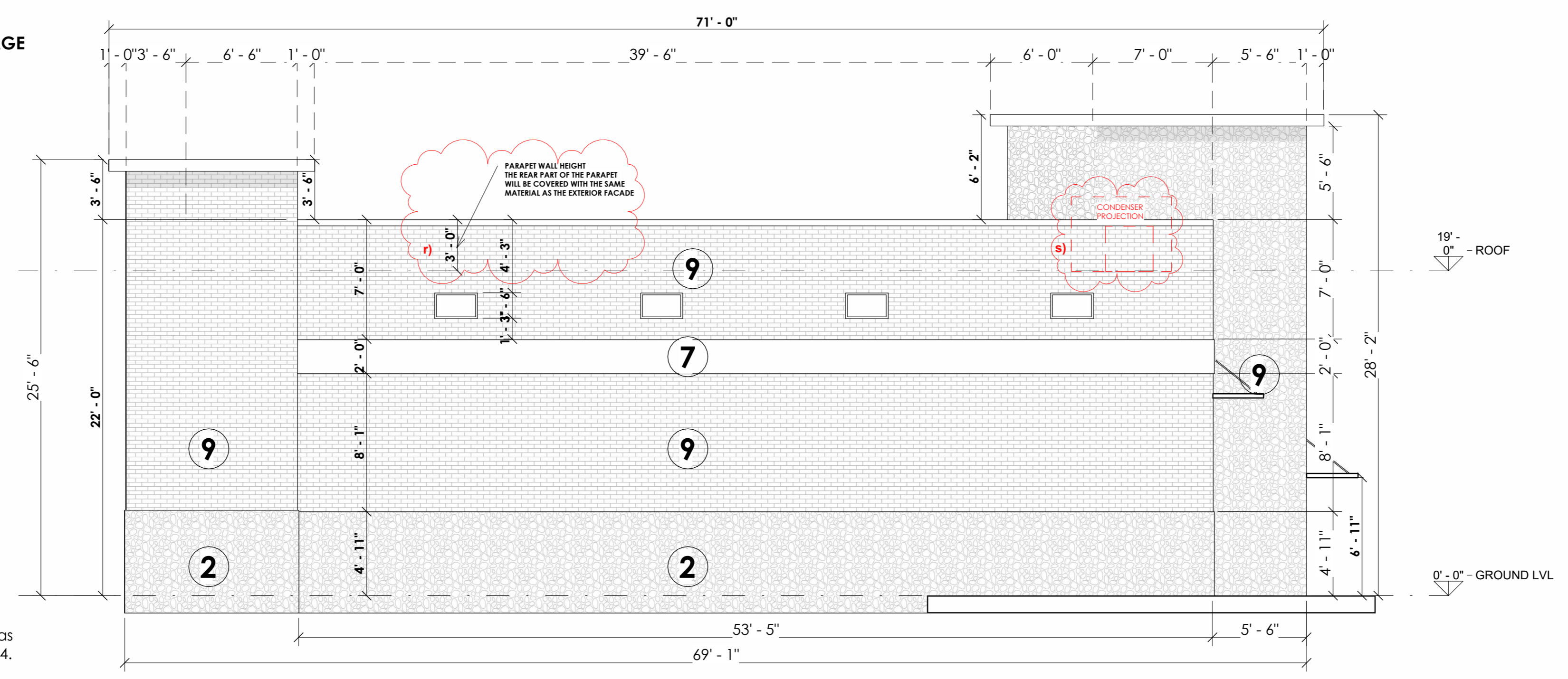


**AREA AND PERCENTAGE OF MATERIALS**

	TOTAL AREA	PERCENTAGE
2 & 9 LEFT ELEVATION	1,801 S.Q. F.T.	100 %
9 MASONRY MATERIALS	1,693 S.Q. F.T.	93.0 %
9 BRICKS	1,217 S.Q. F.T.	63.0%
2 NATURAL STONE	476 S.Q. F.T.	30.0 %
7 SECONDARY MATERIAL	106 S.Q. F.T.	07.0%
TOTAL	1,801 S.Q. F.T.	100 %

**LEFT ELEVATION**

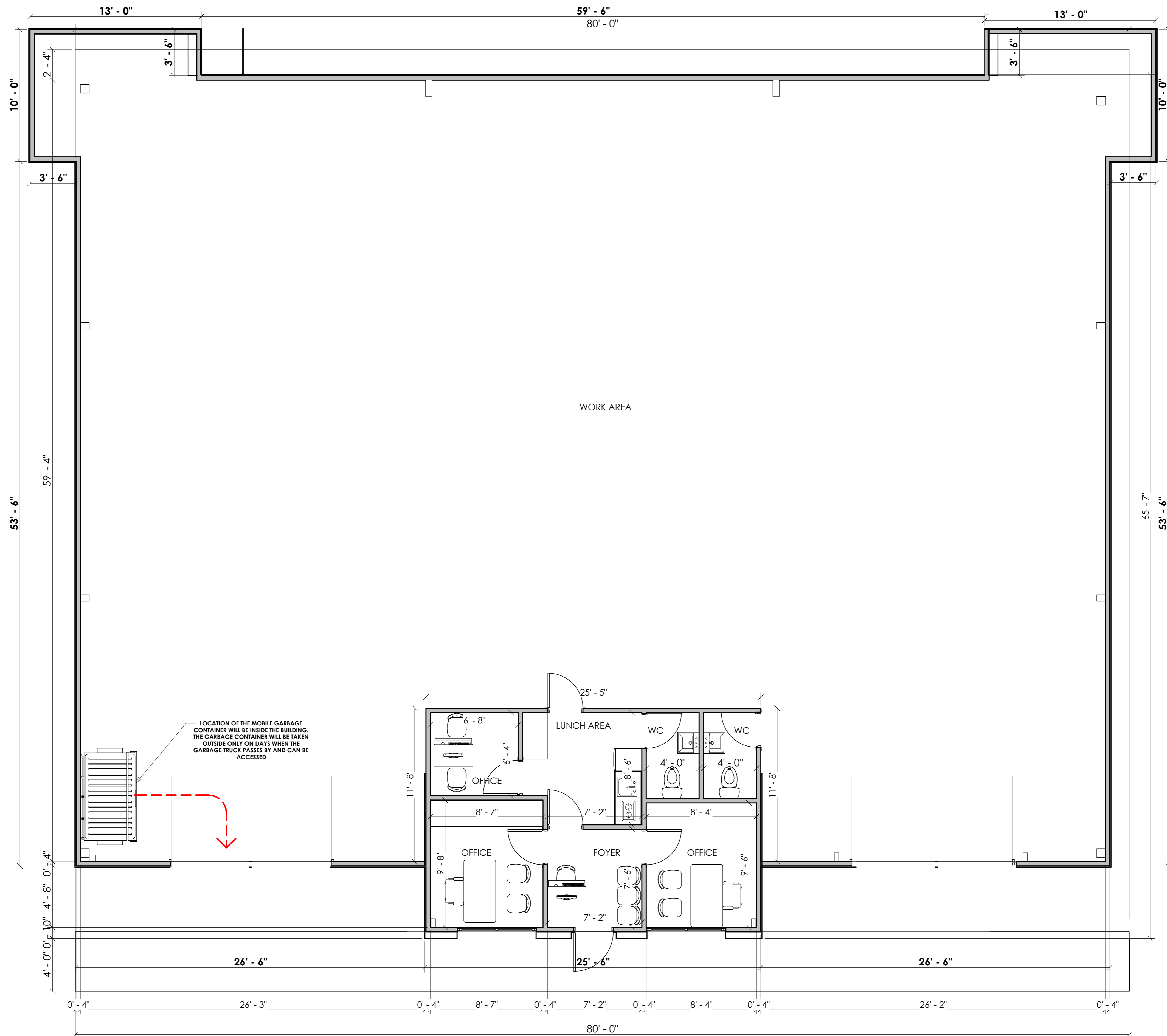
3/16" = 1' 0"



**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman  
 Director of Planning and Zoning



## FLOOR PLAN

1/4" = 1' 0"

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.


WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

\_\_\_\_\_  
Planning & Zoning Commission, chairman      Director of Planning and Zoning

**PROJECT:** NEW COMERCIAL

**OWNER:** SALVADOR SALCEDO

**LOCATION:** 855 WHITMORE DRIVE, ROCKWALL, TX



**Gamma Group, Design & Construction LLC**  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**NOTE:**  
GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

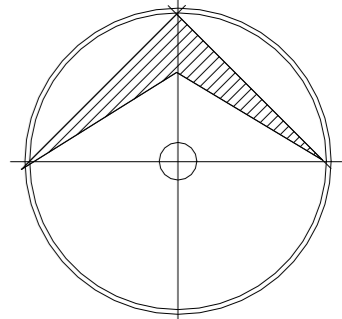
- 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

TABULATION AREA	
<b>WORK AREA</b>	4,656 SQ.FT.
<b>OFFICE</b>	432 SQ.FT.
<b>TOTAL</b>	4,960 SQ.FT.

**DIRECTION:**



REV. NO.	DATE	COMMENTS
1	21/06/2024	e)- Location of the Mobile Garbage Container will be inside the building. The garbage container will be taken outside only on days when the garbage truck passes by and can be accessed.

**EXPIRATION DATE:**  
PAPER SIZE 36X24

**PLAN:**  
**FLOOR PLAN**

**DATE:** 04/11/2022

**DRAW BY:** F.G.M

**A1**  
SHEET 07 OF 10



**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- " FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T-SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND, THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERRECTED OUTSIDE THE CRITICAL ROOT ZONE (OR EQUAL TO FROM THE TRUNK FOR EVERY 1" OF DEH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERRECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 5 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ.

- DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
- DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
- DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, FAINTING OR LUMBER CUTTING).
- DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
- DO NOT PERTURB RUNOFF FROM WASTE MATERIALS INCLUDING, SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.

**TREE PROTECTION GENERAL NOTES**

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

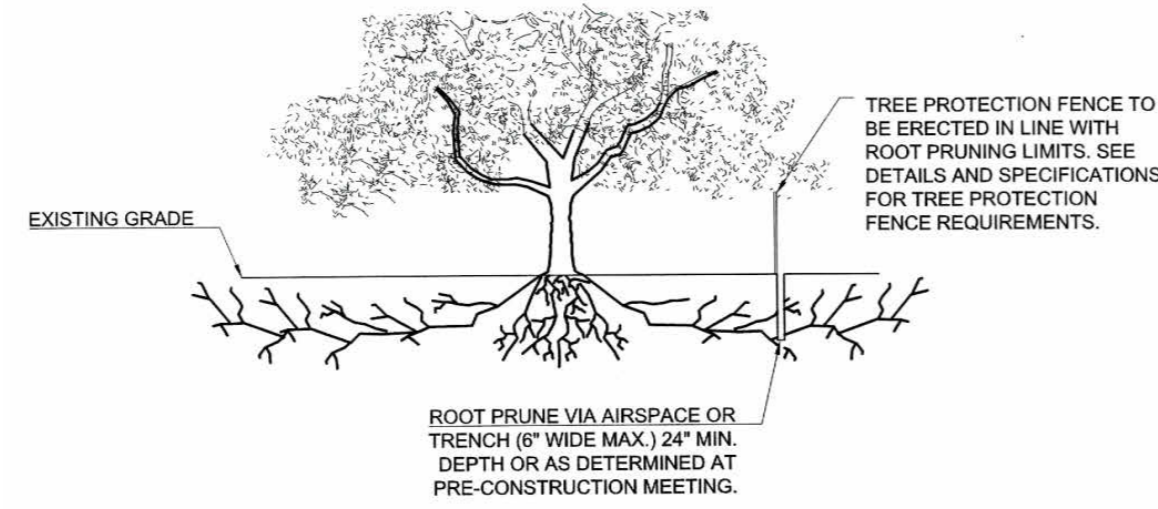
**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

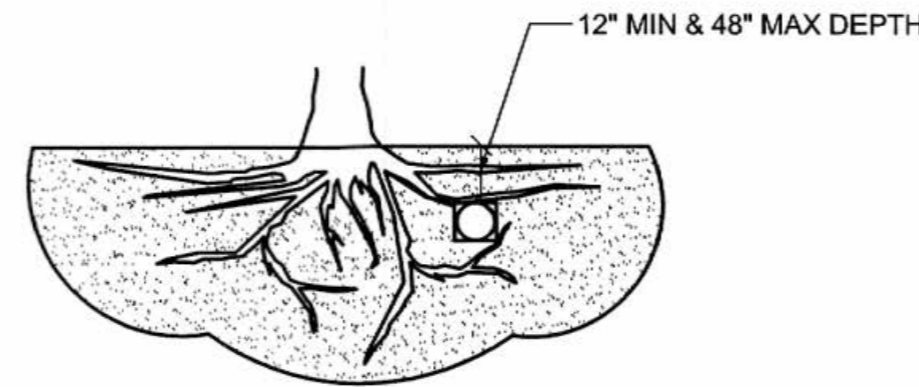
Director of Planning and Zoning



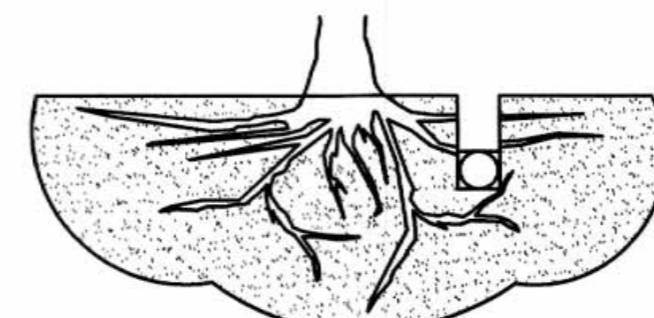
**ROOT PRUNING DETAIL**

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

**BORING THROUGH ROOT PROTECTION ZONE**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

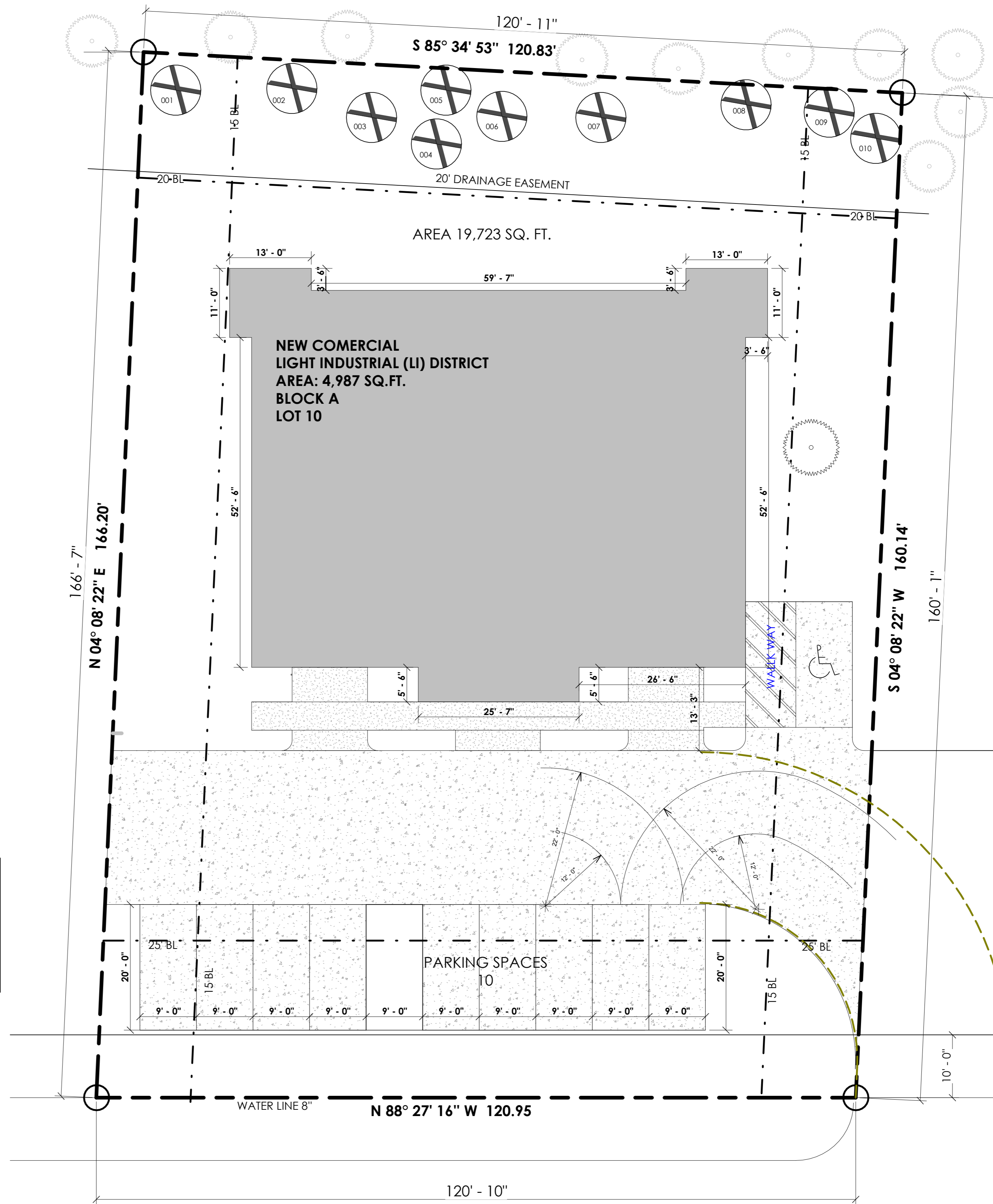
**EXISTING TREE LEGEND**

- EXISTING TREE OFF SITE** 10
- EXISTING TREE TO BE REMOVED** 10

**TREE MIGRATION SUMMARY**

TOTAL MIGRATION REQUIRED:	40"
PROPOSED CODE REQUIRED TREES:	19"
BALANCE OF MITIGATION:	14"
4" CAL. MITIGATION TREES (5) ON SITE	21"

TREESCAPE PLAN SPRADSHEET								
#	SPECIES	CALIPER	PROTECT OR REMOVE	TREE HEALTH (1-5)	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
10	RED OAK	4"	REMOVE	1	N	N	N	40"
<b>TOTAL:</b>								40"



**LANDSCAPE PLAN**

WHITMORE DRIVE

3/32" = 1' 0"

SITE PLANE DATE	
SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (38%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

**Gamma Group, Design & Construction LLC**  
33 09 ELM ST # 250 Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAW IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM, WE DO NOT QUALIFY TO BE ONE, NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION, LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSIBILITY OF PURCHASER, OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**EXISTING TREE LEGEND**

- EXISTING TREE OFF SITE
- EXISTING TREE TO BE REMOVED

DIRECTION:

REV. NO.	DATE	COMMENTS

EXPIRATION DATE: \_\_\_\_\_

PAPER SIZE 36X24

PLAN: **TRESCAPE PLAN DETAILS & SPECIFICATIONS**

DATE: 05/01/2023

DRAW BY: F.G.M

**TD1**  
SHEET 04 OF 10

**Performance Data**

Electrical Load	Input Power (W)	100'	200'	300'	400'	500'
AB24	118	0.11	0.08	0.05	0.03	0.02
AB31	92	0.08	0.06	0.04	0.03	0.02
AB32	78	0.07	0.05	0.03	0.02	0.01
AB37	64	0.06	0.04	0.03	0.02	0.01

Lumen Output	Color Temperature	Lumen Output
AB24	4000K	1,581
AB31	4000K	1,244
AB32	4000K	1,067
AB37	4000K	854

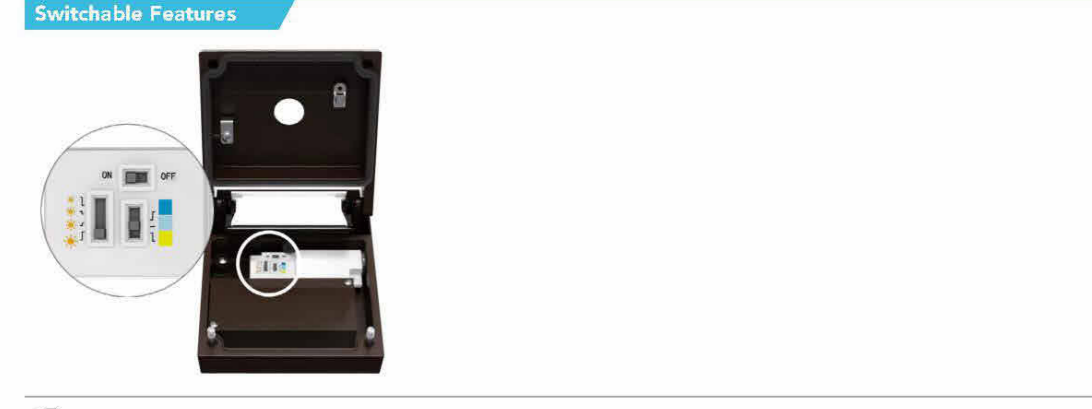
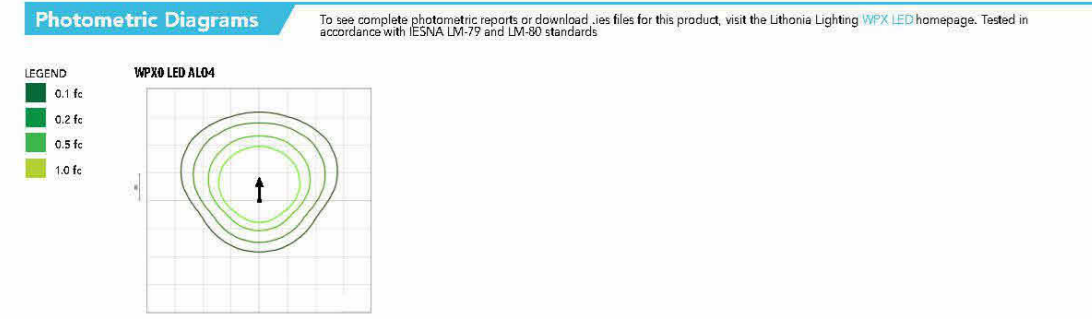
  

**Projected LED Lumen Maintenance**

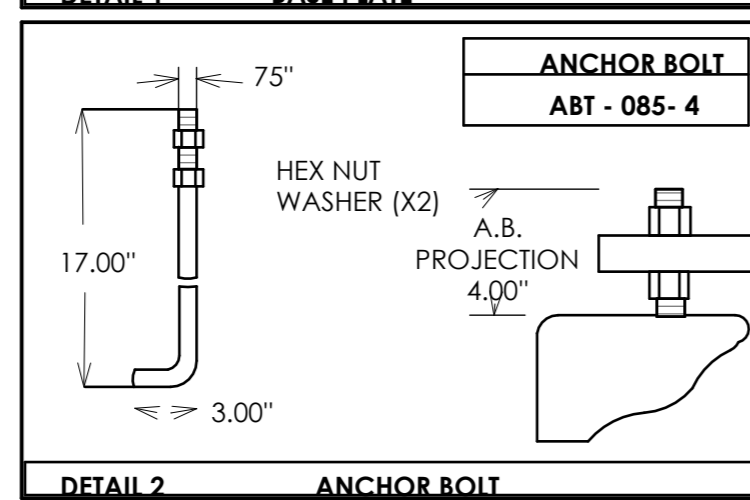
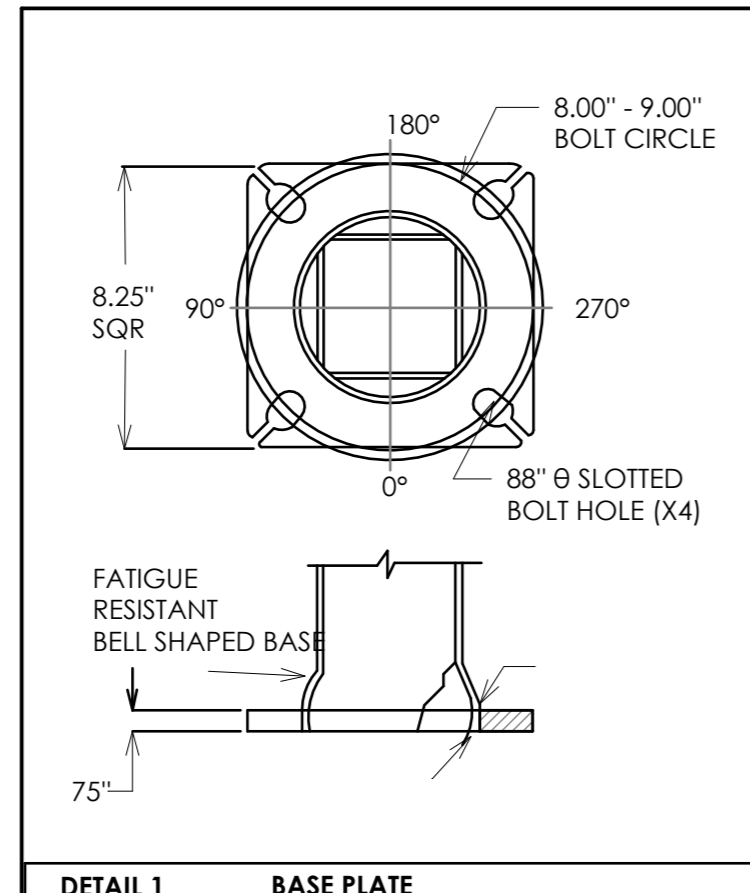
Table reference for selected performance properties is 20°C ambient, based on 1,000 hours of LED testing based per IESNA LM-80-06 and projected per IESNA TM-21-15.

To calculate L70, use the lumen maintenance factor that corresponds to the desired number of operating hours for the LED lumen maintenance value, contact factory.

Operating Hours	L70	20,000	50,000
10,000 <td>0.95</td> <td>0.92</td> <td>0.88</td>	0.95	0.92	0.88



LITHONIA LIGHTING  
One Lithonia Way • Gwynn, Georgia 30037 • Phone 1-800-365-5200 (5276) • www.lithonia.com  
© 2024 Lithonia Lighting, Inc. All rights reserved.



- 1) HARDWARE TO BE GALVANIZED TO ASTM A153
- 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER A153
- 3) ALL WELDING TO CONFORM TO: AWS D1.1 MOST RECENT EDITION
- 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION
- 5) PROVISIONS FOR CROWDING LOCATED AT BASE HAND HOLE.

LOADING DATA		MATERIAL DATA				
DESIGN CRITERIA:	COMMERCIAL STANDARD	COMPONENT	ASTM			
SPEED (mph)	80 90 100 120 130 140 150	POLE SHAFT	A500 GR. B			
EPA FT.	9.6 6.7 4.5 3.5 2.0 0.8 --- ---	BASE PLATE	A36			
WEIGHT (lbs)	240 167 150 88 50 20 --- ---	ANCHOR BOLTS	F1554 GR.55 A38			
FINISH		MISC. STEEL				
TRD						
POLE DIMENSION DATA						
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA (IN)	TOP DIA (IN)	GAUGE OR THK (IN)	WEIGHT (LBS)
	SNS-20-40-11-AB	20	4.00	4.00	11-GA (1192)	140

**GENERAL NOTES**



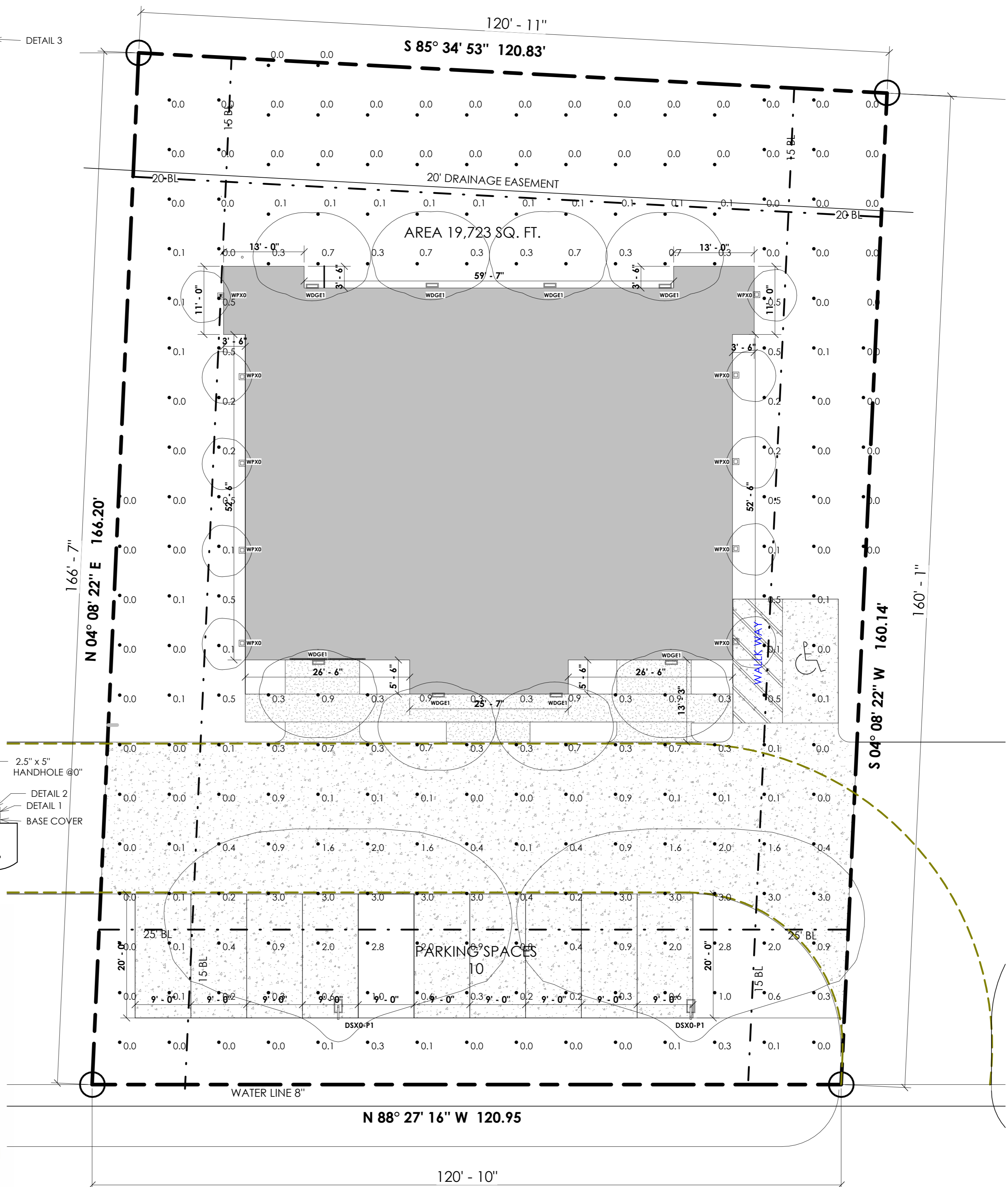
**Ordering Information**

Series	Lumen Output	Temp	Mount	Finish
WPXO-400	4000	4000K	4000	4000

**INTRODUCTION**  
The WPXO LED wall packs are designed to provide a cost-effective, energy-efficient solution for both HID wall pack replacement and new construction opportunities. Available in four sizes, the WPXO family delivers 850 to 9,200 lumens with a wide, uniform distribution.

**CONSTRUCTION**  
The WPXO LED cut-off wall pack is an excellent choice for new construction. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Standard features such as adjustable Lumen Output (ALCO), color switching and switchable photocell make WPXO ideal for any application.

**INSTALLATION**  
The WPXO LED wall packs are designed to be installed on a standard electrical junction box. A part on the back surface of the WPXO LED wall pack is designed to be attached to the junction box. The WPXO LED wall pack is designed to be installed on a standard electrical junction box. A part on the back surface of the WPXO LED wall pack is designed to be attached to the junction box.



**SITE PHOTOMETRICS PLAN**

3/32" = 1' WHITMORE DRIVE

**LUMINAIRE SCHEDULE**

SYMBOL	TYPE	QTY	MANUFACTURER / CATALOG NUMBER	TOTAL LUMEN OUTPUT	TOTAL INPUT WATTS	BALLAST FACTOR	LIGHT LOST FACTOR	USER DEFINED FACTOR
DSXO-P1	P	2	2 DSXO LED P6 40K 70CRI T3M MVOLT SPA NLT AIR2 PIRHN DDBXD / D-SERIES SIZE 0 LED AREA LUMINAIRE (LITHONIALIGHTING)	8,800	68.11	1.000	0.850	1.000
WDGE1	W	8	WDGE1 LED P2 40K 80CRI V6 MVOLT SRM PE DDBXD / WDGE1 LED ARCHITECTURAL WALL SCONCE (LITHONIALIGHTING)	7,200	24	1.000	0.800	1.000
WPXO	W	10	WPXO LED ALO SSW2 MVOLT PE DDBXD / WPXO LED WALL PACK (LITHONIALIGHTING)	6,940	20	1.000	0.850	1.000

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman  
Director of Planning and Zoning

**PROJECT:** NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

**OWNER:** SALVADOR SALCEDO

**LOCATION:** 855 WHITMORE DRIVE, ROCKWALL, TX

**Gamma Group, Design & Construction LLC**  
33 09 ELM ST # 250, Dallas, Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULT IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK. ORDERING OF MATERIALS THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**NOTES:**

1. SURFACE REFLECTANCES: VERTICAL/HORIZONTAL - 50/20
2. MOUNTING HEIGHTS ARE DESIGNATED ON DRAWING WITH E2
3. LUMINAIRE DESCRIPTION DOES NOT NECESSARILY REFLECTS SPECIFICATION MODEL NUMBER. CONTACT SALES/PERSON FOR VERIFICATION.
4. LIGHTING POWER DENSITY IS CALCULATED BASED ON ESTIMATED BALLAST/DRIVER ENERGY CONSUMPTION. ENGINEER TO VERIFY
5. FOR LUMEN OUTPUT OF SCALE LUMINAIRES, MULTIPLY TOTAL LUMEN OUTPUT BY USER DEFINED FACTOR.
6. CALCULATION VALUES ARE AT HEIGHT INDICATED IN SUMMARY TABLE

**DIRECTION:**

REV. NO.	DATE	COMMENTS
----------	------	----------

**EXPIRATION DATE:** PAPER SIZE 36X24

**PLAN:** SITE PHOTOMETRICS & DETAILS

**DATE:** 05/01/2023

**DRAW BY:** F.G.M

**SHEET 05 OF 10**

**E1**







July 02, 2024,

Henry Lee, AICP  
Senior Planner  
Planning and Zoning Department  
385 S Goliad Street  
Rockwall, TX 75087  
HLee@rockwall.com  
972.7726434

RE: Gamma Group, Design and Construction | Site plan presentation | Site Plan Variations

Henry,

As stated in the comment letter on Nova air (Project SP2024-032),  
We are looking for variations of the following:

Variation request for unprotected loading docks.

An off-street loading dock is not proposed as the building is designed for trucks to load inside.

Regarding compensatory measures, we consider that we have met the objective of the following measures:

Greater landscaping:

All decorative trees are proposed at a height of 10 feet (6 feet higher than required)

All bushes are proposed in 5 gallons (more than the 3 gallons where allowed).

Landscaping percentage: 15% is required and we are calculating 45% landscaping.

We have improved the landscaping around the front of the building by more than requirements to add a natural element to the site/building connection.

Site Design: Although not a written compensatory measure, to create a visually attractive project, the Civil Engineer, Landscape Architect and Architect.

Together they created a more attractive approach from Whitmore drive (the dominant "vision" of the This design intention linked to the compensatory measure of the previous landscape design creates a more cohesive and aesthetic environment.

nice project.

Our sincere hope is that with all the above and attention to the aesthetics of the site design,

The landscape design and building design culminate with the approval of the requested variances and the exception for the tilting panel, and that this will create another great building for the city of Rockwall and for use of our client.

Sincerely,

---



July 10, 2024

TO: Salvador Salcedo  
210 Cedar Tree Lane  
Heath, TX 75032

FROM: Henry Lee, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2024-032; *Site Plan for 855 Whitmore Drive*

Salvador Salcedo:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was denied by the Planning and Zoning Commission on July 9, 2024. The following is a record of all recommendations and voting records:

Planning and Zoning Commission

On July 9, 2024, the Planning and Zoning Commission approved a motion to deny the site plan by a vote of 4-0, with Commissioners Deckard and Womble absent, and one (1) vacancy. The Planning and Zoning Commission denied the request due to the (1) applicants' absence from the meeting, and (2) the exception requested.

Please note that the reason this site plan case was denied is due to the following exceptions not being approved:

- (1) Off-Street Loading Docks. According to Subsection 1.05, Screening Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(o)ff-street loading docks must be screened from all public streets, any residential zoning district or residentially used property, and any parks and open space that abuts or is directly across a public street or alley from the subject property. The screening must be at least six (6) feet in height and shall be provided by using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless integral to the buildings design and otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers." In this case, the proposed building elevations indicate two (2) loading docks will face directly onto Whitmore Drive. In addition, the applicant has not proposed any screening methods.

Based on Section 212.0093 of the Texas Local Government Code (TLGC), you have the ability to provide a written response and corrected site plan package (*i.e. site plan*) that remedies each reason for the disapproval provided. While no timeline may be established for the applicant to submit the response, please note that since the case was denied a new development application and application fee will be required to be submitted along with the written response and corrected site plan package. Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 772-6434.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me a (972) 772-6434.

Sincerely,

  
Henry Lee, AICP, Senior Planner  
City of Rockwall Planning and Zoning Department