



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2024-024

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1201 T L Townsend Dr, Rockwall, TX 75087

SUBDIVISION Herman Utley Middle School

LOT 1

BLOCK 1

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE Public school

PROPOSED ZONING AG

PROPOSED USE Public school

ACREAGE 41.649

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Independent School District

APPLICANT Glenn Engineering

CONTACT PERSON Tim Lyssy - Director of Project Planning and Constructio

CONTACT PERSON Robert Howman

ADDRESS 1191 T.L. Townsend Drive

ADDRESS 4500 Fuller Dr. #220

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Irving, Tx 75038

PHONE 469-698-7031

PHONE 972.989.2174

E-MAIL tim.lyssy@rockwallisd.org

E-MAIL rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

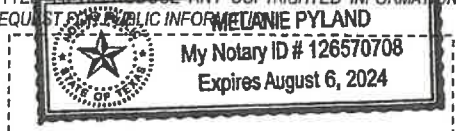
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TIM LYSSY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1500 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF MAY, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

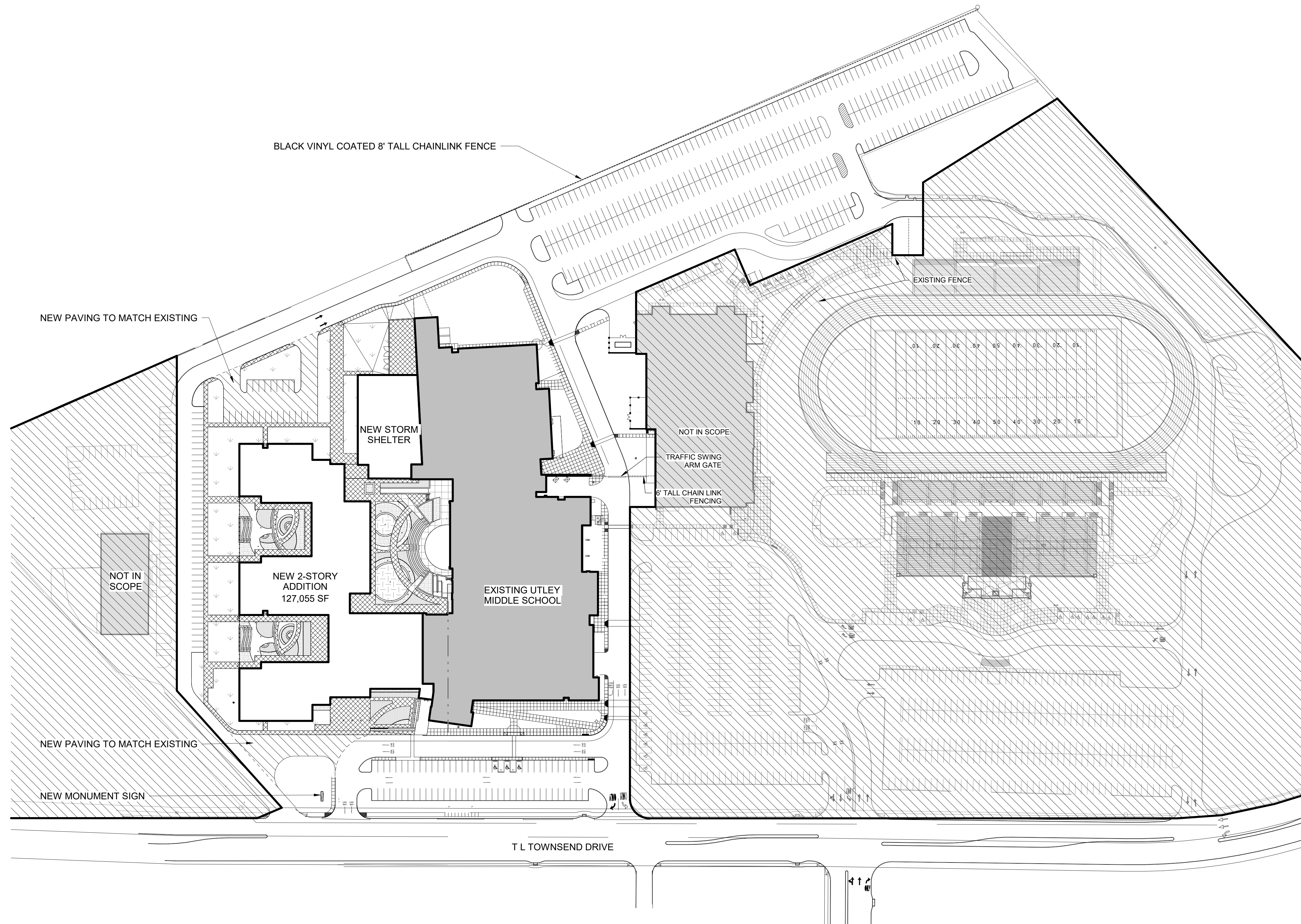
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF MAY, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES August 6, 2024



01 SITE PLAN - PHASE 2
1" = 80'-0"

OVERALL SITE PLAN

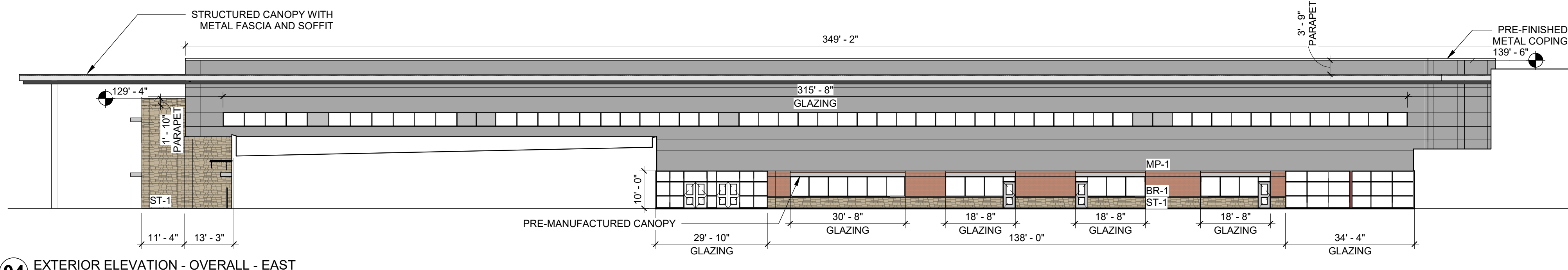


APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.



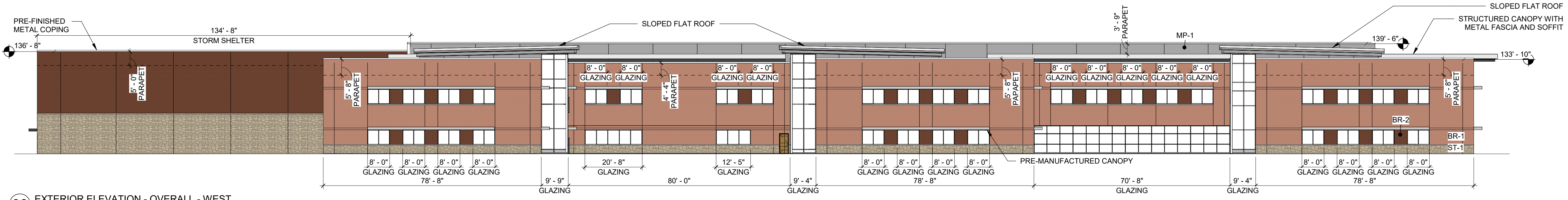
Planning & Zoning Commission, Chairman

Director of Planning and Zoning



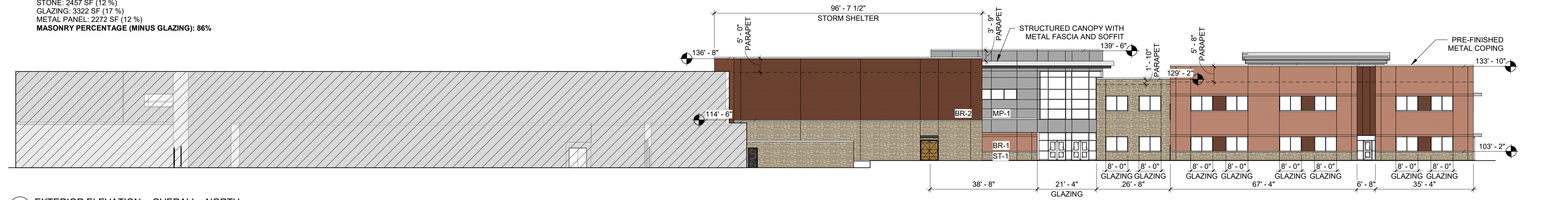
04 EXTERIOR ELEVATION - OVERALL - EAST
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 12,136 SF
 TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 9795 SF
 BRICK: 934 SF (8%)
 STONE: 969 SF (8%)
 GLAZING: 2341 SF (19%)
 METAL PANEL: 7892 SF (65%)
MASONRY PERCENTAGE (MINUS GLAZING): 20%



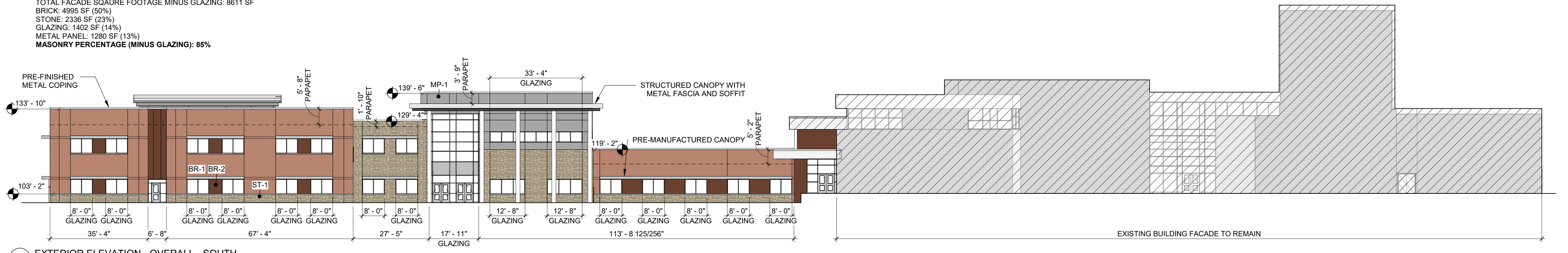
03 EXTERIOR ELEVATION - OVERALL - WEST
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 19,737 SF
 TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 16,415 SF
 BRICK: 11,686 SF (59%)
 STONE: 2457 SF (12%)
 GLAZING: 3322 SF (17%)
 METAL PANEL: 2272 SF (12%)
MASONRY PERCENTAGE (MINUS GLAZING): 86%



02 EXTERIOR ELEVATION - OVERALL - NORTH
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 10,013 SF
 TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 8611 SF
 BRICK: 4995 SF (50%)
 STONE: 2336 SF (23%)
 GLAZING: 1402 SF (14%)
 METAL PANEL: 1280 SF (13%)
MASONRY PERCENTAGE (MINUS GLAZING): 85%



01 EXTERIOR ELEVATION - OVERALL - SOUTH
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 8541 SF
 TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 6495 SF
 BRICK: 3759 SF (45%)
 STONE: 1850 SF (22%)
 GLAZING: 2045 SF (23%)
 METAL PANEL: 887 SF (10%)
MASONRY PERCENTAGE (MINUS GLAZING): 86%

EXT. MATERIALS LEGEND		
	ST-1	
	BR-1	
	BR-2	
	MP-1	
	MP-2	
	GL-1	



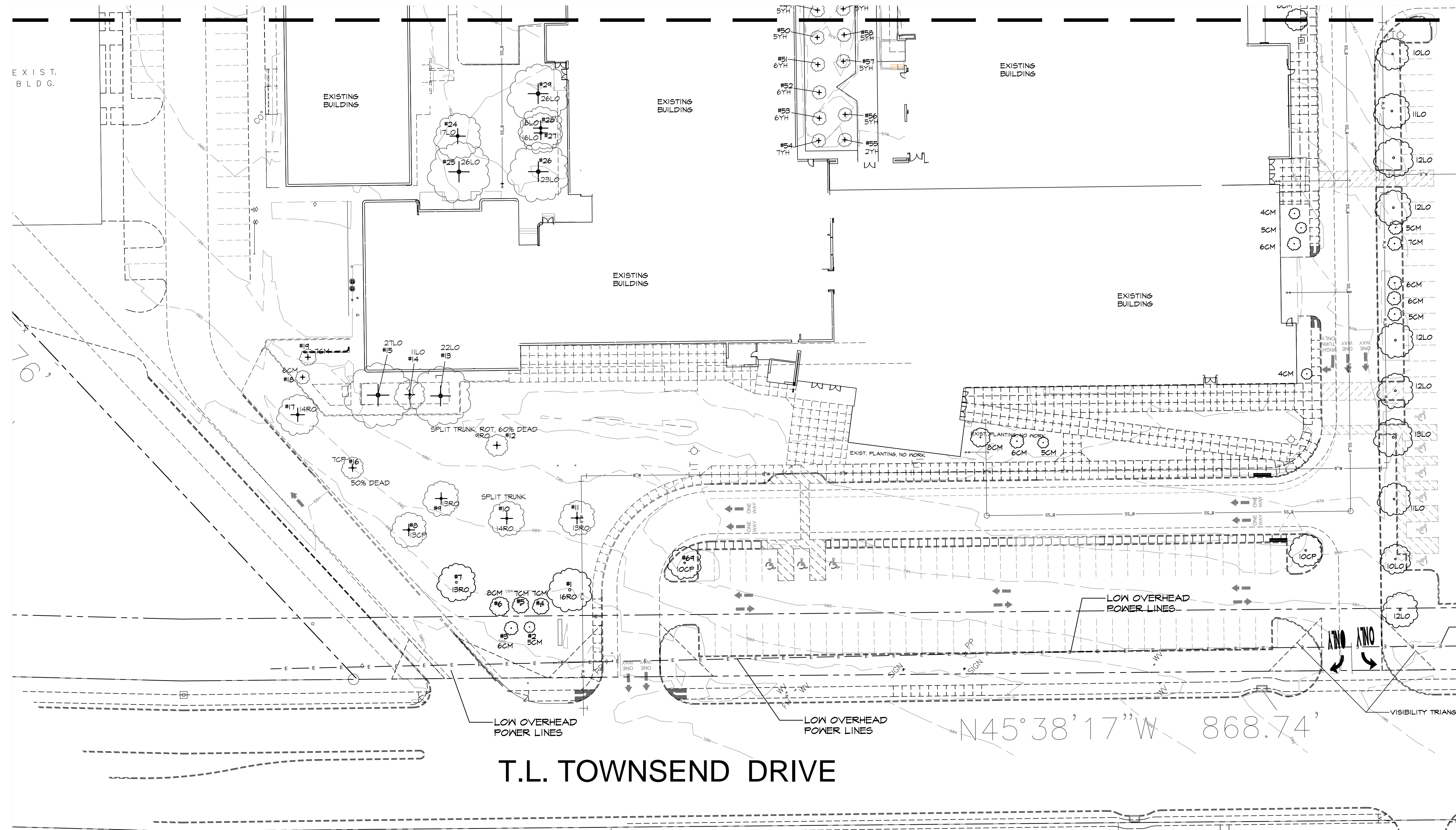
EXTERIOR ELEVATIONS UTLEY MIDDLE SCHOOL

APPROVED:
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 WITNESS OUR HANDS, this _____ day of _____, 2022.



Planning & Zoning Commission, Chairman
 Director of Planning and Zoning

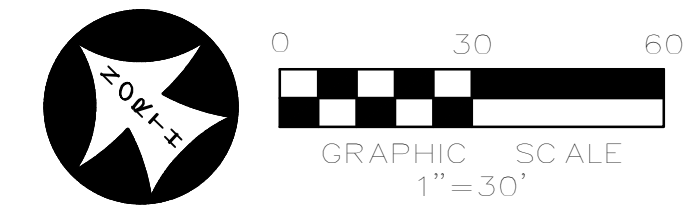
MATCHLINE SEE SHEET L3



T.L. TOWNSEND DRIVE

N45°38'17"W 868.74'

EXISTING TREE NOTE:
EXISTING TREES WITHIN 50'
OF CONSTRUCTION ARE
NUMBERED AND CHARTED.
TREES OUTSIDE THIS AREA
ARE SHOWN FOR GENERAL
INFORMATION.



HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: WILLIAM SALEE

SURVEYOR: KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(817) 889-6500
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUO

APPROVED:
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City of Rockwall, Texas, was approved by the Planning & Zoning
Commission of the City of Rockwall on the ___ day of ___, 2024.
WITNESS OUR HANDS, this ___ day of ___, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

CITY OF ROCKWALL CASE NO. SP2024-___

CORGAN
CORGAN
www.corgan.com
T: 214.748.2000

ISSUES	
1	05/13/2023 PERMIT SET
2	
3	
4	
5	
6	

REVISIONS	

THIS DOCUMENT IS
RELEASED FOR INTERIM
REVIEW UNDER THE
AUTHORITY OF:
MICHAEL RAMSEY
REGISTERED LANDSCAPE
ARCHITECT #1901.
IT IS NOT TO BE USED
FOR CONSTRUCTION OR
BIDDING PURPOSES.

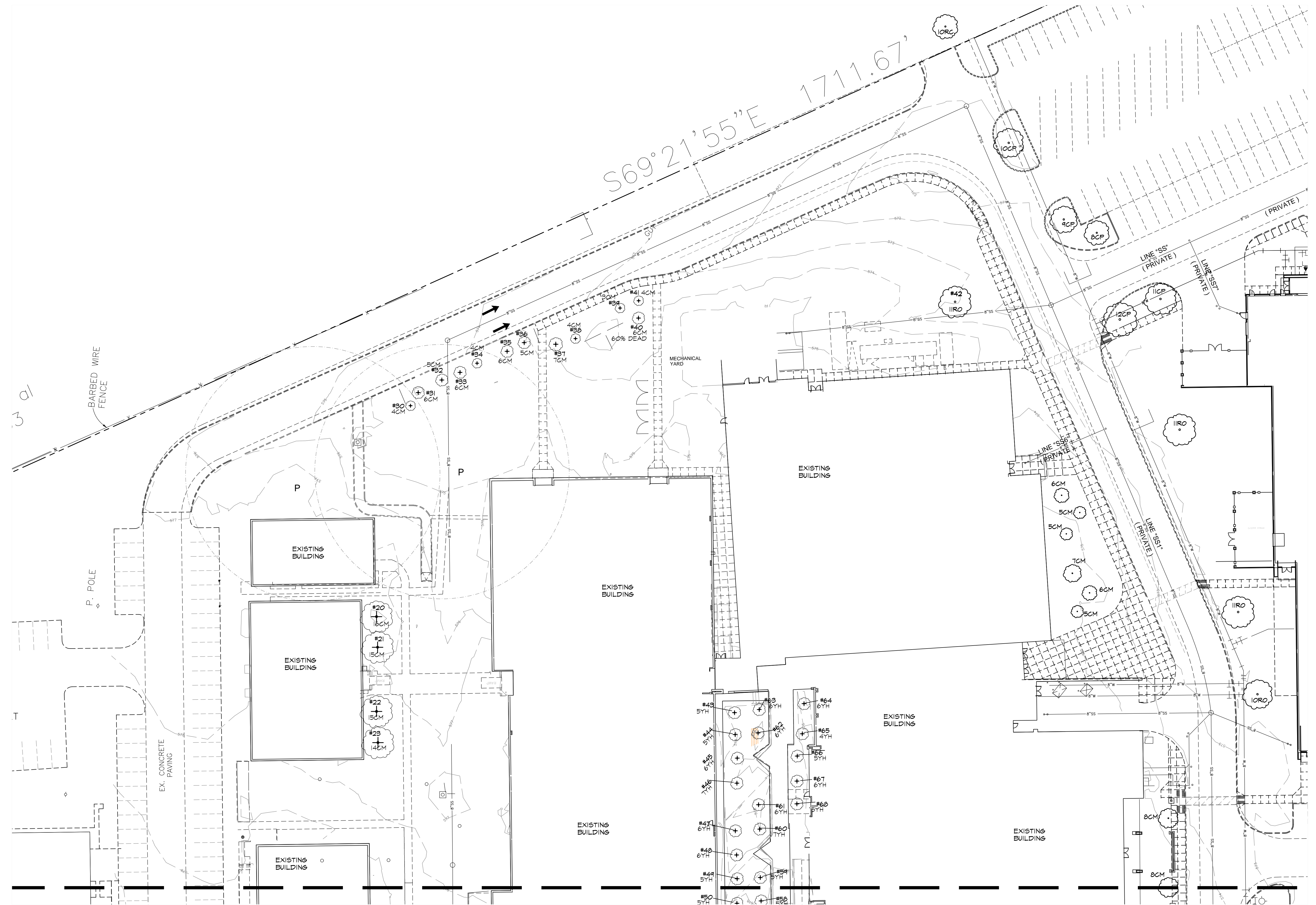
RAMSEY LANDSCAPE ARCHITECTS, L.L.C.
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
PHASE 2**

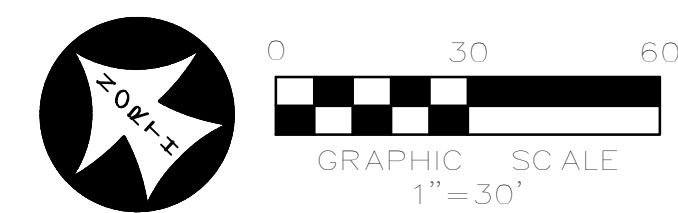
1201 T L Townsend Dr., Rockwall, TX 75087

**TREESCAPE
PLAN AREA A**

**JOB 23035
DATE 05.13.2024
SHEET TS 1**



MATCHLINE SEE SHEET L2



HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
 M.N. BALLARD SURVEY, ABSTRACT NO. 48
 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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 Planning & Zoning Commission, Chairman Director of Planning and Zoning

OWNER/DEVELOPER: ROCKWALL ISD
 801 E. WASHINGTON ST.
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 CONTACT: ROBERT HANSEN

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 4500 FULLER DR.
 IRVING, TEXAS 75038
 (872) 717-5151
 CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2024-__

ISSUES	
1	05/13/2023 PERMIT SET
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REVISIONS	

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RAMSEY LANDSCAPE ARCHITECTS, LLC
 11914 WISHING WELL CT.
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 382-5433
 EMAIL: MIKE.RLA@ATT.NET

UTLEY MIDDLE SCHOOL PHASE 2

1201 T L Townsend Dr., Rockwall, TX 75087

TREESCAPE
 PLAN AREA B

JOB 23035
DATE 05.13.2024
SHEET

TS 2

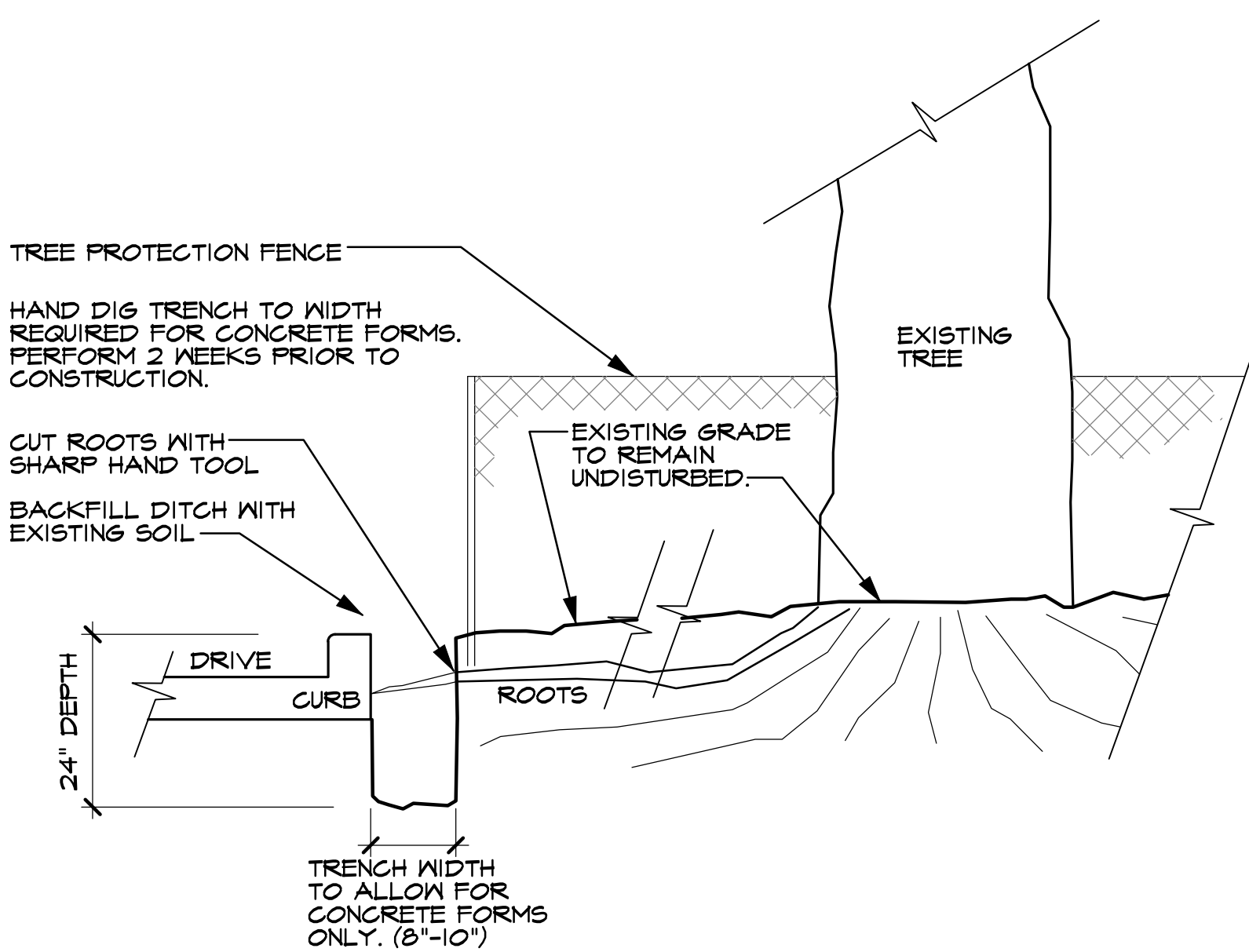
TREE TABLE (TREES WITHIN 50' OF CONSTRUCTION)								
#	Size/Type	TREE HEALTH	DISEASE	INSECT	STRUCTURAL	SAVE/REM	MITIGATE	CREDIT
1	16" RED OAK	6	N	N	N	SAVE	0	0
2	5" CREPE MYRTLE	5	N	N	N	SAVE	0	0
3	6" CREPE MYRTLE	5	N	N	N	SAVE	0	0
4	7" CREPE MYRTLE	5	N	N	N	SAVE	0	0
5	7" CREPE MYRTLE	5	N	N	N	SAVE	0	0
6	8" CREPE MYRTLE	5	N	N	N	SAVE	0	0
7	13" RED OAK	5	N	N	N	SAVE	0	0
8	13" CHIN. PISTACHE	5	N	N	N	REMOVE	13	0
9	13" RED OAK	5	N	N	N	REMOVE	13	0
10	14" RED OAK	3 SPLIT TRUNK	N	N	Y	REMOVE	14	0
11	13" RED OAK	5	N	N	N	REMOVE	13	0
12	9" RED OAK	2 60% DEAD	N	N	Y	REMOVE	0 HEALTH	0
13	22" LIVE OAK	5	N	N	N	REMOVE	22	0
14	11" LIVE OAK	5	N	N	N	REMOVE	11	0
15	27" LIVE OAK	5	N	N	N	REMOVE	54	0
16	7" CHIN. PISTACHE	3 50% DEAD	N	N	Y	REMOVE	7	0
17	14" RED OAK	5	N	N	N	REMOVE	14	0
18	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
19	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
20	16" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
21	15" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
22	15" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
23	14" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
24	17" LIVE OAK	5	N	N	N	SAVE	17	0
25	26" LIVE OAK	5	N	N	N	SAVE	52	0
26	23" LIVE OAK	5	N	N	N	SAVE	23	0
27	16" LIVE OAK	5	N	N	N	REMOVE	16	0
28	18" LIVE OAK	5	N	N	N	REMOVE	8	0
29	26" LIVE OAK	5	N	N	N	SAVE	52	0
30	4" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
31	6" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
32	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
33	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
34	4" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
35	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
36	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
37	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
38	4" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
39	3" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
40	6" CREPE MYRTLE	2 60% DEAD	N	N	Y	SAVE	0 VARIANCE	0
41	4" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
42	11" RED OAK	5	N	N	N	SAVE	0	0
43	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
44	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
45	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
46	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0
47	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
48	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
49	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
50	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
51	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
52	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
53	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
54	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0
55	2" YAUPON HOLLY	4	N	N	N	REMOVE	EXEMPT	0
56	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
57	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
58	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
59	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
60	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0
61	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
62	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
63	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
64	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
65	4" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
66	5" YAUPON HOLLY	4	N	N	N	REMOVE	4	0
67	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
68	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
69	10" CHIN. PISTACHE	5	N	N	N	REMOVE	0 EXEMPT	0
TREE TABLE B SUBTOTAL							-471	+0
7 PROPOSED 4" TREES								+28
SUB-TOTAL							-443	
TREE MITIGATION TO TREE FUND (-443)								
443 INCHES X \$100.00 = \$44,300.00 PAYMENT								

CERTIFIED ARBORIST SITE INSPECTIONS:

GENERAL CONTRACTOR TO PROVIDE FOR CERTIFIED ARBORIST VISITS FOR ALL EXISTING TREES TO REMAIN ONCE PER MONTH DURING CONSTRUCTION. G.C. TO FOLLOW ARBORIST RECOMMENDATIONS FOR TRIMMING OR THINNING OF BRANCHES, HAND WATERING SCHEDULE, ROOT AERATION, AND GENERAL PROTECTION.

EXISTING TREE WATERING:

GENERAL CONTRACTOR TO PROVIDE HAND WATERING OF EXISTING TREES TO REMAIN. WATERING SHALL BE ON AN AS NEEDED BASIS TO MAINTAIN TREE HEALTH. FOLLOW CERTIFIED ARBORIST RECOMMENDATIONS.



ROOT PRUNING DETAIL

SCALE: N.T.S.

HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
 M.N. BALLARD SURVEY, ABSTRACT NO. 48
 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
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 ENGINEER: GLENN ENGINEERING CORP.
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 CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2024-___

CORGAN

CORGAN
 www.corgan.com
 T: 214.748.2000

ISSUES

1	05/13/2023	PERMIT SET
2		
3		
4		
5		
6		

REVISIONS

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, LLC

11914 WISHING WELL CT.
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 362-5433
 EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
 PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

TREESCAPE CHART

JOB 23035
DATE 05.13.2024
SHEET

TS 3

SITE DATA SUMMARY TABLE	
EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	1,814,233 S.F. OR 41.649 AC.
BUILDING AREA - UTLEY MIDDLE SCHOOL	
PROPOSED FIRST FLOOR	76,400 S.F.
PROPOSED SECOND FLOOR	50,674 S.F.
TOTAL BUILDING AREA	127,075 S.F.
AQUATICS CENTER	45,200 S.F.
STADIUM	
HOME	22,350 S.F.
VISITOR	1,530 S.F.
TENNIS BUILDING	1,500 S.F.
LOT COVERAGE (ALL BUILDINGS)	146,980 S.F./1,814,233 S.F. = 8.10%
FLOOR AREA RATIO	8.10:1
TOTAL IMPERVIOUS AREA (SITE)	1,025,823 S.F. OR 23.55 AC.
BUILDING HEIGHT STORM SHELTER	36'-10" (2 STORY)
BUILDING HEIGHT CLASSROOMS	34'-0" (2 STORY)
STUDENT CAPACITY (6TH-8TH GRADE) DESIGN	1,350 STUDENTS
STUDENT CAPACITY (7TH-8TH GRADE) EXISTING	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	1,350 STUDENT / 1 PER 25 STUDENTS = 54 SPACES REQUIRED
PARKING PROVIDED	
PARKING SURFACE (OVERALL SITE)	
EXISTING 9.0' x 18.0'	1,083 SPACES (Includes 31 HC Spaces)
NEW 10.0' x 20.0' PARALLEL	18 SPACES (Includes 1 HC Space)
TOTAL PARKING PROVIDED	1,101 SPACES

LANDSCAPE NOTES

LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD/HYDRO PER THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.

CORGAN

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ISSUES	
1	05/13/2023 PERMIT SET
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REVISIONS	

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, LLC

11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

OVERALL LANDSCAPE PLAN

**JOB 23035
DATE 05.13.2024
SHEET**

L 1

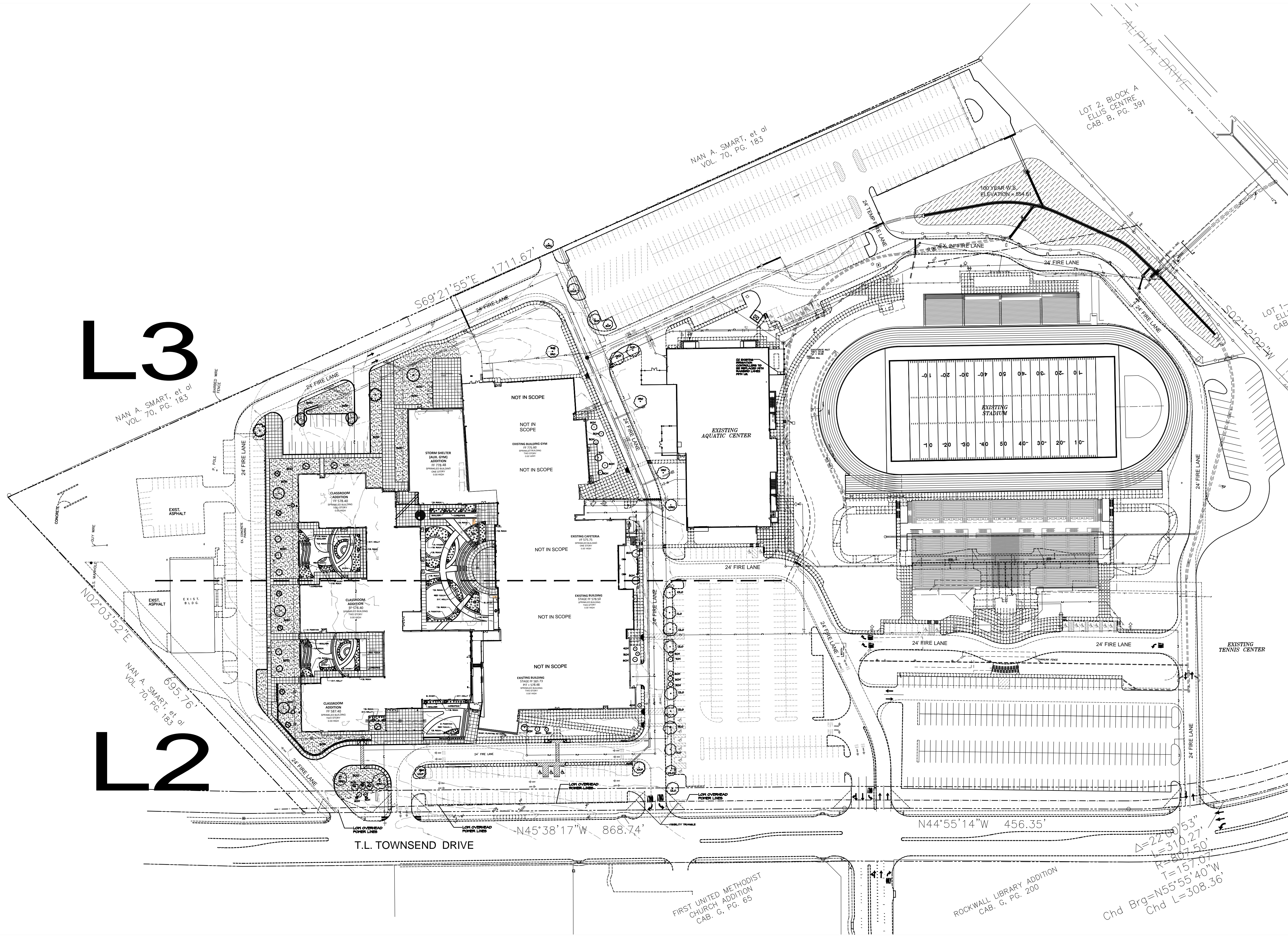
HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 (972) 771-0605 CONTACT: WILLIAM SALEE	SURVEYOR: KMCE, Inc. 17774 PRESTON ROAD DALLAS, TEXAS 75252 (817) 889-6500 CONTACT: ROBERT HANSEN	ENGINEER: GLENN ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUJO
---	---	--

APPROVED:
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WITNESS OUR HANDS, this ____ day of _____, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

CITY OF ROCKWALL CASE NO. SP2024-___

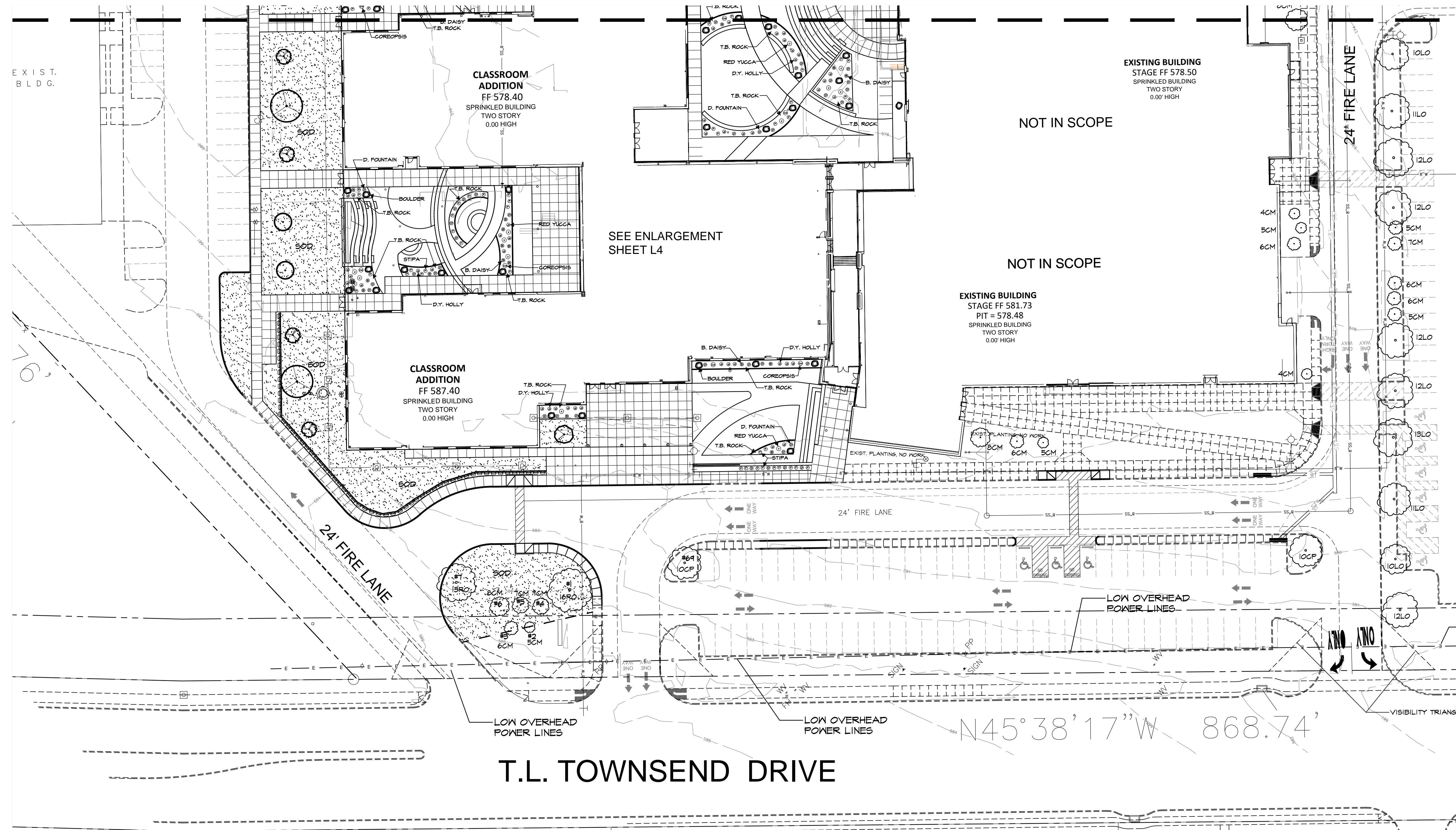


L3

L2

L1

MATCHLINE SEE SHEET L3



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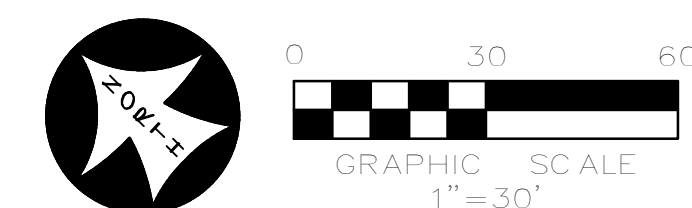
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**UTLEY MIDDLE SCHOOL
PHASE 2**
1201 T L Townsend Dr., Rockwall, TX 75087

T.L. TOWNSEND DRIVE

N45°38'17"W 868.74'

HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



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CONTACT: WILLIAM SALEE

SURVEYOR:
KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(817) 889-6500
CONTACT: ROBERT HANSEN

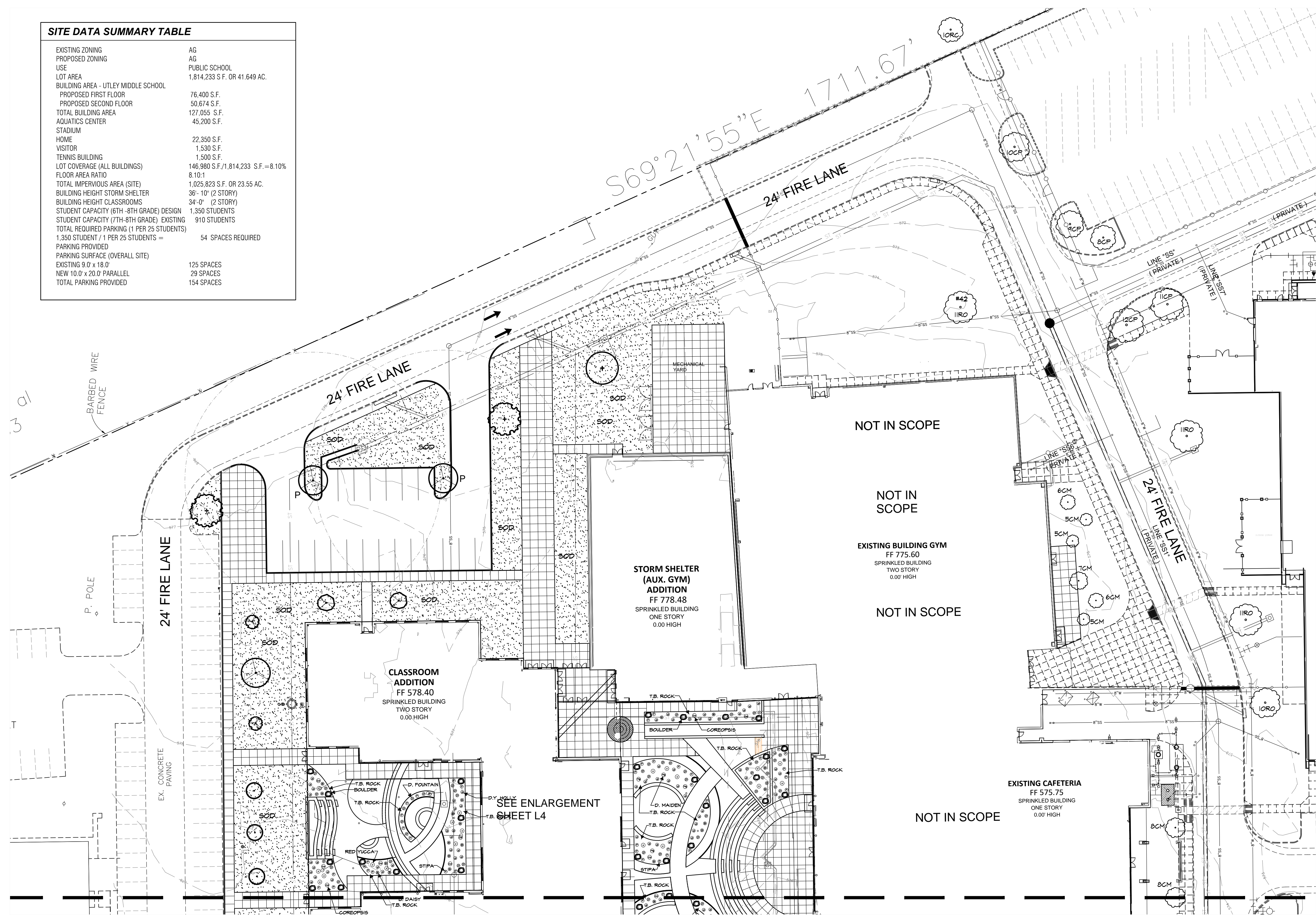
ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

JOB 23035
DATE 05.13.2024
SHEET

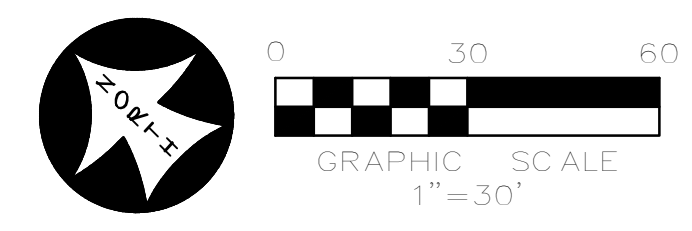
L 2

CITY OF ROCKWALL CASE NO. SP2024-___

SITE DATA SUMMARY TABLE	
EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	1,814,233 S.F. OR 41.649 AC.
BUILDING AREA - UTLEY MIDDLE SCHOOL	
PROPOSED FIRST FLOOR	76,400 S.F.
PROPOSED SECOND FLOOR	50,674 S.F.
TOTAL BUILDING AREA	127,055 S.F.
AQUATICS CENTER	45,200 S.F.
STADIUM	
HOME	22,350 S.F.
VISITOR	1,530 S.F.
TENNIS BUILDING	1,500 S.F.
LOT COVERAGE (ALL BUILDINGS)	146,980 S.F./1,814,233 S.F. = 8.10%
FLOOR AREA RATIO	8.10:1
TOTAL IMPERVIOUS AREA (SITE)	1,025,823 S.F. OR 23.55 AC.
BUILDING HEIGHT STORM SHELTER	36'-10" (2 STORY)
BUILDING HEIGHT CLASSROOMS	34'-0" (2 STORY)
STUDENT CAPACITY (6TH-8TH GRADE) DESIGN	1,350 STUDENTS
STUDENT CAPACITY (7TH-8TH GRADE) EXISTING	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	54 SPACES REQUIRED
1,350 STUDENT / 1 PER 25 STUDENTS =	
PARKING PROVIDED	
PARKING SURFACE (OVERALL SITE)	125 SPACES
EXISTING 9.0' x 18.0'	29 SPACES
NEW 10.0' x 20.0' PARALLEL	154 SPACES
TOTAL PARKING PROVIDED	



MATCHLINE SEE SHEET L2



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Planning & Zoning Commission, Chairman Director of Planning and Zoning

HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
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CITY OF ROCKWALL CASE NO. SP2024-___

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ISSUES	
1	05/13/2023 PERMIT SET
2	
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REVISIONS	

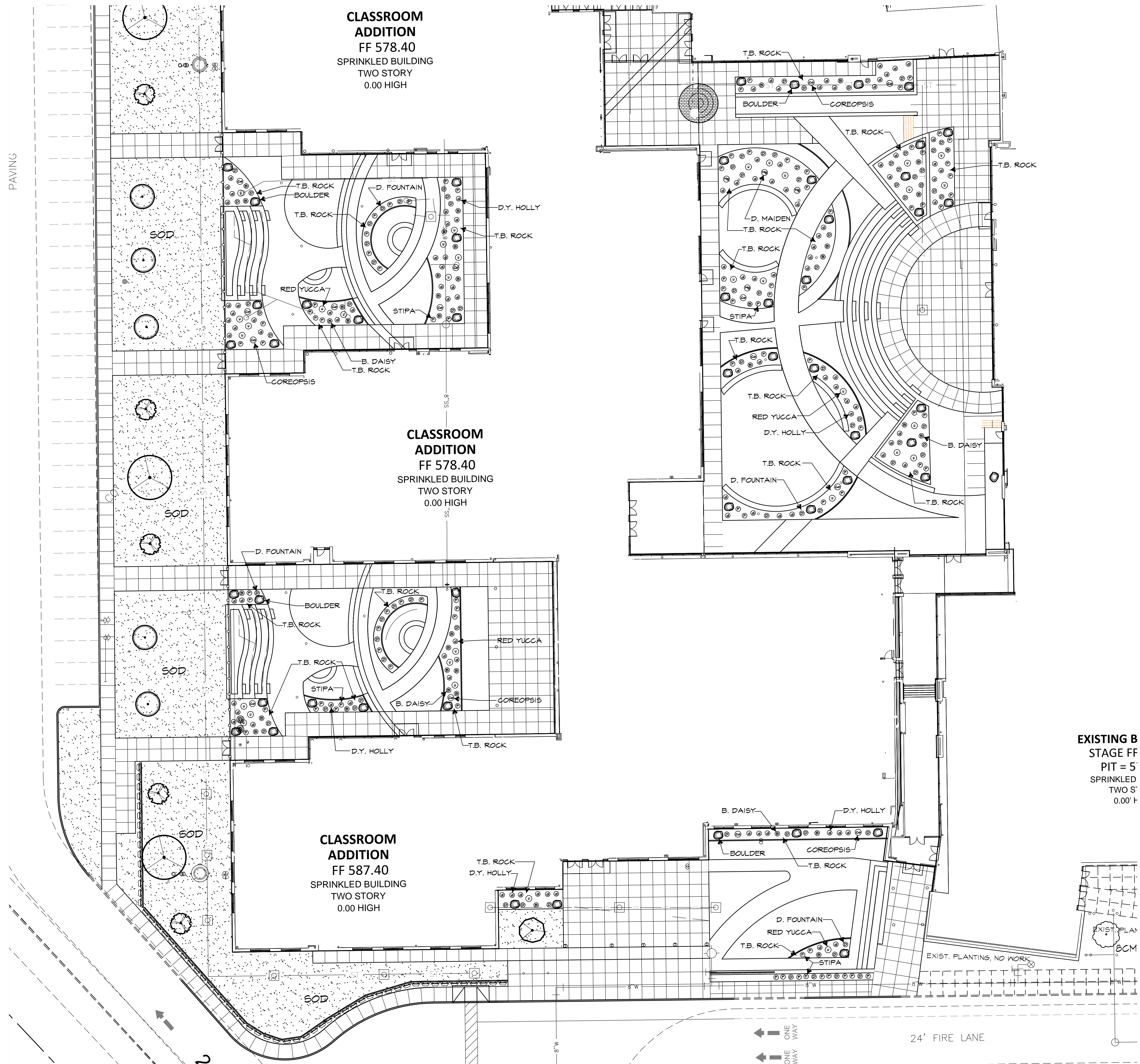
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EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
PHASE 2**
1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE PLAN
AREA B

JOB 23035
DATE 05.13.2024
SHEET



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ISSUES

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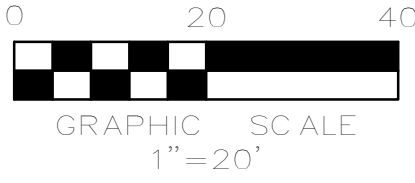
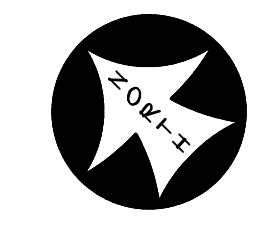
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**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

EXISTING B
STAGE FF
PIT = 5'
SPRINKLED
TWO S'
0.00' F



HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
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LANDSCAPE ENLARGEMENT

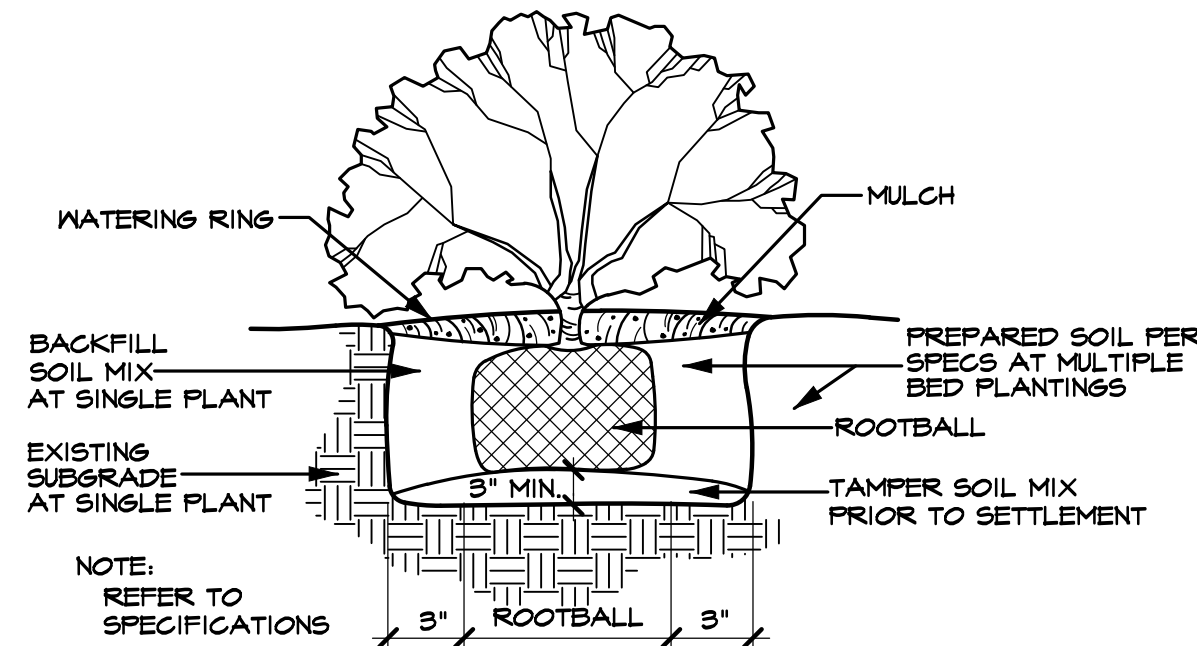
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SHEET

LANDSCAPE NOTES

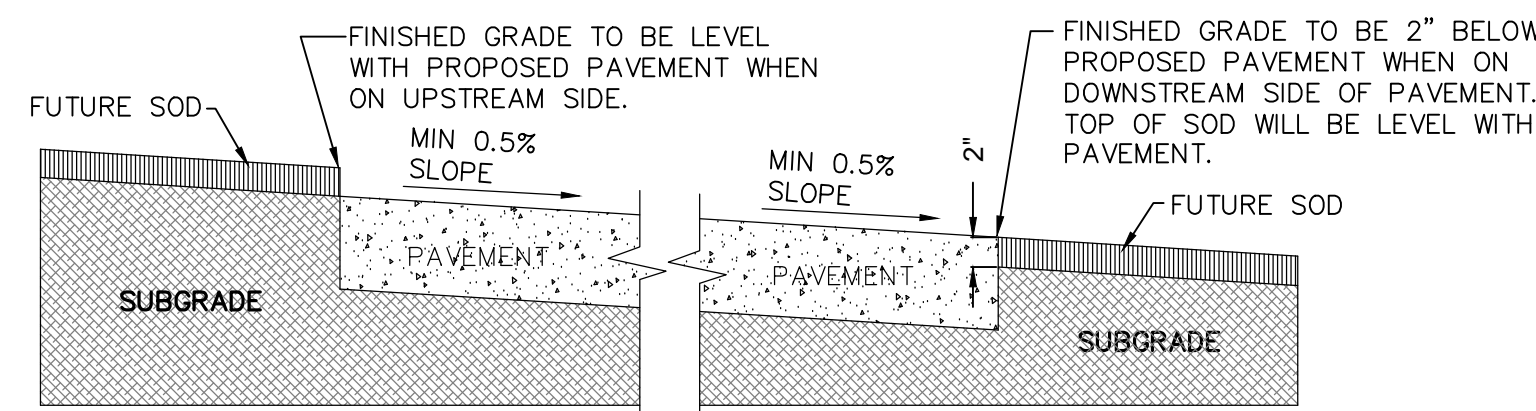
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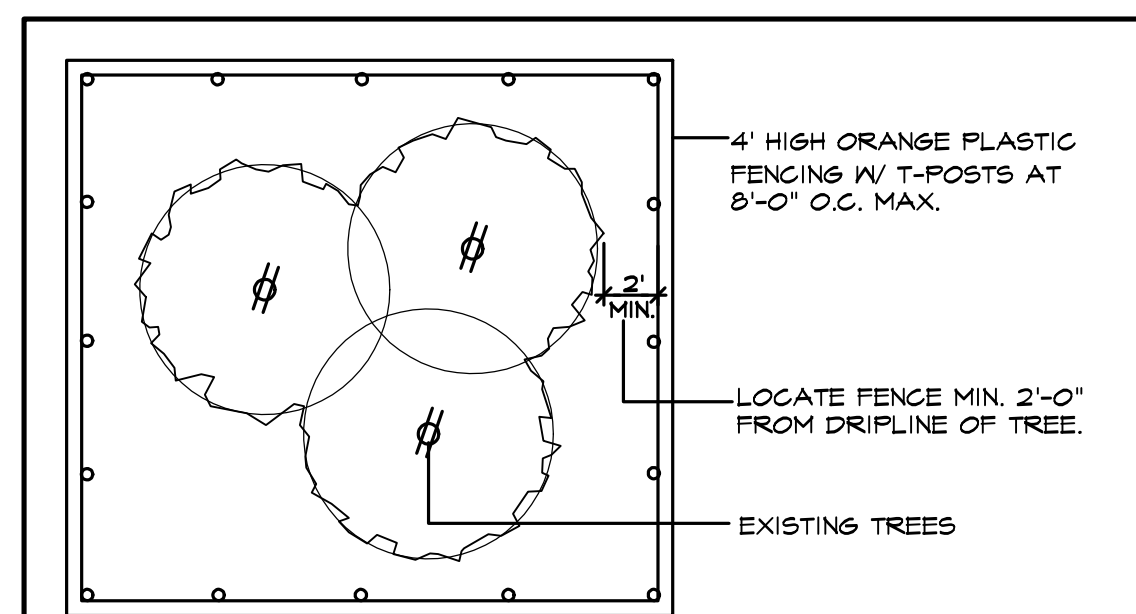
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SHRUB PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.



GRADING DETAIL FOR PAVEMENT WITHOUT CURB
SCALE: N.T.S.



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

TREE PROTECTION FENCE AND NOTES
SCALE: N.T.S.

LANDSCAPE TABULATIONS

LANDSCAPE REQUIRED
1 ROW OF SHADE TREES 50' O.C. AND SCREENING SHRUBS AT HEAD IN PARKING
NOT APPLICABLE - EXISTING CONDITIONS

STREET BUFFER
2 CANOPY AND 4 ACCENT TREES PER 100 LF
NOT APPLICABLE - EXISTING CONDITIONS

PARKING LOT LANDSCAPING
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE, IF LOT OVER 20,000 SF 1 LG TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF FROM TREE TO SPACE.

PARKING SPACES
PARKING LANDSCAPE REQUIRED (350 SF X 5% =) 21 NEW SPACES
PARKING LANDSCAPE PROVIDED 368 SF
PARKING TREES REQUIRED (21 SPACES / 10 =) 2 TREES
PARKING TREES PROVIDED P 2 TREES

AMOUNT OF LANDSCAPING
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE, DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER, 1 TREE PER 750 SF OF DRY LAND AREA.
NOT APPLICABLE

TREE MITIGATION
AS SHOWN ON TREESCAPES PLANS

ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.

TREES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
1	(Circle with cross)	LIVE OAK	Live Oak	Quercus virginiana	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
2	(Circle with cross and dots)	RED OAK	Shumard Red Oak	Quercus shumardii	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
5	(Circle with cross and dots)	PISTACHIO	Chinese Pistachio	Pistacia chinensis	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
6	(Circle with cross and dots)	D. WILLOW	Desert Willow	Chilopsis linearis	4'-5" ht, 3'-4" spread, container
3	(Circle with cross and dots)	T. YAUPON	Yaupon Holly	Ilex vomitoria	3/4" caliper per trunk, 5 trunk min., 8' Ht./4" spread, container, male, tree form, limbed to 4'
5	(Circle with cross and dots)	RED BUD	Oklahoma Red Bud	Cercis canadensis 'oklahoma'	6' Ht./3' spread min., container only single straight trunk, bushy specimen

SHRUBS

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
106	(Circle with cross and dots)	D.Y. HOLLY	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gallon, 16" Ht./14" spread, bushy, full to ground
32	(Circle with cross and dots)	RED YUCCA	Red Yucca	Hesperaloe parviflora	5 gallon
83	(Circle with cross and dots)	D. FOUNTAIN	Dwarf Fountain Grass	Fennislatum atapeurilades hamlin'	1 gallon
15	(Circle with cross and dots)	COREOPSIS	Lanceleaf Coreopsis	Coreopsis lanceolata	1 gallon
87	(Circle with cross and dots)	STIPA	Mexican Feathergrass	Stipa tenuissima	1 gallon
37	(Circle with cross and dots)	B. DAISY	Blackfoot Daisy	Melampodium leucanthum	1 gallon
4	(Circle with cross and dots)	D. MAIDEN	Dwarf Maiden Grass	Miscanthus sinensis 'Adagio'	5 gallon

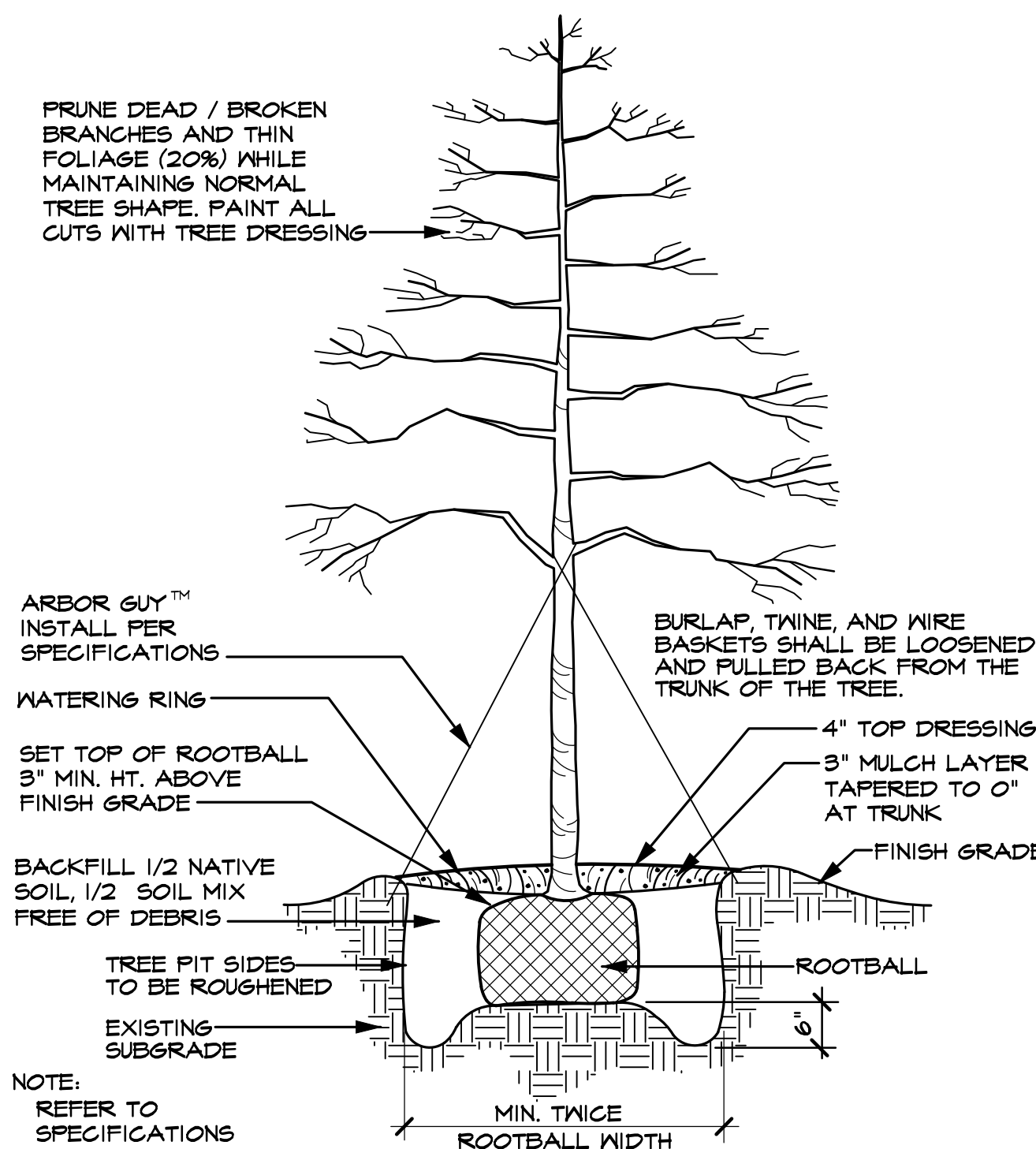
GROUND COVER

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(Square with dots)	SOD	Common Bermuda Grass	Cynodon dactylon	Solid Rolled Sod refer to specifications

MISCELLANEOUS

AS SHOWN	(Line)	EDGE	L.F. Ryerson steel edge 1/8" x 4" with 12" stakes, green in color
51	(Circle with dots)	BOULDER	600 to 800 pounds each BROWN MOSS BOULDERS
AS SHOWN	(Square with dots)	T.B. ROCK	3'-5" Texas Black rock, 6"-8" deep. Provide weed barrier mat below rock. Separate at grass/soil areas with edging. Rock to cover all weed barrier mat.

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES



TREE PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.

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CORGAN

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ISSUES

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**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE DETAILS

JOB 23035
DATE 05.13.2024
SHEET

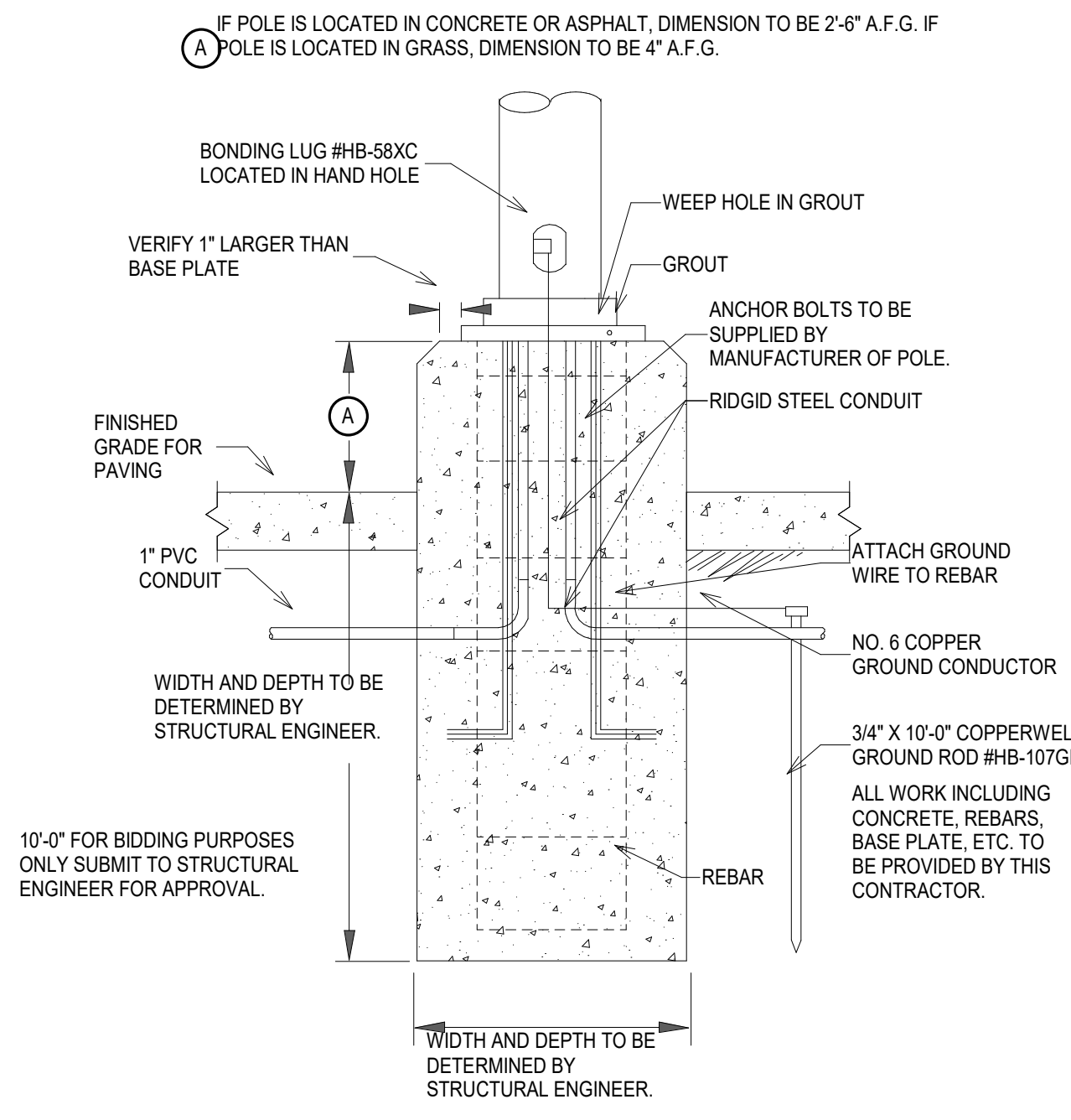
L 5

PHOTOMETRIC SITE PLAN GENERAL NOTES

1. THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
2. ALL CALCULATIONS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
3. LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

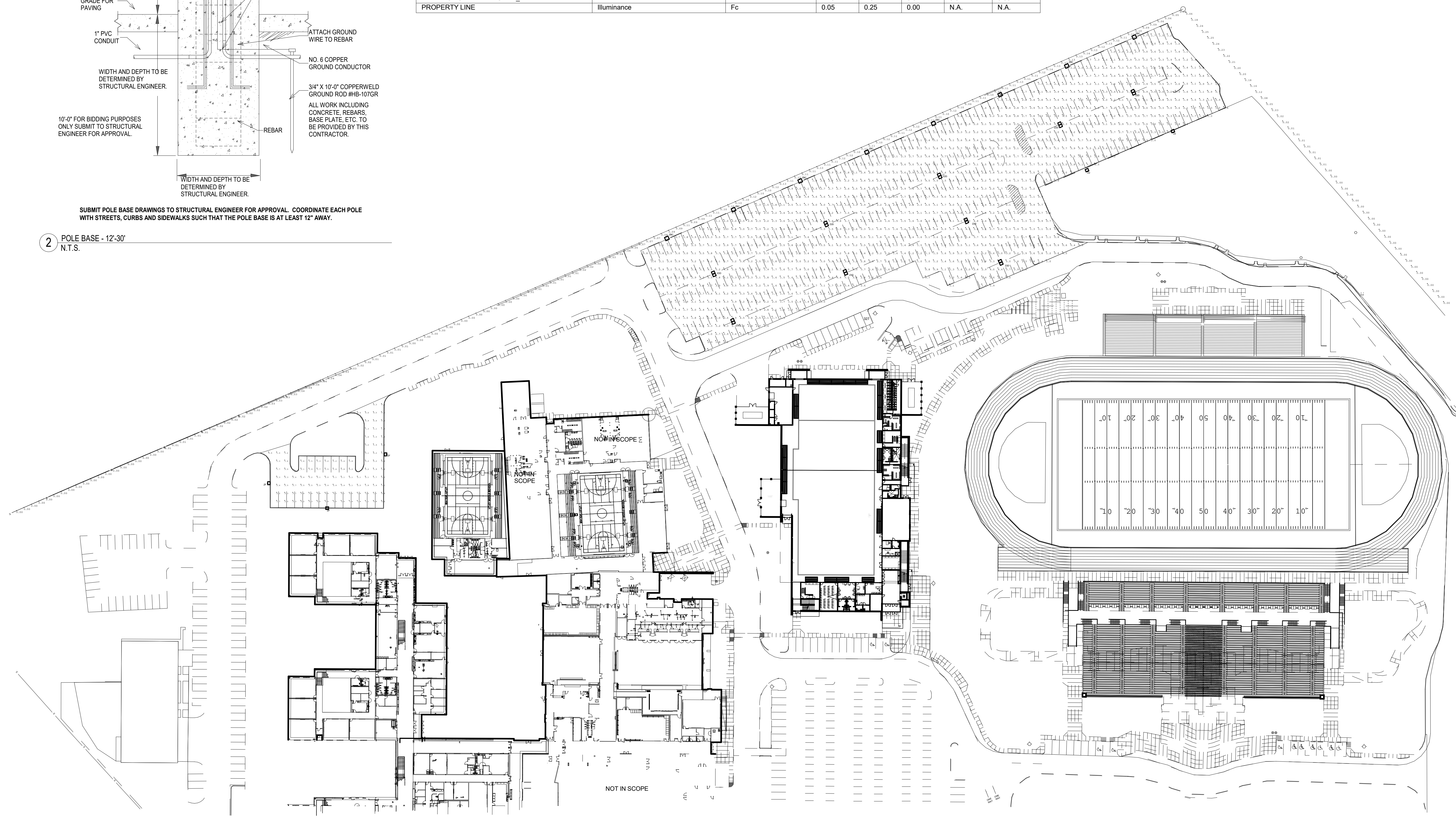
Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	Mounting Height
[Symbol]	9	Z2D	Back-Back	DSX1 LED P5 40K T2M MVOLT	25
[Symbol]	8	ZBC	Single	DSX1 LED P5 40K 80CRI BLC4	25
[Symbol]	3	ZF	Single	DSX1 LED P5 40K TFTM MVOLT	25
[Symbol]	2	Z2	Single	DSX1 LED P5 40K T2M MVOLT	25

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT - PLAN EAST_Planar	Illuminance	Fc	2.55	6.3	0.3	8.50	21.00
PARKING LOT - PLAN NORTH_Planar	Illuminance	Fc	1.79	2.8	0.3	5.97	9.33
PROPERTY LINE	Illuminance	Fc	0.05	0.25	0.00	N.A.	N.A.



SUBMIT POLE BASE DRAWINGS TO STRUCTURAL ENGINEER FOR APPROVAL. COORDINATE EACH POLE WITH STREETS, CURBS AND SIDEWALKS SUCH THAT THE POLE BASE IS AT LEAST 12" AWAY.

2 POLE BASE - 12'-30" N.T.S.



ISSUES		
1	01.12.2024	60% PROGRESS SET
2	05.17.2024	90% PROGRESS SET
3		
4		
5		
6		
7		
8		
9		
10		

REVISIONS		

REVIEW ONLY

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

Engineer: Catherine L. Hollenshead

License State: TX License No.: 103572

Date: 5/15/2024 12:10:39 PM

UTLEY MIDDLE SCHOOL PHASE 2

1201 T L Townsend Dr., Rockwall, TX 75087

PHOTOMETRIC SITE PLAN

1 PHOTOMETRIC SITE PLAN 1" = 60'-0"

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

EMA Engineering & Consulting, Inc.
Tyler | Austin | Houston | El Paso
DFW | San Antonio | Shreveport
Texas Firm Registration No. F-893
Louisiana Firm Registration No. EF-5818
www.EMAengineer.com

DESIGN SOLVE ENHANCE

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

JOB 23035
DATE 05.17.2024
SHEET

ES01-02.2

UTLEY MIDDLE SCHOOL - EXTERIOR MATERIALS

EXTERIOR - 1201 T L TOWNSEND DR., ROCKWALL, TX



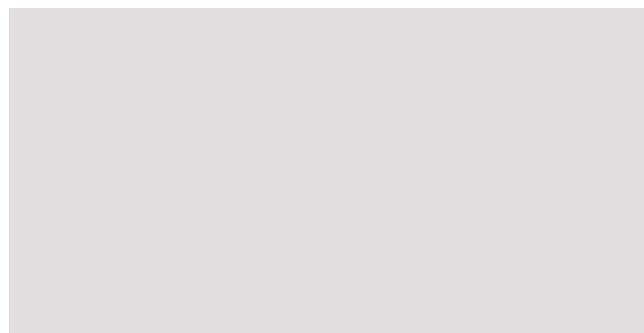
BR-1 FIELD BRICK



BR-2 ACCENT BRICK



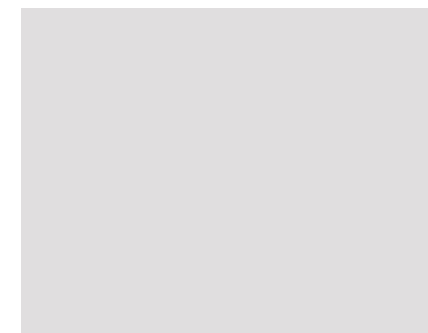
GL-1 INSULATED EXTERIOR GLAZING UNIT



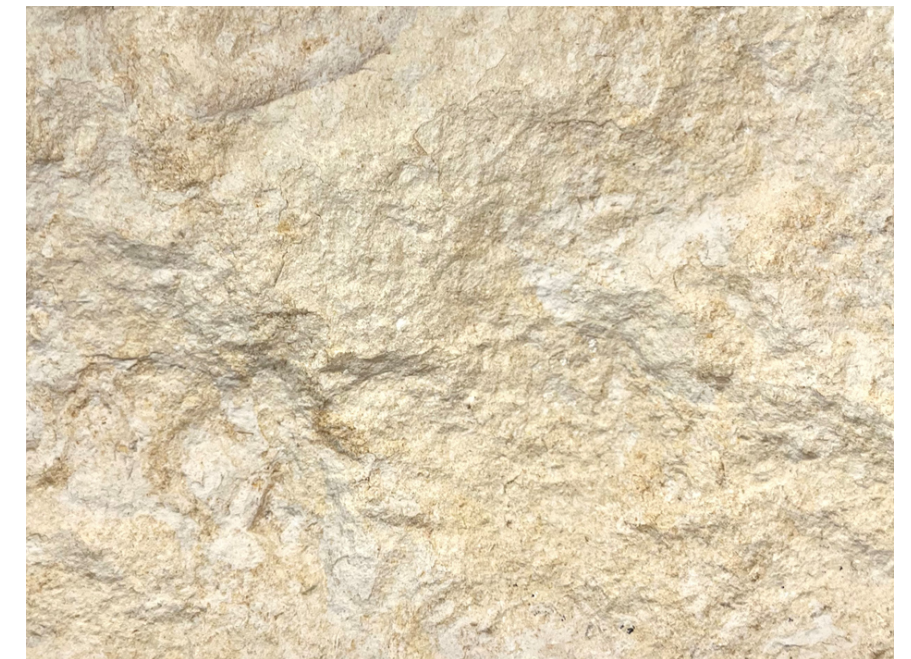
AL-1 STOREFRONT ALUMINUM



MP-1 METAL PANEL



MP-2 METAL PANEL



ST-1 STONE



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2024-024

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1201 T L Townsend Dr, Rockwall, TX 75087

SUBDIVISION Herman Utley Middle School

LOT 1

BLOCK 1

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE Public school

PROPOSED ZONING AG

PROPOSED USE Public school

ACREAGE 41.649

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Independent School District

APPLICANT Glenn Engineering

CONTACT PERSON Tim Lyssy - Director of Project Planning and Constructio

CONTACT PERSON Robert Howman

ADDRESS 1191 T.L. Townsend Drive

ADDRESS 4500 Fuller Dr. #220

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Irving, Tx 75038

PHONE 469-698-7031

PHONE 972.989.2174

E-MAIL tim.lyssy@rockwallisd.org

E-MAIL rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

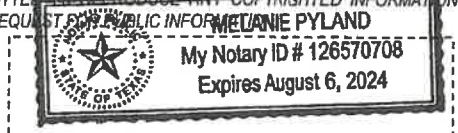
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TIM LYSSY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1500 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF MAY, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF MAY, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



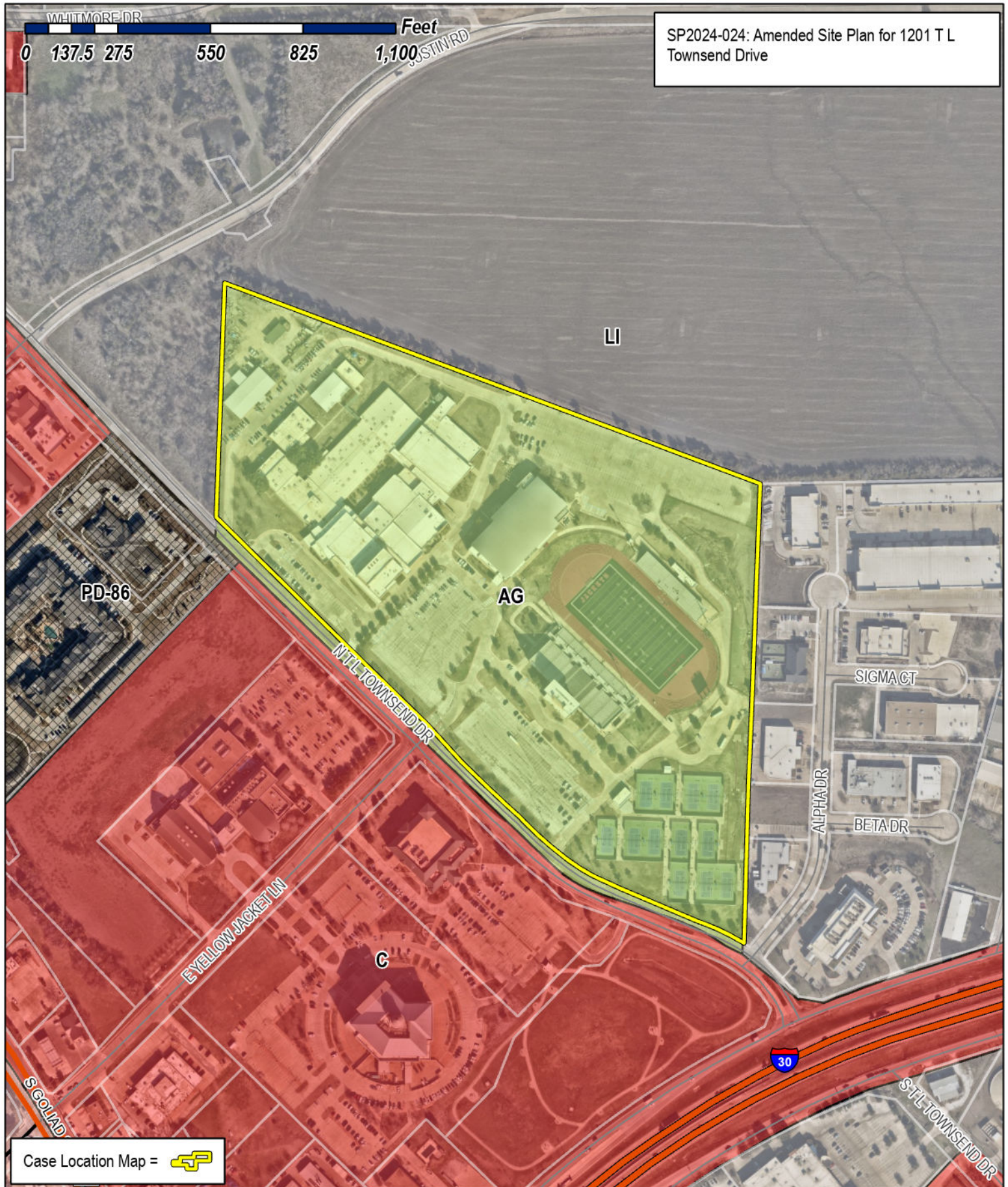
MY COMMISSION EXPIRES August 6, 2024


WHITMORE DR

Feet

0 137.5 275 550 825 1,100

SP2024-024: Amended Site Plan for 1201 T L Townsend Drive



Case Location Map = 

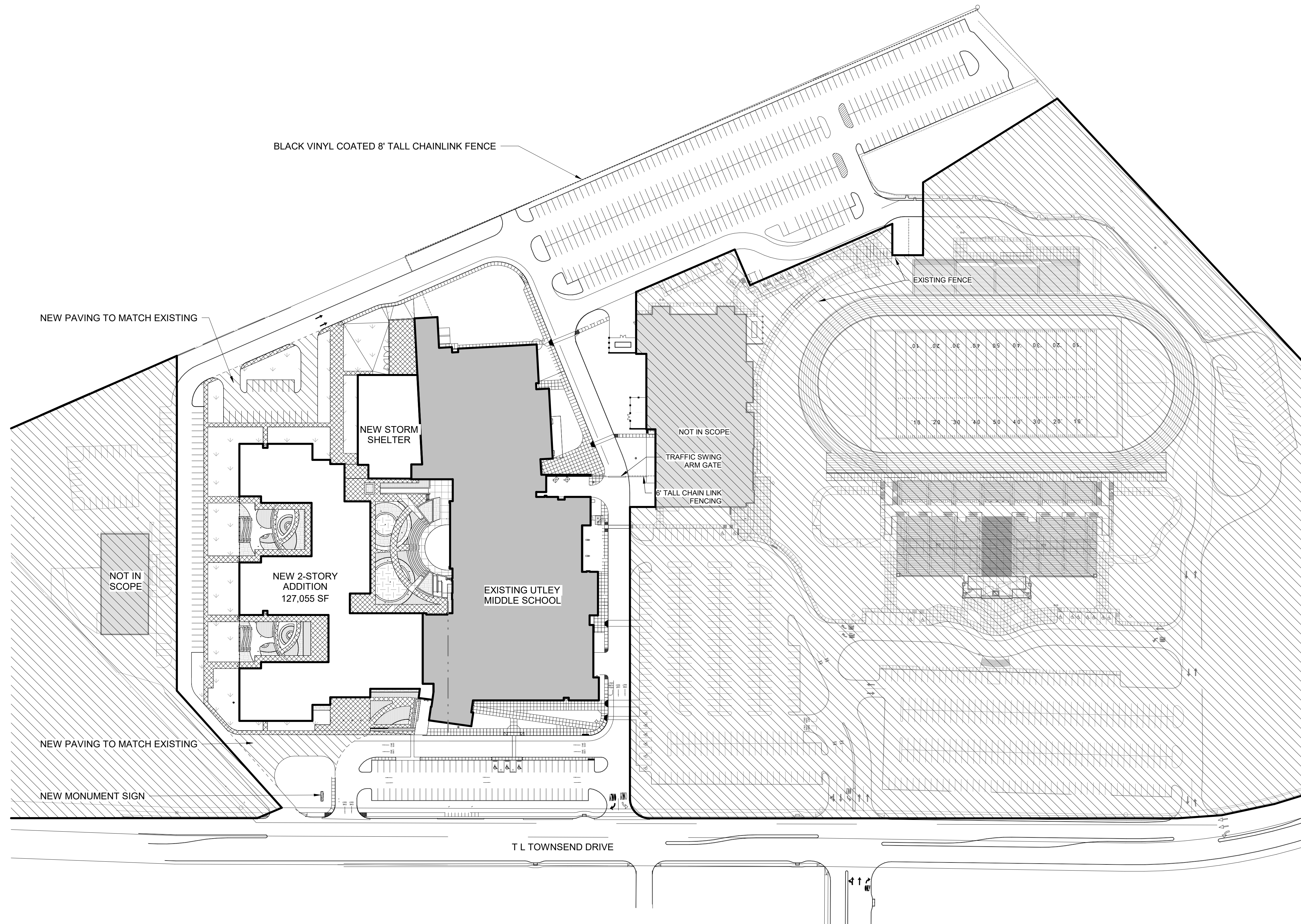


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





01 SITE PLAN - PHASE 2
1" = 80'-0"

OVERALL SITE PLAN

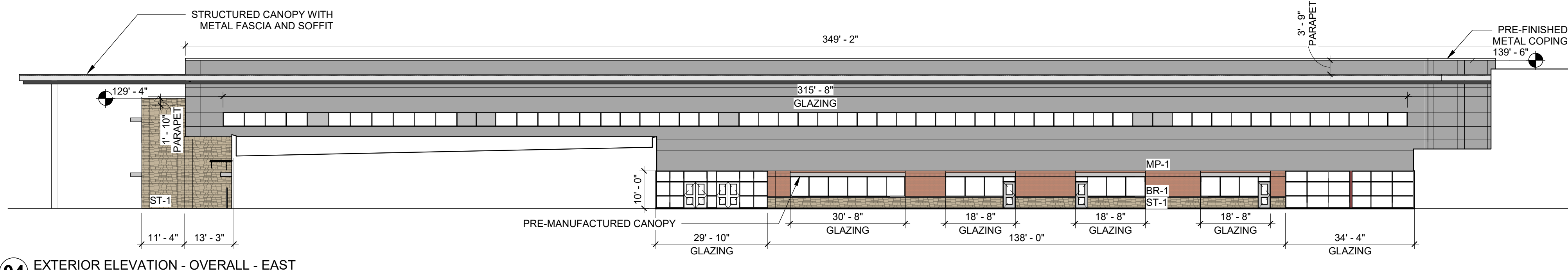


APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.



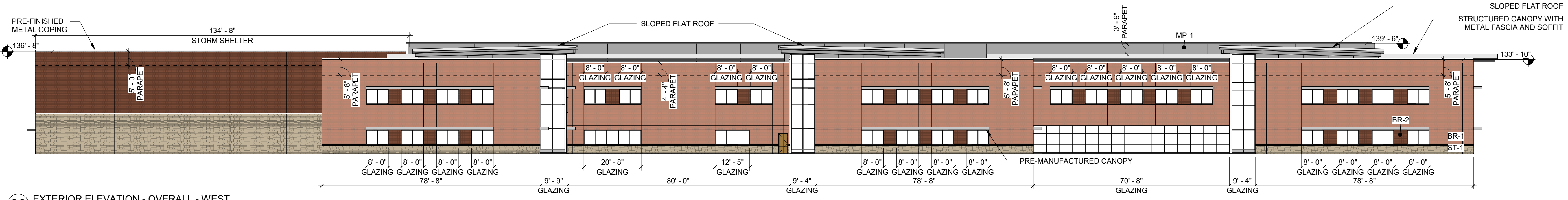
Planning & Zoning Commission, Chairman

Director of Planning and Zoning



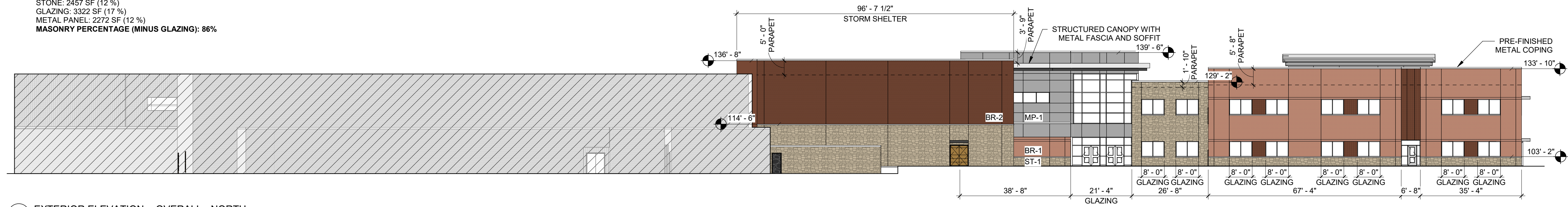
04 EXTERIOR ELEVATION - OVERALL - EAST
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 12,136 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 9795 SF
BRICK: 934 SF (8%)
STONE: 969 SF (8%)
GLAZING: 2341 SF (19%)
METAL PANEL: 7892 SF (65%)
MASONRY PERCENTAGE (MINUS GLAZING): 20%



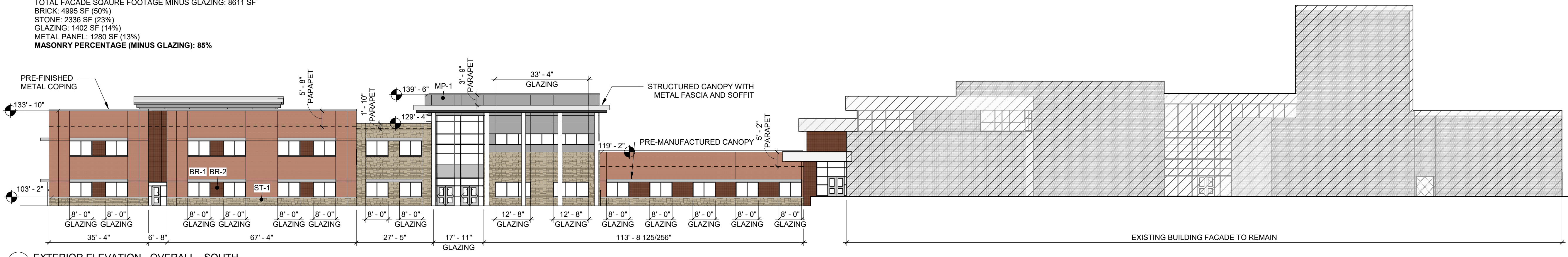
03 EXTERIOR ELEVATION - OVERALL - WEST
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 19,737 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 16,415 SF
BRICK: 11,686 SF (59%)
STONE: 2457 SF (12%)
GLAZING: 3322 SF (17%)
METAL PANEL: 2272 SF (12%)
MASONRY PERCENTAGE (MINUS GLAZING): 86%



02 EXTERIOR ELEVATION - OVERALL - NORTH
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 10,013 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 8611 SF
BRICK: 4995 SF (50%)
STONE: 2336 SF (23%)
GLAZING: 1402 SF (14%)
METAL PANEL: 1280 SF (13%)
MASONRY PERCENTAGE (MINUS GLAZING): 85%



01 EXTERIOR ELEVATION - OVERALL - SOUTH
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 8541 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 6495 SF
BRICK: 3759 SF (45%)
STONE: 1850 SF (22%)
GLAZING: 2045 SF (23%)
METAL PANEL: 887 SF (10%)
MASONRY PERCENTAGE (MINUS GLAZING): 86%

EXT. MATERIALS LEGEND		
	ST-1	
	BR-1	
	BR-2	
	MP-1	
	MP-2	
	GL-1	



EXTERIOR ELEVATIONS UTLEY MIDDLE SCHOOL

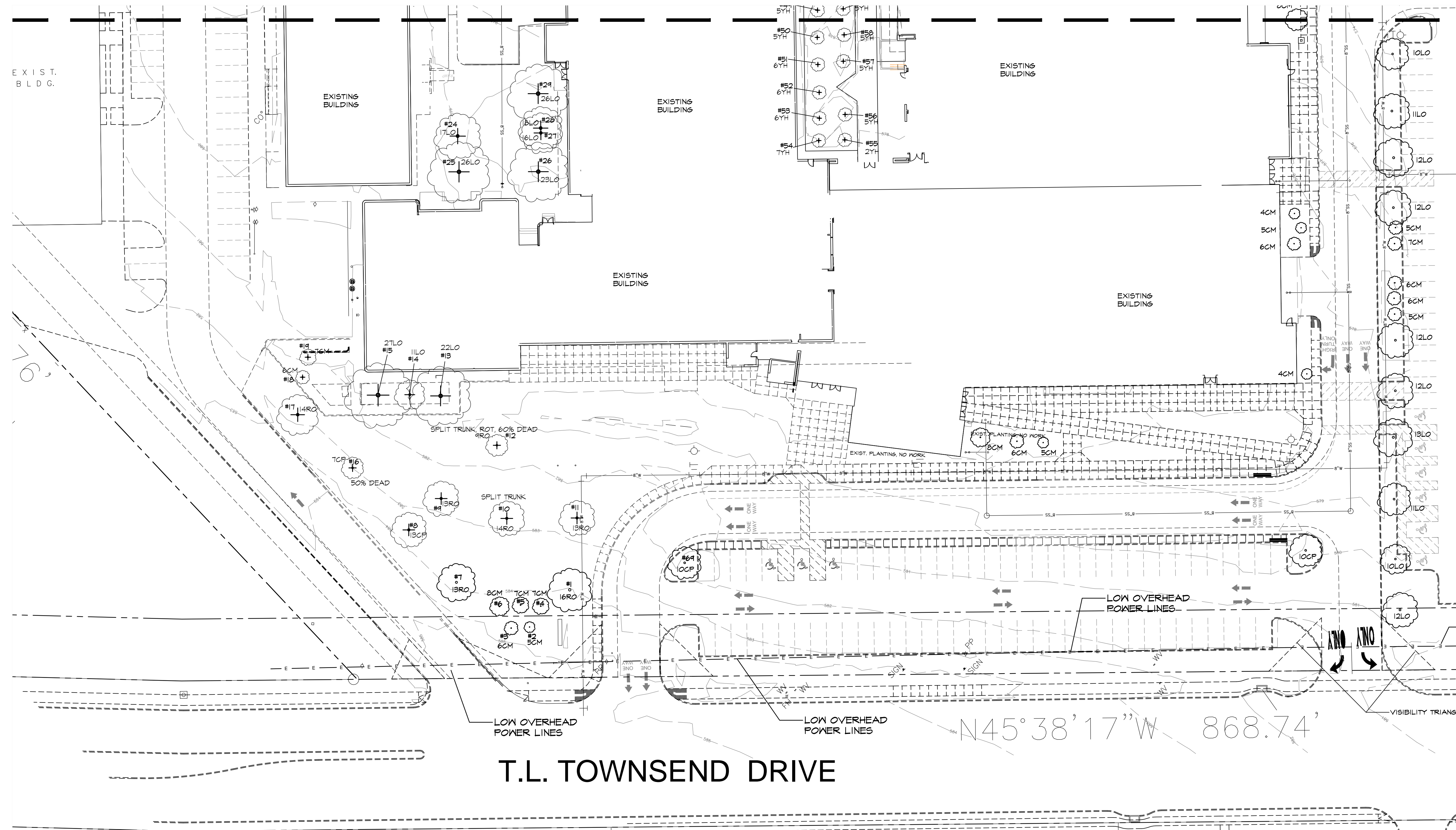
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WITNESS OUR HANDS, this _____ day of _____, 2022.



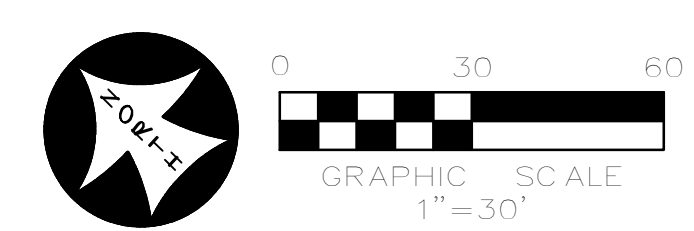
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

MATCHLINE SEE SHEET L3



EXISTING TREE NOTE:
 EXISTING TREES WITHIN 50'
 OF CONSTRUCTION ARE
 NUMBERED AND CHARTED.
 TREES OUTSIDE THIS AREA
 ARE SHOWN FOR GENERAL
 INFORMATION.



HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
 M.N. BALLARD SURVEY, ABSTRACT NO. 48
 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 CONTACT: WILLIAM SALEE

SURVEYOR: KMCE, Inc.
 17774 PRESTON ROAD
 DALLAS, TEXAS 75252
 (817) 889-6500
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (817) 717-5151
 CONTACT: CHERALYN M. ARMUO

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2024.
 WITNESS OUR HANDS, this ___ day of ___, 2024.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

CITY OF ROCKWALL CASE NO. SP2024-___

CORGAN
 CORGAN
 www.corgan.com
 T: 214.748.2000

ISSUES	
1	05/13/2023 PERMIT SET
2	
3	
4	
5	
6	

REVISIONS	

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, L.L.C.
 11914 WISHING WELL CT.
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 382-5433
 EMAIL: MIKE.RLA@ATT.NET

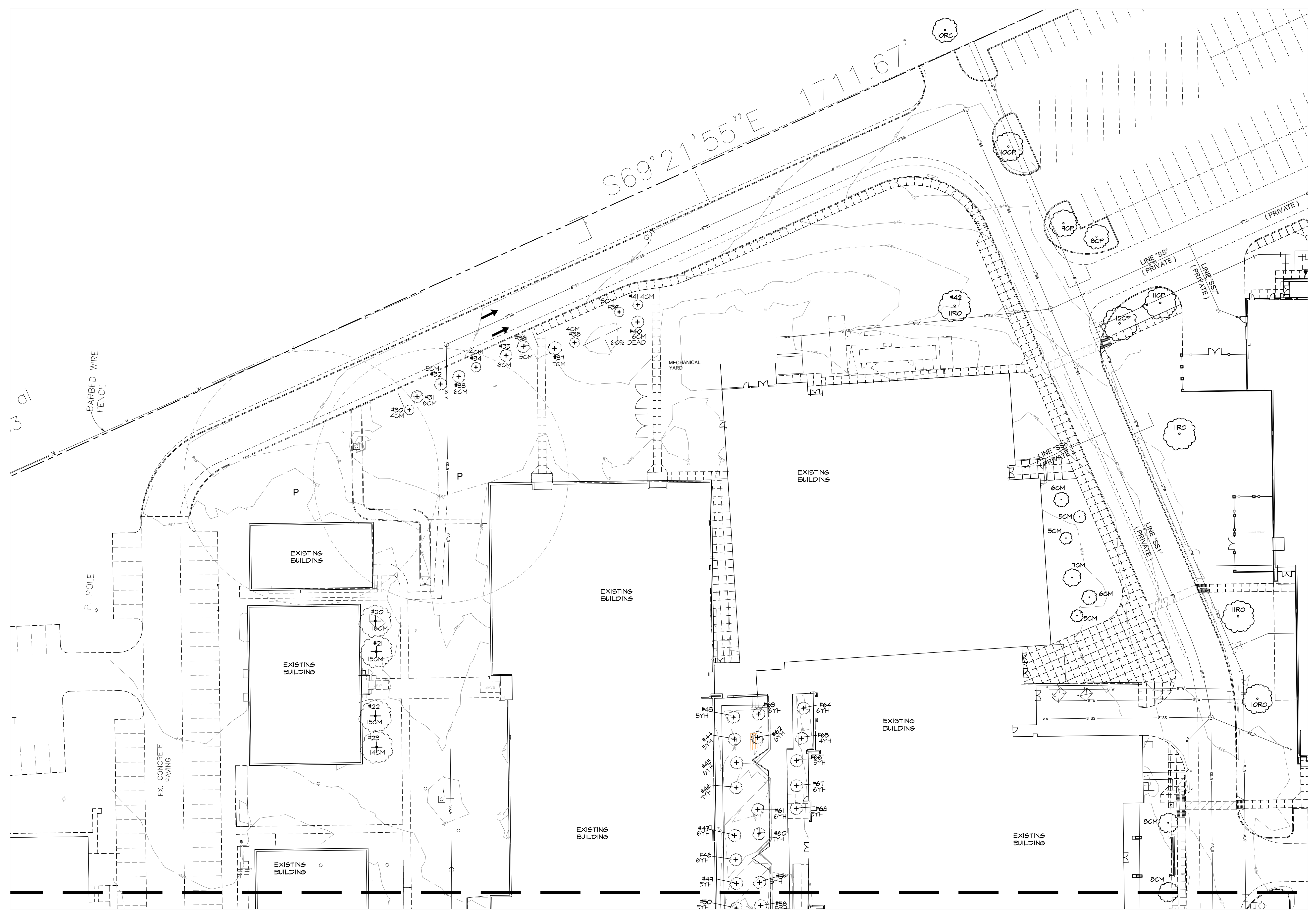
**UTLEY MIDDLE SCHOOL
 PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

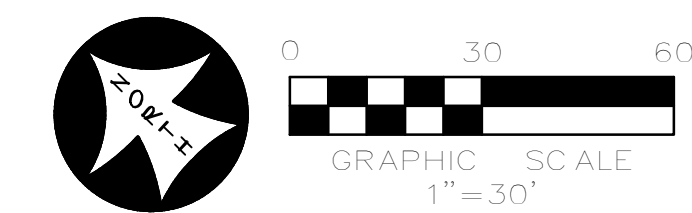
TREESCAPE
 PLAN AREA A

JOB 23035
DATE 05.13.2024
SHEET

TS 1



MATCHLINE SEE SHEET L2



HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
 M.N. BALLARD SURVEY, ABSTRACT NO. 48
 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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 City of Rockwall, Texas, was approved by the Planning & Zoning
 Commission of the City of Rockwall on the ____ day of ____, 2024.
 WITNESS OUR HANDS, this ____ day of ____, 2024.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

OWNER/DEVELOPER:
 ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 CONTACT: WILLIAM SALEE

SURVEYOR:
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 (872) 717-0605
 CONTACT: ROBERT HANSEN

ENGINEER:
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 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2024-__

ISSUES	
1	05/13/2023 PERMIT SET
2	
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REVISIONS	

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UTLEY MIDDLE SCHOOL PHASE 2

1201 T L Townsend Dr., Rockwall, TX 75087

TREESCAPE
 PLAN AREA B

JOB 23035
DATE 05.13.2024
SHEET

TS 2

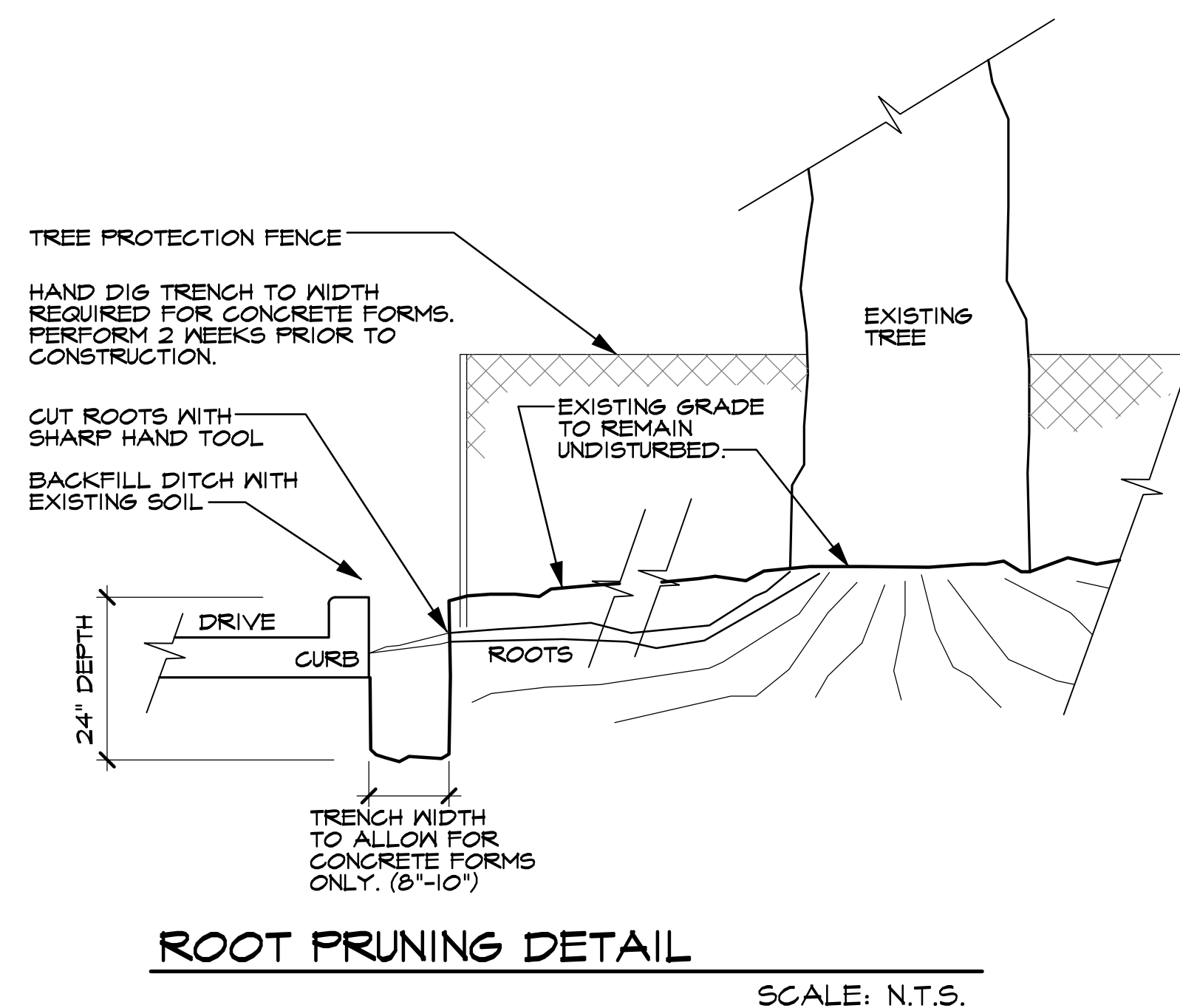
TREE TABLE (TREES WITHIN 50' OF CONSTRUCTION)									
#	Size/Type	TREE HEALTH	DISEASE	INSECT	STRUCTURAL	SAVE/REM	MITIGATE	CREDIT	
1	16" RED OAK	6	N	N	N	SAVE	0	0	
2	5" CREPE MYRTLE	5	N	N	N	SAVE	0	0	
3	6" CREPE MYRTLE	5	N	N	N	SAVE	0	0	
4	7" CREPE MYRTLE	5	N	N	N	SAVE	0	0	
5	7" CREPE MYRTLE	5	N	N	N	SAVE	0	0	
6	8" CREPE MYRTLE	5	N	N	N	SAVE	0	0	
7	13" RED OAK	5	N	N	N	SAVE	0	0	
8	13" CHIN. PISTACHE	5	N	N	N	REMOVE	13	0	
9	13" RED OAK	5	N	N	N	REMOVE	13	0	
10	14" RED OAK	3	SPLIT TRUNK	N	N	Y	REMOVE	14	0
11	13" RED OAK	5	N	N	N	REMOVE	13	0	
12	9" RED OAK	2	60% DEAD	N	N	Y	REMOVE	0	HEALTH 0
13	22" LIVE OAK	5	N	N	N	REMOVE	22	0	
14	11" LIVE OAK	5	N	N	N	REMOVE	11	0	
15	27" LIVE OAK	5	N	N	N	REMOVE	54	0	
16	7" CHIN. PISTACHE	3	50% DEAD	N	N	Y	REMOVE	7	0
17	14" RED OAK	5	N	N	N	REMOVE	14	0	
18	6" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
19	7" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
20	16" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
21	15" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
22	15" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
23	14" CREPE MYRTLE	5	N	N	N	SAVE	0	VARIANCE 0	
24	17" LIVE OAK	5	N	N	N	SAVE	17	0	
25	26" LIVE OAK	5	N	N	N	SAVE	52	0	
26	23" LIVE OAK	5	N	N	N	SAVE	23	0	
27	16" LIVE OAK	5	N	N	N	REMOVE	16	0	
28	18" LIVE OAK	5	N	N	N	REMOVE	8	0	
29	26" LIVE OAK	5	N	N	N	SAVE	52	0	
30	4" CREPE MYRTLE	5	N	N	N	SAVE	0	VARIANCE 0	
31	6" CREPE MYRTLE	5	N	N	N	SAVE	0	VARIANCE 0	
32	5" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
33	6" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
34	4" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
35	6" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
36	5" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
37	7" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
38	4" CREPE MYRTLE	5	N	N	N	REMOVE	0	VARIANCE 0	
39	3" CREPE MYRTLE	5	N	N	N	SAVE	0	VARIANCE 0	
40	6" CREPE MYRTLE	2	60% DEAD	N	N	Y	SAVE	0	VARIANCE 0
41	4" CREPE MYRTLE	5	N	N	N	SAVE	0	VARIANCE 0	
42	11" RED OAK	5	N	N	N	SAVE	0	0	
43	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0	
44	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0	
45	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
46	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0	
47	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
48	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
49	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0	
50	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0	
51	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
52	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
53	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
54	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0	
55	2" YAUPON HOLLY	4	N	N	N	REMOVE	EXEMPT	0	
56	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0	
57	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0	
58	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0	
59	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0	
60	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0	
61	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
62	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
63	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
64	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
65	4" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
66	5" YAUPON HOLLY	4	N	N	N	REMOVE	4	0	
67	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0	
68	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0	
69	10" CHIN. PISTACHE	5	N	N	N	REMOVE	0	EXEMPT 0	
TREE TABLE B SUBTOTAL							-471	+0	
7 PROPOSED 4" TREES								+28	
SUB-TOTAL							-443		
TREE MITIGATION TO TREE FUND (-443)									
443 INCHES X \$100.00 = \$44,300.00 PAYMENT									

CERTIFIED ARBORIST SITE INSPECTIONS:

GENERAL CONTRACTOR TO PROVIDE FOR CERTIFIED ARBORIST VISITS FOR ALL EXISTING TREES TO REMAIN ONCE PER MONTH DURING CONSTRUCTION. G.C. TO FOLLOW ARBORIST RECOMMENDATIONS FOR TRIMMING OR THINNING OF BRANCHES, HAND WATERING SCHEDULE, ROOT AERATION, AND GENERAL PROTECTION.

EXISTING TREE WATERING:

GENERAL CONTRACTOR TO PROVIDE HAND WATERING OF EXISTING TREES TO REMAIN. WATERING SHALL BE ON AN AS NEEDED BASIS TO MAINTAIN TREE HEALTH. FOLLOW CERTIFIED ARBORIST RECOMMENDATIONS.



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2024.
WITNESS OUR HANDS, this ___ day of ___, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 711-0605
CONTACT: WILLIAM SALEE

SURVEYOR:
KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(817) 889-6500
CONTACT: ROBERT HANSEN

ENGINEER:
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IRVING, TEXAS 75038
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CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2024-__

CORGAN
CORGAN
www.corgan.com
T: 214.748.2000

ISSUES

1	05/13/2023	PERMIT SET
2		
3		
4		
5		
6		

REVISIONS

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RAMSEY LANDSCAPE ARCHITECTS, LLC

11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

TREESCAPE CHART

JOB 23035
DATE 05.13.2024
SHEET

TS 3

SITE DATA SUMMARY TABLE	
EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	1,814,233 S.F. OR 41.649 AC.
BUILDING AREA - UTLEY MIDDLE SCHOOL	
PROPOSED FIRST FLOOR	76,400 S.F.
PROPOSED SECOND FLOOR	50,674 S.F.
TOTAL BUILDING AREA	127,075 S.F.
AQUATICS CENTER	45,200 S.F.
STADIUM	
HOME	22,350 S.F.
VISITOR	1,530 S.F.
TENNIS BUILDING	1,500 S.F.
LOT COVERAGE (ALL BUILDINGS)	146,980 S.F./1,814,233 S.F. = 8.10%
FLOOR AREA RATIO	8:10:1
TOTAL IMPERVIOUS AREA (SITE)	1,025,823 S.F. OR 23.55 AC.
BUILDING HEIGHT STORM SHELTER	36'-10" (2 STORY)
BUILDING HEIGHT CLASSROOMS	34'-0" (2 STORY)
STUDENT CAPACITY (6TH-8TH GRADE) DESIGN	1,350 STUDENTS
STUDENT CAPACITY (7TH-8TH GRADE) EXISTING	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	54 SPACES REQUIRED
1,350 STUDENT / 1 PER 25 STUDENTS =	
PARKING PROVIDED	
PARKING SURFACE (OVERALL SITE)	
EXISTING 9.0' x 18.0'	1,083 SPACES (Includes 31 HC Spaces)
NEW 10.0' x 20.0' PARALLEL	18 SPACES (Includes 1 HC Space)
TOTAL PARKING PROVIDED	1,101 SPACES

LANDSCAPE NOTES

LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD/HYDRO PER THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.

CORGAN

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www.corgan.com
T: 214.748.2000

ISSUES	
1	05/13/2023 PERMIT SET
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REVISIONS	

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RAMSEY LANDSCAPE ARCHITECTS, LLC

11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

**OVERALL
LANDSCAPE PLAN**

**JOB 23035
DATE 05.13.2024
SHEET L 1**

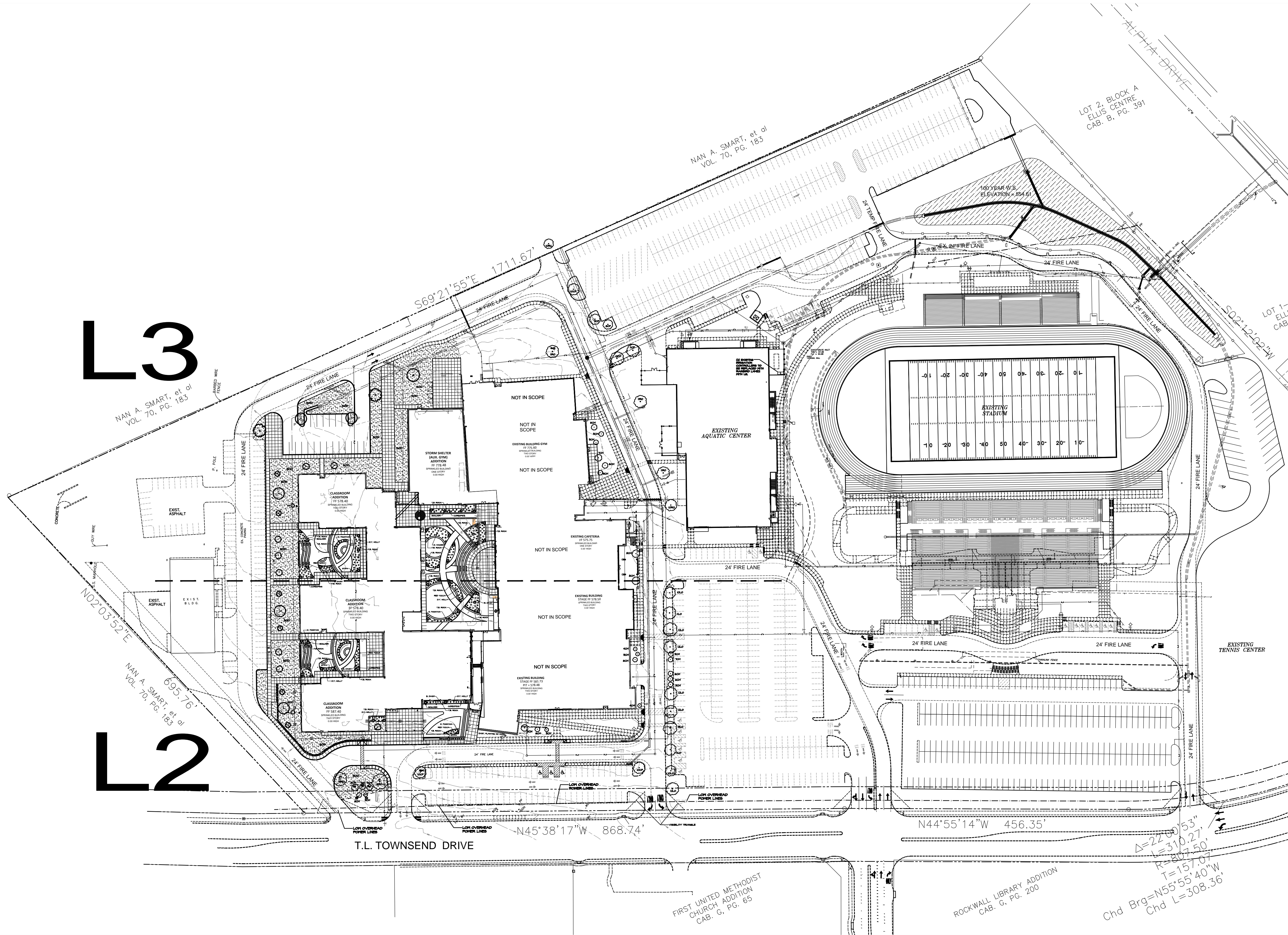
HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 (972) 771-0605 CONTACT: WILLIAM SALEE	SURVEYOR: KMCE, Inc. 17774 PRESTON ROAD DALLAS, TEXAS 75252 (817) 889-6500 CONTACT: ROBERT HANSEN	ENGINEER: GLENN ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUJO
--	--	---

APPROVED:
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WITNESS OUR HANDS, this ____ day of _____, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

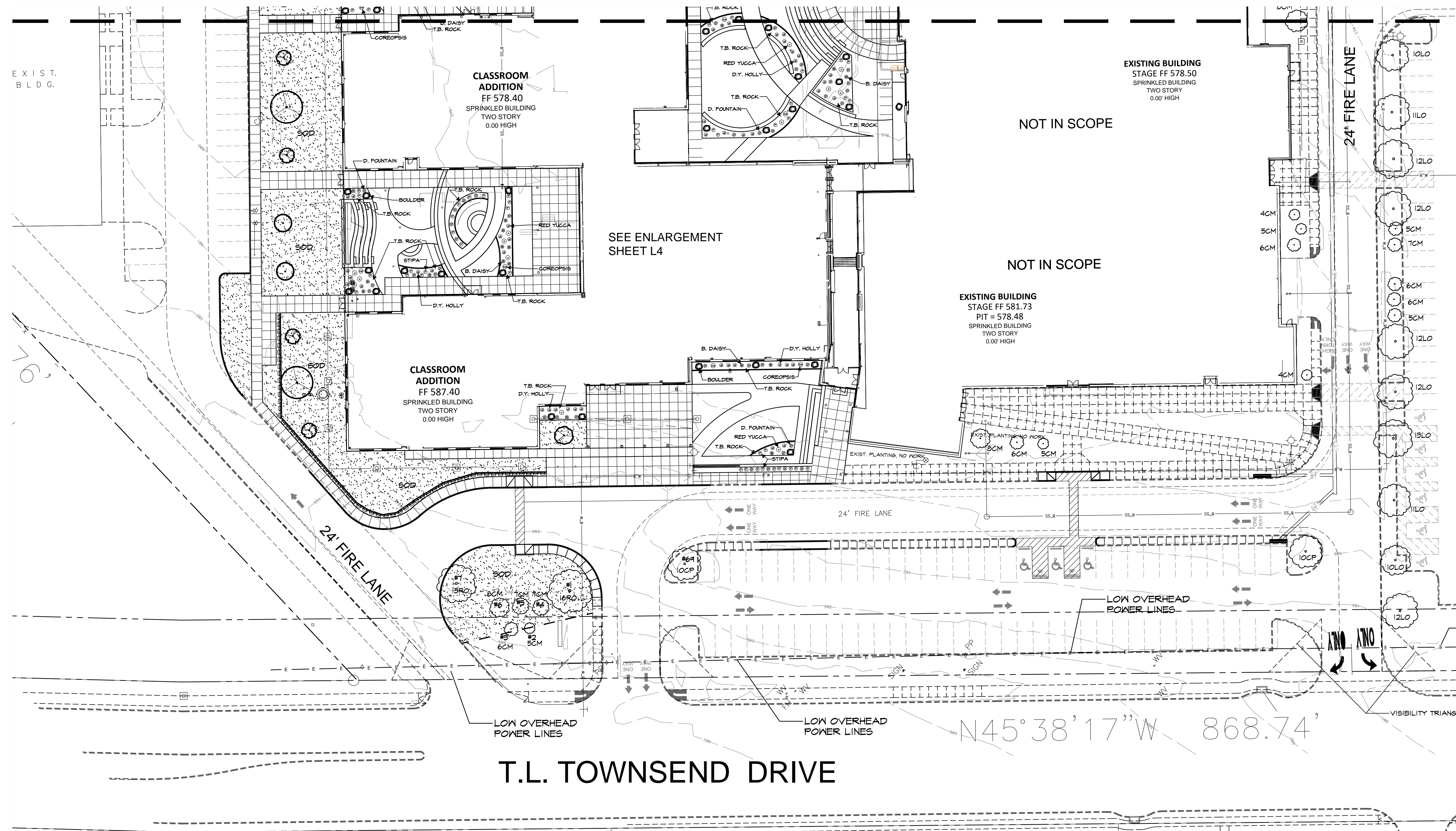
CITY OF ROCKWALL CASE NO. SP2024-___



L3

L2

MATCHLINE SEE SHEET L3



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ISSUES

1	05/13/2023	PERMIT SET
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**UTLEY MIDDLE SCHOOL
PHASE 2**

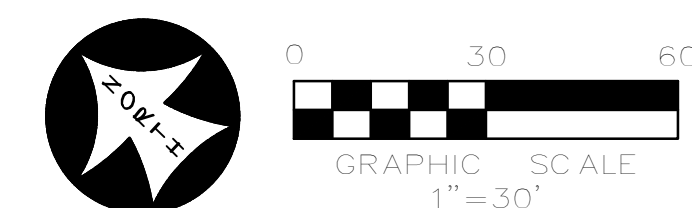
1201 T L Townsend Dr., Rockwall, TX 75087

**LANDSCAPE PLAN
AREA A**

JOB 23035
DATE 05.13.2024
SHEET

L 2

HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
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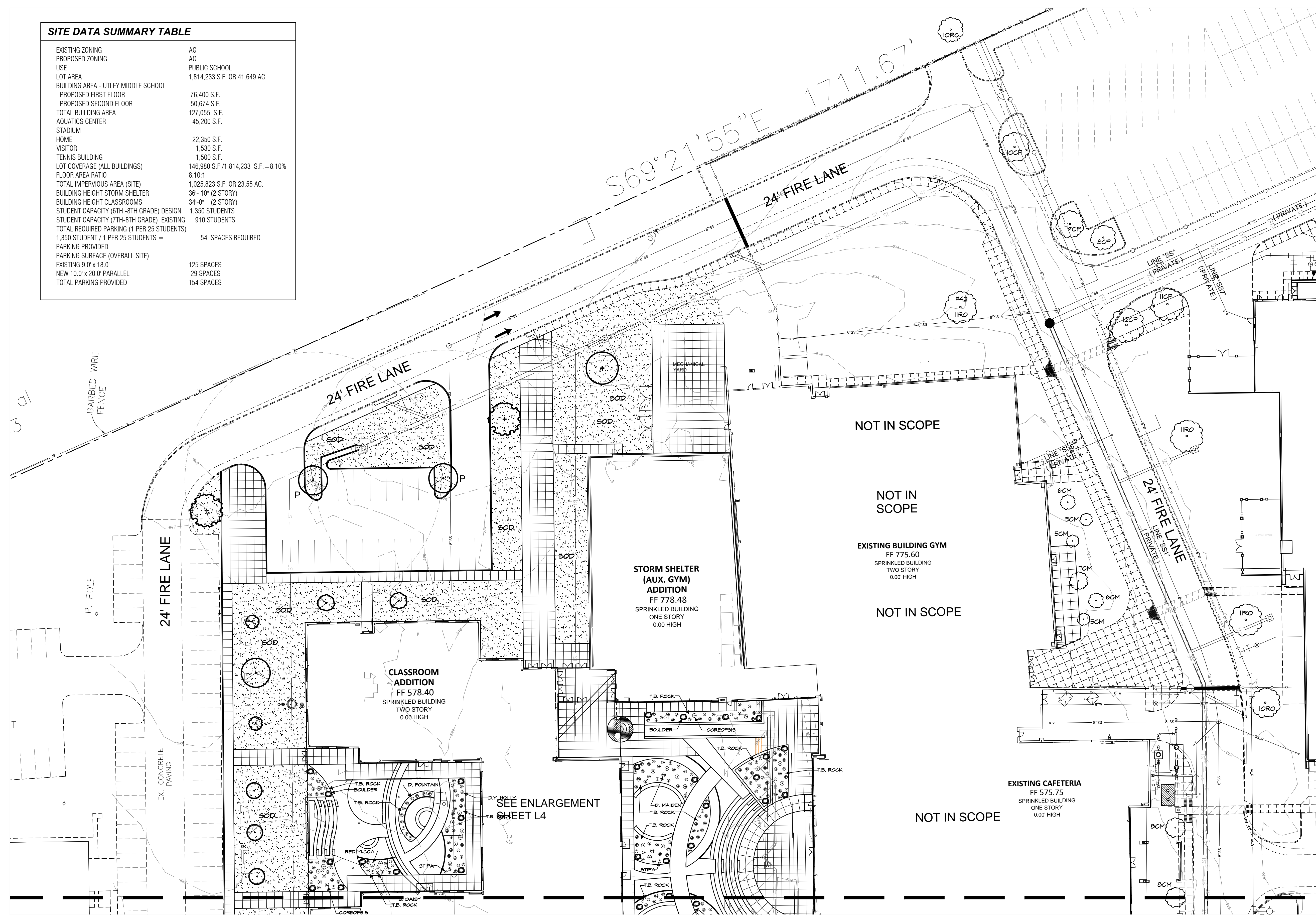
OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: WILLIAM SALEE

SURVEYOR:
KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(817) 889-6500
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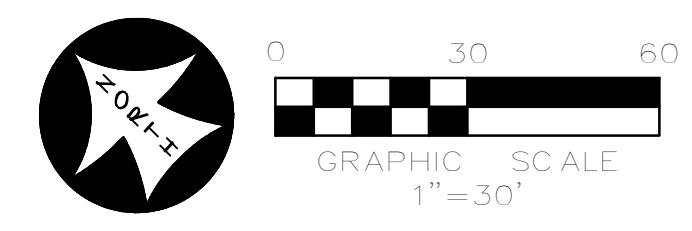
ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-___

SITE DATA SUMMARY TABLE	
EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	1,814,233 S.F. OR 41.649 AC.
BUILDING AREA - UTLEY MIDDLE SCHOOL	
PROPOSED FIRST FLOOR	76,400 S.F.
PROPOSED SECOND FLOOR	50,674 S.F.
TOTAL BUILDING AREA	127,055 S.F.
AQUATICS CENTER	45,200 S.F.
STADIUM	
HOME	22,350 S.F.
VISITOR	1,530 S.F.
TENNIS BUILDING	1,500 S.F.
LOT COVERAGE (ALL BUILDINGS)	146,980 S.F./1,814,233 S.F. = 8.10%
FLOOR AREA RATIO	8.10:1
TOTAL IMPERVIOUS AREA (SITE)	1,025,823 S.F. OR 23.55 AC.
BUILDING HEIGHT STORM SHELTER	36'-10" (2 STORY)
BUILDING HEIGHT CLASSROOMS	34'-0" (2 STORY)
STUDENT CAPACITY (6TH-8TH GRADE) DESIGN	1,350 STUDENTS
STUDENT CAPACITY (7TH-8TH GRADE) EXISTING	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	54 SPACES REQUIRED
1,350 STUDENT / 1 PER 25 STUDENTS =	
PARKING PROVIDED	
PARKING SURFACE (OVERALL SITE)	125 SPACES
EXISTING 9.0' x 18.0'	29 SPACES
NEW 10.0' x 20.0' PARALLEL	154 SPACES
TOTAL PARKING PROVIDED	



MATCHLINE SEE SHEET L2



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CITY OF ROCKWALL CASE NO. SP2024-__

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ISSUES	
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REVISIONS	

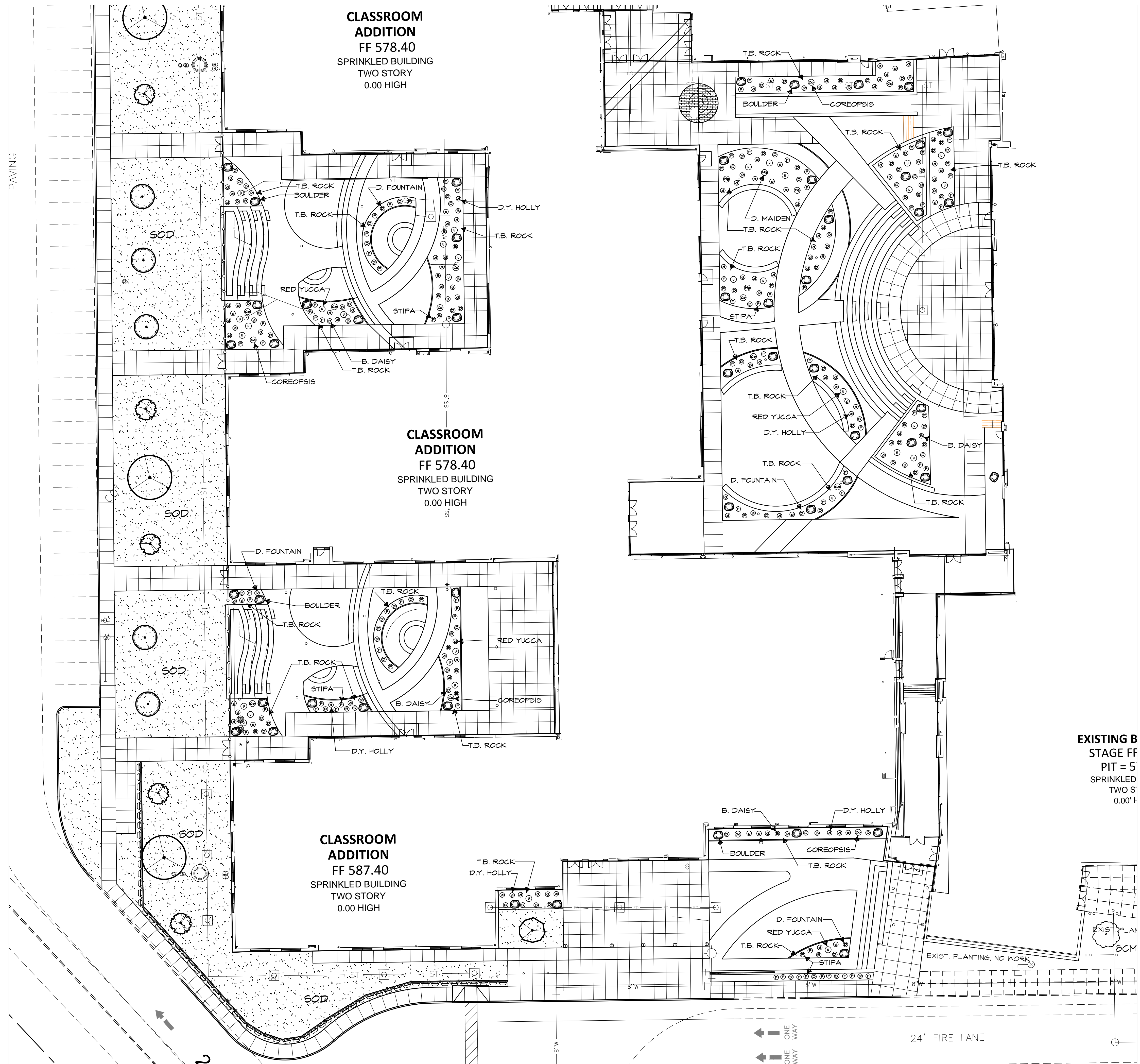
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**UTLEY MIDDLE SCHOOL
PHASE 2**
1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE PLAN
AREA B

JOB 23035
DATE 05.13.2024
SHEET

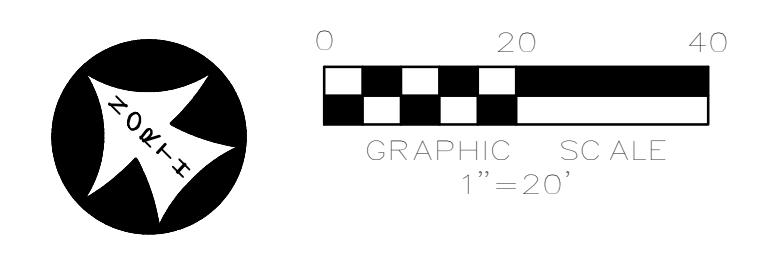


CLASSROOM ADDITION
 FF 578.40
 SPRINKLED BUILDING
 TWO STORY
 0.00 HIGH

CLASSROOM ADDITION
 FF 578.40
 SPRINKLED BUILDING
 TWO STORY
 0.00 HIGH

CLASSROOM ADDITION
 FF 587.40
 SPRINKLED BUILDING
 TWO STORY
 0.00 HIGH

EXISTING B
 STAGE FF
 PIT = 5'
 SPRINKLED
 TWO S'
 0.00' F



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CITY OF ROCKWALL CASE NO. SP2024-___

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LANDSCAPE ENLARGEMENT

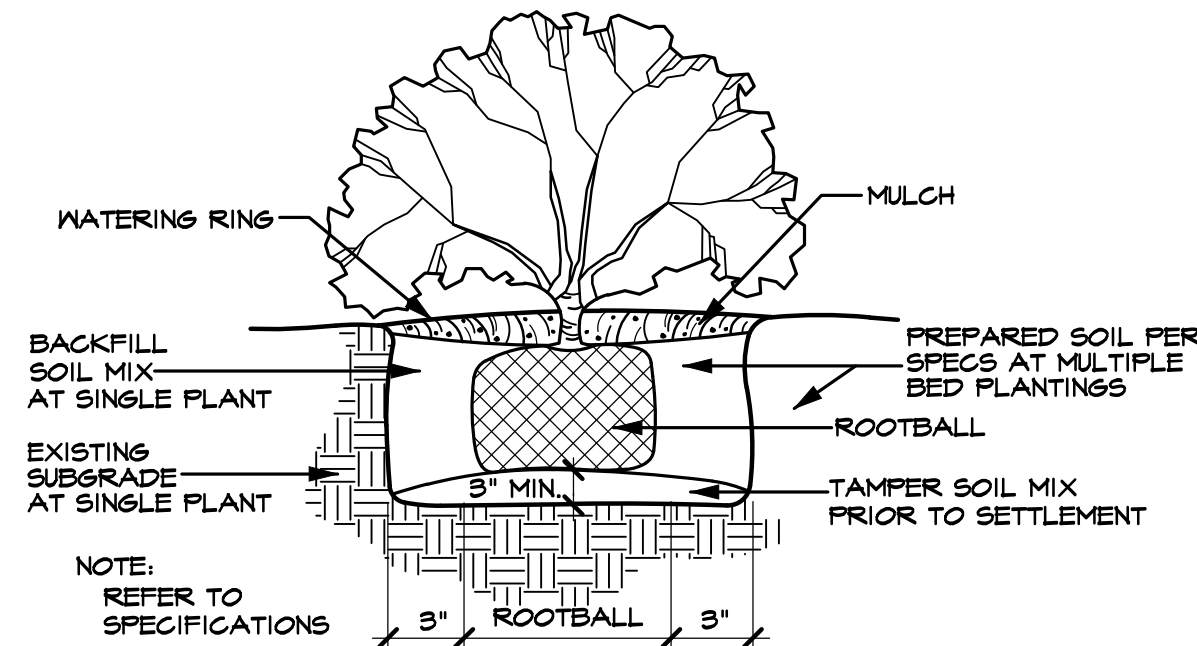
JOB 23035
DATE 05.13.2024
SHEET

LANDSCAPE NOTES

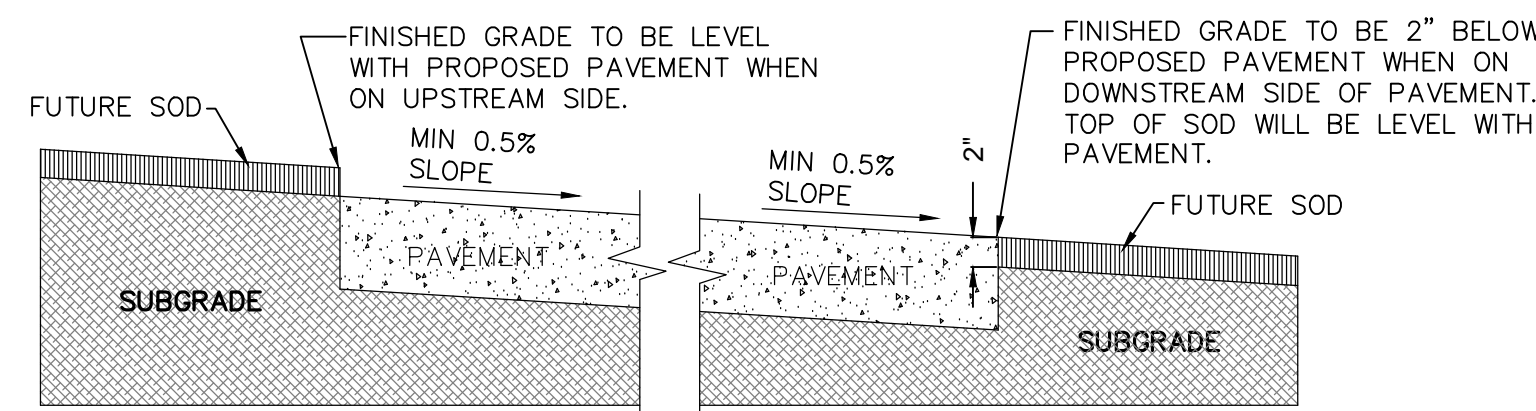
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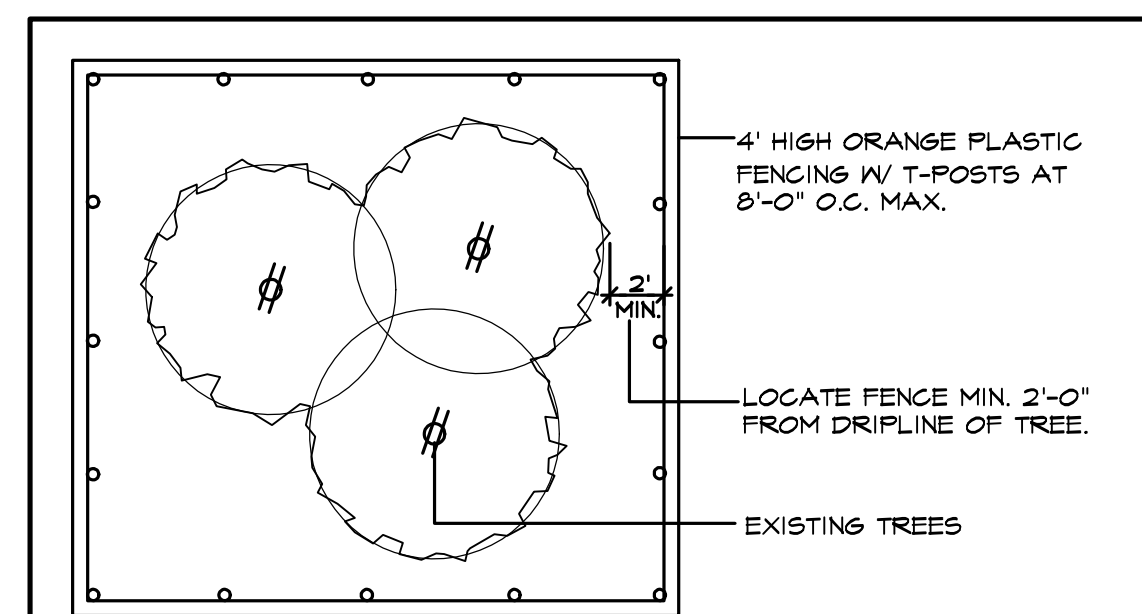
REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.



SHRUB PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.



GRADING DETAIL FOR PAVEMENT WITHOUT CURB
SCALE: N.T.S.



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

TREE PROTECTION FENCE AND NOTES
SCALE: N.T.S.

LANDSCAPE TABULATIONS

LANDSCAPE REQUIRED
1 ROW OF SHADE TREES 50' O.C. AND SCREENING SHRUBS AT HEAD IN PARKING
NOT APPLICABLE - EXISTING CONDITIONS

STREET BUFFER
2 CANOPY AND 4 ACCENT TREES PER 100 LF
NOT APPLICABLE - EXISTING CONDITIONS

PARKING LOT LANDSCAPING
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE, IF LOT OVER 20,000 SF 1 LG TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF FROM TREE TO SPACE.

PARKING SPACES
PARKING LANDSCAPE REQUIRED (350 SF X 5% =) 21 NEW SPACES
PARKING LANDSCAPE PROVIDED 368 SF
PARKING TREES REQUIRED (21 SPACES / 10 =) 2 TREES
PARKING TREES PROVIDED P 2 TREES

AMOUNT OF LANDSCAPING
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE, DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER, 1 TREE PER 750 SF OF DRY LAND AREA.
NOT APPLICABLE

TREE MITIGATION
AS SHOWN ON TREESCPE PLANS

ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.

TREES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
1	(Circle with cross)	LIVE OAK	Live Oak	Quercus virginiana	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
2	(Circle with cross and dots)	RED OAK	Shumard Red Oak	Quercus shumardii	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
5	(Circle with cross and dots)	PISTACHIO	Chinese Pistachio	Pistacia chinensis	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
6	(Circle with cross and dots)	D. WILLOW	Desert Willow	Chilopsis linearis	4'-5" ht, 3'-4" spread, container
3	(Circle with cross and dots)	T. YAUPON	Yaupon Holly	Ilex vomitoria	3/4" caliper per trunk, 5 trunk min., 8' Ht./4" spread, container, male, tree form, limbed to 4'
5	(Circle with cross and dots)	RED BUD	Oklahoma Red Bud	Cercis canadensis 'oklahoma'	6' Ht./3' spread min., container only single straight trunk, bushy specimen

SHRUBS

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
106	(Circle with cross and dots)	D.Y. HOLLY	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gallon, 16" Ht./14" spread, bushy, full to ground
32	(Circle with cross and dots)	RED YUCCA	Red Yucca	Hesperaloe parviflora	5 gallon
83	(Circle with cross and dots)	D. FOUNTAIN	Dwarf Fountain Grass	Fennislatum atapeurilades hamlin'	1 gallon
15	(Circle with cross and dots)	COREOPSIS	Lanceleaf Coreopsis	Coreopsis lanceolata	1 gallon
87	(Circle with cross and dots)	STIPA	Mexican Feathergrass	Stipa tenuissima	1 gallon
37	(Circle with cross and dots)	B. DAISY	Blackfoot Daisy	Melampodium leucanthum	1 gallon
4	(Circle with cross and dots)	D. MAIDEN	Dwarf Maiden Grass	Miscanthus sinensis 'Adagio'	5 gallon

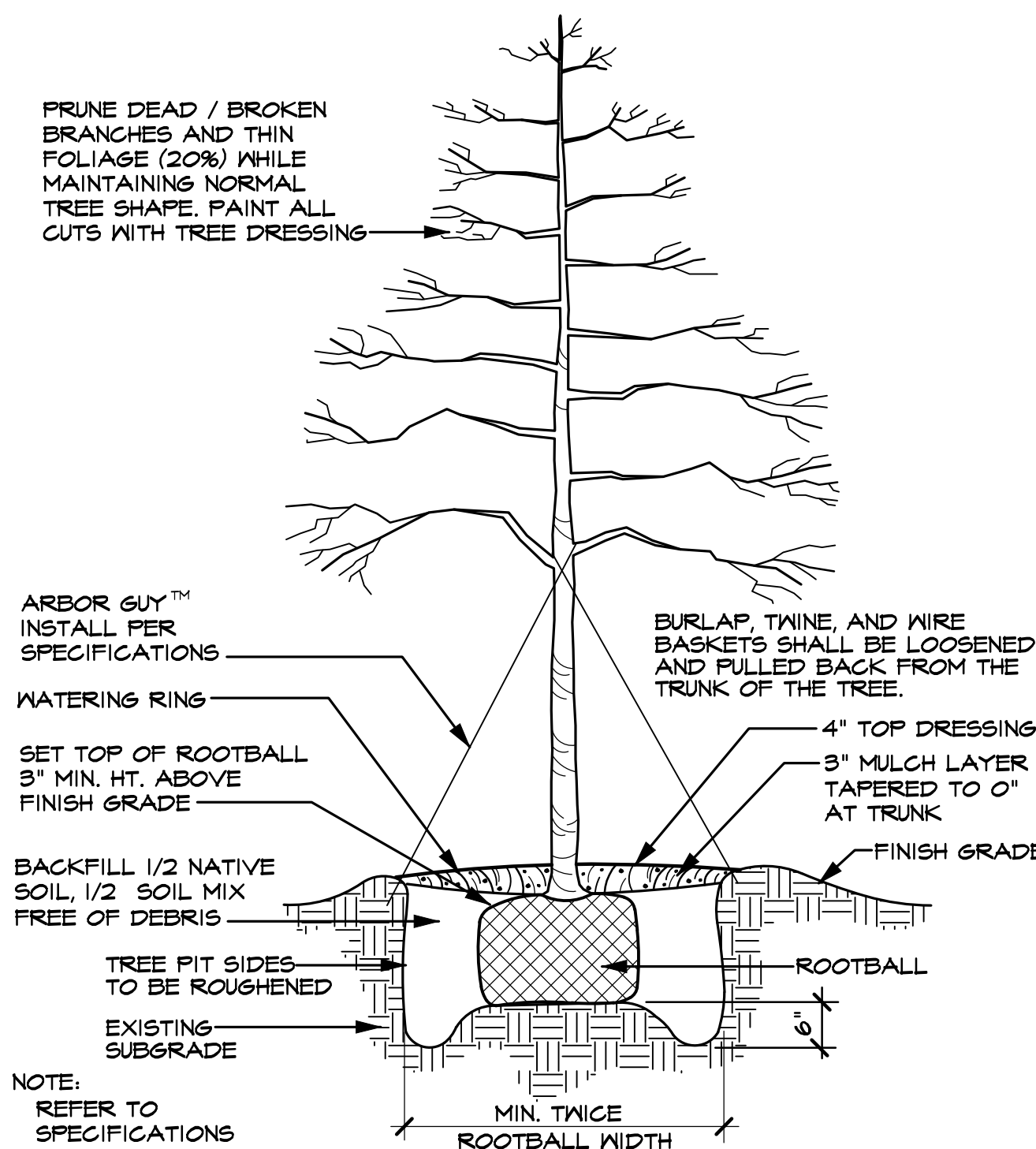
GROUND COVER

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(Square with dots)	SOD	Common Bermuda Grass	Cynodon dactylon	Solid Rolled Sod refer to specifications

MISCELLANEOUS

AS SHOWN	(Line)	EDGE	L.F. Ryerson steel edge 1/8" x 4" with 12" stakes, green in color
51	(Circle with dots)	BOULDER	600 to 800 pounds each BROWN MOSS BOULDERS
AS SHOWN	(Square with dots)	T.B. ROCK	3'-5" Texas Black rock, 6"-8" deep. Provide weed barrier mat below rock. Separate all grass/soil areas with edging. Rock to cover all weed barrier mat.

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES



TREE PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.

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**UTLEY MIDDLE SCHOOL
PHASE 2**

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LANDSCAPE DETAILS

JOB 23035
DATE 05.13.2024
SHEET

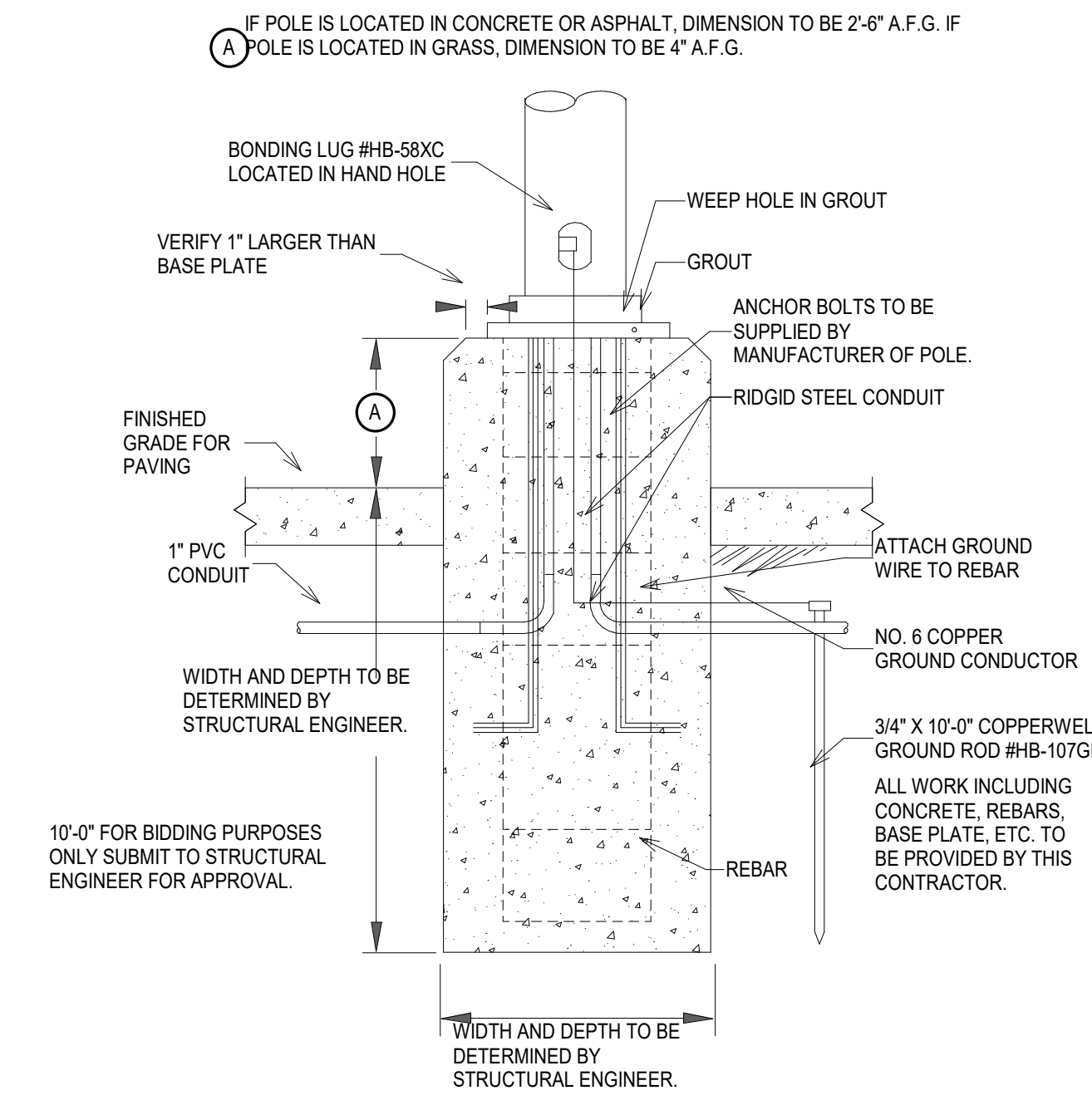
L 5

PHOTOMETRIC SITE PLAN GENERAL NOTES

1. THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
2. ALL CALCULATIONS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
3. LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

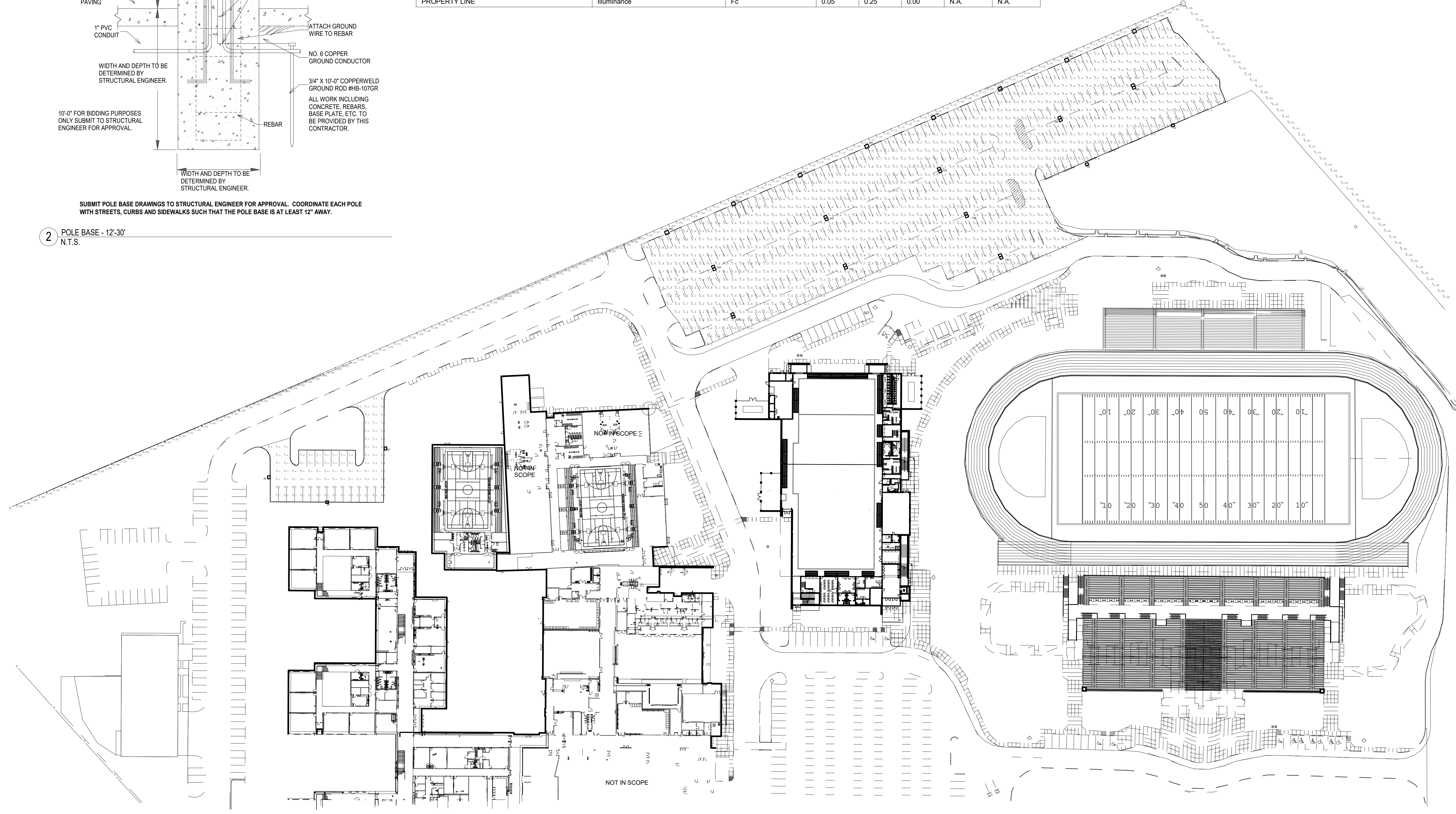
Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	Mounting Height
□	9	Z2D	Back-Back	DSX1 LED P5 40K T2M MVOLT	25
□	8	ZBC	Single	DSX1 LED P5 40K 80CRI BLC4	25
□	3	ZF	Single	DSX1 LED P5 40K TFTM MVOLT	25
□	2	Z2	Single	DSX1 LED P5 40K T2M MVOLT	25

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT - PLAN EAST_Planar	Illuminance	Fc	2.55	6.3	0.3	8.50	21.00
PARKING LOT - PLAN NORTH_Planar	Illuminance	Fc	1.79	2.8	0.3	5.97	9.33
PROPERTY LINE	Illuminance	Fc	0.05	0.25	0.00	N.A.	N.A.



SUBMIT POLE BASE DRAWINGS TO STRUCTURAL ENGINEER FOR APPROVAL. COORDINATE EACH POLE WITH STREETS, CURBS AND SIDEWALKS SUCH THAT THE POLE BASE IS AT LEAST 12" AWAY.

2 POLE BASE - 12'-30" N.T.S.



ISSUES		
1	01.12.2024	60% PROGRESS SET
2	05.17.2024	90% PROGRESS SET
3		
4		
5		
6		
7		
8		
9		
10		

REVISIONS		

REVIEW ONLY
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

Engineer: Catherine L. Hollenshead
License State: TX, License No.: 103572
Date: 5/15/2024 12:10:39 PM

UTLEY MIDDLE SCHOOL PHASE 2
1201 T L Townsend Dr., Rockwall, TX 75087

PHOTOMETRIC SITE PLAN

JOB 23035
DATE 05.17.2024
SHEET ES01-02.2

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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

EMA Engineering & Consulting, Inc.
Tyler | Austin | Houston | El Paso
DFW | San Antonio | Shreveport
Texas Firm Registration No. F-893
Louisiana Firm Registration No. EF-5818
www.EMAengineer.com

DESIGN SOLVE ENHANCE

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

UTLEY MIDDLE SCHOOL - EXTERIOR MATERIALS

EXTERIOR - 1201 T L TOWNSEND DR., ROCKWALL, TX



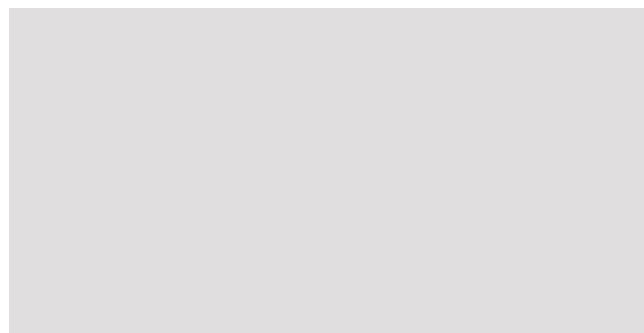
BR-1 FIELD BRICK



BR-2 ACCENT BRICK



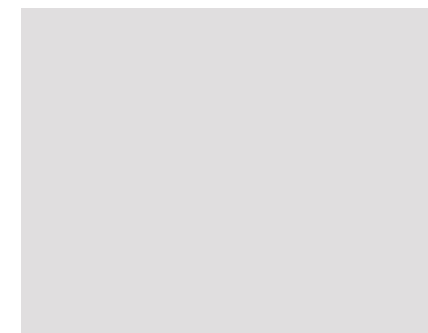
GL-1 INSULATED EXTERIOR GLAZING UNIT



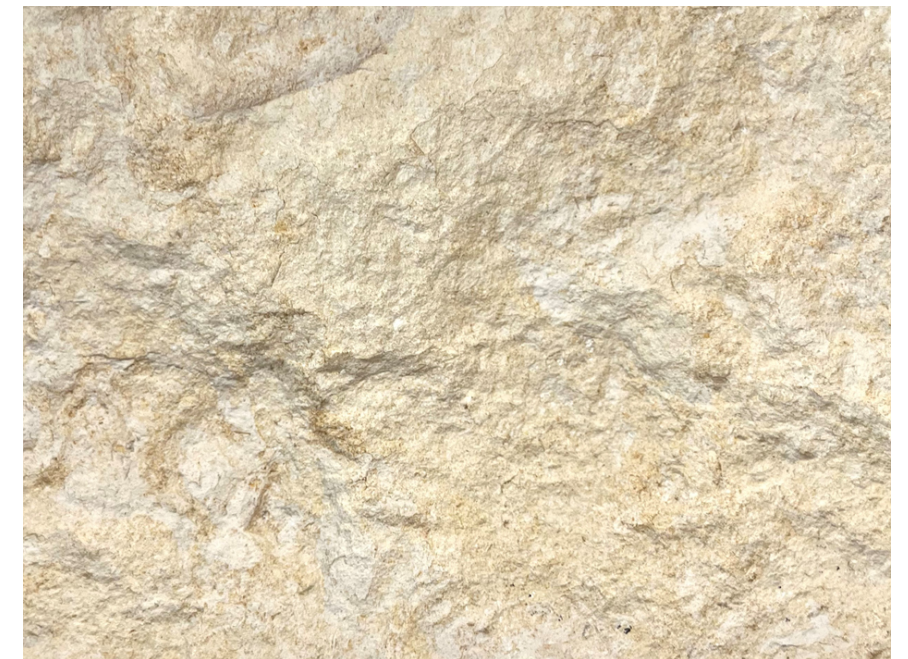
AL-1 STOREFRONT ALUMINUM



MP-1 METAL PANEL



MP-2 METAL PANEL



ST-1 STONE

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/24/2024

PROJECT NUMBER: SP2024-024
PROJECT NAME: Amended Site Plan for 1201 T L Townsend
SITE ADDRESS/LOCATIONS: 1201 N T L TOWNSEND DR, ROCKWALL, 75087

CASE CAPTION: Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Tim Lyssy of the Rockwall Independent School District (RISD) for the approval of a Site Plan for an existing Public or Private Secondary School (i.e. Herman Utley Middle School) on a 41.649-acre parcel of land identified as Lot 1, Block 1, Herman E. Utley Middle School Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1201 T. L. Townsend Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	05/24/2024	Needs Review

05/24/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for an existing Public or Private Secondary School (i.e. Herman Utley Middle School) on a 41.649-acre parcel of land identified as Lot 1, Block 1, Herman E. Utley Middle School Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1201 T. L. Townsend Drive, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

I.3 For reference, include the case number (SP2024-024) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replat after the engineering process to establish the new easements.

M.5 Site Plan:

- (1) Please provide the total lot or site area. (Subsection 03.04. A, of Article 11)
- (2) Please provide the perimeter dimensions of the site. (Subsection 03.04. A, of Article 11)
- (3) Please provide the proposed building square footage of the building. (Subsection 03.04. A, of Article 11)
- (4) Please provide the distance between buildings. (Subsection 03.04. A, of Article 11)
- (5) Please indicate the building setback along N. TL Townsend Boulevard. (Subsection 03.04. A, of Article 11)
- (6) Please indicate any existing or proposed fire hydrants. (Subsection 03.04. B, of Article 11)
- (7) Please provide clarification on the gravel indicated on the northwest side (plan view) of the building on the site plan. Gravel is not an approved material for paving, parking, and/or storage. (Subsection 03.04. B, of Article 11)
- (8) Please indicate that the gates for the transformer yard will be self-latching. (Subsection 03.04. B, of Article 11)
- (9) Please removed all signage from the plans. Signage is covered through a separate permitting process. (Subsection 06.02. F, of Article 05)
- (10) Not all of the wrought iron or decorative fencing was given a defined height. Please note that it cannot exceed eight (8) feet. (Subsection 08.02 F, of Article 08)
- (11) Please clarify if there will be any ground mounted utility equipment besides what is shown in the transformer yard. (Subsection 01.05. C, of Article 05)
- (12) Please provide a note that there will be no outside storage or above ground storage tanks. Given that the subject property is located within the IH-30 Overlay District, outside storage is expressly prohibited. (Subsection 01.05, of Article 05)

(13) Please clarify if there is to be a new dumpster enclosure. If so, please provide a dumpster detail that meet the UDC standards. (Subsection 01.05, of Article 11)

(14) Please provide a parking table. (Subsection 05.03, of Article 06)

(15) Artificial Turf is not an allowed Landscape Material. This will require a variance from the Planning and Zoning Commission. (Section 04, Article 08). However, absolutely no artificial turf is allowed in any City right-of-way or easements. (Section 4.02, Coverage, of Chapter 4, Vegetation, of the Engineering Standards of Design and Construction)

M.6 Treescap Plan:

(1) Total inches of mitigation required is 146 which equates to \$14,600. Staff has provided an updated spreadsheet. Ornamental trees do not count toward mitigation. Removed all indication of mitigating for removed crepe myrtles and yaupon hollies. (Section 05, Article 09)

(2) An Alternative Tree Mitigation Settlement Agreement will need to be requested from the Planning and Zoning Commission and City Council as part of this site plan request. Per the UDC up to 20% of the mitigation balance may be purchased. In this case, your mitigation balance is 178-inches, which allows up to 35.6-inches to be purchased. Based on the landscape plan, 146-inches are being purchase, or 82%. Since you are requesting to pay this remaining balance in excess of 20%, you must request approval from the Planning and Zoning Commission and City Council. (Section 05, of Article 09)

M.7 Photometric Plan:

(1) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one-foot candle. (Subsection 03.03.C, of Article 07) Please only include photometric readings for proposed light fixtures.

M.8 Building Elevations:

(1) Please removed the windows and doors from the material percentage calculations. (Subsection 06.02. C, of Article 05)

(2) Please label exterior elevations with the adjacent public right of way for reference. (Subsection 06.02. C, of Article 05)

(3) The building does not meet the primary and secondary building articulation standards. Specifically, the projection standards. This will require an exception from the Planning and Zoning Commission. (Subsection 04.01.C.1, of Article 05)

(4) The building does not meet the four-sided architecture requirement. Specifically, the building is not the same on all four sides and there is not a row of trees planted at the back of the building. This will require a variance from the Planning and Zoning Commission. (06.02.C.5, of Article 05)

(5) The building does not meet the 20% stone requirement of the overlay district. This will require a variance from the Planning and Zoning Commission. (Subsection 05.01.A.1.a.1, of Article 05)

(6) The building does not meet the 90% masonry requirement of the overlay district. This will require a variance from the Planning and Zoning Commission. (05.01.A.1, of Article 05)

(7) Please crosshatch the RTUs on the building elevations. They must be fully screened by the parapets. (Subsection 06.02. C, of Article 05)

M.9 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on June 4, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 4, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 11, 2024 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

(1) Planning & Zoning Work Session meeting will be held on May 28, 2024.

(2) Planning & Zoning meeting/public hearing meeting will be held on June 11, 2024.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	05/22/2024	Approved w/ Comments

- 05/22/2024: 1. Required to show ex. and proposed water and sewer on site plan.
2. Chain-link not allowed.
 3. Temporary fence?
 4. Not allowed in easement.
 5. Show existing and proposed water and sanitary sewer on landscape plans.
 6. Ex. 8" water line in a 15' easement. No structures, trees, or fences within this easement.
 7. Is this the fire hydrant? No fences or structures within easement or 10' of water line/fire hydrant.
 8. What is this line work represent.
 9. Ex. 8" water line
 10. Ex. fire hydrant
 11. Move tree 5' from fire hydrant and water line
 12. Storm must be at least 10' away from this existing water main. Cannot be within water easement.
 13. Retaining wall cannot be within water easement.
 14. Ex. 8" water line in a 15' easement. No structures, trees, or fences within this easement
 15. Not asphalt existing and without designated parking...just gravel and outdoor storage. Will need to be concrete
 16. Storage area is currently all gravel.
 17. No fences within easement. Must span no poles within 5' either side of the water line. Must obtain exact water line location by potholing prior to fence installation.
 18. Water line in blue.
 19. 10' Separation
 20. Hydrant lead must be 10' from storm and building.
 21. Sewer and water conflicts.
 22. Show location of FDC and fire line.
 23. Need to show a meter, meter vault and testable backflow preventer.
 24. Will you have any additional irrigation meters?
 25. Storm is in building.
 26. Show FDC Location and fire line.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway)
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences allowed within easements.
- The site will need to be platted if changing existing easements or adding new easements,
- All utilities must be underground.
- Additional comments may be provided at the time of Engineering review.

Drainage Items:

- Existing flow patterns must be maintained.
- Grate inlets are not allowed.
- Dumpster areas to drain to oil/water separator and then to the storm lines.

Water and Wastewater Items:

- Show proposed and existing utilities on site plan.
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- There is an existing 8" private sewer main located in the back of the property available for use.
- There is an existing 8" water main wrapping around the site available for use.
- What will be done with the ex. 6" private sewer that will be under the new building?
- Any public water lines must be a minimum of 8", looped, and must be centered within a 20' wide easement.
- Any utility connection made underneath of an existing public roadway must be completed by dry bore. Opening cutting will not be allowed.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.

Roadway Paving Items:

- Must meet City driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if needed) to be 24' wide and in a platted easement.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	05/23/2024	Approved w/ Comments

05/23/2024: All temporary and permanent fencing require a separate permit
All signage requires a separate permit and no signs are allowed in easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/22/2024	Approved w/ Comments

05/22/2024: Gates that cross fire lane shall be permitted through the fire department prior to install.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/20/2024	Approved w/ Comments

05/20/2024: Recommendation only:

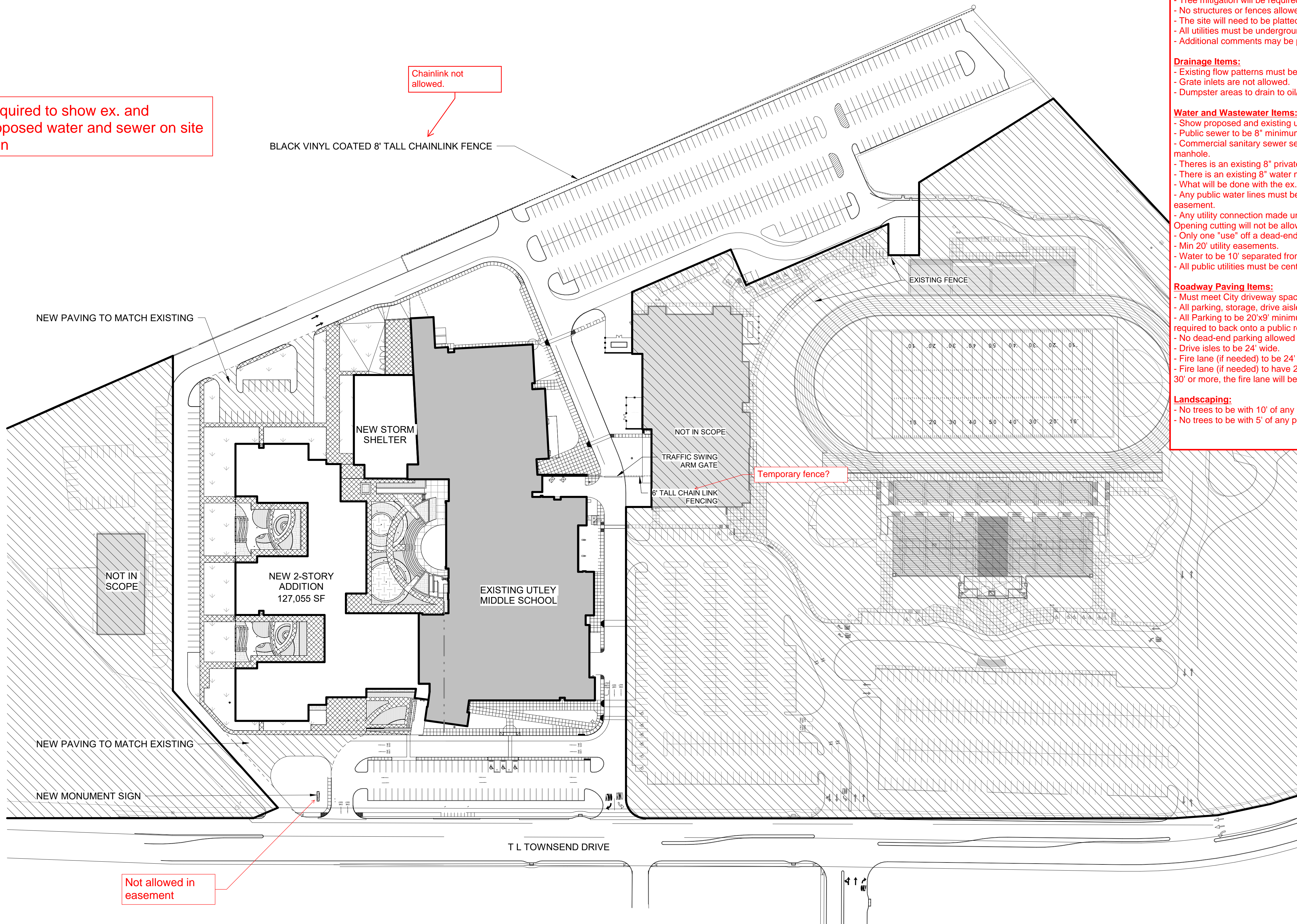
Common Bermuda is no longer the best choice if sodding:

Best turfgrasses for water conservation, cold, shade, wear tolerances are Tif Tuf, Toahoma 31, Northbridge and Latitude 36

Required to show ex. and proposed water and sewer on site plan

Chainlink not allowed.

BLACK VINYL COATED 8" TALL CHAINLINK FENCE



- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway)
 - Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
 - No signage is allowed within easements or ROW.
 - Tree mitigation will be required for the removal of any existing trees on site.
 - No structures or fences allowed within easements.
 - The site will need to be platted if changing existing easements or adding new easements.
 - All utilities must be underground.
 - Additional comments may be provided at the time of Engineering review.
- Drainage Items:**
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- Show proposed and existing utilities on site plan.
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- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

01 SITE PLAN - PHASE 2
1" = 80'-0"

OVERALL SITE PLAN



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.



Planning & Zoning Commission, Chairman

Director of Planning and Zoning

MATCHLINE SEE SHEET L3

CORGAN

CORGAN
www.corgan.com
T: 214.748.2000

ISSUES

1	05/13/2023	PERMIT SET
2		
3		
4		
5		
6		

REVISIONS

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, L.L.C.

11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

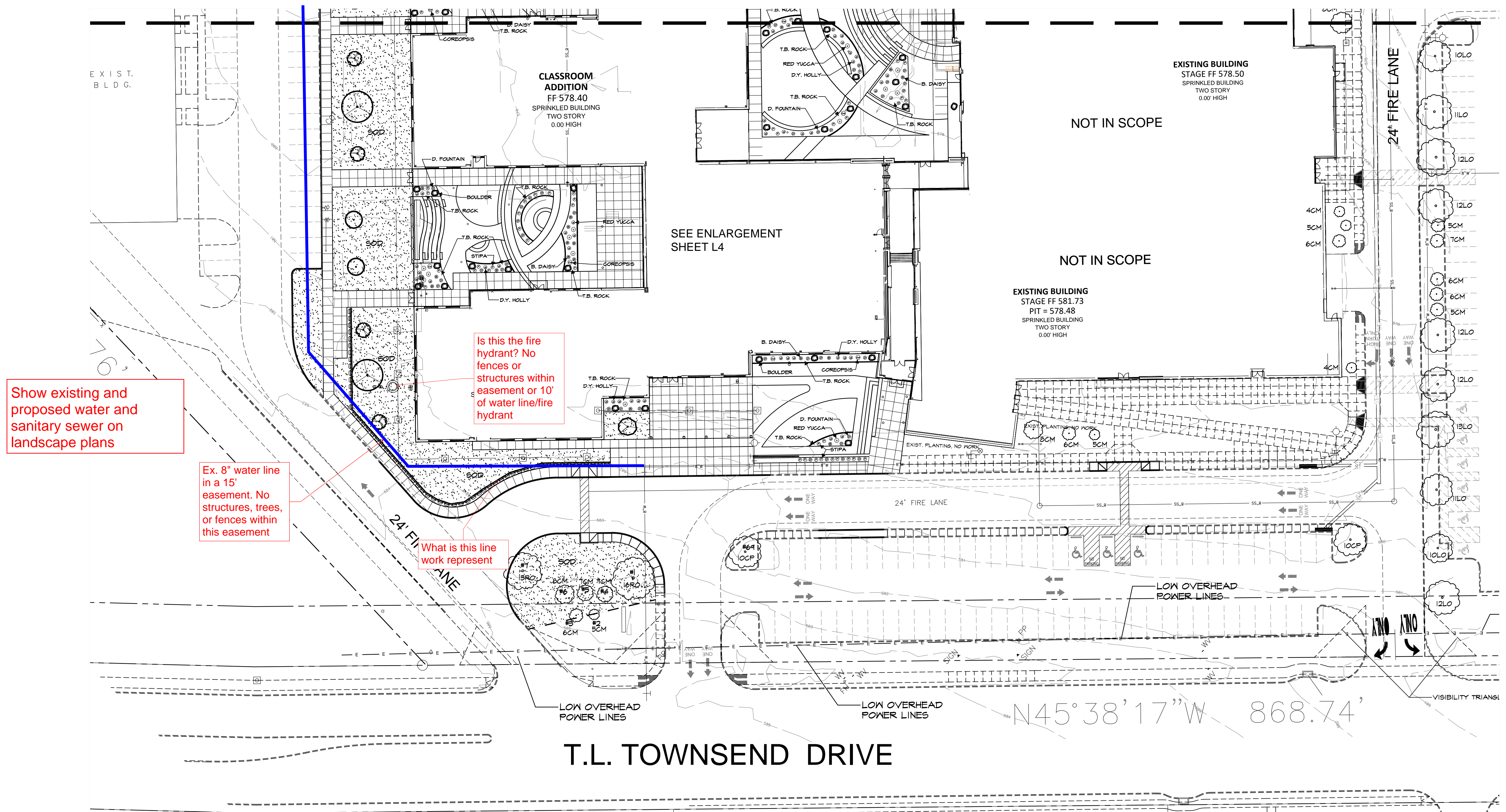
**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

**LANDSCAPE PLAN
AREA A**

JOB 23035
DATE 05.13.2024
SHEET

L 2



HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2024.
WITNESS OUR HANDS, this ___ day of ___, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

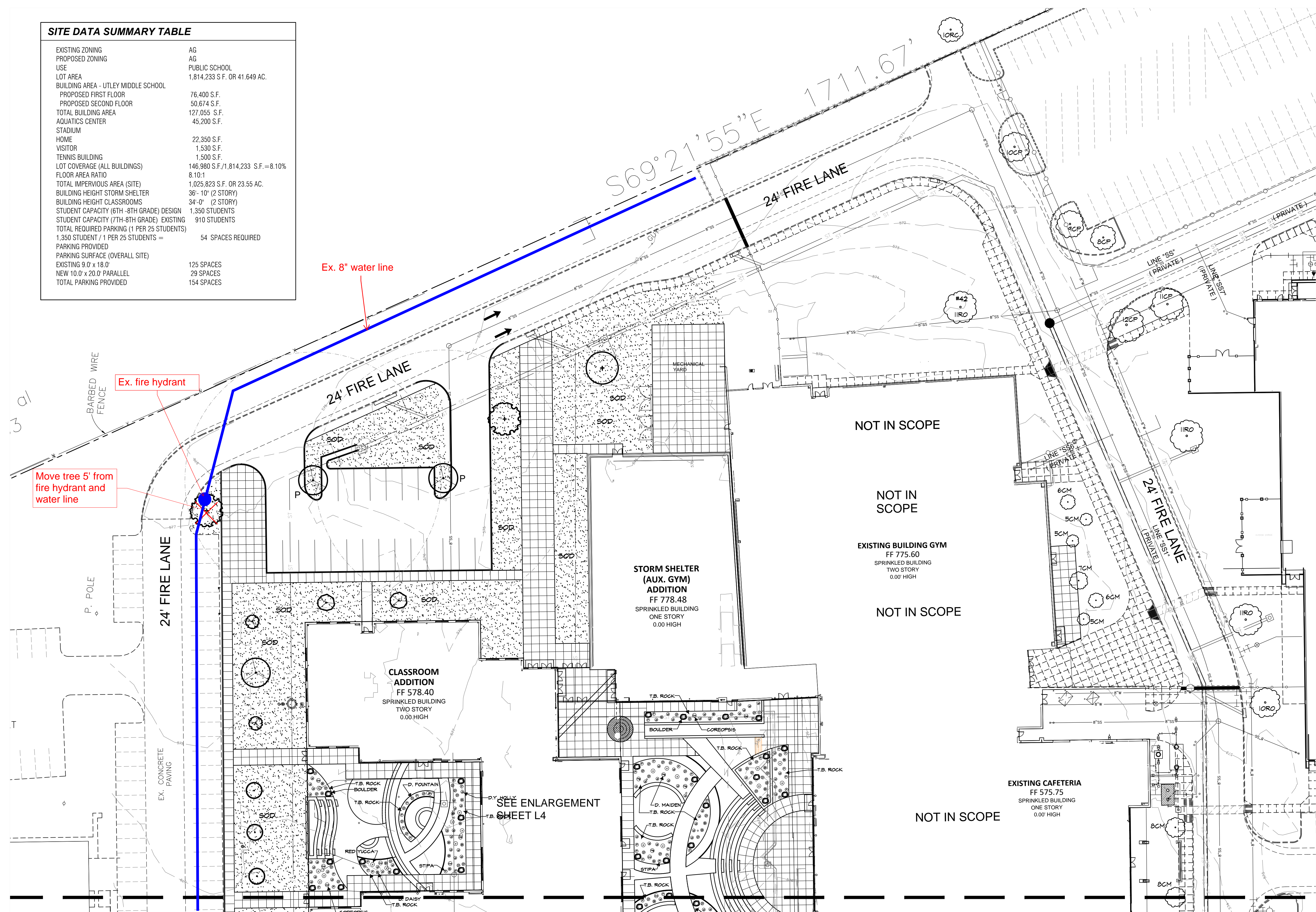
OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: WILLIAM SALEE

SURVEYOR:
KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(817) 889-6500
CONTACT: ROBERT HANSEN

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-___

SITE DATA SUMMARY TABLE	
EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	1,814,233 S.F. OR 41.649 AC.
BUILDING AREA - UTLEY MIDDLE SCHOOL	
PROPOSED FIRST FLOOR	76,400 S.F.
PROPOSED SECOND FLOOR	50,674 S.F.
TOTAL BUILDING AREA	127,055 S.F.
AQUATICS CENTER	45,200 S.F.
STADIUM	
HOME	22,350 S.F.
VISITOR	1,530 S.F.
TENNIS BUILDING	1,500 S.F.
LOT COVERAGE (ALL BUILDINGS)	146,980 S.F./1,814,233 S.F. = 8.10%
FLOOR AREA RATIO	8.10:1
TOTAL IMPERVIOUS AREA (SITE)	1,025,823 S.F. OR 23.55 AC.
BUILDING HEIGHT STORM SHELTER	36'-10" (2 STORY)
BUILDING HEIGHT CLASSROOMS	34'-0" (2 STORY)
STUDENT CAPACITY (6TH-8TH GRADE) DESIGN	1,350 STUDENTS
STUDENT CAPACITY (7TH-8TH GRADE) EXISTING	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	54 SPACES REQUIRED
1,350 STUDENT / 1 PER 25 STUDENTS =	
PARKING PROVIDED	
PARKING SURFACE (OVERALL SITE)	125 SPACES
EXISTING 9.0' x 18.0'	29 SPACES
NEW 10.0' x 20.0' PARALLEL	154 SPACES
TOTAL PARKING PROVIDED	

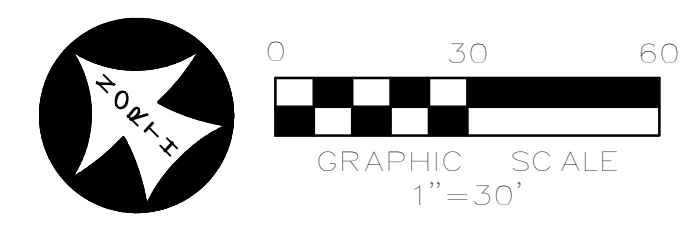


Move tree 5' from fire hydrant and water line

Ex. 8" water line

Ex. fire hydrant

MATCHLINE SEE SHEET L2



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2024.
WITNESS OUR HANDS, this ____ day of _____, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: WILLIAM SALEE

SURVEYOR:
KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(817) 889-6500
CONTACT: ROBERT HANSEN

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-____

CORGAN
CORGAN
www.corgan.com
T: 214.748.2000

ISSUES	
1	05/13/2023 PERMIT SET
2	
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REVISIONS	

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
PHASE 2**
1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE PLAN
AREA B

JOB 23035
DATE 05.13.2024
SHEET

GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL CONSULT ALL UTILITY COMPANIES AND VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DEMOLITION. REMOVAL AND RELOCATION OF ALL UTILITY LINES, METERS, VALVES, ETC. SHALL BE PERFORMED PER REQUIREMENTS OF THE CITY OF ROCKWALL AND UTILITY COMPANIES. ANY DAMAGE TO PUBLIC UTILITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CORRECT.
2. ALL DEMOLITION AND CONSTRUCTION TO BE KEPT WITHIN THE BOUNDARIES OF THE SITE OR AS DESIGNATED BY CONSTRUCTION ENGINEER. ANY DAMAGE BY CONTRACTOR TO ADJOINING PROPERTIES OR ITEMS NOT IN THE DESIGNATED DEMOLITION AREA SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CORRECT.
3. REMOVE ALL EXISTING UNDERGROUND UTILITIES, CAP AS REQUIRED. BACK FILL AND COMPACT PER CITY OF ROCKWALL SPECIFICATIONS.
4. REMOVE SURFACE PAVING AS NEEDED TO COMPLETE PAVING PLAN.
5. REMOVE EXISTING SIGNAGE, INCLUDING POSTS AND FOUNDATIONS.
6. REMOVE ANY OTHER ITEMS NOT INDICATED ABOVE BUT WHICH MUST BE DEMOLISHED TO COMPLETE PROJECT AS DESIGNATED BY SITE PLAN.
7. DEMOLITION CONTRACTOR TO CONSULT WITH ARCHITECT OR OWNER ON SALVAGING OR RELOCATING ANY AND ALL PLAYGROUND EQUIPMENT PRIOR TO REMOVING ITEM FROM THE SITE.
8. CONTRACTOR TO USE TREE PROTECTION ON ALL EXISTING TREES THAT ARE TO REMAIN.
9. CONTRACTOR SHALL REMOVE ALL SPRINKLER HEADS AND EQUIPMENT IN THE AREAS OCCUPIED BY THE CONSTRUCTION AND STAGING AREAS. TERMINATE/CAP OFF ALL LINES AS REQUIRED. ALL SPRINKLER HEADS AND EQUIPMENT SHALL BE GIVEN TO THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ALL NECESSARY CHANGES TO THE IRRIGATION SYSTEM THAT ARE REQUIRED TO KEEP THE REMAINING AREAS OUTSIDE THE CONSTRUCTION AREAS IN WORKING ORDER. THIS INCLUDES RELOCATION OF ANY VALVES, PIPING, CONTROLS, ETC. TO OPERATE THE SYSTEM.
10. NO STRUCTURES MAY BE DEMOLISHED WITHOUT A PERMIT FROM THE BUILDING DEPARTMENT. A SEPARATE PERMIT IS REQUIRED FOR EACH STRUCTURE, PAVING, WALLS, FENCES, UTILITIES, AND FLAT WORK CAN BE REMOVED WITHOUT A PERMIT. TREES MAY REQUIRE A PERMIT BASED ON THEIR DESIGNATION PER CITY TREE ORDINANCE.

DEMOLITION LEGEND (TO BE REMOVED)

- CONCRETE SIDEWALK AND CURB TO BE REMOVED AND HAULLED OFF.
- BUILDING REMOVED IN ITS ENTIRETY.
- CONCRETE CURB TO BE REMOVED AND HAULLED OFF.

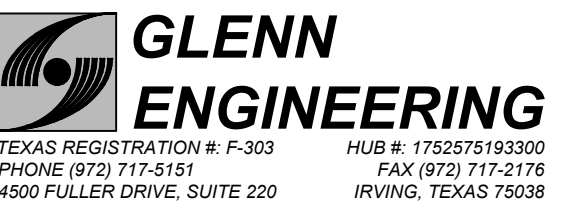
CORGAN

CORGAN
401 N. Houston St., Dallas, TX 75202
T: 214.748.2000

ISSUES

1	05/17/24	90% CD SET
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REVISIONS



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 35059, ON MAY 17, 2024. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Date of issue:
05.17.2024

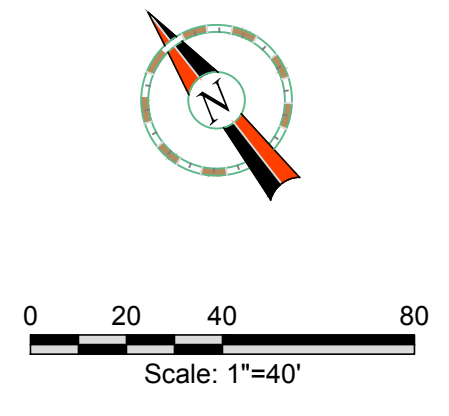
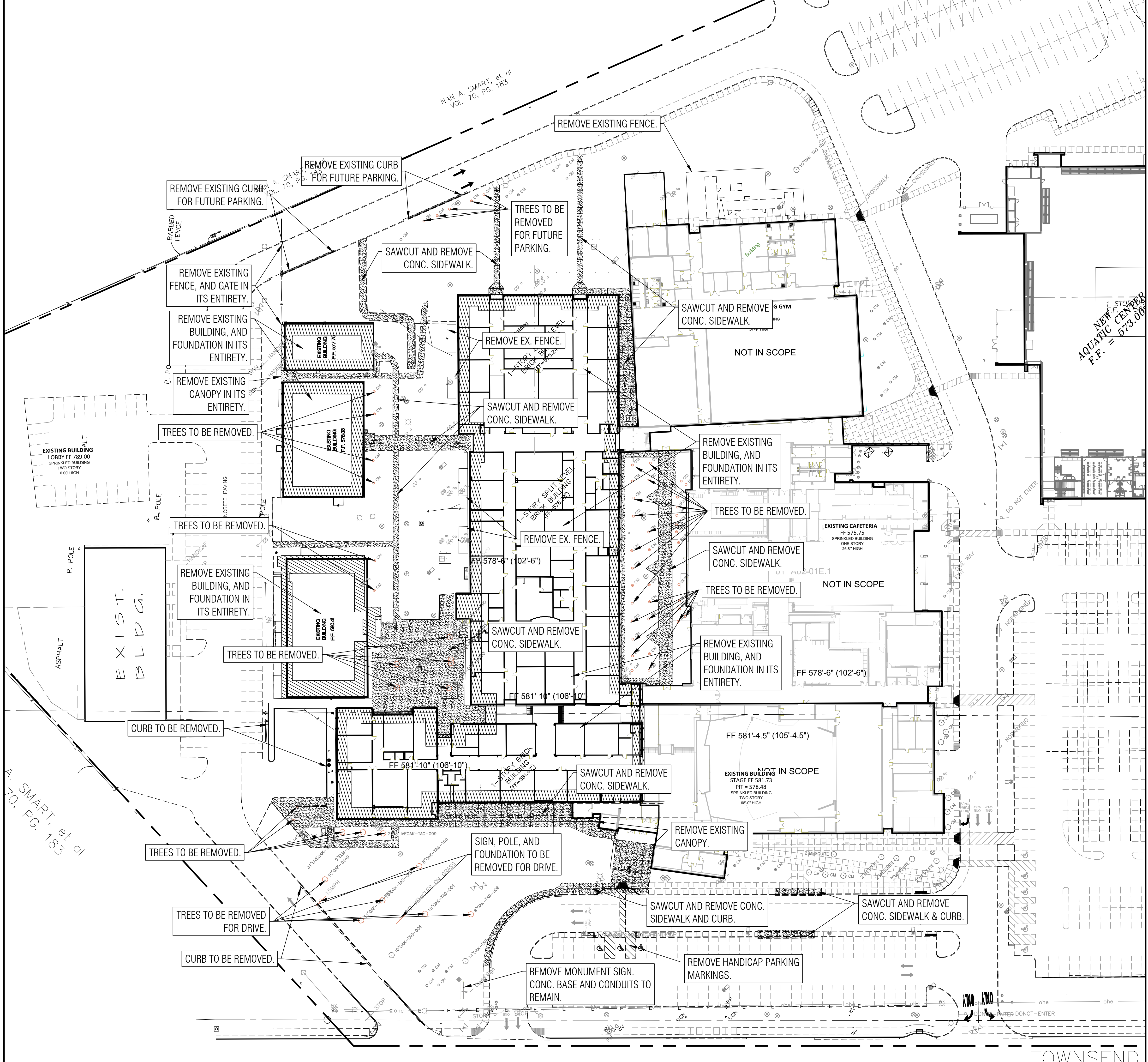
UTLEY MIDDLE SCHOOL PHASE 2

1201 T. L. Townsend DR., Rockwall, TX 75087

DEMOLITION PLAN

JOB 23035
DATE 05.17.2024
SHEET

C02.00



NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

GENERAL SITE NOTES

1. ALL DIMENSIONS ARE FROM FACE OF CURB
2. ALL FIRE LANES, PARKING STRIPING, HANDICAP PARKING STRIPING & SIGNAGE ARE TO BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS, TYP.
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8. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
9. TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT DESIGN TO THE CITY OF ROCKWALL ENGINEERING DEPARTMENT FOR REVIEW.
10. MARK FIRE LANES TO THE CITY OF ROCKWALL SPECIFICATION, "NO PARKING FIRE LANE" EVERY 20' WHITE 4" LETTERS ON A 6" RED STRIPED BACKGROUND.
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14. ALL EXISTING CHAIN LINK FENCE IS TO BE REMOVED AND REPLACED WITH NEW FENCING.

PAVING LEGEND (EXISTING)

	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	PROPERTY LINE

BENCHMARKS

CITY OF ROCKWALL BENCHMARK COR-4
ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON NORTH SIDE OF DALTON RD. + 210' WEST OF INTERSECTION OF SH 205 AND DALTON RD. + 10' NORTH OF NORTH CURB LINE.
N: 7040336.992 E: 2592422.633 ELEVATION 541.67

CITY OF ROCKWALL BENCHMARK COR-12
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHERLY SIDE OF RIDGE RD. WEST AT THE NORTHERLY CORNER OF A CURB BULLET + 250' NORTHEAST OF THE INTERSECTION OF RIDGE ROAD WEST AND TWIN CREEK LANE.
N: 7037197.891 E: 2592384.786 ELEVATION 497.13

ONSITE BENCHMARK
CAPPED IRON ROD LABELED "BOWMAN CONTROL"
N: 7038623.314 E: 2600421.475 ELEVATION 537.556

ONSITE BENCHMARK
CAPPED IRON ROD LABELED "BOWMAN CONTROL"
N: 7037384.481 E: 2600384.414 ELEVATION 543.14

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CORGAN

CORGAN
401 N. Houston St., Dallas, TX 75202
T: 214.748.2000

ISSUES

1	05/17/24	90% CD SET
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REVISIONS

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GLENN ENGINEERING
TEXAS REGISTRATION # F-303 HUB # 1752579193300
PHONE: 972.717.5151 FAX: 972.717.2176
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

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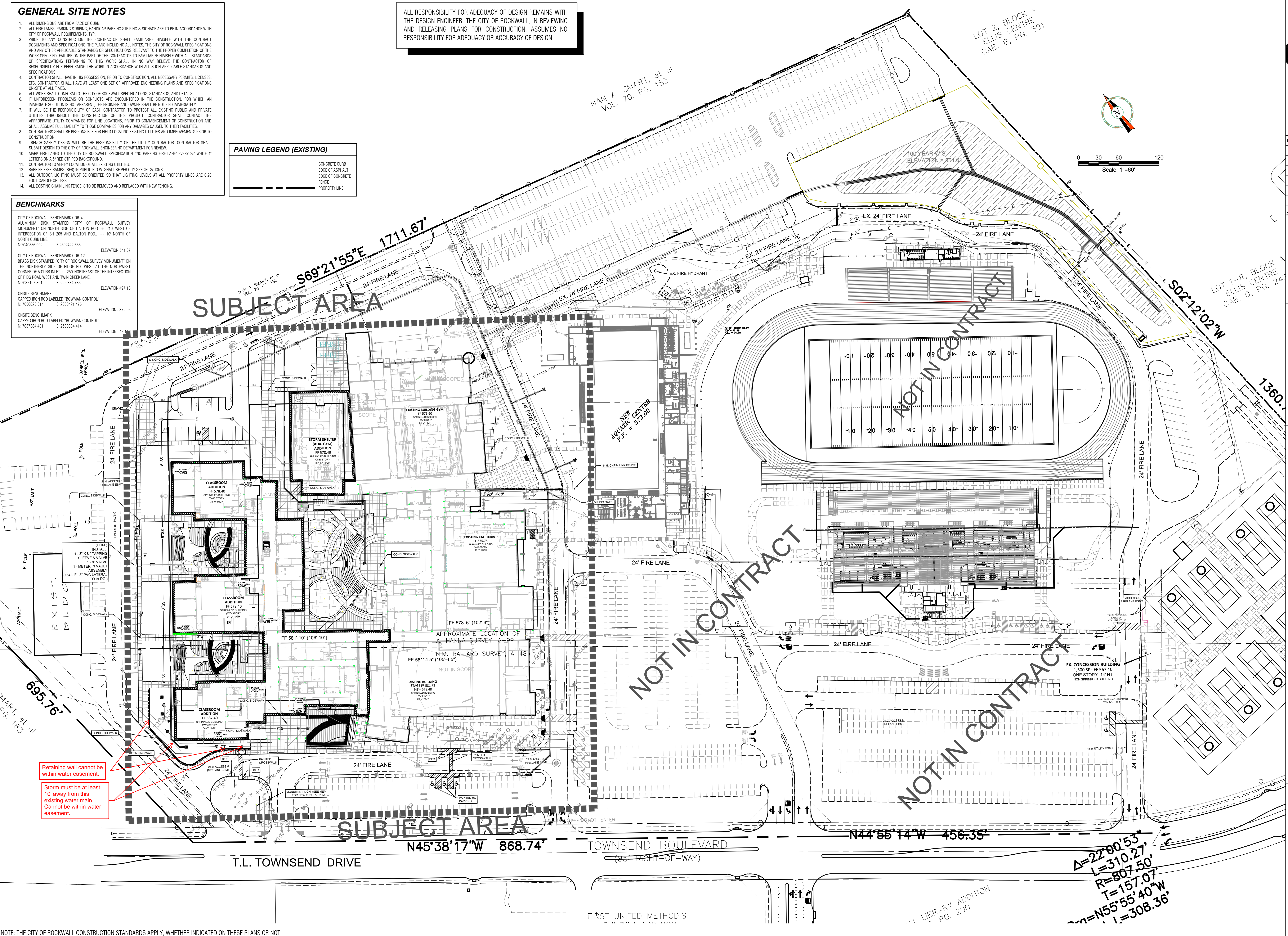
**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T. L. Townsend DR., Rockwall, TX 75087

OVERALL SITE PLAN

JOB 23035
DATE 05.17.2024
SHEET

C03.00



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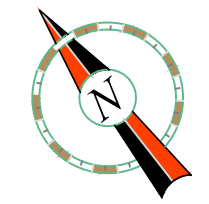
R:\ROCKWALL\UTLEY 2023 - ADDITIONS AND RENOVATIONS\BIDSET\2023 UTLEY PH2 REVD ENG 3.dwg
SMART, et al
VOL. 70, PG. 183

$\Delta=22^{\circ}00'53''$
 $L=310.27'$
 $R=807.50'$
 $T=157.07'$
 $\Delta=155^{\circ}55'40''W$
 $L=308.36'$

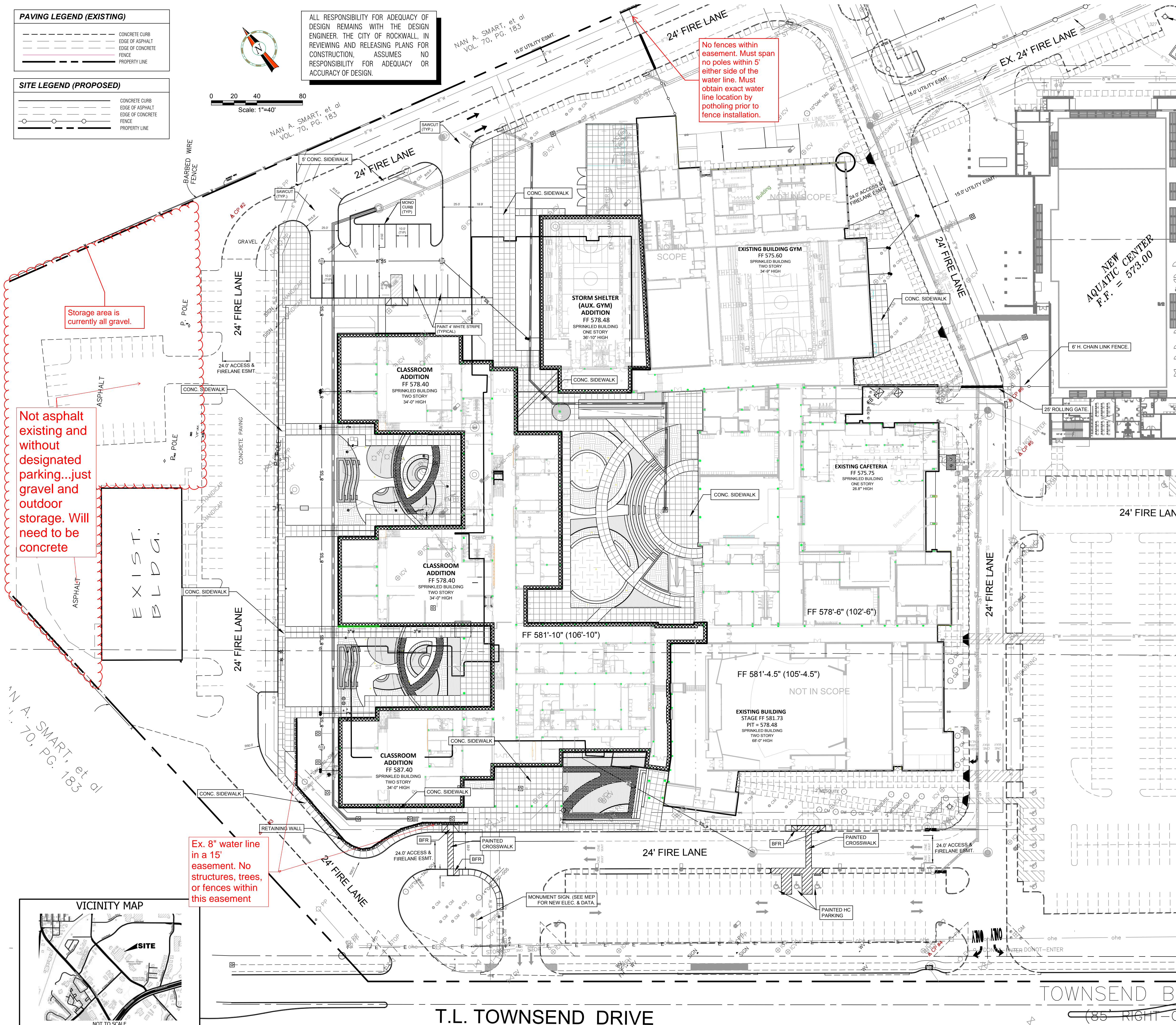
PAVING LEGEND (EXISTING)	
	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

SITE LEGEND (PROPOSED)	
	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

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Scale: 1"=40'



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SITE LEGEND (PROPOSED)

	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FIRE LANE
	ORNAMENTAL FENCE
	PROPERTY LINE
	(PRIVATE) 4" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/4 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
	(PRIVATE) 6" REINFORCED CONCRETE FIRE LANE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/4 REBARS ON 18" CENTERS EACH WAY OVER 6" LINE TREATED SUBGRADE PER SOILS REPORT
	(PUBLIC) 10" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/4 REBARS ON 18" CENTERS EACH WAY OVER 6" LINE TREATED SUBGRADE PER SOILS REPORT
	(PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MIX W/3 REBARS ON 18" CENTERS EACH WAY COLOR 1 OVER SUBGRADE PER SOILS REPORT
	(PRIVATE) 7" REINFORCED CONCRETE NON FIRE LANE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/4 REBARS ON 18" CENTERS EACH WAY OVER SUBGRADE PER SOILS REPORT
	(PRIVATE) STAMPED 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MIX W/3 REBARS ON 18" CENTERS EACH WAY COLOR 1 PER GEOTECHNICAL REPORT
	(CITY) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MIX W/3 REBARS ON 18" CENTERS EACH WAY COLOR 1 PER GEOTECHNICAL REPORT
	TURF, COLOR A
	TURF, COLOR B
	PLANTING AREA RE. LANDSCAPE

6.9.2 Portland Cement Concrete (PCC) Pavement
 Following subgrade improvement as recommended in Section 6.9.1, the following PCC (reinforced) pavement sections are recommended in Table F.

Paving Type and/or Area	TABLE F Recommended PCC Pavement Sections	
	Subgrade Thickness, Inches	PCC Thickness, Inches
Parking, Areas Subjected Exclusively to Passenger Vehicle Traffic	Scarified and Compacted, 6	5
Drive Lanes & Fire Lanes, Bus Lanes, Areas Subjected to Light Volume Truck Traffic	Lime Modified, 6	6
Dumpster & Truck Traffic Areas, Areas Subjected to Moderate Volume Truck Traffic	Lime Modified, 6	7

NOTE: SEE ALPHA TESTING REPORT NO. G223259 FOR COMPLETE RECOMMENDATIONS.
 APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2024.
 WITNESS OUR HANDS, THIS ____ day of _____, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning
HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
 M.N. BALLARD SURVEY, ABSTRACT NO. 48
 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD, 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087, CONTACT: WILLIAM SALEE
 SURVEYOR: KMCE, Inc., 17774 PRESTON ROAD DALLAS, TEXAS 75252, (972) 889-6500, CONTACT: ROBERT HANSEN
 ENGINEER: GLENN ENGINEERING CORP., 4500 FULLER DR. IRVING, TEXAS 75038, (972) 717-5151, CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-000

CORGAN
 CORGAN
 401 N. Houston St., Dallas, TX 75202
 T. 214.748.2000

ISSUES		
1	05/17/24	90% CD SET
REVISIONS		

GLENN ENGINEERING
 TEXAS REGISTRATION # F-303 HUB # 1752575193300
 PHONE (972) 717-5151 FAX (972) 717-5176
 4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

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UTLEY MIDDLE SCHOOL PHASE 2

1201 T. L. Townsend DR., Rockwall, TX 75087

DETAILED
 SITE PLAN

JOB 23035
 DATE 05.17.2024
 SHEET

C03.01

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CORGAN

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T: 214.748.2000

ISSUES

1	05/17/24	90% CD SET
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REVISIONS

GLENN ENGINEERING
TEXAS REGISTRATION # F-303 HUB # 1752575193300
PHONE (972) 717-9161 FAX (972) 717-2176
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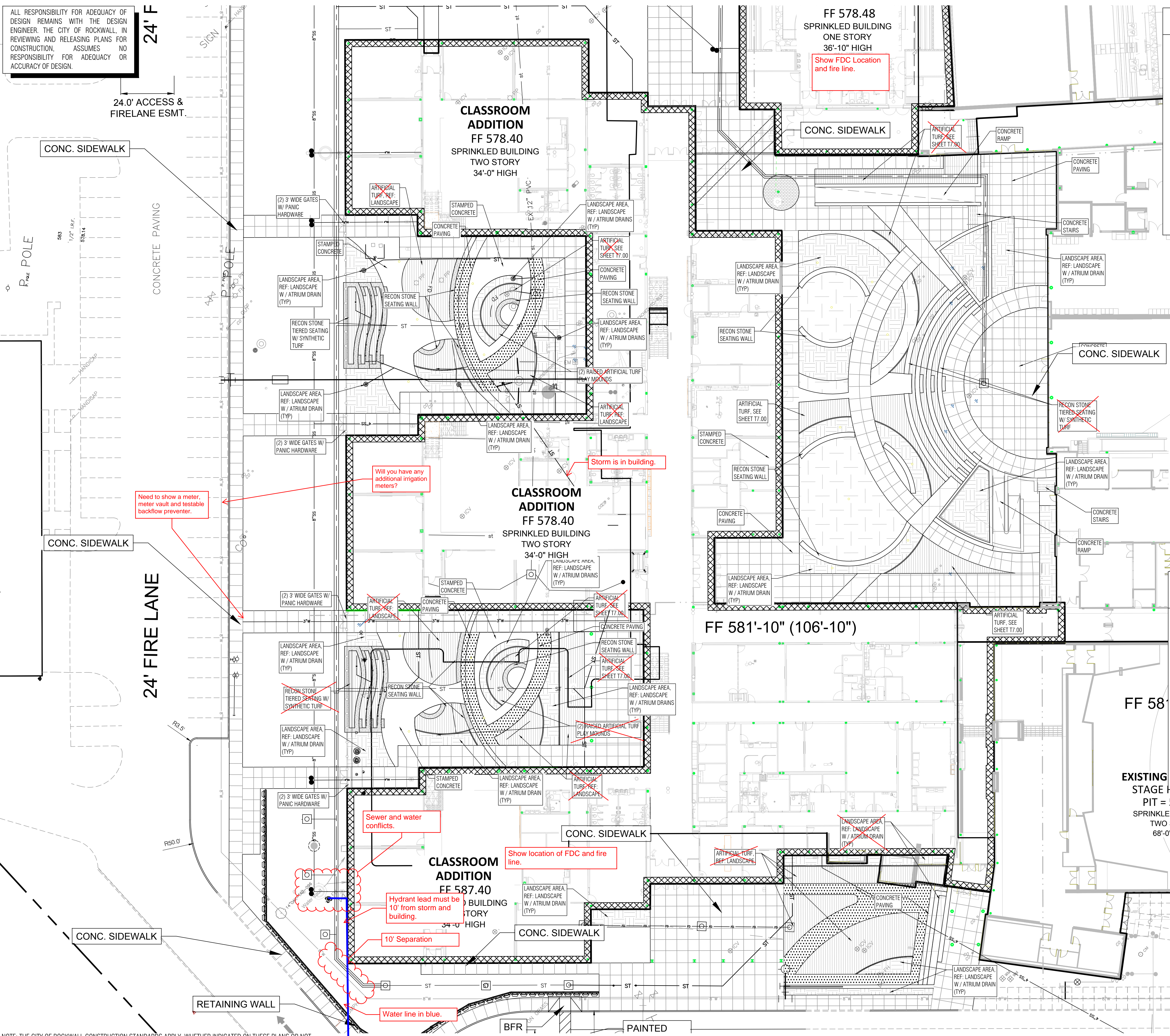
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UTLEY MIDDLE SCHOOL PHASE 2

1201 T. L. Townsend DR., Rockwall, TX 75087

SITE PLAN - COURTYARD

JOB 23035
DATE 05.17.2024
SHEET C03.02



PAVING LEGEND (EXISTING)

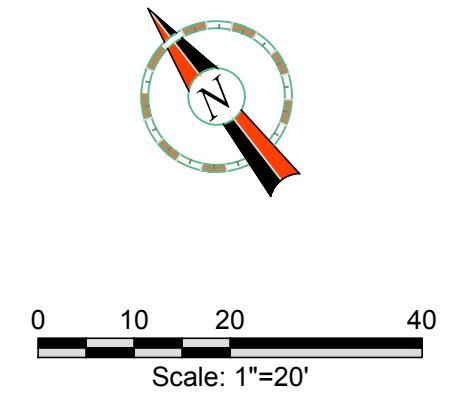
	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

SITE LEGEND (PROPOSED)

	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

COURTYARD LEGEND

	(PRIVATE) RECON STONE SEATING WALL.
	(PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR A OVER SUBGRADE PER SOILS REPORT.
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	ARTIFICIAL TURF (COLOR)
	LANDSCAPE AREA RE LANDSCAPE



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LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)

LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)

BFR

ACCESS & E ESMT.

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

REF: LANDSCAPE W / ATRIUM DRAINS (TYP)

(2) RAISED ARTIFICIAL TURF PLAY MOUNDS

ARTIFICIAL TURF, REF: LANDSCAPE

CONC. SIDEWALK

CONC. SIDEWALK

PAINTED CROSSWALK

BFR

MONUMENT SIGN. (SEE MEP FOR NEW ELEC. & DATA.)

ONE WAY

ONE WAY

ONE WAY

24' FIRE LANE

CONCRETE PAVING

LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)

~~ARTIFICIAL TURF, REF: LANDSCAPE~~

LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)

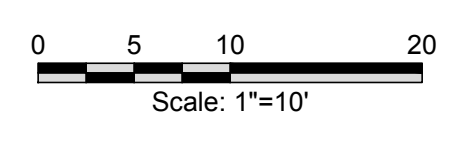
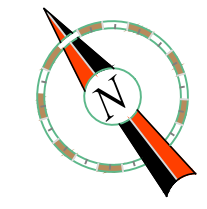
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PAVING LEGEND (EXISTING)

	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

SITE LEGEND (PROPOSED)

	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
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COURTYARD LEGEND

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ISSUES

1	05/17/24	90% CD SET

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TEXAS REGISTRATION # F-303
PHONE (972) 717-5151
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

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UTLEY MIDDLE SCHOOL PHASE 2
1201 T. L. Townsend DR., Rockwall, TX 75087

SITE PLAN - COURTYARD ENTRY

JOB 23035
DATE 05.17.2024
SHEET **C03.03**



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2024-024

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1201 T L Townsend Dr, Rockwall, TX 75087

SUBDIVISION Herman Utley Middle School

LOT 1

BLOCK 1

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE Public school

PROPOSED ZONING AG

PROPOSED USE Public school

ACREAGE 41.649

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Independent School District

APPLICANT Glenn Engineering

CONTACT PERSON Tim Lyssy - Director of Project Planning and Constructio

CONTACT PERSON Robert Howman

ADDRESS 1191 T.L. Townsend Drive

ADDRESS 4500 Fuller Dr. #220

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Irving, Tx 75038

PHONE 469-698-7031

PHONE 972.989.2174

E-MAIL tim.lyssy@rockwallisd.org

E-MAIL rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

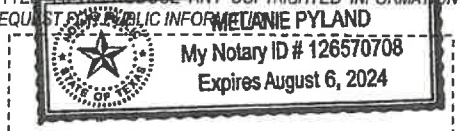
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TIM LYSSY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1500 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF MAY, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF MAY, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



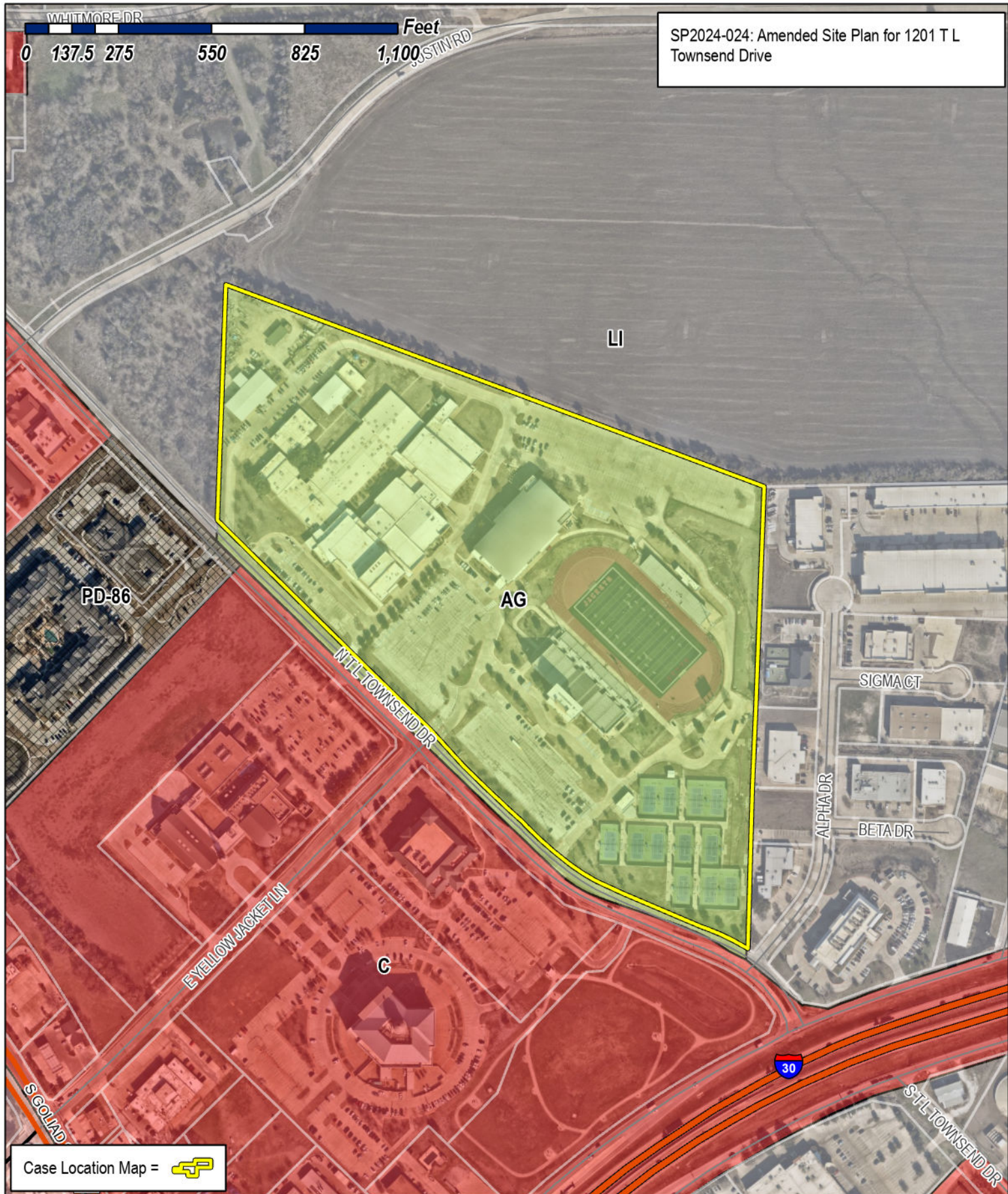
MY COMMISSION EXPIRES August 6, 2024


WHITMORE DR

Feet

0 137.5 275 550 825 1,100

SP2024-024: Amended Site Plan for 1201 T L Townsend Drive



Case Location Map = 

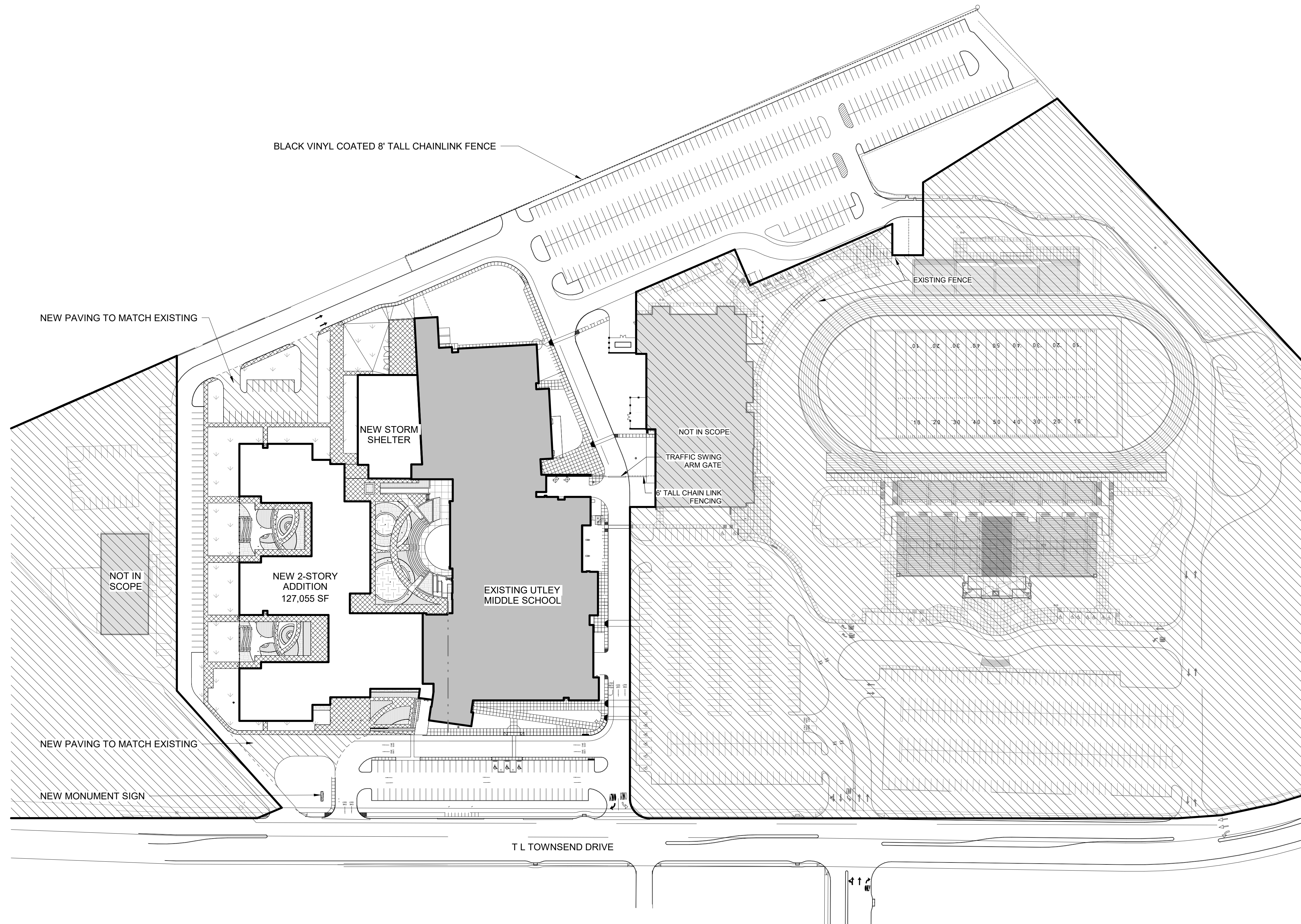


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





01 SITE PLAN - PHASE 2
1" = 80'-0"

OVERALL SITE PLAN



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.



Planning & Zoning Commission, Chairman

Director of Planning and Zoning

UTLEY MIDDLE SCHOOL - EXTERIOR MATERIALS

EXTERIOR - 1201 T L TOWNSEND DR., ROCKWALL, TX



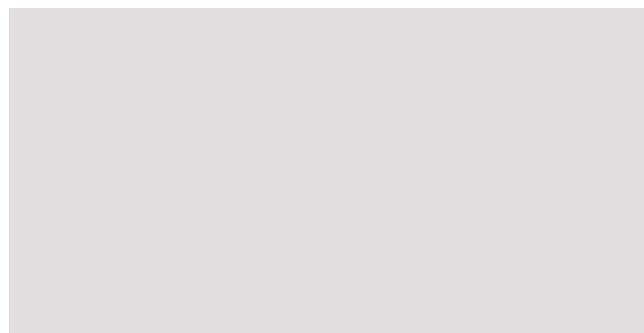
BR-1 FIELD BRICK



BR-2 ACCENT BRICK



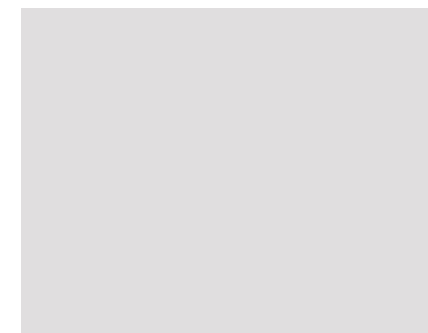
GL-1 INSULATED EXTERIOR GLAZING UNIT



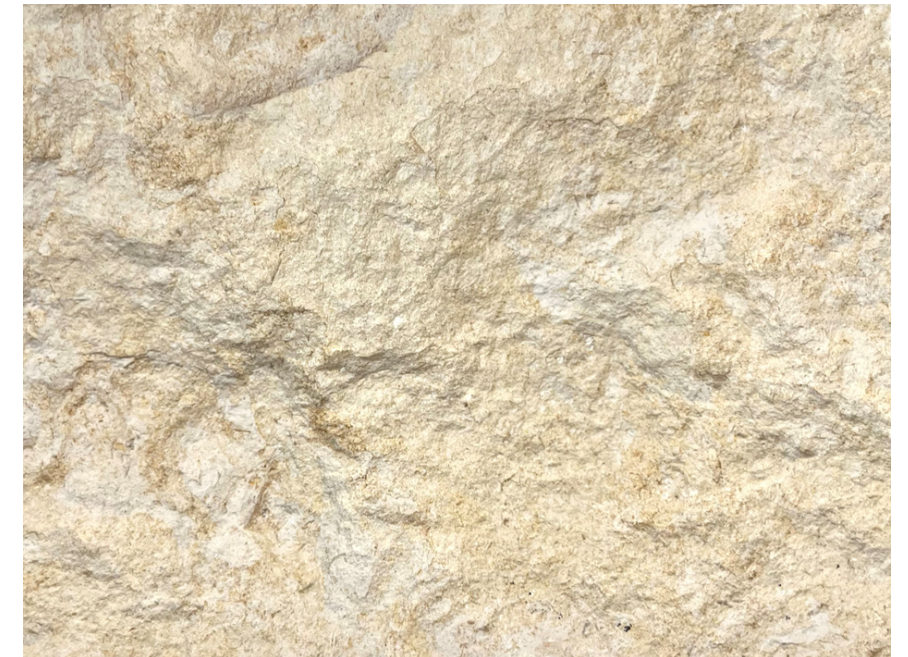
AL-1 STOREFRONT ALUMINUM



MP-1 METAL PANEL



MP-2 METAL PANEL



ST-1 STONE

SITE DATA SUMMARY TABLE	
EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	1,814,233 S.F. OR 41.649 AC.
BUILDING AREA - UTLEY MIDDLE SCHOOL	
PROPOSED FIRST FLOOR	76,400 S.F.
PROPOSED SECOND FLOOR	50,674 S.F.
TOTAL BUILDING AREA	127,075 S.F.
AQUATICS CENTER	45,200 S.F.
STADIUM	
HOME	22,350 S.F.
VISITOR	1,530 S.F.
TENNIS BUILDING	1,500 S.F.
LOT COVERAGE (ALL BUILDINGS)	146,980 S.F./1,814,233 S.F. = 8.10%
FLOOR AREA RATIO	8.10:1
TOTAL IMPERVIOUS AREA (SITE)	1,025,823 S.F. OR 23.55 AC.
BUILDING HEIGHT STORM SHELTER	36'-10" (2 STORY)
BUILDING HEIGHT CLASSROOMS	34'-0" (2 STORY)
STUDENT CAPACITY (6TH-8TH GRADE) DESIGN	1,350 STUDENTS
STUDENT CAPACITY (7TH-8TH GRADE) EXISTING	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	54 SPACES REQUIRED
1,350 STUDENT / 1 PER 25 STUDENTS =	
PARKING PROVIDED	
PARKING SURFACE (OVERALL SITE)	
EXISTING 9.0' x 18.0'	1,083 SPACES (Includes 31 HC Spaces)
NEW 10.0' x 20.0' PARALLEL	18 SPACES (Includes 1 HC Space)
TOTAL PARKING PROVIDED	1,101 SPACES

LANDSCAPE NOTES

LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD/HYDRO PER THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.

CORGAN

CORGAN
www.corgan.com
T: 214.748.2000

ISSUES	
1	05/13/2023 PERMIT SET
2	
3	
4	
5	
6	

REVISIONS	

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, LLC

11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

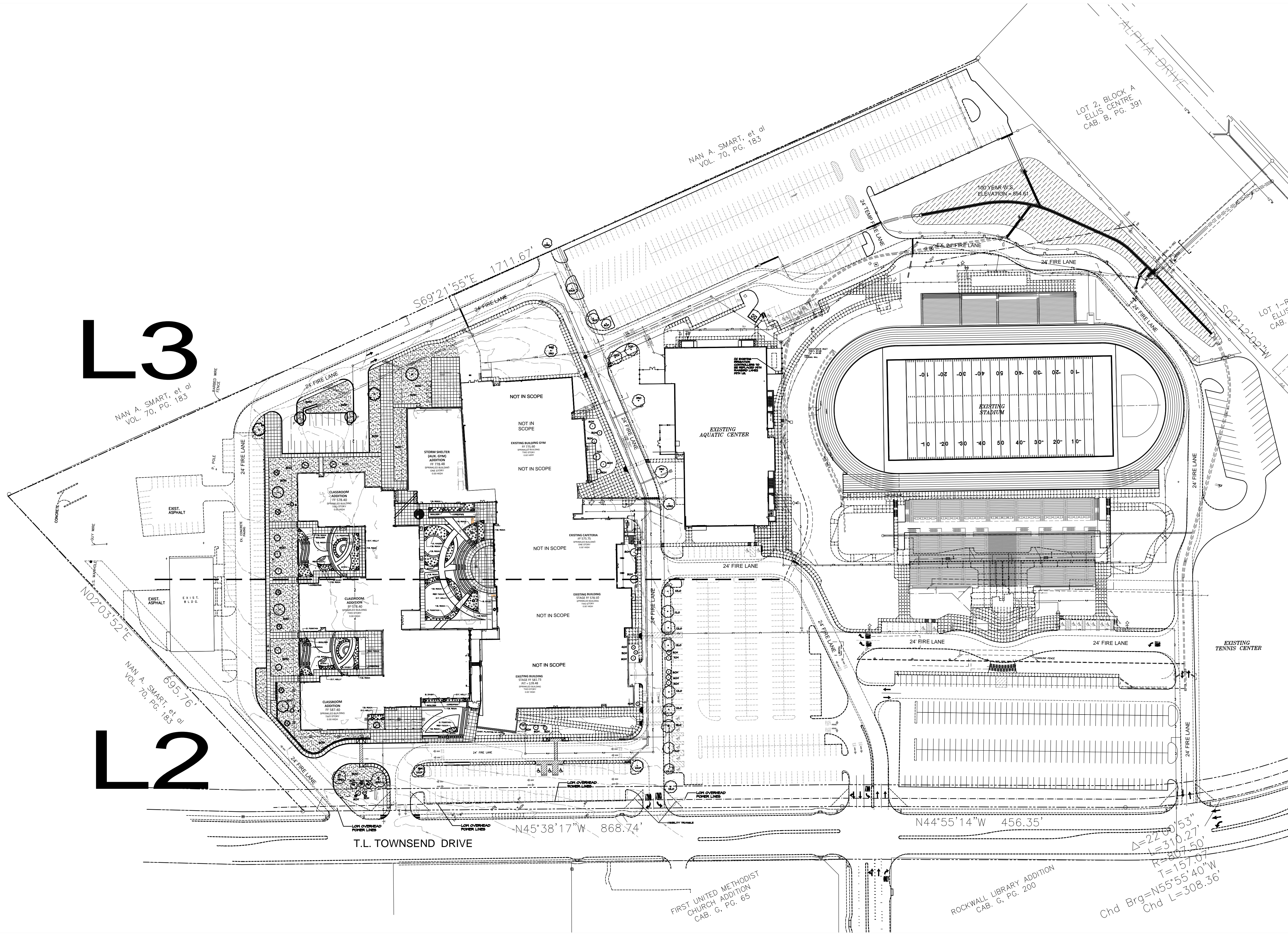
**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

OVERALL LANDSCAPE PLAN

**JOB 23035
DATE 05.13.2024
SHEET**

L 1



HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

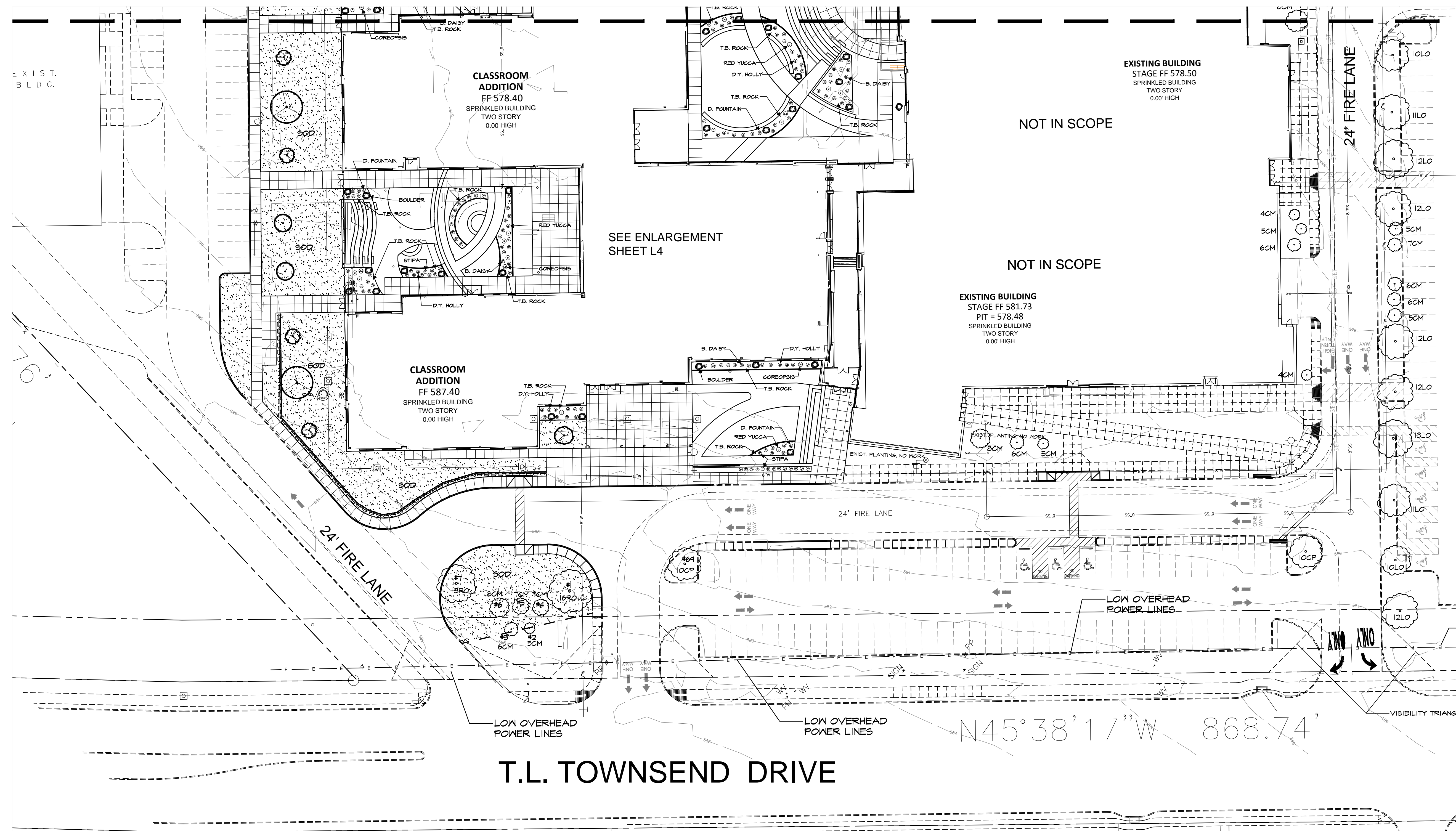
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2024.
WITNESS OUR HANDS, this ___ day of ___, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

OWNER/DEVELOPER: ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 (972) 771-0605 CONTACT: WILLIAM SALEE	SURVEYOR: KMCE, Inc. 17774 PRESTON ROAD DALLAS, TEXAS 75252 (817) 889-6500 CONTACT: ROBERT HANSEN	ENGINEER: GLENN ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUJO
---	---	--

CITY OF ROCKWALL CASE NO. SP2024-___

MATCHLINE SEE SHEET L3



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CORGAN
www.corgan.com
T: 214.748.2000

ISSUES	
1	05/13/2023 PERMIT SET
2	
3	
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REVISIONS	

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11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
PHASE 2**

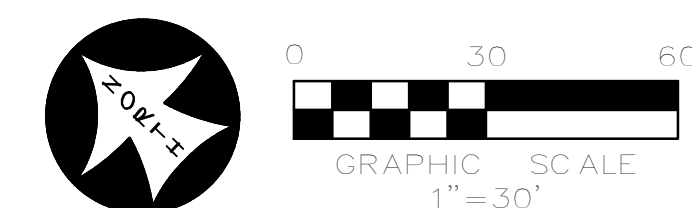
1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE PLAN
AREA A

JOB 23035
DATE 05.13.2024
SHEET

L 2

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LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



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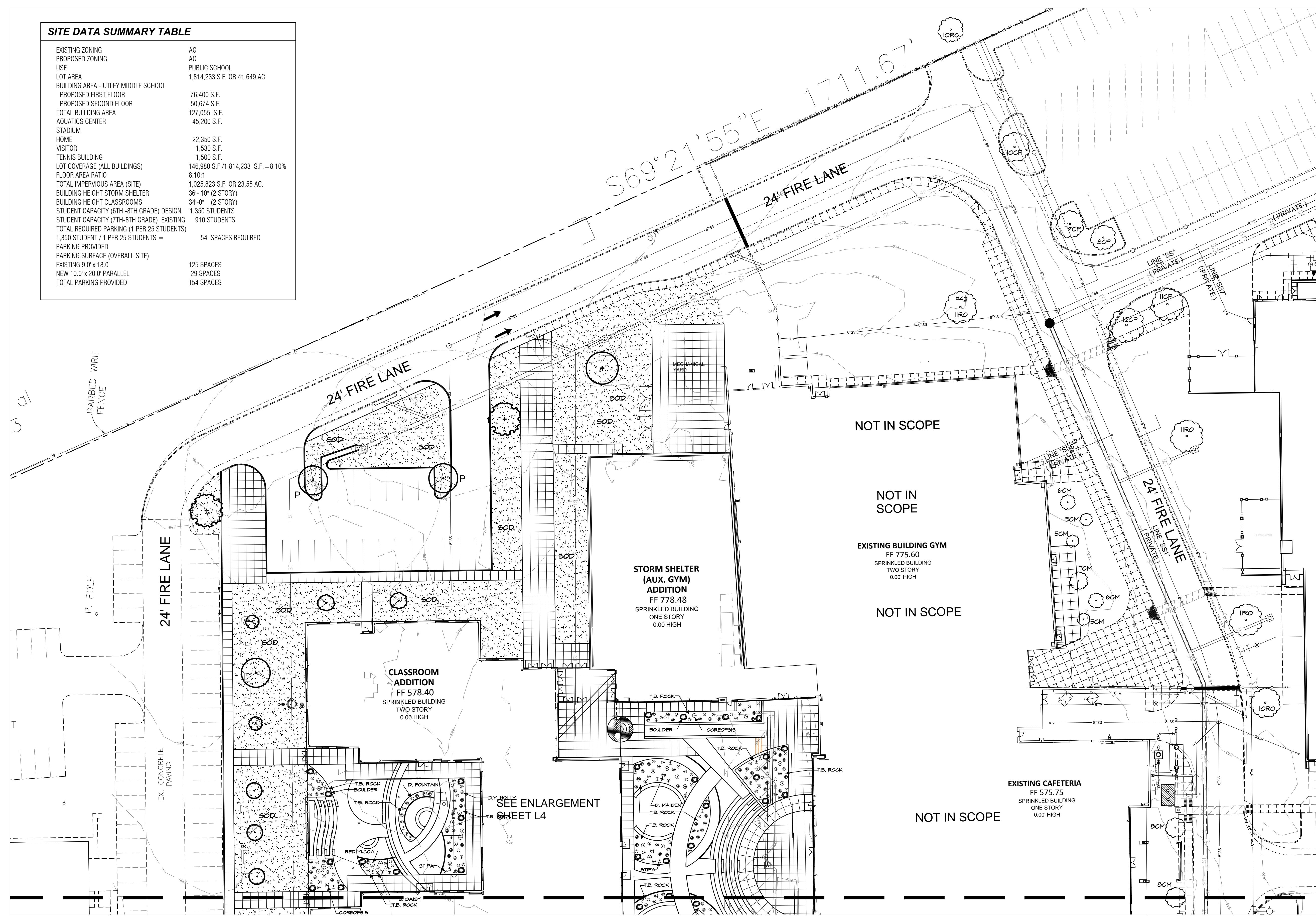
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ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: WILLIAM SALEE

SURVEYOR:
KMCE, Inc.
17774 PRESTON ROAD
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(817) 889-6500
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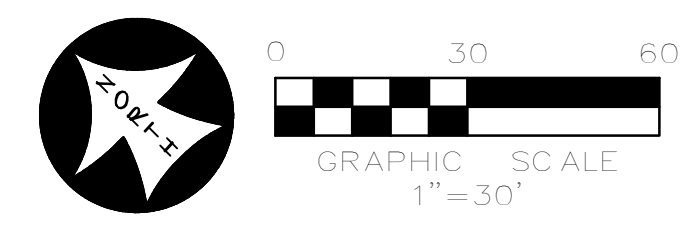
ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-___

SITE DATA SUMMARY TABLE	
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PROPOSED ZONING	AG
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STADIUM	
HOME	22,350 S.F.
VISITOR	1,530 S.F.
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STUDENT CAPACITY (7TH-8TH GRADE) EXISTING	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	54 SPACES REQUIRED
1,350 STUDENT / 1 PER 25 STUDENTS =	
PARKING PROVIDED	
PARKING SURFACE (OVERALL SITE)	125 SPACES
EXISTING 9.0' x 18.0'	29 SPACES
NEW 10.0' x 20.0' PARALLEL	154 SPACES
TOTAL PARKING PROVIDED	



MATCHLINE SEE SHEET L2



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2024.
WITNESS OUR HANDS, this ____ day of ____, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 (972) 771-0605 CONTACT: WILLIAM SALEE	SURVEYOR: KMCE, Inc. 17774 PRESTON ROAD DALLAS, TEXAS 75252 (817) 889-6500 CONTACT: ROBERT HANSEN	ENGINEER: GLENN ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUJO
--	--	---

CITY OF ROCKWALL CASE NO. SP2024-__

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www.corgan.com
T: 214.748.2000

ISSUES	
1	05/13/2023 PERMIT SET
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REVISIONS	

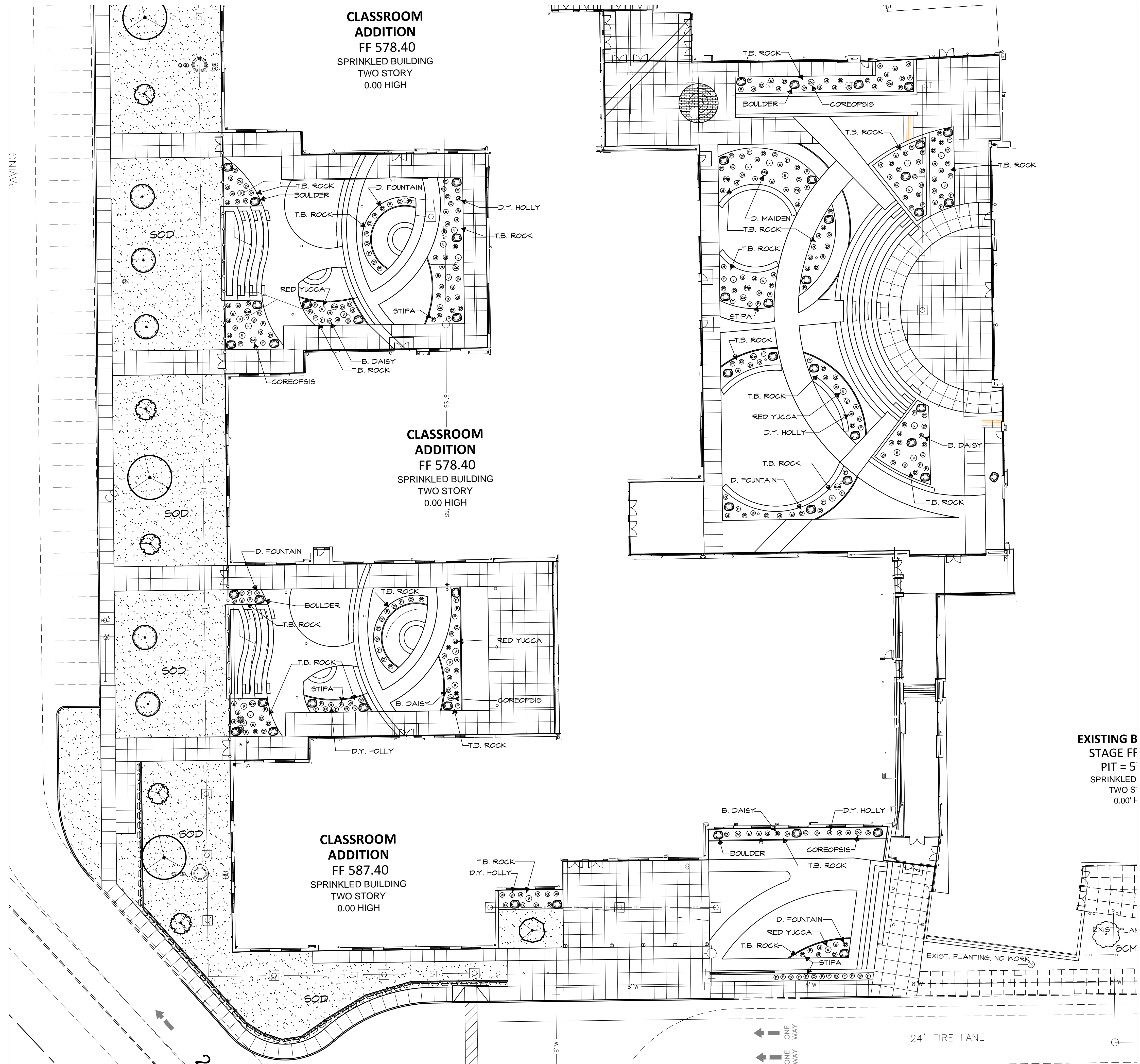
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

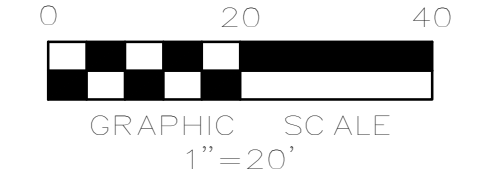
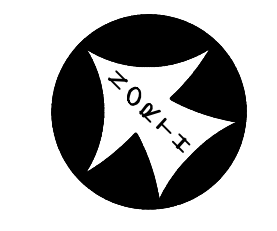
**UTLEY MIDDLE SCHOOL
PHASE 2**
1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE PLAN
AREA B

JOB 23035
DATE 05.13.2024
SHEET



EXISTING B
STAGE FF
PIT = 5'
SPRINKLED
TWO S'
0.00' F



HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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4500 FULLER DR.
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(972) 717-5151
CONTACT: CHERALYN M. ARMUO

APPROVED:
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Planning & Zoning Commission, Chairman Director of Planning and Zoning

CITY OF ROCKWALL CASE NO. SP2024-___

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ISSUES	
1	05/13/2023 PERMIT SET
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6	

REVISIONS	

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ARCHITECT #1901.
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FOR CONSTRUCTION OR
BIDDING PURPOSES.

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11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

UTLEY MIDDLE SCHOOL PHASE 2

1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE
ENLARGEMENT

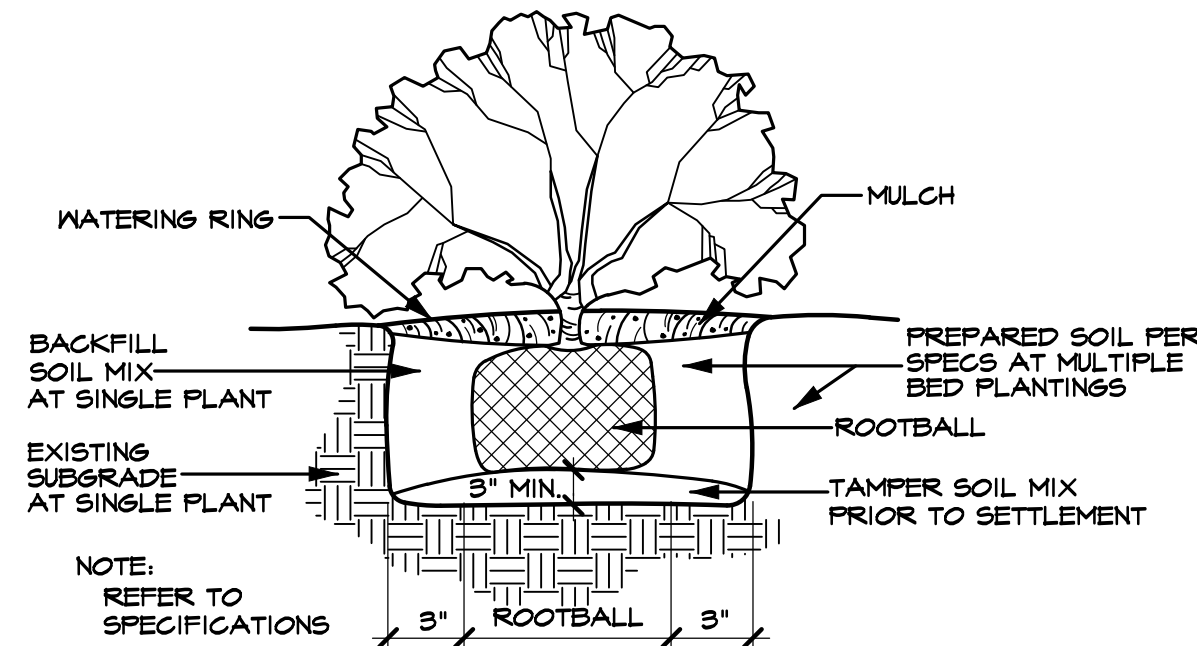
JOB 23035
DATE 05.13.2024
SHEET

LANDSCAPE NOTES

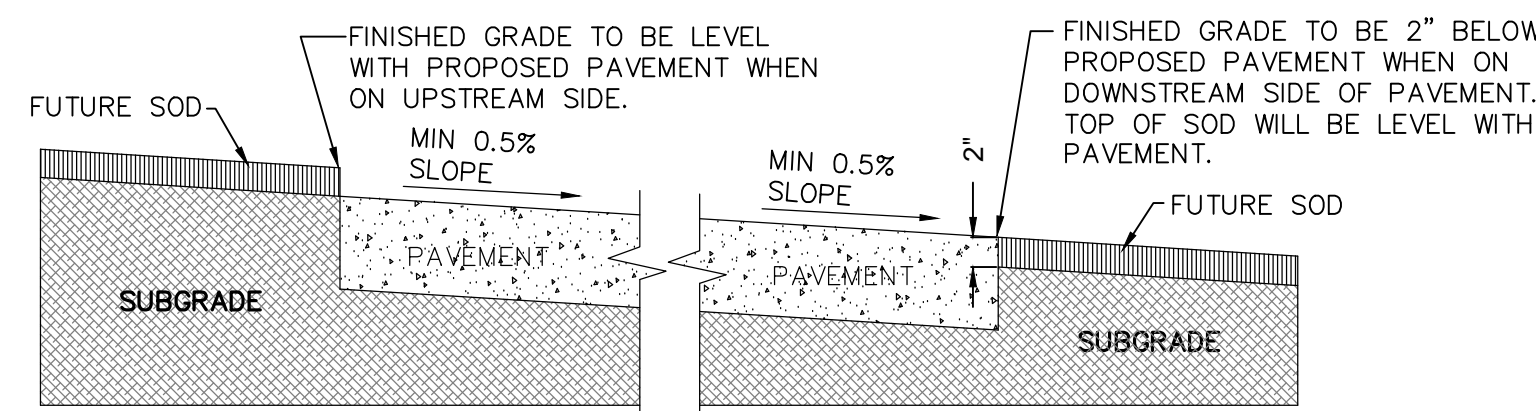
LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD/HYDRO PER THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

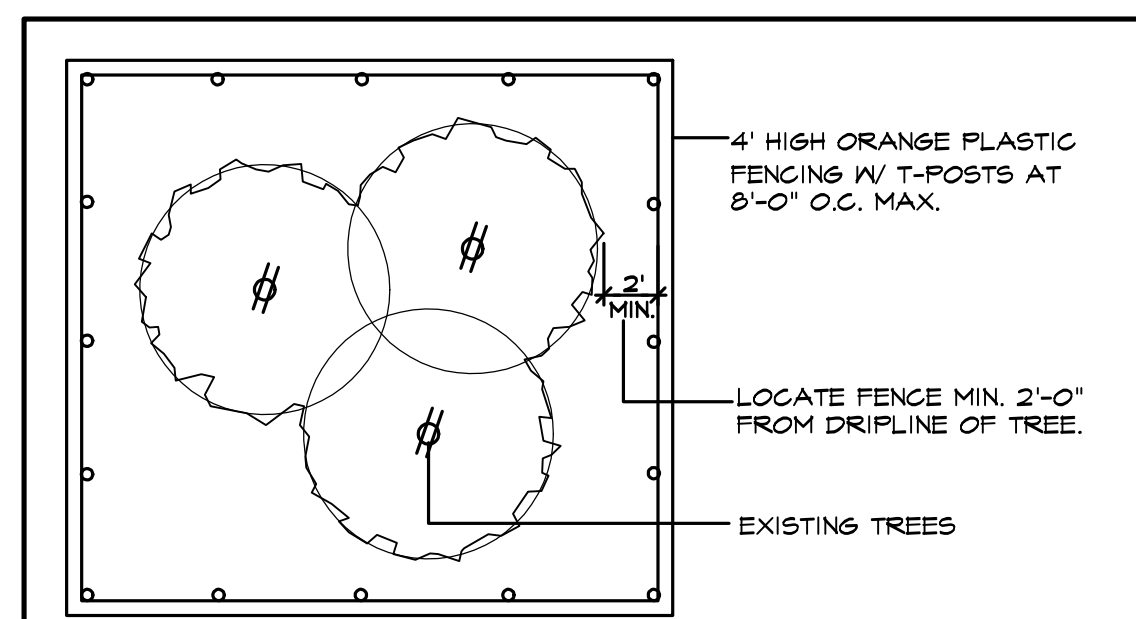
REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.



SHRUB PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.



GRADING DETAIL FOR PAVEMENT WITHOUT CURB
SCALE: N.T.S.



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

TREE PROTECTION FENCE AND NOTES
SCALE: N.T.S.

LANDSCAPE TABULATIONS

LANDSCAPE REQUIRED
1 ROW OF SHADE TREES 50' O.C. AND SCREENING SHRUBS AT HEAD IN PARKING
NOT APPLICABLE - EXISTING CONDITIONS

STREET BUFFER
2 CANOPY AND 4 ACCENT TREES PER 100 LF
NOT APPLICABLE - EXISTING CONDITIONS

PARKING LOT LANDSCAPING
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE, IF LOT OVER 20,000 SF 1 LG TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF FROM TREE TO SPACE.

PARKING SPACES
PARKING LANDSCAPE REQUIRED (350 SF X 5% =) 21 NEW SPACES
PARKING LANDSCAPE PROVIDED 368 SF
PARKING TREES REQUIRED (21 SPACES / 10 =) 2 TREES
PARKING TREES PROVIDED P 2 TREES

AMOUNT OF LANDSCAPING
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE, DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER, 1 TREE PER 750 SF OF DRY LAND AREA.
NOT APPLICABLE

TREE MITIGATION
AS SHOWN ON TREESCPE PLANS

ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.

TREES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
1	(Circle with cross)	LIVE OAK	Live Oak	Quercus virginiana	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
2	(Circle with cross and dots)	RED OAK	Shumard Red Oak	Quercus shumardii	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
5	(Circle with cross and dots)	PISTACHIO	Chinese Pistachio	Pistacia chinensis	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
6	(Circle with cross and dots)	D. WILLOW	Desert Willow	Chilopsis linearis	4'-5" ht, 3'-4" spread, container
3	(Circle with cross and dots)	T. YAUPON	Yaupon Holly	Ilex vomitoria	3/4" caliper per trunk, 5 trunk min., 8' Ht./4" spread, container, male, tree form, limbed to 4'
5	(Circle with cross and dots)	RED BUD	Oklahoma Red Bud	Cercis canadensis 'oklahoma'	6' Ht./3' spread min., container only single straight trunk, bushy specimen

SHRUBS

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
106	(Circle with cross and dots)	D.Y. HOLLY	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gallon, 16" Ht./14" spread, bushy, full to ground
32	(Circle with cross and dots)	RED YUCCA	Red Yucca	Hesperaloe parviflora	5 gallon
83	(Circle with cross and dots)	D. FOUNTAIN	Dwarf Fountain Grass	Fennislatum atapeurilades hamlin'	1 gallon
15	(Circle with cross and dots)	COREOPSIS	Lanceleaf Coreopsis	Coreopsis lanceolata	1 gallon
87	(Circle with cross and dots)	STIPA	Mexican Feathergrass	Stipa tenuissima	1 gallon
37	(Circle with cross and dots)	B. DAISY	Blackfoot Daisy	Melampodium leucanthum	1 gallon
4	(Circle with cross and dots)	D. MAIDEN	Dwarf Maiden Grass	Miscanthus sinensis 'Adagio'	5 gallon

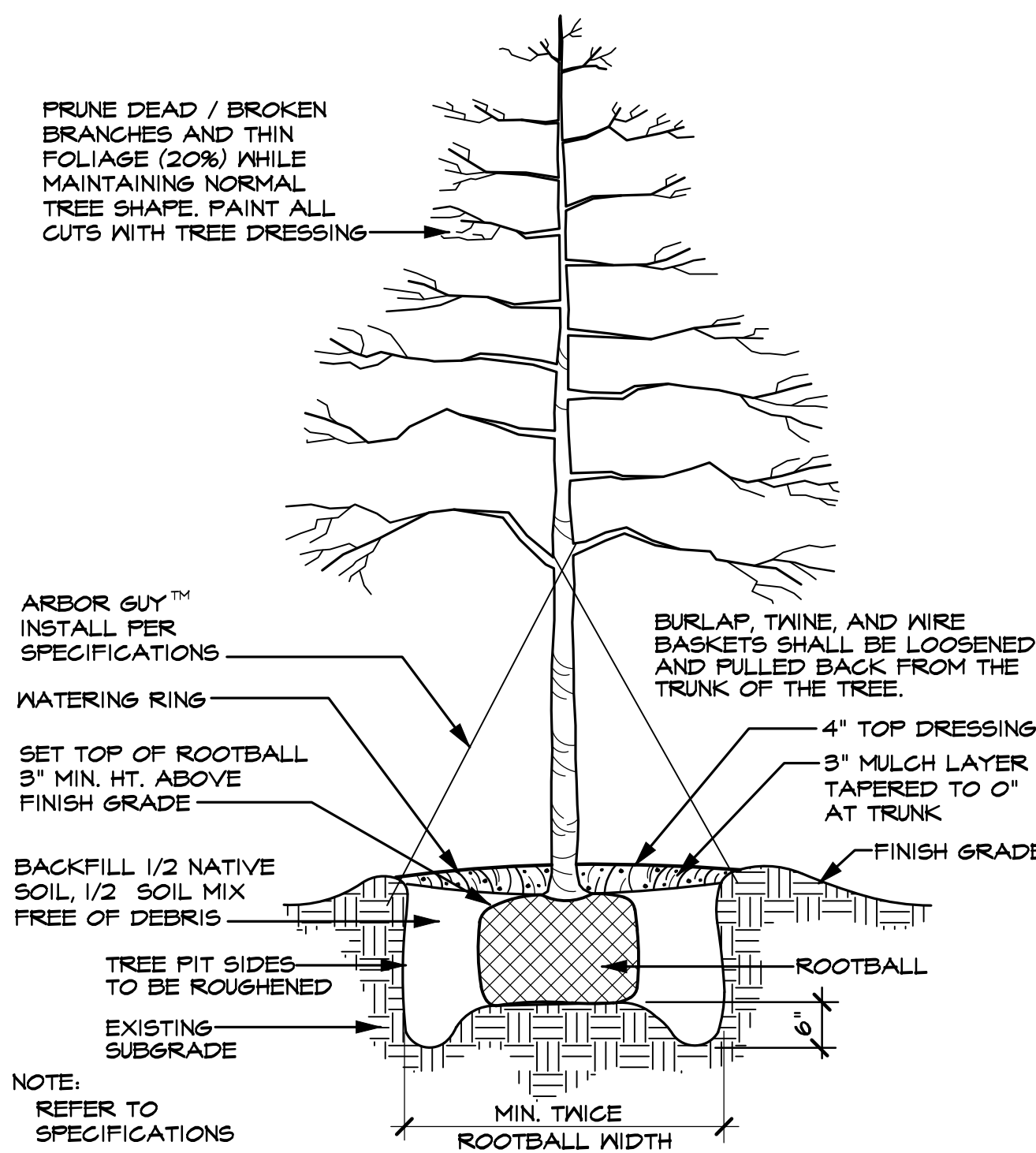
GROUND COVER

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(Square with dots)	SOD	Common Bermuda Grass	Cynodon dactylon	Solid Rolled Sod refer to specifications

MISCELLANEOUS

AS SHOWN	(Line)	EDGE	L.F. Ryerson steel edge 1/8" x 4" with 12" stakes, green in color
51	(Circle with dots)	BOULDER	600 to 800 pounds each BROWN MOSS BOULDERS
AS SHOWN	(Square with dots)	T.B. ROCK	3'-5" Texas Black rock, 6"-8" deep. Provide weed barrier mat below rock. Separate all grass/soil areas with edging. Rock to cover all weed barrier mat.

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES



TREE PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.

APPROVED:
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WITNESS OUR HANDS, this ___ day of ___, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD, 801 E. WASHINGTON ST., ROCKWALL, TEXAS 75087, (972) 771-0605, CONTACT: WILLIAM SALEE
SURVEYOR: KMCE, Inc., 17774 PRESTON ROAD, DALLAS, TEXAS 75252, (817) 889-6500, CONTACT: ROBERT HANSEN
ENGINEER: GLENN ENGINEERING CORP., 4500 FULLER DR., IRVING, TEXAS 75038, (972) 717-5151, CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-___

CORGAN

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www.corgan.com
T: 214.748.2000

ISSUES

1	05/13/2023	PERMIT SET
2		
3		
4		
5		
6		

REVISIONS

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, L.L.C.

11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
PHASE 2**

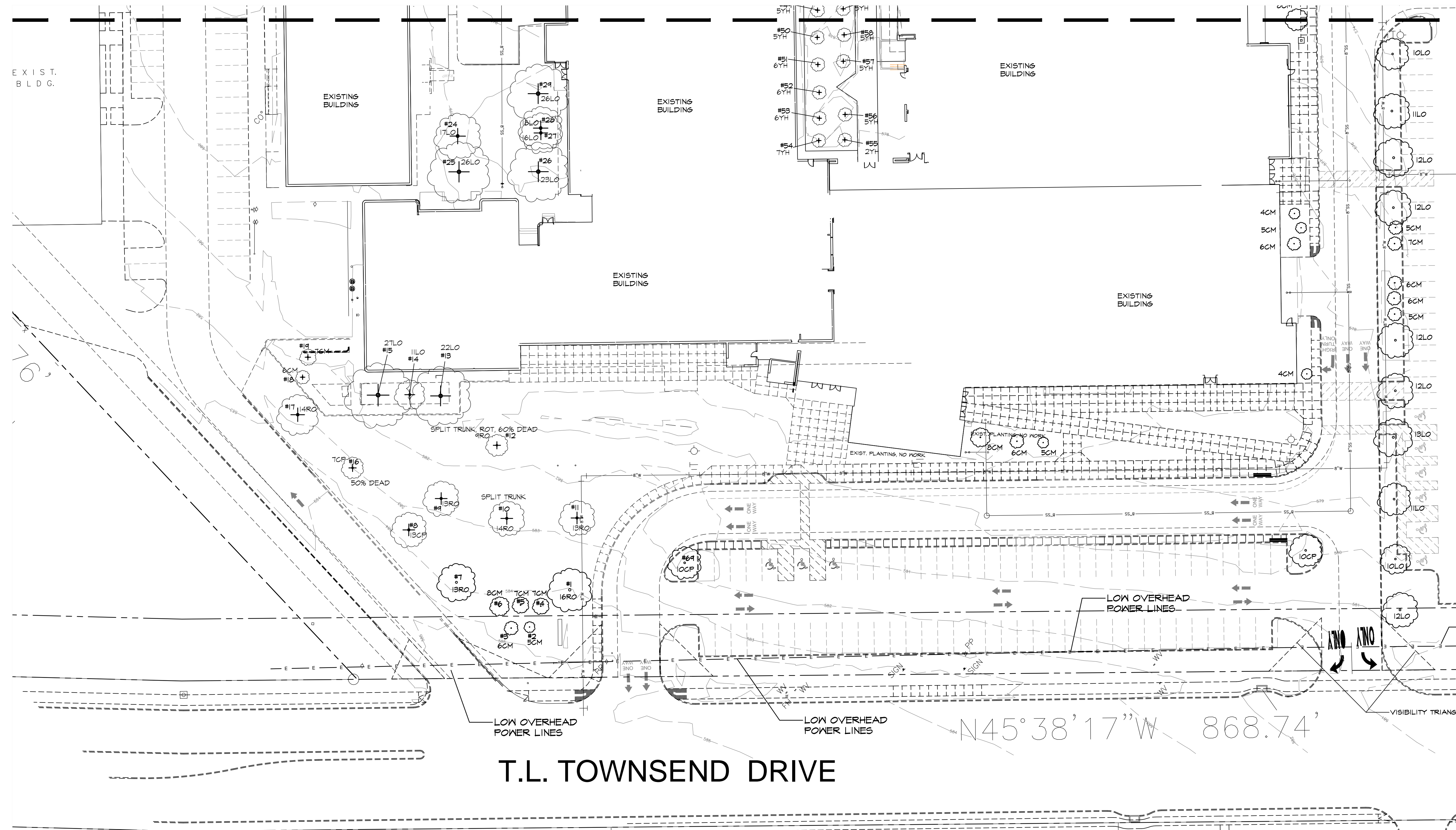
1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE DETAILS

JOB 23035
DATE 05.13.2024
SHEET

L 5

MATCHLINE SEE SHEET L3



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ISSUES

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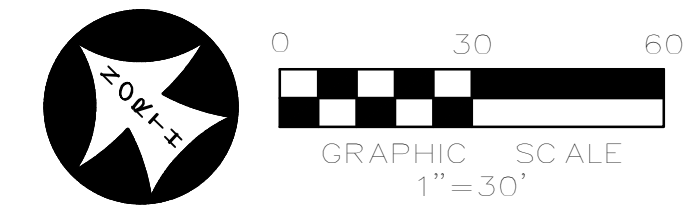
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**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

EXISTING TREE NOTE:
EXISTING TREES WITHIN 50'
OF CONSTRUCTION ARE
NUMBERED AND CHARTED.
TREES OUTSIDE THIS AREA
ARE SHOWN FOR GENERAL
INFORMATION.



HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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Planning & Zoning Commission, Chairman _____
Director of Planning and Zoning _____

OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: WILLIAM SALEE

SURVEYOR:
KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(817) 889-6500
CONTACT: ROBERT HANSEN

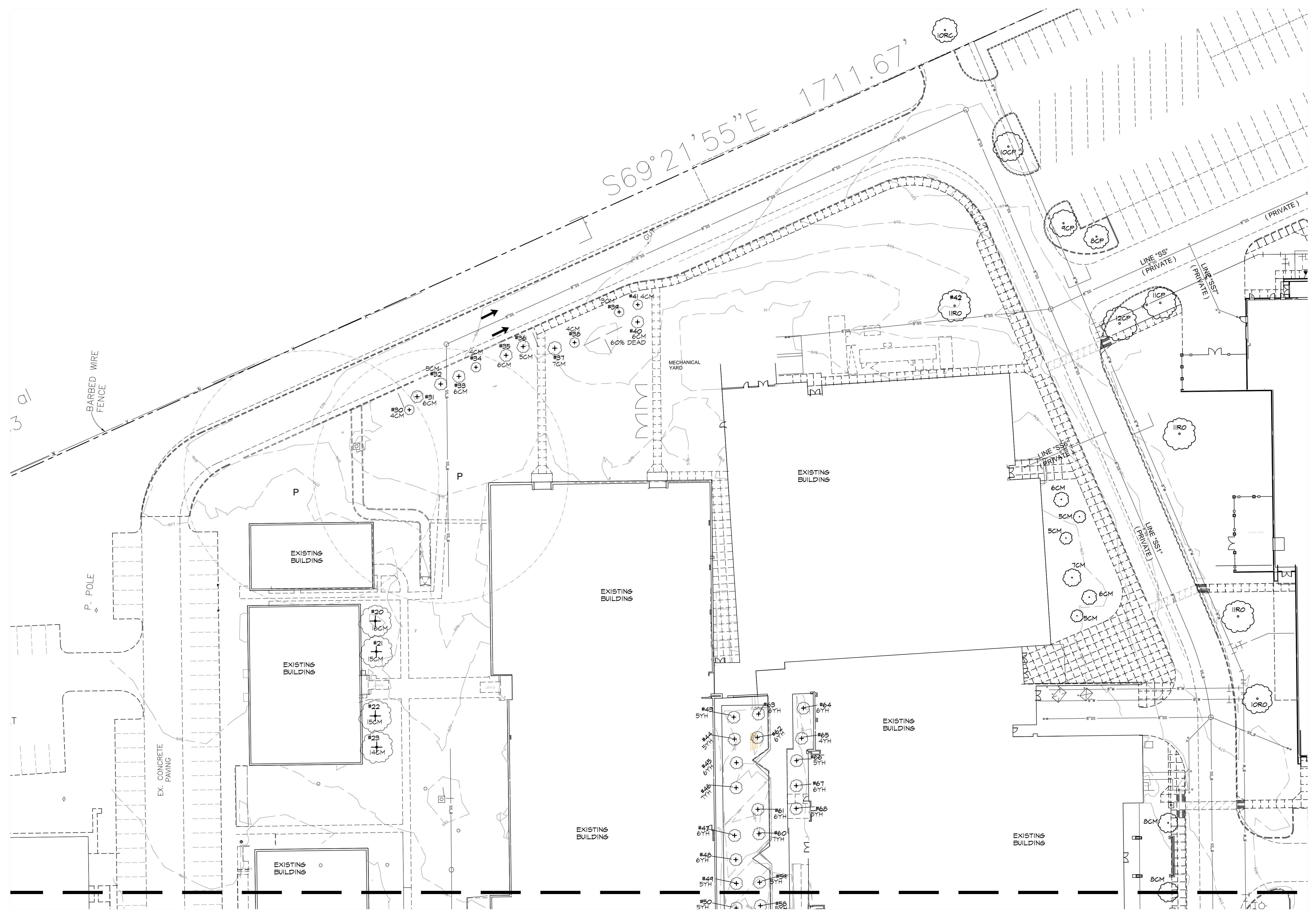
ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2024-___

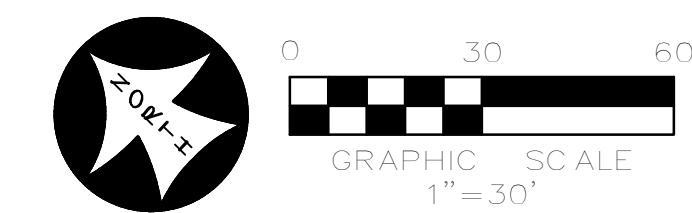
**TREESCAPE
PLAN AREA A**

JOB 23035
DATE 05.13.2024
SHEET

TS 1



MATCHLINE SEE SHEET L2



HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
 M.N. BALLARD SURVEY, ABSTRACT NO. 48
 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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 Planning & Zoning Commission, Chairman Director of Planning and Zoning

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 DALLAS, TEXAS 75252
 (872) 717-0605
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2024-__

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ISSUES	
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REVISIONS	

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RAMSEY LANDSCAPE ARCHITECTS, LLC
 11914 WISHING WELL CT.
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 382-5433
 EMAIL: MIKE.RLA@ATT.NET

UTLEY MIDDLE SCHOOL PHASE 2

1201 T L Townsend Dr., Rockwall, TX 75087

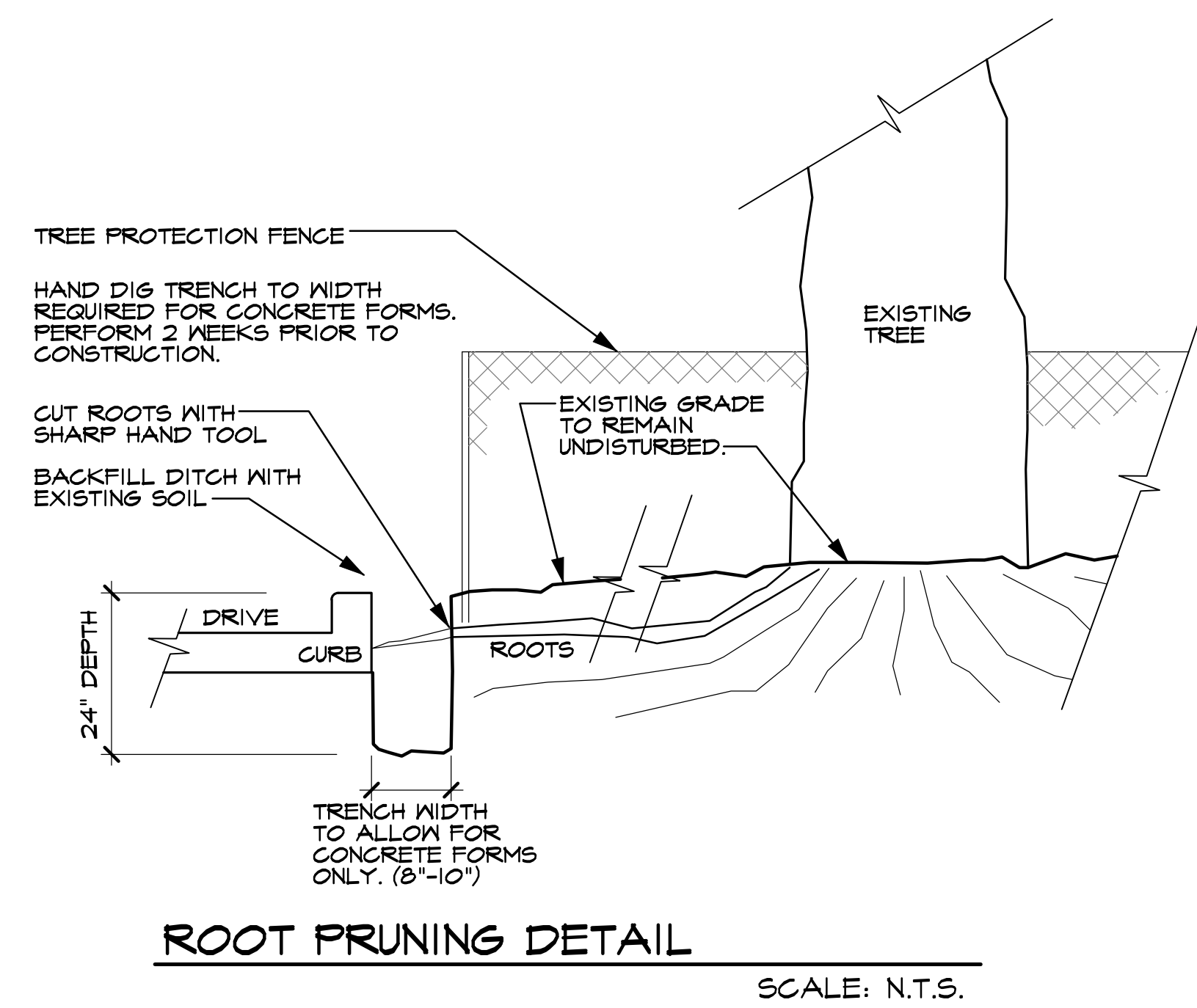
TREESCAPE
 PLAN AREA B

JOB 23035
DATE 05.13.2024
SHEET TS 2

TREE TABLE (TREES WITHIN 50' OF CONSTRUCTION)								
#	Size/Type	TREE HEALTH	DISEASE	INSECT	STRUCTURAL	SAVE/REM	MITIGATE	CREDIT
1	16" RED OAK	6	N	N	N	SAVE	0	0
2	5" CREPE MYRTLE	5	N	N	N	SAVE	0	0
3	6" CREPE MYRTLE	5	N	N	N	SAVE	0	0
4	7" CREPE MYRTLE	5	N	N	N	SAVE	0	0
5	7" CREPE MYRTLE	5	N	N	N	SAVE	0	0
6	8" CREPE MYRTLE	5	N	N	N	SAVE	0	0
7	13" RED OAK	5	N	N	N	SAVE	0	0
8	13" CHIN. PISTACHE	5	N	N	N	REMOVE	13	0
9	13" RED OAK	5	N	N	N	REMOVE	13	0
10	14" RED OAK	3 SPLIT TRUNK	N	N	Y	REMOVE	14	0
11	13" RED OAK	5	N	N	N	REMOVE	13	0
12	9" RED OAK	2 60% DEAD	N	N	Y	REMOVE	0 HEALTH	0
13	22" LIVE OAK	5	N	N	N	REMOVE	22	0
14	11" LIVE OAK	5	N	N	N	REMOVE	11	0
15	27" LIVE OAK	5	N	N	N	REMOVE	54	0
16	7" CHIN. PISTACHE	3 50% DEAD	N	N	Y	REMOVE	7	0
17	14" RED OAK	5	N	N	N	REMOVE	14	0
18	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
19	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
20	16" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
21	15" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
22	15" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
23	14" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
24	17" LIVE OAK	5	N	N	N	SAVE	17	0
25	26" LIVE OAK	5	N	N	N	SAVE	52	0
26	23" LIVE OAK	5	N	N	N	SAVE	23	0
27	16" LIVE OAK	5	N	N	N	REMOVE	16	0
28	18" LIVE OAK	5	N	N	N	REMOVE	8	0
29	26" LIVE OAK	5	N	N	N	SAVE	52	0
30	4" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
31	6" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
32	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
33	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
34	4" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
35	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
36	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
37	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
38	4" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
39	3" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
40	6" CREPE MYRTLE	2 60% DEAD	N	N	Y	SAVE	0 VARIANCE	0
41	4" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
42	11" RED OAK	5	N	N	N	SAVE	0	0
43	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
44	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
45	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
46	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0
47	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
48	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
49	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
50	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
51	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
52	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
53	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
54	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0
55	2" YAUPON HOLLY	4	N	N	N	REMOVE	EXEMPT	0
56	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
57	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
58	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
59	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
60	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0
61	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
62	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
63	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
64	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
65	4" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
66	5" YAUPON HOLLY	4	N	N	N	REMOVE	4	0
67	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
68	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
69	10" CHIN. PISTACHE	5	N	N	N	REMOVE	0 EXEMPT	0
TREE TABLE B SUBTOTAL							-471	+0
7 PROPOSED 4" TREES								+28
SUB-TOTAL							-443	
TREE MITIGATION TO TREE FUND (-443)								
443 INCHES X \$100.00 = \$44,300.00 PAYMENT								

CERTIFIED ARBORIST SITE INSPECTIONS:
 GENERAL CONTRACTOR TO PROVIDE FOR CERTIFIED ARBORIST VISITS FOR ALL EXISTING TREES TO REMAIN ONCE PER MONTH DURING CONSTRUCTION. G.C. TO FOLLOW ARBORIST RECOMMENDATIONS FOR TRIMMING OR THINNING OF BRANCHES, HAND WATERING SCHEDULE, ROOT AERATION, AND GENERAL PROTECTION.

EXISTING TREE WATERING:
 GENERAL CONTRACTOR TO PROVIDE HAND WATERING OF EXISTING TREES TO REMAIN. WATERING SHALL BE ON AN AS NEEDED BASIS TO MAINTAIN TREE HEALTH. FOLLOW CERTIFIED ARBORIST RECOMMENDATIONS.



APPROVED:
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 WITNESS OUR HANDS, this ___ day of ___, 2024.

HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
 M.N. BALLARD SURVEY, ABSTRACT NO. 48
 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
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 ROCKWALL, TEXAS 75087
 (972) 711-0605
 CONTACT: WILLIAM SALEE

SURVEYOR: KMCE, Inc.
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 (817) 889-6500
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
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 (972) 717-5151
 CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2024-___

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ISSUES	
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 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 362-5433
 EMAIL: MIKE.RLA@ATT.NET

UTLEY MIDDLE SCHOOL PHASE 2
 1201 T L Townsend Dr., Rockwall, TX 75087

TREESCAPE CHART

JOB 23035
 DATE 05.13.2024
 SHEET

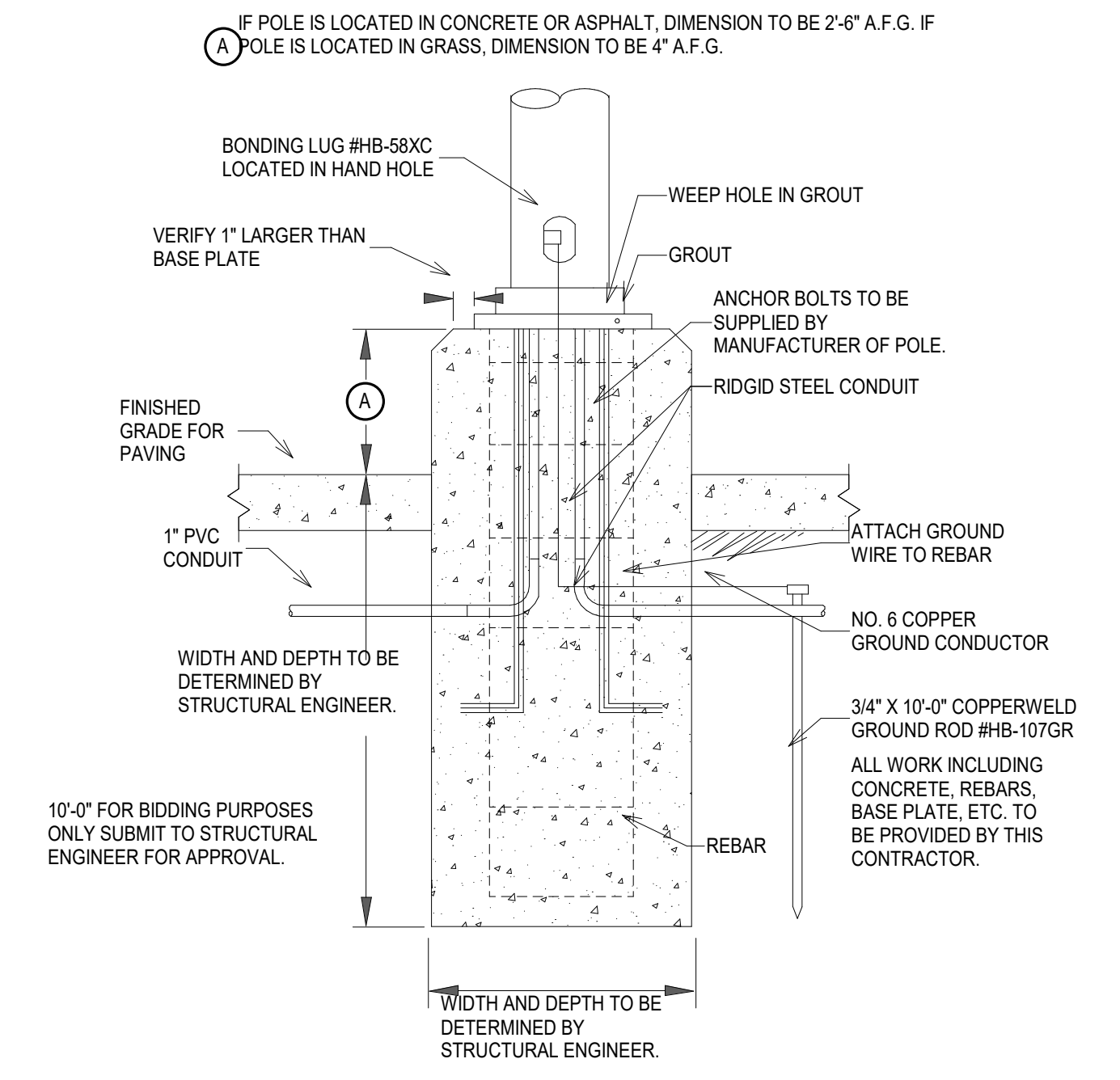
TS 3

PHOTOMETRIC SITE PLAN GENERAL NOTES

1. THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
2. ALL CALCULATIONS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
3. LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

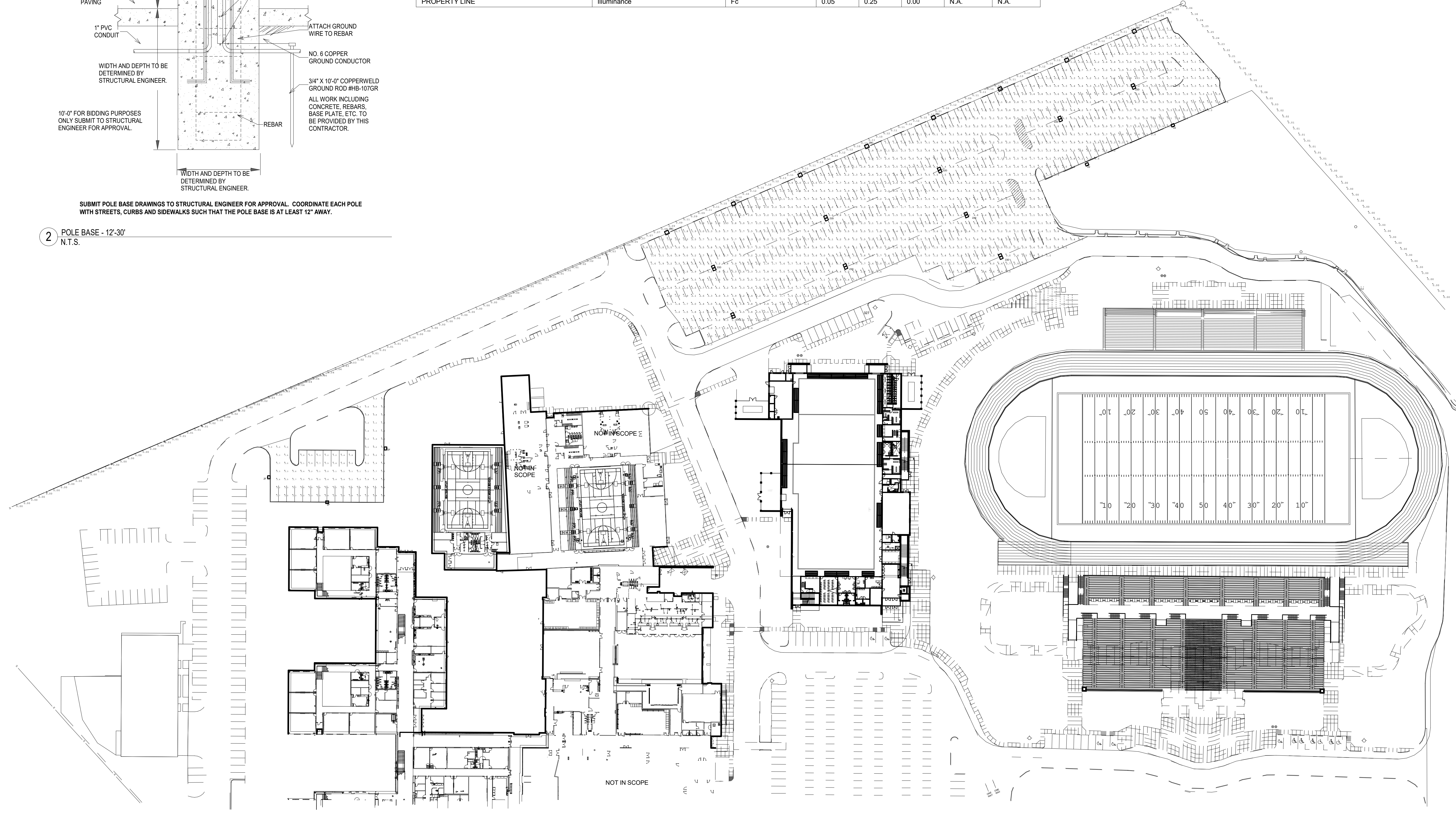
Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	Mounting Height
□	9	Z2D	Back-Back	DSX1 LED P5 40K T2M MVOLT	25
□	8	ZBC	Single	DSX1 LED P5 40K 80CRI BLC4	25
□	3	ZF	Single	DSX1 LED P5 40K TFTM MVOLT	25
□	2	Z2	Single	DSX1 LED P5 40K T2M MVOLT	25

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT - PLAN EAST_Planar	Illuminance	Fc	2.55	6.3	0.3	8.50	21.00
PARKING LOT - PLAN NORTH_Planar	Illuminance	Fc	1.79	2.8	0.3	5.97	9.33
PROPERTY LINE	Illuminance	Fc	0.05	0.25	0.00	N.A.	N.A.



SUBMIT POLE BASE DRAWINGS TO STRUCTURAL ENGINEER FOR APPROVAL. COORDINATE EACH POLE WITH STREETS, CURBS AND SIDEWALKS SUCH THAT THE POLE BASE IS AT LEAST 12" AWAY.

2 POLE BASE - 12'-30" N.T.S.



ISSUES		
1	01.12.2024	60% PROGRESS SET
2	05.17.2024	90% PROGRESS SET
3		
4		
5		
6		
7		
8		
9		
10		

REVISIONS		

REVIEW ONLY
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

Engineer: Catherine L. Hollenshead
License State: TX, License No.: 103572
Date: 5/15/2024 12:10:39 PM

UTLEY MIDDLE SCHOOL PHASE 2
1201 T L Townsend Dr., Rockwall, TX 75087

PHOTOMETRIC SITE PLAN

JOB 23035
DATE 05.17.2024
SHEET ES01-02.2

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

EMA Engineering & Consulting, Inc.
Tyler | Austin | Houston | El Paso
DFW | San Antonio | Shreveport
Texas Firm Registration No. F-893
Louisiana Firm Registration No. EF-5818
www.EMAengineer.com

DESIGN SOLVE ENHANCE

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 25, 2024
APPLICANT: Robert Howman; Glenn Engineering Corp
CASE NUMBER: SP2024-024; Site Plan for Herman Utley Middle School

SUMMARY

Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Tim Lyssy of the Rockwall Independent School District (RISD) for the approval of a Site Plan for an existing *Public or Private Secondary School* (i.e. *Herman Utley Middle School*) on a 41.649-acre parcel of land identified as Lot 1, Block 1, Herman E. Utley Middle School Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1201 T. L. Townsend Drive, and take any action necessary.

BACKGROUND

On June 20, 1959, the subject property was annexed by *Ordinance No. 59-02 [Case No. A1959-002]*. At the time of annexation, it was zoned Agricultural (AG) District. On September 21, 2009, the City Council approved a final plat [Case No. P2009-020] for on the subject property. According to Rockwall County Appraisal District (RCAD), currently there is one (1) 221,950 SF *Public Secondary School* situated on the property, a 44,905 SF aquatic center, a 7,280 SF two (2)-story press box, a 3,200 SF athletics building, and three (3) portable buildings of various sizes.

PURPOSE

On May 17, 2024, the applicant -- *Robert Howman of Glenn Engineering Corp.* -- submitted an application requesting the approval of a site plan for the purpose of expanding the existing *Public Secondary School* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 1201 T.L. Townsend Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 71.9480-acre vacant tract of land (i.e. *Tract 20-2 of the A Hanna Survey, Abstract No. 99*), zoned Light Industrial (LI) District. Beyond this is Justin Road which is classified as an A4D (*arterial, four (4) lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is N. T.L. Townsend Drive which is classified as an A4D (*arterial, four (4) lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 5.909-acre parcel of land (i.e. *Lot 5, Block A, Rockwall Library Addition*) which is zoned Commercial (C) District and developed with a *public library*.

East: Directly east of the subject property is a 71.9480-acre vacant tract of land (i.e. *Tract 20-2 of the A Hanna Survey, Abstract No. 99*), zoned Light Industrial (LI) District. Beyond this is Industrial Boulevard which is classified as a M4U (*i.e. major collector, four (4)-lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 3.0254-acre vacant tract of land (i.e. *Tract 20-3, of the A Hanna Survey, Abstract No. 99*), zoned Light Industrial (LI) District. Beyond this is a 17.719-acre parcel of land (i.e. *Lot 2, Rockwall Industrial Addition*), zoned Light Industrial (LI) District and developed with a 47,190 SF *warehouse facility* (i.e. *Rockwall Steel Co.*).

West: Directly west of the subject property is a 71.9480-acre vacant tract of land (i.e. *Tract 20-2 of the A Hanna Survey, Abstract No. 99*), zoned Light Industrial (LI) District. Beyond this is Justin Road which is classified as an A4D (i.e. *arterial, four (4) lane, divided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Public Secondary School* typically requires a Specific Use Permit (SUP) in an Agricultural (AG) District; however, this is an existing legal non-conforming *Public Secondary School* and therefore does not require further approval. The submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within an Agricultural (AG) District with the exception of items noted in the *Variations and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property and the proposed projects conformance to these requirements are as follows:

Table 1: Density and Dimensional Requirements

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Width</i>	60'	X=1,676.82; In Conformance
<i>Minimum Lot Depth</i>	100'	X=695.76; In Conformance
<i>Minimum Lot Area</i>	1-Acre or 43,560 SF	69.88-Acres or 3,044,079 SF; In Conformance
<i>Minimum Front Yard Setback</i>	40'	X>40'; In Conformance
<i>Minimum Side Yard Setback</i>	10'	X>10'; In Conformance
<i>Minimum Rear Yard Setback</i>	10'	X>10'; In Conformance
<i>Minimum Distance Between Buildings</i>	15'	X>15'; In Conformance
<i>Maximum Building Height</i>	40'	X=39'6"; In Conformance
<i>Maximum Lot Coverage</i>	40%	X=8.10%; In Conformance
<i>Minimum Required Landscaping</i>	30%	X=43%; In Conformance

TREESCAPE PLAN

The treescape table provided by the applicant indicates that 176-caliper inches of *Primary Protected Trees*, and one (1), 27-inch *Feature Tree* will be removed from the subject property as a result of the development. The applicant’s total mitigation balance is 230 caliper inches. The applicant’s treescape plan indicates that two (2) 26-inch Live Oaks will be saved. This reduces the mitigation balance to 178 caliper inches. According to the landscape plan there are 32-caliper inches (i.e. *eight (8) canopy trees*) being planted on site. This reduces the mitigation balance to 146 caliper inches. According to Section 05(F), *Mitigation Balance*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), tree preservation credits may be purchased at \$100.00 per inch for up to 20.00% of the mitigation total. In this case, the 146 caliper inches is greater than 20% of the mitigation balance. Given this, the applicant is requesting an *Alternative Tree Mitigation Settlement Agreement*, to allow them to pay the remaining balance at \$100.00 per inch, for a total of \$14,600.00 (i.e. *146 caliper inches x \$100.00 per inch = \$14,600.00*). This must be acted upon by the City Council following a recommendation from the Planning and Zoning Commission.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 04.03, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he Agricultural (AG) District is a zoning designation used for land that is reserved for the anticipated future growth of the City. This district is intended to be used for raw land or land with agricultural land uses, and is intended to be held in these conditions as long as practical and reasonable to promote the orderly growth of the community....” In this case, the applicant is proposing to expand an existing *Public Secondary School*. As previously mentioned, this typically requires a Specific Use Permit (SUP) in an Agricultural (AG) District; however, this is an existing legal non-conforming *Public Secondary School* and therefore does not require further approval. According to Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Public Secondary School* has the following conditional land use standards, [1] The school shall be located on a Minor Collector or larger roadway, and [2] adequate pick-up and drop-off areas shall be provided

to ensure that street traffic/neighborhood traffic is not impeded. Based on staff's review of the applicant's request, the expansion appears to meet the conditional land use standards for a *Public Secondary School* and the majority of the City's codes, with the exception of the items noted in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

(1) Exceptions.

- (a) Primary Building Facades. According to Subsection 04.01(C)(1) of Article 05, *Development Standards*, of the Unified Development Code (UDC) primary facades require projections associated with entryways, architectural elements and wall lengths. In this case, the proposed buildings exceed the maximum wall length established by the Unified Development Code (UDC) on the primary building façades. This will require an exception from the Planning and Zoning Commission.
- (b) Artificial Turf. According to Section 04, *Landscape Materials*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)rtificial or synthetic plant materials (e.g. artificial grass, turf, trees, and/or shrubs) shall be prohibited on all non-residentially zoned or used property in the City of Rockwall; however, the Planning and Zoning Commission can grant an Exception in accordance with the procedures contained in Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of this Unified Development Code (UDC) where it is found that the artificial plant materials are integral to the operations of the proposed non-residential land use or where it will serve as an on-site amenity to the nonresidential land use." In this case, the artificial turf is proposed in areas of on-site amenity (i.e. within their courtyard areas). This will require an exception from the Planning and Zoning Commission.

(2) Variations.

- (a) Masonry Materials. According to Subsection 06.02(C)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials..." Primary materials include brick, stone, and cementitious materials. In this case, each façade of the proposed building does not meet this requirement. This will require a variance from the Planning and Zoning Commission.
- (b) Stone. According to Subsection 06.02(C)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades..." In this case, each façade of the proposed building does not meet this requirement. This will require a variance from the Planning and Zoning Commission.
- (c) Four-Sided Architecture. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed buildings are not architecturally finished on all four (4) sides and there is not a row of trees planted along the perimeter of the subject property. This will require a variance from the Planning and Zoning Commission.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission to grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." In addition, the code requires that applicants provide compensatory measures that directly offset the requested exception. In this case, as compensatory measures, the applicant is not proposing any compensatory items but staff would like to point out the applicant is matching the existing building and providing design elements and amenity areas to offset the

requested exceptions and variances. Requests for exceptions to the general standards and acceptance of compensatory measures are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

Since the applicant's project deals with the expansion of an existing land use and does not involve changes to the Future Land Use Map, the proposed project does not change the properties conformance with the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURE REVIEW BOARD

On May 28, 2024, the Architecture Review Board (ARB) failed to make quorum. Given this, the ARB will review the proposed building elevations on June 25, 2024, and provide a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the site plan for the purpose of allowing the expansion of an existing *Public Secondary School* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans;
- (2) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2024-024

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1201 T L Townsend Dr, Rockwall, TX 75087

SUBDIVISION Herman Utley Middle School

LOT 1

BLOCK 1

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE Public school

PROPOSED ZONING AG

PROPOSED USE Public school

ACREAGE 41.649

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Independent School District

APPLICANT Glenn Engineering

CONTACT PERSON Tim Lyssy - Director of Project Planning and Constructio

CONTACT PERSON Robert Howman

ADDRESS 1191 T.L. Townsend Drive

ADDRESS 4500 Fuller Dr. #220

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Irving, Tx 75038

PHONE 469-698-7031

PHONE 972.989.2174

E-MAIL tim.lyssy@rockwallisd.org

E-MAIL rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

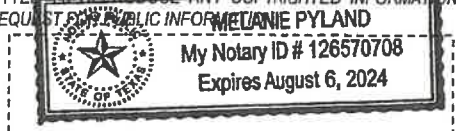
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TIM LYSSY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1500 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF MAY, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF MAY, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



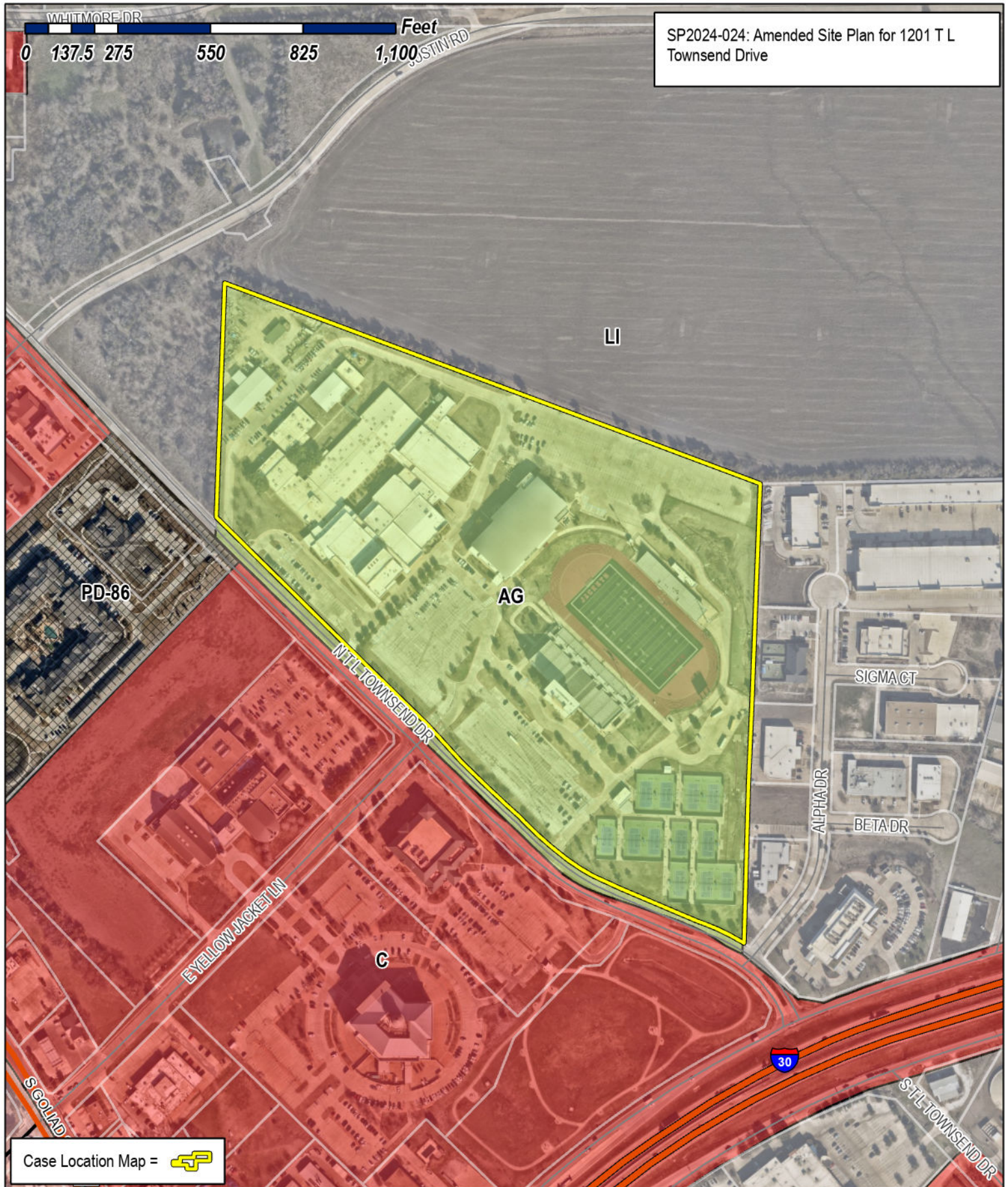
MY COMMISSION EXPIRES August 6, 2024


WHITMORE DR

Feet

0 137.5 275 550 825 1,100

SP2024-024: Amended Site Plan for 1201 T L Townsend Drive



Case Location Map = 

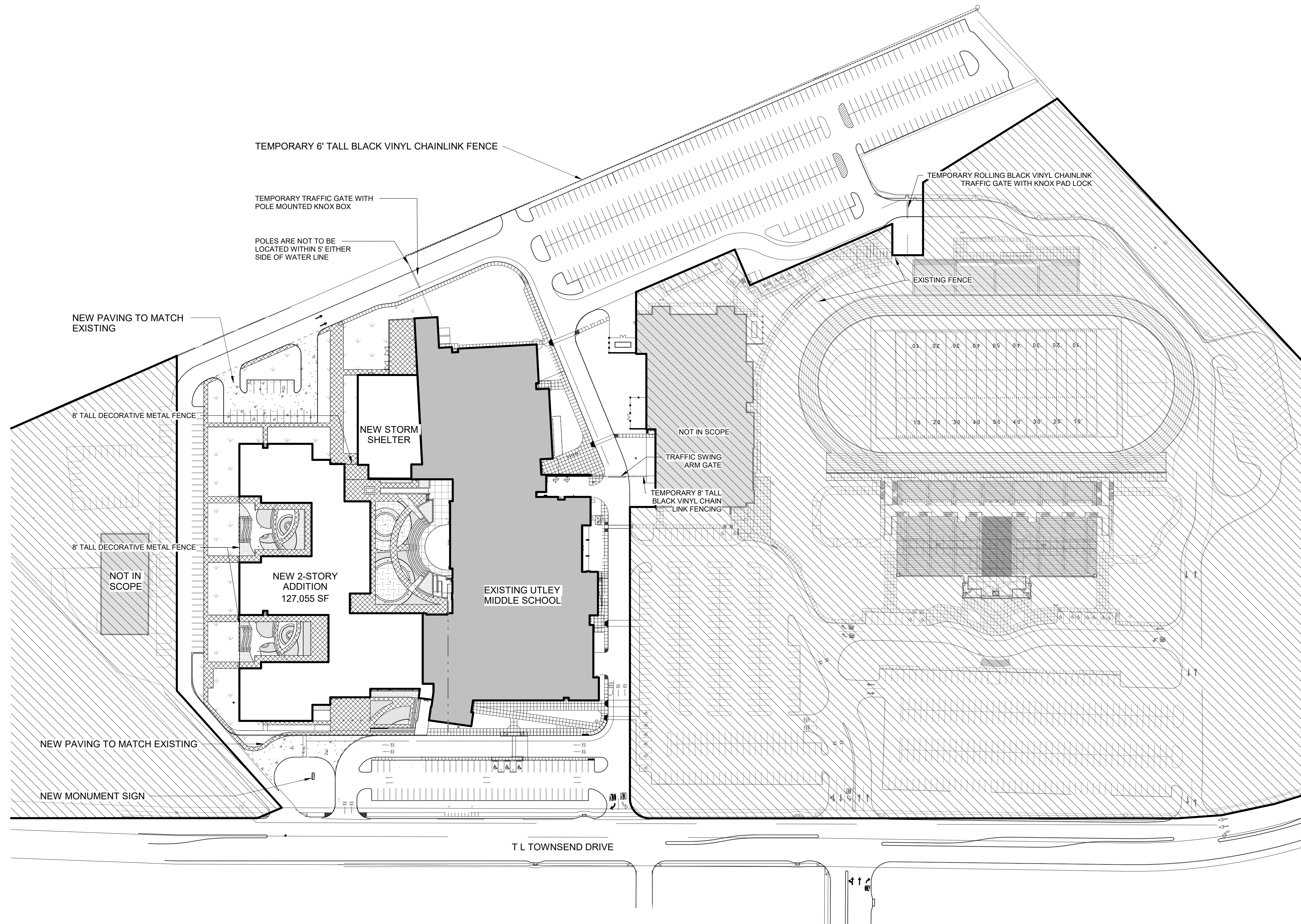


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





GENERAL NOTE:
THERE ARE NOT TO BE ANY OUTSIDE
STORAGE OR ABOVE GROUND STORAGE
TANK ON THIS PROJECT.

01 SITE PLAN - PHASE 2
1" = 80'-0"

OVERALL SITE PLAN



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the
City of Rockwall, Texas, was approved by the Planning & Zoning
Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.



Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CITY OF ROCKWALL CASE NO. SP2024-024

SITE LEGEND (PROPOSED)

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FIRE LANE
- ORNAMENTAL FENCE
- PROPERTY LINE
- (PRIVATE) 4" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE 6/8 SACK HAND FINISH 6 SACK MACHINE OVER 6" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- (PRIVATE) 4" REINFORCED CONCRETE NON-FIRE LANE PAVEMENT 3,000 P.S.I. CONCRETE 6/8 SACK HAND FINISH 6 SACK MACHINE OVER 6" COMPACTED SUBGRADE PER SOILS REPORT
- (PRIVATE) 4" REINFORCED CONCRETE FIRE LANE PAVEMENT 3,000 P.S.I. CONCRETE 6/8 SACK HAND FINISH 6 SACK MACHINE OVER 6" COMPACTED SUBGRADE PER SOILS REPORT
- (PUBLIC) 10" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE 6/8 SACK HAND FINISH 6 SACK MACHINE OVER 6" COMPACTED SUBGRADE PER SOILS REPORT
- (PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE 6/8 SACK HAND FINISH 6 SACK MACHINE OVER SUBGRADE PER SOILS REPORT
- (PRIVATE) 7" REINFORCED CONCRETE NON-FIRE LANE PAVEMENT 3,000 P.S.I. CONCRETE FINISH WITH 4 REBAR ON 18" CENTERS EACH WAY OVER SUBGRADE PER SOILS REPORT
- (PRIVATE) STAMPED 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE 6/8 SACK HAND FINISH 6 SACK MACHINE OVER SUBGRADE PER SOILS REPORT
- (CITY) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE 6/8 SACK HAND FINISH 6 SACK MACHINE OVER SUBGRADE PER SOILS REPORT
- TURF, COLOR A
- TURF, COLOR B
- PLANTING AREA
- RE-LANDSCAPE

6.9.2 Portland Cement Concrete (PCC) Pavement

Following subgrade improvement as recommended in Section 6.9.1, the following PCC (reinforced) pavement sections are recommended in Table F.

TABLE F Recommended PCC Pavement Sections

Paving Type and/or Area	Subgrade Thickness, Inches	PCC Thickness, Inches
Parking, Areas Subjected Exclusively to Passenger Vehicle Traffic	Scarified and Compacted, 6	5
Drive Lanes & Fire Lanes, Bus Lanes, Areas Subjected to Light Volume Truck Traffic	Lime Modified, 6	6
Dumpster & Truck Traffic Areas, Areas Subjected to Moderate Volume Truck Traffic	Lime Modified, 6	7

NOTE: SEE ALPHA TESTING REPORT NO. G223259 FOR COMPLETE RECOMMENDATIONS.

PAVING LEGEND (EXISTING)

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FENCE
- PROPERTY LINE

BENCHMARKS

CITY OF ROCKWALL BENCHMARK COR-4 ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON NORTH SIDE OF DALTON ROAD, +.210' WEST INTERSECTION OF SH 265 AND DALTON ROAD, +.10' NORTH OF NORTH CURB LINE. ELEVATION 541.67
N:7040336.992 E:2592422.633

CITY OF ROCKWALL BENCHMARK COR-12 BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHERLY SIDE OF RIDGE ROAD, WEST AT THE NORTHWEST CORNER OF A CURB INLET +.250' NORTHWEST OF THE INTERSECTION OF RIDGE ROAD WEST AND TWIN CREEK LANE. ELEVATION 497.13
N:7037197.891 E:2592384.786

ONSITE BENCHMARK CAPPED IRON ROD LABELED "BOWMAN CONTROL" N:7036823.314 E:2600421.475 ELEVATION 537.556

ONSITE BENCHMARK CAPPED IRON ROD LABELED "BOWMAN CONTROL" N:7037384.481 E:2600384.414 ELEVATION 543.145

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

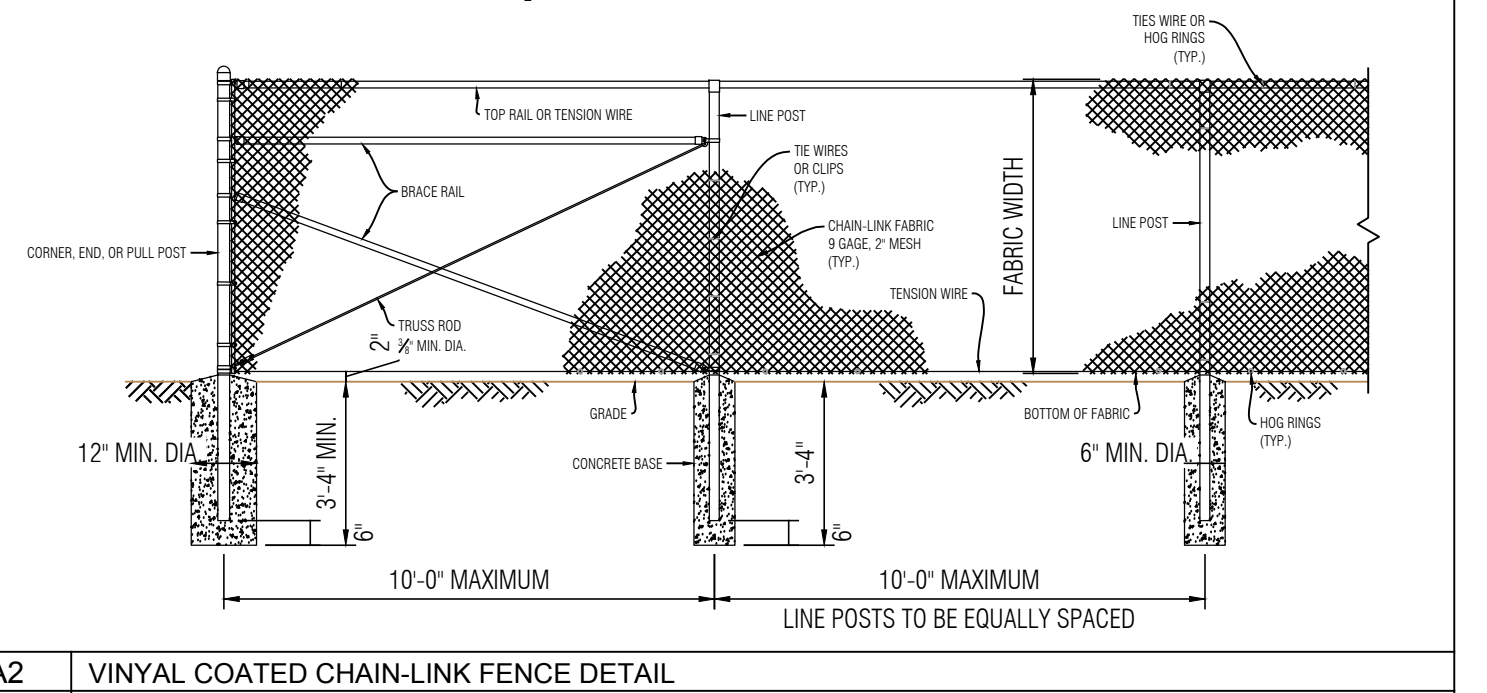
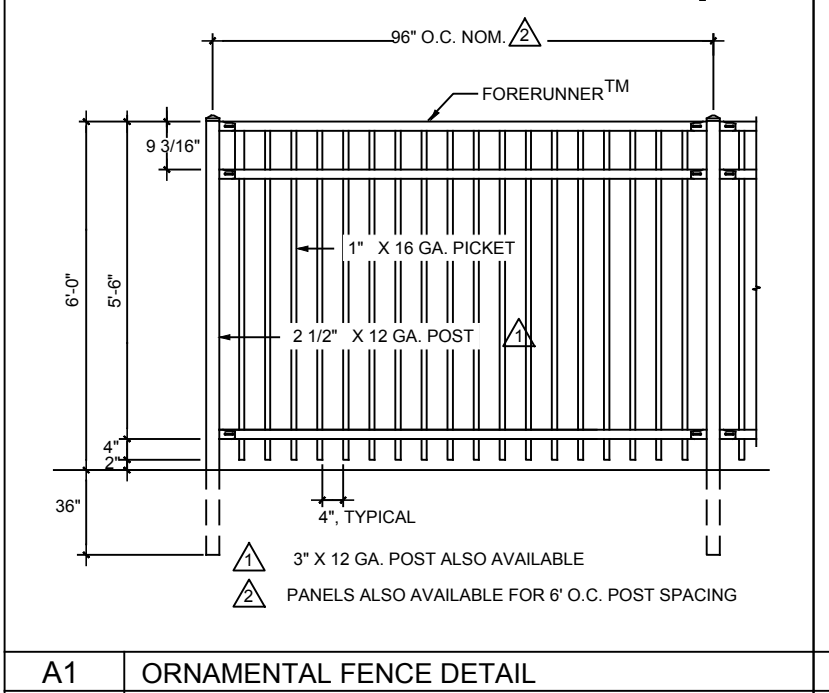
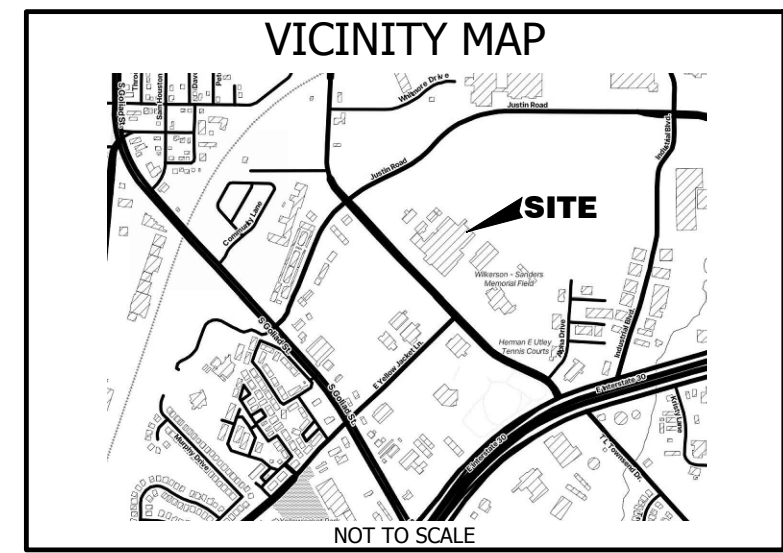
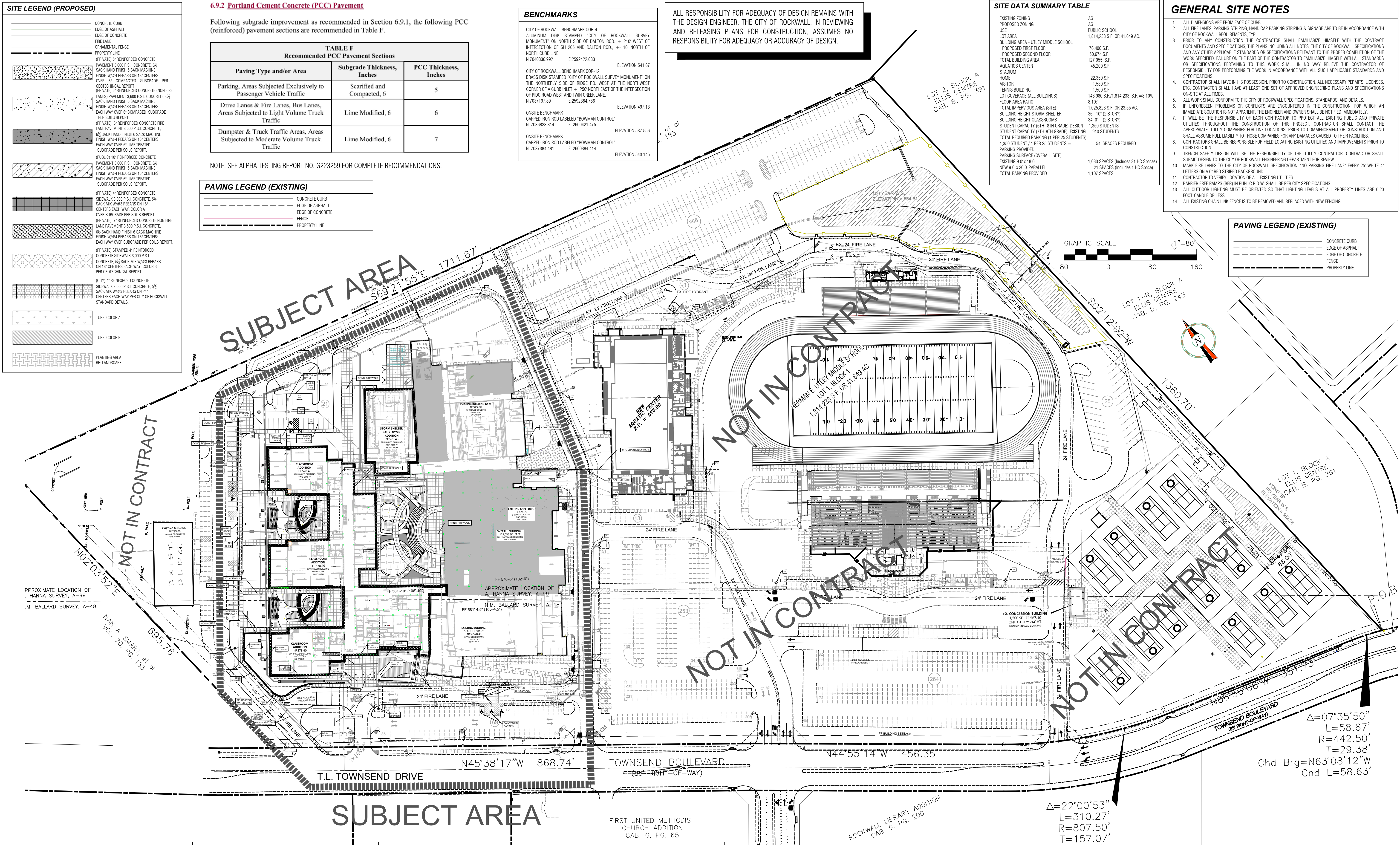
SITE DATA SUMMARY TABLE

EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	1,814,233 S.F. OR 41,649 AC.
BUILDING AREA - UTLEY MIDDLE SCHOOL	
PROPOSED FIRST FLOOR	76,400 S.F.
PROPOSED SECOND FLOOR	50,674 S.F.
TOTAL BUILDING AREA	127,075 S.F.
AQUATICS CENTER	45,200 S.F.
STADIUM	
HOME VISITOR	22,350 S.F.
STADIUM	1,530 S.F.
STADIUM	1,530 S.F.
LOT COVERAGE (ALL BUILDINGS)	146,980 S.F./1,814,233 S.F. = 8.10%
FLOOR AREA RATIO	8.10%
TOTAL IMPERVIOUS AREA (SITE)	1,025,823 S.F. OR 23.55 AC.
BUILDING HEIGHT STORM SHELTER	26'-10" (2 STORY)
BUILDING HEIGHT CLASSROOMS	34'-0" (2 STORY)
STUDENT CAPACITY (6TH-8TH GRADE)	1,350 STUDENTS
STUDENT CAPACITY (7TH-8TH GRADE)	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	54 SPACES REQUIRED
1,350 STUDENT / 1 PER 25 STUDENTS =	54 SPACES REQUIRED
PARKING PROVIDED	
PARKING SURFACE (OVERALL SITE)	1,083 SPACES (Includes 31 HC Spaces)
EXISTING 9'0" X 18'0"	21 SPACES (Includes 1 HC Space)
NEW 9'0" X 20'0" PARALLEL	1,107 SPACES
TOTAL PARKING PROVIDED	

- GENERAL SITE NOTES**
- ALL DIMENSIONS ARE FROM FACE OF CURB.
 - ALL FIRE LINES, PARKING STRIPING, HANDICAP PARKING STRIPING & SIGNAGE ARE TO BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS, TYP.
 - PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS, THE PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON-SITE AT ALL TIMES.
 - ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, AND DETAILS.
 - IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY. IT WILL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
 - TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT DESIGN TO THE CITY OF ROCKWALL ENGINEERING DEPARTMENT FOR REVIEW.
 - MARK FIRE LINES TO THE CITY OF ROCKWALL SPECIFICATION. "NO PARKING FIRE LANE" EVERY 25' WHITE 4" LETTERS ON 4" RED STRIPED BACKGROUND.
 - CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
 - BARRIER FREE RAMPS (BFR) IN PUBLIC R.O.W. SHALL BE PER CITY SPECIFICATIONS.
 - ALL OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 0.20 FOOT CANDLES OR LESS.
 - ALL EXISTING CHAIN LINK FENCE IS TO BE REMOVED AND REPLACED WITH NEW FENCING.

PAVING LEGEND (EXISTING)

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FENCE
- PROPERTY LINE



APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2024. WITNESS OUR HANDS, this ____ day of ____, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: WILLIAM SALEE

SURVEYOR: KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(817) 889-6500
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-024

CORGAN
401 N. Houston St., Dallas, TX 75202
T: 214.748.2000

ISSUES

NO.	DATE	DESCRIPTION
1	05/17/24	90% CD SET

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

GLENN ENGINEERING
TEXAS REGISTRATION # F-303 HUB # 1752575193300
PHONE (972) 717-5151 FAX (972) 717-2176
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 35059, ON JUNE 17, 2024. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Date of issue: 06.17.2024

UTLEY MIDDLE SCHOOL PHASE 2
HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1 - 1,814,233 S.F. OR 41.649 AC
ZONED AGRICULTURE (aAG)
1201 T. L. Townsend DR., Rockwall, TX 75087

OVERALL CITY SITE PLAN

JOB 23035
DATE 06.17.2024
SHEET

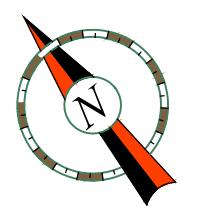
C03.00

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

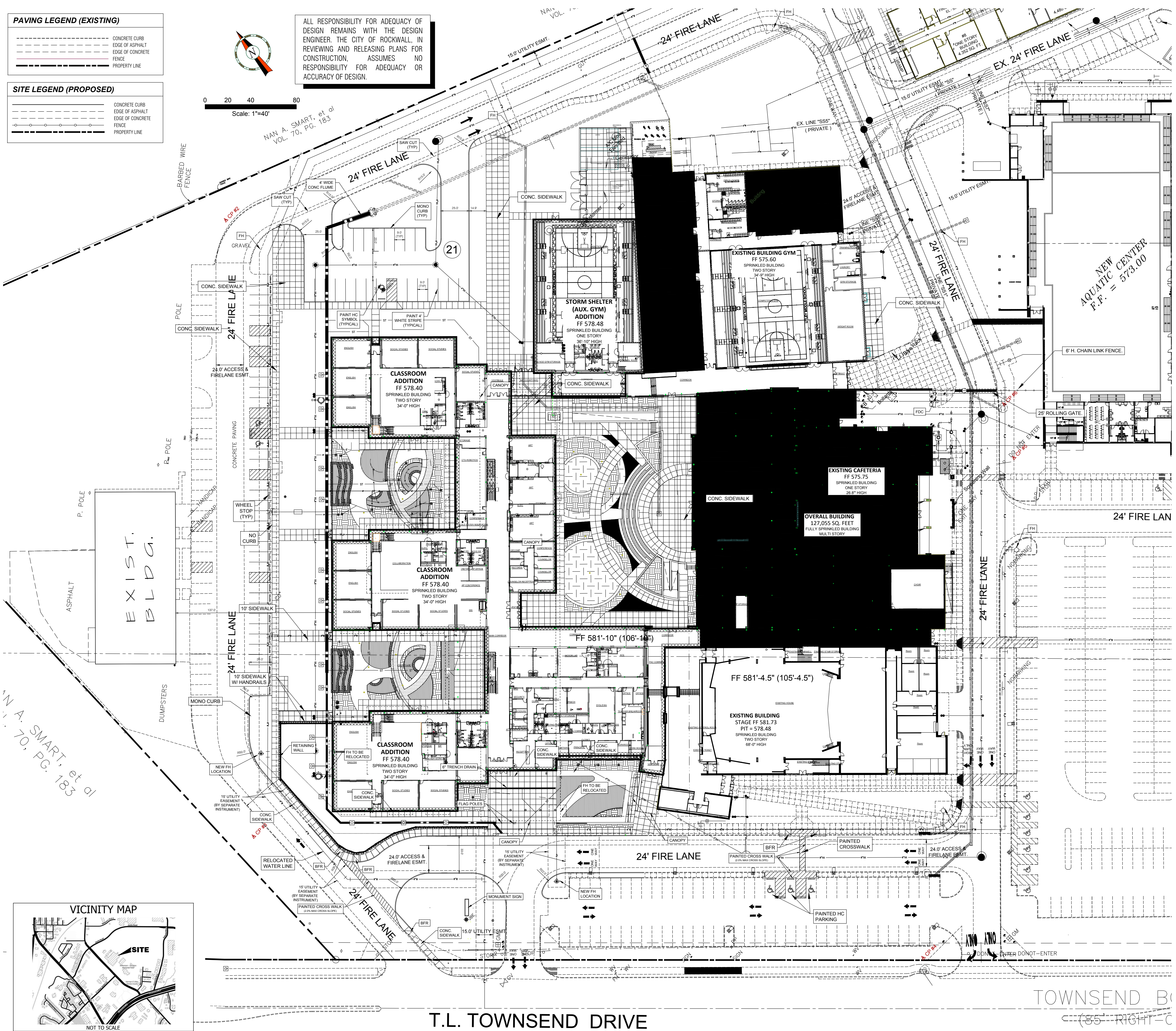
PAVING LEGEND (EXISTING)	
	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

SITE LEGEND (PROPOSED)	
	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



Scale: 1"=40'



GENERAL SITE NOTES

- STRIPING & SIGNAGE DIMENSIONS ARE FROM FACE OF CURB.
- ALL FIRE LANES, PARKING STRIPING, HANDICAP PARKING STRIPING & SIGNAGE ARE TO BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS, TYP.
- PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS, THE PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON-SITE AT ALL TIMES.
- ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, AND DETAILS.
- IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
- IT WILL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS. PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES.
- CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
- TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT DESIGN TO THE CITY OF ROCKWALL ENGINEERING DEPARTMENT FOR REVIEW.
- MARK FIRE LANES TO THE CITY OF ROCKWALL SPECIFICATION. NO PARKING FIRE LANE EVERY 25' WHITE 4" LETTERS ON 4" RED STRIPED BACKGROUND.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
- BARBER RAMP FRAPS (BFR) IN PUBLIC R.O.W. SHALL BE PER CITY SPECIFICATIONS.
- ALL OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 0.20 FOOT-CANDLE OR LESS.
- ALL EXISTING CHAIN LINK FENCE IS TO BE REMOVED AND REPLACED WITH NEW FENCING.

SITE LEGEND (PROPOSED)	
	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FIRE LANE
	ORNAMENTAL FENCE
	PROPERTY LINE
	(F)W/4: 4" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	(F)W/6: 6" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/ #6 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	(F)W/8: 8" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/ #8 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	(F)W/10: 10" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/ #10 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	(F)W/12: 12" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/ #12 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	(F)W/14: 14" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/ #14 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	(F)W/16: 16" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/ #16 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	(F)W/18: 18" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/ #18 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	(F)W/20: 20" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/ #20 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	(F)W/24: 24" REINFORCED CONCRETE PAVEMENT 3,000 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/ #24 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	TURF, COLOR A
	TURF, COLOR B
	PLANTING AREA RE LANDSCAPE

6.9.2 Portland Cement Concrete (PCC) Pavement
 Following subgrade improvement as recommended in Section 6.9.1, the following PCC (reinforced) pavement sections are recommended in Table F.

Paving Type and/or Area	Subgrade Thickness, Inches	PCC Thickness, Inches
Parking, Areas Subjected Exclusively to Passenger Vehicle Traffic	Scarified and Compacted, 6	5
Drive Lanes & Fire Lanes, Bus Lanes, Areas Subjected to Light Volume Truck Traffic	Lime Modified, 6	6
Dumpster & Truck Traffic Areas, Areas Subjected to Moderate Volume Truck Traffic	Lime Modified, 6	7

NOTE: SEE ALPHA TESTING REPORT NO. G223259 FOR COMPLETE RECOMMENDATIONS.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2024.
 WITNESS OUR HANDS, this _____ day of _____, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning
HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
 M.N. BALLARD SURVEY, ABSTRACT NO. 48
 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 CONTACT: WILLIAM SALLEE

SURVEYOR: KMCE, Inc.
 17774 PRESTON ROAD
 DALLAS, TEXAS 75252
 (972) 771-0605
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-024

CORGAN
 CORGAN
 401 N. Houston St., Dallas, TX 75202
 T: 214.748.2000

ISSUES		
1	05/17/24	90% CD SET

REVISIONS

GLENN ENGINEERING
 TEXAS REGISTRATION # F-303 HUB # 173257193000
 PHONE (972) 717-5151 FAX (972) 717-2176
 4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 35059, ON JUNE 17, 2024. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Date of issue: 06.17.2024

UTLEY MIDDLE SCHOOL PHASE 2
 HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1 - 1,814,233 S.F. OR 41,649 AC
 ZONED AGRICULTURE (aAG)
 1201 T. L. Townsend DR., Rockwall, TX 75087

DETAILED SITE PLAN

JOB 23035
 DATE 06.17.2024
 SHEET

C03.01

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24.0' ACCESS & FIRELANE ESMT.

64

7

51

42

24

31

30

24' FIRE LANE

15' UTILITY EASEMENT (BY SEPARATE INSTRUMENT)

DUMPSTERS

24' F

CONCRETE PAVING

RECON STONE SEATING WALL

LANDSCAPE AREA, REF. LANDSCAPE W/ ATRIUM DRAIN (TYP)

(2) 3' WIDE GATES W/ PANIC HARDWARE

STAMPED CONCRETE

CONCRETE PAVING

RECON STONE SEATING WALL

LANDSCAPE AREA, REF. LANDSCAPE W/ ATRIUM DRAIN (TYP)

(2) 3' WIDE GATES W/ PANIC HARDWARE

STAMPED CONCRETE

CONCRETE PAVING

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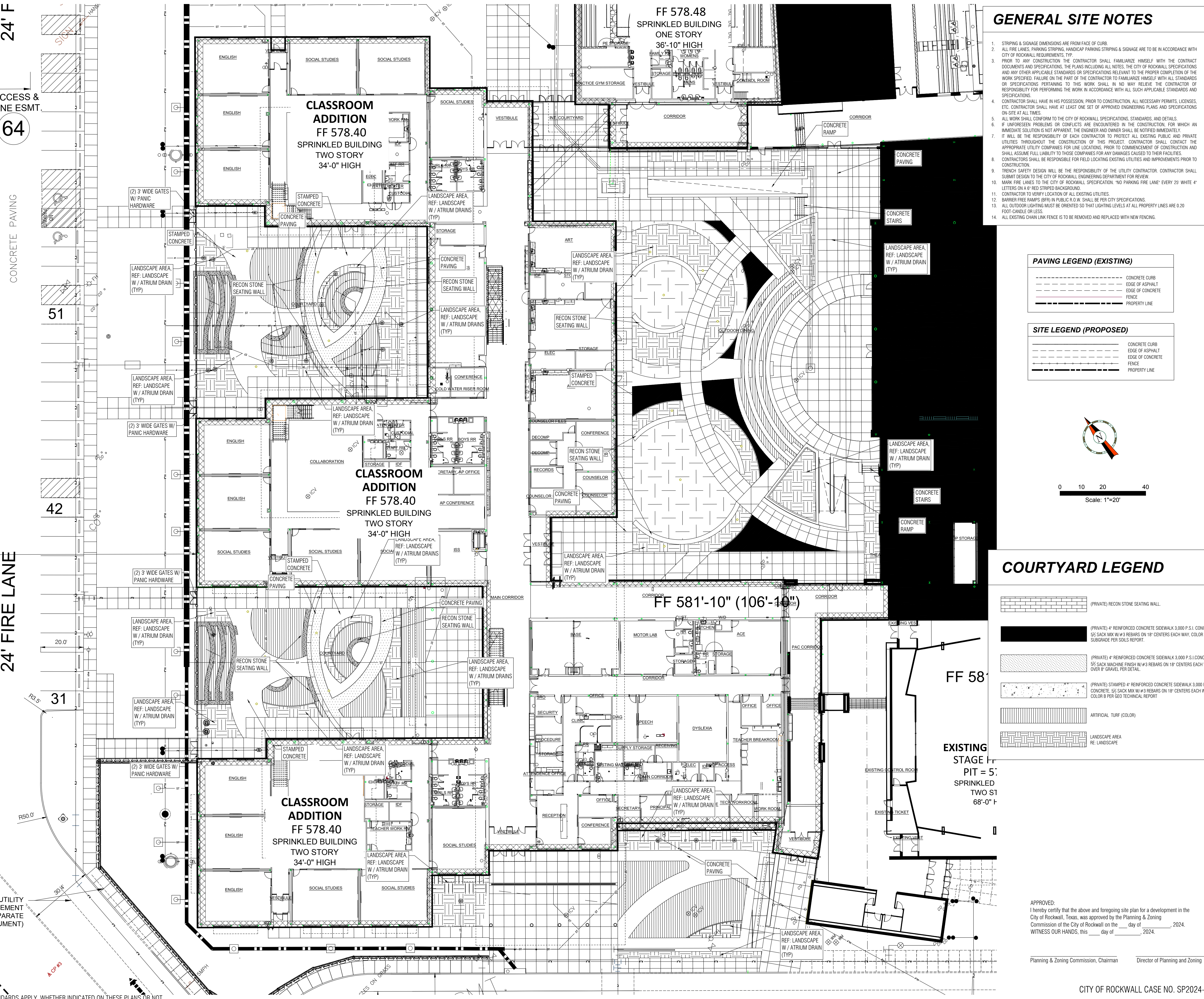
STAMPED CONCRETE

CONCRETE PAVING

RECON STONE SEATING WALL

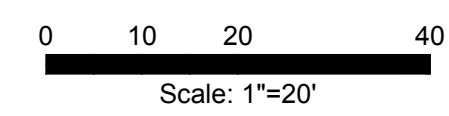
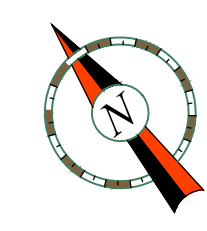
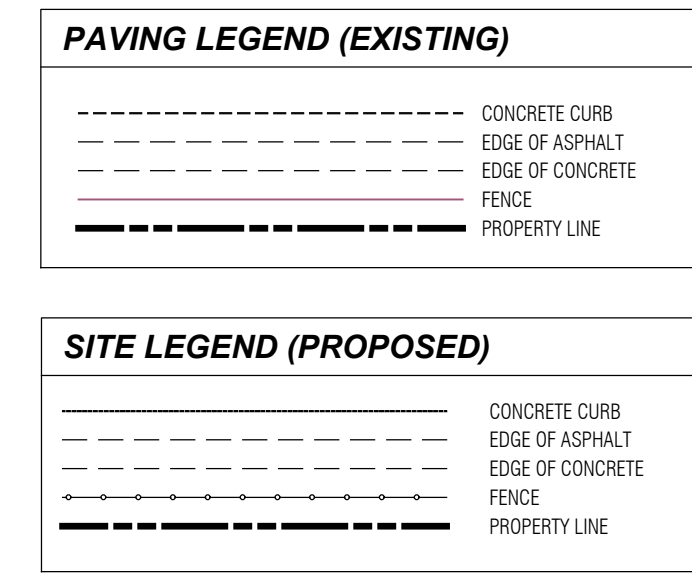
LANDSCAPE AREA, REF. LANDSCAPE W/ ATRIUM DRAIN (TYP)

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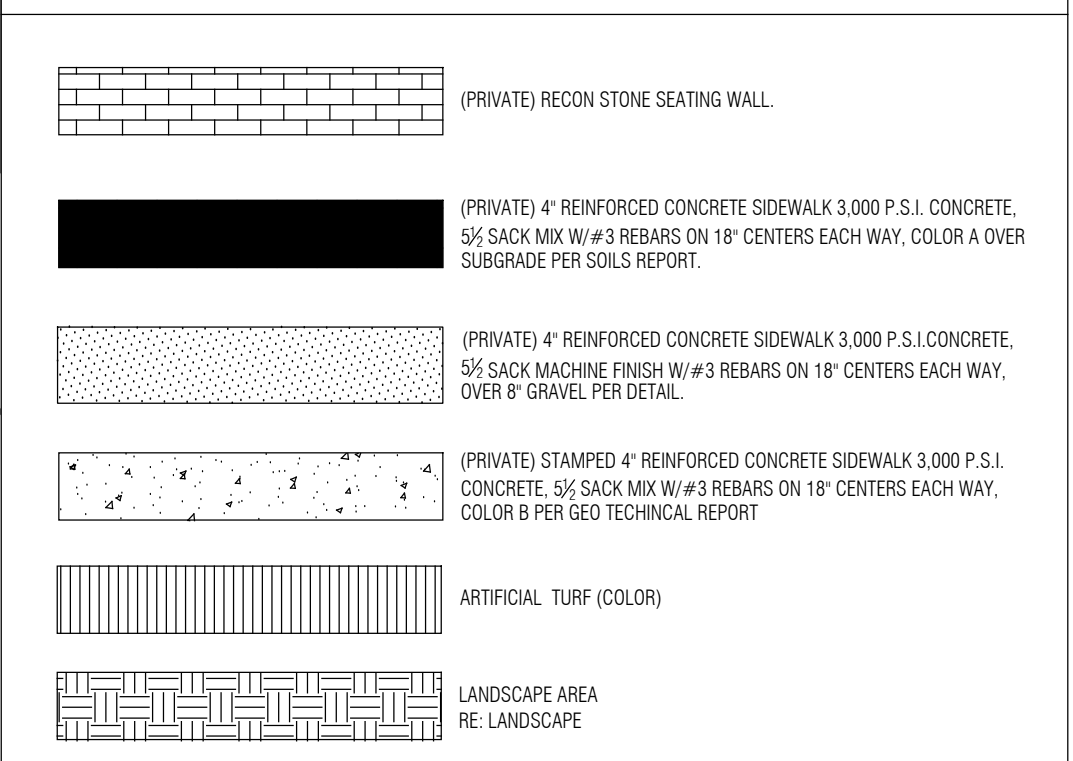


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COURTYARD LEGEND



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2024.
WITNESS OUR HANDS, this ___ day of ___, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

CORGAN
CORGAN
401 N. Houston St., Dallas, TX 75202
T: 214.748.2000

ISSUES
1 05/17/24 90% CD SET

REVISIONS

GLENN ENGINEERING
TEXAS REGISTRATION # F-303 HUB # 1752575193300
PHONE (972) 717-5151 FAX (972) 717-2176
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

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Date of issue:
06.17.2024

UTLEY MIDDLE SCHOOL PHASE 2
HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1 - 1,814,233 S.F. OR 41.649 AC
ZONED AGRICULTURE (aAG)
1201 T. L. Townsend DR., Rockwall, TX 75087

SITE PLAN - COURTYARD

JOB 23035
DATE 06.17.2024
SHEET

C03.02

CITY OF ROCKWALL CASE NO. SP2024-024

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)

LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)

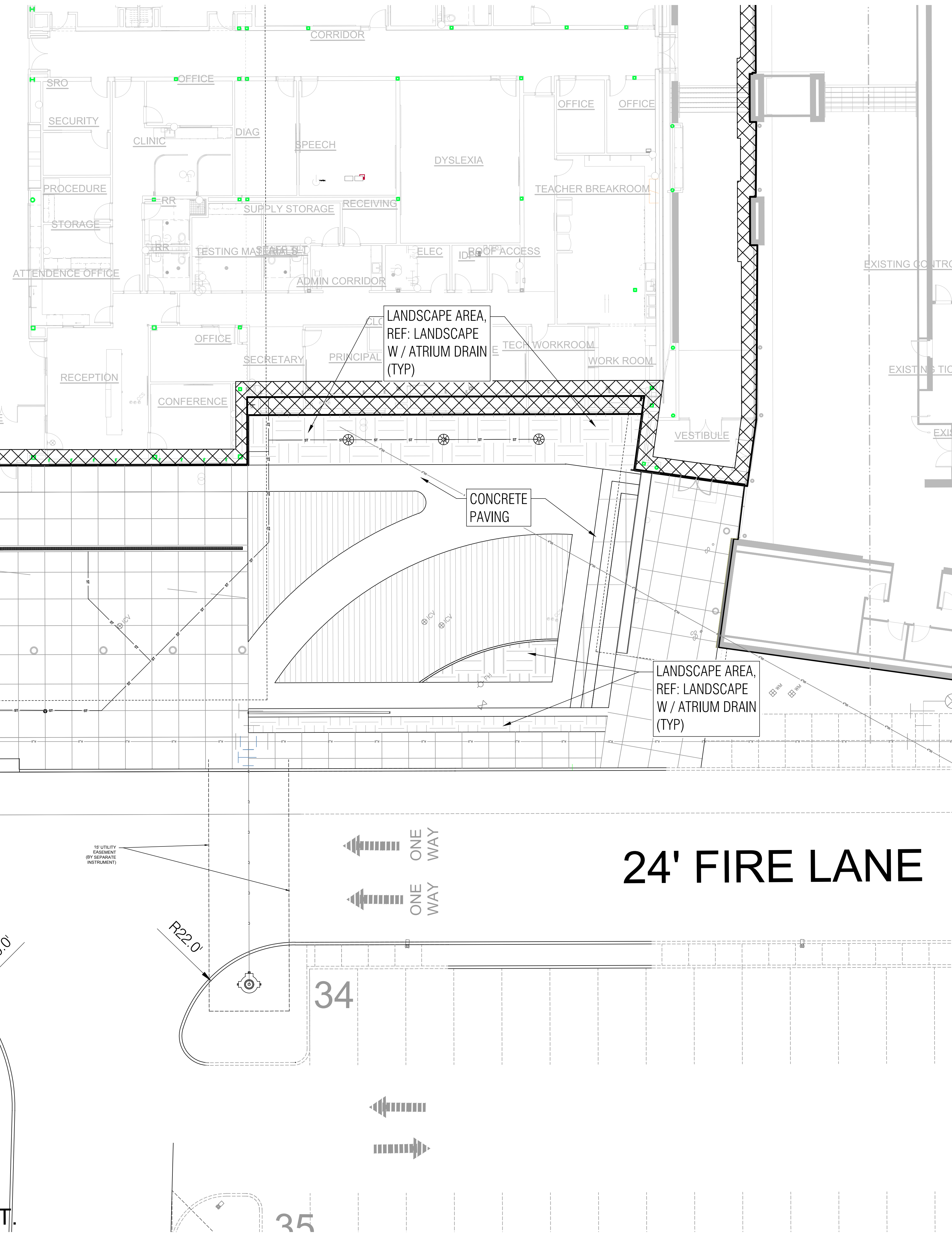
ACCESS & ESMT.

15.0' UTILITY ESMT.

REF: LANDSCAPE W / ATRIUM DRAINS (TYP)

LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)

LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)



GENERAL SITE NOTES

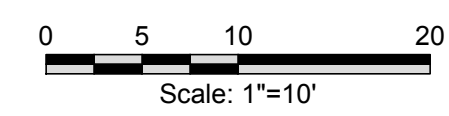
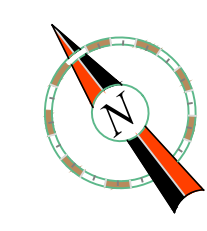
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11. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
12. BARRIER FREE RAMPS (BFR) IN PUBLIC R.O.W. SHALL BE PER CITY SPECIFICATIONS.
13. ALL OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 0.20 FOOT-CANDLE OR LESS.
14. ALL EXISTING CHAIN LINK FENCE IS TO BE REMOVED AND REPLACED WITH NEW FENCING.

PAVING LEGEND (EXISTING)

- CONCRETE CURB
- - - EDGE OF ASPHALT
- - - EDGE OF CONCRETE
- FENCE
- PROPERTY LINE

SITE LEGEND (PROPOSED)

- CONCRETE CURB
- - - EDGE OF ASPHALT
- - - EDGE OF CONCRETE
- FENCE
- PROPERTY LINE



COURTYARD LEGEND

- (PRIVATE) RECON STONE SEATING WALL.
- (PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR A OVER SUBGRADE PER SOILS REPORT.
- (PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MACHINE FINISH W/ #3 REBARS ON 18" CENTERS EACH WAY, OVER 8" GRAVEL PER DETAIL.
- (PRIVATE) STAMPED 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR B PER GEO TECHNICAL REPORT.
- ARTIFICIAL TURF (COLOR)
- LANDSCAPE AREA RE: LANDSCAPE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2024.
WITNESS OUR HANDS, this ___ day of ___, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

CITY OF ROCKWALL CASE NO. SP2024-024

CORGAN
CORGAN
401 N. Houston St., Dallas, TX 75202
T: 214.748.2000

ISSUES

1	05/17/24	90% CD SET
---	----------	------------

REVISIONS

GLENN ENGINEERING
TEXAS REGISTRATION # F-303 HUB # 175257519300
PHONE (972) 717-5151 FAX (972) 717-2176
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

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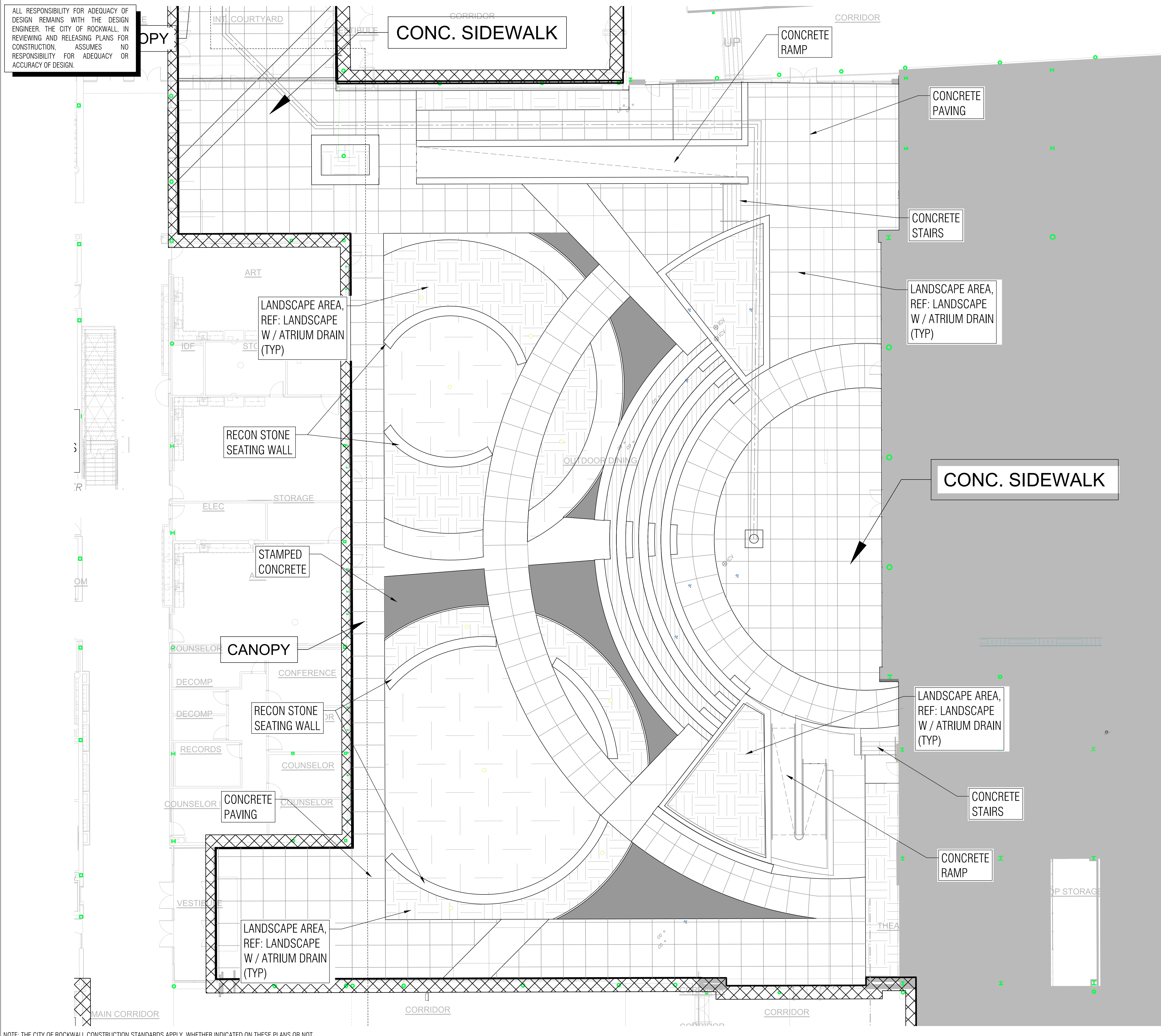
SITE PLAN - COURTYARD ENTRY

JOB 23035
DATE 06.17.2024
SHEET

C03.03

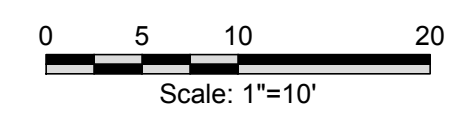
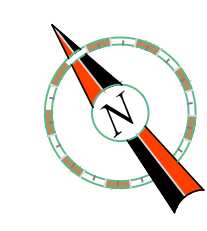
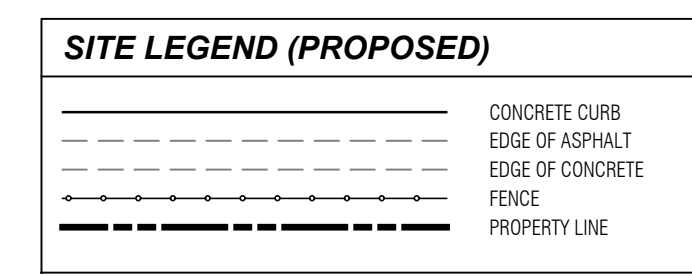
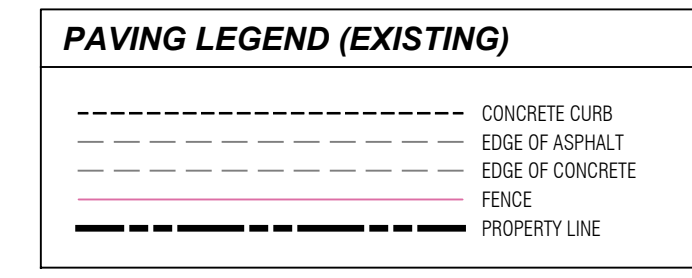
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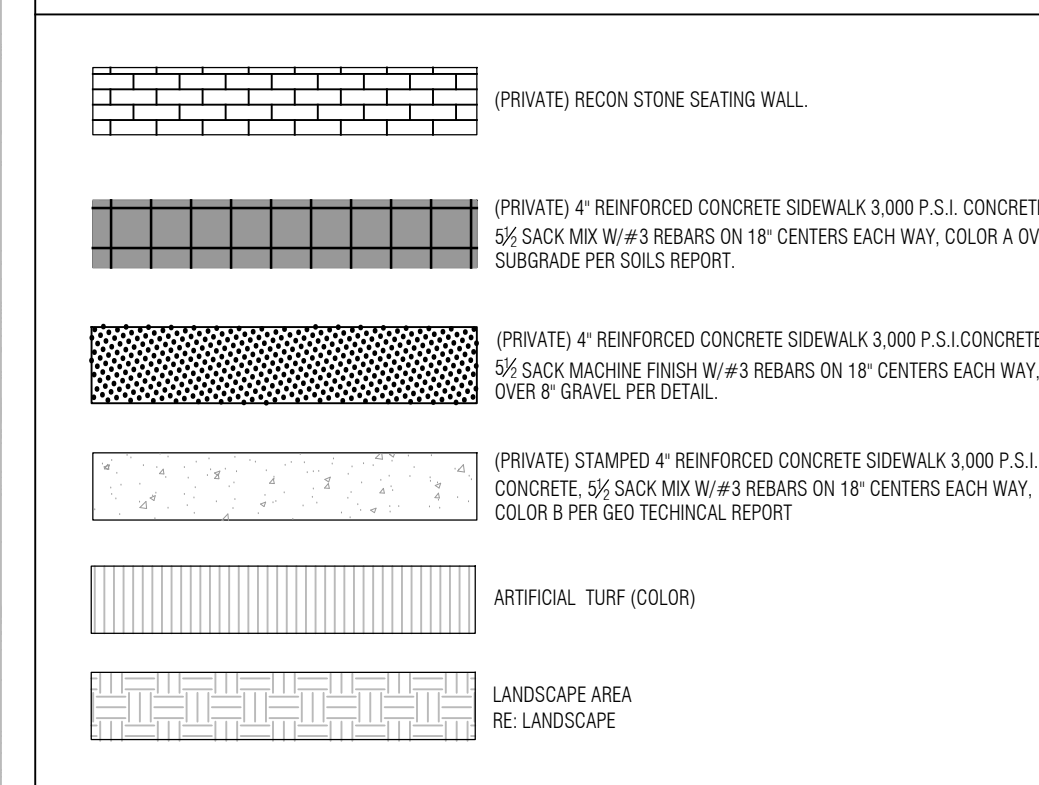


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- PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS, THE PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON SITE AT ALL TIMES.
- ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, AND DETAILS.
- IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
- IT WILL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES.
- CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
- TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT DESIGN TO THE CITY OF ROCKWALL ENGINEERING DEPARTMENT FOR REVIEW.
- MARK FIRE LANES TO THE CITY OF ROCKWALL SPECIFICATION: "NO PARKING FIRE LANE" EVERY 25' WHITE 4" LETTERS ON A 6" RED STRIPED BACKGROUND.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
- BARRIER FREE RAMPS (BFR) IN PUBLIC R.O.W. SHALL BE PER CITY SPECIFICATIONS.
- ALL OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 0.20 FOOT-CANDLE OR LESS.
- ALL EXISTING CHAIN LINK FENCE IS TO BE REMOVED AND REPLACED WITH NEW FENCING.



COURTYARD LEGEND



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2024.
WITNESS OUR HANDS, this ___ day of ___, 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CORGAN
CORGAN
401 N. Houston St., Dallas, TX 75202
T: 214.748.2000

ISSUES

NO.	DATE	DESCRIPTION
1	05/17/24	90% CD SET

REVISIONS

GLENN ENGINEERING
TEXAS REGISTRATION # F-303 HUB # 1752575193300
PHONE (972) 717-5151 FAX (972) 717-2176
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 35059, ON JUNE 17, 2024. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Date of issue:
06.17.2024

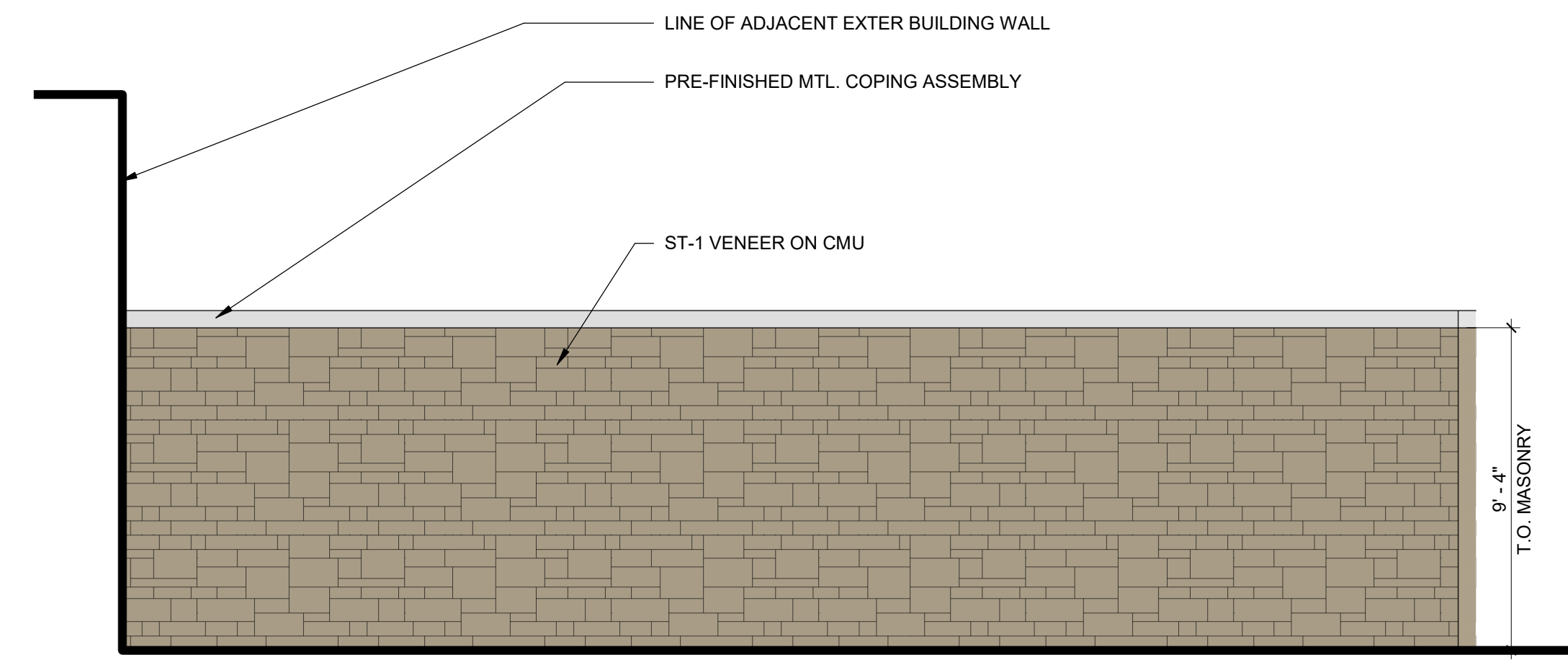
UTLEY MIDDLE SCHOOL PHASE 2
HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1 - 1,814,233 S.F. OR 41,649 AC
ZONED AGRICULTURE (aAG)
1201 T. L. Townsend DR., Rockwall, TX 75087

SITE PLAN - COURTYARD

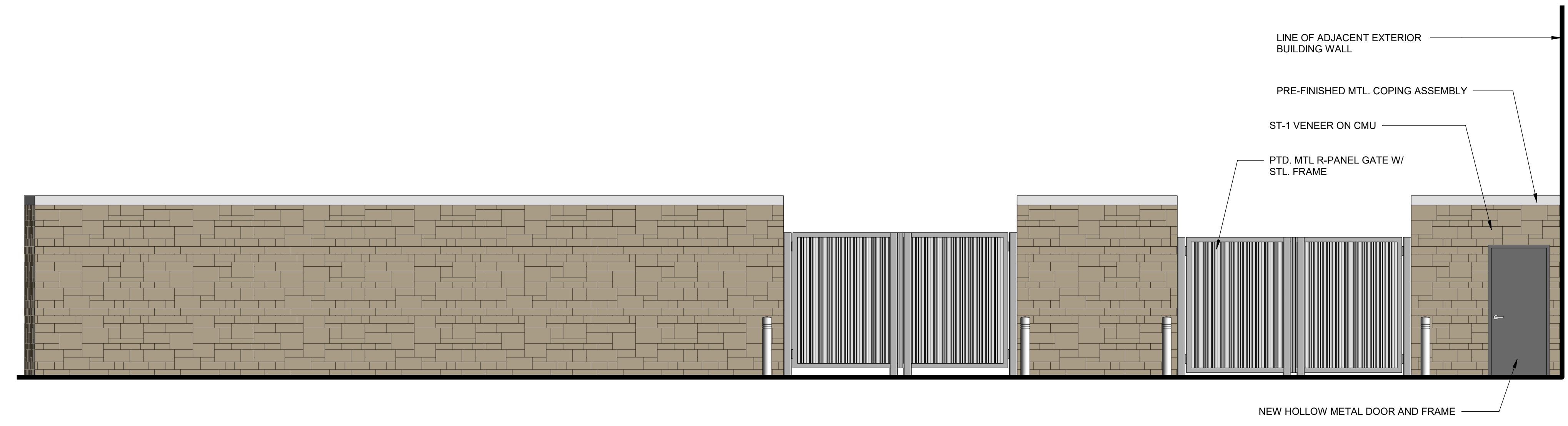
JOB 23035
DATE 06.17.2024
SHEET

C03.04

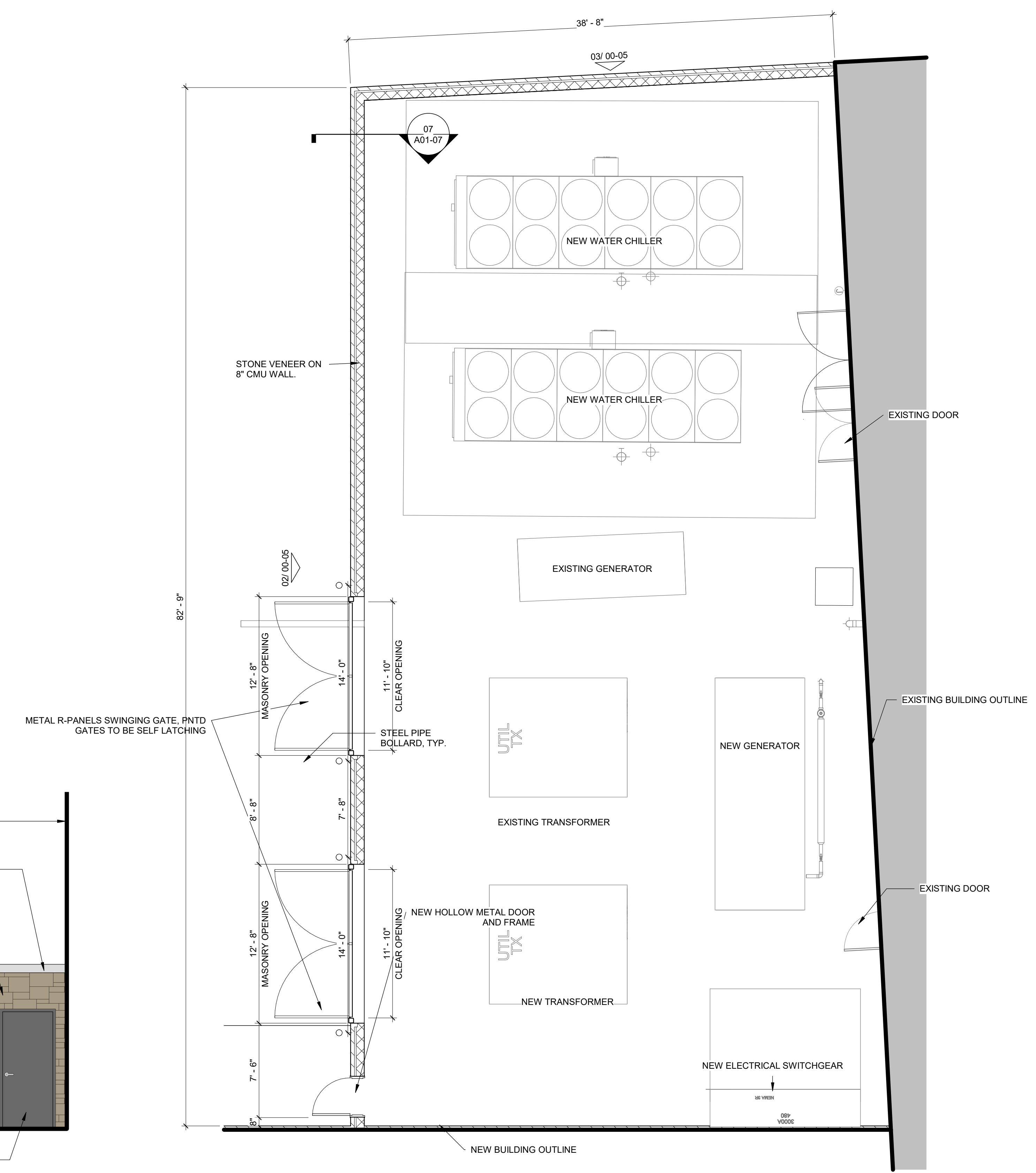
NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT



03 ELEVATION - NORTH TRANSFORMER YARD
1/4" = 1'-0"



02 ELEVATION - WEST TRANSFORMER YARD
1/4" = 1'-0"



01 SITE ENLARGED PLAN - TRANSFORMER YARD
3/16" = 1'-0"



TRANSFORMER YARD - UTLEY MIDDLE SCHOOL

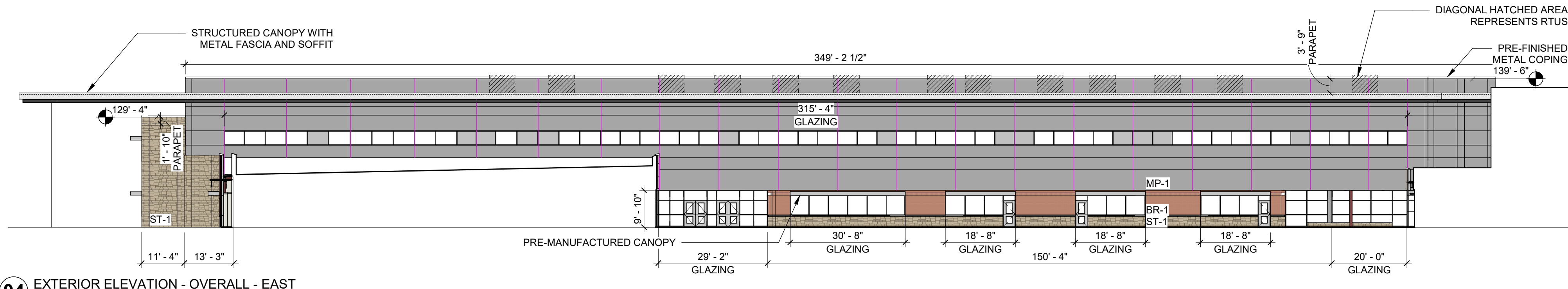
APPROVED:
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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

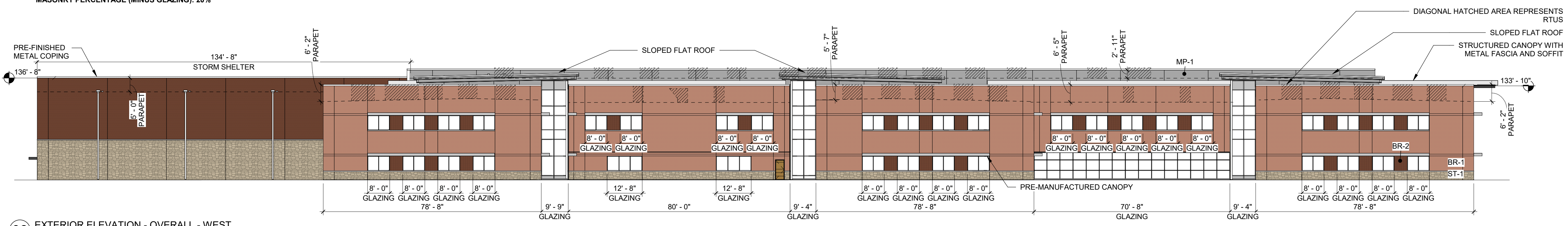


CITY OF ROCKWALL CASE NO. SP2024-024



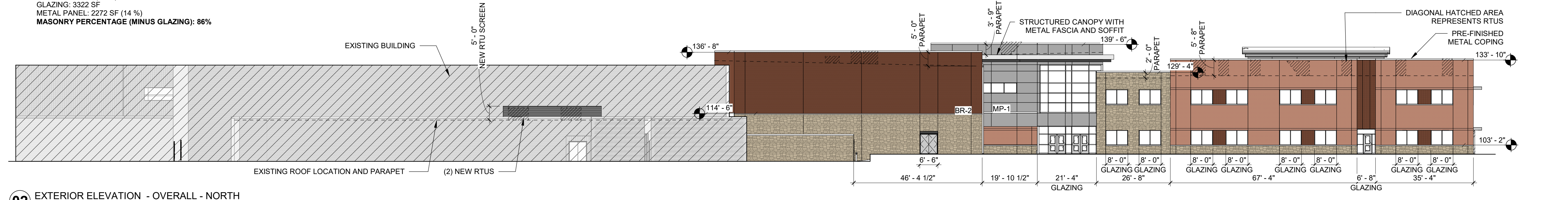
04 EXTERIOR ELEVATION - OVERALL - EAST
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 12,136 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 9795 SF
BRICK: 934 SF (10%)
STONE: 969 SF (10%)
GLAZING: 2341 SF
METAL PANEL: 7892 SF (81%)
MASONRY PERCENTAGE (MINUS GLAZING): 20%



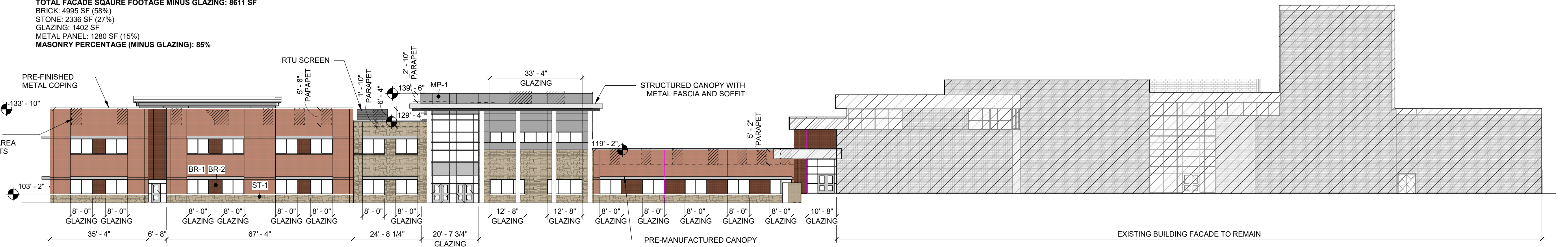
03 EXTERIOR ELEVATION - OVERALL - WEST
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 19,737 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 16,415 SF
BRICK: 11,686 SF (72%)
STONE: 2457 SF (15%)
GLAZING: 3322 SF
METAL PANEL: 2272 SF (14%)
MASONRY PERCENTAGE (MINUS GLAZING): 86%



02 EXTERIOR ELEVATION - OVERALL - NORTH
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 10,013 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 8611 SF
BRICK: 4999 SF (58%)
STONE: 2336 SF (27%)
GLAZING: 1402 SF
METAL PANEL: 1280 SF (15%)
MASONRY PERCENTAGE (MINUS GLAZING): 85%



01 EXTERIOR ELEVATION - OVERALL - T.L. TOWNSEND DRIVE (SOUTH ELEVATION)
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 8541 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 6496 SF
BRICK: 3759 SF (58%)
STONE: 1850 SF (28%)
GLAZING: 2045 SF
METAL PANEL: 887 SF (14%)
MASONRY PERCENTAGE (MINUS GLAZING): 86%

EXT. MATERIALS LEGEND		

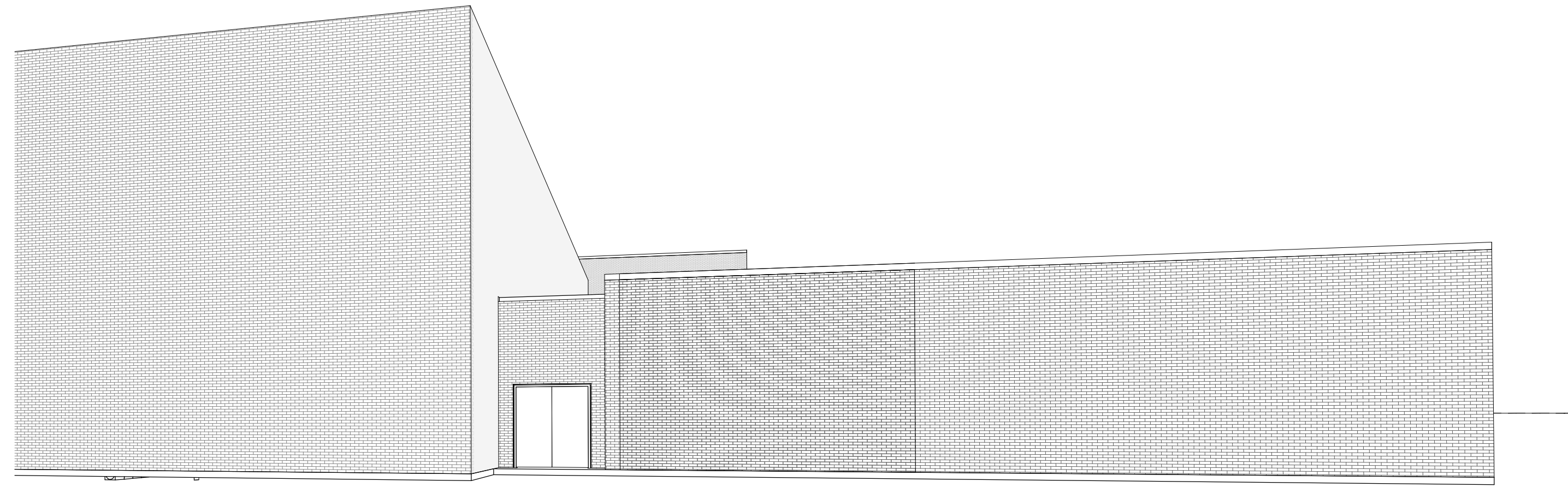


EXTERIOR ELEVATIONS UTLEY MIDDLE SCHOOL

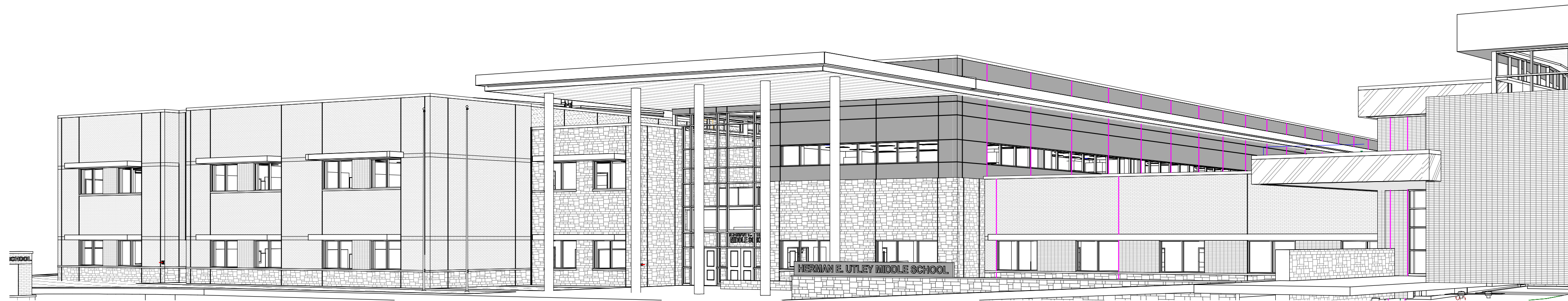
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WITNESS OUR HANDS, this _____ day of _____, 2022.



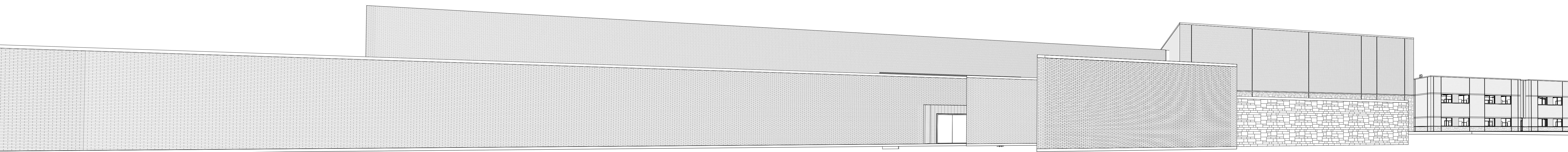
CITY OF ROCKWALL CASE NO. SP2024-024



03 3D RTU VIEW - NORTHEAST
N.T.S.



02 3D RTU VIEW - TL TOWNSEND DRIVE
N.T.S.



01 3D RTU VIEW - NORTH
N.T.S.

RTU 3D VIEWS - UTLEY MIDDLE SCHOOL



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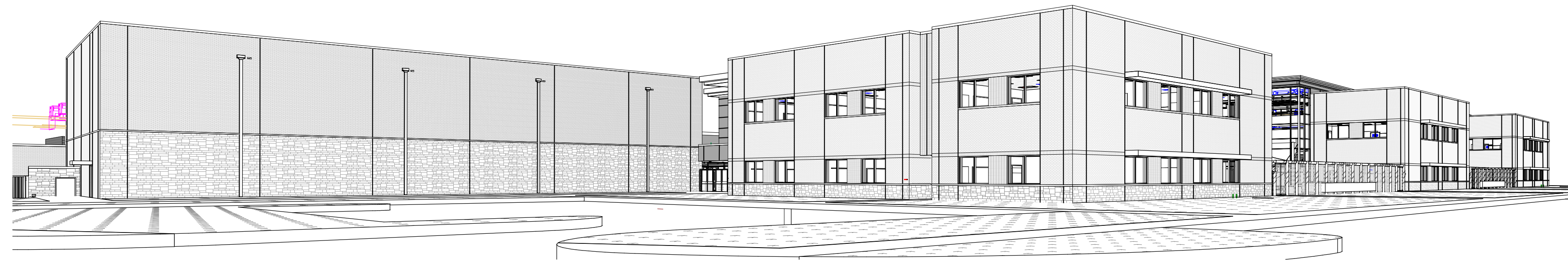
CITY OF ROCKWALL CASE NO. SP2024-024

Planning & Zoning Commission, Chairman

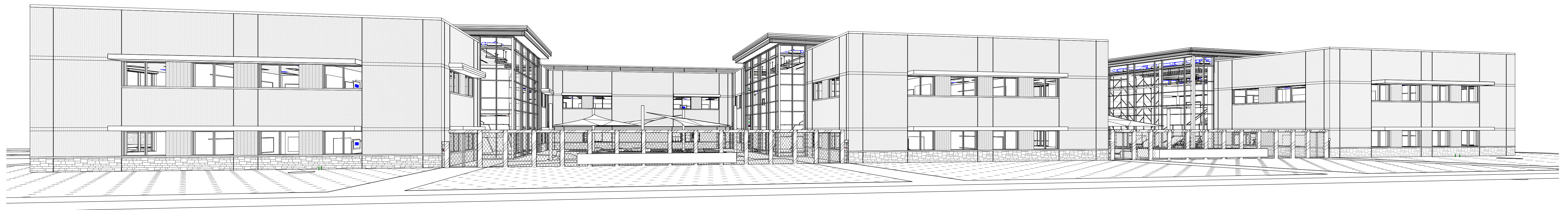
Director of Planning and Zoning



03 3D RTU VIEW - SOUTHWEST
N.T.S.



02 3D RTU VIEW - NORTHWEST
N.T.S.



01 3D RTU VIEW - WEST
N.T.S.

RTU 3D VIEWS - UTLEY MIDDLE SCHOOL



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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



CITY OF ROCKWALL CASE NO. SP2024-024

UTLEY MIDDLE SCHOOL - EXTERIOR MATERIALS

EXTERIOR - 1201 T L TOWNSEND DR., ROCKWALL, TX



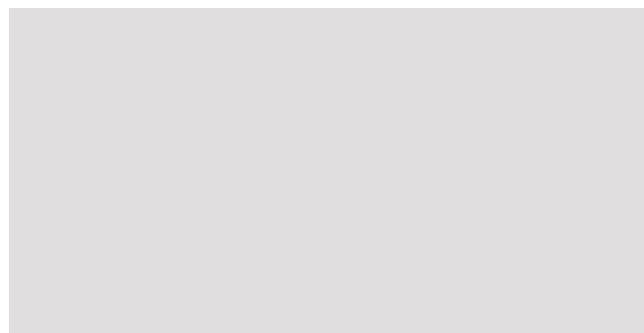
BR-1 FIELD BRICK



BR-2 ACCENT BRICK



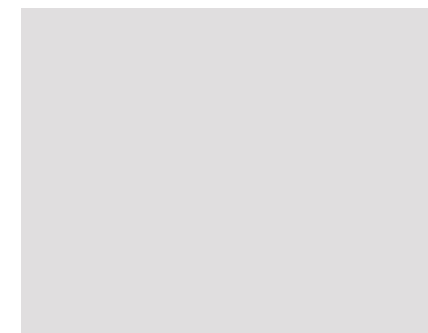
GL-1 INSULATED EXTERIOR GLAZING UNIT



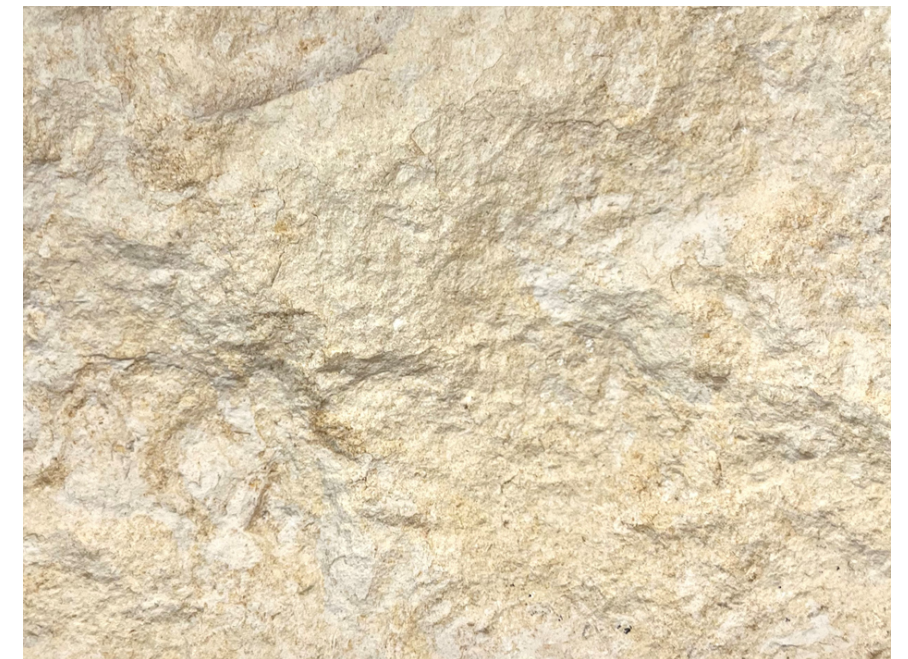
AL-1 STOREFRONT ALUMINUM



MP-1 METAL PANEL



MP-2 METAL PANEL



ST-1 STONE

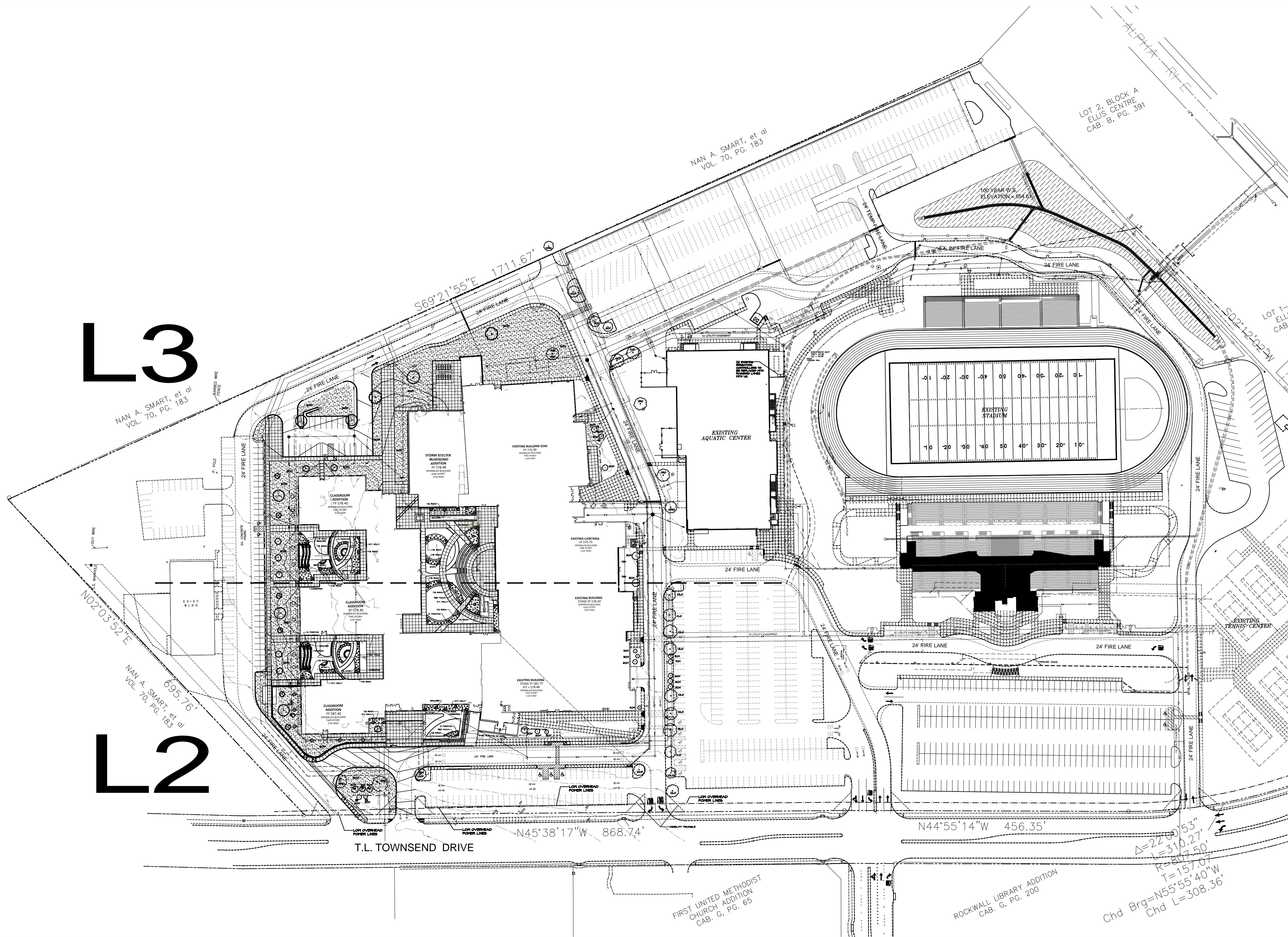
UTLEY MIDDLE SCHOOL - EXTERIOR MATERIALS

EXTERIOR - 1201 T L TOWNSEND DR., ROCKWALL, TX

FINISH CODE	DESCRIPTION	MANUFACTURER	COLOR
BR-1	BRICK	ACME BRICK	BURNT PUMPKIN
BR-2	BRICK	ACME BRICK	VILLAGE
ST-1	STONE	BLACKSON BRICK CO.	5TH AVE SPLITFACE
GL-1	INSULATED GLAZING UNIT	VITRO	SOLARBAN 90 + CLEAR
MP-1	METAL PANEL	ALUCOBOND	BEACHSTONE GRAY METALLIC
MP-2	METAL PANEL	ALUCOBOND	CLEAR ANODIZED
AL-1	ANODIZED ALUMINUM STOREFRONT	KAWNEER	CLEAR
SC-1*	STUCCO		COLOR TO MATCH BR-1

* LOCATION USED: ROOF PARAPETS. LOCATIONS NOT VISIBLE FROM PROPERTY LINE





SITE DATA SUMMARY TABLE

EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	1,814,233 S.F. OR 41.649 AC.
BUILDING AREA - UTLEY MIDDLE SCHOOL	
PROPOSED FIRST FLOOR	76,400 S.F.
PROPOSED SECOND FLOOR	50,674 S.F.
TOTAL BUILDING AREA	127,075 S.F.
AQUATICS CENTER	45,200 S.F.
STADIUM	
HOME	22,350 S.F.
VISITOR	1,530 S.F.
TENNIS BUILDING	1,500 S.F.
LOT COVERAGE (ALL BUILDINGS)	146,980 S.F./1,814,233 S.F. [] 8.10%
FLOOR AREA RATIO	8.10:1
TOTAL IMPERVIOUS AREA (SITE)	1,025,823 S.F. OR 23.55 AC.
BUILDING HEIGHT STORM SHELTER	36[] 10' (2 STORY)
BUILDING HEIGHT CLASSROOMS	34[] 10' (2 STORY)
STUDENT CAPACITY (6TH - 8TH GRADE) DESIGN	1,350 STUDENTS
STUDENT CAPACITY (7TH - 8TH GRADE) EXISTING	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	1,350 STUDENT / 1 PER 25 STUDENTS []
PARKING PROVIDED	54 SPACES REQUIRED
PARKING SURFACE (OVERALL SITE)	
EXISTING 9.0[] 18.0[]	1,083 SPACES (Inc [] 31 HC Spaces)
NEW 10.0[] 20.0[] PARALLEL	18 SPACES (Inc [] 1 HC Space)
TOTAL PARKING PROVIDED	1,101 SPACES

LANDSCAPE NOTES

LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD/HYDRO PER THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.

CORGAN

CORGAN
www.corgan.com
T: 214.748.2000

ISSUES

1	06/17/2024	PERMIT SET
2		
3		
4		
5		
6		

REVISIONS

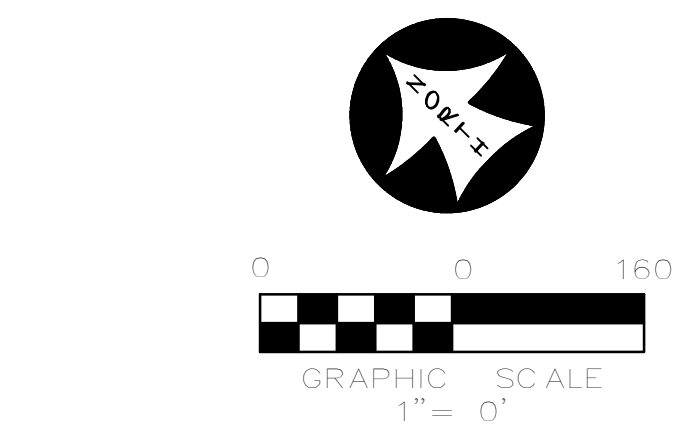
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, LLC

11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

L3

L2



HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2024.
WITNESS OUR HANDS, this ___ day of ___, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: WILLIAM SALEE

SURVEYOR:
KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(817) 889-6500
CONTACT: ROBERT HANSEN

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-024

**UTLEY MIDDLE SCHOOL
PHASE 2**

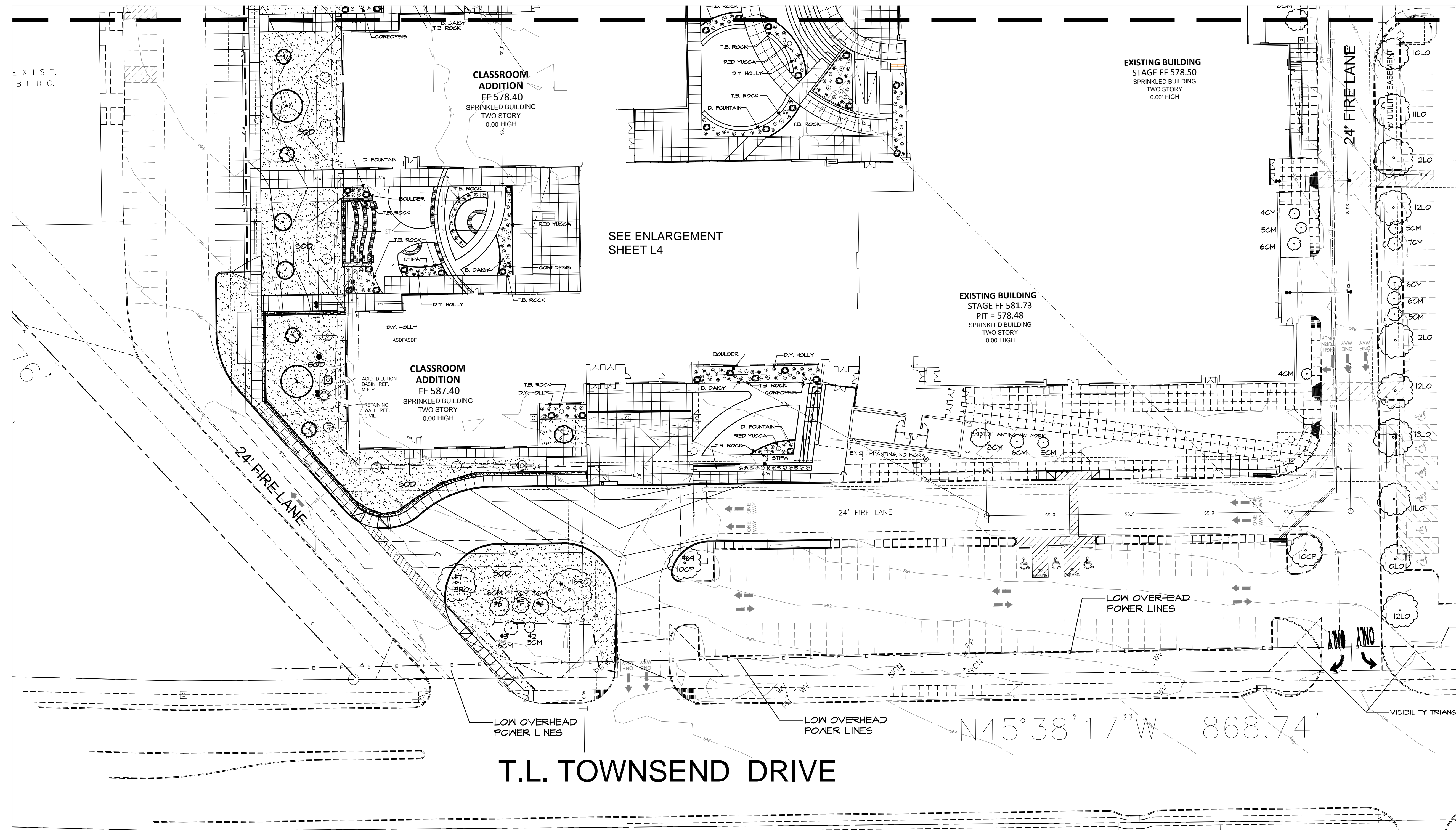
1201 T L Townsend Dr., Rockwall, TX 75087

OVERALL
LANDSCAPE PLAN

JOB 23035
DATE 06.17.2024
SHEET



MATCHLINE SEE SHEET L3



CORGAN

CORGAN
www.corgan.com
T: 214.748.2000

ISSUES	
1	06/17/2024 PERMIT SET
2	
3	
4	
5	
6	

REVISIONS	

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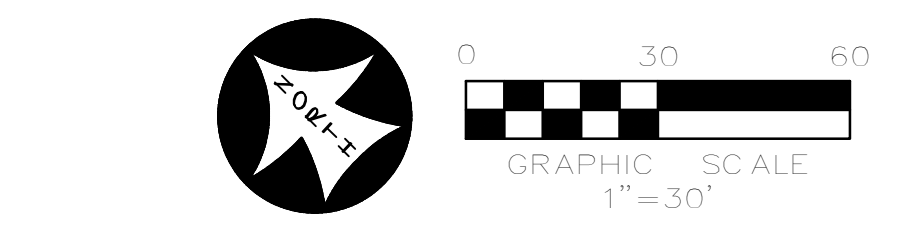
RAMSEY LANDSCAPE ARCHITECTS, L.L.C.
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
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**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
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CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN
AREA A



APPROVED:
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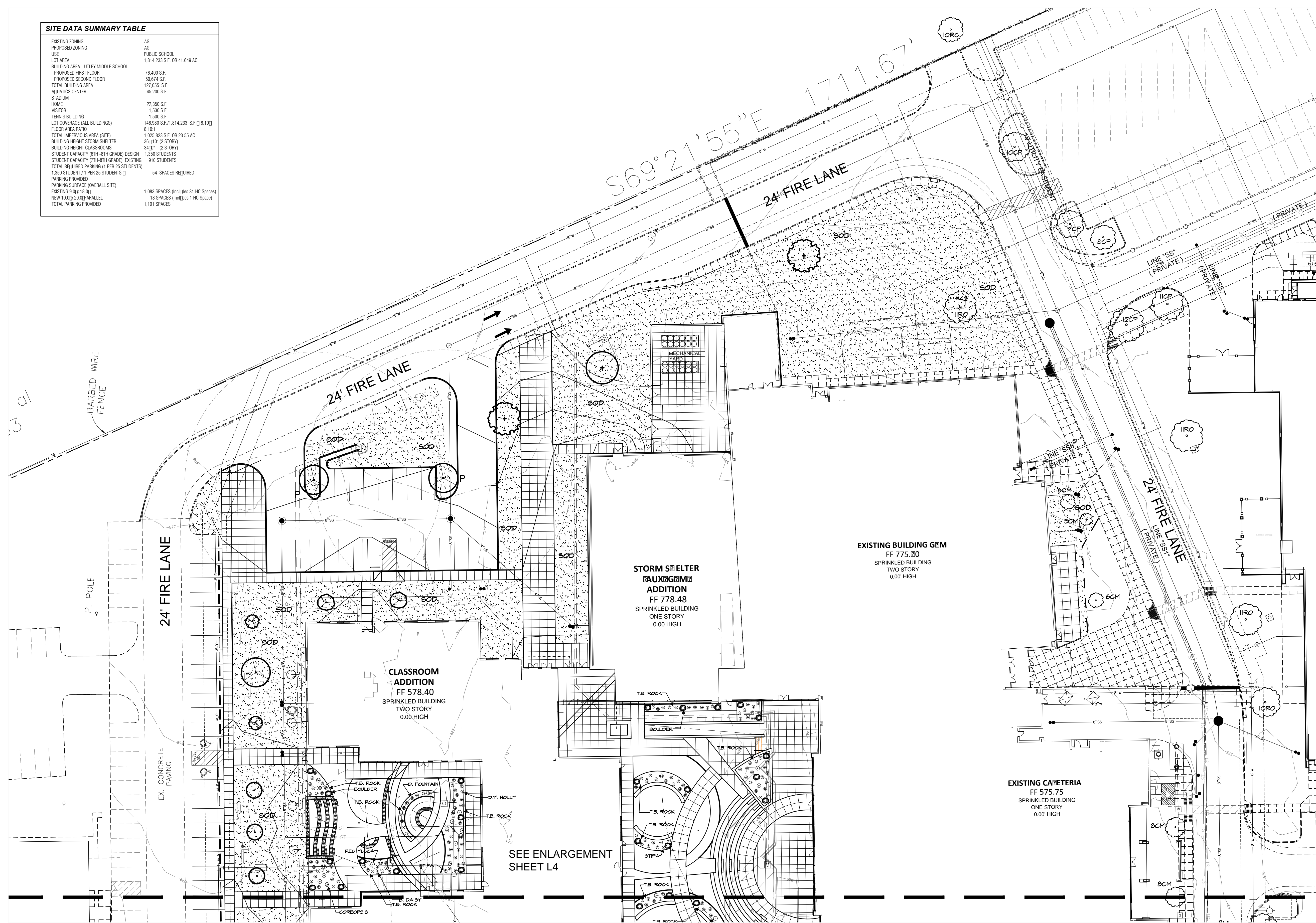
SURVEYOR:
KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(817) 889-6500
CONTACT: ROBERT HANSEN

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

JOB 23035
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SHEET

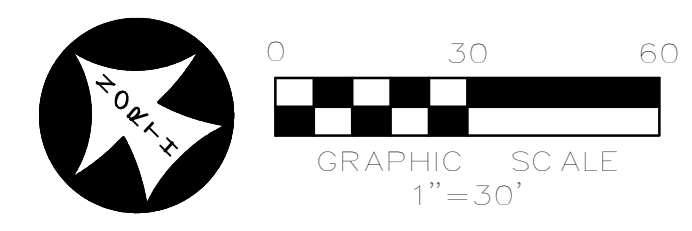
CITY OF ROCKWALL CASE NO. SP2024-024

SITE DATA SUMMARY TABLE	
EXISTING ZONING	A6
PROPOSED ZONING	A6
USE	PUBLIC SCHOOL
LOT AREA	1,814,233 S.F. OR 41.649 AC.
BUILDING AREA - UTLEY MIDDLE SCHOOL	
PROPOSED FIRST FLOOR	76,400 S.F.
PROPOSED SECOND FLOOR	50,674 S.F.
TOTAL BUILDING AREA	127,074 S.F.
AQUATICS CENTER	43,200 S.F.
STADIUM	
HOME	22,350 S.F.
VISITOR	1,530 S.F.
TENNIS BUILDING	1,500 S.F.
LOT COVERAGE (ALL BUILDINGS)	146,980 S.F./1,814,233 S.F. (8.1%)
FLOOR AREA RATIO	8.101
TOTAL IMPERVIOUS AREA (SITE)	1,025,823 S.F. OR 23.55 AC.
BUILDING HEIGHT STORM SHELTER	36(10' (2 STORY))
BUILDING HEIGHT CLASSROOMS	34(2' (2 STORY))
STUDENT CAPACITY (6TH-8TH GRADE) DESIGN	1,350 STUDENTS
STUDENT CAPACITY (7TH-8TH GRADE) EXISTING	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	54 SPACES REQUIRED
1,350 STUDENT / 1 PER 25 STUDENTS (I)	
PARKING PROVIDED	
PARKING SURFACE (OVERALL SITE)	1,083 SPACES (Includes 31 HC Spaces)
EXISTING (9,000) 18 (10)	
NEW (10,000) 20 (PARALLEL)	18 SPACES (Includes 1 HC Space)
TOTAL PARKING PROVIDED	1,101 SPACES



MATCHLINE SEE SHEET L2

HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
 M.N. BALLARD SURVEY, ABSTRACT NO. 48
 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



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OWNER/DEVELOPER:
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 ROCKWALL, TEXAS 75087
 (972) 771-0605
 CONTACT: WILLIAM SAALEE

SURVEYOR:
 KMCE, Inc.
 17774 PRESTON ROAD
 DALLAS, TEXAS 75252
 (817) 889-6500
 CONTACT: ROBERT HANSEN

ENGINEER:
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 4500 FULLER DR.
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 CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-024

CORGAN
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 T: 214.748.2000

ISSUES	
1	06/17/2024 PERMIT SET
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REVISIONS	

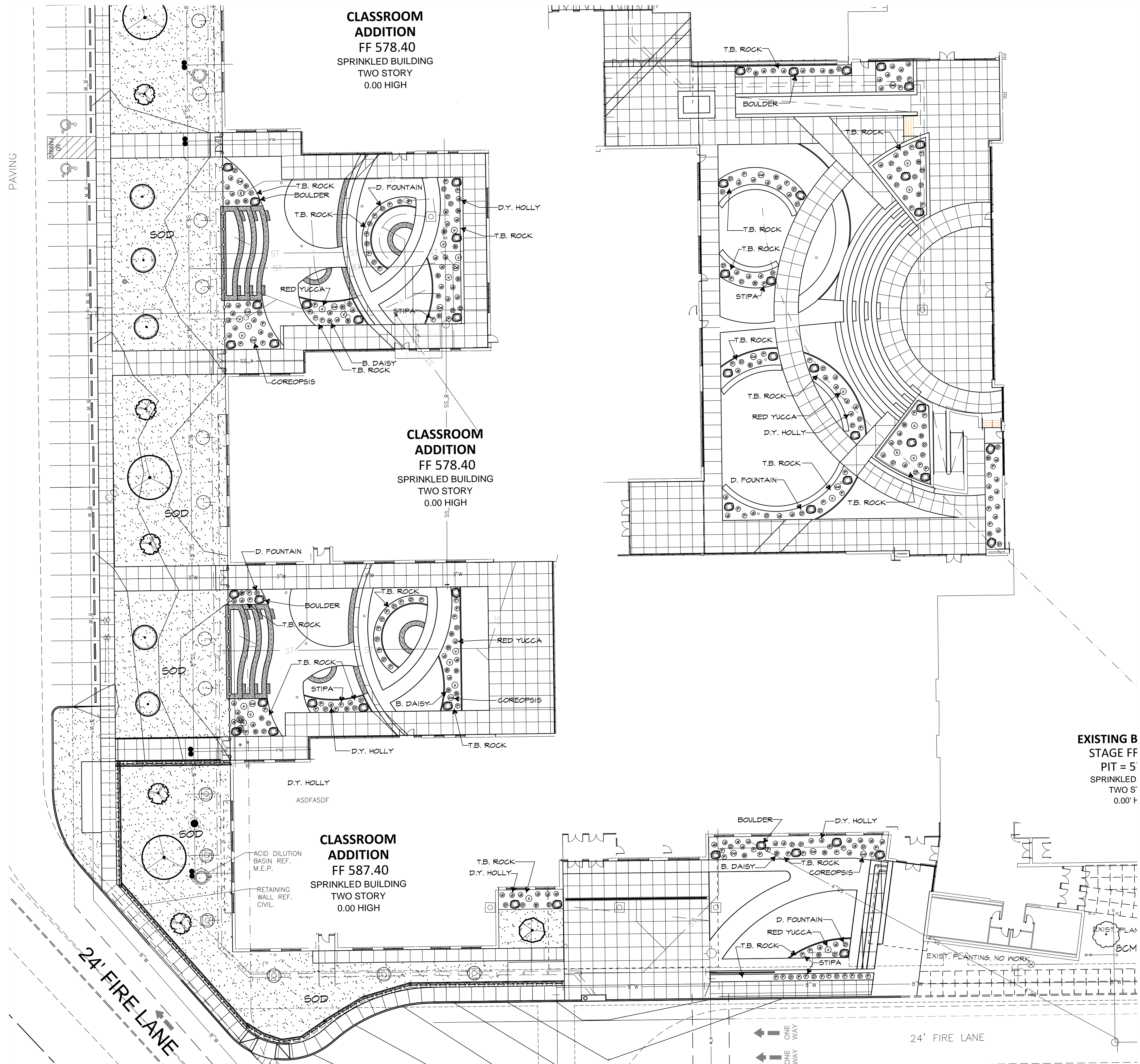
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 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 382-5433
 EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
 PHASE 2**
 1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE PLAN
 AREA B

JOB 23035
DATE 06.17.2024
SHEET

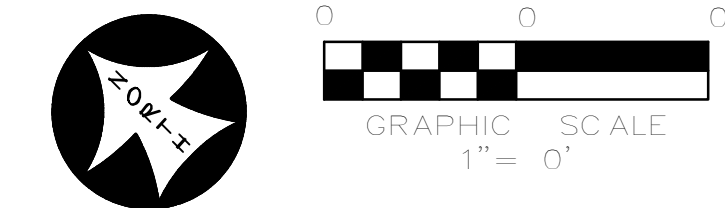


CLASSROOM ADDITION
 FF 578.40
 SPRINKLED BUILDING
 TWO STORY
 0.00 HIGH

CLASSROOM ADDITION
 FF 578.40
 SPRINKLED BUILDING
 TWO STORY
 0.00 HIGH

CLASSROOM ADDITION
 FF 587.40
 SPRINKLED BUILDING
 TWO STORY
 0.00 HIGH

EXISTING B
 STAGE FF
 PIT = 5'
 SPRINKLED
 TWO S'
 0.00' F



HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
 M.N. BALLARD SURVEY, ABSTRACT NO. 48
 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
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 CONTACT: WILLIAM SALEE

SURVEYOR: KMCE, Inc.
 17774 PRESTON ROAD
 DALLAS, TEXAS 75252
 (817) 889-6500
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARMUO

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2024.
 WITNESS OUR HANDS, this ____ day of _____, 2024.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

CITY OF ROCKWALL CASE NO. SP2024-024

CORGAN
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ISSUES	
1	06/17/2024 PERMIT SET
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REVISIONS	

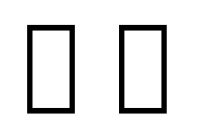
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, L.L.C.
 11914 WISHING WELL CT.
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 362-5433
 EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
 PHASE 2**
 1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE ENLARGEMENT

JOB 23035
DATE 06.17.2024
SHEET

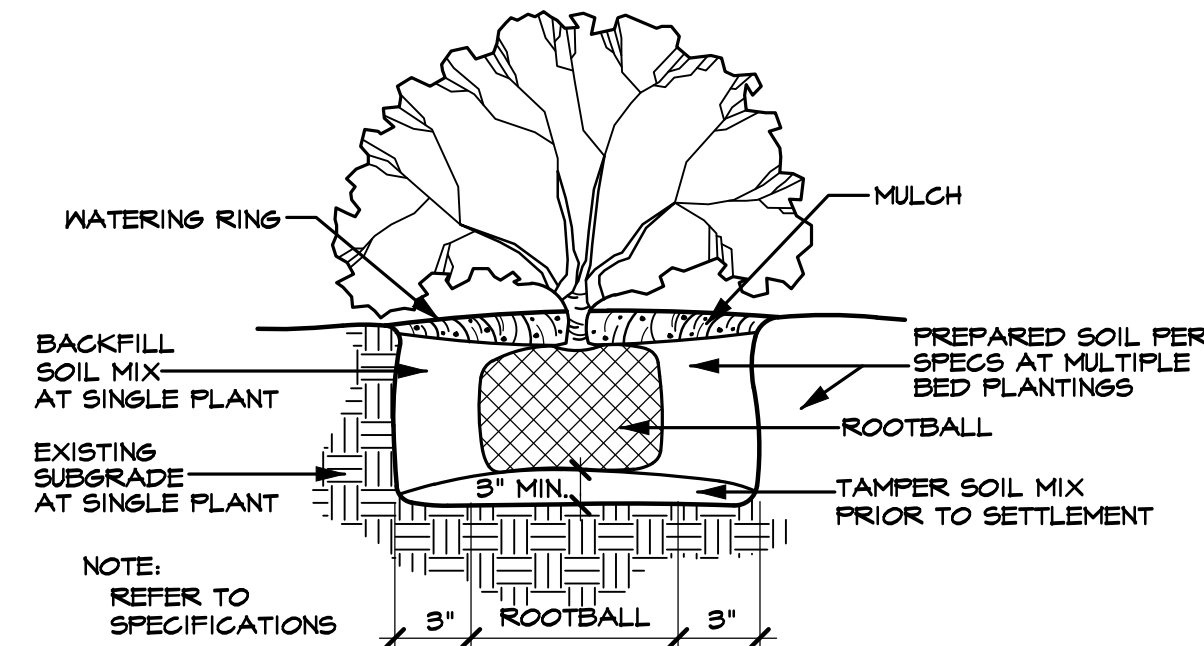


LANDSCAPE NOTES

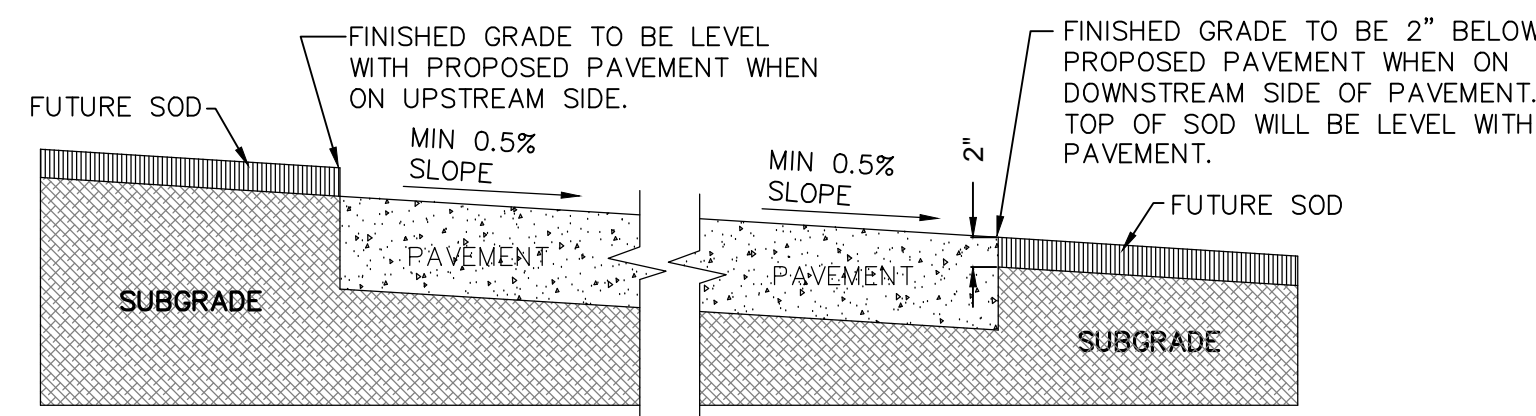
LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD/HYDRO PER THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

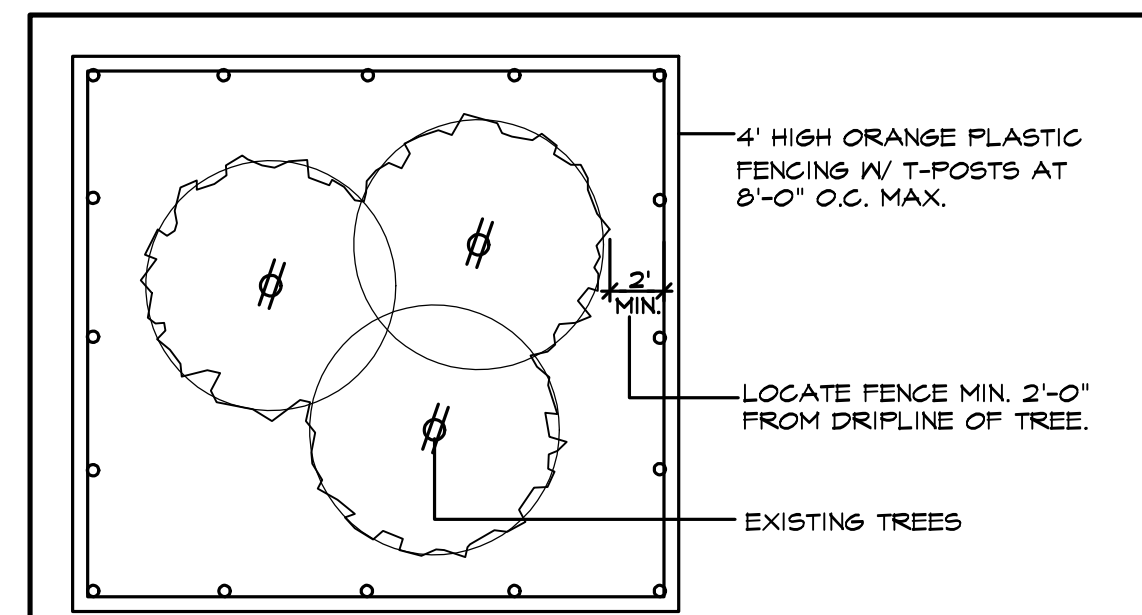
REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.



SHRUB PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.



GRADING DETAIL FOR PAVEMENT WITHOUT CURB
SCALE: N.T.S.



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

TREE PROTECTION FENCE AND NOTES
SCALE: N.T.S.

LANDSCAPE TABULATIONS

LANDSCAPE REQUIRED
1 ROW OF SHADE TREES 50' O.C. AND SCREENING SHRUBS AT HEAD IN PARKING
NOT APPLICABLE - EXISTING CONDITIONS

STREET BUFFER
2 CANOPY AND 4 ACCENT TREES PER 100 LF
NOT APPLICABLE - EXISTING CONDITIONS

PARKING LOT LANDSCAPING
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE, IF LOT OVER 20,000 SF 1 LG TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF FROM TREE TO SPACE.

PARKING SPACES
PARKING LANDSCAPE REQUIRED (250 SF X 5% =) 21 NEW SPACES
PARKING LANDSCAPE PROVIDED 368 SF
PARKING TREES REQUIRED (21 SPACES / 10 =) 2 TREES
PARKING TREES PROVIDED P 2 TREES

AMOUNT OF LANDSCAPING
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE, DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER, 1 TREE PER 750 SF OF DRY LAND AREA.
NOT APPLICABLE

TREE MITIGATION
AS SHOWN ON TREESCPE PLANS

ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.

TREES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
1	(Circle with cross)	LIVE OAK	Live Oak	Quercus virginiana	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
2	(Circle with cross and dots)	RED OAK	Shumard Red Oak	Quercus shumardii	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
5	(Circle with three lines)	PISTACHIO	Chinese Pistachio	Pistacia chinensis	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
6	(Circle with dots)	D. WILLOW	Desert Willow	Chilopsis linearis	6'-7' ht, 3'-4" spread, container
3	(Circle with dots and lines)	T. YAUPON	Yaupon Holly	Ilex vomitoria	3/4" caliper per trunk, 5 trunk min., 8' Ht./4" spread, container, male, tree form, limbed to 4'
5	(Circle with dots)	RED BUD	Oklahoma Red Bud	Cercis canadensis 'oklahoma'	6' Ht./3' spread min., container only single straight trunk, bushy specimen

SHRUBS

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
106	(Circle with cross)	D.Y. HOLLY	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gallon, 16" Ht./14" spread, bushy, full to ground
25	(Circle with dots)	RED YUCCA	Red Yucca	Hesperaloe parviflora	5 gallon
76	(Circle with cross)	D. FOUNTAIN	Dwarf Fountain Grass	Pennisetum alopecuroides 'hamlin'	5 gallon
15	(Circle with cross)	COREOPSIS	Lanceleaf Coreopsis	Coreopsis lanceolata	5 gallon
87	(Circle with cross)	STIPA	Mexican Feathergrass	Stipa tenuissima	5 gallon
38	(Circle with cross)	B. DAISY	Blackfoot Daisy	Melampodium leucanthum	5 gallon

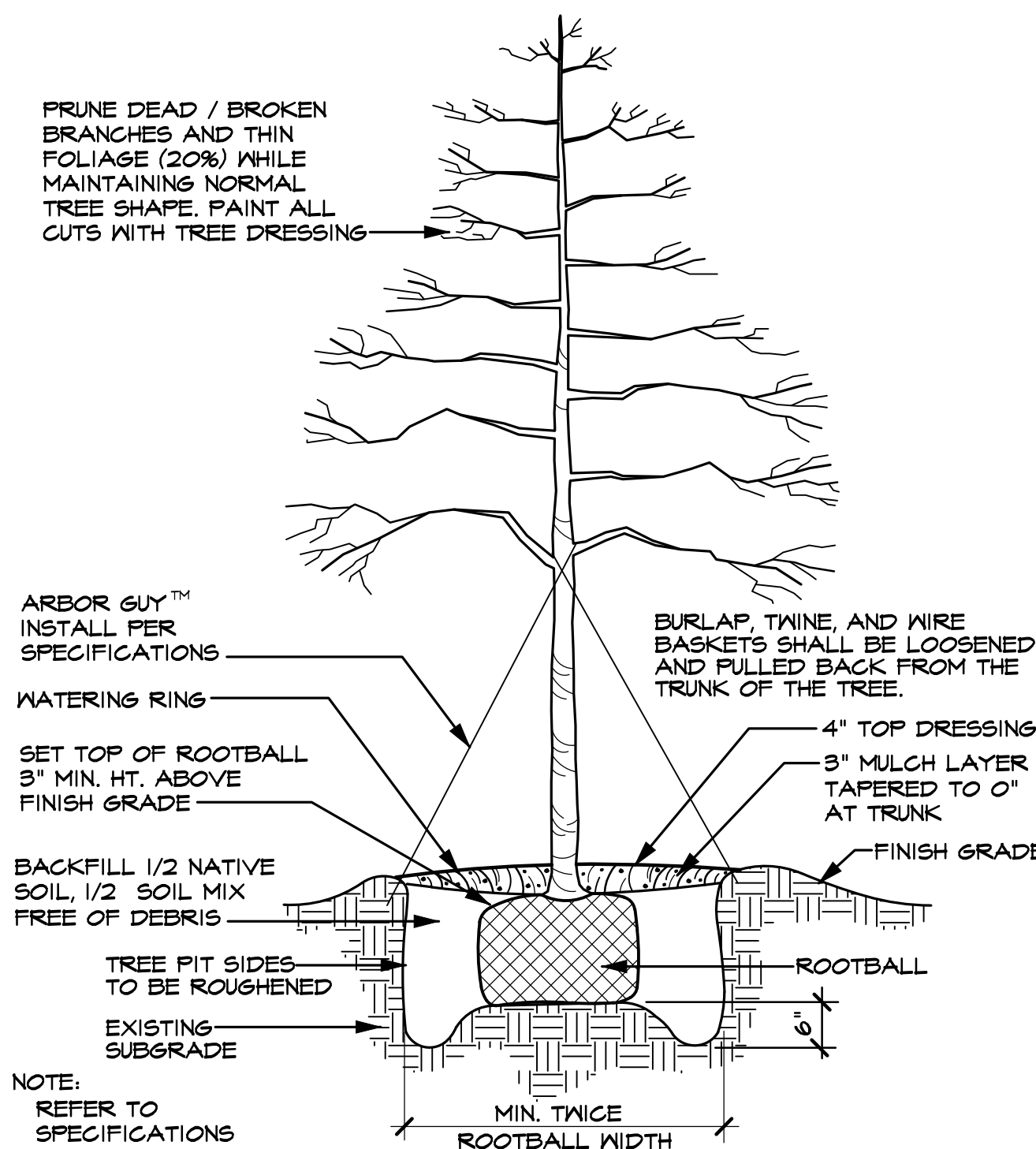
GROUND COVER

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(Square with dots)	SOD	Common Bermuda Grass	Cynodon dactylon	Solid Rolled Sod refer to specifications

MISCELLANEOUS

AS SHOWN	(Line)	EDGE	LF Ryerson steel edge 1/8" x 4" with 12" stakes, green in color
51	(Circle with dots)	BOULDER	600 to 800 pounds each BROWN MOSS BOULDERS
AS SHOWN	(Square with dots)	T.B. ROCK	3"-5" Texas Black rock, 6"-8" deep. Provide weed barrier mat below rock. Separate at grass/bed areas with edging. Rock to cover all weed barrier mat.

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES



TREE PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.

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HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 (972) 771-0605 CONTACT: WILLIAM SALEE
SURVEYOR: KMCE, Inc. 17774 PRESTON ROAD DALLAS, TEXAS 75252 (817) 889-6500 CONTACT: ROBERT HANSEN
ENGINEER: GLENN ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-024

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ISSUES

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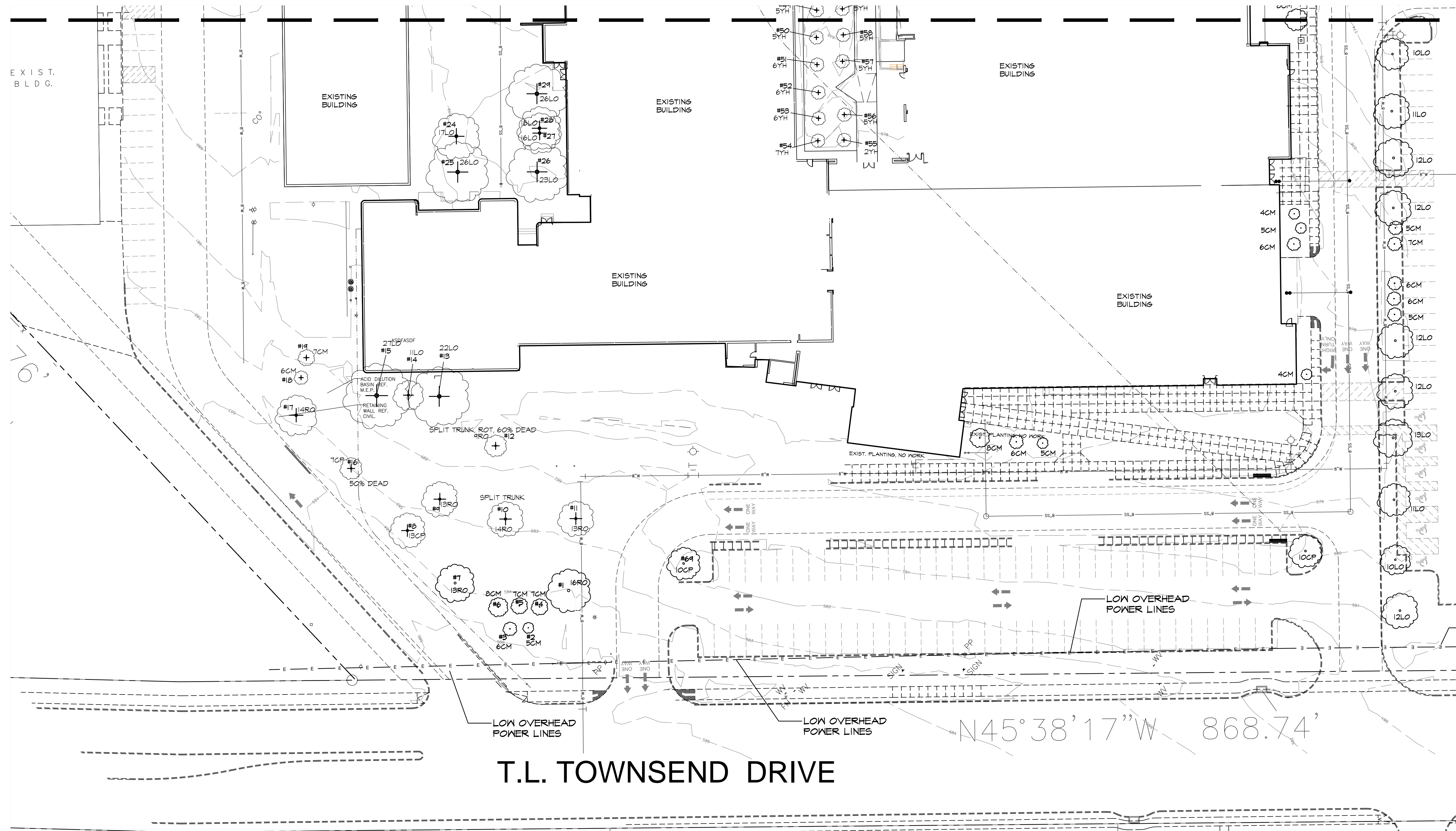
UTLEY MIDDLE SCHOOL
PHASE 2
1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE
DETAILS

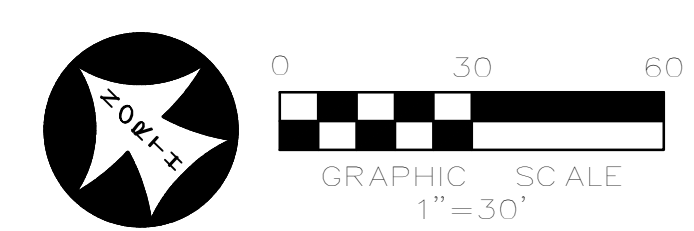
JOB 23035
DATE 06.17.2024
SHEET

□ □

MATCHLINE SEE SHEET L3



EXISTING TREE NOTE:
 EXISTING TREES WITHIN 50'
 OF CONSTRUCTION ARE
 NUMBERED AND CHARTED.
 TREES OUTSIDE THIS AREA
 ARE SHOWN FOR GENERAL
 INFORMATION.



HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
 M.N. BALLARD SURVEY, ABSTRACT NO. 48
 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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 Director of Planning and Zoning

CITY OF ROCKWALL CASE NO. SP2024-024

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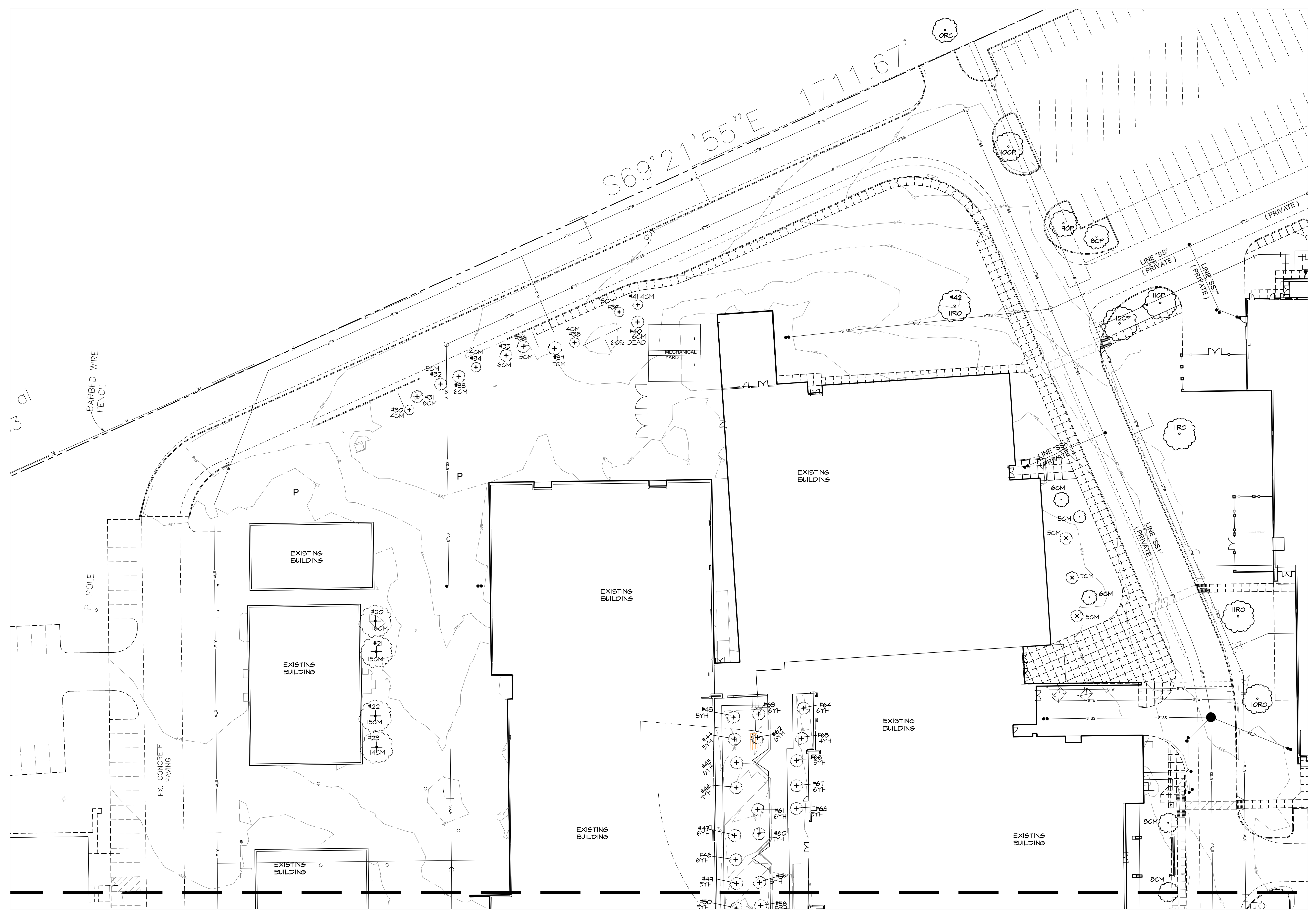
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**UTLEY MIDDLE SCHOOL
 PHASE 2**

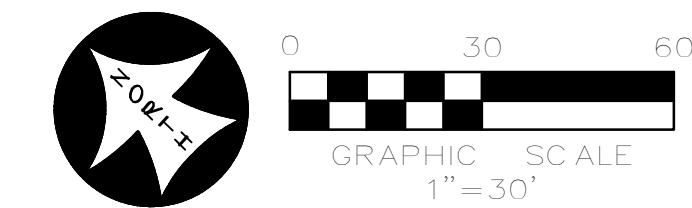
1201 T L Townsend Dr., Rockwall, TX 75087

TREESCAPE
 PLAN AREA A

JOB 23035
DATE 06.17.2024
SHEET TS



MATCHLINE SEE SHEET L2



HERMAN E. UTLEY MIDDLE SCHOOL
 LOT 1, BLOCK 1
 OUT OF THE
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 AND THE A. HANNA SURVEY, ABSTRACT NO. 99
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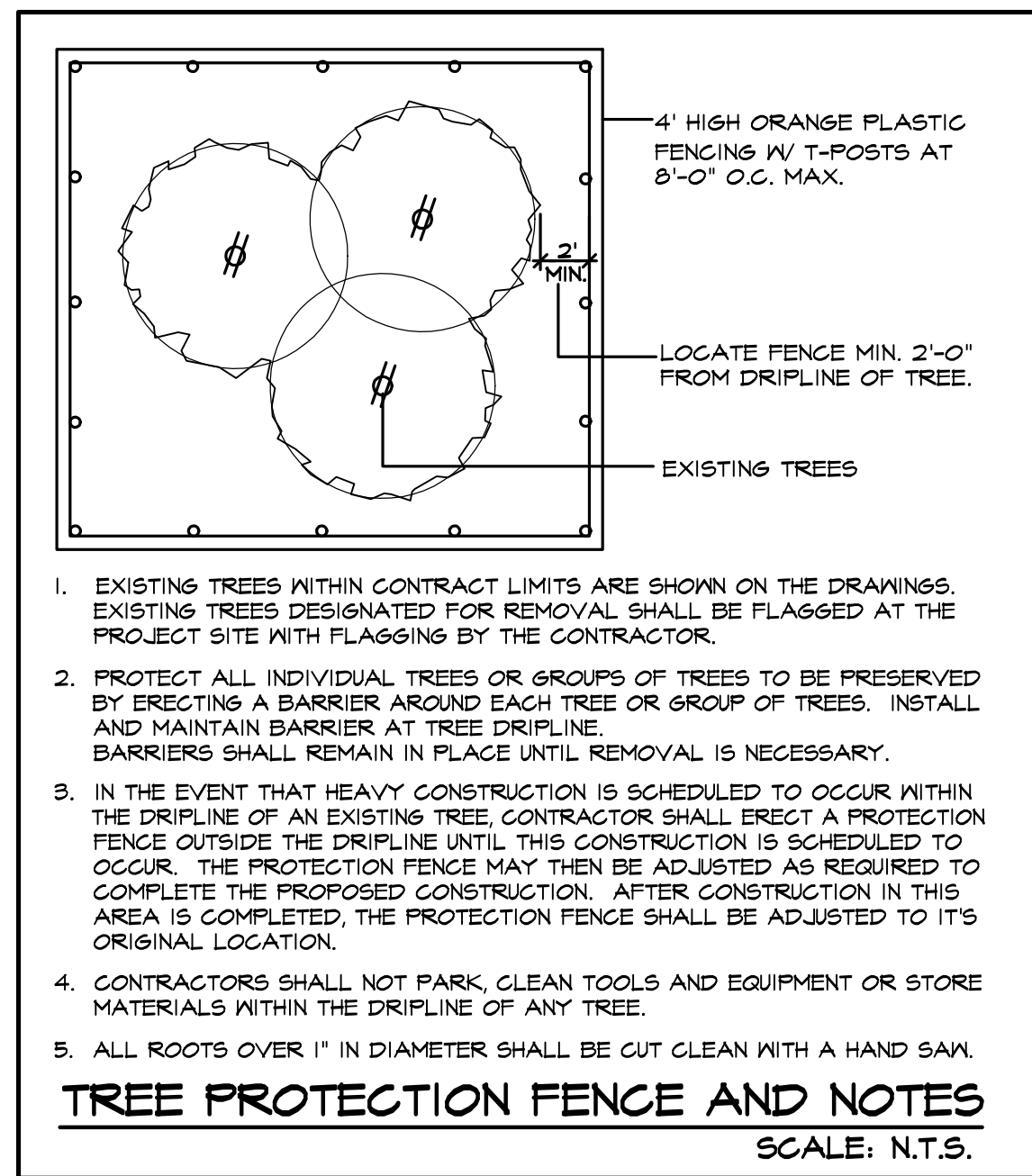
UTLEY MIDDLE SCHOOL PHASE 2

1201 T L Townsend Dr., Rockwall, TX 75087

TREESCAPE
 PLAN AREA B

JOB 23035
DATE 06.17.2024
SHEET

TS □



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TREE PROTECTION FENCE AND NOTES
SCALE: N.T.S.

#	Size	Type	Tree Health	Disease	Insect	Structural	Save/Remove	Mitigation	Credit
1	16	Red Oak	6 N	N	N	N	SAVE	16	0
2	5	Crepe Myrtle	5 N	N	N	N	SAVE	0	0
3	6	Crepe Myrtle	5 N	N	N	N	SAVE	0	0
4	7	Crepe Myrtle	5 N	N	N	N	SAVE	0	0
5	7	Crepe Myrtle	5 N	N	N	N	SAVE	0	0
6	8	Crepe Myrtle	5 N	N	N	N	SAVE	0	0
7	13	Red Oak	5 N	N	N	N	SAVE	0	0
8	13	Red Oak	5 N	N	N	N	REMOVE	13	0
9	13	Red Oak	5 N	N	N	N	REMOVE	13	0
10	14	Red Oak	3 N	N	Y	N	REMOVE	14	0
11	13	Red Oak	5 N	N	N	N	REMOVE	13	0
12	9	Red Oak	2 N	N	Y	N	REMOVE	9	0
13	22	Live Oak	5 N	N	N	N	REMOVE	22	0
14	11	Live Oak	5 N	N	N	N	REMOVE	11	0
15	27	Live Oak	5 N	N	N	N	REMOVE	54	0
16	7	Chinese Pistache	3 N	N	Y	N	REMOVE	7	0
17	14	Red Oak	5 N	N	N	N	REMOVE	14	0
18	6	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
19	7	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
20	16	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
21	15	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
22	15	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
23	14	Crepe Myrtle	5 N	N	N	N	SAVE	0	0
24	17	Live Oak	5 N	N	N	N	SAVE	0	0
25	26	Live Oak	5 N	N	N	N	SAVE	0	26
26	23	Live Oak	5 N	N	N	N	SAVE	0	0
27	16	Live Oak	5 N	N	N	N	REMOVE	16	0
28	18	Live Oak	5 N	N	N	N	REMOVE	18	0
29	26	Live Oak	5 N	N	N	N	SAVE	0	26
30	4	Crepe Myrtle	5 N	N	N	N	SAVE	0	0
31	6	Crepe Myrtle	5 N	N	N	N	SAVE	0	0
32	5	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
33	6	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
34	4	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
35	6	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
36	5	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
37	7	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
38	4	Crepe Myrtle	5 N	N	N	N	REMOVE	0	0
39	3	Crepe Myrtle	5 N	N	N	N	SAVE	0	0
40	6	Crepe Myrtle	2 N	N	Y	N	SAVE	0	0
41	4	Crepe Myrtle	5 N	N	N	N	SAVE	0	0
42	11	Red Oak	5 N	N	N	N	SAVE	0	0
43	5	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
44	5	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
45	6	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
46	7	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
47	6	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
48	6	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
49	5	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
50	5	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
51	6	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
52	6	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
53	6	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
54	7	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
55	2	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
56	5	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
57	5	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
58	5	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
59	5	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
60	7	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
61	6	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
62	6	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
63	6	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
64	6	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
65	4	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
66	5	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
67	6	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
68	5	Yaupon Holly	4 N	N	N	N	REMOVE	0	0
69	10	Chinese Pistache	5 N	N	N	N	REMOVE	10	0
								230	52

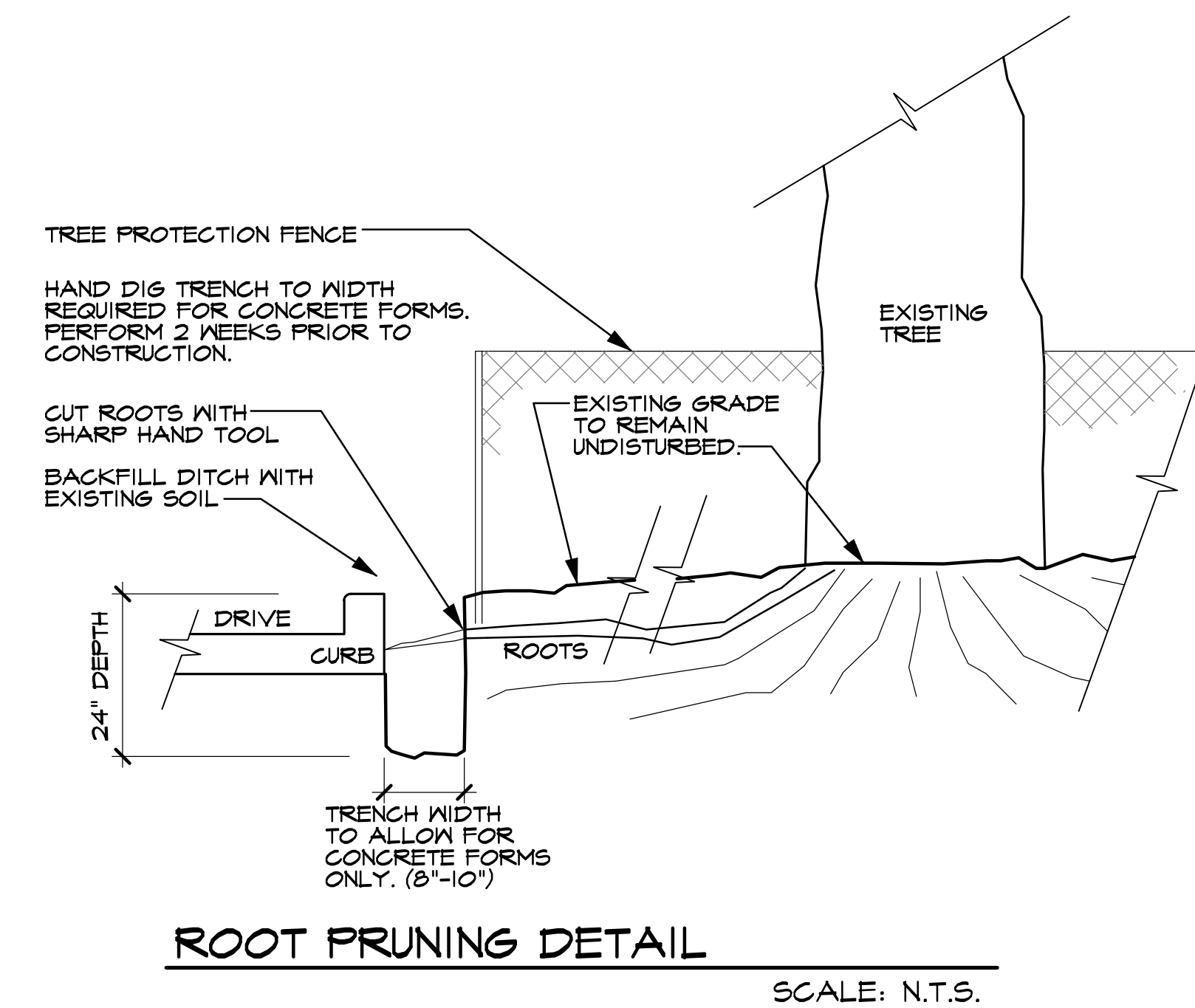
Mitigation 230(removed-52(saved) = 178
Mitigation 178-32(planted) = 146
Total Mitigation 146*100=\$14,600

CERTIFIED ARBORIST SITE INSPECTIONS:

GENERAL CONTRACTOR TO PROVIDE FOR CERTIFIED ARBORIST VISITS FOR ALL EXISTING TREES TO REMAIN ONCE PER MONTH DURING CONSTRUCTION. G.C. TO FOLLOW ARBORIST RECOMMENDATIONS FOR TRIMMING OR THINNING OF BRANCHES, HAND WATERING SCHEDULE, ROOT AERATION, AND GENERAL PROTECTION.

EXISTING TREE WATERING:

GENERAL CONTRACTOR TO PROVIDE HAND WATERING OF EXISTING TREES TO REMAIN. WATERING SHALL BE ON AN AS NEEDED BASIS TO MAINTAIN TREE HEALTH. FOLLOW CERTIFIED ARBORIST RECOMMENDATIONS.



CORGAN

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ISSUES

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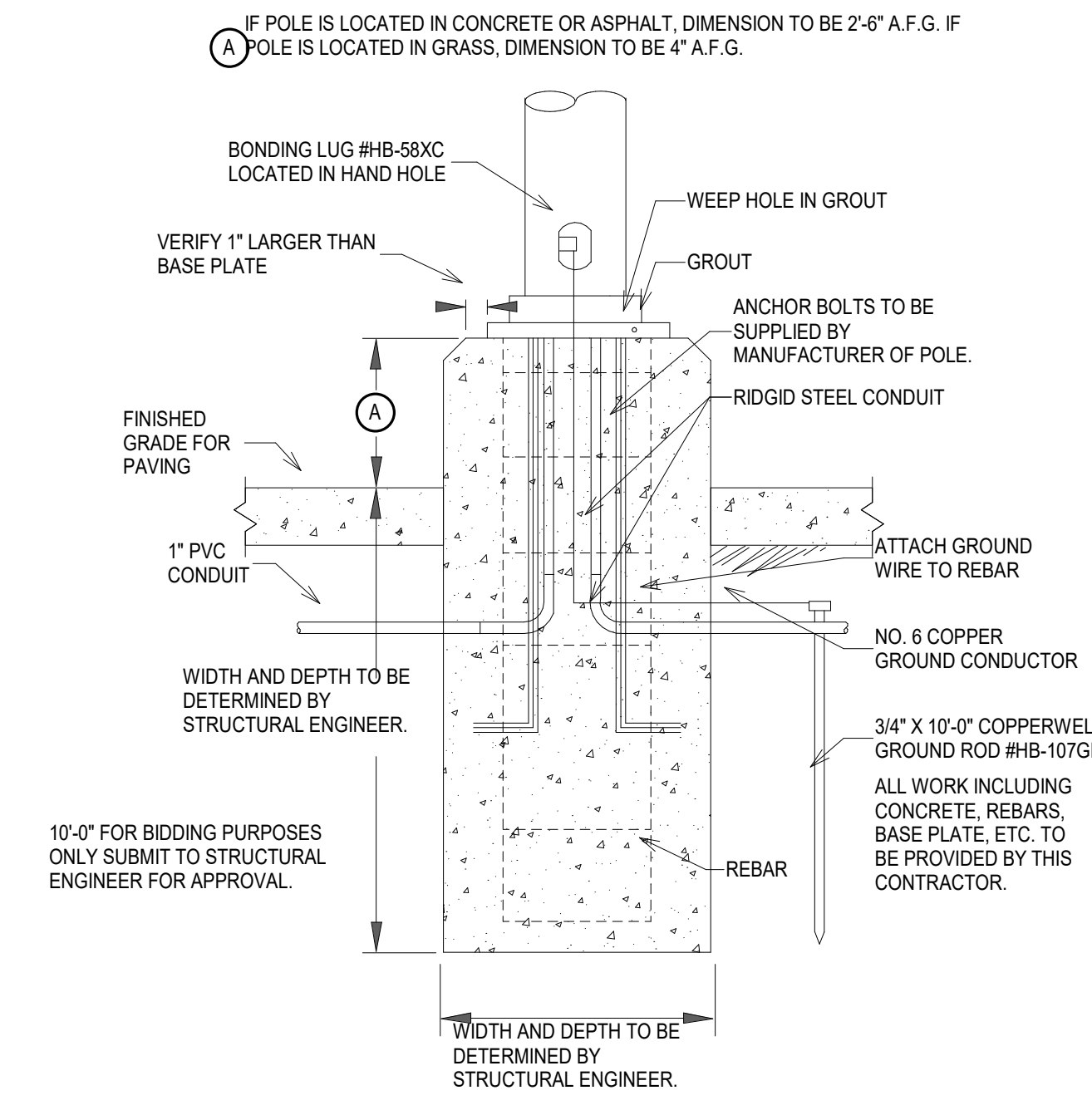
TS 3

PHOTOMETRIC SITE PLAN GENERAL NOTES

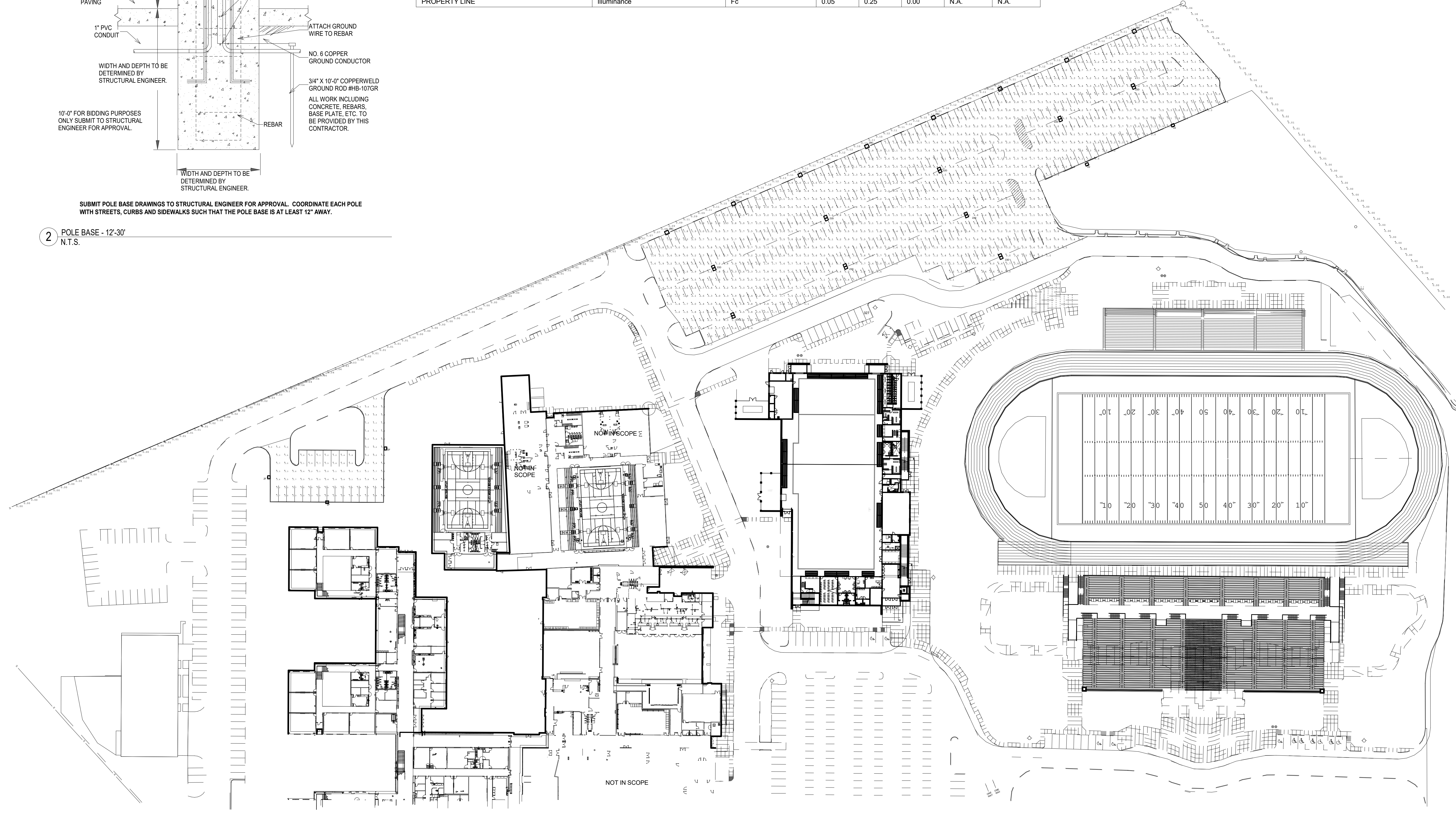
1. THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
2. ALL CALCULATIONS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
3. LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	Mounting Height
□	9	Z2D	Back-Back	DSX1 LED P5 40K T2M MVOLT	25
□	8	ZBC	Single	DSX1 LED P5 40K 80CRI BLC4	25
□	3	ZF	Single	DSX1 LED P5 40K TFTM MVOLT	25
□	2	Z2	Single	DSX1 LED P5 40K T2M MVOLT	25

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT - PLAN EAST_Planar	Illuminance	Fc	2.55	6.3	0.3	8.50	21.00
PARKING LOT - PLAN NORTH_Planar	Illuminance	Fc	1.79	2.8	0.3	5.97	9.33
PROPERTY LINE	Illuminance	Fc	0.05	0.25	0.00	N.A.	N.A.



2 POLE BASE - 12'-30" N.T.S.



ISSUES		
1	01.12.2024	60% PROGRESS SET
2	05.17.2024	90% PROGRESS SET
3		
4		
5		
6		
7		
8		
9		
10		

REVISIONS		

REVIEW ONLY
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

Engineer: Catherine L. Hollenshead
License State: TX, License No.: 103572
Date: 5/15/2024 12:10:39 PM

UTLEY MIDDLE SCHOOL PHASE 2
1201 T L Townsend Dr., Rockwall, TX 75087

PHOTOMETRIC SITE PLAN

JOB 23035
DATE 05.17.2024
SHEET ES01-02.2

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

EMA Engineering & Consulting, Inc.
Tyler | Austin | Houston | El Paso
DFW | San Antonio | Shreveport
Texas Firm Registration No. F-893
Louisiana Firm Registration No. EF-5818
www.EMAengineer.com

DESIGN SOLVE ENHANCE
SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

May 18, 2022

Bethany Ross
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

Rockwall ISD – Rochell Elementary School Replacement
Project Number: SP2024-024
Request for: Exterior Building Design & Landscape Variances

Dear Ms. Ross:

Masonry Percentage Variance

We are requesting a variance from the masonry percentage requirements per the IH-30 Overlay District for the Rockwall ISD Uteley Middle School Phase 2. Per the overlay district requirements, we are to have 90% masonry materials on exterior elevations and 20% of that masonry is to be stone. Currently, all but 2 of our elevations meet the minimum stone percentage requirement and 3 of the 4 elevations are at least 85% masonry or more.

This is due to the metal panel that is being used at the main entry, north entry and central courtyard facing façade. As the entrances into these school, these are being treated to have lighter materials (i.e., glass and wood look phenolic panels) to give an open and welcoming feeling to those entering. The use of strategic security systems will mitigate the vulnerability of traditionally glazed systems. The metal panel used on the East façade is facing the central courtyard of the school and will not be facing T.L. Townsend Drive. The majority of the metal panel used on the North façade will be stepped back and not readily visible from ground level. Finally, all of the metal panel on the West façade is located on parapet walls stepped back and up high that will easily visible from ground level.

The design of this addition has attempted to maintain the design language and materiality of the existing school in order to keep a consistent façade for the new school. The existing school did not have any stone used, but stone has been added in select locations of the new addition where possible in conjunction with the use of brick veneer that matches the existing.

Primary and Secondary Articulations Variance

We are requesting variance from the primary and secondary building articulation standards. Due to this being a school facility, the program of the spaces within the school do not lend themselves to all the required changes in horizontal and vertical planes. Effort has been made in the design to create design interest along the façade with differences in contrasting stone and brick materials and vertical breaks using different material.

Please reference the provided samples of these materials on the exterior material boards provided to the city for review.

Four sided Architecture Variance

We are requesting variance from the four-sided architecture requirement. Due to this being an addition to an existing building, not all four sides of the building will be the same. We have done our best to compliment the aesthetics of the existing building with the new design. Additionally due to the limited existing space on the site, a row of trees has not been proposed to be planted along the north side of the building. We have prioritized the existing fire lane location and relationship to the building, along with providing added parking for the building staff.

Artificial Turf Variance

We are requesting a variance to use artificial turf in the school courtyards as a landscaping material. Due to the nature of this building being for education use, the preference is for these spaces to use artificial turf in lieu of sod. These areas will receive high traffic and use, which could damage sod and be difficult for the District to maintain over time. The use of artificial turf allows for these courtyards to be maintained easily and remain green throughout the year.

We believe that our design meets the following compensatory measures as described in the City of Rockwall Unified Development Code, Subsection 09.01 of Article 11.

- Use of curtain wall and flush aluminum composite panel to emphasis and highlight key entrances.
- Front entry plaza with natural stone seating and landscaped areas.
- Articulation by using accent colors of brick and stone and changes in building mass (vertically and horizontally) where school program spaces allow.
- Two outdoor student learning courtyards with native plantings, natural stone features and shade features.
- One central large outdoor learning courtyard with native planting, shaded gathering areas, and tiered stone seating.
- Increased architectural elements, such as canopies, outdoor patio/plaza space and varied roof heights.
- Increased landscaping

Tree Mitigation Settlement Agreement

The owner requests an alternative tree mitigation settlement for the above referenced project. The remaining landscape areas for new trees in the construction zone is limited. New trees have been located as possible to provide tree bubblers at all new trees that would not be possible in other areas of the site that are not planned for new construction. This alternative mitigation settlement would be for +/-82% or 146 inches of mitigation for \$14,600.00.

We thank you for your consideration of this exception. We would be happy to answer any further questions regarding this material and our design for the Rockwall ISD Rochell Elementary School Replacement.

Sincerely,



MORGAN HOWELL, AIA
Project Architect— Senior Associate
Corgan



June 26, 2024

TO: Robert Howman
4500 Fuller Drive
Suite No. 220
Irving, Texas 75038

CC: Tim Lyssy
1191 T.L. Townsend Drive
Rockwall, Texas 75087

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: SP2024-024; *Site Plan for a Public Secondary School*

Robert:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on June 25, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- 1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- 2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government

Architecture Review Board

On June 25, 2024, the Architecture Review Board approved a motion to recommend approval of the Site Plan by a vote of 5-0 with board members Roberts and Hadawi absent.

Planning and Zoning Commission

On June 25, 2024, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 6-0, with one vacant seat.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me a (972) 772-6488.

Sincerely,

Bethany Ross, *Planner*
City of Rockwall Planning and Zoning Department