



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **SEC Corporate Crossing & Fit Sport Life Blvd.**

SUBDIVISION **Fit Sport Life Addition**

LOT **6**

BLOCK **B**

GENERAL LOCATION **SEC Corporate Crossing & Fit Sport Life Blvd.**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **C-Commercial**

CURRENT USE **Vacant Lot**

PROPOSED ZONING **N/A**

PROPOSED USE **Fueling Station w/ C-Store**

ACREAGE **1.95**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **STRUCTURED REA- ROCKWALL LAND LLC**

APPLICANT **Triangle Engineering**

CONTACT PERSON **CONOR KEILTY**

CONTACT PERSON **Kartavya (Kevin) Patel**

ADDRESS **3104 E Camelback Road #2387**

ADDRESS **1782 W. McDermott Dr.**

CITY, STATE & ZIP **Phoenix, AZ 85016**

CITY, STATE & ZIP **Allen, TX 75013**

PHONE **480-856-8808**

PHONE **469.331.8566**

E-MAIL **CONORK@STRUCTUREDREA.COM**

E-MAIL **kpatel@triangle-engr.com**

## NOTARY VERIFICATION [REQUIRED]

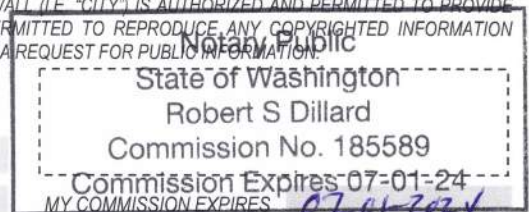
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CONOR KEILTY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF March, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





# CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

CASE NUMBER:   
 OVERLAY DISTRICT:

REVIEWED BY:   
 REVIEW DATE:

## 1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	✗	<input type="checkbox"/>		§03.04.A, of Art. 11
✓ Landscape Plan	✗	<input type="checkbox"/>		-
✓ Treescape Plan	✗	<input type="checkbox"/>		-
✓ Photometric Plan	✗	<input type="checkbox"/>		-
✓ Building Elevations	✗	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	✗	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	§03.04.A, of Art. 11
Submittal Requirements	✗	<input type="checkbox"/>	Four (4) large (24" x 36") <b>folded</b> copies and one (1) PDF digital copy of each plan is required at the time of submittal.	§03.04.A, of Art. 11
Is the property properly platted?	<input type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted. <b>To Be Replatted.</b>	
Title Block (Project Name, Legal Description and/or Address)	✗	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	§03.04.A, of Art. 11
Case Number	✗	<input type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	§03.04.A, of Art. 11
Owners (Name, Address, and Phone Number)	✗	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
Developer (Name, Address, and Phone Number)	✗	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
North Point	✗	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	§03.04.A, of Art. 11
Numeric and Graphic Scale	✗	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	§03.04.A, of Art. 11
Vicinity Map	✗	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	§03.04.A, of Art. 11
Signature Block	✗	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	§03.04.A, of Art. 11
Date	✗	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	§03.04.A, of Art. 11
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	§03.04.A, of Art. 11
✓ Commercial	✗	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

## 2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	✗	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	§03.04.B, of Art. 11

Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	§03.04.B, of Art. 11
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	§03.04.B, of Art. 11
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	§03.04.B, of Art. 11
Distance Between Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	§03.04.B, of Art. 11
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	§03.04.B, of Art. 11
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	§03.04.B, of Art. 11
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	§03.04.B, of Art. 11
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	§03.04.B, of Art. 11
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	§03.04.B, of Art. 11
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	§03.04.B, of Art. 11
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	§03.04.B, of Art. 11
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	§03.04.B, of Art. 11
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	§03.04.B, of Art. 11
Median Breaks in Adjacent Streets	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11

## 2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	§05.03, of Art. 06
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	§05.01, of Art. 06
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§05.04, of Art. 06
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Reference Table 3 of Article VI.</i>	Table 5, Art. 06
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction ( <i>Check w/ the Engineering Department</i> ).	§05.03.C, of Art. 06
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer ( <i>Art. VI 6.5 Loading Requirements</i> ).	§06.04, of Art. 06
Adequate Loading Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	It is also the purpose of this Article to require allocation of sufficient off-street/on-site loading facilities by businesses and industry to ensure that the loading and unloading of vehicles will not interfere with traffic flow or block roadways or fire lanes.	§01.02, of Art. 06
Type and Depth of Paving Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	§03.02, of Art. 06

## 2.3 SITE PLAN: SIGNAGE

Requirements	✓= OK	N/A	Comments	UDC Reference
<b>NOTE:</b> All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				

Proposed or Existing Signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	§06.02.F, of Art. 05
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## 2.4 SITE PLAN: SCREENING

Requirements	✓= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Label the height and type of fence proposed or existing.	§08.02.F, of Art. 08
Utility Equipment Screening (Pad or Ground Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	§01.05.C, of Art. 05
Utility Equipment Screening (Roof Mounted)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	§01.05.C, of Art. 05
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening – screening wall – and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan.	§01.05.D, of Art. 05
Dumpster Screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	§01.05.B, of Art. 05
Outside Storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	§01.05.A, of Art. 05
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	§01.06, of Art. 05
Residential Adjacency Standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

## 3.1 LANDSCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	§01.01.B, of Art. 05
Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	§05.03.B, of Art. 08
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	§05.03.B, of Art. 08
Location of Water Courses and Significant Drainage Features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	§05.01, of Art. 08

Acceptable Landscape Materials:			Sec. 04., of Art. 08
✓ Trees allowed in Street Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)
✓ Trees not allowed in Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.
Protected Trees (That Will Remain On-Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Prior to any construction or land development, the developer shall clearly mark all protected and feature trees with an aluminum tag -- indicating the trees relationship to the treescape plan -- and flag (i.e. bright fluorescent red vinyl tape). In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required.
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square footage included in the parking area, and the number and location of required off-street parking and loading spaces.
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.
Identify Visibility Triangles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.
Landscape Buffer - Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.
Hydro mulch (or non-sod option)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City.
Rights-of-Way & Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).

## 4.1 TREESCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	See Sec. 2.1 of this checklist
Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	§03.01.A, of Art. 09
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.01.C, of Art. 09

Protected Trees (To Remain On Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	§03.01.E, of Art. 09
Protected Trees (To be Removed from the Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	§03.01.F, of Art. 09
Treescape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	§03.01.G, of Art. 09

## 5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	See Sec. 2.1 of this checklist -
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	§03.03, of Art. 07
Adjacent Property with Common Lot Lines:				
✓ Residential Use	<input type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	§03.03.B, of Art. 07
✓ Commercial Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	§03.03.C, of Art. 07
Under-Canopy Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	§03.03.E.1, of Art. 07
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	§03.03.E.2, of Art. 07
Lighting in Parking Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Exceptions: (1) under canopy lighting and (2) motor vehicle dealerships)	§03.03.G, of Art. 07
Building and Pole Mounted Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	§03.03.E, of Art. 07
Indicate the Mounting Height for all Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	§03.03.D of Art. 07
Indicate the Wattage of all Light Sources	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line.	§03.03.A, of Art. 07
Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	§03.03, of Art. 07

## 6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	North South East West (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	North South East West (Circle all that apply)	-
Minimum 90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§06.02.C, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§06.02.C, of Art. 05
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	§04.01, of Art. 05
Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	§04.01, of Art. 05
Indicate the Roofing Materials and Color	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

Indicate Parapet Wall Height **(If Applicable, finish the interior side of the parapet wall)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck. **Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.	§04.01, of Art. 05
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	§01.05.C, of Art. 05
Indicate Any Additional Design Elements Proposed (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	§07.03 of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 25% x L 4. Wall Projection = 25% x H 5. Primary Entry/Arch. Element Width = 2 x (25% x L) 6. Projection Height = 25% x H 7. Primary Entry/Arch. Element Length = 2 x (25% x L)	§04.01.C.1, of Art. 05
Secondary Facades	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 15% x L 4. Secondary Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§04.01.C.2, of Art. 05

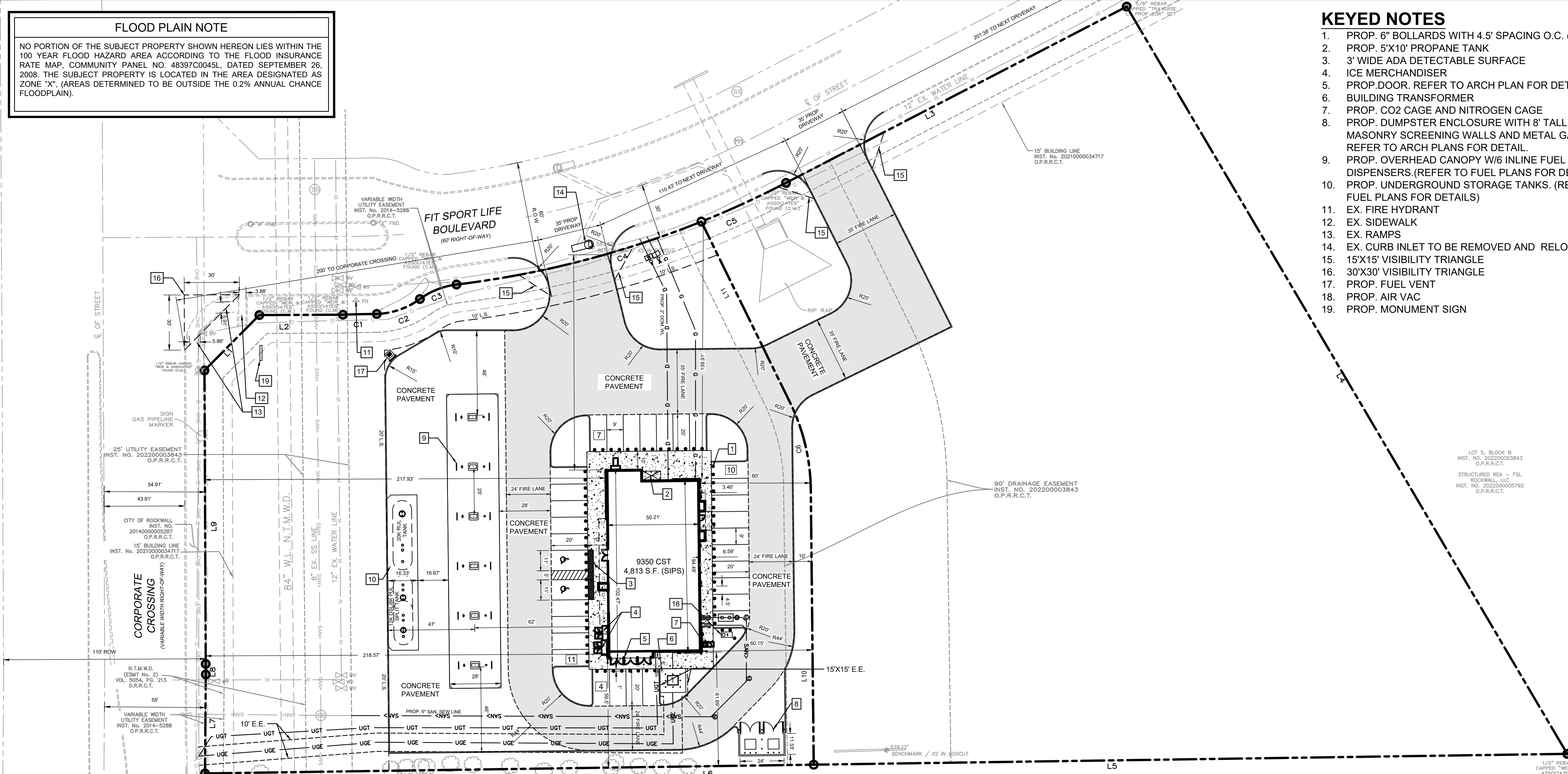
## 6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
<b>NOTE:</b> Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
Minimum 90% Masonry Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§05.01.A.1, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§05.01.A.1.a.1, of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 4 x H 3. Wall Projection = 25% x H 4. Entry/Arch. Element Length = 33% x L 5. Projection Height = 25% x H 6. Entry/Arch. Element Width = 2 x (25% x H)	§05.01.C.1, of Art. 05
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Entry/Arch. Element Length = 15% x L 4. Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§05.01.C.2, of Art. 05

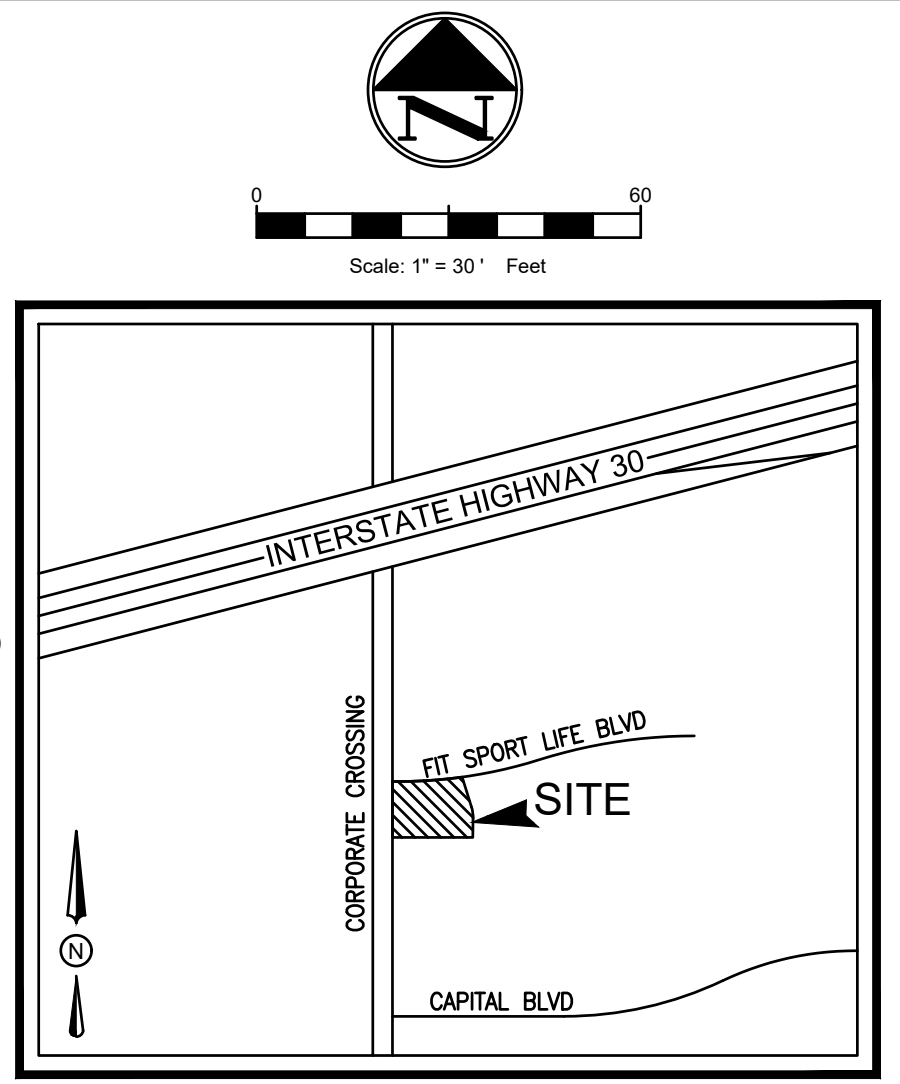


### FLOOD PLAIN NOTE

NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48397C0045L, DATED SEPTEMBER 26, 2008. THE SUBJECT PROPERTY IS LOCATED IN THE AREA DESIGNATED AS ZONE 'X'. (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).



- ### KEYED NOTES
- PROP. 6" BOLLARDS WITH 4.5' SPACING O.C. (TYP.)
  - PROP. 5'X10' PROPANE TANK
  - 3' WIDE ADA DETECTABLE SURFACE
  - ICE MERCHANDISER
  - PROP. DOOR. REFER TO ARCH PLAN FOR DETAIL.
  - BUILDING TRANSFORMER
  - PROP. CO2 CAGE AND NITROGEN CAGE
  - PROP. DUMPSTER ENCLOSURE WITH 8' TALL MASONRY SCREENING WALLS AND METAL GATES. REFER TO ARCH PLANS FOR DETAIL.
  - PROP. OVERHEAD CANOPY W/6 INLINE FUEL DISPENSERS. (REFER TO FUEL PLANS FOR DETAILS)
  - PROP. UNDERGROUND STORAGE TANKS. (REFER TO FUEL PLANS FOR DETAILS)
  - EX. FIRE HYDRANT
  - EX. SIDEWALK
  - EX. RAMPS
  - EX. CURB INLET TO BE REMOVED AND RELOCATED.
  - 15'X15' VISIBILITY TRIANGLE
  - 30'X30' VISIBILITY TRIANGLE
  - PROP. FUEL VENT
  - PROP. AIR VAC
  - PROP. MONUMENT SIGN



### VICINITY MAP

N.T.S.

- ### SITE GENERAL NOTES
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
  - THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
  - WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
  - ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THEREOF.
  - THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
  - ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.

### EXISTING LEGEND

—●—	BOUNDARY LINE	—○—	CHAIN LINK FENCE
—●—	ADJACENT BOUNDARY LINE	—○—	METAL FENCE POST
—○—	EASEMENT LINE (AS NOTED)	—○—	IRRIGATION CONTROL VALVE
W	WATER LINE	—○—	SEWER CLEAN OUT
—SANS—	SANITARY SEWER LINE	—○—	TRANSFORMER
—○—	STORM DRAIN LINE (AS NOTED)	—○—	ELECTRIC BOX
—○—	OVERHEAD ELECTRIC LINE	—○—	ELECTRIC METER
—○—	SET IRON ROD (AS NOTED)	—○—	TELEPHONE SIGNAL BOX
—○—	FOUND IRON ROD (AS NOTED)	—○—	TRAFFIC SIGNAL LIGHT
—○—	"X" CUT FOUND	—○—	GAS MARKER
—○—	"X" CUT SET	—○—	GAS METER
—○—	SANITARY SEWER MAN HOLE	—○—	AIR CONDITIONER UNIT
—○—	CABLE VAULT		
—○—	UTILITY VAULT		
—○—	FIBER OPTIC MARKER		
—○—	WATER VALVE		
—○—	TRAFFIC SIGN		
—○—	STORM MAN HOLE		
—○—	LIGHT POLE		
—○—	POWER POLE		
—○—	BENCH MARK		
—○—	CONTROL MONUMENT		
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS		
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY, TEXAS		
P.R.R.C.T.	PLAT RECORDS ROCKWALL COUNTY, TEXAS		

### SITE LEGEND

---	CONCRETE CURB	---	SAW-CUT LINE
---	FENCE		
---	FIRE LANE		
---	STRIPING		
---	PARKING SPACES		
---	MONUMENT/PYLON SIGN		
---	WHEEL STOPS		
---	HANDICAP LOGO		
---	HANDICAP SIGN		
---	RAMP		
---	BOLLARD		
---	TRAFFIC ARROW		
---	FIRE HYDRANT		
---	DUMPSTER		
---	SANITARY SEWER MANHOLE		
---	SANITARY SEWER CLEANOUT		
---	SANITARY SEWER DOUBLE CLEANOUT		
---	SANITARY SEWER SAMPLE PORT		
---	GREASE TRAP		
---	DOMESTIC WATER METER		
---	IRRIGATION METER		
---	GAS METER		
---	TRANSFORMER		
---	LIGHT POLE		
---	POWER POLE		
---	UNDERGROUND TELEPHONE LINE		
---	UNDERGROUND ELECTRIC LINE		
---	GAS LINE		
---	SANITARY SEWER LINE		
---	WATER MAIN		
---	DOMESTIC WATER LINE		

### BOUNDARY LINE DATA

LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 28°06'50" E	109.77'

### BOUNDARY CURVE DATA

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

### SITE DATA SUMMARY TABLE

SITE ACREAGE:	1.95 AC (84,939 S.F.)
ZONING:	C-COMMERCIAL W/ I-30 OVERLAY DISTRICT
PROPOSED USE:	FUELING STATION W/ CONVENIENCE STORE
BUILDING AREA:	4,813 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	30'-0"
BUILDING COVERAGE:	5.67%
FLOOR AREA RATIO:	0.06
IMPERVIOUS AREA:	46,244 S.F. (54.4%)
PERVIOUS/LANDSCAPE AREA:	38,695 S.F. (45.6%)
REGULAR PARKING REQUIRED:	20 SPACES
1 SP PER 250 S.F.	
REGULAR PARKING PROVIDED:	30 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	32 SPACES

### WATER METER & SANITARY SEWER SCHEDULE

ID	TYPE	SIZE	NO.
1	DOMESTIC	2"	1
2	IRRIGATION	1"	1
3	SANITARY SEWER	6"	

### EASEMENT/SETBACK LEGEND

BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

### PROJECT CONTACT LIST

<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	<b>DEVELOPER</b> SCHAFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISSCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REAR-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KEILTY PHONE: 480-856-8808 EMAIL: conor@structuredrea.com	

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN	DIRECTOR OF PLANNING & ZONING		
NO.	DATE	DESCRIPTION	BY
1	09/07/23	1st SITE PLAN	EB
2	10/13/23	35' WIDE DRIVEWAYS	EB
3	11/08/23	2nd SITE PLAN	EB
4	02/19/24	REVISED DUMPSTER PAD	EB
5	03-15-24	SITE PLAN SUBMITTAL	IA

### SITE PLAN

#### 7-ELEVEN AT CORPORATE CROSSING

CORPORATE CROSSING AND FIT SPORT LIFE BLVD

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS 75032

FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

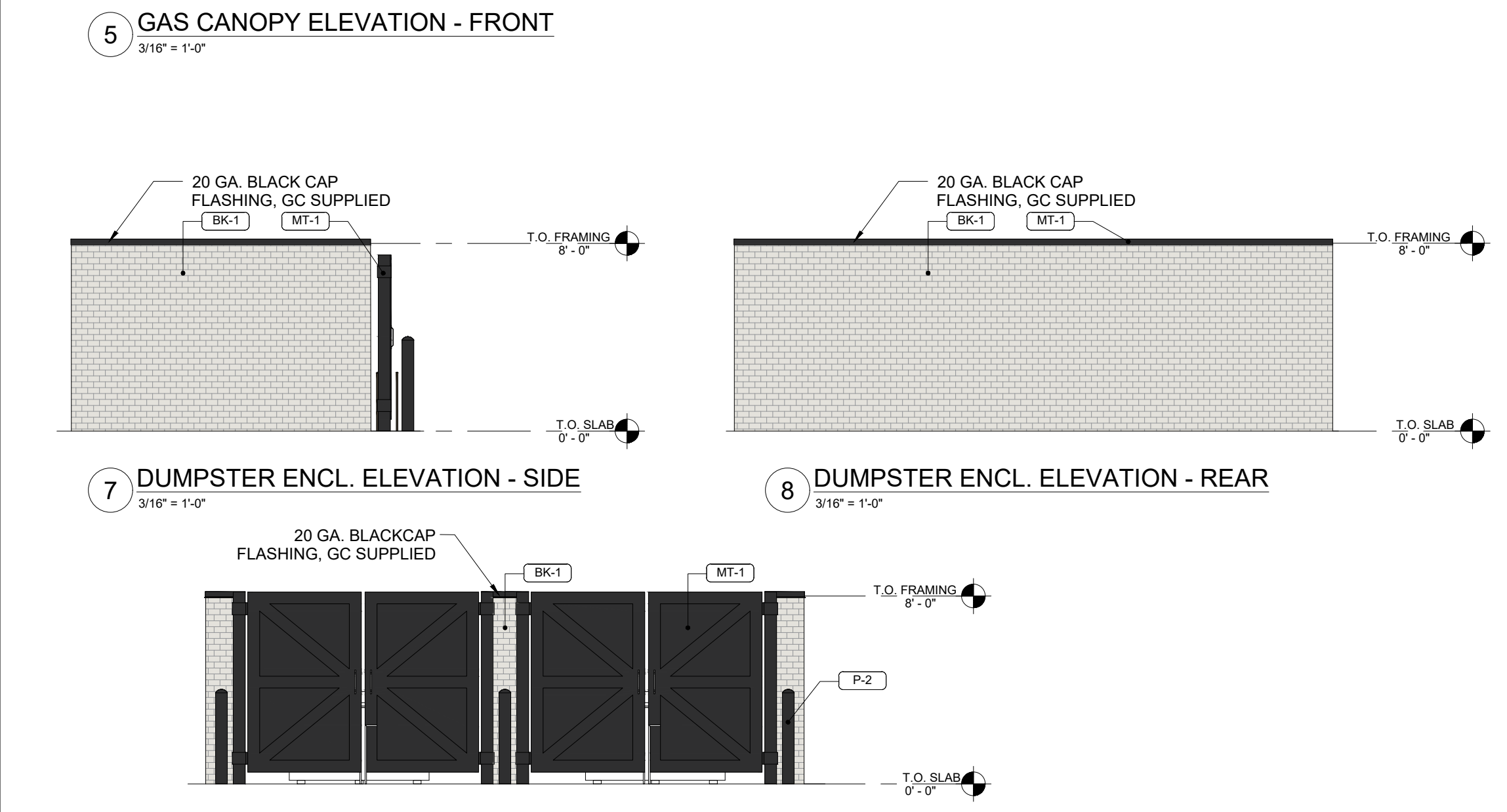
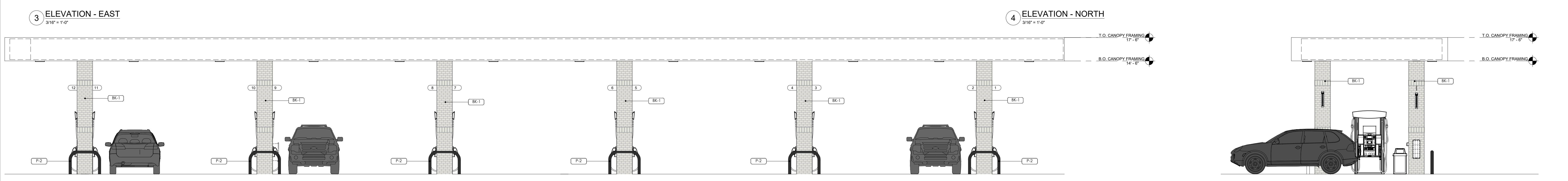
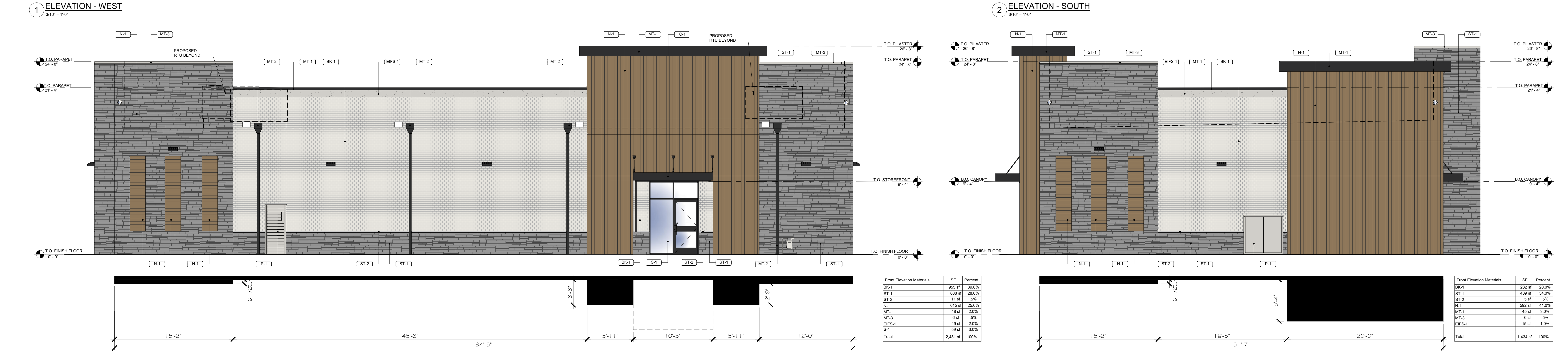
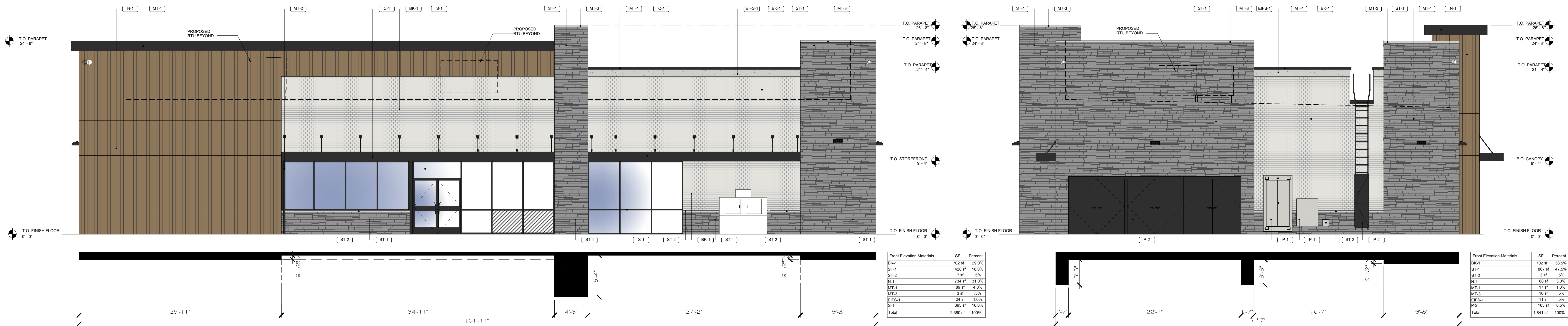
T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE BAR	125-23	C-3.0

TX. P.E. FIRM #11525

PRINTED BY: SRANDALL  
 DRAWING NAME: SEI\_XA-EXTERIOR ELEVATIONS PRELIM 2024.03.13.DWG  
 PRINT DATE: Mar 13, 2024 - 10:57am



### MATERIAL SCHEDULE

<b>MT-1</b> PRE-FINISHED METAL COPING - COAL BLACK	<b>MT-2</b> PRE-FINISHED SHEET METAL DOWNSPOUT SYSTEM - COAL BLACK	<b>MT-3</b> PRE-FINISHED METAL COPING - TO BE PAINTED SW 7648 - BIG CHILL	<b>ST-1</b> STONE VENEER CORONADO STONE PRO-LEDGE - HURON	<b>ST-2</b> STONE SILL CORONADO STONE 900 SERIES TRIM - GRAY	<b>N-1</b> NICHHA FIBER CEMENT PANELS - AWP9030 - COLOR: CEDAR
<b>BK-1</b> THIN BRICK CORONADO STONE - WIRE CUT COLOR: GLACIER	<b>EIFS-1</b> SAND PEBBLE FINE TEXTURE COLOR: SW 7648 BIG CHILL	<b>P-1</b> PAINT SHERWIN WILLIAMS - SW 7648 BIG CHILL	<b>P-2</b> PAINT SHERWIN WILLIAMS - TRICORN BLACK - SW 6258 TRASH ENCLOSURE, BOLLARDS, FUEL CANOPY COLUMNS	<b>S-1</b> KAWNEER 451T VG ALUMINUM STOREFRONT FRAME COLOR: #29 BLACK	<b>C-1</b> MAPES PRE-FINISHED CANOPY - MATTE BLACK

**PROJECT CONTACT LIST**

<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TX 75238 214.343.9400 ALEXANDRA MATIS AMATIS@DIMENSIONGRP.COM	<b>CIVIL ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DR. ALLEN, TX 75013 469.331.8566 KARTAVYA PATEL, P.E. KPATEL@TRIANGLE-ENGR.COM	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2001 NETWORK BLVD, STE #413 FRISCO, TX 75034 214.889.0503 ERIN MILELR EMILLER@SCHAFFERCONST.COM
---	---	--

**PROPOSED FACADE PLAN**

CITY CASE #TBD  
 CORPORATE CROSSING & FIT SPORT LIFE BLVD  
 FIT SPORT LIFE ADDITION  
 BLOCK B, LOT 6  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 DATE PREPARED : 03.13.2024

Rev. #	Date	Description

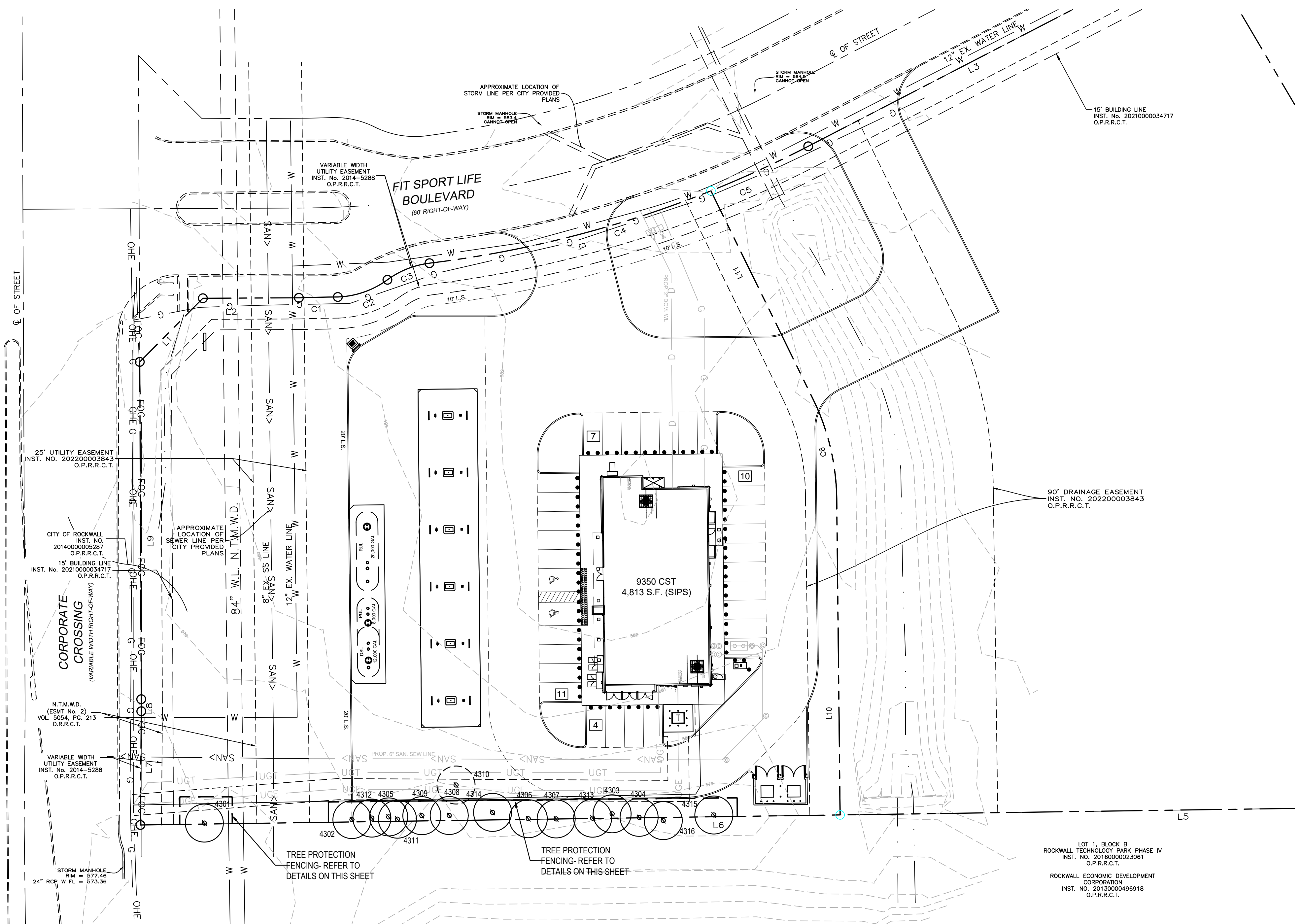
PROTO: CST 9350

**7-ELEVEN, INC.**  
 3200 HACKBERRY ROAD, IRVING, TX 75063  
**7-ELEVEN #1055880**  
 SEC OF FIT SPORT BLVD & CORPORATE CROSSING  
 ROCKWALL, TX 75087  
 PRELIMINARY ELEVATIONS

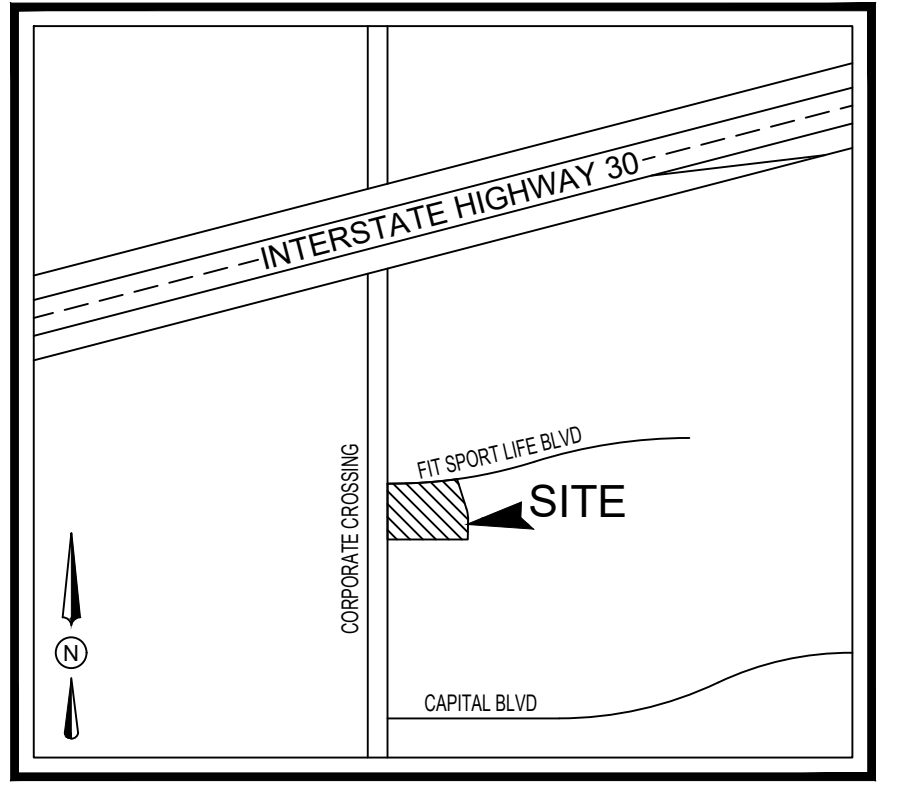
ARCHITECTURAL/CIVIL/MECHANICAL/ELECTRICAL/PLUMBING/MECHANICAL/ELECTRICAL/PLUMBING

Job#: 230-759	Scale: AS NOTED	Date: 3/13/24	Drawn By: [Blank]
Documents prepared by the architect are for the specific project and are not to be used for any other project, without the expressed, written consent of the architect. The Group is not responsible for the accuracy of the information provided. The Group is not responsible for the accuracy of the information provided. The Group is not responsible for the accuracy of the information provided.			
Checked By: [Blank]			

SHEET: **P.1**  
CST 9350L



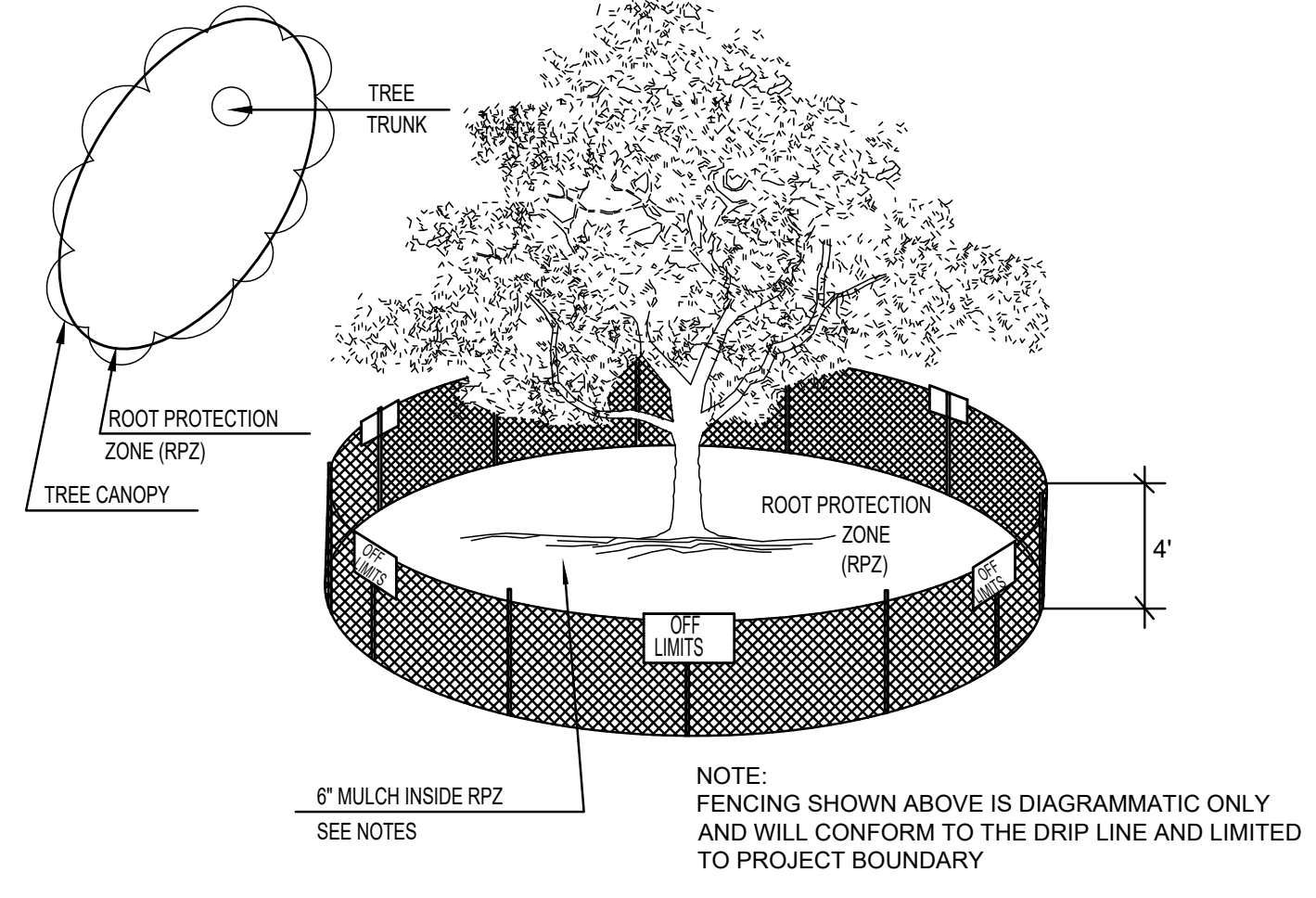
- EXISTING TREE NOTES**
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
  - If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
  - No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
  - Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
  - Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
  - Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
  - Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
  - Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
  - Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
  - Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
  - Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
  - Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
  - Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
  - Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.



LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRIS@STUDIOGREENSPOT.COM



**7- ELEVEN AT CORPORATE CROSSING**  
FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
ROCKWALL, TEXAS

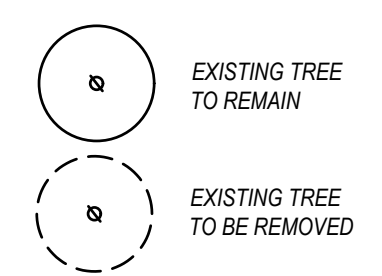


**01 TREE PROTECTION FENCE A**  
NOT TO SCALE

LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
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L10	S 00°36'39" E	149.65'
L11	S 26°06'50" E	109.77'

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

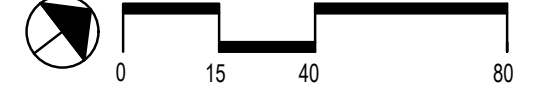
**EXISTING TREE LEGEND**



**TREE SURVEY FIELD DATA**

NO.	SIZE (\"/>			
4301	36	WILLOW	UNPROTECTED	TO REMAIN
4302	6	HACKBERRY	UNPROTECTED	TO REMAIN
4303	6	HACKBERRY	UNPROTECTED	TO REMAIN
4304	12	HACKBERRY	UNPROTECTED	TO REMAIN
4305	7	HACKBERRY	UNPROTECTED	TO REMAIN
4306	16	HACKBERRY	UNPROTECTED	TO REMAIN
4307	12	HACKBERRY	UNPROTECTED	TO REMAIN
4308	7	HACKBERRY	UNPROTECTED	TO REMAIN
4309	7	HACKBERRY	UNPROTECTED	TO REMAIN
4310	6	CEDAR	UNPROTECTED	TO BE REMOVED
4311	7	HACKBERRY	UNPROTECTED	TO REMAIN
4312	14	HACKBERRY	UNPROTECTED	TO REMAIN
4313	6	HACKBERRY	UNPROTECTED	TO REMAIN
4314	8	HACKBERRY	UNPROTECTED	TO REMAIN
4315	14	HACKBERRY	UNPROTECTED	TO REMAIN
4316	14	HACKBERRY	UNPROTECTED	TO REMAIN

**01 TREE PRESERVATION PLAN**  
SCALE: 1"=30'-0"



PROJECT CONTACT LIST	
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<p><b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321</p>	<p><b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400</p>
<p><b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KELTY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com</p>	

**ISSUE:**  
FOR APPROVAL 03.14.2023

**DATE:**  
03.14.2024

**SHEET NAME:**  
LANDSCAPE PLAN

**SHEET NUMBER:**

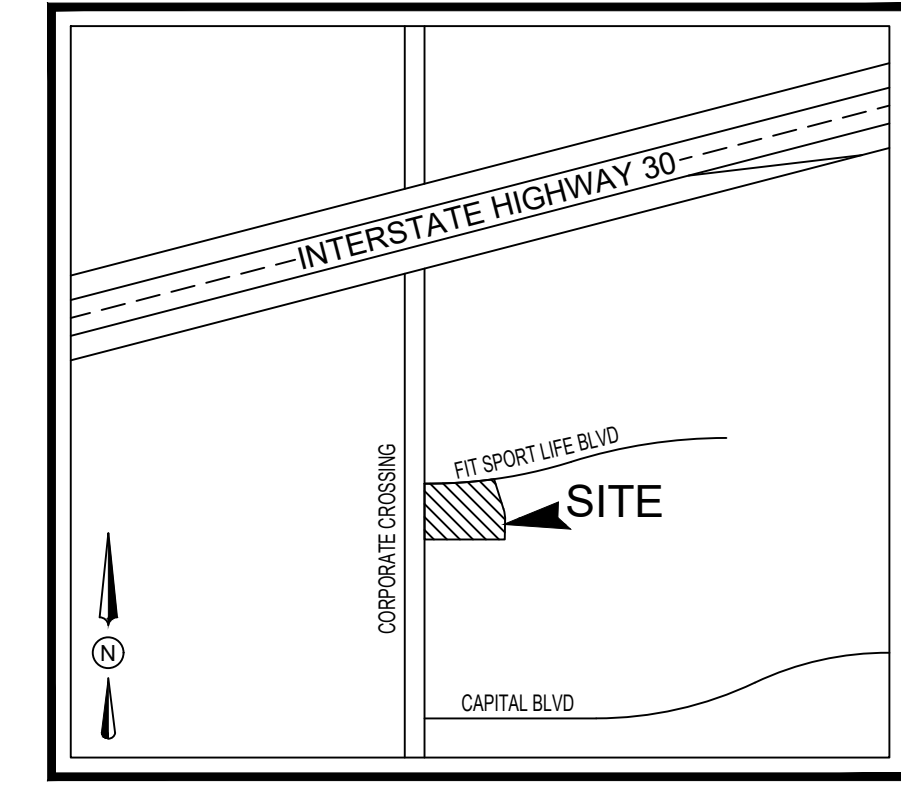
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03.14.2024



VICINITY MAP  
 N.T.S.

**GENERAL LAWN NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED. AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

**SOLID SOD NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

**LANDSCAPE TABULATIONS:**  
 I-50 Overlay / Commercial zoning

SITE REQUIREMENTS (site area 84,936 s.f.)  
 Requirements: 20% site area to be landscaped

Required	Provided
12,741 s.f. (15%)	36,649 s.f. (43%)

FRONT YARD REQUIREMENTS  
 Requirements: 50% of required landscape must be located in front yard

Required	Provided
6,371 s.f. (50%)	30,744 s.f. (100+%)

STREET REQUIREMENTS  
 Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4" ht. per 100 l.f. of frontage. Perimeter screening (30" height berm and 30" ht. evergreen shrubs.)

FIT SPORT LIFE BLVD. (249 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(10) accent trees	(10) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

CORPORATE CROSSING (262 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(11) accent trees	(11) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

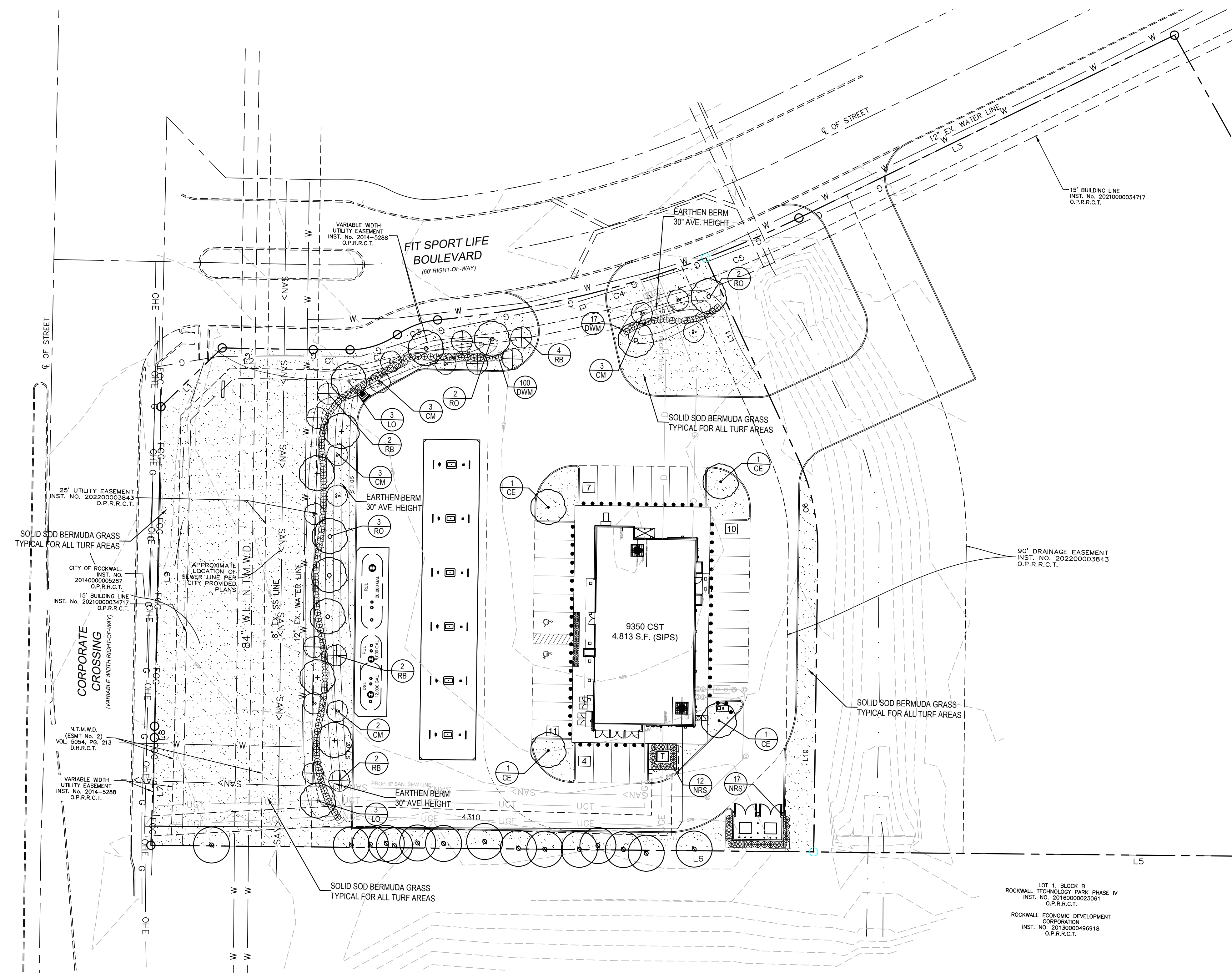
PARKING LOT REQUIREMENTS (32 spaces)  
 Requirements: (1) canopy tree, 4" cal. per 10 parking spaces

Required	Provided
(4) canopy trees	(4) canopy trees

**PLANT MATERIAL SCHEDULE**

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	4	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	B&B, 12' ht., 5' spread, 6' clear straight trunk
LO	6	Live Oak	<i>Live Oak</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
RO	7	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
CM	11	Crape Myrtle	<i>Lagerstromia indica</i>	2" cal.	container, 8' ht., 4' spread, tree form
RB	10	Red Bud	<i>Cercis canadensis</i>	2" cal.	container, 8' ht., 4' spread, tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DWM	117	Dwarf Wax Myrtle	<i>Myrica pusilla</i>	7 gal.	container, 36" ht., 30" spread
NRS	29	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 30" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon</i> '419'		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



**BOUNDARY LINE DATA**

LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 26°06'50" E	109.77'

**BOUNDARY CURVE DATA**

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
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01 LANDSCAPE PLAN  
 SCALE: 1"=30'-0"

**PROJECT CONTACT LIST**

ENGINEER	DEVELOPER
TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	SCHAFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schaferconst.com
SURVEYOR	ARCHITECT
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OWNER	
STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KELTY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com	

7-ELEVEN AT CORPORATE CROSSING  
 FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
 ROCKWALL, TEXAS

ISSUE:  
 FOR APPROVAL 03.14.2024

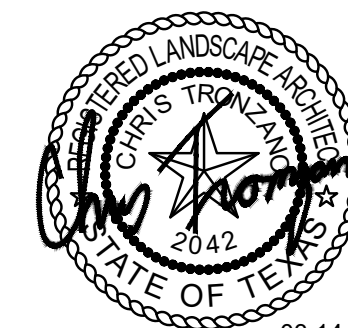
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 03.14.2024

SHEET NAME:  
 LANDSCAPE PLAN

SHEET NUMBER:  
 L.2



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03.14.2024

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

- 1.1 REFERENCED DOCUMENTS**  
Refer to bidding requirements, special provisions, and schedules for additional requirements.
- 1.2 DESCRIPTION OF WORK**  
Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
- 1. Planting (trees, shrubs, and grass)
  - 2. Bed preparation and fertilization
  - 3. Notification of sources
  - 4. Water and Maintenance until final acceptance
  - 5. Guarantee
- 1.3 REFERENCE STANDARDS**
- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980. Edition: by American National Standards Institute, Inc. (Z60.1) - plant material.
  - B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
  - C. Texas Association of Nurserymen, Grades and Standards.
  - D. Hortis Third, 1976 - Cornell University

- 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS**
- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
  - B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
  - C. Product Data: Submit complete product data and specifications on all other specified materials.
  - D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain six representative samples for final installed plant materials.
  - E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
  - F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

- 1.5 MAINTENANCE AND GUARANTEE**
- A. Maintenance:
    - 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
    - 2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
    - 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
    - 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

- B. Guarantee:
  - 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
    - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
    - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
    - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

- 1.7 QUALITY ASSURANCE**
- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
  - B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
  - C. Selection of Plant Material:
    - 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
    - 2. Landscape Architect will provide a key identifying each tree location on plan. Written verification will be required to document material selection, source and delivery schedules to site.
    - 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
    - 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
    - 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected material from the site immediately. Damaged plants in transit or at job site shall be rejected.

- 1.8 PRODUCT DELIVERY, STORAGE AND HANDLING**
- A. Preparation:
    - 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
    - 2. Container Grow Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- A. Delivery:
  - 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
  - 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
  - 3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
  - 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
  - 5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
  - 6. Remove rejected plant material immediately from site.
  - 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

- 2.1 PLANTS**
- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
  - B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
  - C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable discolorations, insect eggs and larvae and are to be of specimen quality.
  - D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be replaced at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
  - E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Non-nomenclature conforms to the customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
  - F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
  - 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
  - 2. All planting areas shall receive a two (2") inch layer of specified mulch.
  - 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
  - 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
  - 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

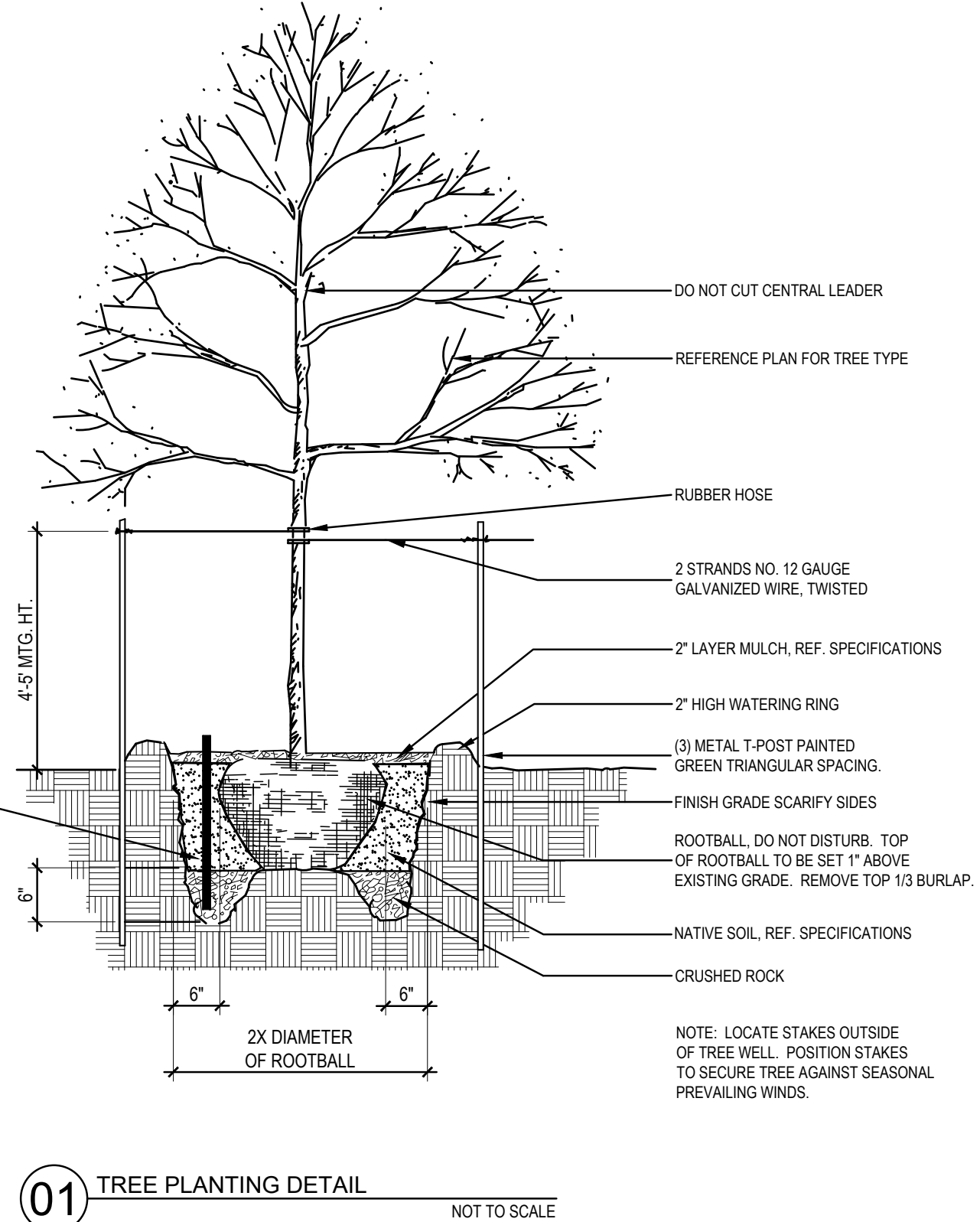
3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

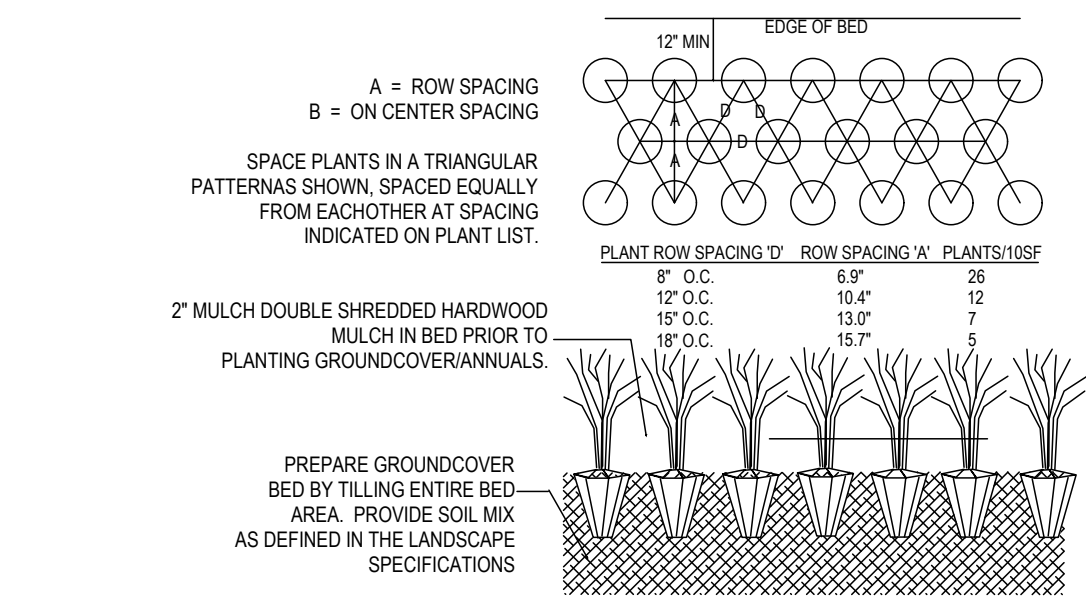
3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

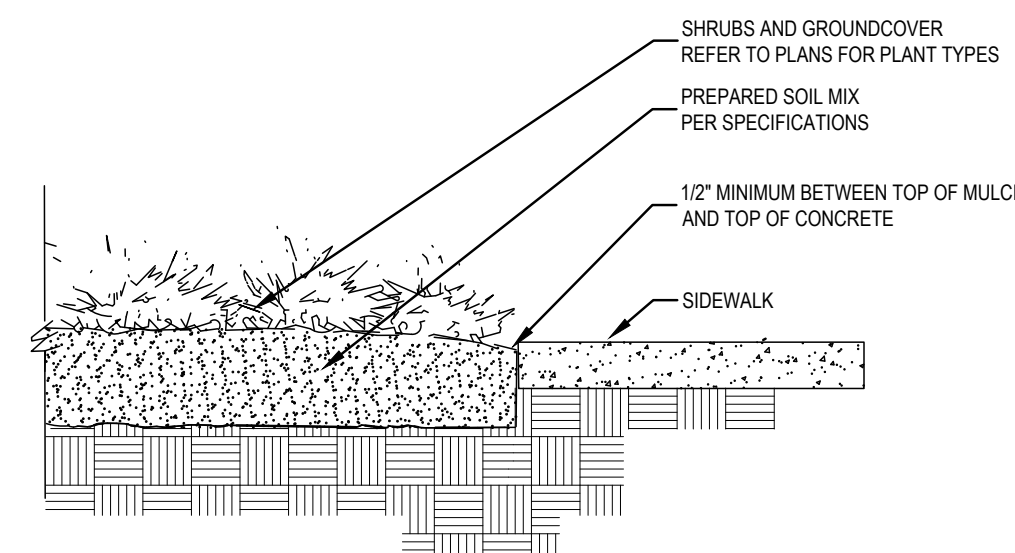
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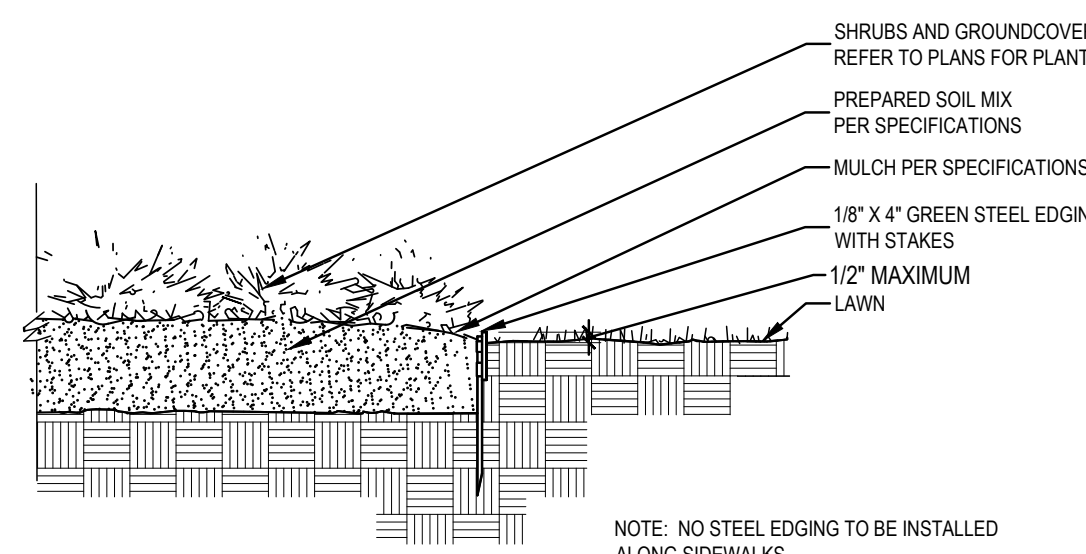
01 TREE PLANTING DETAIL NOT TO SCALE



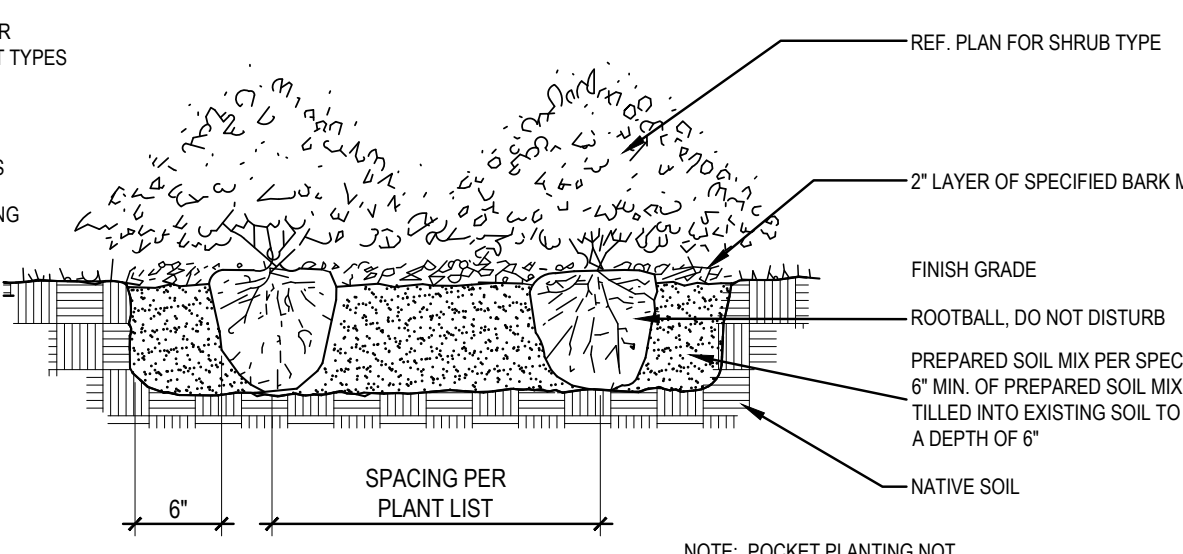
02 GROUNDCOVER PLANTING DETAIL NOT TO SCALE



03 SIDEWALK / MULCH DETAIL NOT TO SCALE



04 STEEL EDGING DETAIL NOT TO SCALE



05 SHRUB PLANTING DETAIL NOT TO SCALE

PROJECT CONTACT LIST	
<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconstr.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REAL-ROCKWALL LAND LLC 3104 E CAMELBACK RD. STE 2387 PHOENIX, ARIZONA 85016 CONOR KELLY PHONE: 480-856-8808 EMAIL: conor@structuredrea.com	

ISSUE:  
FOR APPROVAL 03.14.2024

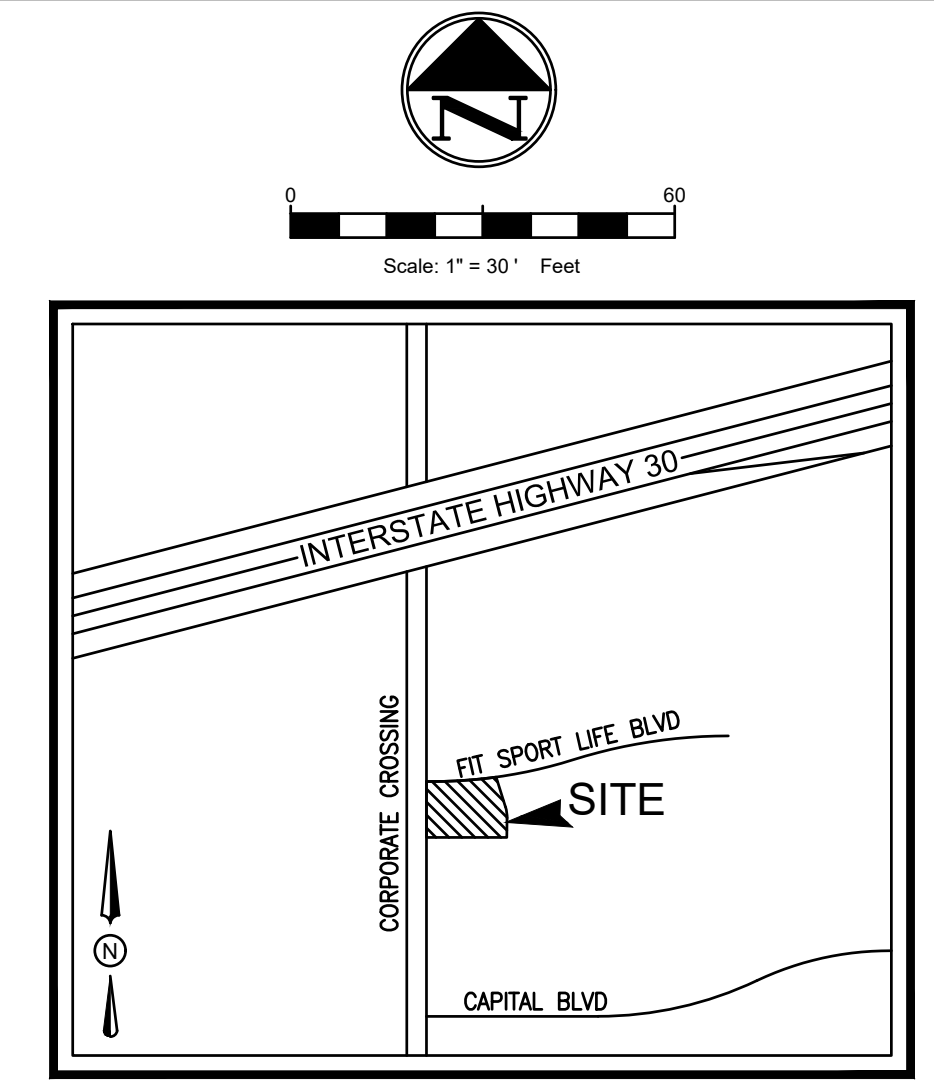
DATE:  
03.14.2024

SHEET NAME:  
LANDSCAPE SPECIFICATIONS

SHEET NUMBER:

L.3

7-ELEVEN AT CORPORATE CROSSING  
FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
ROCKWALL, TEXAS



VICINITY MAP  
N.T.S.

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 26°06'50" E	109.77'

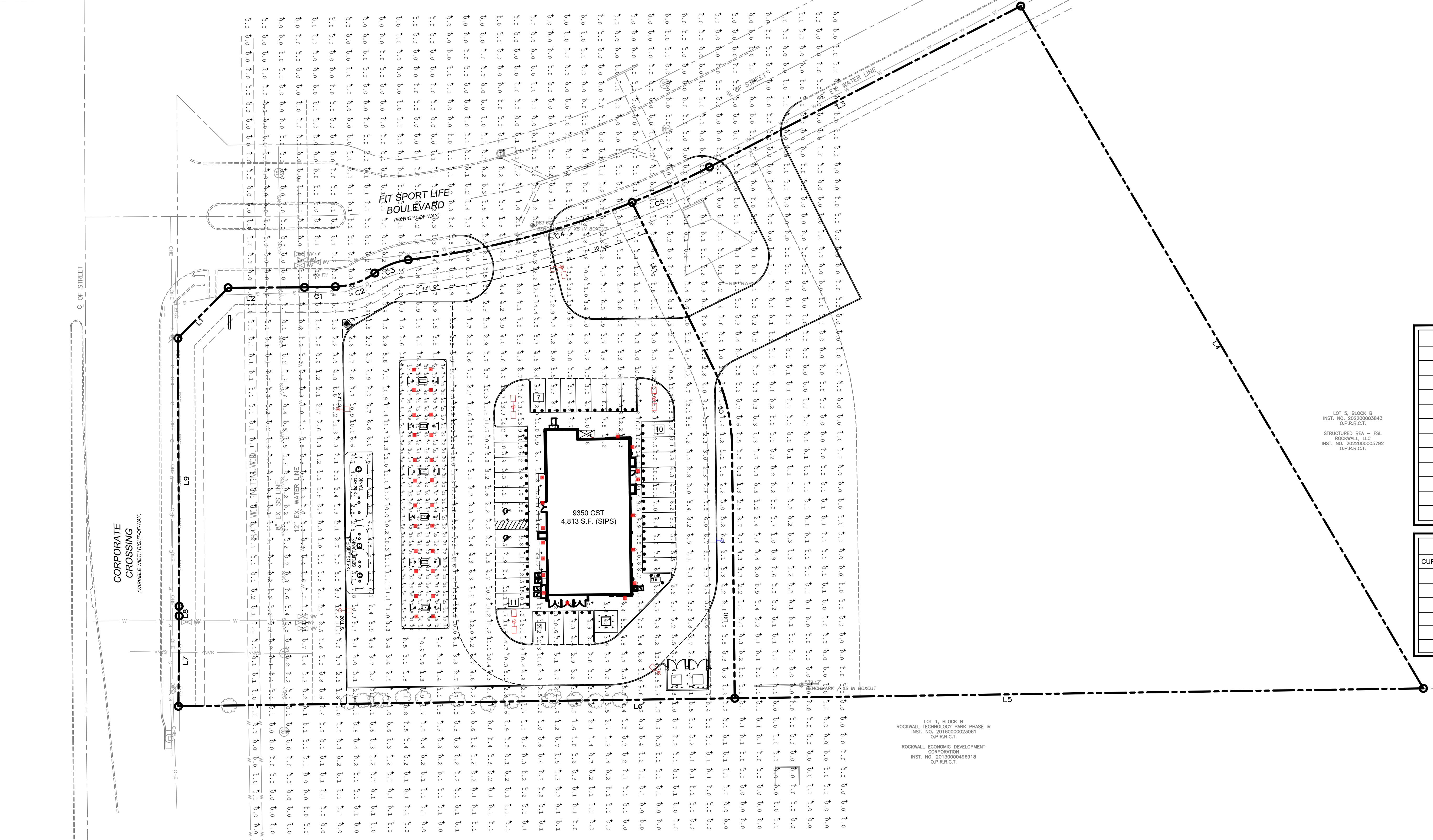
BOUNDARY CURVE DATA					
CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

LOT 5, BLOCK B  
INST. NO. 20220003843  
O.P.R.R.C.T.

STRUCTURED REA - FSL  
ROCKWALL, LLC  
INST. NO. 20220005792  
O.P.R.R.C.T.

LOT 1, BLOCK B  
ROCKWALL TECHNOLOGY PARK PHASE IV  
INST. NO. 201600023091  
O.P.R.R.C.T.

ROCKWALL ECONOMIC DEVELOPMENT  
CORPORATION  
INST. NO. 2013000496918  
O.P.R.R.C.T.



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
[Symbol]	8	CPY-F-4L	Single	1.000	4590	31	CPY250-C-4L-57K7-F-UL-DM-WH-HZ
[Symbol]	24	CPY-F-8L	Single	1.000	8475	53	CPY250-C-8L-57K7-F-UL-DM-WH-HZ
[Symbol]	3	XSPLG-3ME	SINGLE	1.000	23800	184	XSPLG-D-HT-3ME-24L-57K7-UL-BZ-N
[Symbol]	1	XSPLG-4ME	Single	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	1	XSPLG-4ME-2	2 @ 90°	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	3	XSPLG-4ME-2(180)	2 @ 180°	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	8	XSPW	WALL MOUNT	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-BZ

Calculation Summary (Footcandles calculated using LMF: 1.00)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	2.20	26.2	0.0	N.A.	N.A.
GAS CANOPY	Fc	32.73	45	14	2.34	3.21
PAVED AREA	Fc	6.28	17.2	1.3	4.83	13.23

**Pole Schedule**  
(8) SSS-4-11-17-CW-BS-OT-N-BZ (17' X 4" X 11ga STEEL SQUARE POLE)  
Proposed poles meet 140 MPH sustained winds.

**Additional Equipment:**  
(4) PD-1H4 (Single Head Tenon)  
(1) PD-2H4(90) (Twin Head Tenon @ 90°)  
(3) PD-2H4(180) (Twin Head Tenon @ 180°)

**Lighting Requirements:**  
Paved Area: 1.0fc minimum  
Gas Canopy: 30-50fc

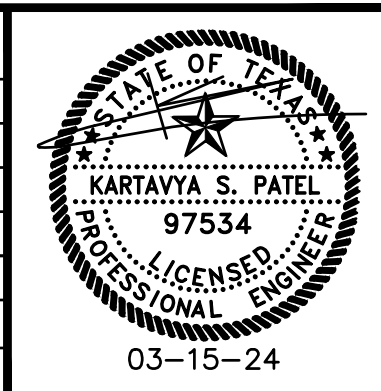
\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	09/07/23	1st SITE PLAN	EB
2	10/13/23	35' WIDE DRIVEWAYS	EB
3	11/08/23	2nd SITE PLAN	EB
4	02/19/24	REVISED DUMPSTER PAD	EB
5	03-15-24	SITE PLAN SUBMITTAL	IA
.	.	.	.
.	.	.	.



**PHOTOMETRIC PLAN**  
**7-ELEVEN**  
CORPORATE CROSSING AND FIT SPORT LIFE BLVD  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS 75032  
FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

PLANNING | CIVIL ENGINEERING | CONSTRUCTION MANAGEMENT

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE BAR	125-23	<b>C-3.5</b>

TX. P.E. FIRM #11525

CASE NO:



7-Eleven  
#E12591  
Rockwall, TX  
December 7, 2023

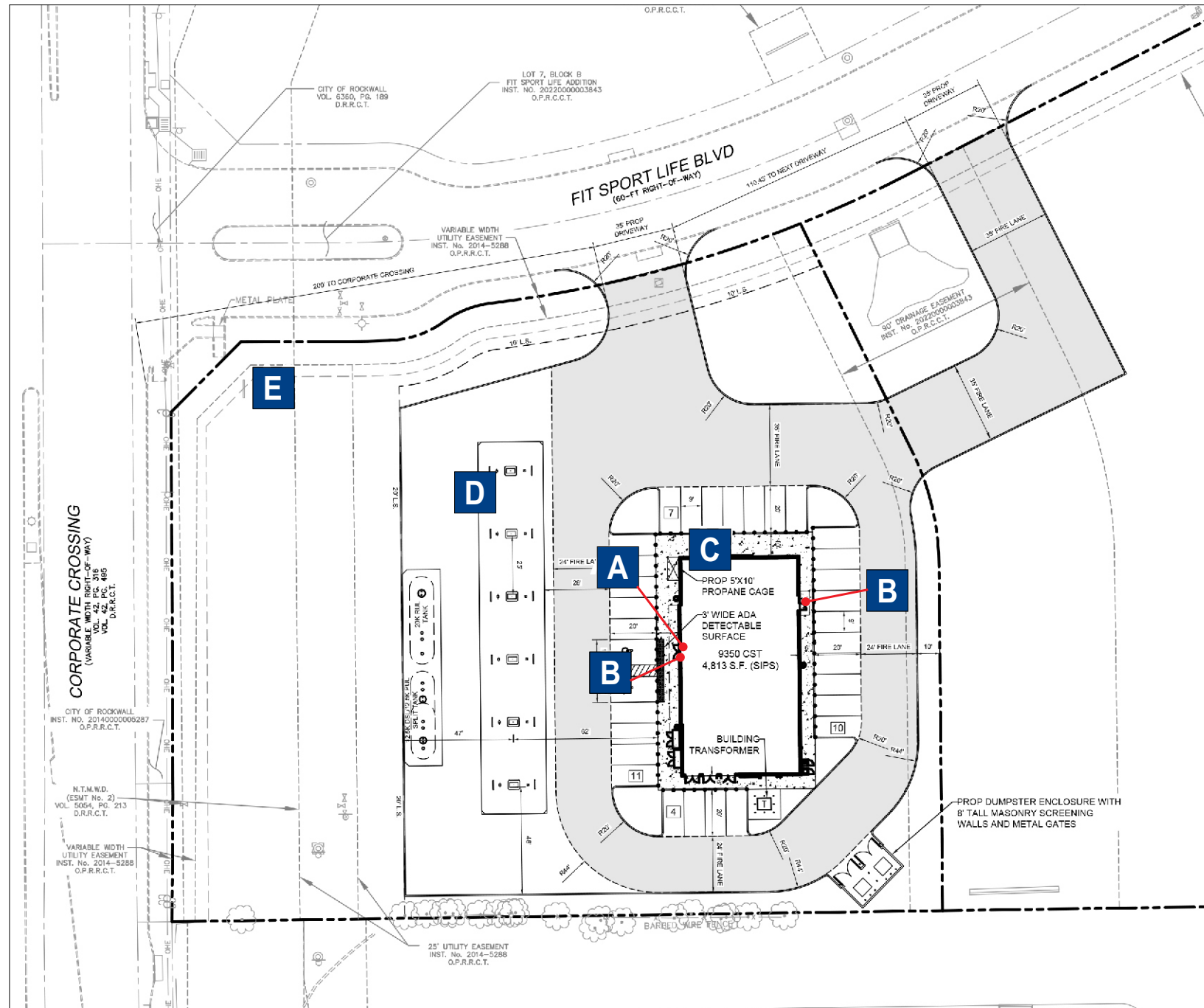
***Allen Industries***

**YOUR BRAND AT ITS BEST™**

**1-800-967-2553**  
**www.allenindustries.com**

Customer Approval / Signature

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



## Scope

- A** INSTALL NEW 8' KEYSTONE AND ILLUMINATED STRIPES ON FRONT ELEVATION
- B** INSTALL VINYL WELCOME SIGN ABOVE DOORS ON FRONT AND REAR ELEVATIONS
- C** INSTALL 10' WALL CHANNEL LOGO ON LEFT ELEVATION
- D** INSTALL 30" CHANNEL LETTERS AND ILLUMINATED STRIPES ON FRONT OF FUEL CANOPY (LEFT JUSTIFIED)
- E** INSTALL 20' MONUMENT STYLE SIGN WITH PRICER

#	Date	Description
1	12/07/23	Updated to 2022 Catalog
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

Initial	Client Review Status
LT	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
-	Client Signature: _____
-	Approval Date: _____

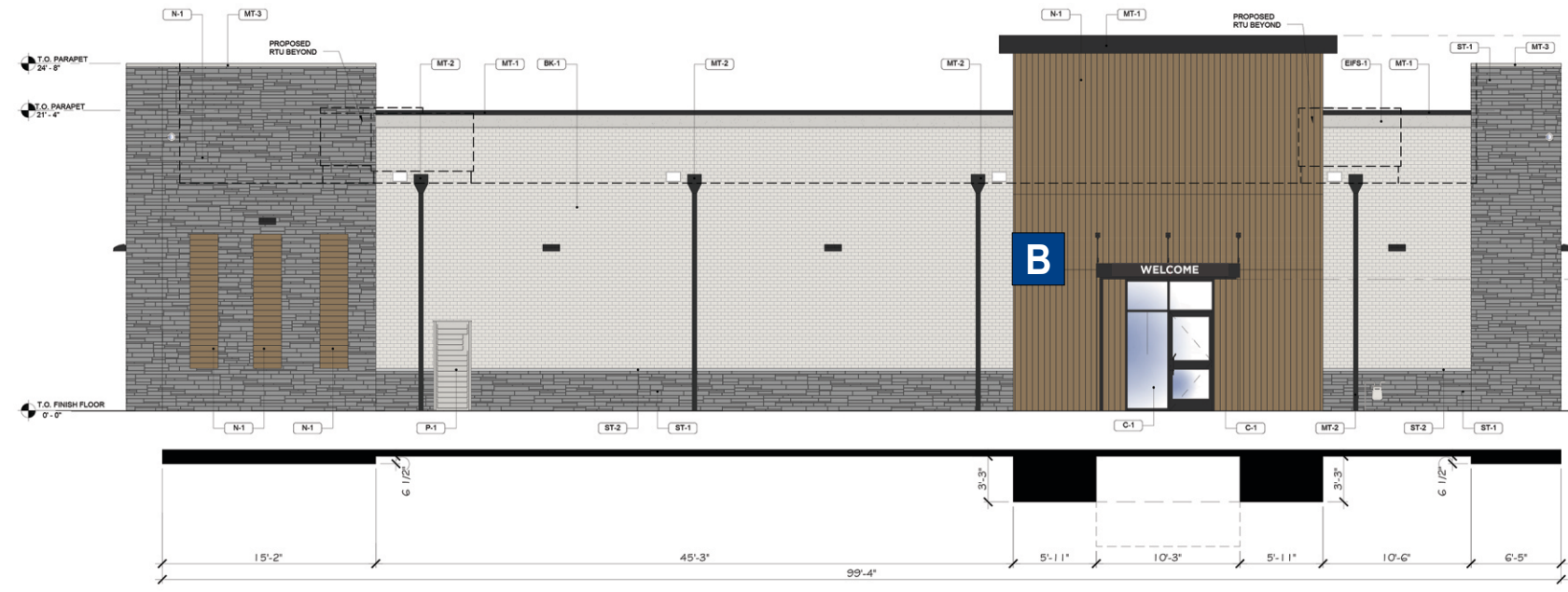




**Front Elevation**  
Scale: 3/32"=1'-0"

**INSTALL SCOPE:**  
INSTALL 8' KEYSTONE AND ILLUMINATED STRIPES  
INSTALL VINYL WELCOME SIGN OVER FRONT ENTRANCE

**CODE NOTES: 10% OF FRONT FACADE OR 60 SF FT, WHICHEVER IS GREATER, STREET FACING ONLY**

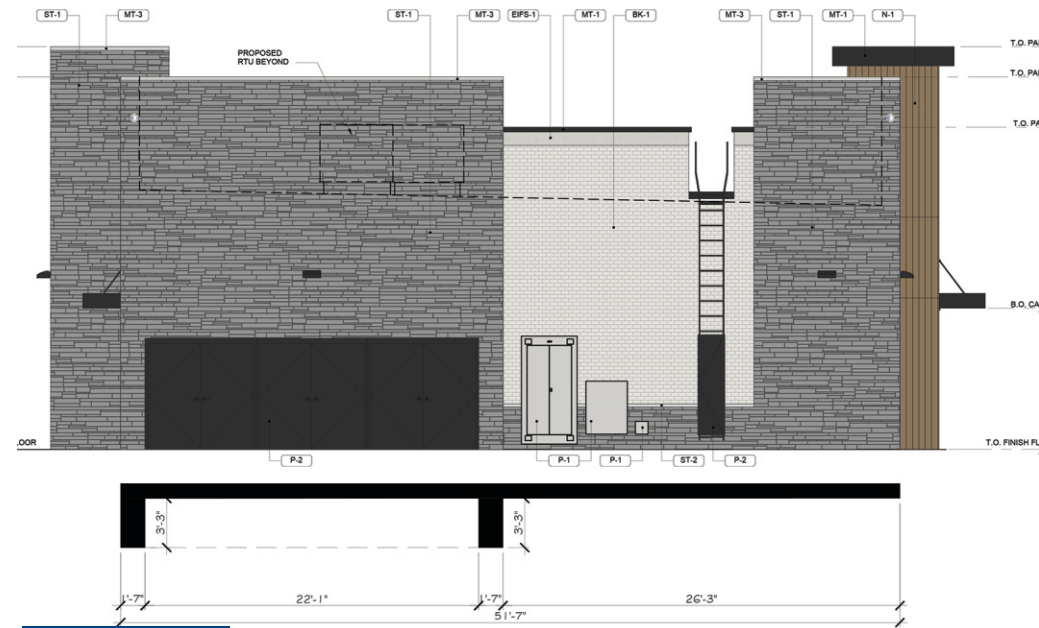


**Rear Elevation**  
Scale: 3/32"=1'-0"

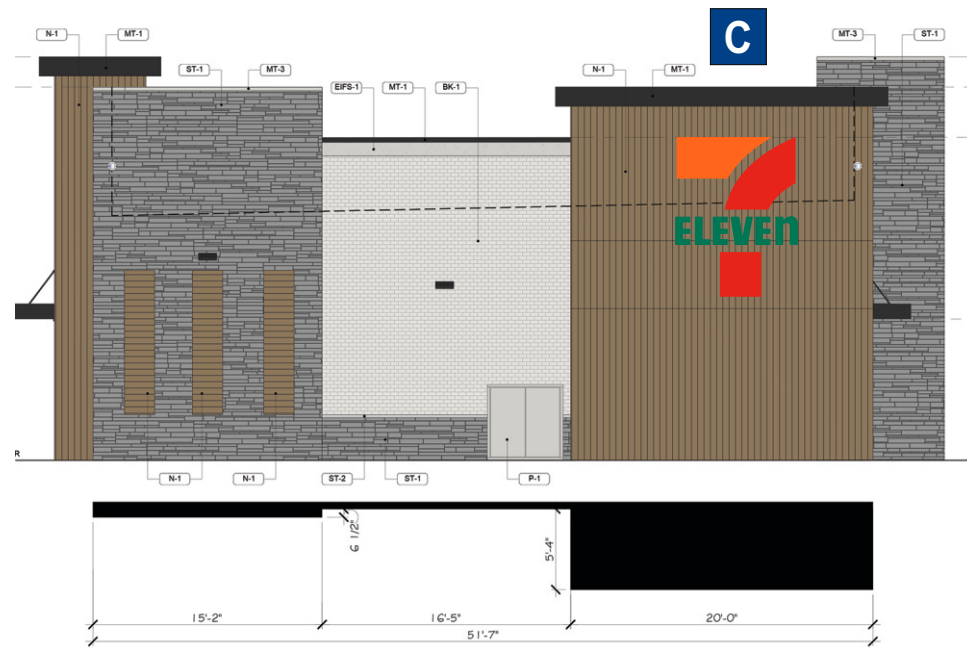
**INSTALL SCOPE:**  
INSTALL VINYL WELCOME SIGN OVER REAR ENTRANCE

#	Date	Description	Initial
1	12/07/23	Updated to 2022 Catalog	LT
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client Review Status	
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.	
Client Signature:	Approval Date:



**Right Elevation**  
Scale: 3/32"=1'-0"



**Left Elevation**  
Scale: 3/32"=1'-0"

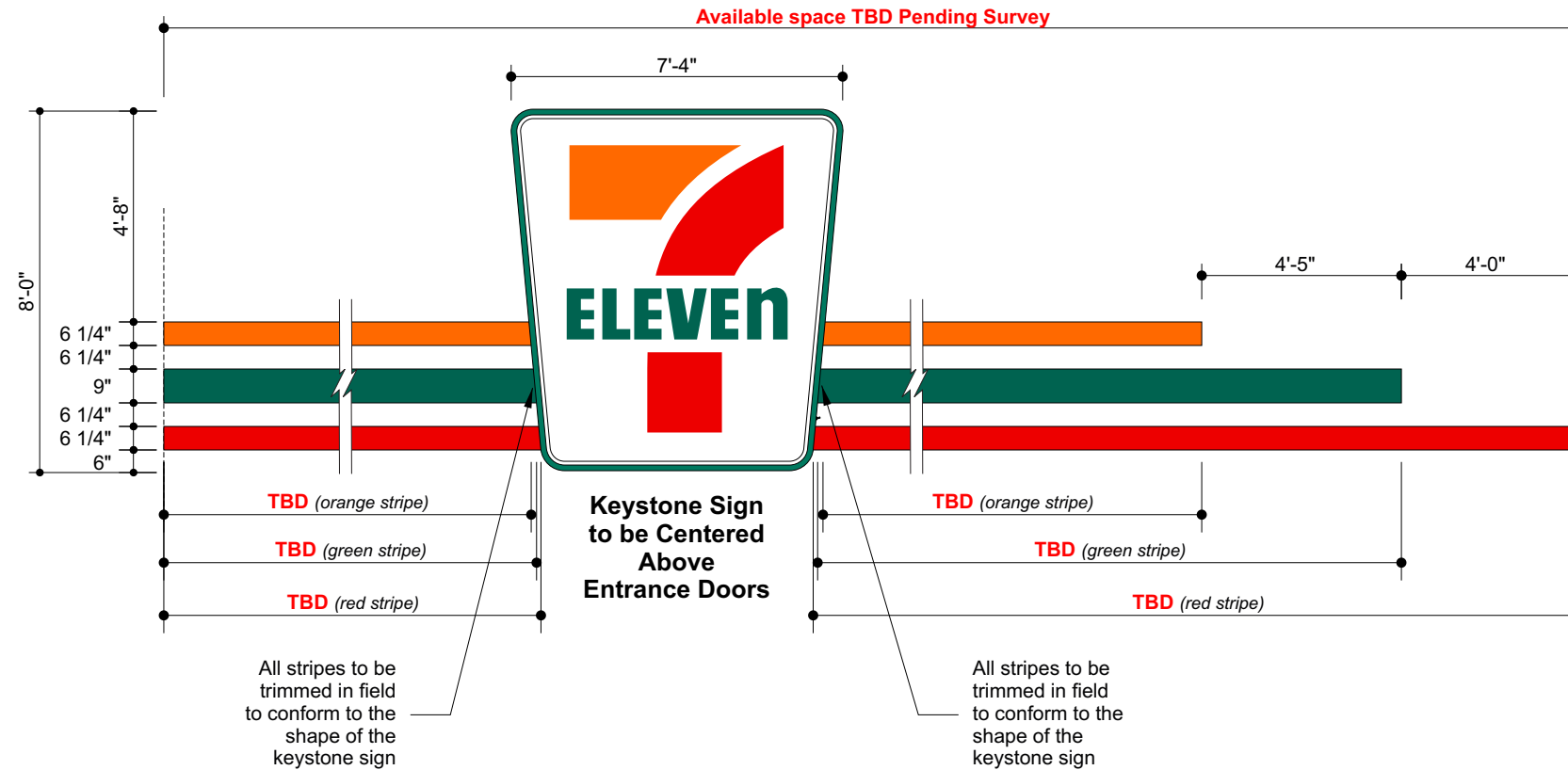
**INSTALL SCOPE:**  
10' HALO CHANNEL LETTER ON LEFT ELEVATION (BROWN SECTION, CENTERED)

**CODE NOTES:;** 10% OF FACADE OR 60 SQ FT, WHICHEVER IS GREATER, STREET FACING ONLY

#	Date	Description
1	12/07/23	Updated to 2022 Catalog
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

FIELD SURVEY REQUIRED  
Prior to Release to Production

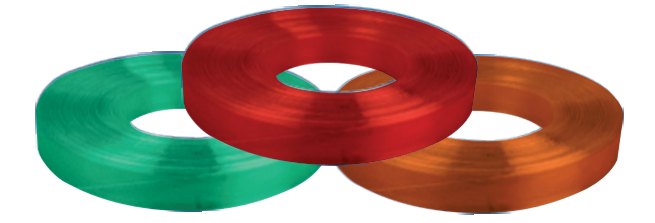
DESIGN INTENT ONLY  
Engineering Required to  
Determine Actual Production  
& Installation Requirements



**Notes:**  
Illuminated Stripes will be fabricated and shipped in 10'-0" long sections.  
Sections can be made shorter than 10'-0" in order to fit the appropriate overall length.  
Sections must be no shorter than 1'-0".  
Adjust length accordingly to match the appropriate overall length.  
Testing may be required to determine best lighting, especially for the green stripe.

**Stripe Face Details:**

Stripe faces are required to be seamless. Faces will be shipped in rolls with vinyl already applied. Stripe cabinets will be installed first and rolls of polycarbonate will be fed through the F-Retainer.



**Material Specifications**

.177" White Polycarbonate

**Color Specifications**

- PMS 2347C  
3M Scotchlcal 3730-2723
- PMS 1505C  
3M Scotchlcal 3730-3243
- PMS 336C  
3M Scotchlcal 3730-6540

**Paint Specifications**

- Akzo-Nobel to match PMS 2347C
- Akzo-Nobel to match PMS 1505C
- Akzo-Nobel to match PMS 336C

All paint finishes to be Satin unless otherwise specified

**Front Elevation**

Scale: 1/4"=1'-0"

**General Specifications:**

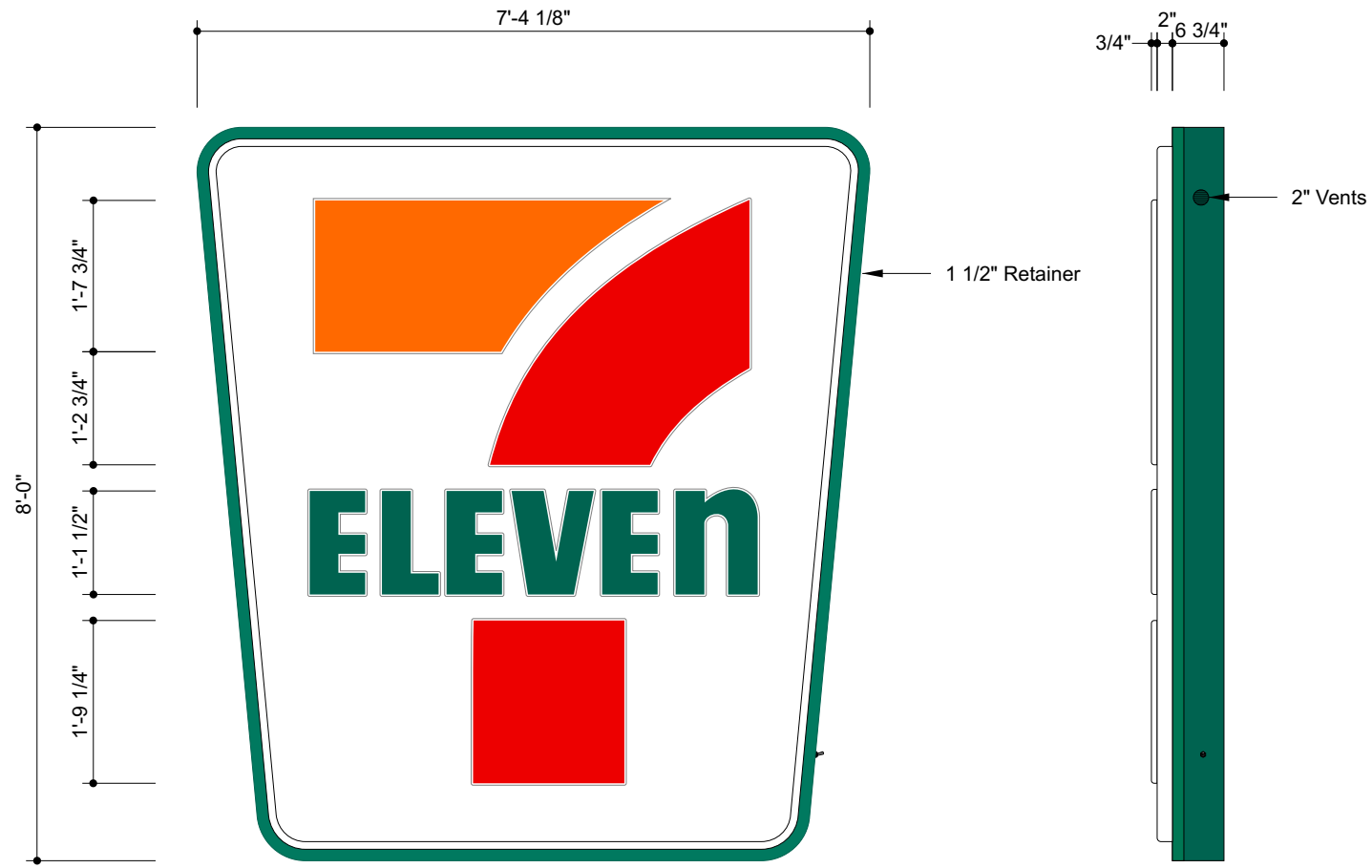
**Faces:** White polycarbonate flat faces with 1st surface vinyl graphics.  
**Cabinet:** .080" thk. brake-formed aluminum cabinet with aluminum end caps, painted to match Orange, Green, and Red  
**Illum:** LEDs as required by manufacturer, remote power supplies  
**Install:** Installed using approved method  
**Electrical:** (1) 20 AMP Circuit, 120 Volts  
*Licensed Electrical Contractor to determine final number of circuits required by code where sign is installed.*

#	Date	Description
1	12/07/23	Updated to 2022 Catalog
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

Initial	Client Review Status
LT	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
-	Client Signature: _____
-	Approval Date: _____

**DESIGN INTENT ONLY**  
Engineering Required to  
Determine Actual Production  
& Installation Requirements

**FIELD SURVEY REQUIRED**  
Prior to Release to Production



**Night View**  
No Scale

**Hardware Mounting Chart**

**Note:**  
Threaded Rod will be Provided Standard for All. Other Hardware Is to be Provided by the Installer As Req.

	Masonry	Wood	Metal
<b>Signs and Raceways</b>			
3/8" Zinc Plated Steel Threaded Rod Thru Wall	•	•	•
3/8" Lags with Shields	•		
3/8" Lag Bolts		•	
3/8" Toggle Bolts			•
<b>Letters</b>			
1/4" Zinc Plated Steel Threaded Rod Thru Wall	•	•	•
1/4" x 2-1/4" Tapcons		•	
Flathead Stainless Screws			•

**Front Elevation**  
Scale: 1/2"=1'-0"  
**58.7 Sq Ft**

**Side Elevation**  
Scale: 1/2"=1'-0"

**Material Specifications**

.177" 7328 White Polycarbonate

**Color Specifications**

- PMS 2347C  
3M Scotchcal 3730-2723
- PMS 1505C  
3M Scotchcal 3730-3243
- PMS 336C  
3M Scotchcal 3730-6540

**Paint Specifications**

Akzo-Nobel to match PMS 336C

All paint finishes to be Satin unless otherwise specified

**General Specifications:**

**Face:** White polycarbonate, 2" deep pan-formed with 3/4" embossed logo & copy. 1st surface applied vinyl graphics.

**Returns:** .080" Aluminum, painted Green.

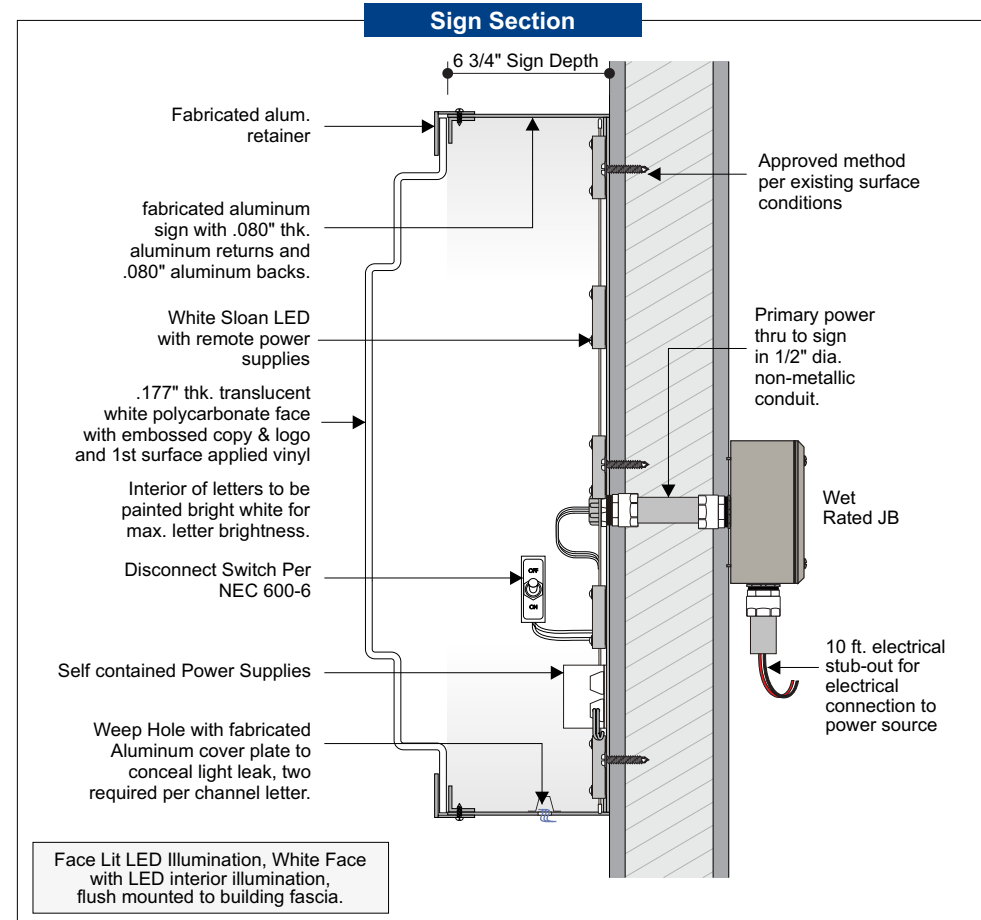
**Backs:** .080" thk. Aluminum.

**Illum:** LEDs as required by manufacturer, self contained power supplies

**Install:** Installed using min. 3/8" all thread fasteners (or approved equivalent) and wood blocking as required

**Electrical:** (1) 20 AMP Circuit, 120 Volts  
*Licensed Electrical Contractor to determine final number of circuits required by code where sign is installed.*

**Quantity:** (1) ONE



Face Lit LED Illumination, White Face with LED interior illumination, flush mounted to building fascia.

**Allen Industries** LISTED MET E212503 **Electric Sign Complies with UL48**

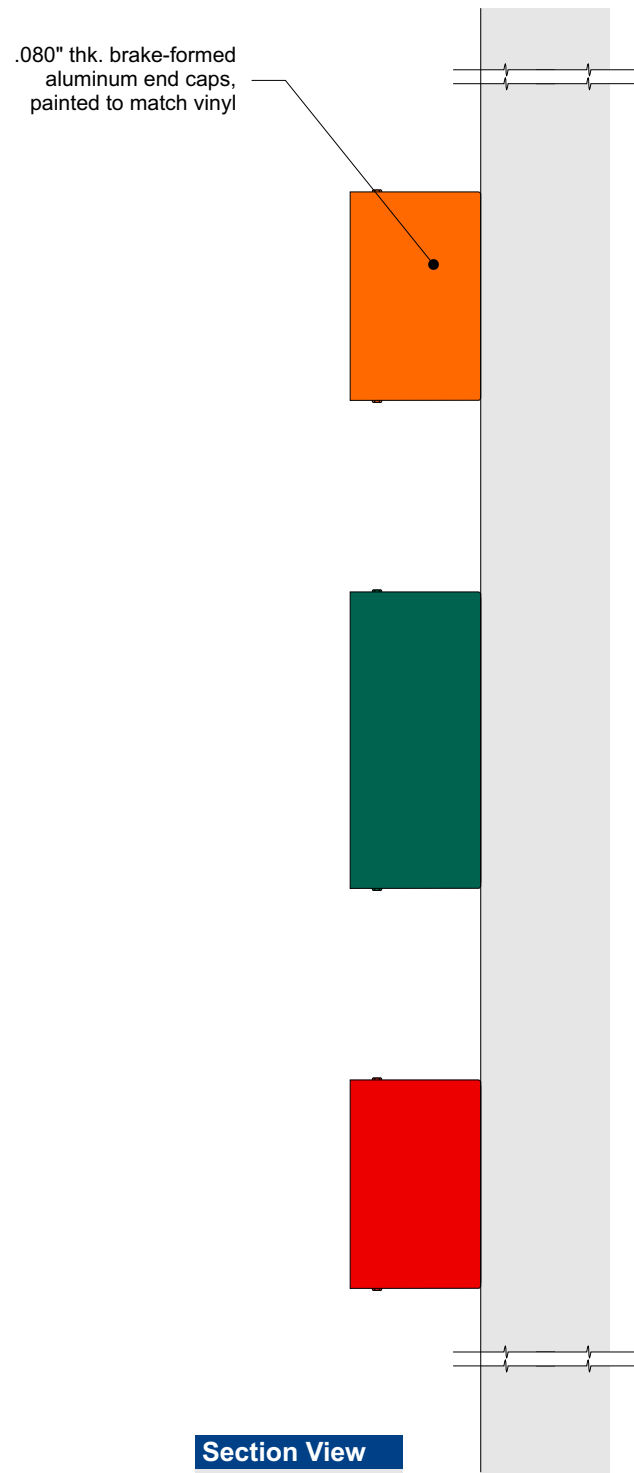
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

**GROUNDING ELECTRICAL CONNECTIONS**

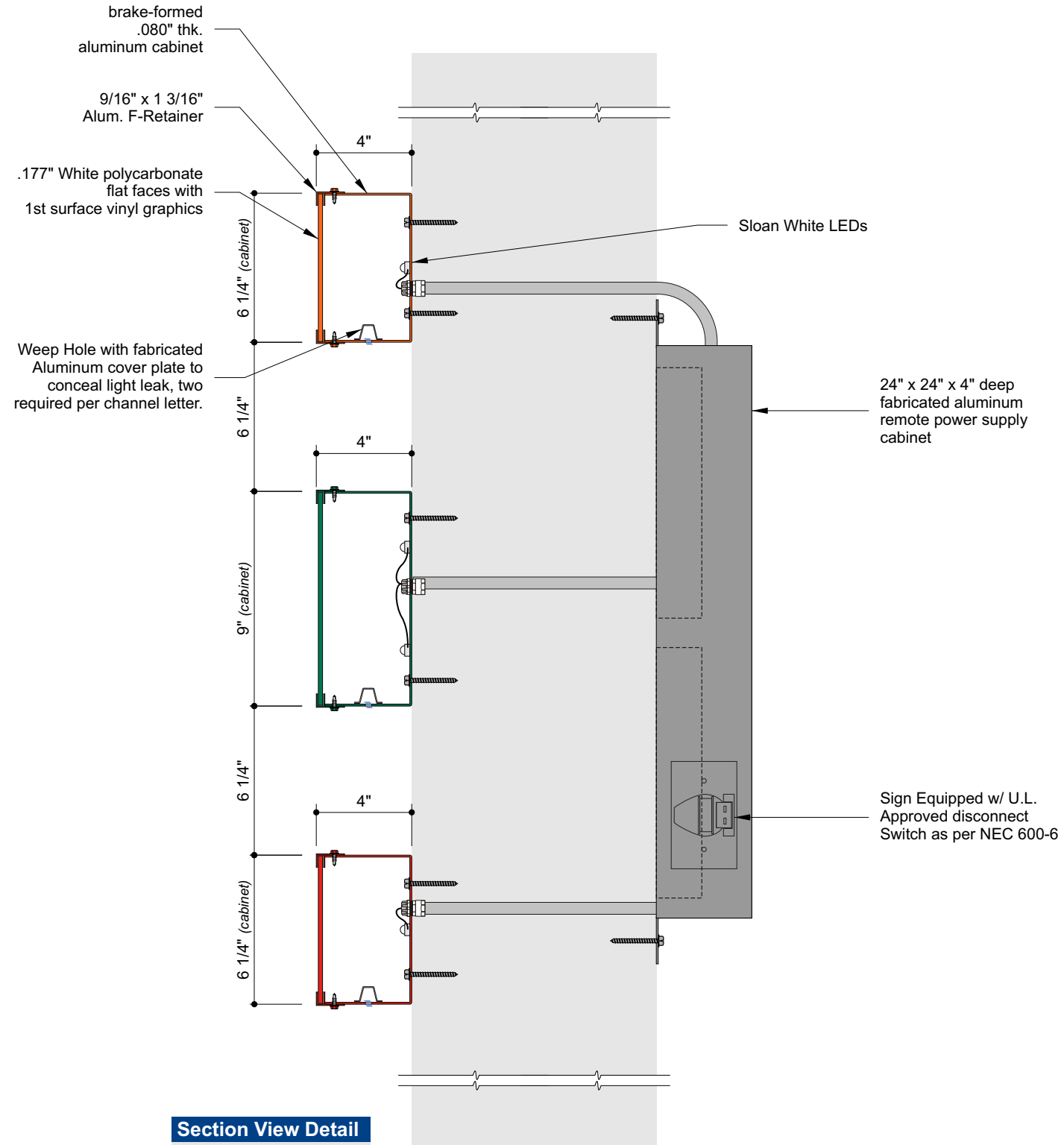
**FIELD SURVEY REQUIRED**  
Prior to Release to Production

**DESIGN INTENT ONLY**  
Engineering Required to  
Determine Actual Production  
& Installation Requirements

**Notes:**  
Illuminated Stripes will be fabricated and shipped in 10'-0" long sections.  
Sections can be made shorter than 10'-0" in order to fit the appropriate overall length.  
Sections must be no shorter than 1'-0".  
Adjust length accordingly to match the appropriate overall length.  
Testing may be required to determine best lighting, especially for the green stripe.

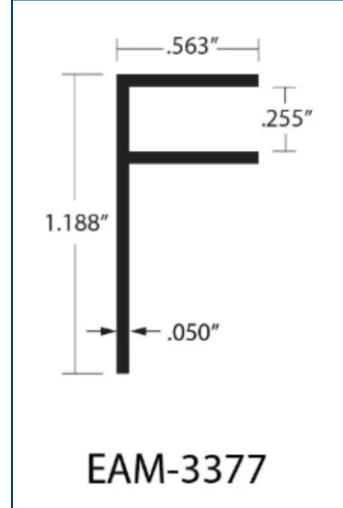


**Section View**  
Scale: 1"=6"



**Section View Detail**  
Scale: 1"=6"

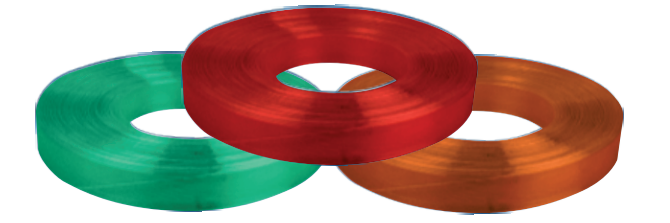
**Retainer Details**



EAM-3377

**Stripe Face Details:**

Stripe faces are required to be seamless. Faces will be shipped in rolls with vinyl already applied. Stripe cabinets will be installed first and rolls of polycarbonate will be fed through the F-Retainer.



**Allen Industries** FILE NUMBER: E212503 **Listed MET E212503** **Electric Sign Complies with UL48** THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. **GROUNDING ELECTRICAL CONNECTIONS**

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**Client:**  
**7-Eleven**  
**Site #1055880**  
**Address:**  
**Corp Crossing & I-30**  
**Rockwall, TX**

**Date:**  
**12/05/23**  
**File Name:**  
**7-11-E12591\_Rockwall, TX\_101**  
**Sales:** **Design:** **PM:**  
**House** **LT** **JP**

**Page #:**  
**7 of 16**

#	Date	Description
1	12/07/23	Updated to 2022 Catalog
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

Initial	Client Review Status
LT	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
-	Client Signature: _____
-	Approval Date: _____



**Front Elevation**

Scale: 3/4"=1'-0"

**General Specifications:**

**Letters:** Plotter cut Opaque White vinyl applied to canopy (centered above doors).

**Quantity:** (1) ONE

**Vinyl Specifications**

 3M 7725-10  
Opaque White

#	Date	Description
1	12/07/23	Updated to 2022 Catalog
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

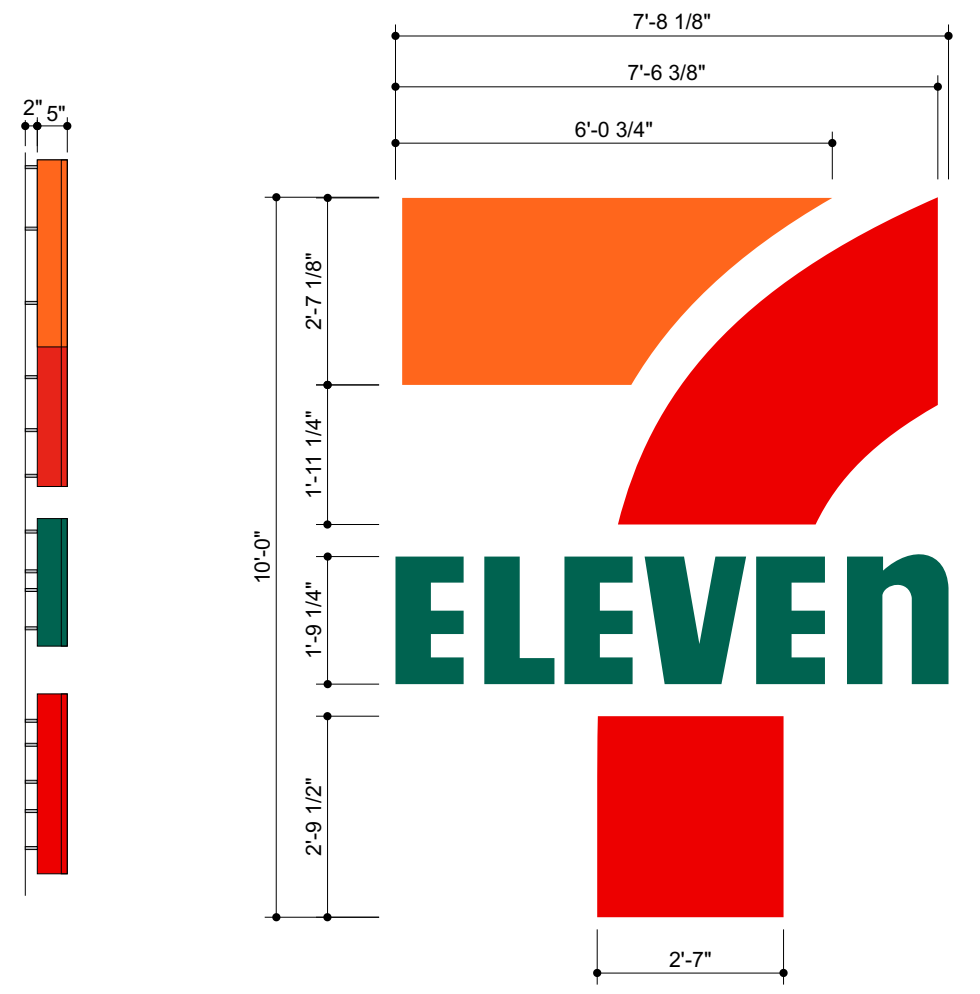
LED Illuminated

FIELD SURVEY REQUIRED  
Prior to Release to Production

DESIGN INTENT ONLY  
Engineering Required to  
Determine Actual Production  
& Installation Requirements



Night View  
No Scale



Side Elevation  
Scale: 3/8"=1'-0"

Front Elevation  
Scale: 3/8"=1'-0" 76.81 Sq Ft

Material Specifications

.177" 7328 White Polycarbonate

Color Specifications

- Red: PMS 2347C, 3M Scotchcal 3730-2723
- Orange: PMS 1505C, 3M Scotchcal 3730-3243
- Green: PMS 336C, 3M Scotchcal 3730-6540

Paint Specifications

- Red: Akzo-Nobel to match PMS 2347C
- Orange: Akzo-Nobel to match PMS 1505C
- Green: Akzo-Nobel to match PMS 336C

All paint finishes to be Satin unless otherwise specified

General Specifications:

**Face:** 7328 White polycarbonate with 1st surface applied vinyl.

**Returns:** Eleven: 5" deep .040" Aluminum with 1" jewelite Trimcap, painted Green.  
7: 5" deep .063" Aluminum with 1" jewelite Trimcap, painted Orange, & Red.

**Backs:** .177" thk. clear sanded polycarbonate.

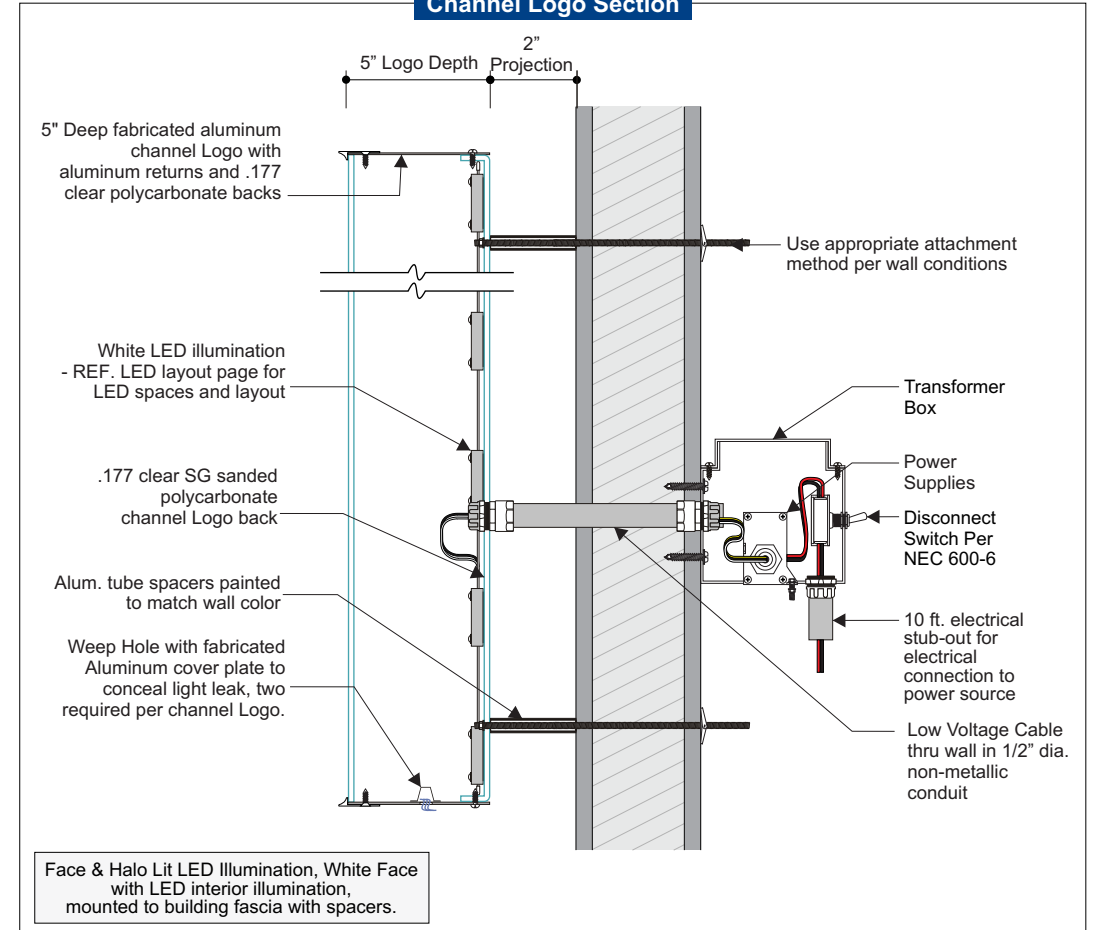
**Illum:** LEDs as required by manufacturer, remote power supplies

**Install:** Channel Logo to be installed using min. 3/8" all thread fasteners (or approved equivalent) and wood blocking as required, 2" stand off spacers from wall surface - painted to match building.

**Electrical:** (1) 20 AMP Circuit, 120 Volts  
*Licensed Electrical Contractor to determine final number of circuits required by code where sign is installed.*

**Quantity:** (1) ONE

Channel Logo Section



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



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**Client:**  
7-Eleven  
Site #1055880

**Address:**  
Corp Crossing & I-30  
Rockwall, TX

**Date:** 12/05/23  
**Page #:** 9 of 16

**File Name:** 7-11-E12591\_Rockwall, TX\_101

**Sales:** House  
**Design:** LT  
**PM:** JP

#	Date	Description	Initial
1	12/07/23	Updated to 2022 Catalog	LT
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

**Client Review Status**  
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

Client Signature: \_\_\_\_\_ Approval Date: \_\_\_\_\_

LED Illuminated

FIELD SURVEY REQUIRED  
Prior to Release to Production

DESIGN INTENT ONLY  
Engineering Required to  
Determine Actual Production  
& Installation Requirements



**General Specifications:**

- Face:** Trim-less white acrylic with 1st surface applied vinyl.
- Returns:** 3" deep .040" Aluminum, painted Green, Orange, & Red.
- Backs:** 3mm White ACM
- Illum:** LEDs as required by manufacturer, remote power supplies
- Install:** Installed using min. 3/8" all thread fasteners (or approved equivalent) and wood blocking as required
- Electrical:** (1) 20 AMP Circuit, 120 Volts  
*Licensed Electrical Contractor to determine final number of circuits required by code where sign is installed.*
- Quantity:** (1) ONE

**Color Specifications**

- PMS 2347C  
3M Scotchlcal 3730-2723
- PMS 1505C  
3M Scotchlcal 3730-3243
- PMS 336C  
3M Scotchlcal 3730-6540

**Material Specifications**

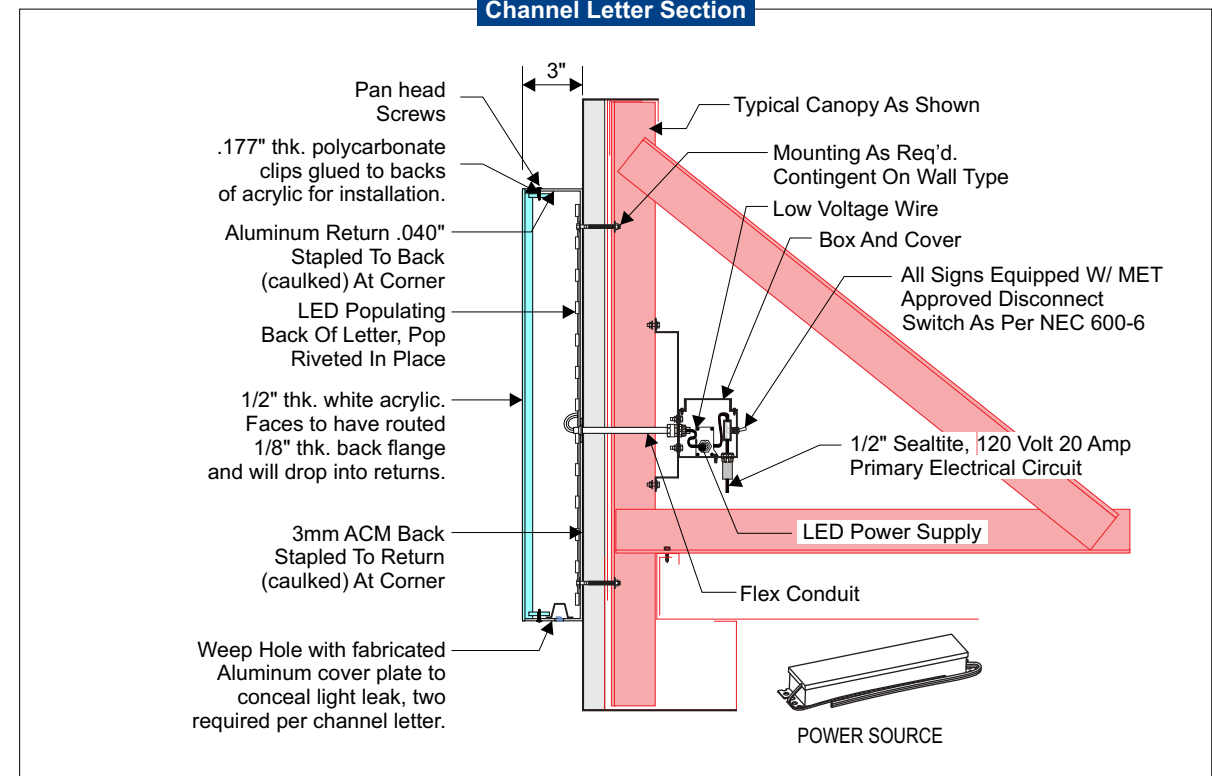
- .187" White Acrylic

**Paint Specifications**

- Akzo-Nobel to match PMS 2347C
- Akzo-Nobel to match PMS 1505C
- Akzo-Nobel to match PMS 336C

All paint finishes to be Satin unless otherwise specified

**Channel Letter Section**



Electric Sign Complies with UL48

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

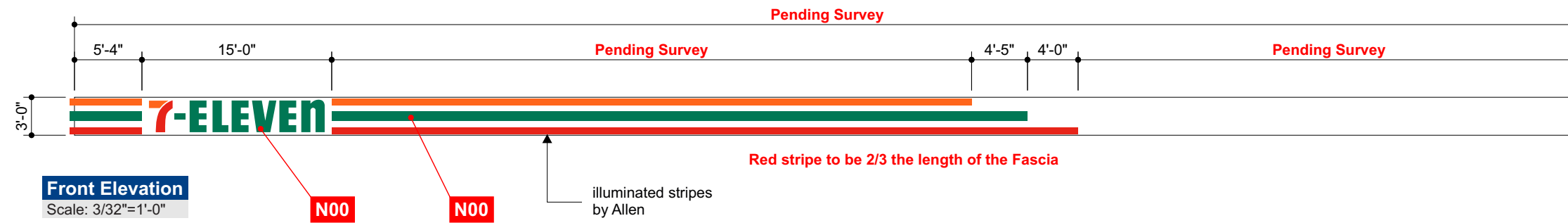


#	Date	Description	Initial
1	12/07/23	Updated to 2022 Catalog	LT
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-



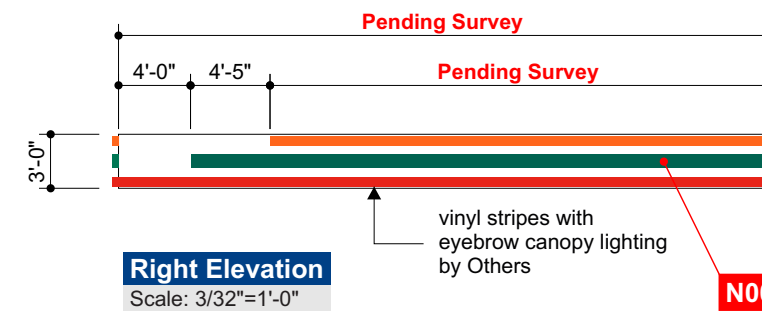
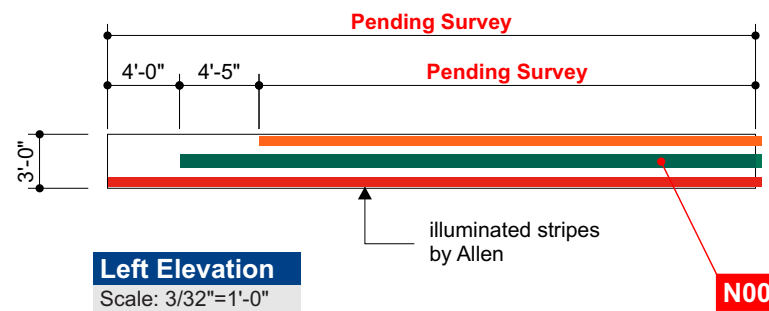
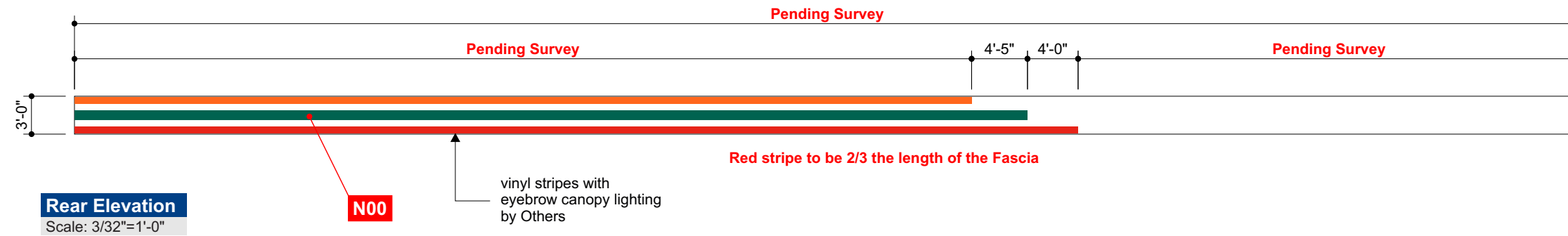
**FIELD SURVEY REQUIRED**  
Prior to Release to Production

**DESIGN INTENT ONLY**  
Engineering Required to  
Determine Actual Production  
& Installation Requirements



**INSTALL SCOPE:**  
30" TRIMLESS CHANNEL LETTERS LEFT JUSTIFIED  
W/ ILLUMINATED STRIPES IN TYPICAL LAYOUT

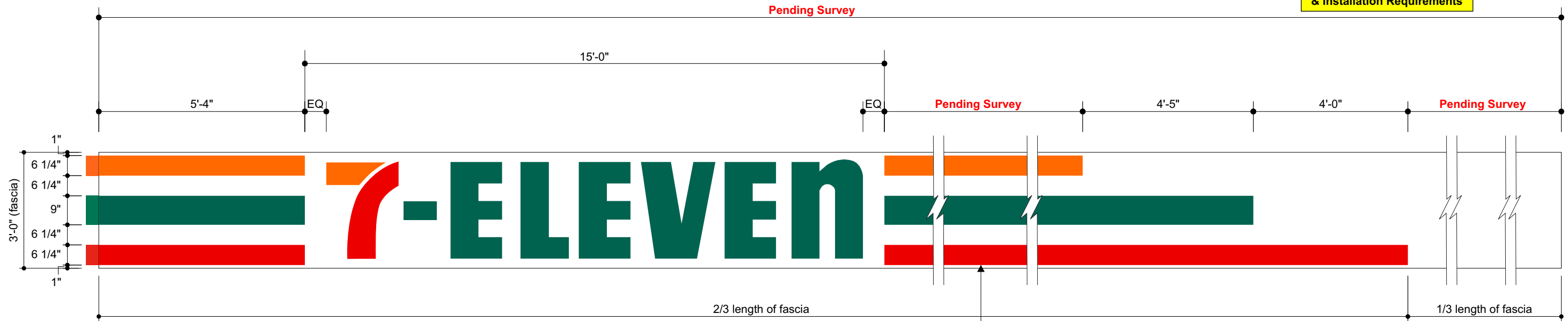
**CODE NOTES: NTE 50 SQ FT OR 50% OF  
THE CANOPY FACE AREA, WHICHEVER IS  
LESS. MAY ONLY CONTAIN BUSINESS NAME  
OR LOGO**



#	Date	Description
1	12/07/23	Updated to 2022 Catalog
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

DESIGN INTENT ONLY  
Engineering Required to  
Determine Actual Production  
& Installation Requirements

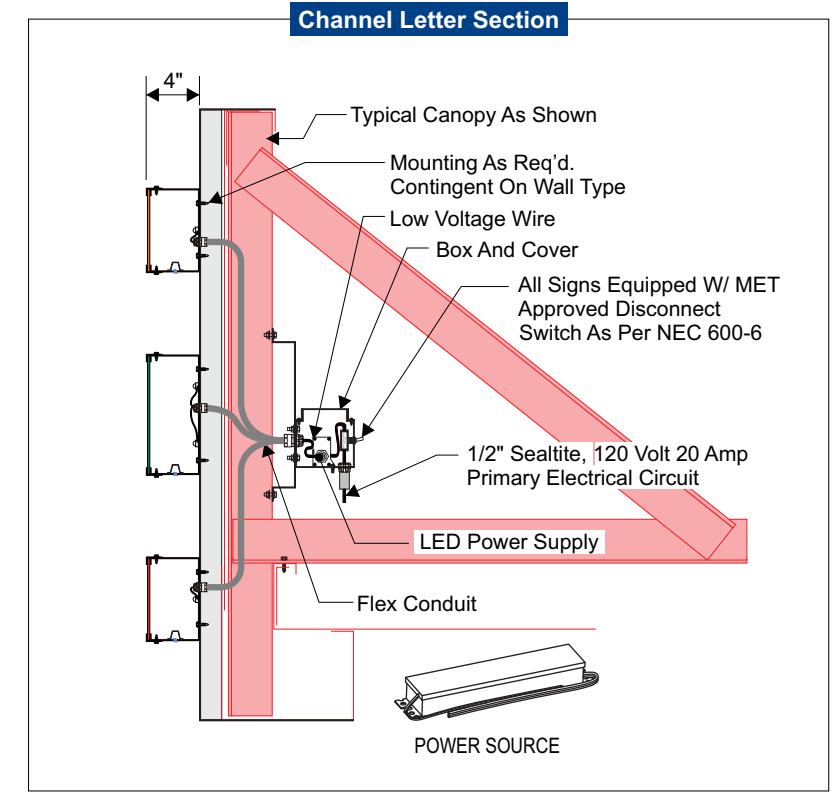
FIELD SURVEY REQUIRED  
Prior to Release to Production



**Front Elevation**  
Scale: 3/8"=1'-0"

**Notes:**  
Illuminated Stripes will be fabricated and shipped in 10'-0" long sections.  
Sections can be made shorter than 10'-0" in order to fit the appropriate overall length.  
Sections must be no shorter than 1'-0".  
Adjust length accordingly to match the appropriate overall length.  
Testing may be required to determine best lighting, especially for the green stripe.

**Stripe Face Details:**  
Stripe faces are required to be seamless. Faces will be shipped in rolls with vinyl already applied. Stripe cabinets will be installed first and rolls of polycarbonate will be fed through the F-Retainer.



**Material Specifications**

.177" 7328 White Polycarbonate

**Color Specifications**

- PMS 2347C  
3M Scotchcal 3730-2723
- PMS 1505C  
3M Scotchcal 3730-3243
- PMS 336C  
3M Scotchcal 3730-6540

**Paint Specifications**

- Akzo-Nobel to match PMS 2347C
- Akzo-Nobel to match PMS 1505C
- Akzo-Nobel to match PMS 336C

All paint finishes to be Satin unless otherwise specified

**General Specifications:**

**Faces:** 7328 White polycarbonate flat faces with 1st surface vinyl graphics.  
**Cabinet:** .080" thk. brake-formed aluminum cabinet with aluminum end caps, painted to match Orange, Green, and Red  
**Illum:** LEDs as required by manufacturer, remote power supplies  
**Install:** Installed using approved method  
**Electrical:** (1) 20 AMP Circuit, 120 Volts  
*Licensed Electrical Contractor to determine final number of circuits required by code where sign is installed.*  
**Quantity:** (1) ONE

**Allen Industries** FILE NUMBER: E212503 **Electric Sign Complies with UL48** **Listed MET E212503**

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

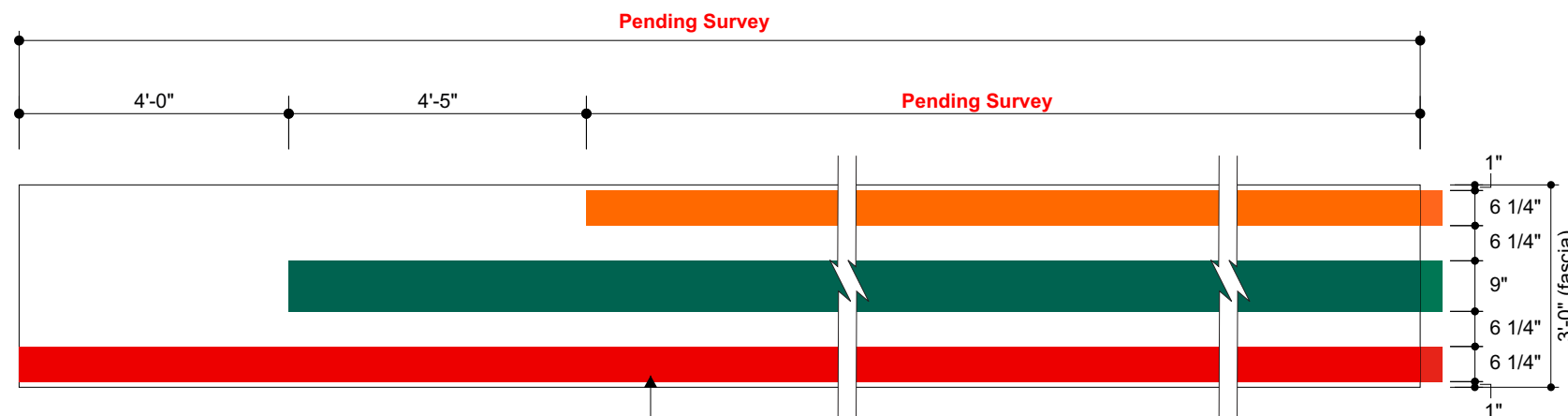
**GROUNDING ELECTRICAL CONNECTIONS**

#	Date	Description	Initial
1	12/07/23	Updated to 2022 Catalog	LT
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

**Client Review Status**  
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.  
**Client Signature:** \_\_\_\_\_ **Approval Date:** \_\_\_\_\_

**FIELD SURVEY REQUIRED**  
Prior to Release to Production

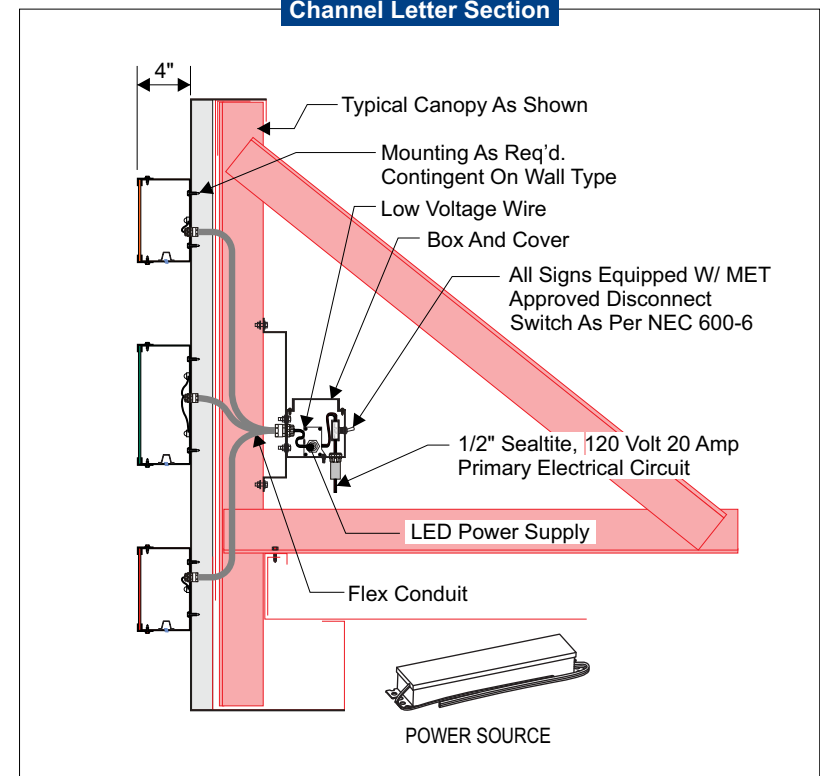
**DESIGN INTENT ONLY**  
Engineering Required to Determine Actual Production & Installation Requirements



**Left Elevation**  
Scale: 3/8"=1'-0"

Stripes to be field installed

**Channel Letter Section**



**Notes:**  
Illuminated Stripes will be fabricated and shipped in 10'-0" long sections.  
Sections can be made shorter than 10'-0" in order to fit the appropriate overall length.  
Sections must be no shorter than 1'-0".  
Adjust length accordingly to match the appropriate overall length.  
Testing may be required to determine best lighting, especially for the green stripe.

**Stripe Face Details:**  
Stripe faces are required to be seamless. Faces will be shipped in rolls with vinyl already applied. Stripe cabinets will be installed first and rolls of polycarbonate will be fed through the F-Retainer.

**Material Specifications**

.177" 7328 White Polycarbonate

**Color Specifications**

- PMS 2347C  
3M Scotchcal 3730-2723
- PMS 1505C  
3M Scotchcal 3730-3243
- PMS 336C  
3M Scotchcal 3730-6540

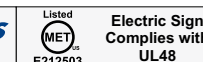
**Paint Specifications**

- Akzo-Nobel to match PMS 2347C
- Akzo-Nobel to match PMS 1505C
- Akzo-Nobel to match PMS 336C

All paint finishes to be Satin unless otherwise specified

**General Specifications:**

- Faces:** 7328 White polycarbonate flat faces with 1st surface vinyl graphics.
- Cabinet:** .080" thk. brake-formed aluminum cabinet with aluminum end caps, painted to match Orange, Green, and Red
- Illum:** LEDs as required by manufacturer, remote power supplies
- Install:** Installed using approved method
- Electrical:** (1) 20 AMP Circuit, 120 Volts  
*Licensed Electrical Contractor to determine final number of circuits required by code where sign is installed.*
- Quantity:** (1) ONE



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

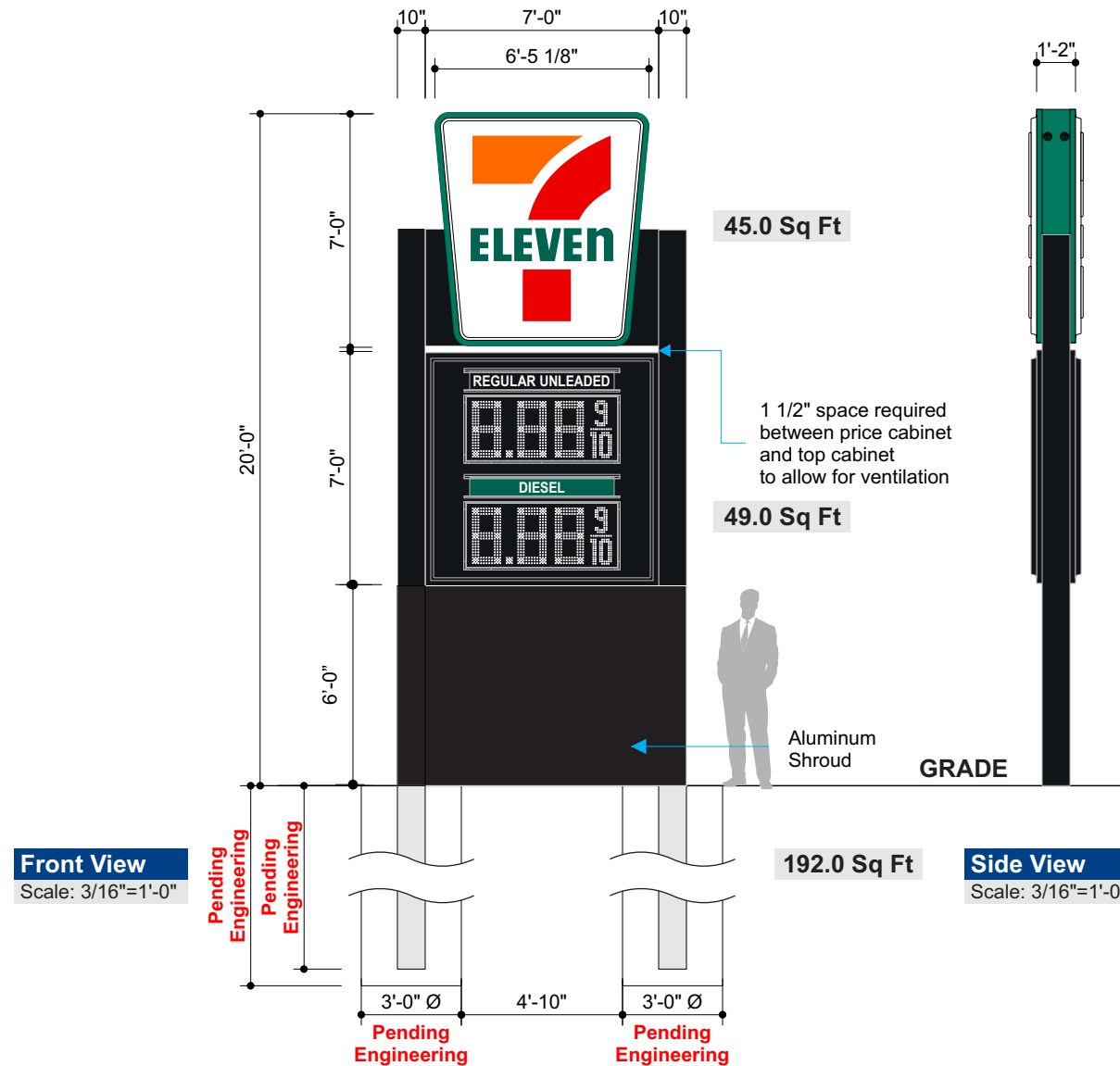


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5	-	-
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Initial	Client Review Status
LT	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
-	Client Signature: _____
-	Approval Date: _____

**FIELD SURVEY REQUIRED**  
Prior to Release to Production

**DESIGN INTENT ONLY**  
Engineering Required to  
Determine Actual Production  
& Installation Requirements



**General Specifications:**

**Pylon:** New D/F Internally illuminated pylon sign.  
**Quantity:** (1) ONE

**INSTALL SCOPE:**

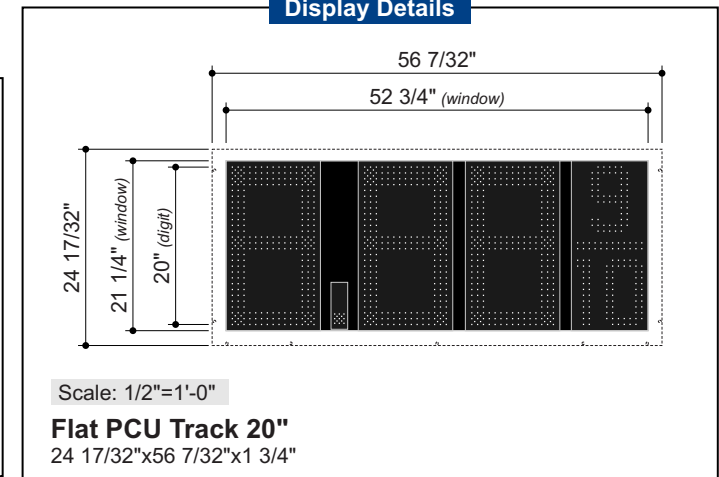
20' OAH MONUMENT STYLE 7X7 7E CABINET ON TOP OF 7X7 PWM PRICER CABINET (VERTICAL LAYOUT, NOT HORIZONTAL) 6' ALUM BLACK BASE

**CODE NOTES:** 20' OAH MONUMENT STYLE PREFERRED, 200 SQ FT MAX. BASE MUST HAVE MATERIALS TO MATCH OR COMPLEMENT PRIMARY BUILDINGS MATERIALS ALSO  
**NOTE:** GC TO PROVIDE BASE MATERIALS SET BACKS: 10' FROM ADJOINING PROPERTY LINES WITH 100' OF FRONTAGE OR LESS, 20' FROM ADJOINING PROPERTY LINES WITH 100' BUT LESS THAN 200'

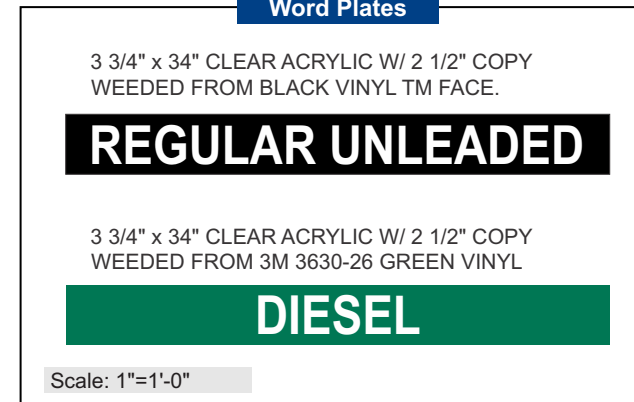
**Front View**  
Scale: 3/16"=1'-0"

**Side View**  
Scale: 3/16"=1'-0"

**Display Details**



**Word Plates**



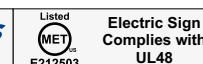
**Color Specifications**

- PMS 2347C  
3M Scotchcal 3730-2723
- PMS 1505C  
3M Scotchcal 3730-3243
- PMS 336C  
3M Scotchcal 3730-6540

**Paint Specifications**

- Akzo-Nobel to match PMS 2347C
- Akzo-Nobel to match PMS 1505C
- Akzo-Nobel to match PMS 336C

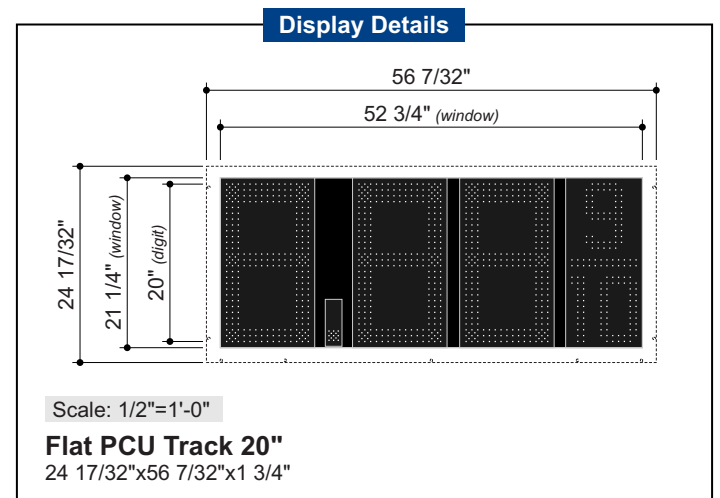
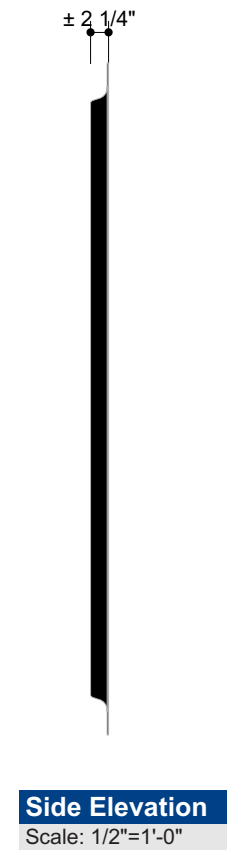
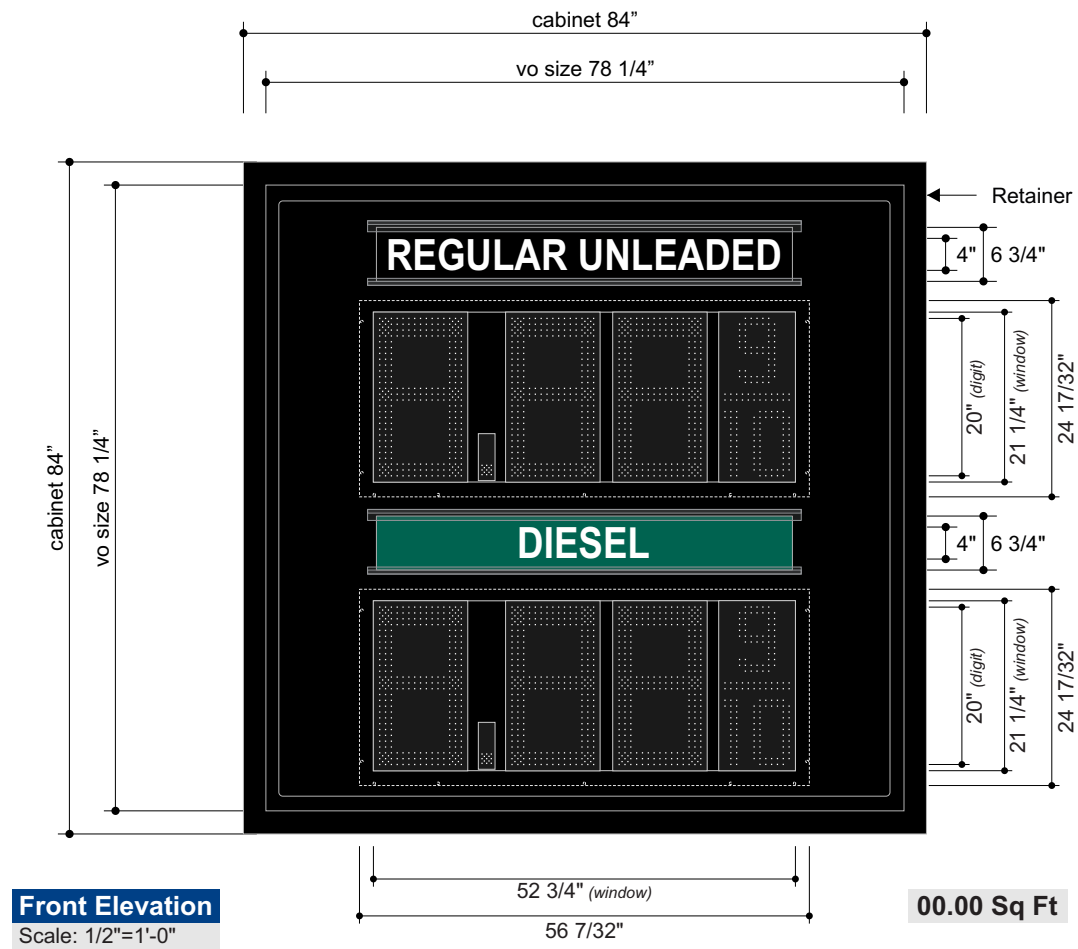
All paint finishes to be Satin unless otherwise specified



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**Vinyl Specifications**

- PMS 336C
- 3M Scotchcal 3730-6540
- 3M 7725-12
- Opaque Black

**Material Specifications**

- .150" Clear Polycarbonate
- .093" Clear Polycarbonate

**General Specifications**

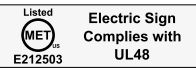
**Face:** .150" Clear Pan-formed polycarbonate. 2nd surface painted Opaque Black and back sprayed White. Square area behind brand panels will be painted White Only. Digital Price Area will be left Clear for Display visibility.

**Brands:** .093" Clear flat polycarbonate panels with 2nd surface applied Black & Green Vinyl. Copy weeded out.

**Pricer:** PWM LED Display, mounted behind clear window of face.

**Illum:** White LEDs as required by manufacturer, power supplies located in cabinet.

**Quantity:** (2) TWO FACES



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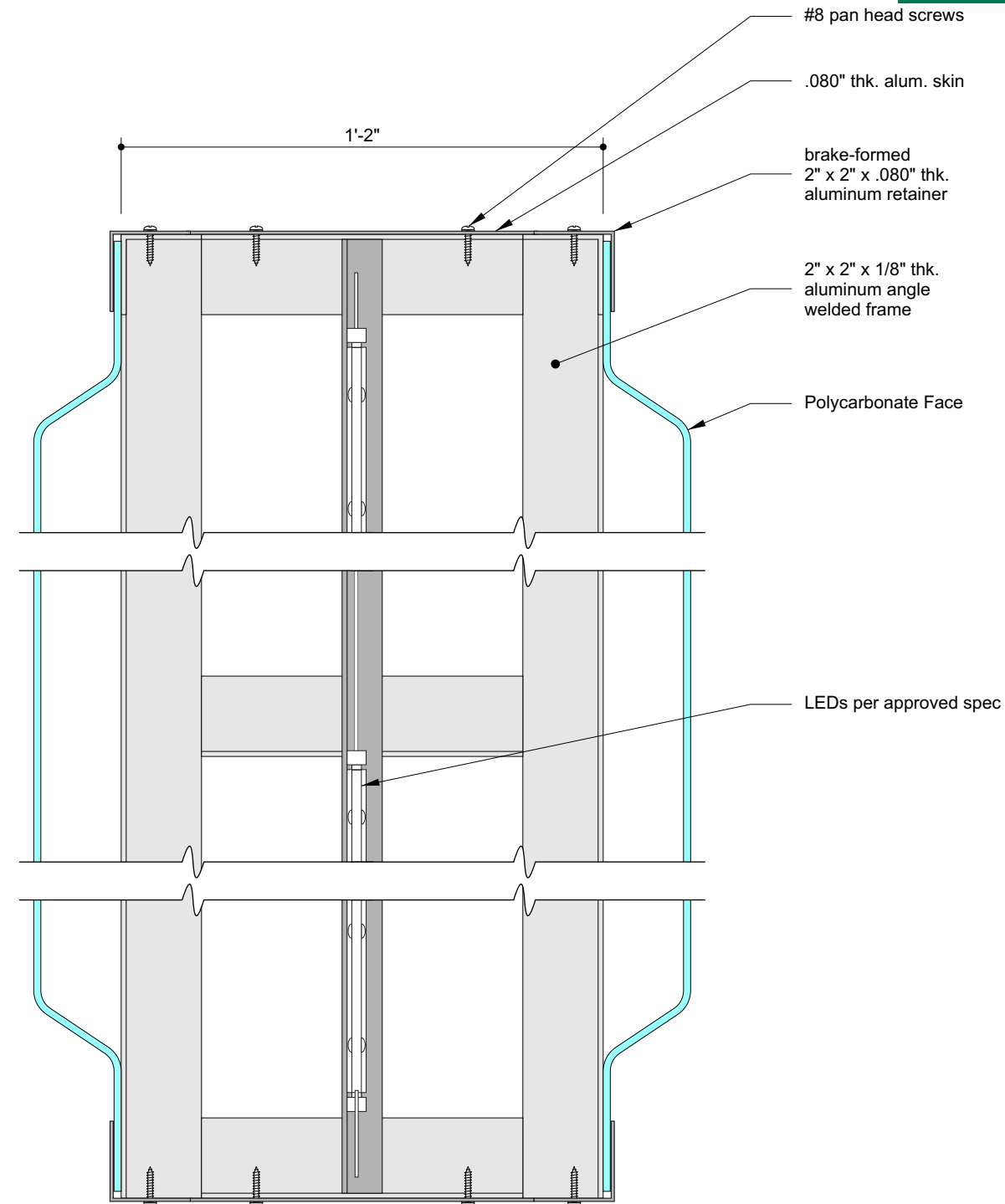
**Client Review Status**

Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

Client Signature:	Approval Date:
-------------------	----------------

FIELD SURVEY REQUIRED  
Prior to Release to Production

DESIGN INTENT ONLY  
Engineering Required to  
Determine Actual Production  
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**Section Detail**  
Not to Scale

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4	-	-	-
5	-	-	-
6	-	-	-



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **SEC Corporate Crossing & Fit Sport Life Blvd.**

SUBDIVISION **Fit Sport Life Addition**

LOT **6**

BLOCK **B**

GENERAL LOCATION **SEC Corporate Crossing & Fit Sport Life Blvd.**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **C-Commercial**

CURRENT USE **Vacant Lot**

PROPOSED ZONING **N/A**

PROPOSED USE **Fueling Station w/ C-Store**

ACREAGE **1.95**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **STRUCTURED REA- ROCKWALL LAND LLC**

APPLICANT **Triangle Engineering**

CONTACT PERSON **CONOR KEILTY**

CONTACT PERSON **Kartavya (Kevin) Patel**

ADDRESS **3104 E Camelback Road #2387**

ADDRESS **1782 W. McDermott Dr.**

CITY, STATE & ZIP **Phoenix, AZ 85016**

CITY, STATE & ZIP **Allen, TX 75013**

PHONE **480-856-8808**

PHONE **469.331.8566**

E-MAIL **CONORK@STRUCTUREDREA.COM**

E-MAIL **kpatel@triangle-engr.com**

## NOTARY VERIFICATION [REQUIRED]

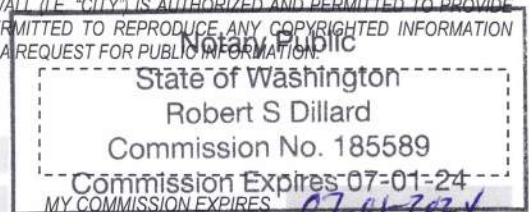
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CONOR KEILTY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF March, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





AG

FIT SPORT LIFE BLVD

C

CORPORATE CROSSING

LI

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

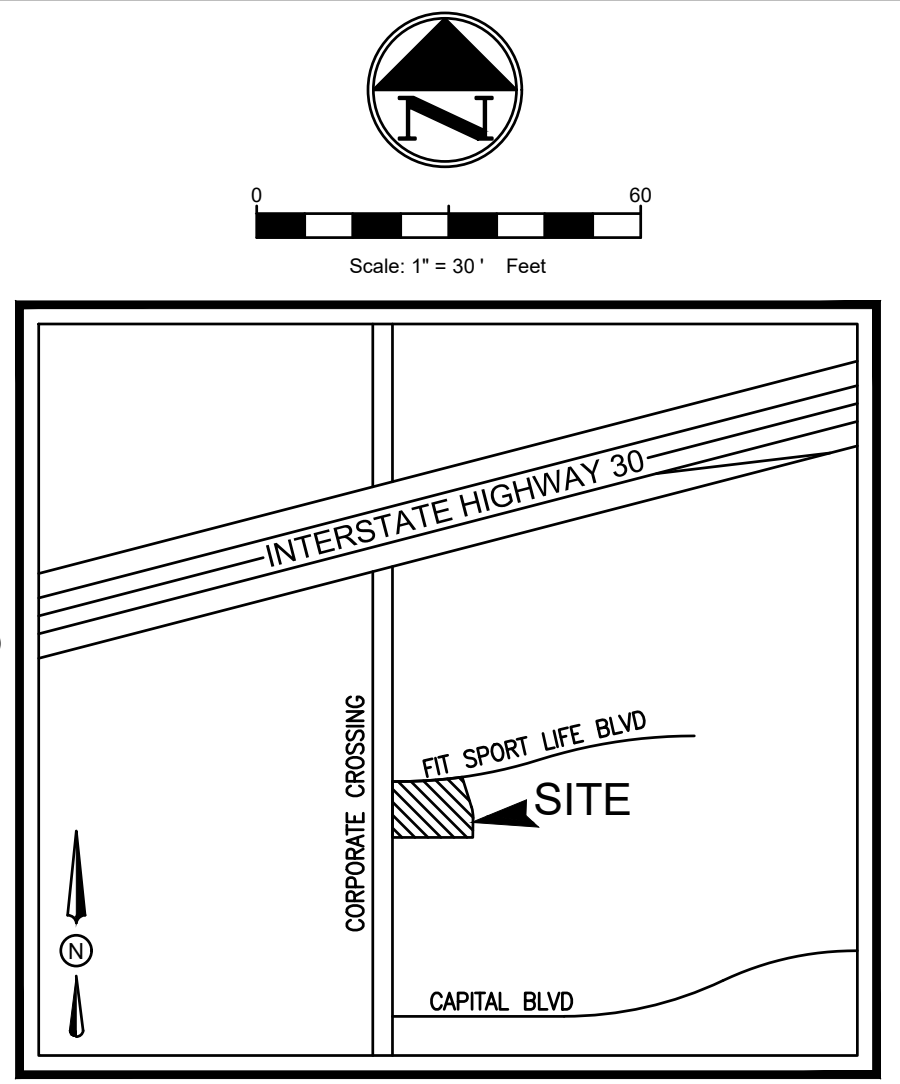




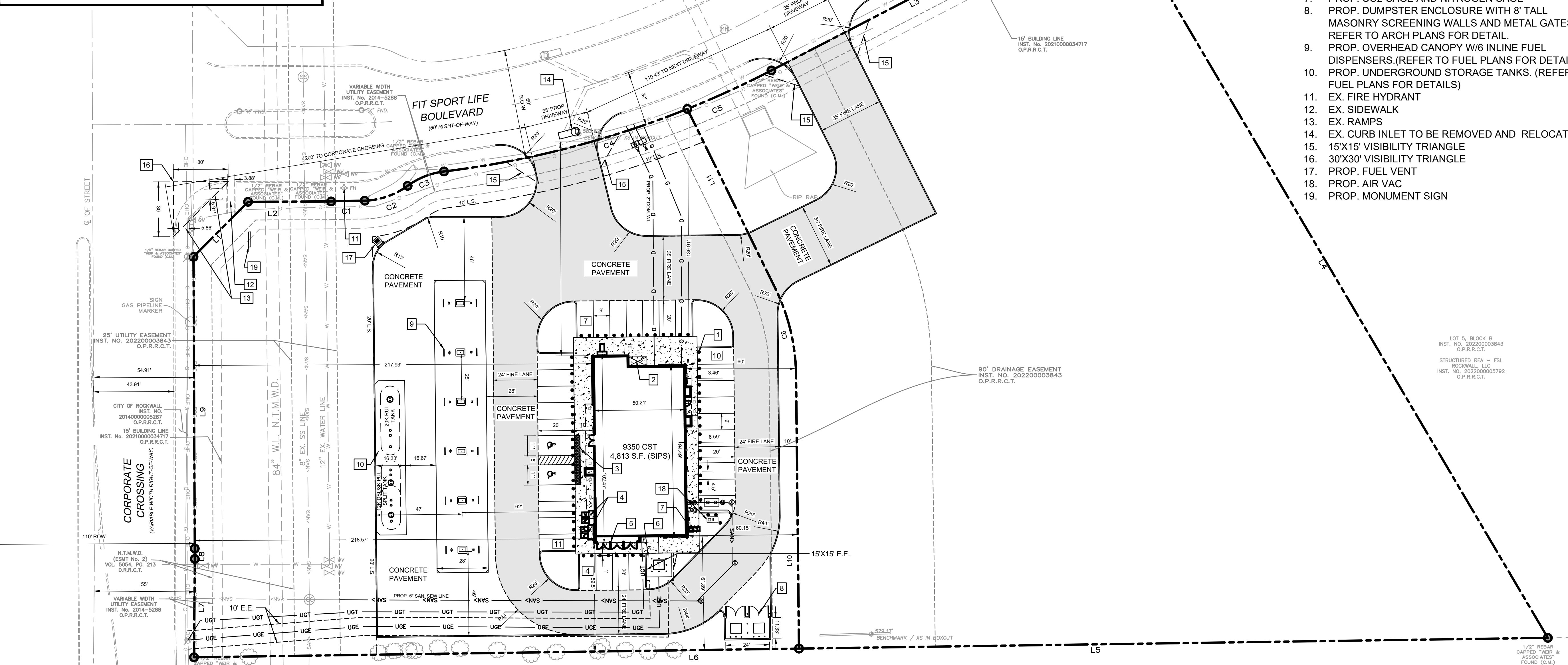
### FLOOD PLAIN NOTE

NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48397C0045L, DATED SEPTEMBER 26, 2008. THE SUBJECT PROPERTY IS LOCATED IN THE AREA DESIGNATED AS ZONE "X". (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

- ### KEYED NOTES
1. PROP. 6" BOLLARDS WITH 4.5" SPACING O.C. (TYP.)
  2. PROP. 5'X10' PROPANE TANK
  3. 3' WIDE ADA DETECTABLE SURFACE
  4. ICE MERCHANDISER
  5. PROP.DOOR. REFER TO ARCH PLAN FOR DETAIL.
  6. BUILDING TRANSFORMER
  7. PROP. CO2 CAGE AND NITROGEN CAGE
  8. PROP. DUMPSTER ENCLOSURE WITH 8' TALL MASONRY SCREENING WALLS AND METAL GATES. REFER TO ARCH PLANS FOR DETAIL.
  9. PROP. OVERHEAD CANOPY W/6 INLINE FUEL DISPENSERS.(REFER TO FUEL PLANS FOR DETAILS)
  10. PROP. UNDERGROUND STORAGE TANKS. (REFER TO FUEL PLANS FOR DETAILS)
  11. EX. FIRE HYDRANT
  12. EX. SIDEWALK
  13. EX. RAMPS
  14. EX. CURB INLET TO BE REMOVED AND RELOCATED.
  15. 15'X15' VISIBILITY TRIANGLE
  16. 30'X30' VISIBILITY TRIANGLE
  17. PROP. FUEL VENT
  18. PROP. AIR VAC
  19. PROP. MONUMENT SIGN



- ### SITE GENERAL NOTES
1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
  2. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
  3. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
  4. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
  5. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
  6. ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.



### EXISTING LEGEND

BOUNDARY LINE	CHAIN LINK FENCE
ADJOINER BOUNDARY LINE	METAL FENCE POST
EASEMENT LINE (AS NOTED)	IRRIGATION CONTROL VALVE
WATER LINE	SEWER CLEAN OUT
SANITARY SEWER LINE	TRANSFORMER
STORM DRAIN LINE (AS NOTED)	ELECTRIC BOX
OVERHEAD ELECTRIC LINE	ELECTRIC METER
SET IRON ROD (AS NOTED)	TELEPHONE SIGNAL BOX
FOUND IRON ROD (AS NOTED)	TRAFFIC SIGNAL LIGHT
"X" CUT FOUND	GAS MARKER
"X" CUT SET	GAS METER
SANITARY SEWER MAN HOLE	AIR CONDITIONER UNIT
CABLE VAULT	
UTILITY VAULT	
FIBER OPTIC MARKER	
WATER VALVE	
TRAFFIC SIGN	
STORM MAN HOLE	
LIGHT POLE	
POWER POLE	
BENCH MARK	
CONTROL MONUMENT	
O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS	
D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS	
P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS	

### SITE LEGEND

CONCRETE CURB	SAW-CUT LINE
FENCE	
FIRE LANE	
STRIPING	
PARKING SPACES	
MONUMENT/PYLON SIGN	
WHEEL STOPS	
HANDICAP LOGO	
HANDICAP SIGN	
RAMP	
BOLLARD	
TRAFFIC ARROW	
FIRE HYDRANT	
DUMPSTER	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
SANITARY SEWER DOUBLE CLEANOUT	
SANITARY SEWER SAMPLE PORT	
GREASE TRAP	
DOMESTIC WATER METER	
IRRIGATION METER	
GAS METER	
TRANSFORMER	
LIGHT POLE	
POWER POLE	
UNDERGROUND TELEPHONE LINE	
UNDERGROUND ELECTRIC LINE	
GAS LINE	
SANITARY SEWER LINE	
WATER MAIN	
DOMESTIC WATER LINE	

### BOUNDARY LINE DATA

LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 28°06'50" E	109.77'

### BOUNDARY CURVE DATA

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

### SITE DATA SUMMARY TABLE

SITE ACREAGE:	1.95 AC (84,939 S.F.)
ZONING:	C-COMMERCIAL W/ I-30 OVERLAY DISTRICT
PROPOSED USE:	FUELING STATION W/ CONVENIENCE STORE
BUILDING AREA:	4,813 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	30'-0"
BUILDING COVERAGE:	5.67%
FLOOR AREA RATIO:	0.06
IMPERVIOUS AREA:	46,244 S.F. (54.4%)
PERVIOUS/LANDSCAPE AREA:	38,695 S.F. (45.6%)
REGULAR PARKING REQUIRED:	20 SPACES
1 SP PER 250 S.F.	
REGULAR PARKING PROVIDED:	30 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	32 SPACES

### WATER METER & SANITARY SEWER SCHEDULE

ID	TYPE	SIZE	NO.
⊙	DOMESTIC	2"	1
⊙	IRRIGATION	1"	1
	SANITARY SEWER	6"	

### EASEMENT/SETBACK LEGEND

BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING & ZONING

### PROJECT CONTACT LIST

<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafterconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KEILTY PHONE: 480-856-8808 EMAIL: conor@structuredea.com	

### SITE PLAN

#### 7-ELEVEN AT CORPORATE CROSSING

#### CORPORATE CROSSING AND FIT SPORT LIFE BLVD

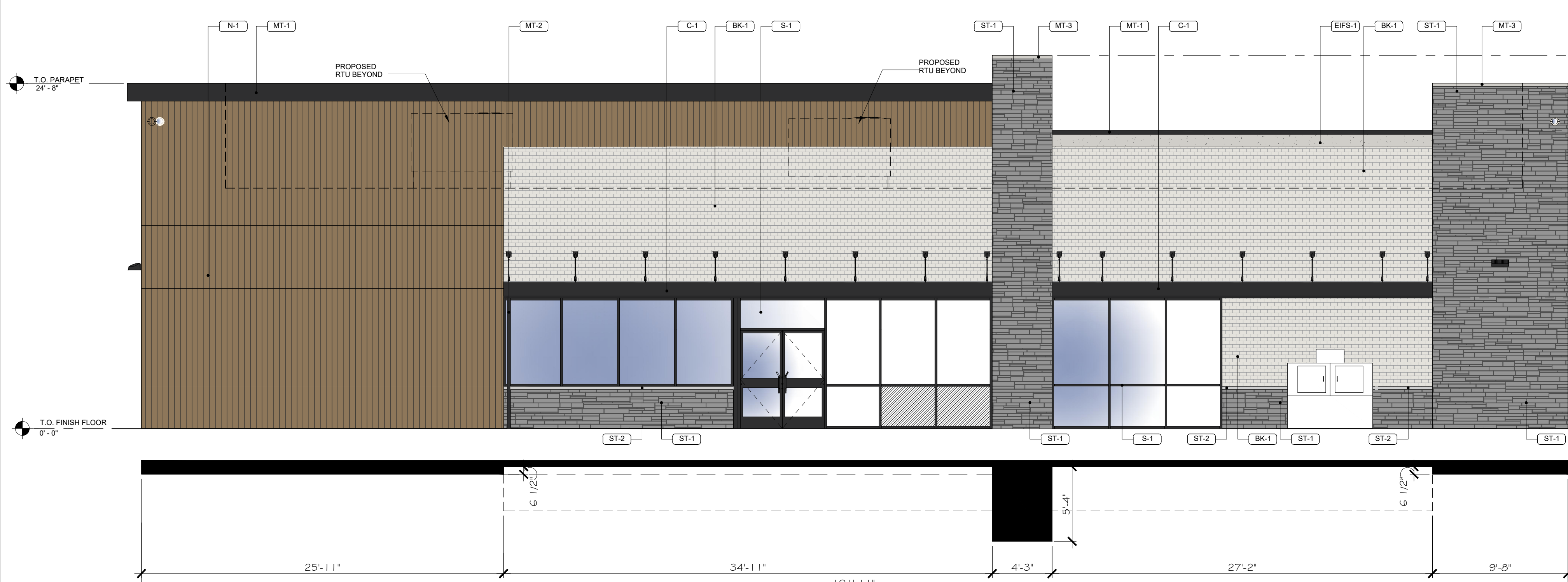
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS 75032  
FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

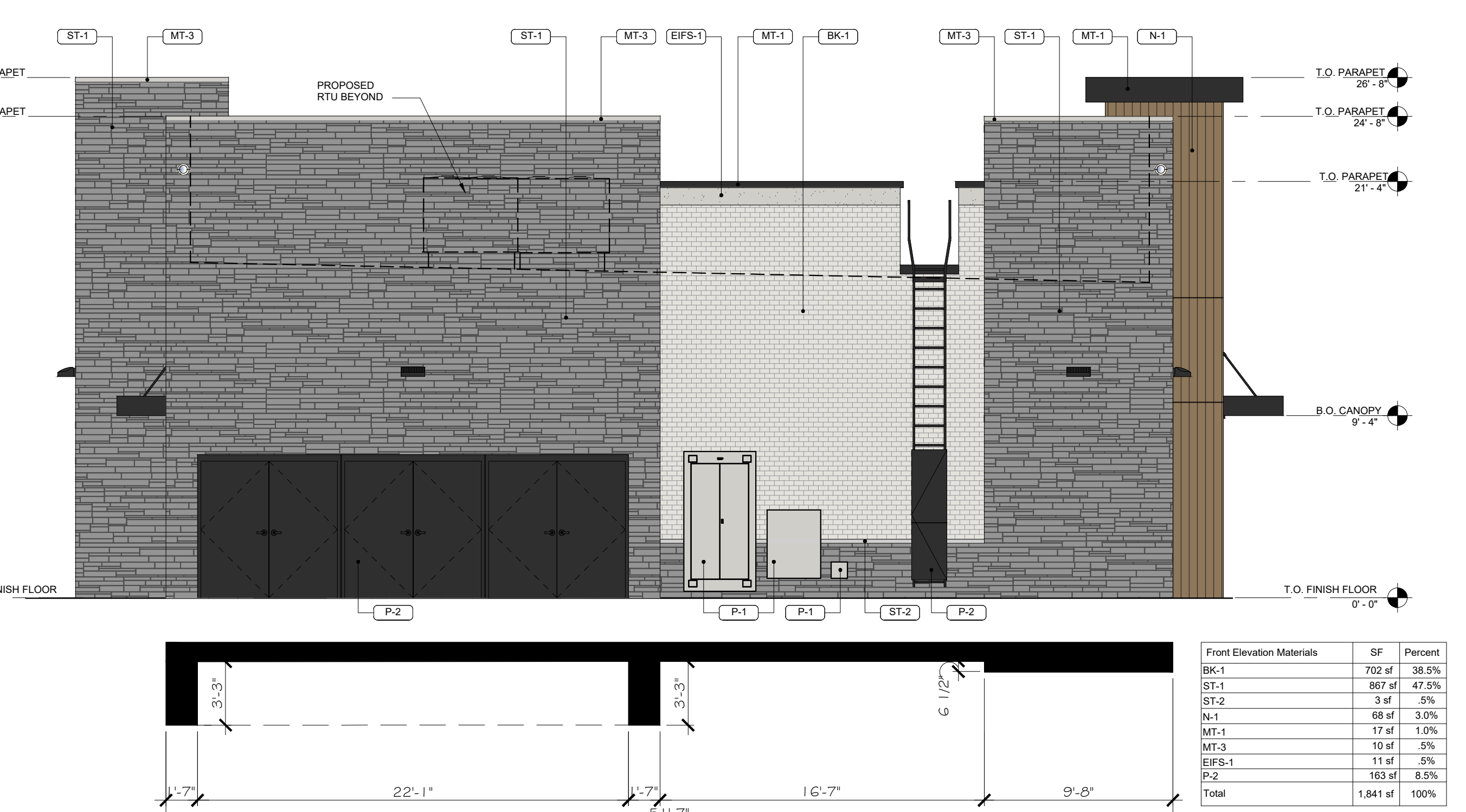
PLANNING	Civil Engineering	Construction Management		
P.E. DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP EB	02/19/24	SCALE BAR	125-23	C-3.0

TX. P.E. FIRM #11525

CASE NO:



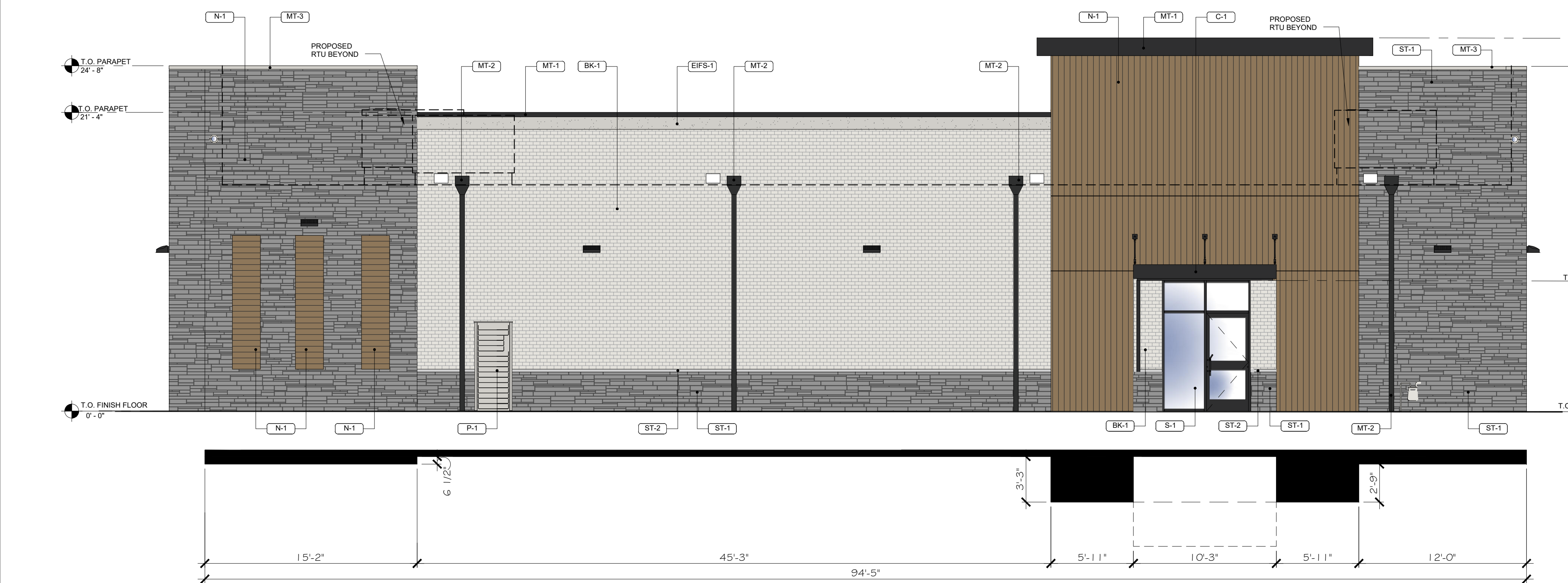
Front Elevation Materials	SF	Percent
BK-1	702 sf	29.0%
ST-1	428 sf	18.0%
ST-2	74 sf	3%
N-1	174 sf	31.0%
MT-1	88 sf	4.0%
MT-3	3 sf	0%
EIFS-1	24 sf	1.0%
S-1	393 sf	16.0%
Total	2,380 sf	100%



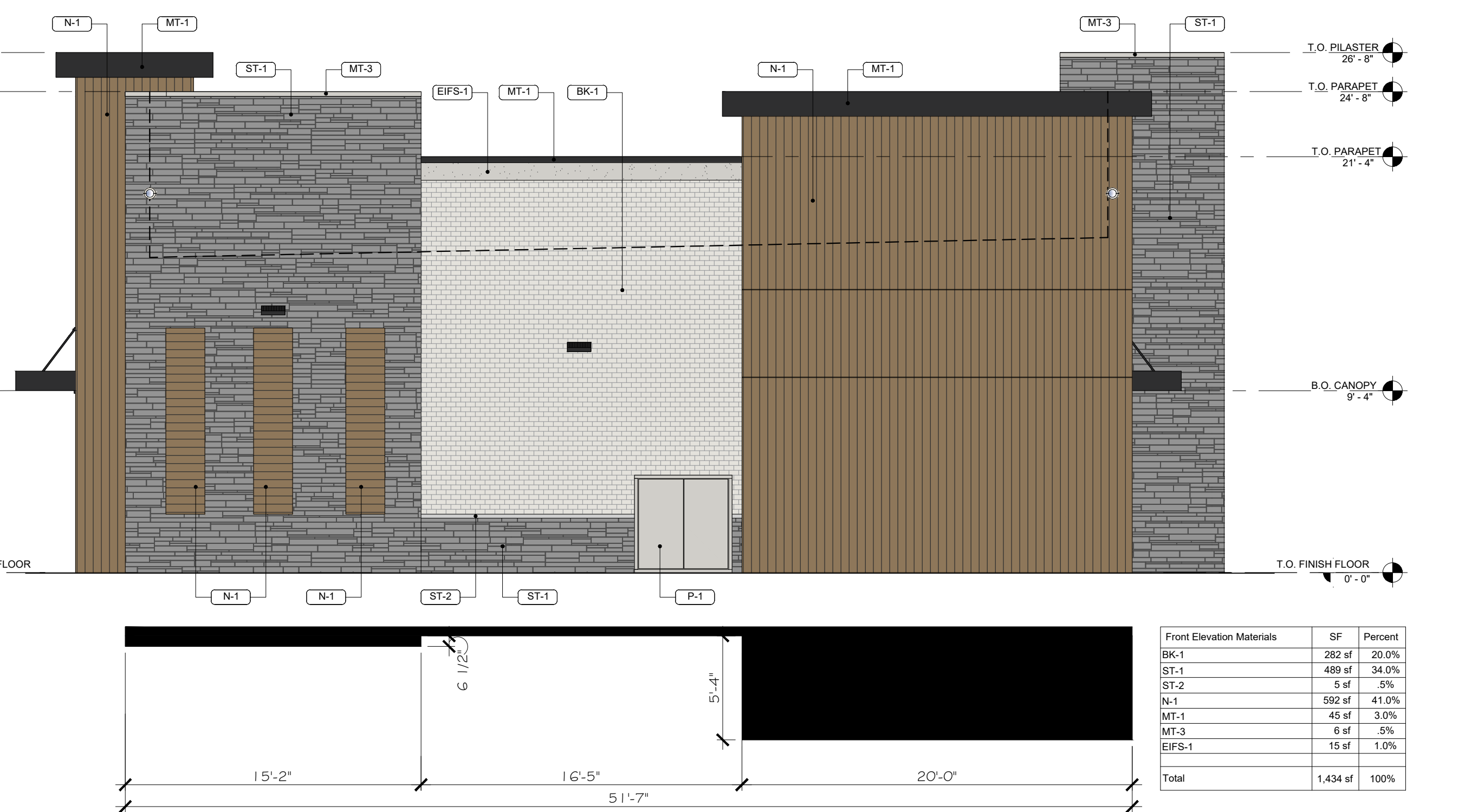
Front Elevation Materials	SF	Percent
BK-1	702 sf	38.5%
ST-1	567 sf	47.5%
ST-2	3 sf	0%
N-1	88 sf	3.0%
MT-1	17 sf	1.0%
MT-3	10 sf	0%
EIFS-1	11 sf	0%
P-2	163 sf	8.5%
Total	1,841 sf	100%

1 ELEVATION - WEST  
3/16" = 1'-0"

2 ELEVATION - SOUTH  
3/16" = 1'-0"



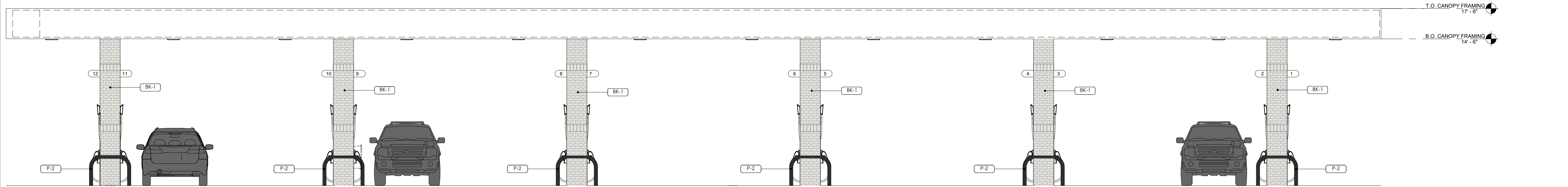
Front Elevation Materials	SF	Percent
BK-1	955 sf	39.0%
ST-1	689 sf	28.0%
ST-2	11 sf	0%
N-1	615 sf	25.0%
MT-1	48 sf	2.0%
MT-3	6 sf	0%
EIFS-1	49 sf	2.0%
S-1	59 sf	3.0%
Total	2,431 sf	100%



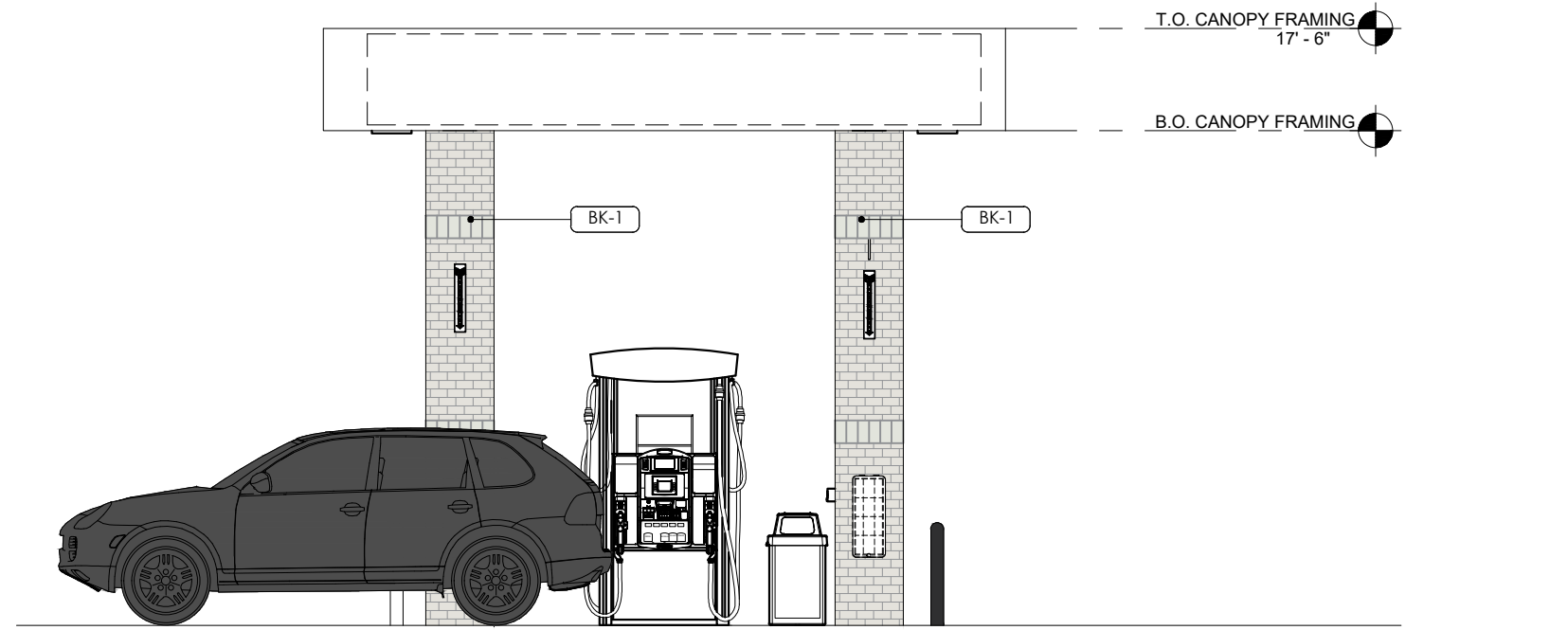
Front Elevation Materials	SF	Percent
BK-1	282 sf	20.0%
ST-1	489 sf	34.0%
ST-2	5 sf	0%
N-1	592 sf	41.0%
MT-1	45 sf	3.0%
MT-3	6 sf	0%
EIFS-1	15 sf	1.0%
Total	1,434 sf	100%

3 ELEVATION - EAST  
3/16" = 1'-0"

4 ELEVATION - NORTH  
3/16" = 1'-0"

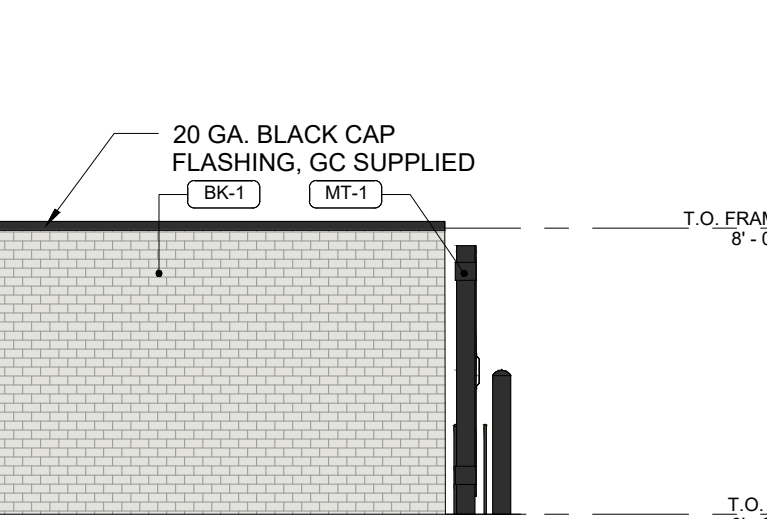


5 GAS CANOPY ELEVATION - FRONT  
3/16" = 1'-0"

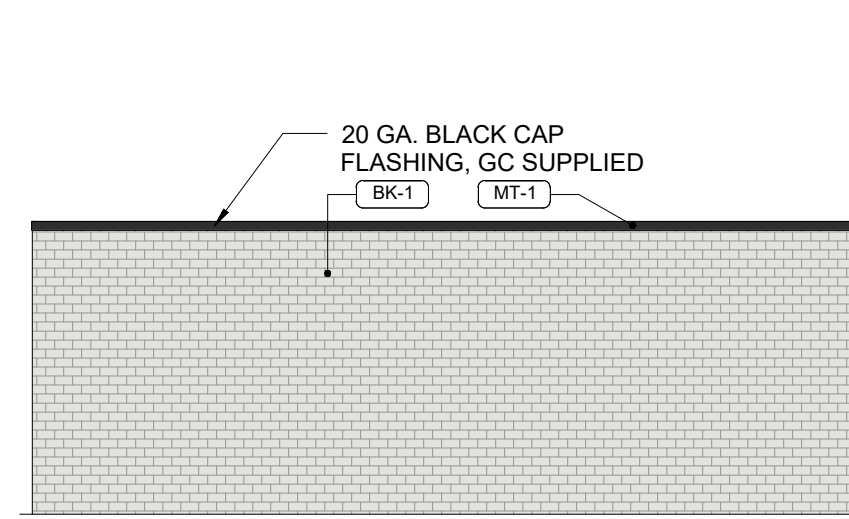


6 GAS CANOPY ELEVATION - SIDE  
3/16" = 1'-0"

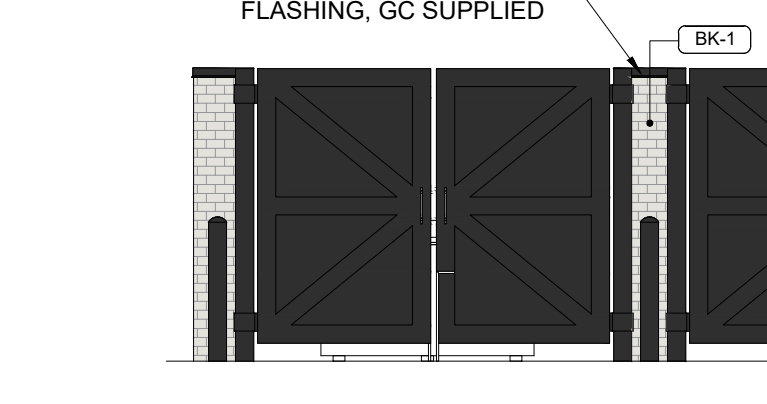
7 DUMPSTER ENCL. ELEVATION - SIDE  
3/16" = 1'-0"



8 DUMPSTER ENCL. ELEVATION - REAR  
3/16" = 1'-0"



9 FRONT DUMPSTER ENCL. ELEVATION  
3/16" = 1'-0"



MATERIAL SCHEDULE

MT-1 PRE-FINISHED METAL COPING - COAL BLACK	MT-2 PRE-FINISHED SHEET METAL DOWNSPOUT SYSTEM - COAL BLACK	MT-3 PRE-FINISHED METAL COPING - TO BE PAINTED SW 7648 - BIG CHILL	ST-1 STONE VENEER CORONADO STONE PRO-LEDGE - HURON	ST-2 STONE SILL CORONADO STONE 900 SERIES TRIM - GRAY	N-1 NICHHA FIBER CEMENT PANELS - AWP0300 - COLOR: CEDAR
BK-1 THIN BRICK CORONADO STONE - WIRE CUT COLOR: GLACIER	EIFS-1 SAND PEBBLE FINE TEXTURE COLOR: SW 7648 BIG CHILL	P-1 PAINT SHERWIN WILLIAMS - SW 7648 BIG CHILL	P-2 PAINT SHERWIN WILLIAMS - TRICORN BLACK - SW 6258 TRASH ENCLOSURE, BOLLARDS, FUEL CANOPY COLUMNS	S-1 KAWNEER 451T VG ALUMINUM STOREFRONT FRAME COLOR: #29 BLACK	C-1 MAPES PRE-FINISHED CANOPY - MATTE BLACK

PROJECT CONTACT LIST		
<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TX 75238 214.343.9400 ALEXANDRA MATIS AMATIS@DIMENSIONGRP.COM	<b>CIVIL ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DR. ALLEN, TX 75013 469.331.8566 KARTAVYA PATEL, P.E. KPATEL@TRIANGLE-ENGR.COM	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2001 NETWORK BLVD, STE #413 FRISCO, TX 75034 214.889.6553 ERIN MILELR EMILLER@SCHAFFERCONST.COM

PROPOSED FACADE PLAN	
CITY CASE #TBD	DATE PREPARED: 03.13.2024
CORPORATE CROSSING & FIT SPORT LIFE BLVD	
FIT SPORT LIFE ADDITION	
BLOCK B, LOT 6	
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS	

PRINTED BY: SRANDALL  
DRAWING NAME: SEI\_XA-EXTERIOR ELEVATIONS PRELIM 2024.03.13.DWG  
PRINT DATE: Mar 13, 2024 - 10:57am

Rev. #	Date	Description

PROTO: CST 9350

7-ELEVEN, INC.  
3200 HACKBERRY ROAD, IRVING, TX 75063  
7-ELEVEN #1055880  
SEC OF FIT SPORT BLVD & CORPORATE CROSSING  
ROCKWALL, TX 75087  
PRELIMINARY ELEVATIONS

**THE DIMENSION GROUP**  
ARCHITECTURAL, CIVIL, ELECTRICAL, MECHANICAL, PLUMBING, AND ENGINEERING  
10755 SANDHILL RD., DALLAS, TX 75238  
214.343.9400  
WWW.DIMENSIONGROUP.COM

Job#: 230-759  
Scale: AS NOTED  
Date: 3/13/24  
Drawn By: [Name]  
Checked By: [Name]

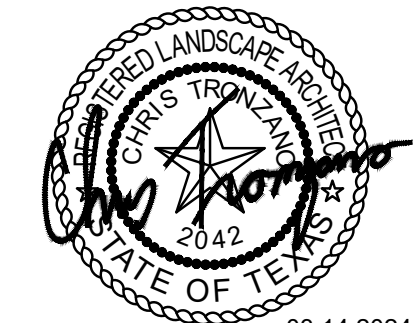
Documents prepared by the Architect are for the specific project and are not to be used for any other project, without the expressed, written consent of the Architect. The Group is not responsible for any errors or omissions in these drawings. The Group is not responsible for any damage to property or injury to persons or animals caused by the use of these drawings. The Dimension Group reserves the right to make changes to these drawings without notice.

PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

3/13/24  
SHEET: P.1  
CST 9350L

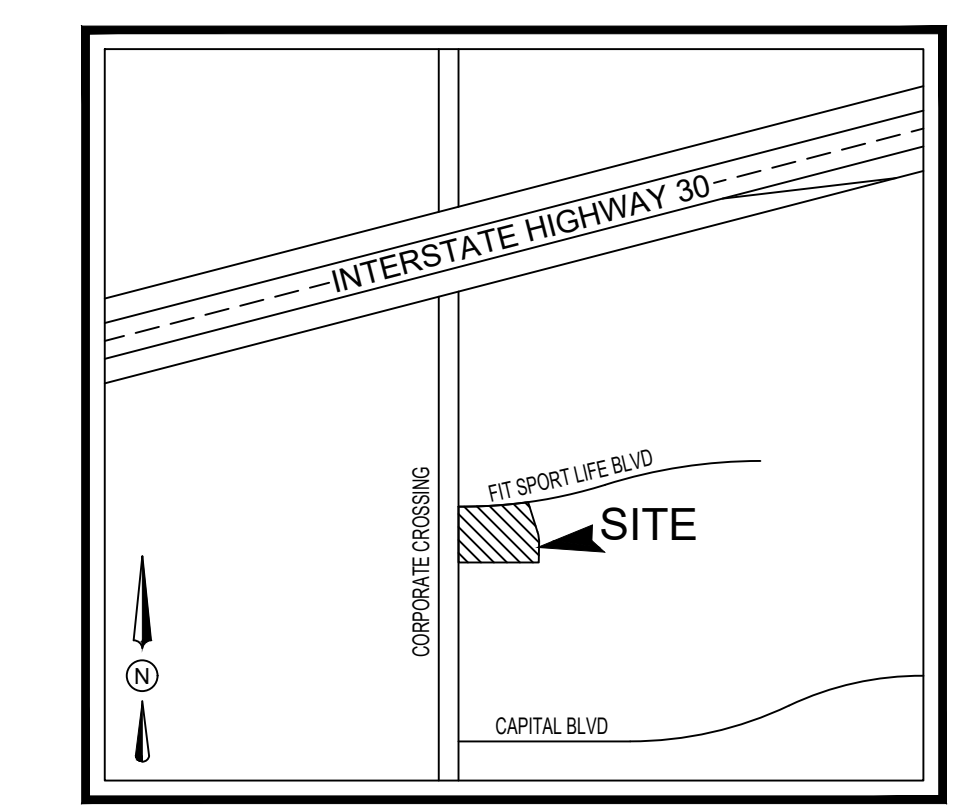


LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRIS@STUDIOGREENSPOT.COM



03.14.2024

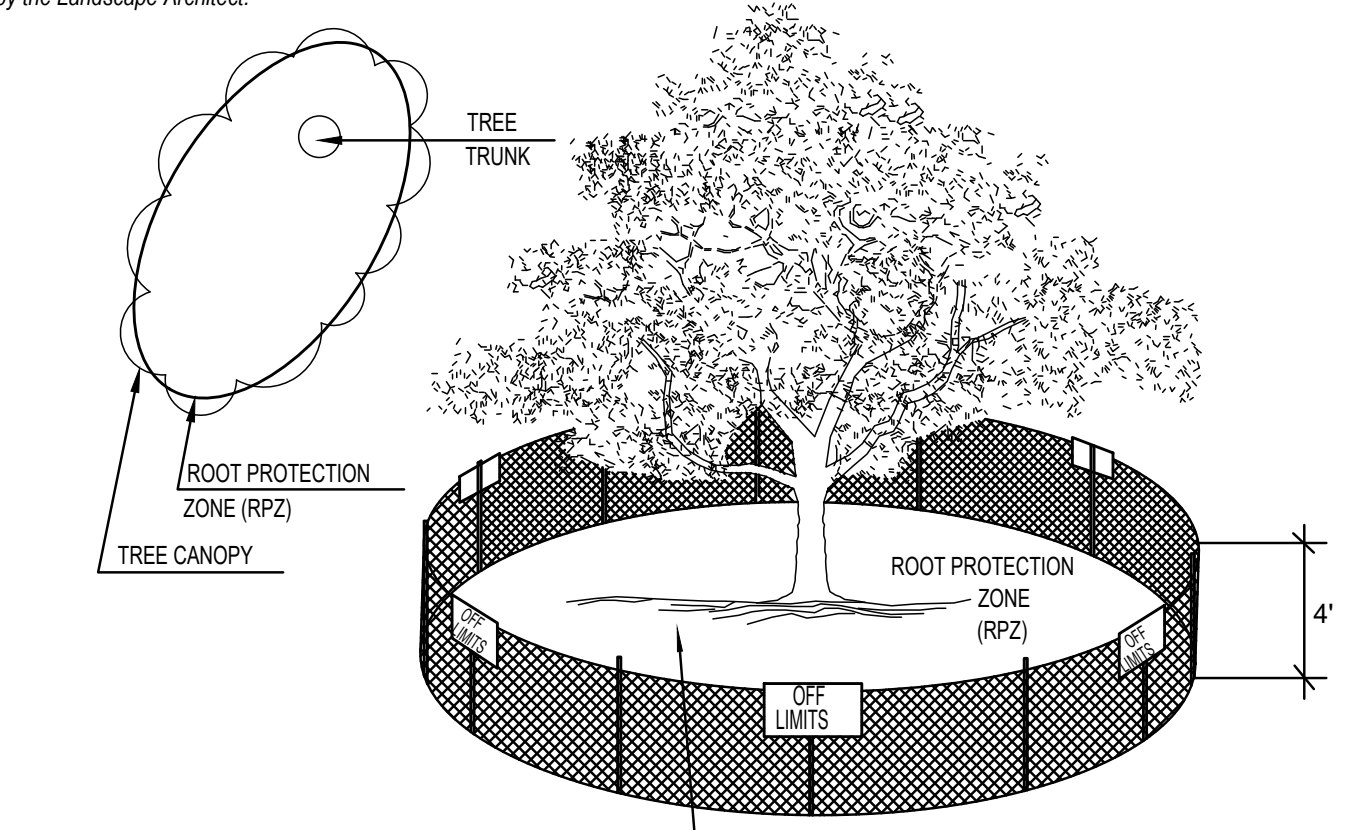
**7- ELEVEN AT CORPORATE CROSSING**  
FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
ROCKWALL, TEXAS



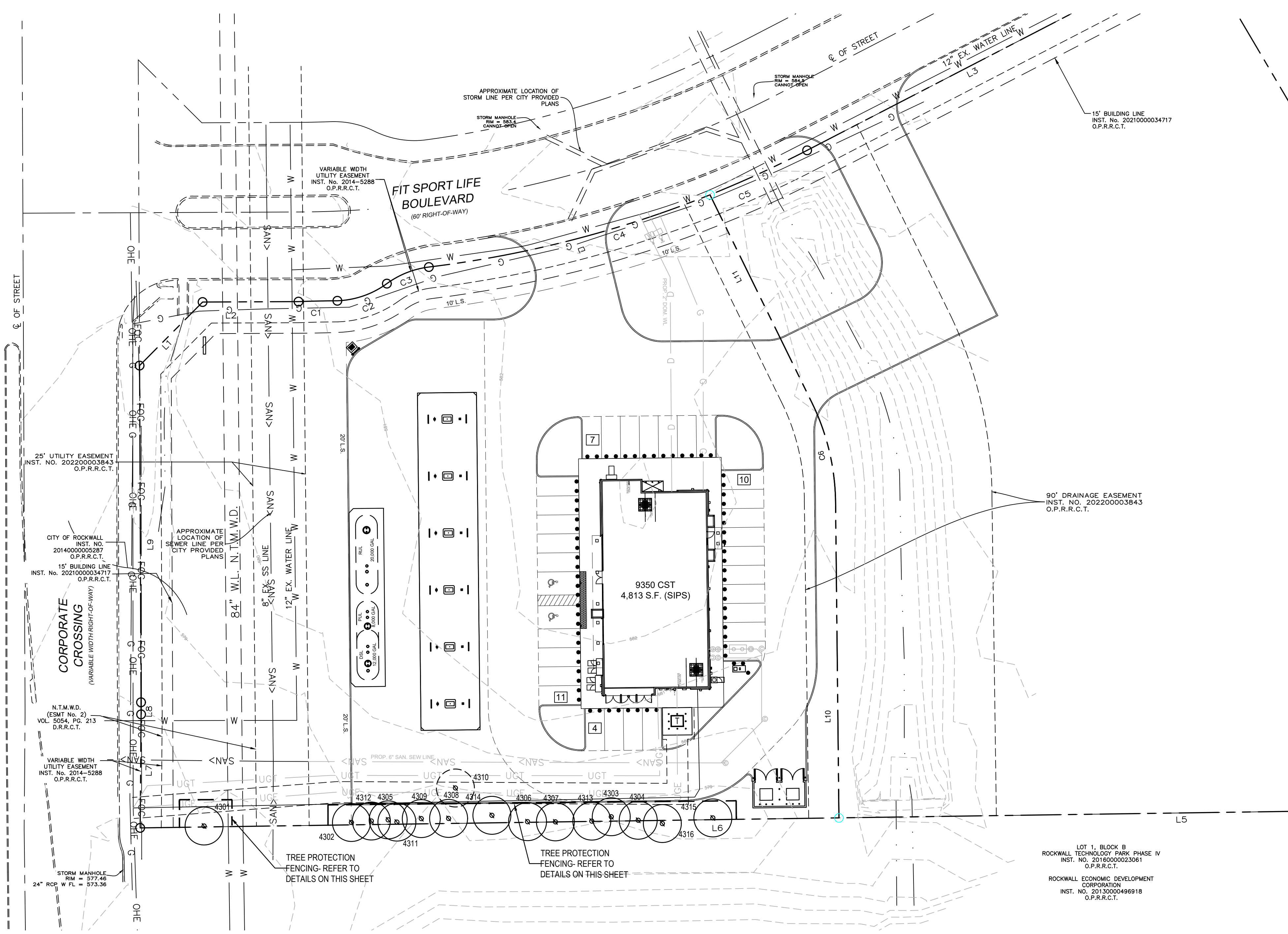
VICINITY MAP  
N.T.S.

**EXISTING TREE NOTES**

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.



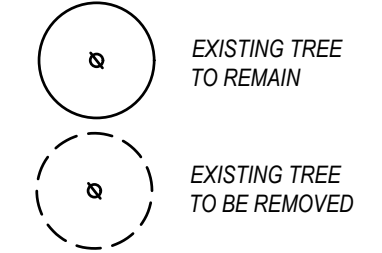
**01 TREE PROTECTION FENCE A**  
NOT TO SCALE



LINE NO.	BEARING	DISTANCE
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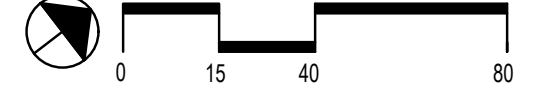
**EXISTING TREE LEGEND**



**TREE SURVEY FIELD DATA**

NO.	SIZE (IN DIA)	SPECIES (COMMON NAME)	PROTECTED/ UNPROTECTED	REMARKS
4301	36	WILLOW	UNPROTECTED	TO REMAIN
4302	6	HACKBERRY	UNPROTECTED	TO REMAIN
4303	6	HACKBERRY	UNPROTECTED	TO REMAIN
4304	12	HACKBERRY	UNPROTECTED	TO REMAIN
4305	7	HACKBERRY	UNPROTECTED	TO REMAIN
4306	16	HACKBERRY	UNPROTECTED	TO REMAIN
4307	12	HACKBERRY	UNPROTECTED	TO REMAIN
4308	7	HACKBERRY	UNPROTECTED	TO REMAIN
4309	7	HACKBERRY	UNPROTECTED	TO REMAIN
4310	6	CEDAR	UNPROTECTED	TO BE REMOVED
4311	7	HACKBERRY	UNPROTECTED	TO REMAIN
4312	14	HACKBERRY	UNPROTECTED	TO REMAIN
4313	6	HACKBERRY	UNPROTECTED	TO REMAIN
4314	8	HACKBERRY	UNPROTECTED	TO REMAIN
4315	14	HACKBERRY	UNPROTECTED	TO REMAIN
4316	14	HACKBERRY	UNPROTECTED	TO REMAIN

**01 TREE PRESERVATION PLAN**  
SCALE 1"=30'-0"



PROJECT CONTACT LIST	
<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-531-8566	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KELTY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com	

**ISSUE:**  
FOR APPROVAL 03.14.2023

**DATE:**  
03.14.2024

**SHEET NAME:**  
LANDSCAPE PLAN

**SHEET NUMBER:**

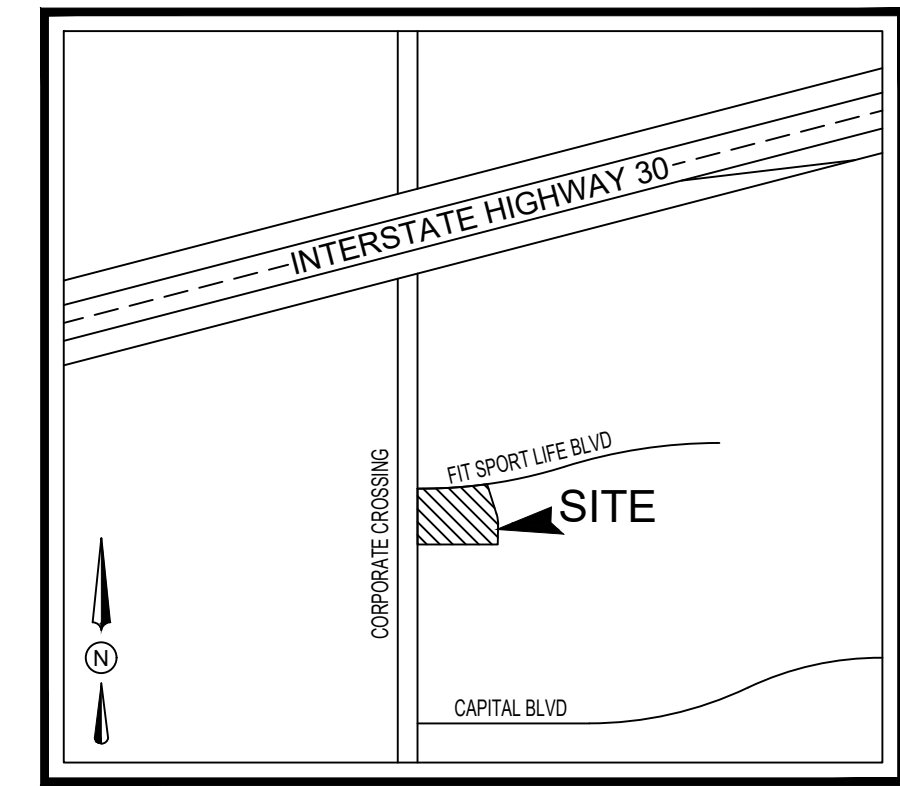
**L.1**



LANDSCAPE ARCHITECT  
 STUDIO GREEN SPOT, INC.  
 1782 W. McDERMOTT DR.  
 ALLEN, TEXAS 75013  
 (469) 369-4448  
 CHRIS@STUDIOGREENSPOT.COM



7-ELEVEN AT CORPORATE CROSSING  
 FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
 ROCKWALL, TEXAS



VICINITY MAP  
 N.T.S.

**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

**LANDSCAPE TABULATIONS:**

I-30 Overlay / Commercial zoning

SITE REQUIREMENTS (site area 84,936 s.f.)  
 Requirements: 20% site area to be landscaped

Required	Provided
12,741 s.f. (15%)	36,649 s.f. (43%)

FRONT YARD REQUIREMENTS  
 Requirements: 50% of required landscape must be located in front yard

Required	Provided
6,371 s.f. (50%)	30,744 s.f. (100+%)

STREET REQUIREMENTS  
 Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4" ht. per 100 l.f. of frontage. Perimeter screening (30" height berm and 30" ht. evergreen shrubs.)

FIT SPORT LIFE BLVD. (249 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(10) accent trees	(10) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

CORPORATE CROSSING (262 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(11) accent trees	(11) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

PARKING LOT REQUIREMENTS (32 spaces)  
 Requirements: (1) canopy tree, 4" cal. per 10 parking spaces

Required	Provided
(4) canopy trees	(4) canopy trees

**GENERAL LAWN NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

**SOLID SOD NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

**01 LANDSCAPE PLAN**



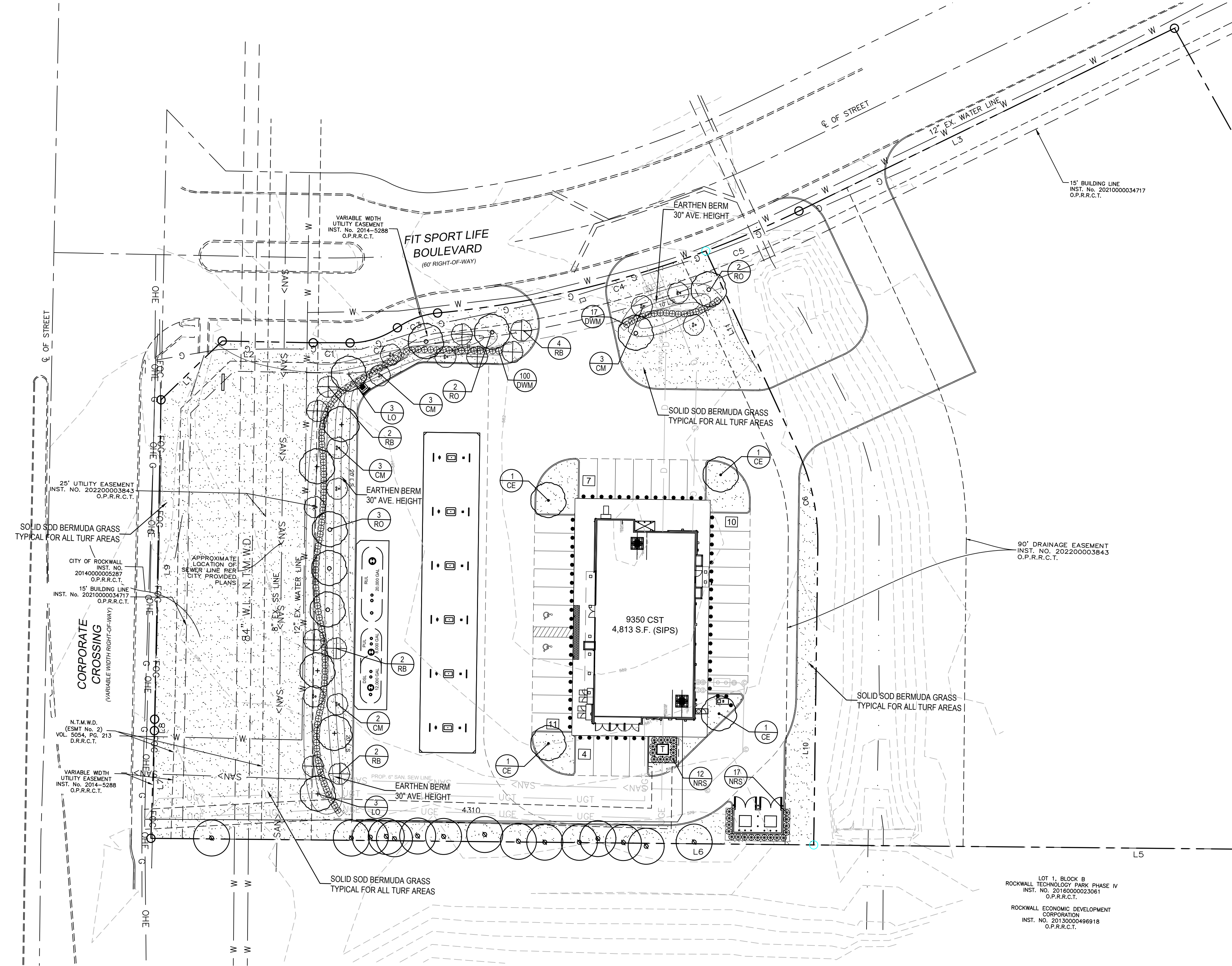
**PLANT MATERIAL SCHEDULE**

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	4	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	B&B, 12' ht., 5' spread, 6' clear straight trunk
LO	6	Live Oak	<i>Quercus laevis</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
RO	7	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
CM	11	Crape Myrtle	<i>Lagerstromia indica</i>	2" cal.	container, 8' ht., 4' spread, tree form
RB	10	Red Bud	<i>Cercis canadensis</i>	2" cal.	container, 8' ht., 4' spread, tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DWM	117	Dwarf Wax Myrtle	<i>Myrica pusilla</i>	7 gal.	container, 36" ht., 30" spread
NRS	29	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 30" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon</i> '419'		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 26°06'50" E	109.77'

BOUNDARY CURVE DATA					
CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'





**SECTION 02900 - LANDSCAPE**

**PART 1 - GENERAL**

- 1.1 REFERENCED DOCUMENTS**  
Refer to bidding requirements, special provisions, and schedules for additional requirements.

- 1.2 DESCRIPTION OF WORK**  
Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

**1.3 REFERENCE STANDARDS**

- A. American Standard for Nursery Stock published by American Association of Nurserymen; 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
- B. American Joint Committee on Horticultural Nomenclature. 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Hortis Third, 1976 - Cornell University

**1.4 NOTIFICATION OF SOURCES AND SUBMITTALS**

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain six representative samples for final installed plant materials.
- E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

**JOB CONDITIONS**

- A. General Contractor to complete the following punch list. Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

**1.5 MAINTENANCE AND GUARANTEE**

- A. Maintenance:
  - 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
  - 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
  - 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
  - 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:

**1.6 QUALITY ASSURANCE**

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
  - 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
  - 2. Landscape Architect will provide a key identifying each tree location on plan. Written verification will be required to document material selection, source and delivery schedules to site.
  - 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
  - 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
  - 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Damaged plants in transit or at job site shall be rejected.

**1.7 PRODUCT DELIVERY, STORAGE AND HANDLING**

- A. Preparation:
  - 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
  - 2. Container Grow Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

**1.8 PRODUCT DELIVERY, STORAGE AND HANDLING**

- A. Preparation:
  - 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
  - 2. Container Grow Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

**2.2 SOIL PREPARATION MATERIALS**

- A. Sandy Loam:
  - 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
  - 2. Physical properties as follows:  
Clay – between 7-27 percent  
Silt – between 15-25 percent  
Sand – less than 52 percent
  - 3. Organic matter shall be 3%-10% of total dry weight.
  - 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: FertiLid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

**2.3 MISCELLANEOUS MATERIALS**

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
  - 1. Post: Studed T-Post, #1 Armo with anchor plate, 6'-0" length, paint green.
  - 2. Wire: 12 gauge, single strand, galvanized wire.
  - 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Miraf 140N by Celanese Fibers Marketing Company, available at Lofland Co., (214) 631-5250 or approved equal.

**PART 3 - EXECUTION**

**3.1 BED PREPARATION & FERTILIZATION**

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
  - 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
  - 2. All planting areas shall receive a two (2") inch layer of specified mulch.
  - 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
  - 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
  - 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

**3.2 INSTALLATION**

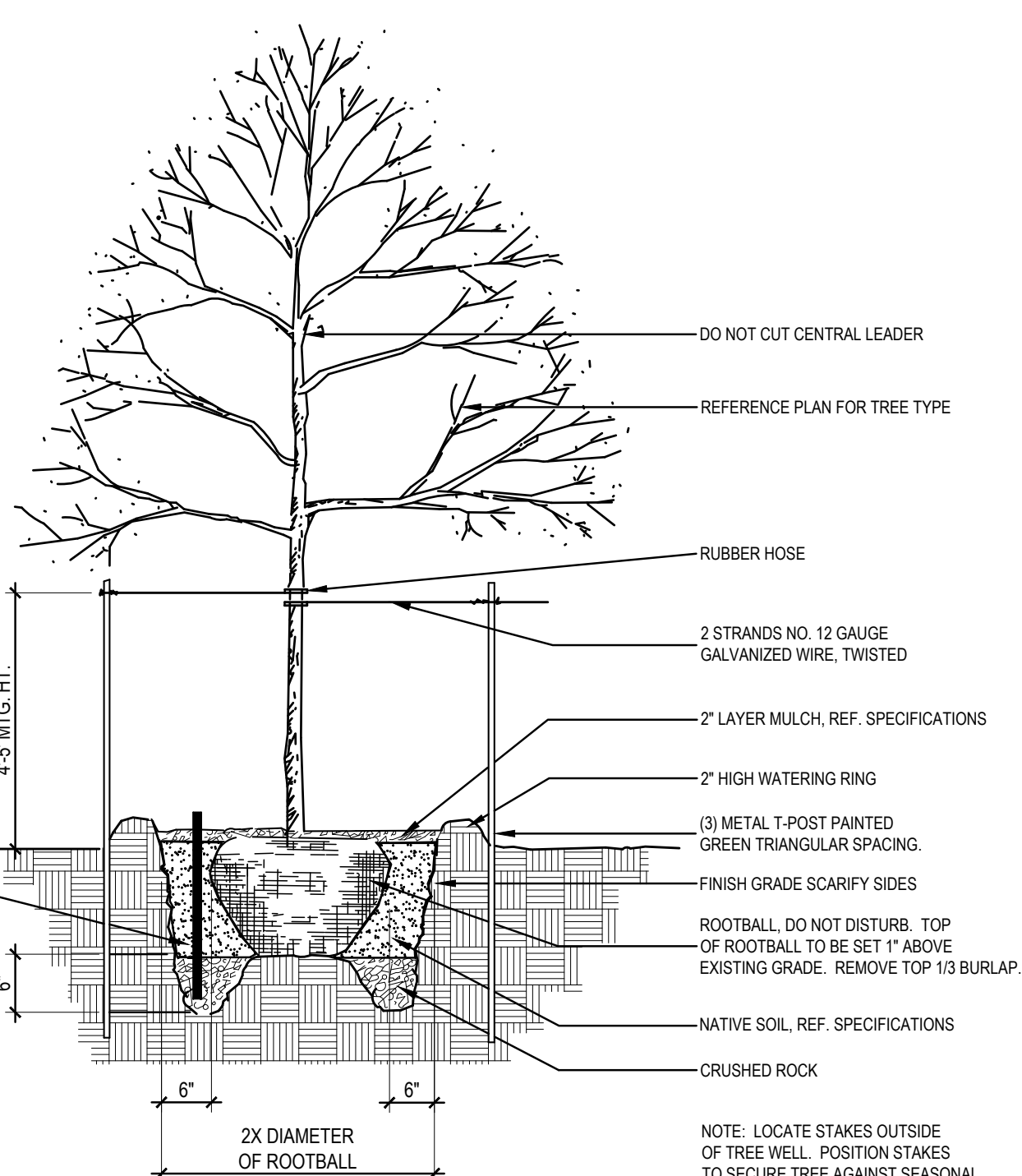
- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

- F. Shrub and tree pits shall be no less than two (2) feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.
- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of root scoring.
- J. Do not wrap trees.
- K. Do not over prune.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arborist Association.
  - 1. Dead wood or suckers and broken badly bruised branches shall be removed. General topping of the branched is not permitted. Do not cut terminal branches.
  - 2. Pruning shall be done with clean, sharp tools.
  - 3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material.
- Q. Steel Curbing Installation:
  - 1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
  - 2. All steel curbing shall be free of kinks and abrupt bends.
  - 3. Top of curbing shall be 3/4" maximum height above grade.
  - 4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
  - 5. Do not install steel edging along sidewalks.
  - 6. Cut steel edging at 45 degree angle where edging meets sidewalk.

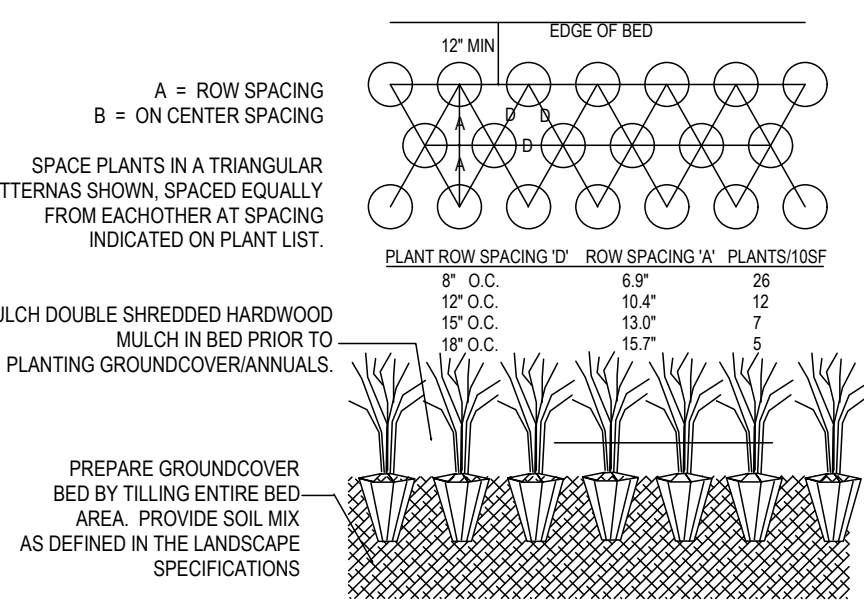
**3.3 CLEANUP AND ACCEPTANCE**

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

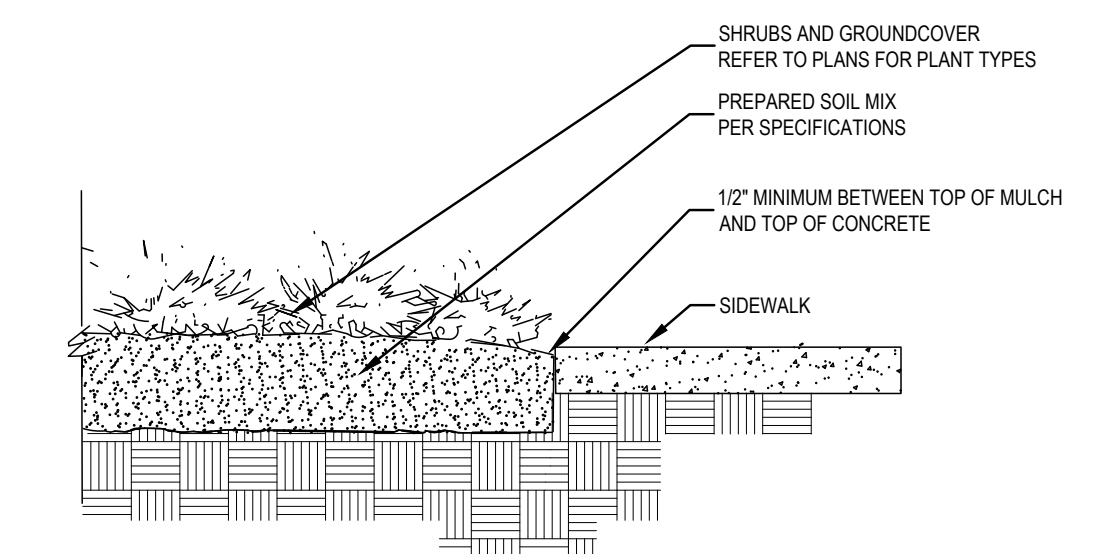
END OF SECTION



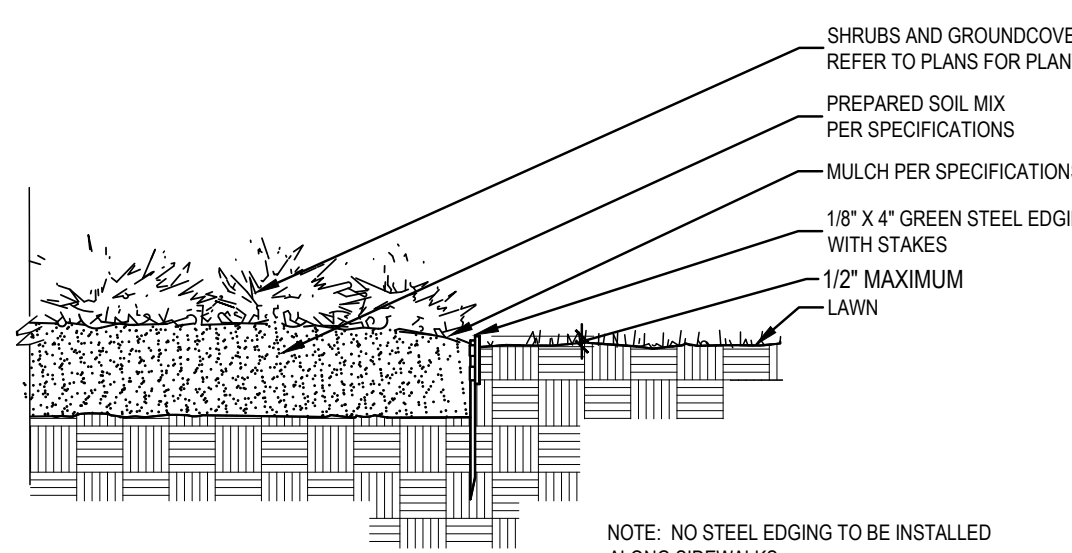
**01 TREE PLANTING DETAIL** NOT TO SCALE



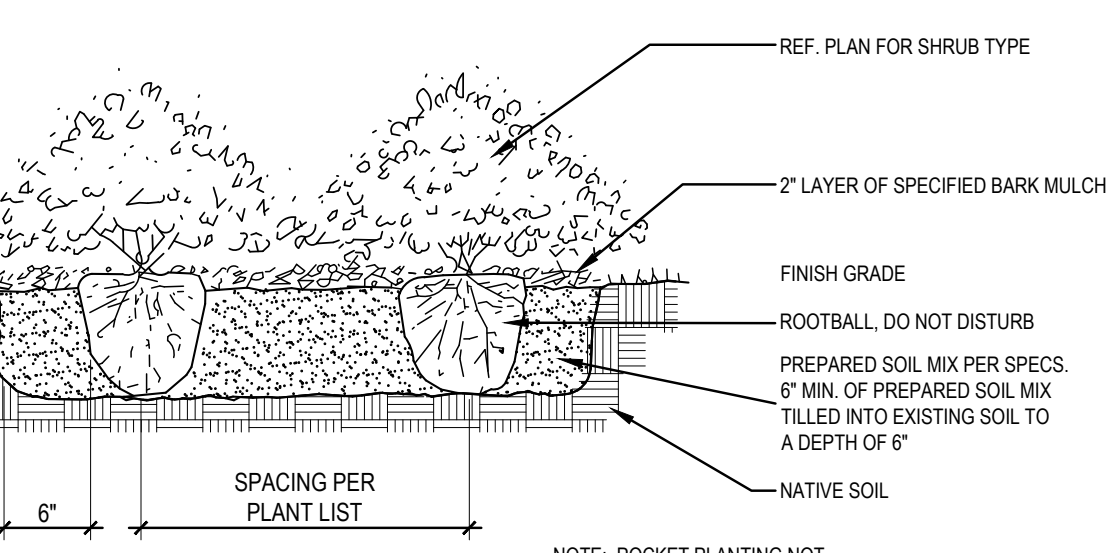
**02 GROUNDCOVER PLANTING DETAIL** NOT TO SCALE



**03 SIDEWALK / MULCH DETAIL** no steel along sidewalks NOT TO SCALE



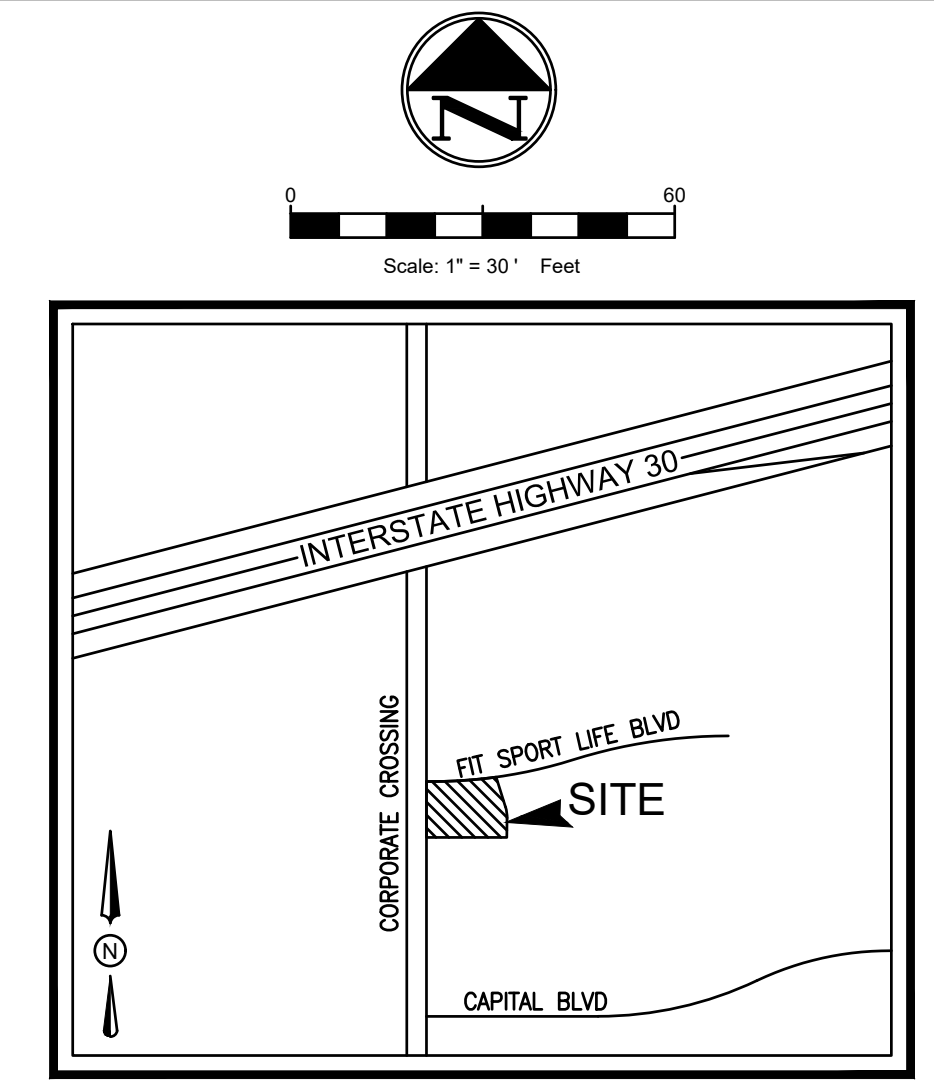
**04 STEEL EDGING DETAIL** NOT TO SCALE



**05 SHRUB PLANTING DETAIL** NOT TO SCALE

PROJECT CONTACT LIST	
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	DEVELOPER SCHAFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconstr.com
SURVEYOR TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	ARCHITECT THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
OWNER STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD. STE 2387 PHOENIX, ARIZONA 85016 CONOR KELLY PHONE: 480-856-8808 EMAIL: conor@structuredrea.com	

7-ELEVEN AT CORPORATE CROSSING  
FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
ROCKWALL, TEXAS



VICINITY MAP  
N.T.S.

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
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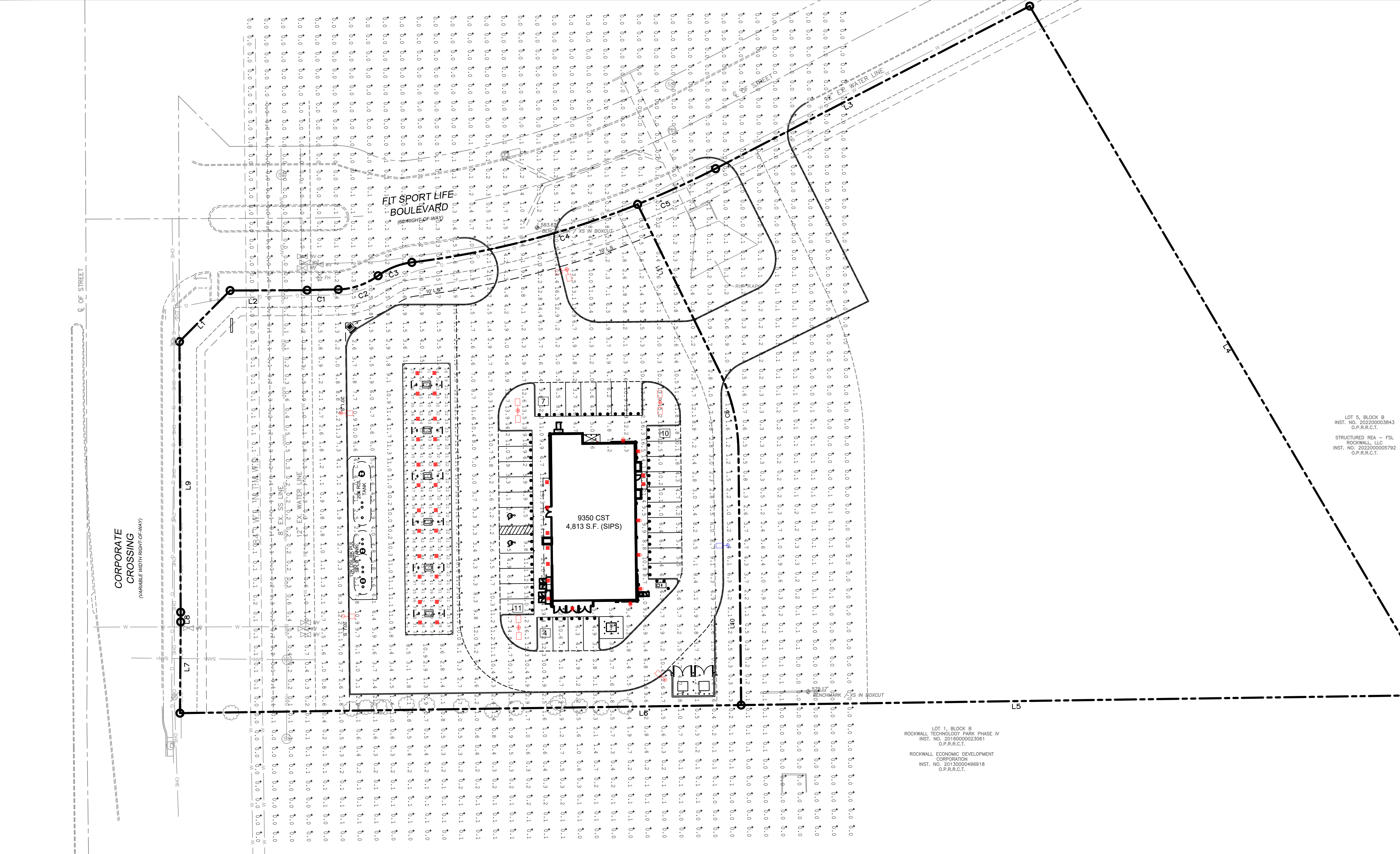
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LOT 5, BLOCK B  
INST. NO. 20220003843  
G.P.R.C.T.

STRUCTURED REA - FSL  
ROCKWALL, LLC  
INST. NO. 20220005792  
G.P.R.C.T.

LOT 1, BLOCK B  
ROCKWALL TECHNOLOGY PARK PHASE IV  
INST. NO. 201600023061  
G.P.R.C.T.

ROCKWALL ECONOMIC DEVELOPMENT  
CORPORATION  
INST. NO. 2013000496918  
G.P.R.C.T.



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
[Symbol]	8	CPY-F-4L	Single	1.000	4590	31	CPY250-C-4L-57K7-F-UL-DM-WH-HZ
[Symbol]	24	CPY-F-8L	Single	1.000	8475	53	CPY250-C-8L-57K7-F-UL-DM-WH-HZ
[Symbol]	3	XSPLG-3ME	SINGLE	1.000	23800	184	XSPLG-D-HT-3ME-24L-57K7-UL-BZ-N
[Symbol]	1	XSPLG-4ME	Single	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	1	XSPLG-4ME-2	2 @ 90°	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	3	XSPLG-4ME-2(180)	2 @ 180°	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	8	XSPW	WALL MOUNT	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-BZ

Calculation Summary (Footcandles calculated using LMF: 1.00)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	2.20	26.2	0.0	N.A.	N.A.
GAS CANOPY	Fc	32.73	45	14	2.34	3.21
PAVED AREA	Fc	6.28	17.2	1.3	4.83	13.23

**Pole Schedule**  
(8) SSS-4-11-17-CW-BS-OT-N-BZ (17' X 4" X 11ga STEEL SQUARE POLE)  
Proposed poles meet 140 MPH sustained winds.

**Additional Equipment:**  
(4) PD-1H4 (Single Head Tenon)  
(1) PD-2H4(90) (Twin Head Tenon @ 90°)  
(3) PD-2H4(180) (Twin Head Tenon @ 180°)

**Lighting Requirements:**  
Paved Area: 1.0fc minimum  
Gas Canopy: 30-50fc

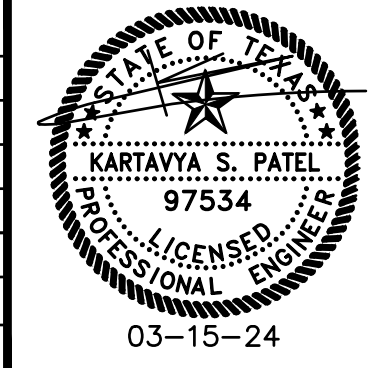
\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	09/07/23	1st SITE PLAN	EB
2	10/13/23	35' WIDE DRIVEWAYS	EB
3	11/08/23	2nd SITE PLAN	EB
4	02/19/24	REVISED DUMPSTER PAD	EB
5	03-15-24	SITE PLAN SUBMITTAL	JA



**PHOTOMETRIC PLAN**  
7-ELEVEN  
CORPORATE CROSSING AND FIT SPORT LIFE BLVD  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS 75032  
FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE BAR	125-23	C-3.5

TX. P.E. FIRM #11525

CASE NO:

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/22/2024

PROJECT NUMBER: SP2024-015  
PROJECT NAME: Site Plan for 7- Eleven  
SITE ADDRESS/LOCATIONS: 1200 CORPORATE CROSSING

CASE CAPTION: Discuss and consider a request by Kevin Patel of Triangle Engineering on behalf of Conor Keilty of Structured REA-Rockwall Land LLC for the approval of a Site Plan for a Retail Store with Gasoline Sales (i.e. 7/11) on a 1.95-acre portion of a larger 12.868-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the southeast corner of the intersection of Corporate Crossing and Fit Sport Life Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	03/22/2024	Needs Review

03/22/2024: SP2024-015; Site Plan for Retail store with Gasoline Sales  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Kevin Patel of Triangle Engineering on behalf of Conor Keilty of Structured REA-Rockwall Land LLC for the approval of a Site Plan for a Retail Store with Gasoline Sales (i.e. 7/11) on a 1.95-acre portion of a larger 12.868-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the southeast corner of the intersection of Corporate Crossing and Fit Sport Life Boulevard.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (SP2024-015) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

#### M.5 Site Plan

- 1) Provide screening shrubs adjacent to the parking spaces that will face adjacent properties or Ralph Hall Parkway. (Subsection 05.02.C, Article 08, UDC)
- 2) Indicate the type and depth of paving material and provide a detail. (Subsection 03.02, of Article 06, UDC)
- 3) All overhead utilities shall be placed underground. (Subsection 06.02.H, Article 05, UDC)
- 4) A five (5)-foot sidewalk will be required along Fit Sport Life Blvd and Corporate Crossing. (Subsection 03.04.B, of Article 11, UDC)
- 5) Indicate all building setbacks. (Subsection 03.04.B, of Article 11, UDC)
- 6) Indicate perimeter dimensions of the building (Subsection 03.04.B, of Article 11, UDC)
- 7) Indicate all perimeter dimensions of the site. (Subsection 03.04.B, of Article 11, UDC)
- 8) Incorporate gas vent into the canopy or behind building.
- 9) All outside enclosures shall be covered.

#### M.6 Landscape Plan

- 1) The Landscape buffer required along Corporate Crossing is 15-feet not 20-feet. Staff suggests providing the 20-foot buffer and using that as a compensatory measure for variances requested. (Subsection 06.02.E, Article 05, UDC)
- 2) Provide impervious area vs. landscape area (Subsection 01.01.B, of Article 05, UDC)
- 3) Remove Crepe myrtles from landscape plan. They are prohibited trees. (Section 03, Appendix 3, UDC)
- 4) Provide a note indicating that irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08, UDC)

#### M.7 Building Elevations

- 1) Building does not meet four (4)-sided architecture requirements. Specifically the wall length for the east elevation and the 6.5 inch wall projections. This will require a variance from the Planning and Zoning Commission. (Subsection 06.02.C.5, of Article 05, UDC)
- 2) Parapets shall be extended back and finished on the backside, same as front. (Subsection 05.01.A.2, Article 05, UDC)
- 3) Provide a note indicating a self-latching gate on the dumpster. (Subsection 01.05.B, of Article 05, UDC)
- 4) The use of manufactured stone is a variance to the overlay district standards. (Subsection 06.02.C.a.1, of Article 05, UDC)
- 5) EFIS is a prohibited material. Use 3-part stucco instead. (Subsection 06.02.C, of Article 05, UDC)
- 6) Building materials do not meet the 90% masonry requirement. This will require a variance from the Planning and Zoning Commission. (Subsection 06.02.C, of Article 05, UDC)
- 7) Building materials do not meet the 20% stone requirement. This will require a variance from the Planning and Zoning Commission. (Subsection 06.02.C, of Article 05, UDC)
- 8) The building elevations do not appear to provide enough architectural elements. Currently, staff only identifies one (1) element. Please note the General Overlay District Standards require four (4) architectural elements.

#### M.8 Photometric Plan

- 1) The allowable maximum light intensity measured at the property line of a non-residential property is 0.2 FC of one footcandle. (Subsection 03.03.C, of Article 07, UDC)
- 2) Under canopy lighting shall not exceed 35 FC. (Subsection 03.03.E.1, of Article 07, UDC)
- 3) The maximum outdoor maintained computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site with the exception of the under canopy lighting as mentioned earlier. (Subsection 03.03.G, Article 07, UDC)
- 4) The maximum mounting height for lighting shall be 20 feet in the FM-549 Overlay District (Subsection 06.02.G, Article 05, UDC)
- 5) Any unshielded light sources shall have a maximum wattage of 15 W. (Subsection 03.03.A, of Article 07, UDC)

M.9 Staff has identified the following variance(s) associated with the proposed request: [1] Four (4)-sided Architecture, [2] Primary Articulation, [3] 20% stone, [4] 90% masonry, [5] excess of 10% secondary materials, [6] natural stone, and [7] not enough architectural elements. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on April 2, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on March 26, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on April 9, 2024.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present



their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/21/2024	Approved w/ Comments

- 03/21/2024: 1. You will need to continue this sidewalk along Corporate Crossing and Fit Sports Life Blvd.  
2. Remove signage from site plan. Permitted separately through Bldg. Dept.  
3. Flood study must be followed.  
4. Must plat this lot to dedicate fire lane and access easement  
5. You will need to provide a proposed culvert underneath of this driveway to pass the drainage through this drainage channel. It will need to be sized to pass the 100yr storm, the size will be similar to the fit sport life blvd. culvert (One 6'x2' box culvert and one 5'x2' box culvert).  
6. You cannot encroach into the existing 90' drainage easement without revising channel. You can only cross the channel/easement with a driveway at a 90 degree angle. Please revise the site plan to avoid this.  
7. No grading or landscape berms can be located within NTMWD easements. No grading or landscape berms can be located within City easements or ROW.  
8. Landscape plan is subject to change with engineering plan review. No trees within 10' of utilities.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- The site will need to be platted.
- All utilities must be underground.
- Additional comments may be provided at the time of Engineering review.

Drainage Items:

- Detention will need to be provided per the drainage study.
- Existing flow patterns must be maintained. The site must drain to the existing headwall at Corporate Crossing.
- No vertical walls allowed in existing drainage easements.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for the existing detention ponds and existing drainage swale.
- FFE for all buildings must be called out when adjacent to a detention pond or drainage swale. Minimum 2' above 100-year WSEL.
- Dumpster areas and area under gas canopy is required to drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- There is an existing 8" sewer main on the other side of Fit Sport Life Blvd available for use.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed unless public utility is under paving.
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- There is an existing 12" water main along Fit Sport Life Blvd available for use.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)

- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.

Roadway Paving Items:

- Must meet City driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if needed) to be 24' wide and in a platted easement.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/21/2024	Approved w/ Comments
03/21/2024: DUMPSTER ENCLOSURE DOESN'T MEET THE MINIMUM DESIGN/SIZE REQUIREMENTENTS OF THE UDC. DUMPSTER ENCLOSURE IS REQUIRED TO HAVE A DRAIN THAT SHALL FLOW THROUGH AN OIL/WATER SEPARATOR (THAT IS SIZED BY AN ENGINEER) AND MUST DISCHARGE TO THE STORM WATER LINE AND NOT TO THE SANITARY SEWER			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/18/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/18/2024	Approved w/ Comments
03/18/2024: Assigned Address will be 1200 CORPORATE CROSSING,ROCKWALL,TX 75032			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/18/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/18/2024	Approved w/ Comments
03/18/2024: 1. Eastern Red Cedar's are protected by being 8' or taller not by caliper inch. 2. Recommend Tif Tuf or Tahoma 31 over Tifway 419 due to drought, wear and cold tolerance.			

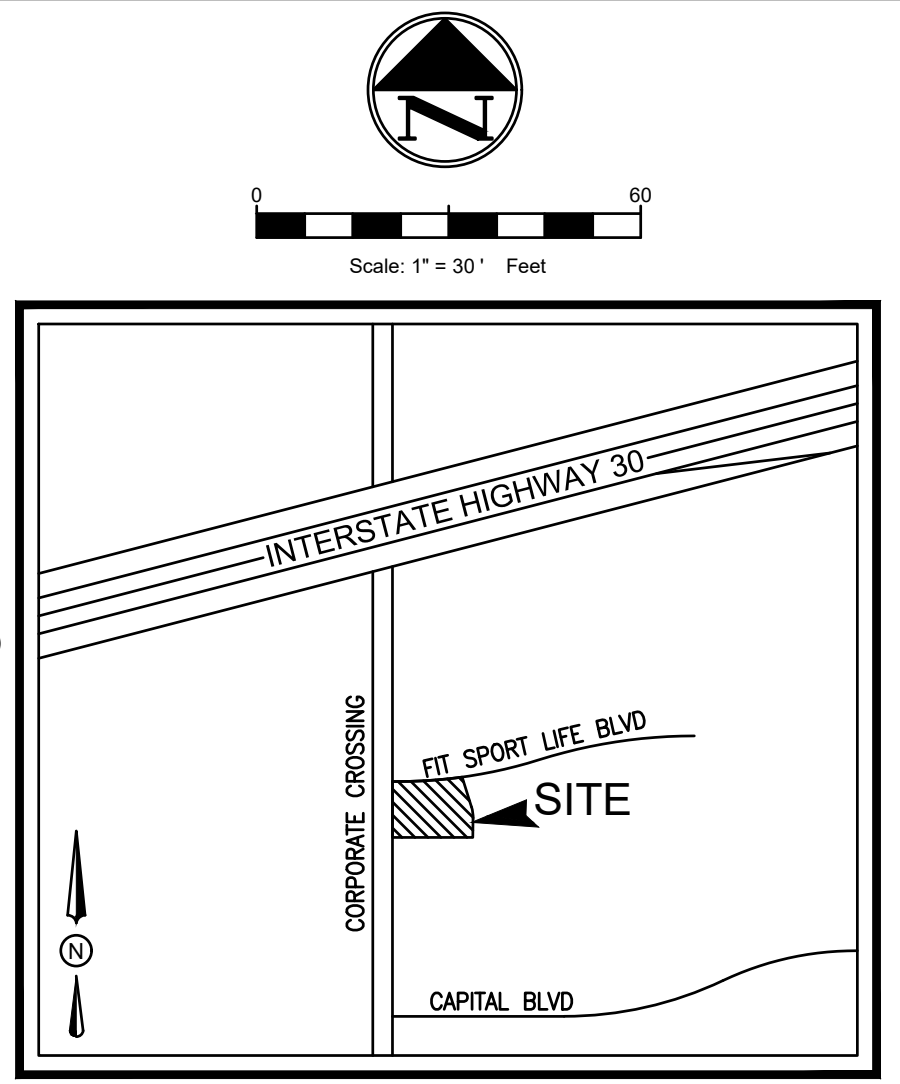
**FLOOD PLAIN NOTE**  
 NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48397C0045L, DATED SEPTEMBER 26, 2008. THE SUBJECT PROPERTY IS LOCATED IN THE AREA DESIGNATED AS ZONE "X". (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

Incorporate gas vent into the canopy or behind building.

Five (5) foot Sidewalk required along Fit Sport Life Boulevard.

**KEYED NOTES**

- PROP. 6" BOLLARDS WITH 4.5" SPACING O.C. (TYP.)
- PROP. 5'X10' PROPANE TANK
- 3' WIDE ADA DETECTABLE SURFACE
- ICE MERCHANDISER
- PROP. DOOR. REFER TO ARCH PLAN FOR DETAIL.
- BUILDING TRANSFORMER
- PROP. CO2 CAGE AND NITROGEN CAGE
- PROP. DUMPSTER ENCLOSURE WITH 8' TALL MASONRY SCREENING WALLS AND METAL GATES. REFER TO ARCH PLANS FOR DETAIL.
- PROP. OVERHEAD CANOPY W/6 INLINE FUEL DISPENSERS. (REFER TO FUEL PLANS FOR DETAILS)
- PROP. UNDERGROUND STORAGE TANKS. (REFER TO FUEL PLANS FOR DETAILS)
- EX. FIRE HYDRANT
- EX. SIDEWALK
- EX. RAMPS
- EX. CURB INLET TO BE REMOVED AND RELOCATED.
- 15'X15' VISIBILITY TRIANGLE
- 30'X30' VISIBILITY TRIANGLE
- PROP. FUEL VENT
- PROP. AIR VAC
- PROP. MONUMENT SIGN



VICINITY MAP  
N.T.S.

**SITE GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
- ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.

>Indicate all building setbacks.  
 >Indicate all perimeter dimensions of the building.  
 >Indicate Outside Display areas

Overhead Utilities must be placed underground

Five (5) foot sidewalk required along Corporate Crossing

Indicate type and depth of all paving materials and provide a detail.

Indicate that this is not within the building setback

All outside enclosures must be covered.

**EXISTING LEGEND**

BOUNDARY LINE	CHAIN LINK FENCE
ADJACENT BOUNDARY LINE	METAL FENCE POST
EASEMENT LINE (AS NOTED)	IRRIGATION CONTROL VALVE
WATER LINE	SEWER CLEAN OUT
SANITARY SEWER LINE	TRANSFORMER
STORM DRAIN LINE (AS NOTED)	ELECTRIC BOX
OVERHEAD ELECTRIC LINE	ELECTRIC METER
SET IRON ROD (AS NOTED)	TELEPHONE SIGNAL BOX
FOUND IRON ROD (AS NOTED)	TRAFFIC SIGNAL LIGHT
"X" CUT FOUND	GAS MARKER
"X" CUT SET	GAS METER
SANITARY SEWER MAN HOLE	AIR CONDITIONER UNIT
CABLE VAULT	
UTILITY VAULT	
FIBER OPTIC MARKER	
WATER VALVE	
TRAFFIC SIGN	
STORM MAN HOLE	
LIGHT POLE	
POWER POLE	
BENCH MARK	
CONTROL MONUMENT	
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY, TEXAS
P.R.R.C.T.	PLAT RECORDS ROCKWALL COUNTY, TEXAS

**SITE LEGEND**

CONCRETE CURB	SAW-CUT LINE
FENCE	
FIRE LANE	STRIPING
PARKING SPACES	
MONUMENT/PYLON SIGN	
WHEEL STOPS	
HANDICAP LOGO	
HANDICAP SIGN	
RAMP	
BOLLARD	
TRAFFIC ARROW	
FIRE HYDRANT	
DUMPSTER	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
SANITARY SEWER DOUBLE CLEANOUT	
SANITARY SEWER SAMPLE PORT	
GREASE TRAP	
DOMESTIC WATER METER	
IRRIGATION METER	
GAS METER	
TRANSFORMER	
LIGHT POLE	
POWER POLE	
UNDERGROUND TELEPHONE LINE	
UNDERGROUND ELECTRIC LINE	
GAS LINE	
SANITARY SEWER LINE	
WATER MAIN	
DOMESTIC WATER LINE	

**BOUNDARY LINE DATA**

LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 28°06'50" E	109.77'

**BOUNDARY CURVE DATA**

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

**SITE DATA SUMMARY TABLE**

SITE ACREAGE:	1.95 AC (84,939 S.F.)
ZONING:	C-COMMERCIAL W/ I-30 OVERLAY DISTRICT
PROPOSED USE:	FUELING STATION W/ CONVENIENCE STORE
BUILDING AREA:	4,813 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	30'-0"
BUILDING COVERAGE:	5.67%
FLOOR AREA RATIO:	0.06
IMPERVIOUS AREA:	46,244 S.F. (54.4%)
PERVIOUS/LANDSCAPE AREA:	38,695 S.F. (45.6%)
REGULAR PARKING REQUIRED:	20 SPACES
1 SP PER 250 S.F.	
REGULAR PARKING PROVIDED:	30 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	32 SPACES

**WATER METER & SANITARY SEWER SCHEDULE**

ID	TYPE	SIZE	NO.
⊙	DOMESTIC	2"	1
⊙	IRRIGATION	1"	1
⊙	SANITARY SEWER	6"	

**EASEMENT/SETBACK LEGEND**

BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

APPROVED:  
 I HERBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	09/07/23	1st SITE PLAN	EB
2	10/13/23	35' WIDE DRIVEWAYS	EB
3	11/08/23	2nd SITE PLAN	EB
4	02/19/24	REVISED DUMPSTER PAD	EB
5	03-15-24	SITE PLAN SUBMITTAL	IA

**PROJECT CONTACT LIST**

<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	<b>DEVELOPER</b> SCHAFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REAR-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KEILTY PHONE: 480-856-8808 EMAIL: conor@structuredrea.com	

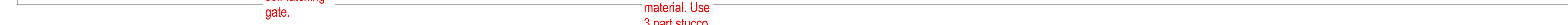
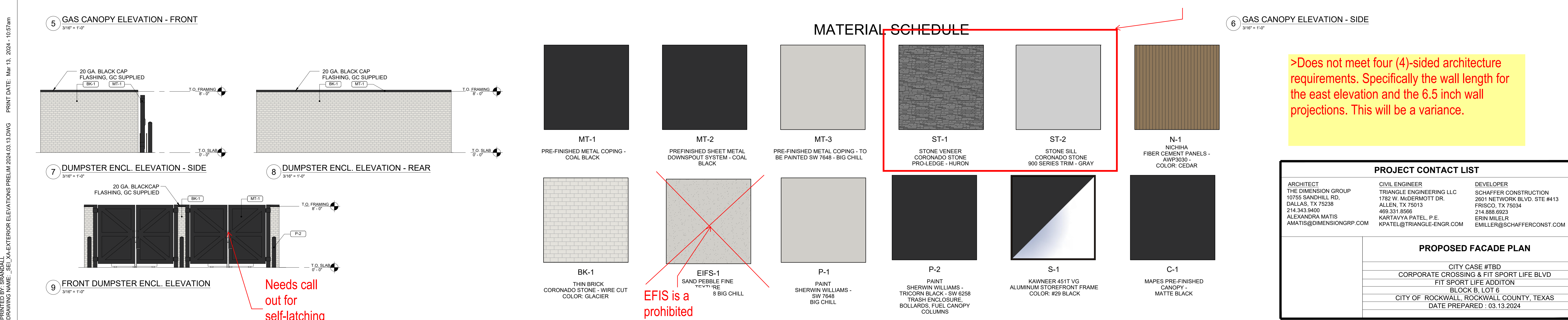
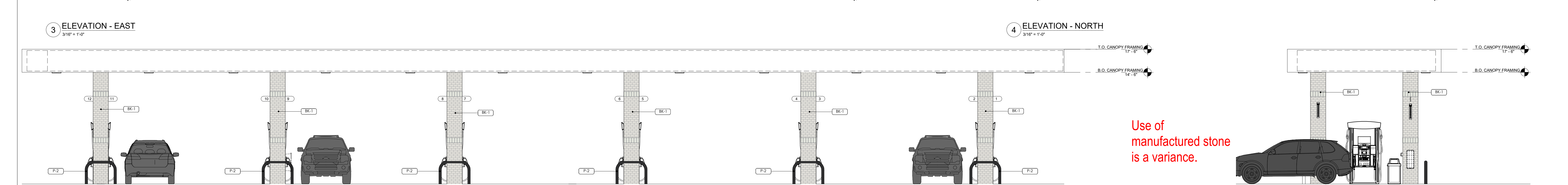
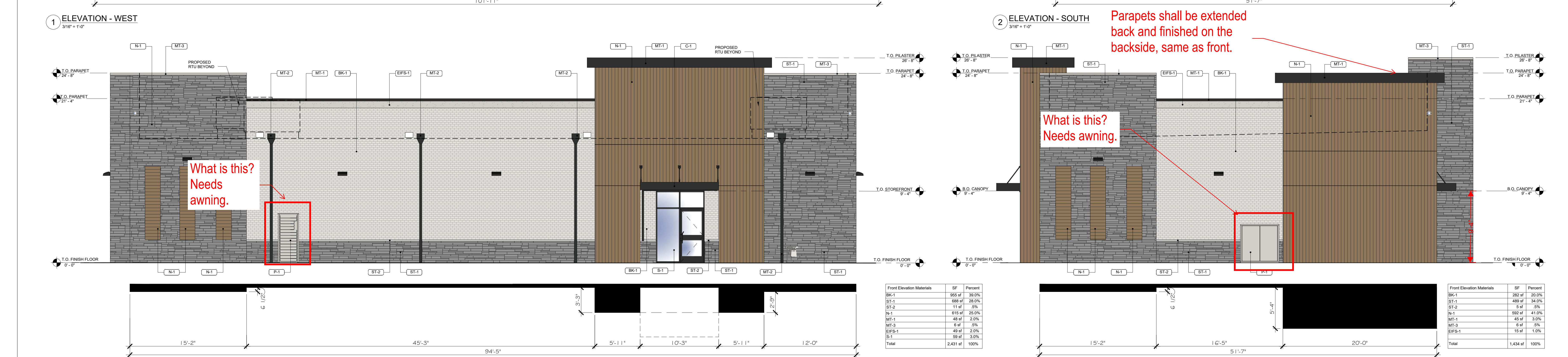
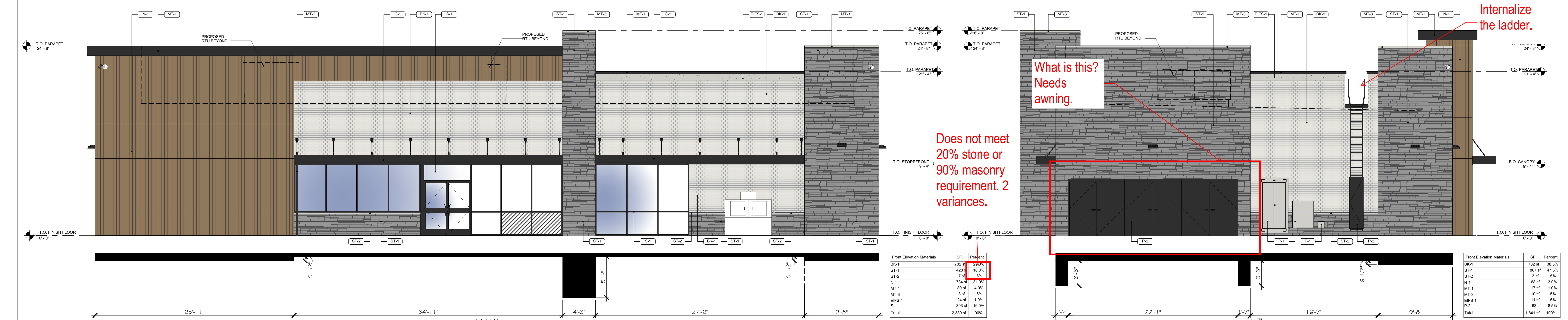
**SITE PLAN**  
**7-ELEVEN AT CORPORATE CROSSING**  
 CORPORATE CROSSING AND FIT SPORT LIFE BLVD  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS 75032  
 FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
 W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE BAR	125-23	C-3.0

TX. P.E. FIRM #11525

CASE NO:



**7-ELEVEN, INC.**  
 3200 HACKBERRY ROAD, IRVING, TX 75063  
**7-ELEVEN #1055880**  
 SEC OF FIT SPORT BLVD & CORPORATE CROSSING  
 ROCKWALL, TX 75087  
 PRELIMINARY ELEVATIONS

**PROTO: CST 9350**

**THE DIMENSION GROUP**  
 ARCHITECTURAL/CIVIL/ENGINEERING/MEP/ENGINEERING  
 1501 W. HAWKWOOD AVE  
 FRISSCO, TX 75034  
 TEL: 972-444-8800

Job#: 230-759  
 Scale: AS NOTED  
 Date: 3/13/24  
 Drawn By:  
 Checked By:

Documents prepared by the architect are for the specific project and are not to be used for any other project, without the expressed, written consent of the architect. The user of these documents assumes all liability for their use. The Dimension Group reserves the right to modify these documents without notice.

**PROJECT CONTACT LIST**

ARCHITECT	CIVIL ENGINEER	DEVELOPER
THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TX 75238 214.343.9400 ALEXANDRA MATIS AMATIS@DIMENSIONGRP.COM	TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DR. ALLEN, TX 75013 469.331.8566 KARTAVYA PATEL, P.E. KPATEL@TRIANGLE-ENGR.COM	SCHAFFER CONSTRUCTION 2001 NETWORK BLVD, STE #413 FRISCO, TX 75034 214.889.0503 ERIN MILELR EMILLER@SCHAFFERCONSTR.COM

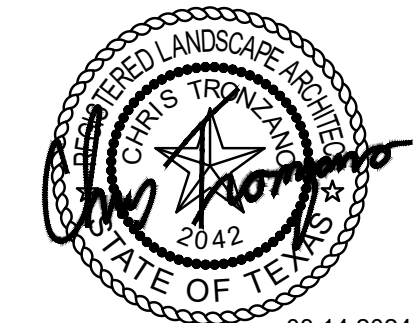
**PROPOSED FACADE PLAN**

CITY CASE #TBD  
 CORPORATE CROSSING & FIT SPORT LIFE BLVD  
 FIT SPORT LIFE ADDITION  
 BLOCK B, LOT 6  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 DATE PREPARED : 03.13.2024

SHEET: **P.1**  
 CST 9350L

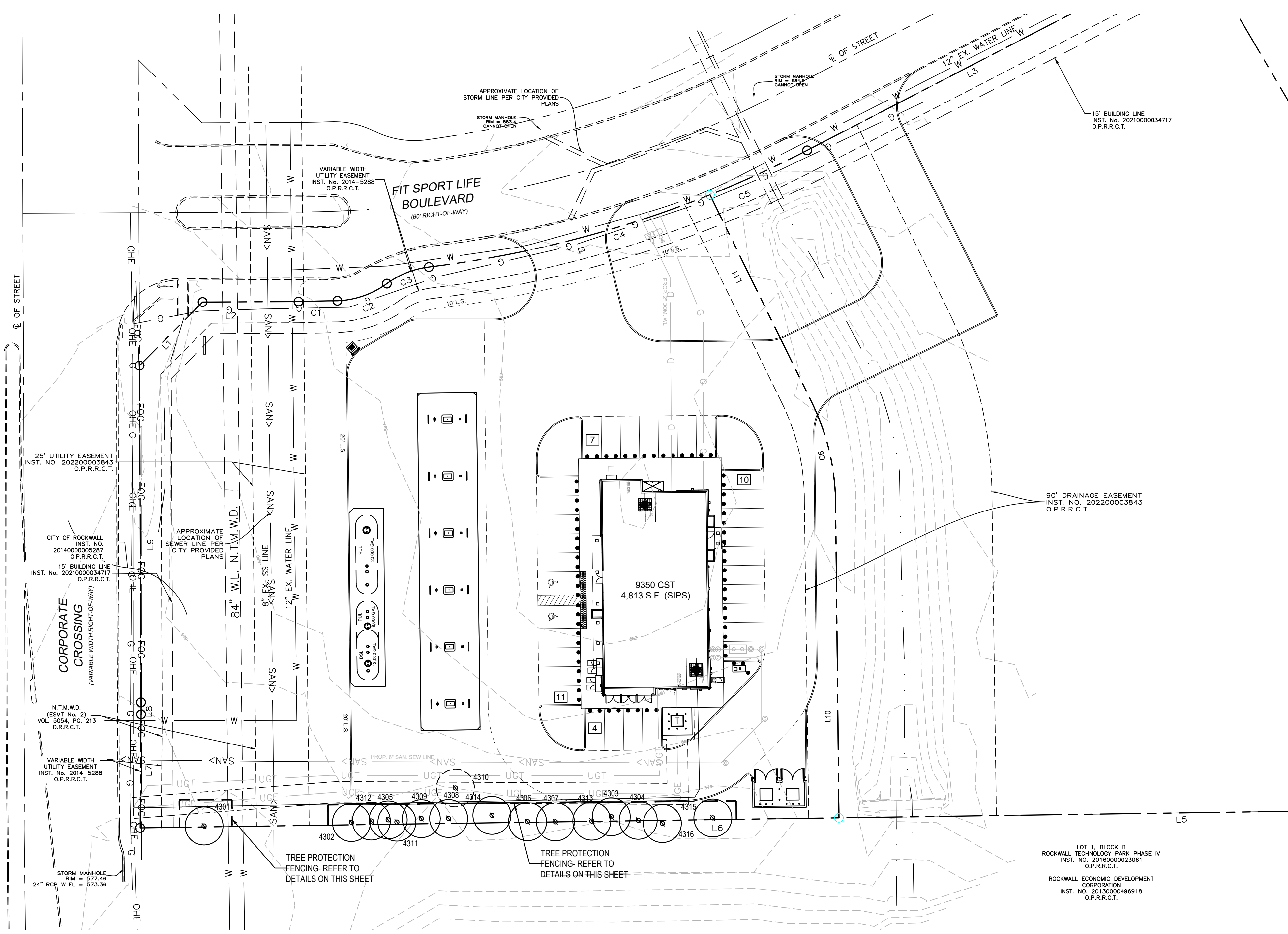


LANDSCAPE ARCHITECT  
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1782 W. McDERMOTT DR.  
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CHRIS@STUDIOGREENSPOT.COM

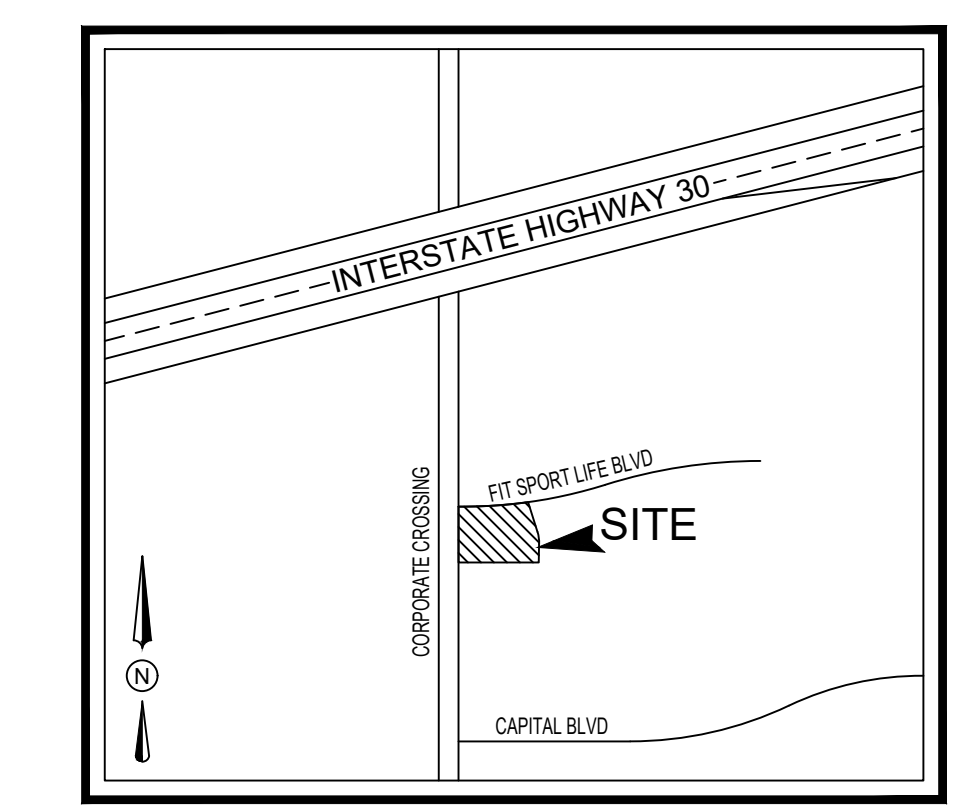


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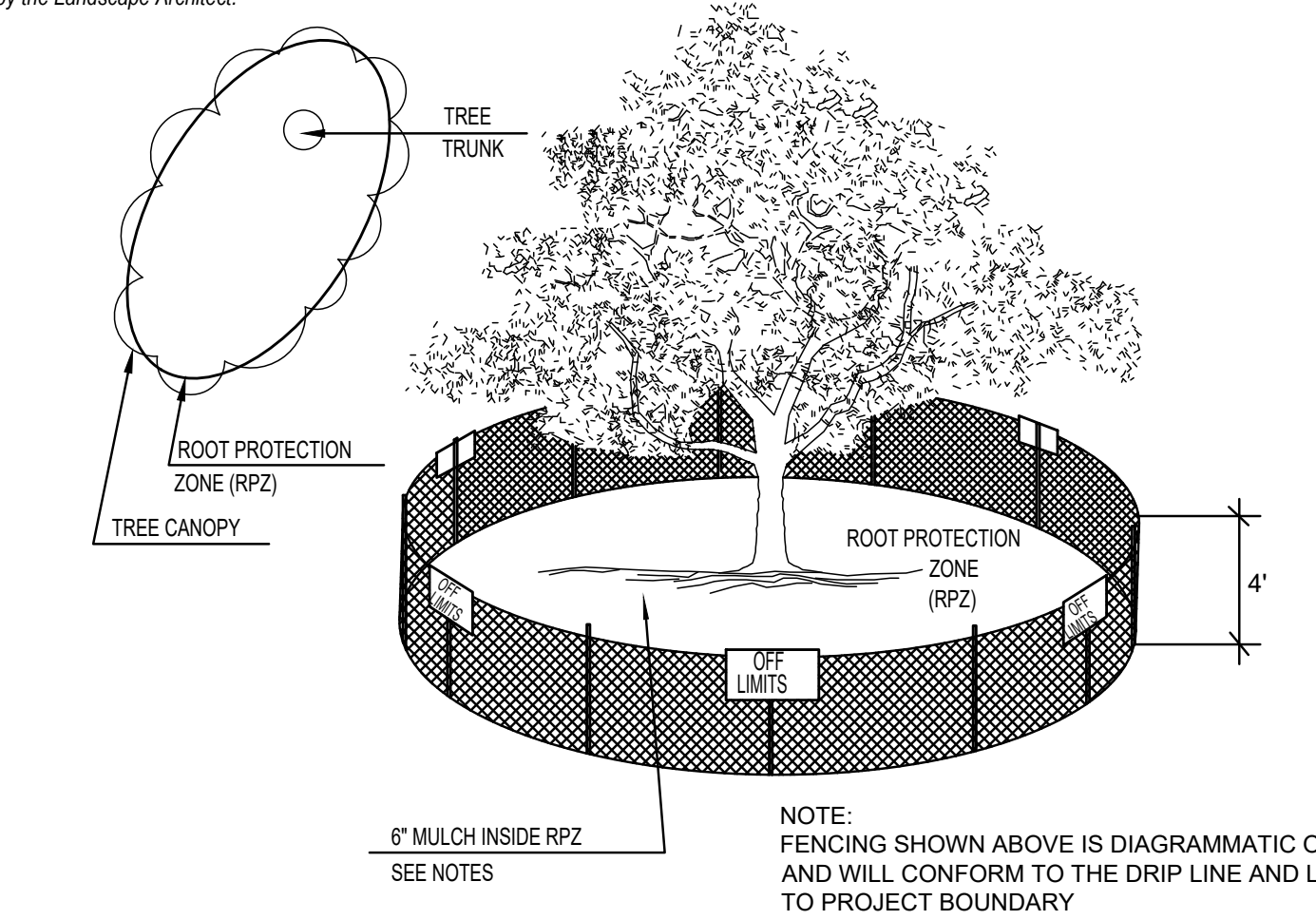
**7- ELEVEN AT CORPORATE CROSSING**  
FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
ROCKWALL, TEXAS



- EXISTING TREE NOTES**
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
  - If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
  - No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
  - Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
  - Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
  - Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
  - Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
  - Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
  - Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
  - Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
  - Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
  - Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
  - Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
  - Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.



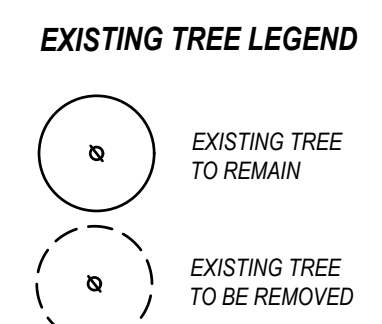
VICINITY MAP  
N.T.S.



01 TREE PROTECTION FENCE A  
NOT TO SCALE

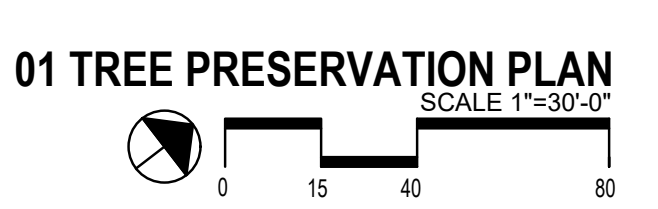
LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
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L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
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L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 26°06'50" E	109.77'

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
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C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'



**TREE SURVEY FIELD DATA**

NO.	SIZE (IN DIA)	SPECIES (COMMON NAME)	PROTECTED/ UNPROTECTED	REMARKS
4301	36	WILLOW	UNPROTECTED	TO REMAIN
4302	6	HACKBERRY	UNPROTECTED	TO REMAIN
4303	6	HACKBERRY	UNPROTECTED	TO REMAIN
4304	12	HACKBERRY	UNPROTECTED	TO REMAIN
4305	7	HACKBERRY	UNPROTECTED	TO REMAIN
4306	16	HACKBERRY	UNPROTECTED	TO REMAIN
4307	12	HACKBERRY	UNPROTECTED	TO REMAIN
4308	7	HACKBERRY	UNPROTECTED	TO REMAIN
4309	7	HACKBERRY	UNPROTECTED	TO REMAIN
4310	6	CEDAR	UNPROTECTED	TO BE REMOVED
4311	7	HACKBERRY	UNPROTECTED	TO REMAIN
4312	14	HACKBERRY	UNPROTECTED	TO REMAIN
4313	6	HACKBERRY	UNPROTECTED	TO REMAIN
4314	8	HACKBERRY	UNPROTECTED	TO REMAIN
4315	14	HACKBERRY	UNPROTECTED	TO REMAIN
4316	14	HACKBERRY	UNPROTECTED	TO REMAIN



PROJECT CONTACT LIST	
<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-531-8566	<b>DEVELOPER</b> SCHAEFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schaferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KELTY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com	

**ISSUE:**  
FOR APPROVAL 03.14.2023

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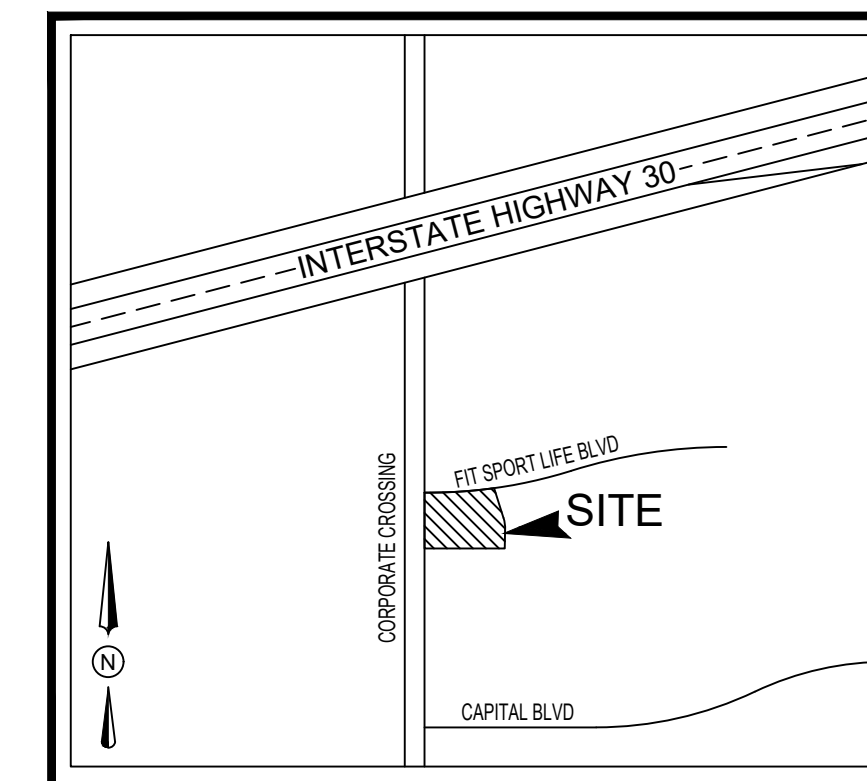
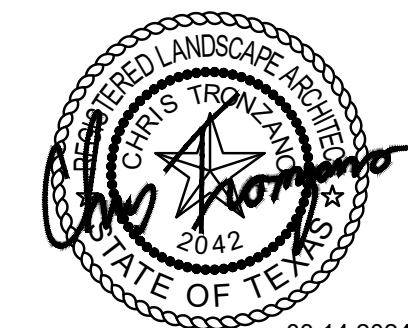
**DATE:**  
03.14.2024

**SHEET NAME:**  
LANDSCAPE PLAN

**SHEET NUMBER:**  
**L.1**



LANDSCAPE ARCHITECT  
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CHRIS@STUDIOGREENSPOT.COM



VICINITY MAP  
N.T.S.

**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

>Provide impervious area vs. landscaped area.  
>Provide a note indicating that irrigation will meet the requirements of the UDC.

Required 6,371 s.f. (50%) Provided 30,744 s.f. (100+%)

**STREET REQUIREMENTS**

Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4" ht. per 100 l.f. of frontage. Perimeter screening (30" height berm and 30" ht. evergreen shrubs.)

**FIT SPORT LIFE BLVD. (249 l.f.)**

Required (5) canopy trees (10) accent trees 30" ht. berm 30" ht. evergreen shrubs	Provided (5) canopy trees (10) accent trees 30" ht. berm 30" ht. evergreen shrubs
---	---

**CORPORATE CROSSING (262 l.f.)**

Required (5) canopy trees (11) accent trees 30" ht. berm 30" ht. evergreen shrubs	Provided (5) canopy trees (11) accent trees 30" ht. berm 30" ht. evergreen shrubs
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**PARKING LOT REQUIREMENTS (32 spaces)**

Requirements: (1) canopy tree, 4" cal. per 10 parking spaces

Required (4) canopy trees	Provided (4) canopy trees
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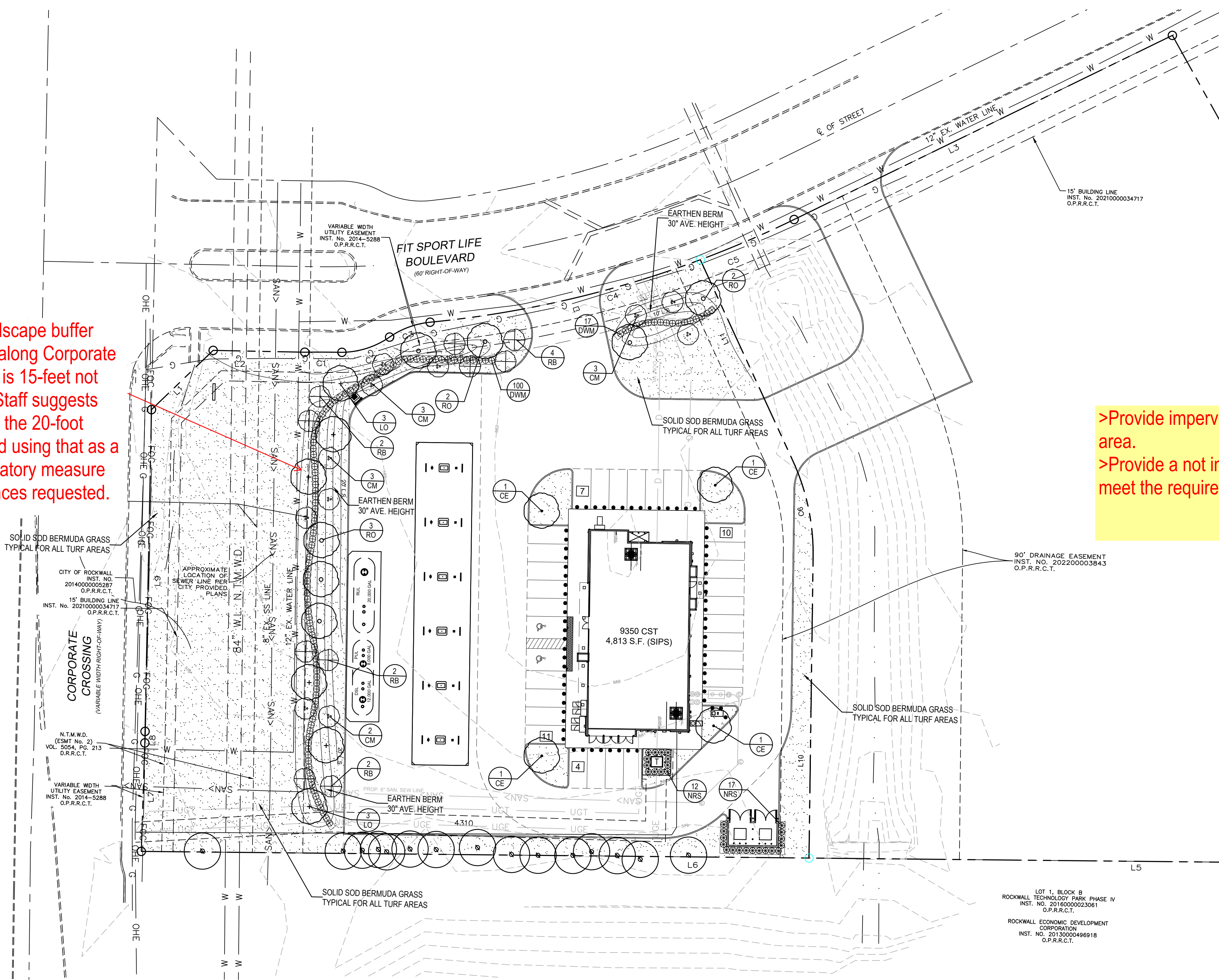
**GENERAL LAWN NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

**SOLID SOD NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

The Landscape buffer required along Corporate Crossing is 15-foot not 20-feet. Staff suggests providing the 20-foot buffer and using that as a compensatory measure for variances requested.



LOT 1, BLOCK B  
ROCKWALL TECHNOLOGY PARK PHASE IV  
INST. NO. 2016000023061  
O.P.R.R.C.T.

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION  
INST. NO. 201300046918  
O.P.R.R.C.T.

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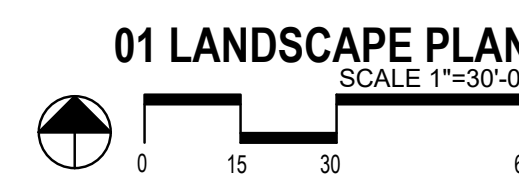
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Crepe Myrtles are not an approved accent tree. Please replace with an approved tree.

**PLANT MATERIAL SCHEDULE**

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	4	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	B&B, 12' ht., 5' spread, 6' clear straight trunk
LO	6	Live Oak	<i>Quercus laevis</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
RO	7	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
CM	11	Crepe Myrtle	<i>Lagerstromia indica</i>	2" cal.	container, 8' ht., 4' spread, tree form
RB	10	Red Bud	<i>Cercis canadensis</i>	2" cal.	container, 8' ht., 4' spread, tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DWM	117	Dwarf Wax Myrtle	<i>Myrica pusilla</i>	7 gal.	container, 36" ht., 30" spread
NRS	29	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 30" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon</i> '419'		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



PROJECT CONTACT LIST	
<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-531-8566	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KELTY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com	

7-ELEVEN AT CORPORATE CROSSING  
FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
ROCKWALL, TEXAS

ISSUE:  
FOR APPROVAL 03.14.2024

DATE:  
03.14.2024

SHEET NAME:  
LANDSCAPE PLAN

SHEET NUMBER:

L.2



LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
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03.14.2024

**SECTION 02900 - LANDSCAPE**

**PART 1 - GENERAL**

**1.1 REFERENCED DOCUMENTS**

Refer to bidding requirements, special provisions, and schedules for additional requirements.

**1.2 DESCRIPTION OF WORK**

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

**1.3 REFERENCE STANDARDS**

- American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- Texas Association of Nurserymen, Grades and Standards.
- Hortis Third, 1976 - Cornell University

**1.4 NOTIFICATION OF SOURCES AND SUBMITTALS**

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

**JOB CONDITIONS**

- General Contractor to complete the following punch list. Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

**1.5 MAINTENANCE AND GUARANTEE**

- Maintenance:
  - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
  - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
  - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
  - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

**B. Guarantee:**

- Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
  - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
  - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
  - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

**1.7 QUALITY ASSURANCE**

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:

- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
- Landscape Architect will provide a key identifying each tree location on plan. Written verification will be required to document material selection, source and delivery schedules to site.
- Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
- Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
- Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Damaged plants in transit or at job site shall be rejected.

**1.8 PRODUCT DELIVERY, STORAGE AND HANDLING**

- Preparation:
  - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
  - Container Grow Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

**A. Delivery:**

- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
- Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
- Remove rejected plant material immediately from site.
- To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

**PART 2 - PRODUCTS**

**2.1 PLANTS**

- General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be replaced at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Nomenclature conforms to the customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

**2.2 SOIL PREPARATION MATERIALS**

- Sandy Loam:
  - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallisgrass or Nutgrass shall be rejected.
  - Physical properties as follows:
    - Clay - between 7-27 percent
    - Silt - between 15-25 percent
    - Sand - less than 52 percent
  - Organic matter shall be 3%-10% of total dry weight.
  - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: FertiLid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

**2.3 MISCELLANEOUS MATERIALS**

- Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- Staking Material for Shade Trees:
  - Post: Studed T-Post, #1 Armo with anchor plate, 6'-0" length, paint green.
  - Wire: 12 gauge, single strand, galvanized wire.
  - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Miraf 140N by Celanese Fibers Marketing Company, available at Lofland Co., (214) 631-5250 or approved equal.

**PART 3 - EXECUTION**

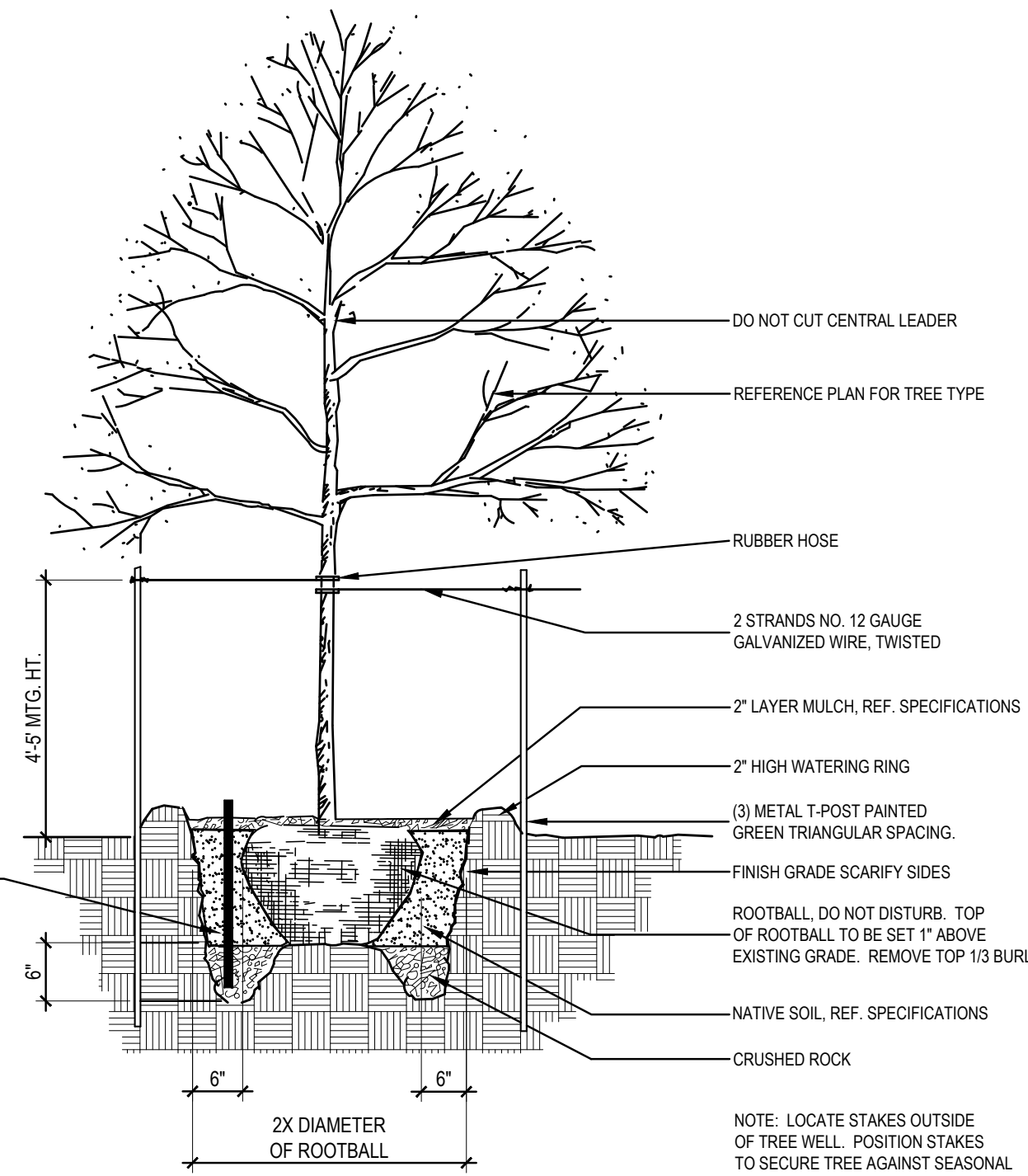
**3.1 BED PREPARATION & FERTILIZATION**

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
  - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
  - All planting areas shall receive a two (2") inch layer of specified mulch.
  - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- Grass Areas:
  - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
  - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

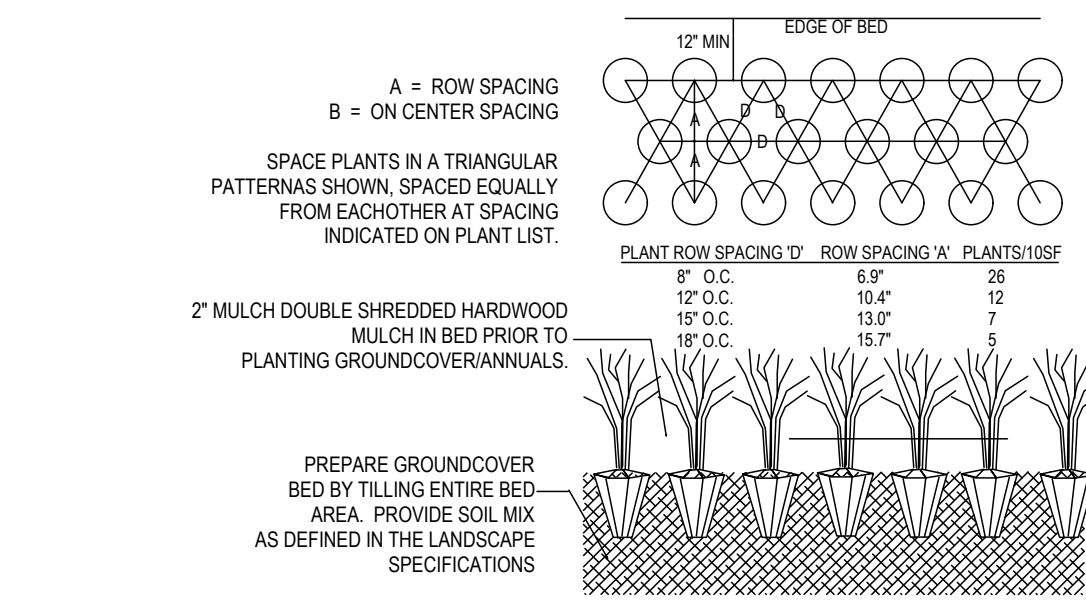
**3.2 INSTALLATION**

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
  - Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
  - Position the trees and shrubs in their intended location as per plan.
  - Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
  - Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- 3.3 CLEANUP AND ACCEPTANCE**
- Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

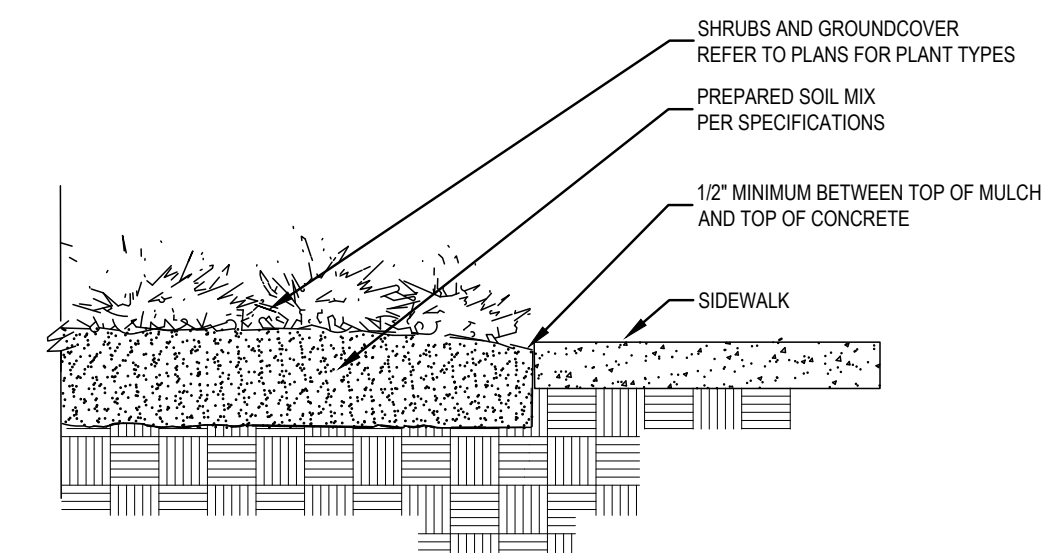
END OF SECTION



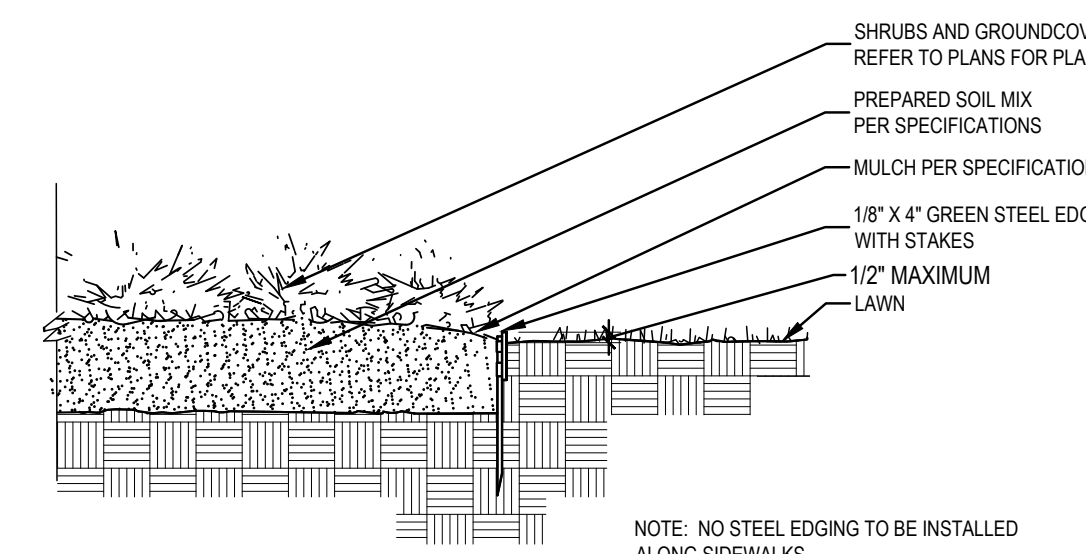
**01 TREE PLANTING DETAIL**  
NOT TO SCALE



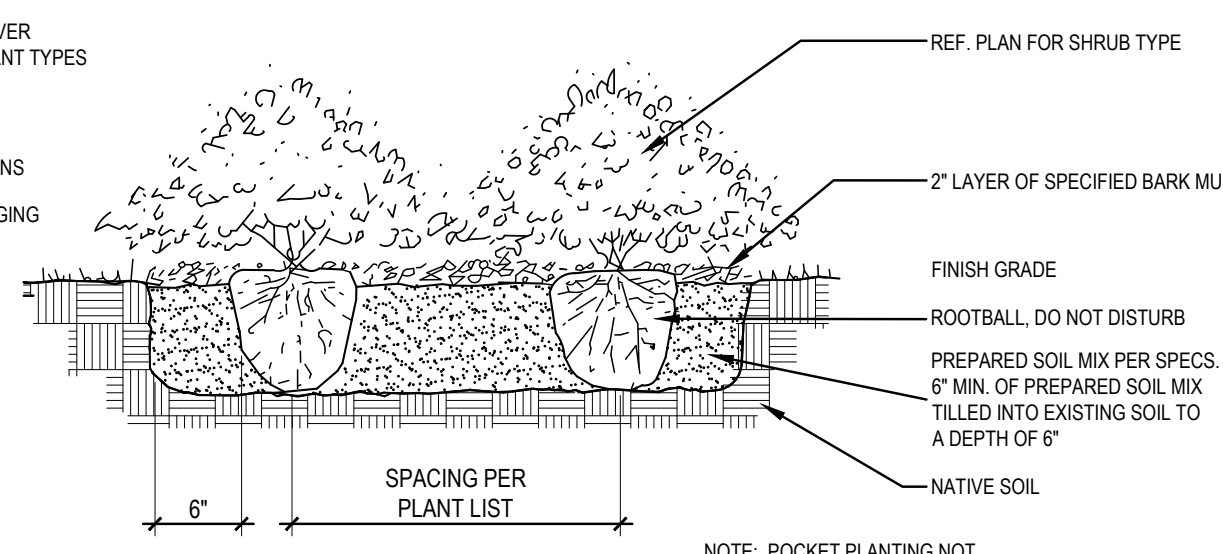
**02 GROUNDCOVER PLANTING DETAIL**  
NOT TO SCALE



**03 SIDEWALK / MULCH DETAIL**  
no steel along sidewalks  
NOT TO SCALE



**04 STEEL EDGING DETAIL**  
NOT TO SCALE



**05 SHRUB PLANTING DETAIL**  
NOT TO SCALE

PROJECT CONTACT LIST	
<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	<b>DEVELOPER</b> SCHAFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconstr.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD. STE 2387 PHOENIX, ARIZONA 85016 CONOR KELLY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com	

ISSUE:  
FOR APPROVAL 03.14.2024

DATE:  
03.14.2024

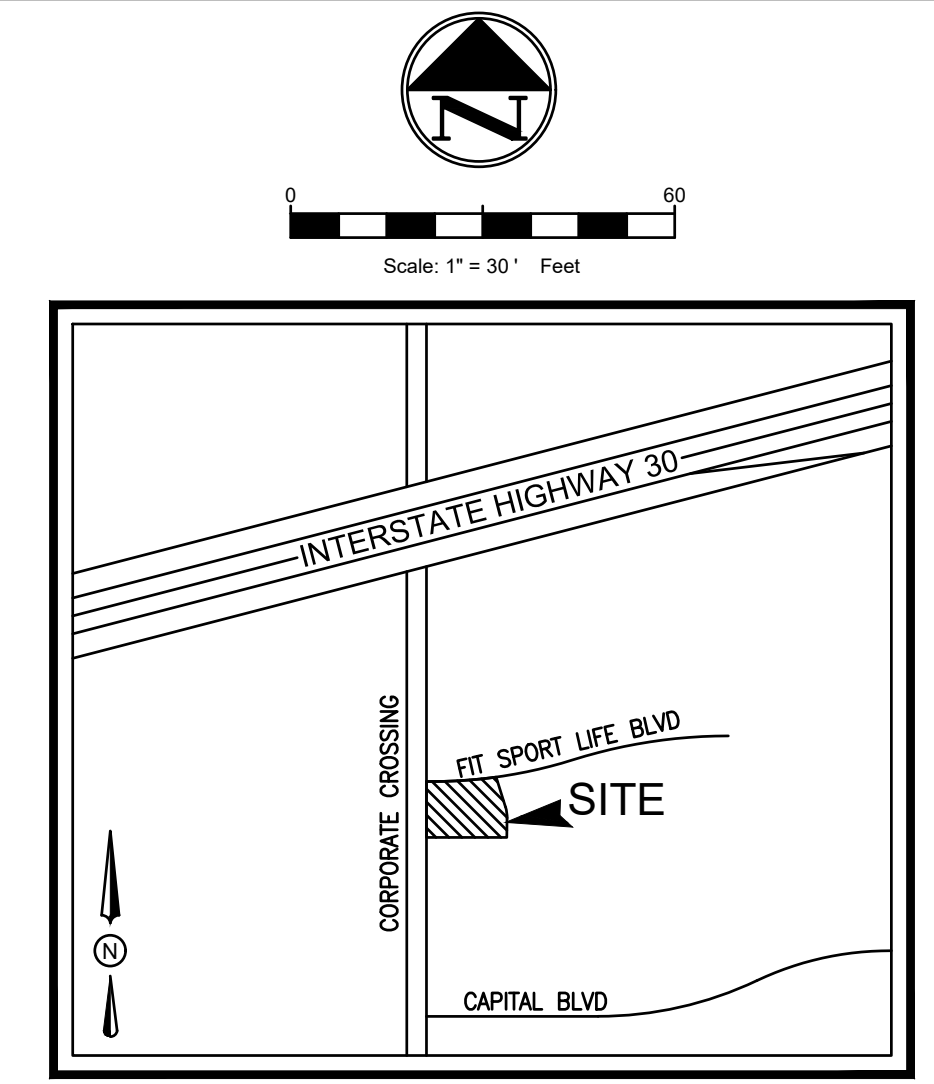
SHEET NAME:  
LANDSCAPE SPECIFICATIONS

SHEET NUMBER:

L.3

7- ELEVEN AT CORPORATE CROSSING

FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
ROCKWALL, TEXAS



VICINITY MAP  
N.T.S.

>The allowable maximum light intensity measured at the property line of a non-residential property is 0.2 FC of one footcandle.  
 >Under canopy lighting shall not exceed 35 FC.  
 >The maximum outdoor maintained computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site with the exception of the under canopy lighting as mentioned earlier.  
 >The maximum mounting height for lighting shall be 20 feet in the FM-549 Overlay District  
 >Any unshielded light sources shall have a maximum wattage of 15 W.

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 26°06'50" E	109.77'

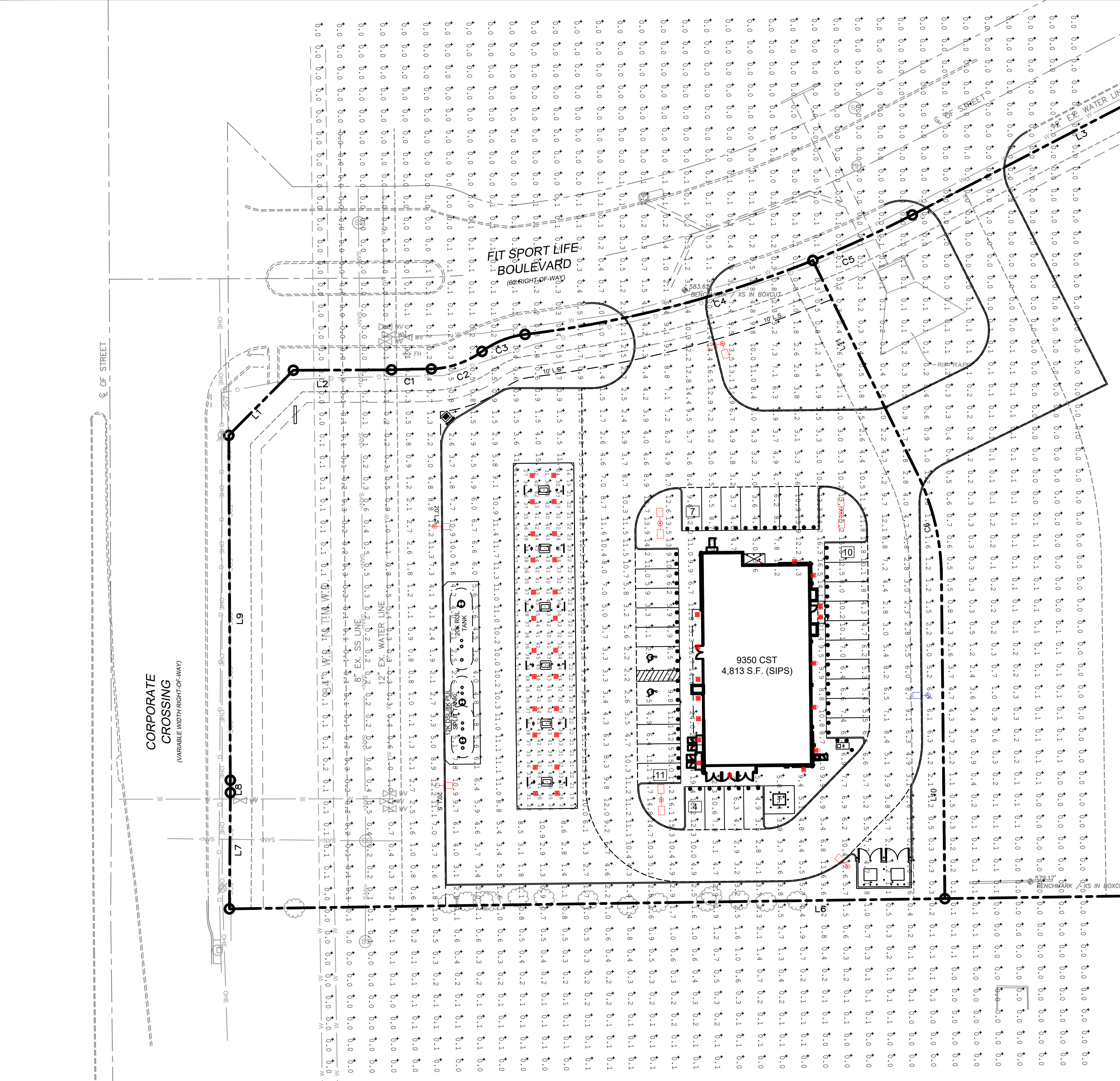
BOUNDARY CURVE DATA					
CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

LOT 5, BLOCK B  
INST. NO. 20220003843  
G.P.R.C.T.

STRUCTURED REA - FSL  
ROCKWALL, LLC  
INST. NO. 20220005792  
G.P.R.C.T.

LOT 1, BLOCK B  
ROCKWALL TECHNOLOGY PARK PHASE IV  
INST. NO. 2016000023061  
G.P.R.C.T.

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION  
INST. NO. 2013000496918  
G.P.R.C.T.



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
[Symbol]	8	CPY-F-4L	Single	1.000	4590	31	CPY250-C-4L-57K7-F-UL-DM-WH-HZ
[Symbol]	24	CPY-F-8L	Single	1.000	8475	53	CPY250-C-8L-57K7-F-UL-DM-WH-HZ
[Symbol]	3	XSPLG-3ME	SINGLE	1.000	23800	184	XSPLG-D-HT-3ME-24L-57K7-UL-BZ-N
[Symbol]	1	XSPLG-4ME	Single	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	1	XSPLG-4ME-2	2 @ 90°	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	3	XSPLG-4ME-2(180)	2 @ 180°	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	8	XSPW	WALL MOUNT	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-BZ

Calculation Summary (Footcandles calculated using LMF: 1.00)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	2.20	26.2	0.0	N.A.	N.A.
GAS CANOPY	Fc	32.73	45	14	2.34	3.21
PAVED AREA	Fc	6.28	17.2	1.3	4.83	13.23

**Pole Schedule**  
 (8) SSS-4-11-17-CW-BS-OT-N-BZ (17' X 4" X 11ga STEEL SQUARE POLE)  
 Proposed poles meet 140 MPH sustained winds.

**Additional Equipment:**  
 (4) PD-1H4 (Single Head Tenon)  
 (1) PD-2H4(90) (Twin Head Tenon @ 90°)  
 (3) PD-2H4(180) (Twin Head Tenon @ 180°)

**Lighting Requirements:**  
 Paved Area: 1.0fc minimum  
 Gas Canopy: 30-50fc

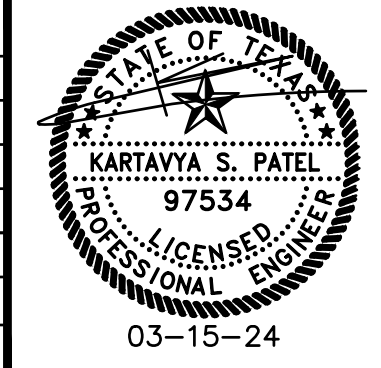
\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	09/07/23	1st SITE PLAN	EB
2	10/13/23	35' WIDE DRIVEWAYS	EB
3	11/08/23	2nd SITE PLAN	EB
4	02/19/24	REVISED DUMPSTER PAD	EB
5	03-15-24	SITE PLAN SUBMITTAL	JA



**PHOTOMETRIC PLAN**  
**7-ELEVEN**  
 CORPORATE CROSSING AND FIT SPORT LIFE BLVD  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS 75032  
 FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

**TRIANGLE ENGINEERING LLC**  
 T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
 W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE BAR	125-23	C-3.5

TX. P.E. FIRM #11525

CASE NO:



**FLOOD PLAIN NOTE**  
 NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48397C0045L, DATED SEPTEMBER 26, 2008. THE SUBJECT PROPERTY IS LOCATED IN THE AREA DESIGNATED AS ZONE "X". (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

**KEYED NOTES**

- PROP. 6" BOLLARDS WITH 4.5' SP
- PROP. 5'X10' PROPANE TANK
- 3' WIDE ADA DETECTABLE SURFACE ICE MERCHANDISER
- PROP. DOOR. REFER TO ARCH PLAN
- BUILDING TRANSFORMER
- PROP. CO2 CAGE AND NITROGEN
- PROP. DUMPSTER ENCLOSURE WITH MASONRY SCREENING WALLS AND REFER TO ARCH PLANS FOR DETAILS
- PROP. OVERHEAD CANOPY WITH 6 IN DISPENSERS (REFER TO FUEL PLAN)
- PROP. UNDERGROUND STORAGE FUEL PLANS FOR DETAILS
- EX. FIRE HYDRANT
- EX. SIDEWALK
- EX. RAMPS
- EX. CURB INLET TO BE REMOVED
- 15'X15' VISIBILITY TRIANGLE
- 30'X30' VISIBILITY TRIANGLE
- PROP. FUEL VENT
- PROP. AIR VAC
- PROP. MONUMENT SIGN

- General Items:**
- Must meet City 2023 Standards of Design and Construction
  - 4% Engineering Inspection Fees
  - Impact Fees (Water, Sewer, Roadway).
  - Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
  - Retaining walls 3' and over must be engineered.
  - All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
  - No signage is allowed within easements or ROW.
  - Tree mitigation will be required for the removal of any existing trees on site. No structures or fences with easements.
  - The site will need to be platted.
  - All utilities must be underground.
  - Additional comments may be provided at the time of Engineering review.
- Drainage Items:**
- Detention will need to be provided per the drainage study.
  - Existing flow patterns must be maintained. The site must drain to the existing headwall at Corporate Crossing.
  - No vertical walls allowed in existing drainage easements.
  - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
  - No grate inlets allowed
  - 100-year WSEL must be called out for the existing detention ponds and existing drainage swale.
  - FFE for all buildings must be called out when adjacent to a detention pond or drainage swale. Minimum 2' above 100-year WSEL.
  - Dumpster areas and area under gas canopy is required to drain to an oil/water separator and then into the storm system.
- Water and Wastewater Items:**
- Public sewer to be 8" minimum.
  - Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
  - There is an existing 8" sewer main on the other side of Fit Sport Life Blvd available for use.
  - Any utility connection made underneath an existing roadway must be completed by dry bore. Opening cutting will not be allowed unless public utility is under paving.
  - Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
  - There is an existing 12" water main along Fit Sport Life Blvd available for use.
  - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
  - Min 20' utility easements.
  - Water to be 10' separated from storm and sewer lines.
  - All public utilities must be centered in easement.
- Roadway Paving Items:**
- Must meet City driveway spacing requirements.
  - All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed)
  - All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
  - No dead-end parking allowed without an City approved turnaround.
  - Drive aisles to be 24' wide.
  - Fire lane (if needed) to be 24' wide and in a platted easement.
  - Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
  - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Flood study must be followed.

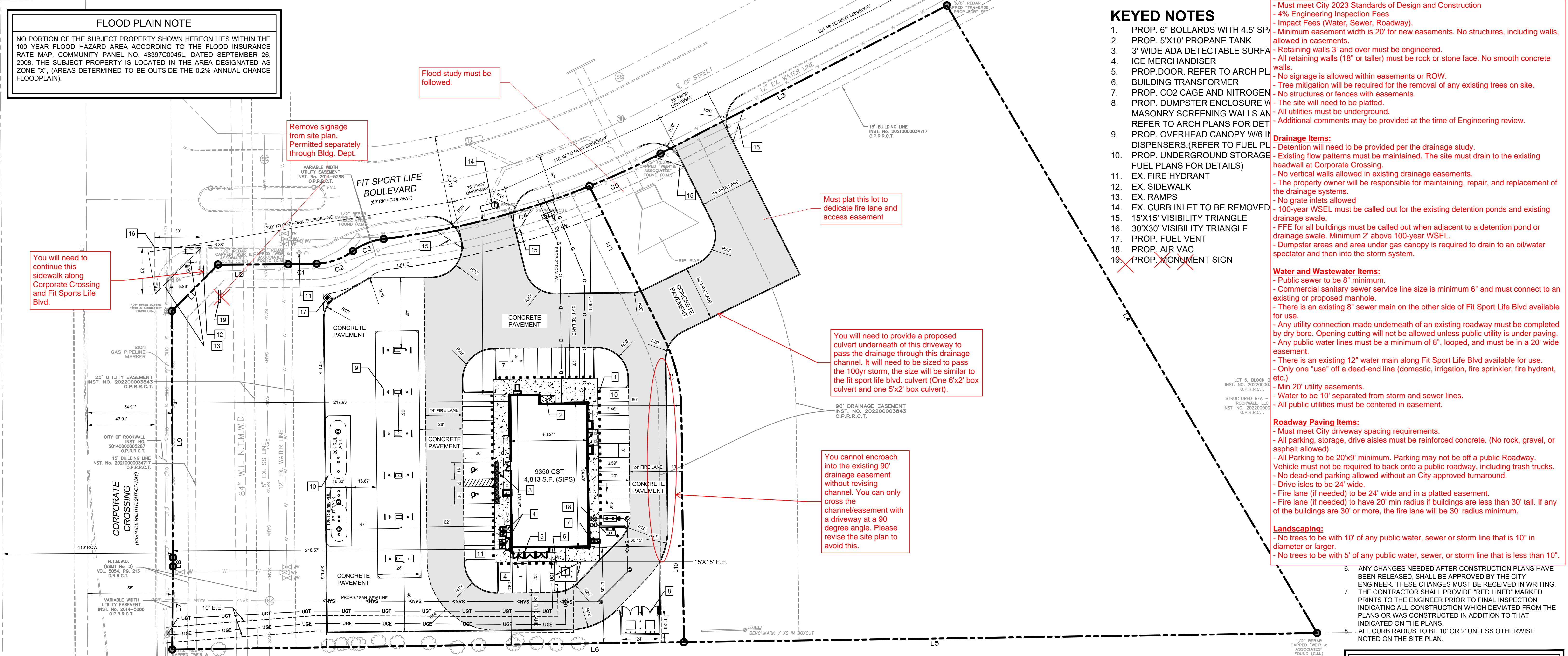
Remove signage from site plan. Permitted separately through Bldg. Dept.

Must plat this lot to dedicate fire lane and access easement

You will need to provide a proposed culvert underneath this driveway to pass the drainage through this drainage channel. It will need to be sized to pass the 100yr storm, the size will be similar to the fit sport life blvd. culvert (One 6'x2' box culvert and one 5'x2' box culvert).

You cannot encroach into the existing 90' drainage easement without revising channel. You can only cross the channel/easement with a driveway at a 90 degree angle. Please revise the site plan to avoid this.

You will need to continue this sidewalk along Corporate Crossing and Fit Sports Life Blvd.



**EXISTING LEGEND**

BOUNDARY LINE	CHAIN LINK FENCE
ADJACENT BOUNDARY LINE	METAL FENCE POST
EASEMENT LINE (AS NOTED)	IRRIGATION CONTROL VALVE
WATER LINE	SEWER CLEAN OUT
SANITARY SEWER LINE	TRANSFORMER
STORM DRAIN LINE (AS NOTED)	ELECTRIC BOX
OVERHEAD ELECTRIC LINE	ELECTRIC METER
SET IRON ROD (AS NOTED)	TELEPHONE SIGNAL BOX
FOUND IRON ROD (AS NOTED)	TRAFFIC SIGNAL LIGHT
"X" CUT FOUND	GAS MARKER
"X" CUT SET	GAS METER
SANITARY SEWER MAN HOLE	AIR CONDITIONER UNIT
CABLE VAULT	
UTILITY VAULT	
FIBER OPTIC MARKER	
WATER VALVE	
TRAFFIC SIGN	
STORM MAN HOLE	
LIGHT POLE	
POWER POLE	
BENCH MARK	
CONTROL MONUMENT	
O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS	
D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS	
P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS	

**SITE LEGEND**

CONCRETE CURB	SAW-CUT LINE
FENCE	
FIRE LANE	
STRIPING	
PARKING SPACES	
MONUMENT/PYLON SIGN	
WHEEL STOPS	
HANDICAP LOGO	
HANDICAP SIGN	
RAMP	
BOLLARD	
TRAFFIC ARROW	
FIRE HYDRANT	
DUMPSTER	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
SANITARY SEWER DOUBLE CLEANOUT	
SANITARY SEWER SAMPLE PORT	
GREASE TRAP	
DOMESTIC WATER METER	
IRRIGATION METER	
GAS METER	
TRANSFORMER	
LIGHT POLE	
POWER POLE	
UNDERGROUND TELEPHONE LINE	
UNDERGROUND ELECTRIC LINE	
GAS LINE	
SANITARY SEWER LINE	
WATER MAIN	
DOMESTIC WATER LINE	

**BOUNDARY LINE DATA**

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C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

**SITE DATA SUMMARY TABLE**

SITE ACREAGE:	1.95 AC (84,939 S.F.)
ZONING:	C-COMMERCIAL WITH OVERLAY DISTRICT
PROPOSED USE:	FUELING STATION WITH CONVENIENCE STORE
BUILDING AREA:	4,813 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	30'-0"
BUILDING COVERAGE:	5.67%
FLOOR AREA RATIO:	0.06
IMPERVIOUS AREA:	46,244 S.F. (54.4%)
PERVIOUS/LANDSCAPE AREA:	38,695 S.F. (45.6%)
REGULAR PARKING REQUIRED:	20 SPACES
1 SP PER 250 S.F.	
REGULAR PARKING PROVIDED:	30 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	32 SPACES

**WATER METER & SANITARY SEWER SCHEDULE**

ID	TYPE	SIZE	NO.
1	DOMESTIC	2"	1
2	IRRIGATION	1"	1
3	SANITARY SEWER	6"	1

**EASEMENT/SETBACK LEGEND**

BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_, 20\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING & ZONING \_\_\_\_\_

NO.	DATE	DESCRIPTION	BY
1	09/07/23	1st SITE PLAN	EB
2	10/13/23	35' WIDE DRIVEWAYS	EB
3	11/08/23	2nd SITE PLAN	EB
4	02/19/24	REVISED DUMPSTER PAD	EB
5	03-15-24	SITE PLAN SUBMITTAL	JA

**PROJECT CONTACT LIST**

<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	<b>DEVELOPER</b> SCHAFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REAR-ROCKWALL LAND LLC 3104 E. CAMELBACK RD. STE 2387 PHOENIX, ARIZONA 85016 CONOR KEILTY PHONE: 480-856-8808 EMAIL: conor@structuredrea.com	

**SITE PLAN**  
**7-ELEVEN AT CORPORATE CROSSING**  
 CORPORATE CROSSING AND FIT SPORT LIFE BLVD  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS 75032  
 FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
 W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE BAR	125-23	C-3.0

TX. P.E. FIRM #11525

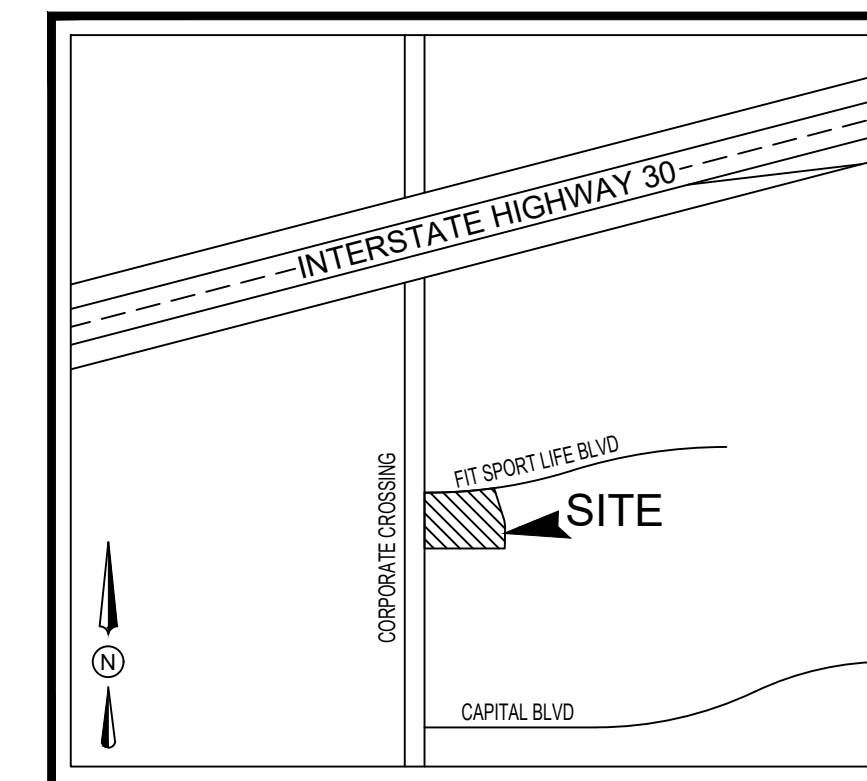
CASE NO:



LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRIS@STUDIOGREENSPOT.COM



03.14.2024



VICINITY MAP  
N.T.S.

**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

**LANDSCAPE TABULATIONS:**  
I-30 Overlay / Commercial zoning

SITE REQUIREMENTS (site area 84,936 s.f.)  
Requirements: 20% site area to be landscaped

Required	Provided
12,741 s.f. (15%)	36,649 s.f. (43%)

FRONT YARD REQUIREMENTS  
Requirements: 50% of required landscape must be located in front yard

Required	Provided
6,371 s.f. (50%)	30,744 s.f. (100+%)

STREET REQUIREMENTS  
Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4" ht. per 100 l.f. of frontage. Perimeter screening (30" height berm and 30" ht. evergreen shrubs.)

FIT SPORT LIFE BLVD. (249 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(10) accent trees	(10) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

CORPORATE CROSSING (262 l.f.)

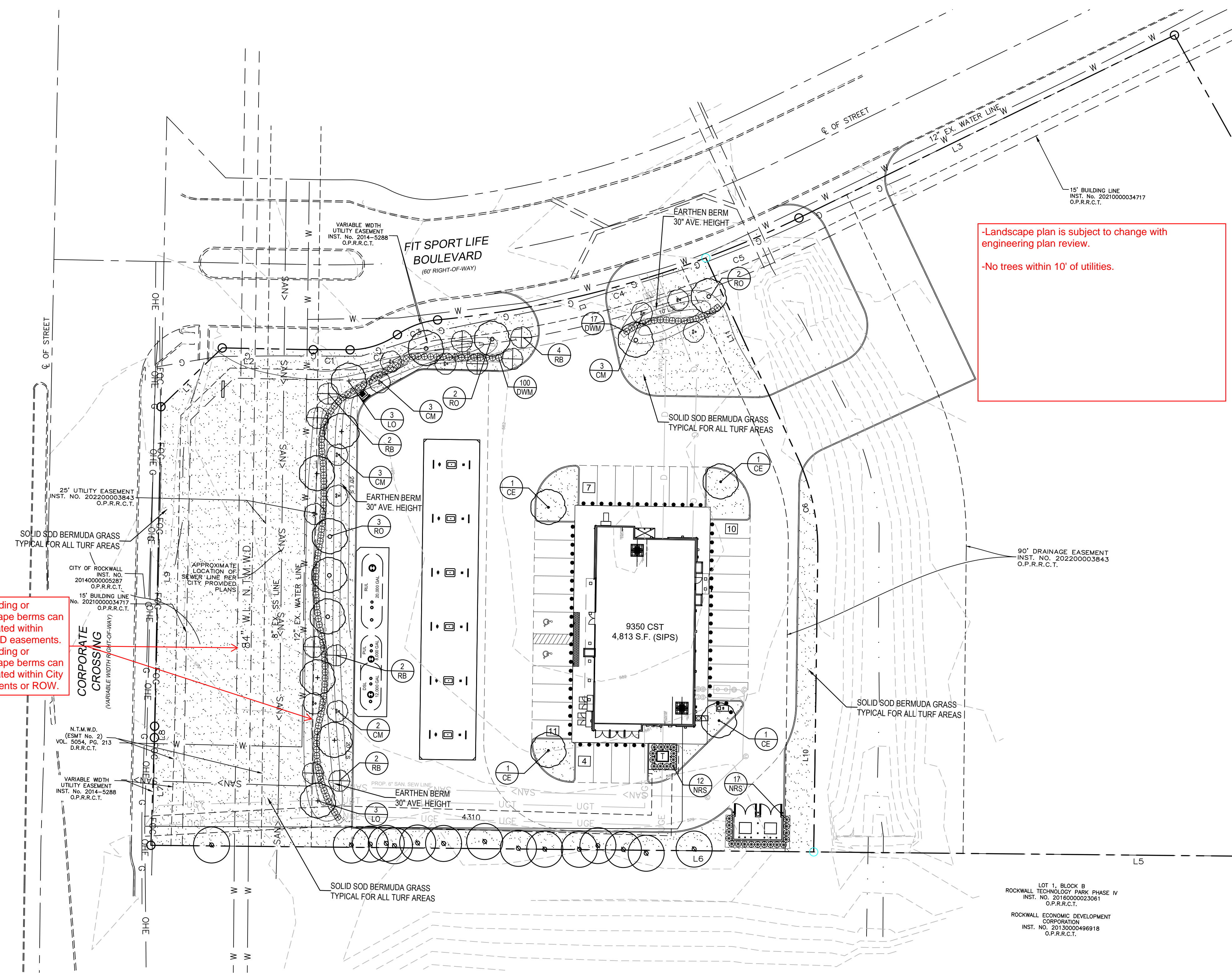
Required	Provided
(5) canopy trees	(5) canopy trees
(11) accent trees	(11) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

PARKING LOT REQUIREMENTS (32 spaces)  
Requirements: (1) canopy tree, 4" cal. per 10 parking spaces

Required	Provided
(4) canopy trees	(4) canopy trees

-Landscape plan is subject to change with engineering plan review.  
-No trees within 10' of utilities.

No grading or landscape berms can be located within NTMWD easements.  
No grading or landscape berms can be located within City easements or ROW.



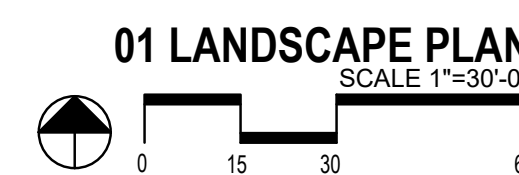
LINE NO.	BEARING	DISTANCE
L1	N 44°45'06\"/>	
L2	N 89°45'06\"/>	
L3	N 62°39'05\"/>	
L4	S 30°31'32\"/>	
L5	S 89°10'38\"/>	
L6	S 89°10'38\"/>	
L7	N 00°28'18\"/>	
L8	N 00°17'15\"/>	
L9	N 00°14'54\"/>	
L10	S 00°36'39\"/>	
L11	S 26°06'50\"/>	

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07\"/>		
C2	42.50'	25.17'	33°55'38\"/>		
C3	42.50'	21.64'	29°10'40\"/>		
C4	530'	137.98'	14°55'00\"/>		
C5	530'	50.67'	5°28'40\"/>		
C6	110'	48.96'	25°30'11\"/>		

**PLANT MATERIAL SCHEDULE**

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	4	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	B&B, 12' ht., 5' spread, 6' clear straight trunk
LO	6	Live Oak	<i>Quercus laevis</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
RO	7	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
CM	11	Crape Myrtle	<i>Lagerstromia indica</i>	2" cal.	container, 8' ht., 4' spread, tree form
RB	10	Red Bud	<i>Cercis canadensis</i>	2" cal.	container, 8' ht., 4' spread, tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DWM	117	Dwarf Wax Myrtle	<i>Myrica pusilla</i>	7 gal.	container, 36" ht., 30" spread
NRS	29	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 30" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon</i> '419'		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



01 LANDSCAPE PLAN  
SCALE: 1"=30'-0"

PROJECT CONTACT LIST	
<p>ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-531-8566</p>	<p>DEVELOPER SCHAFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com</p>
<p>SURVEYOR TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321</p>	<p>ARCHITECT THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400</p>
<p>OWNER STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KELTY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com</p>	

**7-ELEVEN AT CORPORATE CROSSING**  
 FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
 ROCKWALL, TEXAS

ISSUE:  
FOR APPROVAL 03.14.2024

DATE:  
03.14.2024

SHEET NAME:  
LANDSCAPE PLAN

SHEET NUMBER:

L.2



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **SEC Corporate Crossing & Fit Sport Life Blvd.**

SUBDIVISION **Fit Sport Life Addition**

LOT **6**

BLOCK **B**

GENERAL LOCATION **SEC Corporate Crossing & Fit Sport Life Blvd.**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **C-Commercial**

CURRENT USE **Vacant Lot**

PROPOSED ZONING **N/A**

PROPOSED USE **Fueling Station w/ C-Store**

ACREAGE **1.95**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **STRUCTURED REA- ROCKWALL LAND LLC**

APPLICANT **Triangle Engineering**

CONTACT PERSON **CONOR KEILTY**

CONTACT PERSON **Kartavya (Kevin) Patel**

ADDRESS **3104 E Camelback Road #2387**

ADDRESS **1782 W. McDermott Dr.**

CITY, STATE & ZIP **Phoenix, AZ 85016**

CITY, STATE & ZIP **Allen, TX 75013**

PHONE **480-856-8808**

PHONE **469.331.8566**

E-MAIL **CONORK@STRUCTUREDREA.COM**

E-MAIL **kpatel@triangle-engr.com**

## NOTARY VERIFICATION [REQUIRED]

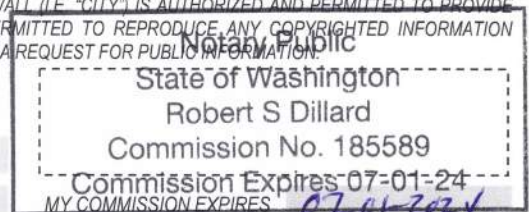
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CONOR KEILTY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF March, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





AG

FIT SPORT LIFE BLVD

C

CORPORATE CROSSING

LI

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

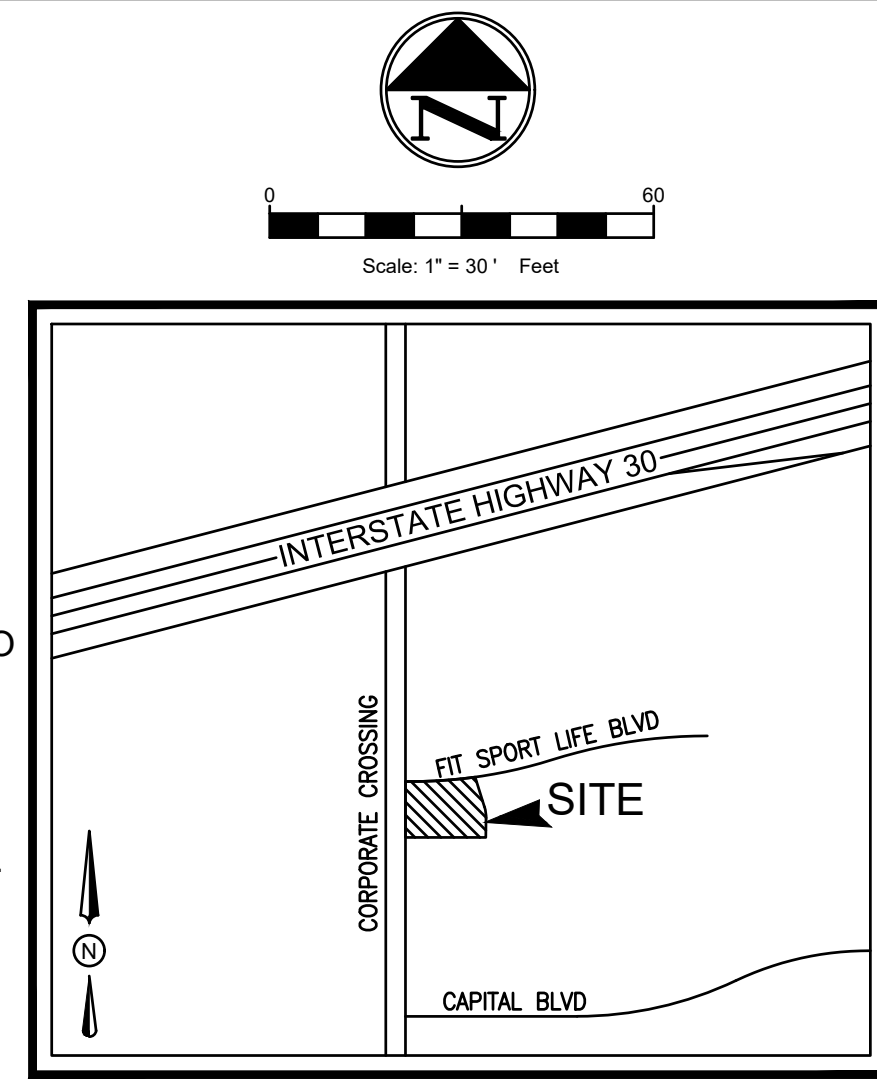


**FLOOD PLAIN NOTE**

NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48397C0045L, DATED SEPTEMBER 26, 2008. THE SUBJECT PROPERTY IS LOCATED IN THE AREA DESIGNATED AS ZONE "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

**KEYED NOTES**

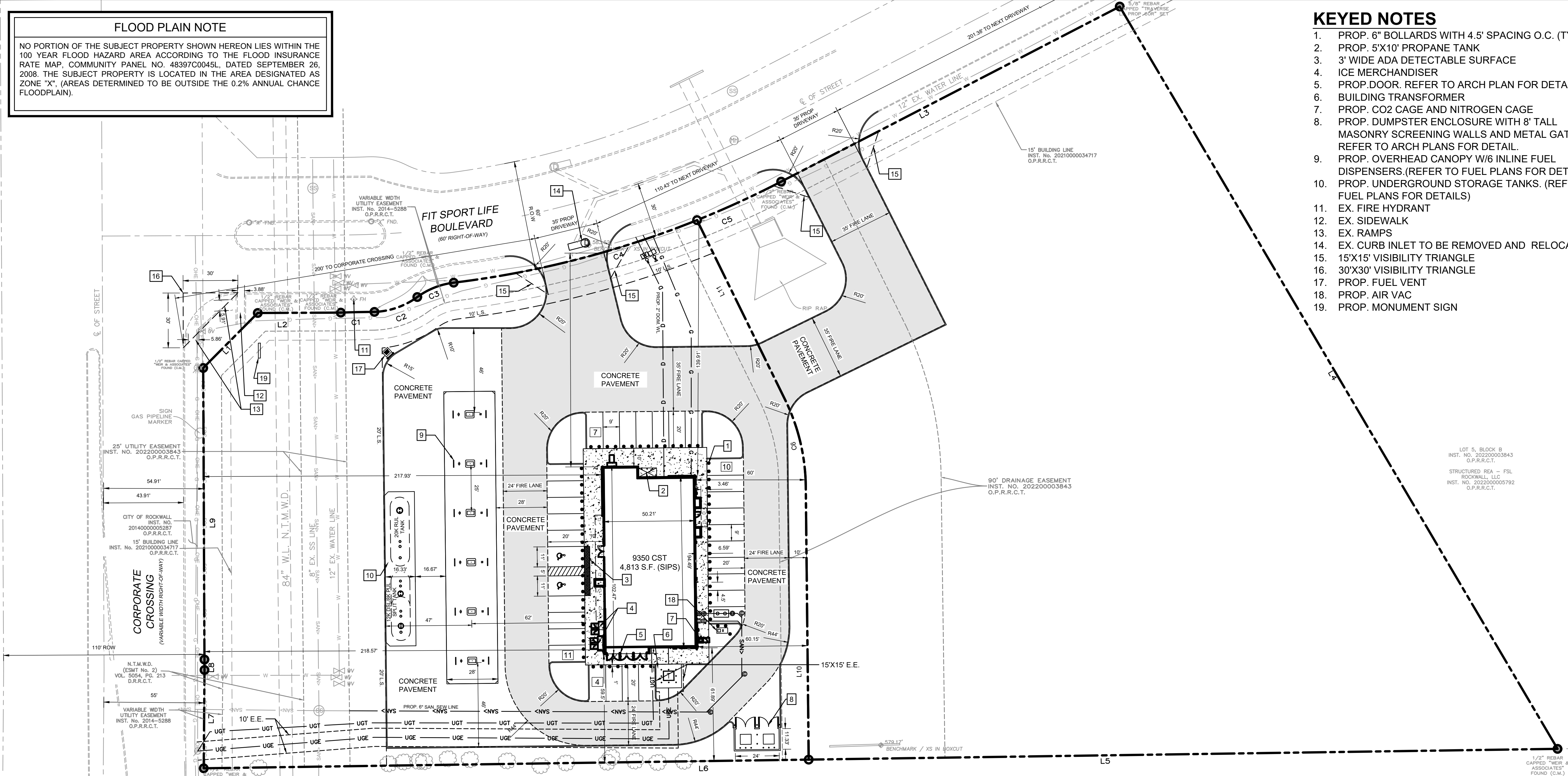
- PROP. 6" BOLLARDS WITH 4.5' SPACING O.C. (TYP.)
- PROP. 5'X10' PROPANE TANK
- 3' WIDE ADA DETECTABLE SURFACE
- ICE MERCHANDISER
- PROP. DOOR. REFER TO ARCH PLAN FOR DETAIL.
- BUILDING TRANSFORMER
- PROP. CO2 CAGE AND NITROGEN CAGE
- PROP. DUMPSTER ENCLOSURE WITH 8' TALL MASONRY SCREENING WALLS AND METAL GATES. REFER TO ARCH PLANS FOR DETAIL.
- PROP. OVERHEAD CANOPY W/6 INLINE FUEL DISPENSERS. (REFER TO FUEL PLANS FOR DETAILS)
- PROP. UNDERGROUND STORAGE TANKS. (REFER TO FUEL PLANS FOR DETAILS)
- EX. FIRE HYDRANT
- EX. SIDEWALK
- EX. RAMPS
- EX. CURB INLET TO BE REMOVED AND RELOCATED.
- 15'X15' VISIBILITY TRIANGLE
- 30'X30' VISIBILITY TRIANGLE
- PROP. FUEL VENT
- PROP. AIR VAC
- PROP. MONUMENT SIGN



VICINITY MAP  
N.T.S.

**SITE GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
- ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.



**SITE LEGEND**

CONCRETE CURB	--- ---
SAW-CUT LINE	---x---
FENCE	---x---
FIRE LANE	--- ---
STRIPING	--- ---
PARKING SPACES	[X]
MONUMENT/PYLON SIGN	[T]
WHEEL STOPS	[W]
HANDICAP LOGO	[H]
HANDICAP SIGN	[S]
RAMP	[R]
BOLLARD	[B]
TRAFFIC ARROW	[A]
FIRE HYDRANT	[F]
DUMPSTER	[D]
SANITARY SEWER MANHOLE	[SM]
SANITARY SEWER CLEANOUT	[SC]
SANITARY SEWER DOUBLE CLEANOUT	[SD]
SANITARY SEWER SAMPLE PORT	[SSP]
GREASE TRAP	[GT]
DOMESTIC WATER METER	[DM]
IRRIGATION METER	[IM]
GAS METER	[GM]
TRANSFORMER	[TR]
LIGHT POLE	[LP]
POWER POLE	[PP]
UNDERGROUND TELEPHONE LINE	---UGT---
UNDERGROUND ELECTRIC LINE	---UGE---
GAS LINE	---G---
SANITARY SEWER LINE	---SAN---
WATER MAIN	---W---
DOMESTIC WATER LINE	---D---

**BOUNDARY LINE DATA**

LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 28°06'50" E	109.77'

**BOUNDARY CURVE DATA**

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

**SITE DATA SUMMARY TABLE**

SITE ACREAGE:	1.95 AC (84,939 S.F.)
ZONING:	C-COMMERCIAL W/ I-30 OVERLAY DISTRICT
PROPOSED USE:	FUELING STATION W/ CONVENIENCE STORE
BUILDING AREA:	4,813 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	30'-0"
BUILDING COVERAGE:	5.67%
FLOOR AREA RATIO:	0.06
IMPERVIOUS AREA:	46,244 S.F. (54.4%)
PERVIOUS/LANDSCAPE AREA:	38,695 S.F. (45.6%)
REGULAR PARKING REQUIRED:	20 SPACES
1 SP PER 250 S.F.	
REGULAR PARKING PROVIDED:	30 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	32 SPACES

**EASEMENT/SETBACK LEGEND**

BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING & ZONING

**PROJECT CONTACT LIST**

<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	<b>DEVELOPER</b> SCHAFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
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**SITE PLAN**

**7-ELEVEN AT CORPORATE CROSSING**  
CORPORATE CROSSING AND FIT SPORT LIFE BLVD

CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS 75032  
FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

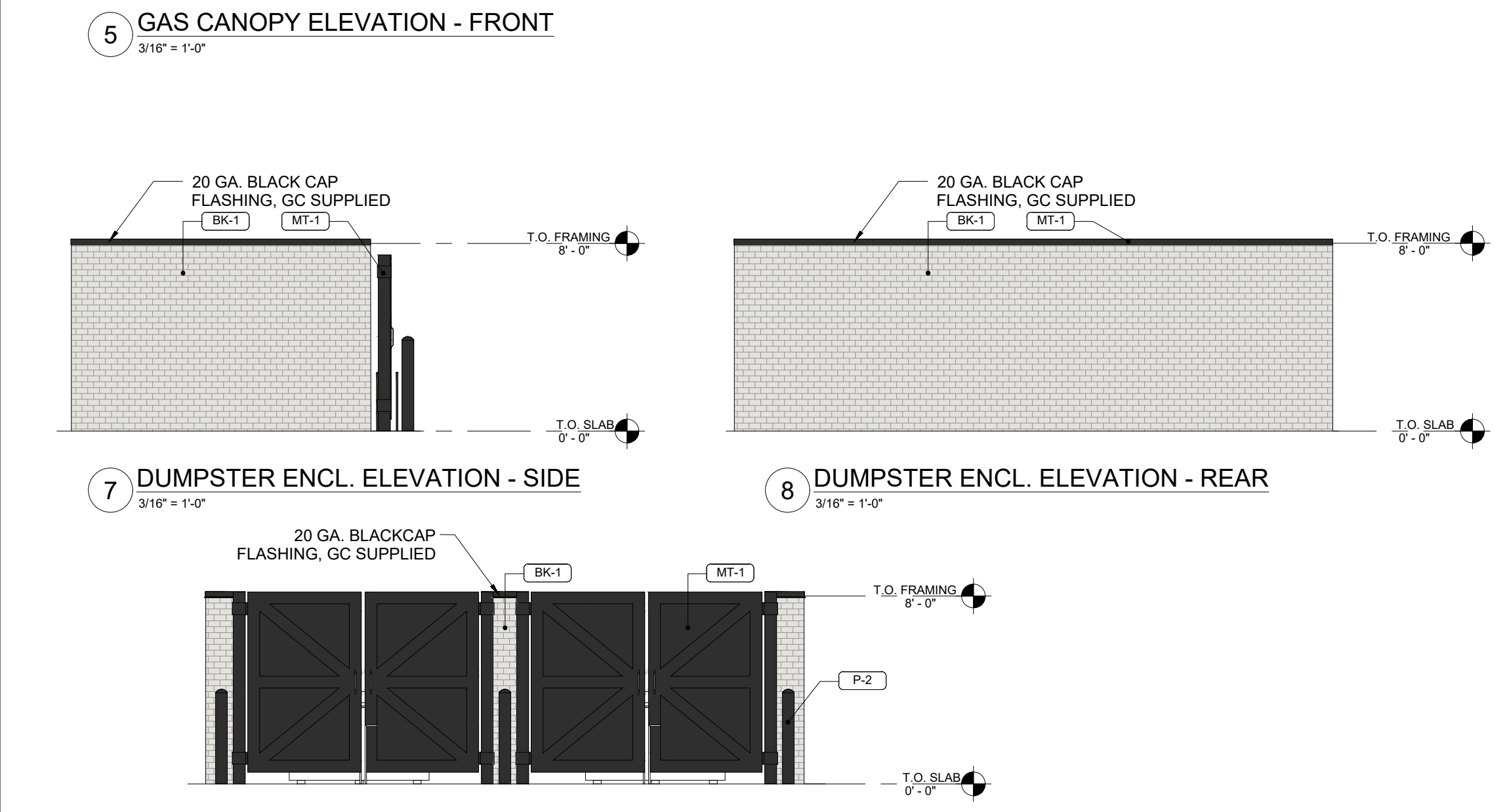
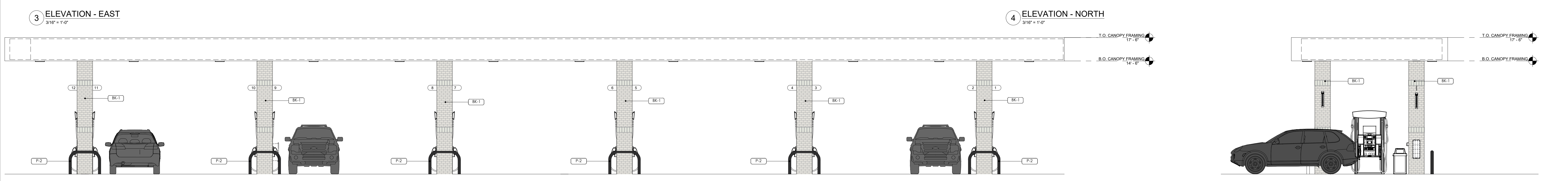
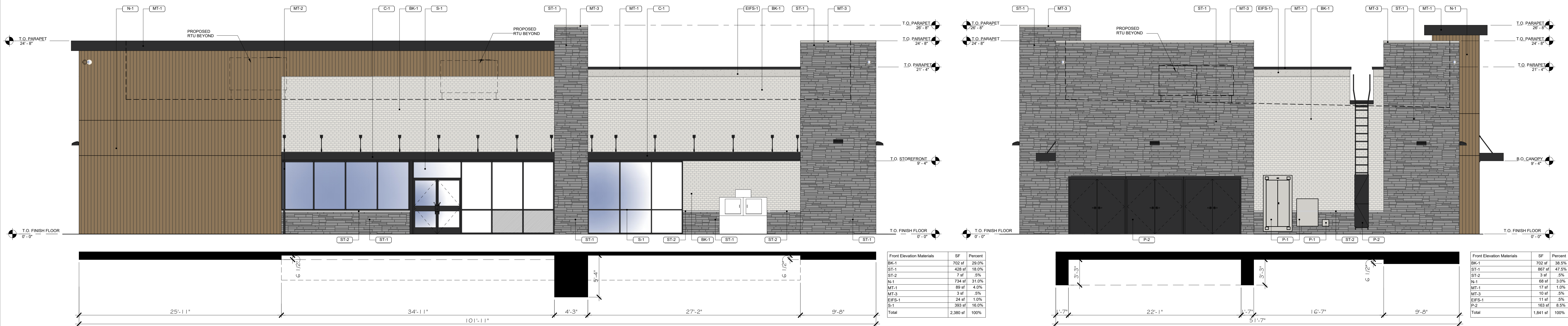
T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

PLANNING & ZONING COMMISSION	DATE	SCALE	PROJECT NO.	SHEET NO.
EB	02/19/24	SCALE BAR	125-23	C-3.0

TX. P.E. FIRM #11525

CASE NO:

PRINTED BY: SRANDALL  
 DRAWING NAME: SEI\_XA-EXTERIOR ELEVATIONS PRELIM 2024.03.13.DWG  
 PRINT DATE: Mar 13, 2024 - 10:57am



**MATERIAL SCHEDULE**

MT-1 PRE-FINISHED METAL COPING - COAL BLACK	MT-2 PRE-FINISHED SHEET METAL DOWNSPOUT SYSTEM - COAL BLACK	MT-3 PRE-FINISHED METAL COPING - TO BE PAINTED SW 7648 - BIG CHILL	ST-1 STONE VENEER CORONADO STONE PRO-LEDGE - HURON	ST-2 STONE SILL CORONADO STONE 900 SERIES TRIM - GRAY	N-1 NICHHA FIBER CEMENT PANELS - AWP0300 - COLOR: CEDAR
BK-1 THIN BRICK CORONADO STONE - WIRE CUT COLOR: GLACIER	EIFS-1 SAND PEBBLE FINE TEXTURE COLOR: SW 7648 BIG CHILL	P-1 PAINT SHERWIN WILLIAMS - SW 7648 BIG CHILL	P-2 PAINT SHERWIN WILLIAMS - TRICORN BLACK - SW 6258 TRASH ENCLOSURE, BOLLARDS, FUEL CANOPY COLUMNS	S-1 KAWNEER 451T VG ALUMINUM STOREFRONT FRAME COLOR: #29 BLACK	C-1 MAPES PRE-FINISHED CANOPY - MATTE BLACK

**PROJECT CONTACT LIST**

<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TX 75238 214.343.9400 ALEXANDRA MATIS AMATIS@DIMENSIONGRP.COM	<b>CIVIL ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DR. ALLEN, TX 75013 469.331.8566 KARTAVYA PATEL, P.E. KPATEL@TRIANGLE-ENGR.COM	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2001 NETWORK BLVD, STE #413 FRISCO, TX 75034 214.889.0503 ERIN MILELR EMILLER@SCHAFFERCONSTR.COM
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**PROPOSED FACADE PLAN**

CITY CASE #TBD  
 CORPORATE CROSSING & FIT SPORT LIFE BLVD  
 FIT SPORT LIFE ADDITION  
 BLOCK B, LOT 6  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 DATE PREPARED : 03.13.2024

Job#: 230-759  
 Scale: AS NOTED  
 Date: 3/13/24  
 Drawn By:  
 Checked By:

Documents prepared by the architect are for the specific project and are not to be used for any other project, without the expressed, written consent of the architect. Group is done at the user's own risk. The Dimension Group reserves the right to modify any drawings without notice. The Dimension Group assumes no liability for any errors or omissions.

**7-ELEVEN, INC.**  
 3200 HACKBERRY ROAD, IRVING, TX 75063  
**7-ELEVEN #1055880**  
 SEC OF FIT SPORT BLVD & CORPORATE CROSSING  
 ROCKWALL, TX 75087  
 PRELIMINARY ELEVATIONS

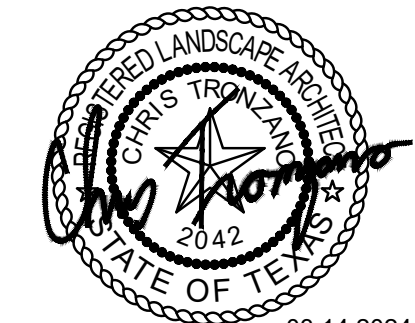
**THE DIMENSION GROUP**  
 ARCHITECTURAL, CIVIL, ELECTRICAL, MECHANICAL, PLUMBING, AND STRUCTURAL ENGINEERING  
 10755 SANDHILL RD., SUITE 100, DALLAS, TX 75238  
 TEL: 214-343-9400

PRELIMINARY DRAWING NOT FOR CONSTRUCTION

SHEET: **P.1**  
 CST 9350L

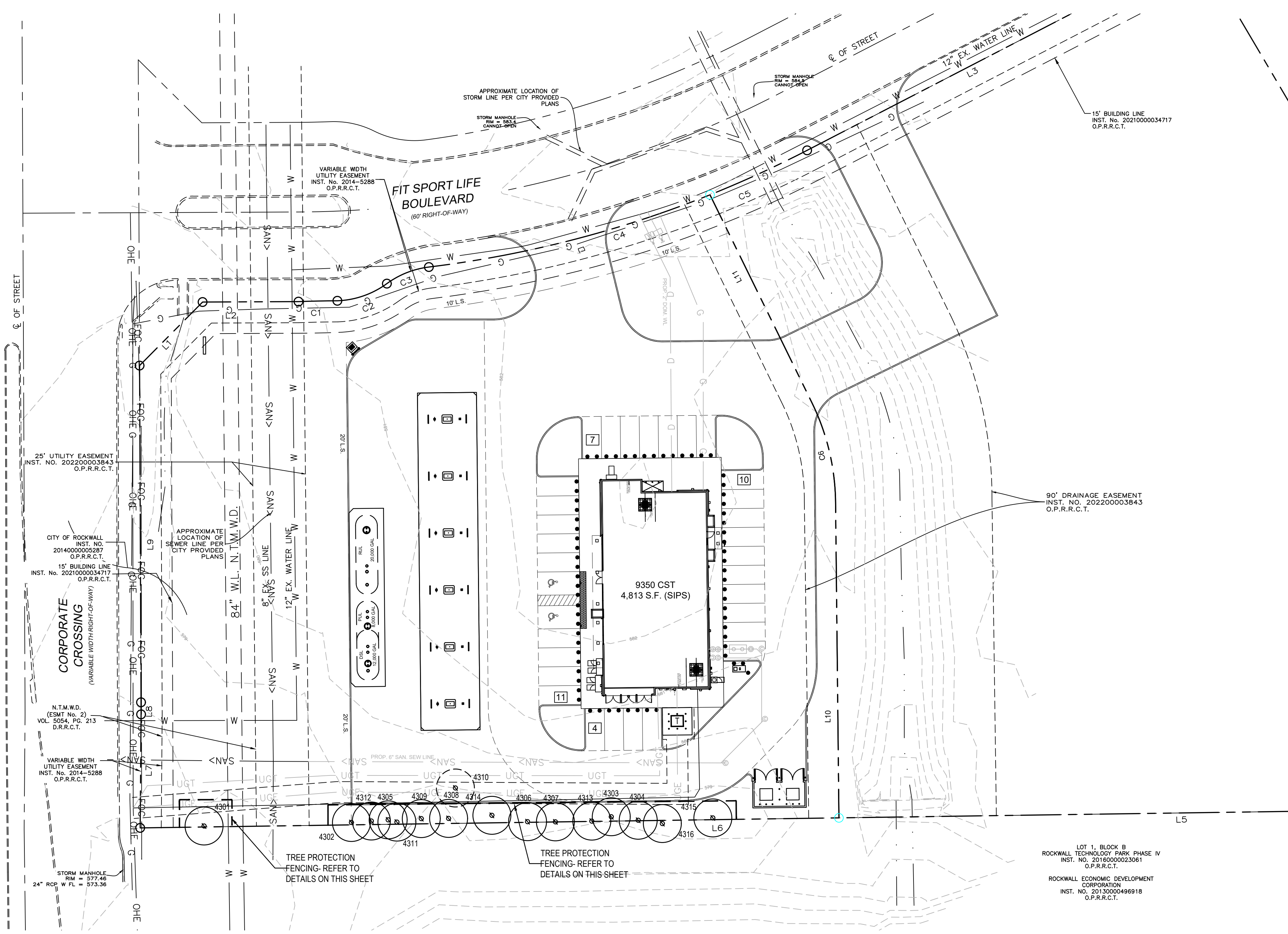


LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
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CHRIS@STUDIOGREENSPOT.COM



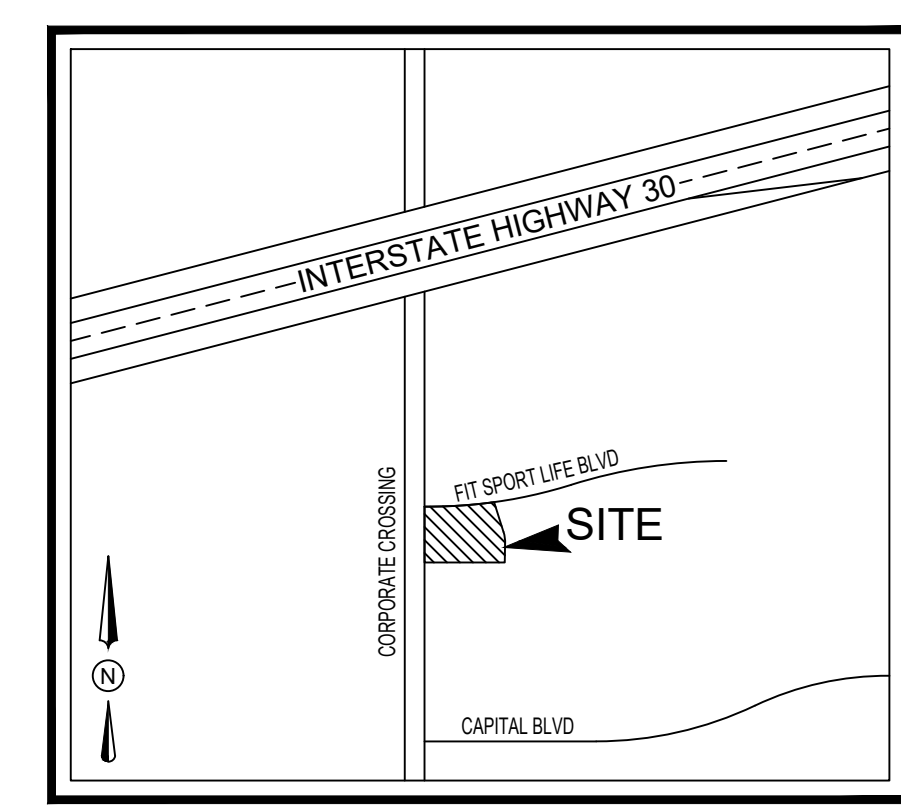
03.14.2024

**7- ELEVEN AT CORPORATE CROSSING**  
FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
ROCKWALL, TEXAS

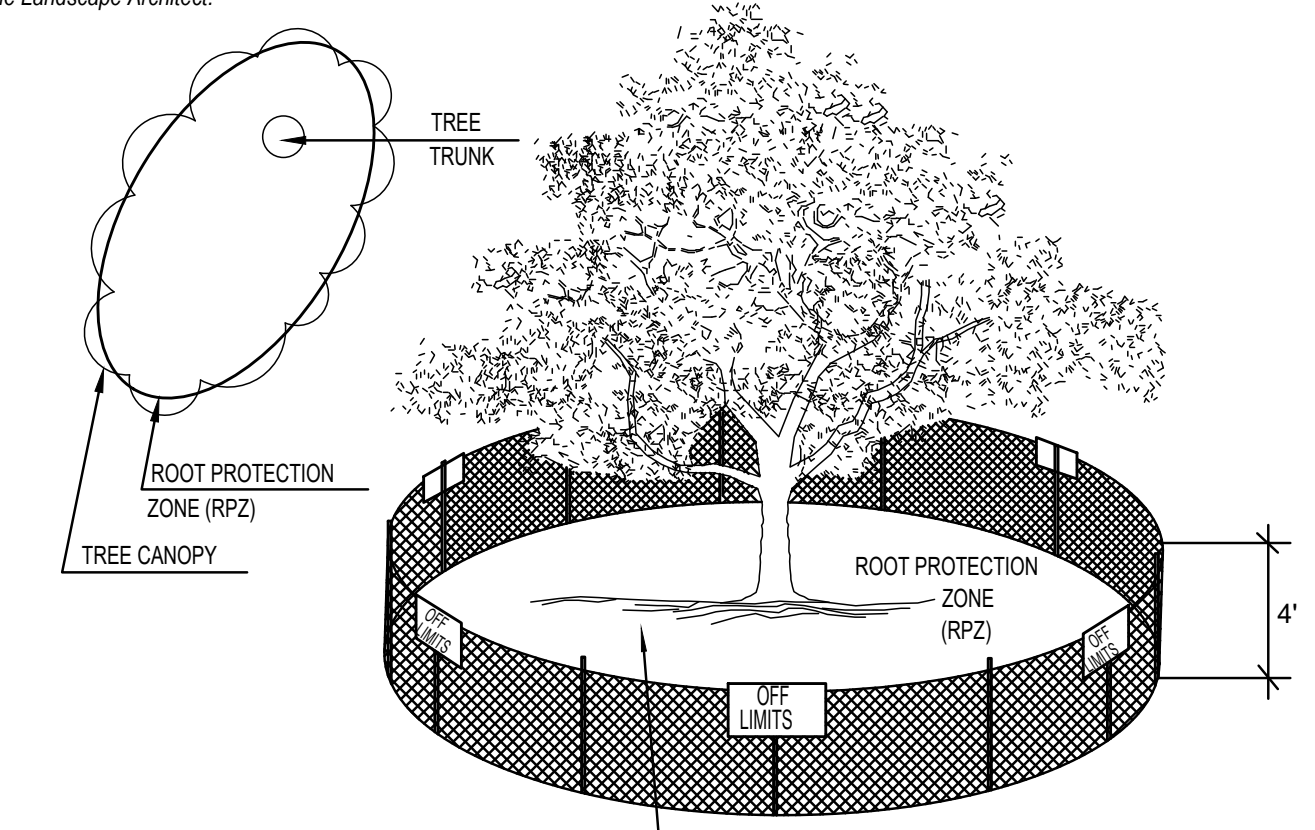


**EXISTING TREE NOTES**

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.



VICINITY MAP  
N.T.S.



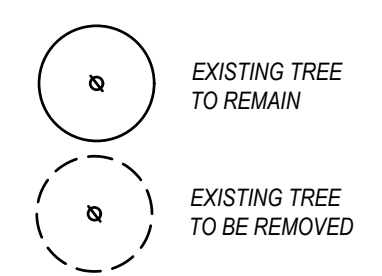
NOTE:  
FENCING SHOWN ABOVE IS DIAGRAMMATIC ONLY  
AND WILL CONFORM TO THE DRIP LINE AND LIMITED  
TO PROJECT BOUNDARY

**01 TREE PROTECTION FENCE A**  
NOT TO SCALE

LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 26°06'50" E	109.77'

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
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C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

**EXISTING TREE LEGEND**



**TREE SURVEY FIELD DATA**

NO.	SIZE (\"/>			
4301	36	WILLOW	UNPROTECTED	TO REMAIN
4302	6	HACKBERRY	UNPROTECTED	TO REMAIN
4303	6	HACKBERRY	UNPROTECTED	TO REMAIN
4304	12	HACKBERRY	UNPROTECTED	TO REMAIN
4305	7	HACKBERRY	UNPROTECTED	TO REMAIN
4306	16	HACKBERRY	UNPROTECTED	TO REMAIN
4307	12	HACKBERRY	UNPROTECTED	TO REMAIN
4308	7	HACKBERRY	UNPROTECTED	TO REMAIN
4309	7	HACKBERRY	UNPROTECTED	TO REMAIN
4310	6	CEDAR	UNPROTECTED	TO BE REMOVED
4311	7	HACKBERRY	UNPROTECTED	TO REMAIN
4312	14	HACKBERRY	UNPROTECTED	TO REMAIN
4313	6	HACKBERRY	UNPROTECTED	TO REMAIN
4314	8	HACKBERRY	UNPROTECTED	TO REMAIN
4315	14	HACKBERRY	UNPROTECTED	TO REMAIN
4316	14	HACKBERRY	UNPROTECTED	TO REMAIN

**01 TREE PRESERVATION PLAN**  
SCALE 1"=30'-0"



PROJECT CONTACT LIST	
<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-531-8566	<b>DEVELOPER</b> SCHAEFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schaferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KELTY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com	

**ISSUE:**  
FOR APPROVAL 03.14.2023

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**DATE:**  
03.14.2024

**SHEET NAME:**  
LANDSCAPE PLAN

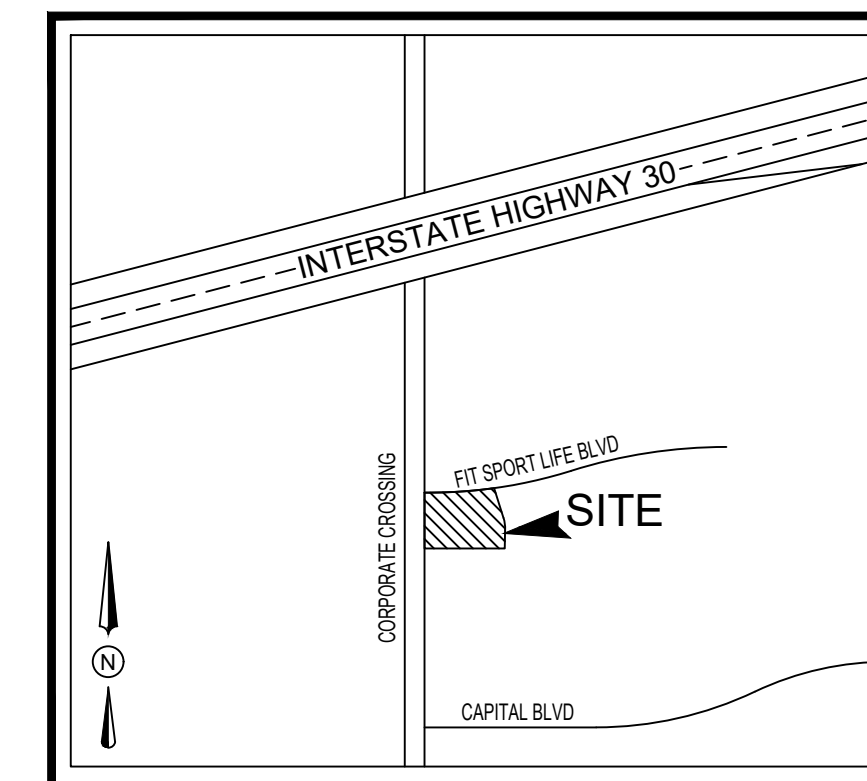
**SHEET NUMBER:**  
**L.1**



LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRIS@STUDIOGREENSPOT.COM



03.14.2024



VICINITY MAP  
N.T.S.

**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

**LANDSCAPE TABULATIONS:**  
I-30 Overlay / Commercial zoning

SITE REQUIREMENTS (site area 84,936 s.f.)  
Requirements: 20% site area to be landscaped

Required	Provided
12,741 s.f. (15%)	36,649 s.f. (43%)

FRONT YARD REQUIREMENTS  
Requirements: 50% of required landscape must be located in front yard

Required	Provided
6,371 s.f. (50%)	30,744 s.f. (100+%)

STREET REQUIREMENTS  
Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4" ht. per 100 l.f. of frontage. Perimeter screening (30" height berm and 30" ht. evergreen shrubs.)

FIT SPORT LIFE BLVD. (249 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(10) accent trees	(10) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

CORPORATE CROSSING (262 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(11) accent trees	(11) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

PARKING LOT REQUIREMENTS (32 spaces)  
Requirements: (1) canopy tree, 4" cal. per 10 parking spaces

Required	Provided
(4) canopy trees	(4) canopy trees

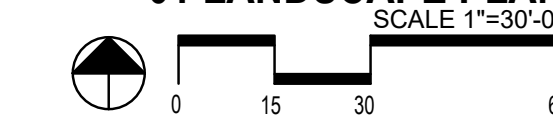
**GENERAL LAWN NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

**SOLID SOD NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

**01 LANDSCAPE PLAN**



PROJECT CONTACT LIST	
<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-531-8566	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
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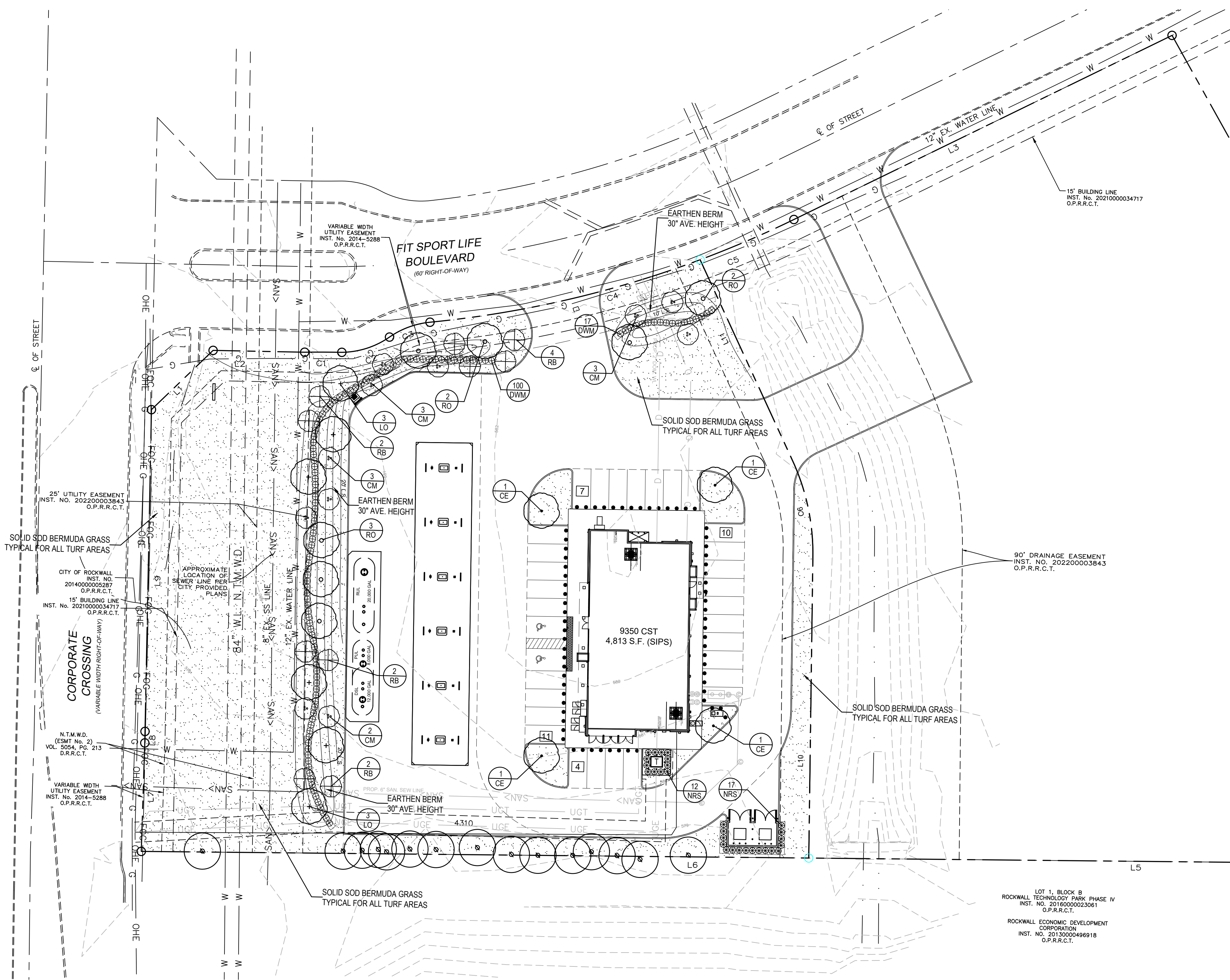
ISSUE:  
FOR APPROVAL 03.14.2024

DATE:  
03.14.2024

SHEET NAME:  
LANDSCAPE PLAN

SHEET NUMBER:

L.2



LOT 1, BLOCK B  
ROCKWALL TECHNOLOGY PARK PHASE IV  
INST. NO. 2016000023061  
O.P.R.R.C.T.

ROCKWALL ECONOMIC DEVELOPMENT  
CORPORATION  
INST. NO. 201300046918  
O.P.R.R.C.T.

**PLANT MATERIAL SCHEDULE**

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	4	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	B&B, 12' ht., 5' spread, 6' clear straight trunk
LO	6	Live Oak	<i>Quercus laevis</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
RO	7	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
CM	11	Crape Myrtle	<i>Lagerstromia indica</i>	2" cal.	container, 8' ht., 4' spread, tree form
RB	10	Red Bud	<i>Cercis canadensis</i>	2" cal.	container, 8' ht., 4' spread, tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DWM	117	Dwarf Wax Myrtle	<i>Myrica pusilla</i>	7 gal.	container, 36" ht., 30" spread
NRS	29	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 30" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon</i> '419'		solid sod refer to notes

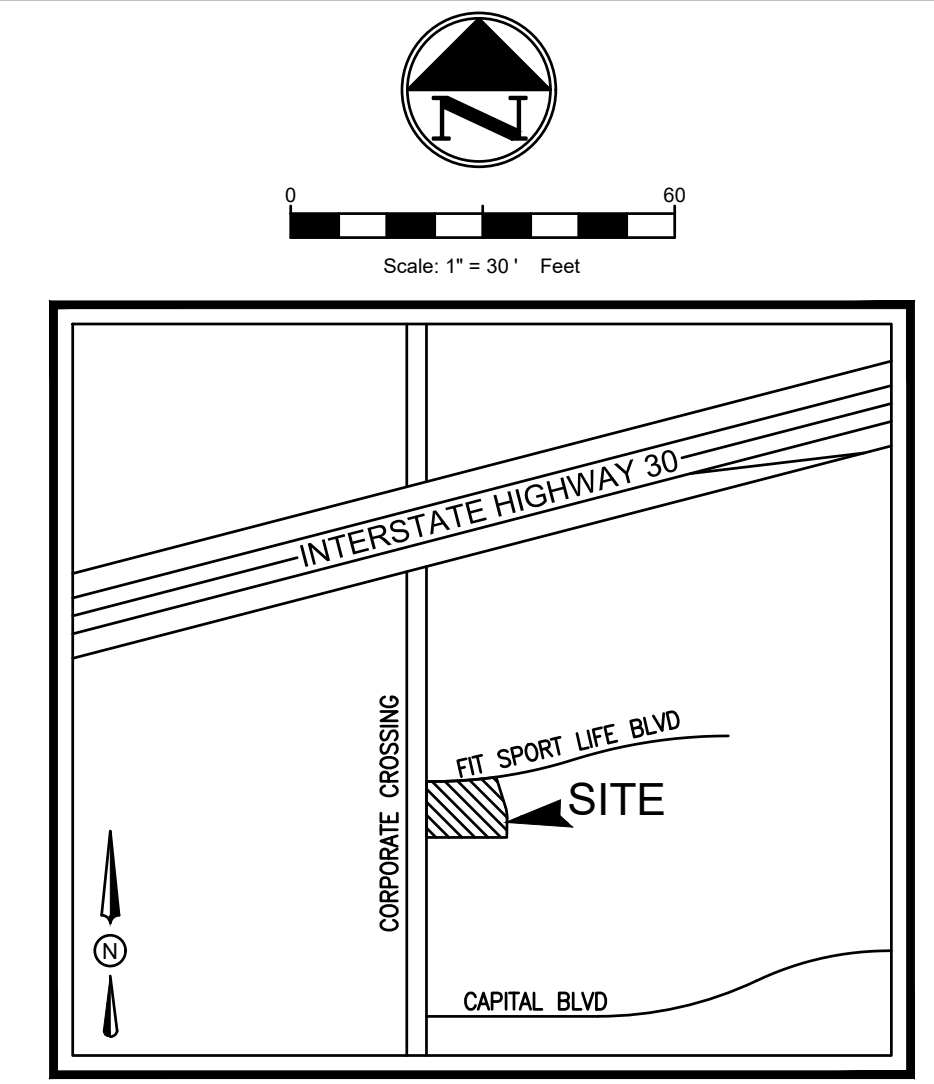
NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
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L11	S 26°06'50" E	109.77'

BOUNDARY CURVE DATA						
CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE	
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'	
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VICINITY MAP  
N.T.S.

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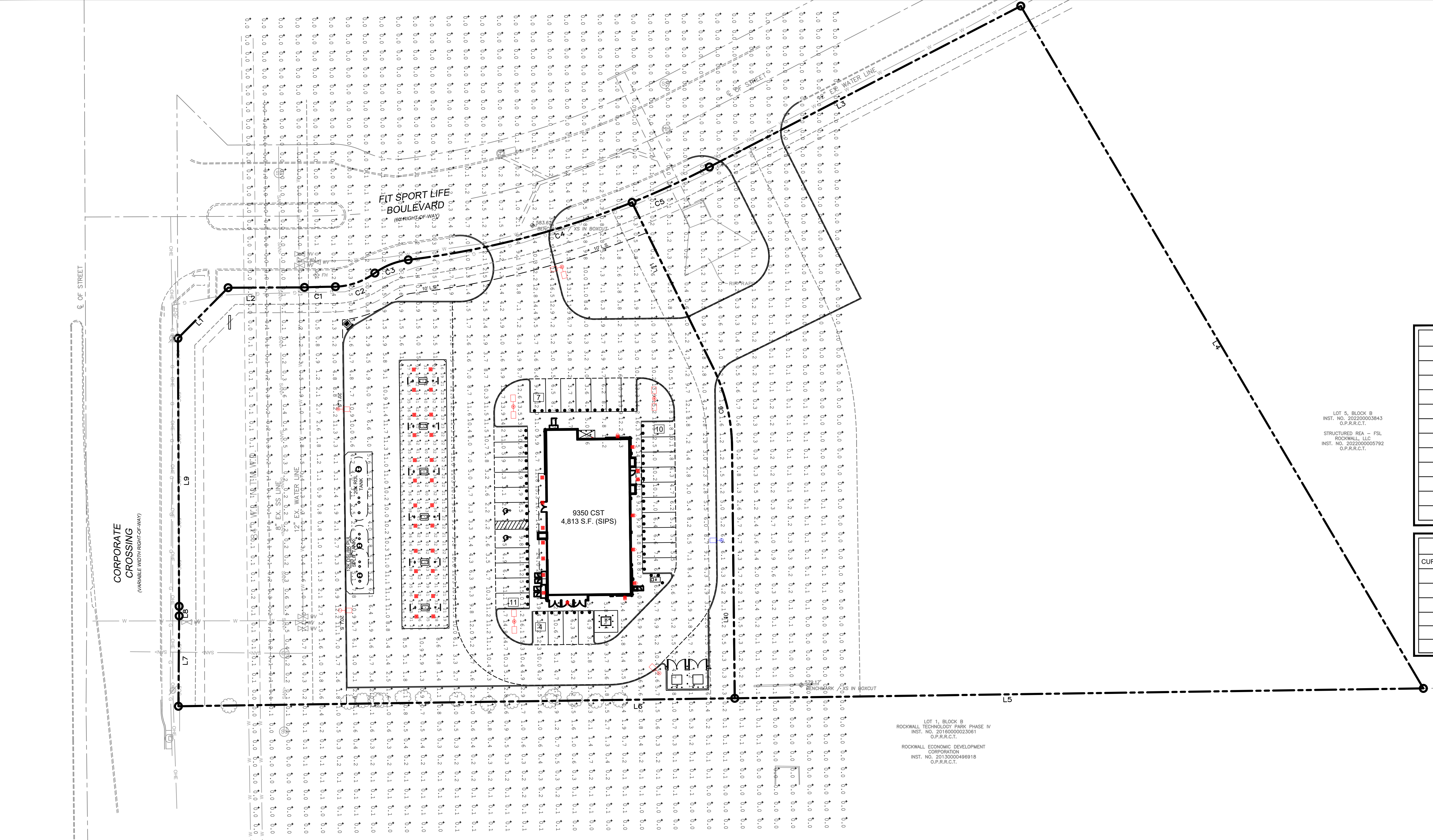
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LOT 5, BLOCK B  
INST. NO. 20220003843  
D.P.R.C.T.

STRUCTURED REA - FSL  
ROCKWALL, LLC  
INST. NO. 20220005792  
D.P.R.C.T.

LOT 1, BLOCK B  
ROCKWALL TECHNOLOGY PARK PHASE IV  
INST. NO. 2016000023061  
D.P.R.C.T.

ROCKWALL ECONOMIC DEVELOPMENT  
CORPORATION  
INST. NO. 2013000496918  
D.P.R.C.T.



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
[Symbol]	8	CPY-F-4L	Single	1.000	4590	31	CPY250-C-4L-57K7-F-UL-DM-WH-HZ
[Symbol]	24	CPY-F-8L	Single	1.000	8475	53	CPY250-C-8L-57K7-F-UL-DM-WH-HZ
[Symbol]	3	XSPLG-3ME	SINGLE	1.000	23800	184	XSPLG-D-HT-3ME-24L-57K7-UL-BZ-N
[Symbol]	1	XSPLG-4ME	Single	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	1	XSPLG-4ME-2	2 @ 90°	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	3	XSPLG-4ME-2(180)	2 @ 180°	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
[Symbol]	8	XSPW	WALL MOUNT	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-BZ

Calculation Summary (Footcandles calculated using LMF: 1.00)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	2.20	26.2	0.0	N.A.	N.A.
GAS CANOPY	Fc	32.73	45	14	2.34	3.21
PAVED AREA	Fc	6.28	17.2	1.3	4.83	13.23

**Pole Schedule**  
(8) SSS-4-11-17-CW-BS-OT-N-BZ (17' X 4" X 11ga STEEL SQUARE POLE)  
Proposed poles meet 140 MPH sustained winds.

**Additional Equipment:**  
(4) PD-1H4 (Single Head Tenon)  
(1) PD-2H4(90) (Twin Head Tenon @ 90°)  
(3) PD-2H4(180) (Twin Head Tenon @ 180°)

**Lighting Requirements:**  
Paved Area: 1.0fc minimum  
Gas Canopy: 30-50fc

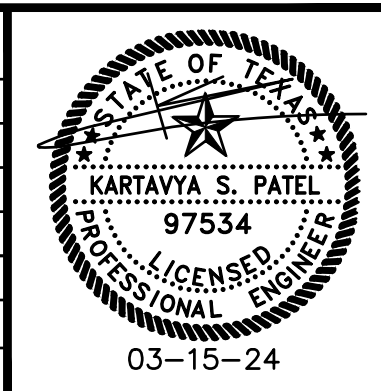
\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	09/07/23	1st SITE PLAN	EB
2	10/13/23	35' WIDE DRIVEWAYS	EB
3	11/08/23	2nd SITE PLAN	EB
4	02/19/24	REVISED DUMPSTER PAD	EB
5	03-15-24	SITE PLAN SUBMITTAL	JA



**PHOTOMETRIC PLAN**  
**7-ELEVEN**  
CORPORATE CROSSING AND FIT SPORT LIFE BLVD  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS 75032  
FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

**TRIANGLE ENGINEERING LLC**  
T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE BAR	125-23	<b>C-3.5</b>

TX. P.E. FIRM #11525

CASE NO:



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** April 9, 2024  
**APPLICANT:** Kevin Patel; Triangle Engineering  
**CASE NUMBER:** SP2024-015; *Site Plan for a Retail Store with Gasoline Sales (i.e. 7-Eleven)*

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### SUMMARY

Discuss and consider a request by Kevin Patel of Triangle Engineering on behalf of Conor Keilty of Structured REA-Rockwall Land LLC for the approval of a Site Plan for a Retail Store with Gasoline Sales (i.e. 7/11) on a 1.95-acre portion of a larger 12.868-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the southeast corner of the intersection of Corporate Crossing and Fit Sport Life Boulevard, and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on July 21, 1997 by *Ordinance No. 97-14 [Case No. A1997-001]*. Based on the City's historical zoning maps, the subject property was zoned from an Agricultural (AG) District to a Commercial (C) District at a time between annexation and April 5, 2005. The subject property has remained vacant since its annexation into the City of Rockwall.

### PURPOSE

On March 15, 2024, the applicant -- *Kevin Patel with Triangle Engineering* -- submitted an application requesting approval of a site plan for the purpose of developing a 4,813 SF *Retail Store with Gasoline Sales* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southeast corner of the intersection of Corporate Crossing [*FM-549*] and Fit Sport Life Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the property is a 12.868-acre tract of land (*i.e. Tract 22-2, of the R Irvine Survey, Abstract No. 120*), zoned Commercial (C) District. Beyond this is the IH-30 Frontage Road followed by IH-30. Continuing north are two (2) vacant tracts of land (*i.e. Tract 10-3 [8.23-acres] and Tract 10 [14.8-acres] of the R. Irvine Survey, Abstract No. 120*) that are zoned Commercial (C) District. Beyond this is the corporate limits for the City of Rockwall.

South: Directly south of the subject property is a vacant tract of land identified as Lot 1, Block B, Rockwall Technology Park, Phase IV Addition. This land is zoned Light Industrial (LI) District, is owned by the Rockwall Economic Development Corporation (REDC), and currently serves as regional detention for Phase 2 of the Rockwall Technology Park. Continuing south and adjacent to this tract of land is Capital Boulevard, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is are two (2) large industrial facilities (*i.e. Pratt Industries and Lollipup*), which are zoned Light Industrial (LI) District. Beyond this is Discovery Boulevard, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 6.3770-acre parcel of land identified as Lot 5, Block B, Fit Sport Life Addition and zoned Commercial (C) District developed with a sports facility (i.e. Amerisports). Beyond this is a 20.51-acre tract of land (i.e. Tract 22, of the R. Irvine Survey) zoned for Commercial (C) District. North of this tract of land is a 4.317-acre tract of land (i.e. Tract 22-01 of the R. Irvine Survey), which is occupied by Big-Tex Trailers and zoned Light Industrial (LI) District.

West: Directly west of the subject property is Corporate Crossing [FM-3549], which is identified as a TXDOT4D (i.e. Texas Department of Transportation, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.1917-acre parcel of land (i.e. Love's Country Store) followed by two (2) vacant tracts of land (i.e. Tract 9-9 [1.898-acres] and Tract 9-11 [1.30-acres of the J Lockhart Survey, Abstract No. 134]), and a 3.0654-acre parcel of land identified as Lot 1, Block 1, Ya-Hoo Subdivision (i.e. Photo Technologies). All of these properties are zoned Light Industrial (LI) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Retail Store with Gasoline Sales that has more than Two (2) Dispensers* is a permitted *by-right* land use in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=1.95-acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>X~217-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X~333-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X&gt;15-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X&gt;0-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=0-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=26-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X&lt;60%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X&gt;90%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1/250 SF = 20 spaces</i>	<i>X=32; In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>20%</i>	<i>X&gt;20%</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>X=42%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=57%; In Conformance</i>

**TREESCAPE PLAN**

The treescape plan provided by the applicant indicates that one (1) cedar tree of 6-caliper inches removed from the site. The applicant is providing approximately 23, four (4) inch caliper canopy trees on site, which will satisfy the required tree mitigation for this development.

**CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 02.02(F)(31), *Retail Store with Gasoline Sales*, of Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Restaurants with Drive Through or Drive-In* as "(a)n establishment that engages in the sale of fuel, lubricants, and/or accessories for motor vehicles, and that may have ancillary retail sales of convenience goods. A dispenser in a *Retail Store with Gasoline Sales* is assumed to serve two (2) standard motor vehicles." In this case the applicant is requesting a *Retail Store with Gasoline Sales that has more than two (2) dispensers*, which conforms to the land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the standards of the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code

(UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

Staff has identified the following variances and exceptions:

(1) **Building Articulation.**

(a) **Primary Building Facades.** According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed four (4) times the wall height. In this case, the proposed buildings do not meet the projection or wall length requirements for primary building facades on all buildings. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

(2) **Four (4)-Sided Architecture.** According to Subsection 06.02 (C), *Articulation Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (*i.e. four [4] or more accent or canopy trees*) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed building does not meet this requirement. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant to provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] providing more than the required 20% stone, and [2] providing more than the required 90% masonry. Staff has also identified several more compensatory measures such as [1] more than the required percentage of landscaping, [2] an excess of five (5) feet of landscape buffer along corporate crossing, and [3] more than 50.00% of the landscaping is located in the front; however, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *IH-30 Corridor District* which is "...the primary retail corridor for the City of Rockwall...and acts as the western gateway for both the City and County of Rockwall," which includes medical uses, retail, and industry. The IH-30 corridor is "...vital to maintain a high per capita sales tax for the City of Rockwall." The applicant's site plan appears to meet the intent of Comprehensive Plan a supportive retail land use within the *IH-30 Corridor District*.

## **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On March 26, 2024 the Architecture Review Board (ARB) reviewed the proposed building elevations provided by the applicant and recommended that the applicant [1] add an awning over all outside displays, [2] internalize the fire escape ladder, [3] show the roofs beyond in each elevation, [4] provide a natural stone, and [5] find an alternate material to the nichiha. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the April 9, 2024 Planning and Zoning Commission meeting.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for a sports complex on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **SEC Corporate Crossing & Fit Sport Life Blvd.**

SUBDIVISION **Fit Sport Life Addition**

LOT **6**

BLOCK **B**

GENERAL LOCATION **SEC Corporate Crossing & Fit Sport Life Blvd.**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **C-Commercial**

CURRENT USE **Vacant Lot**

PROPOSED ZONING **N/A**

PROPOSED USE **Fueling Station w/ C-Store**

ACREAGE **1.95**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **STRUCTURED REA- ROCKWALL LAND LLC**

APPLICANT **Triangle Engineering**

CONTACT PERSON **CONOR KEILTY**

CONTACT PERSON **Kartavya (Kevin) Patel**

ADDRESS **3104 E Camelback Road #2387**

ADDRESS **1782 W. McDermott Dr.**

CITY, STATE & ZIP **Phoenix, AZ 85016**

CITY, STATE & ZIP **Allen, TX 75013**

PHONE **480-856-8808**

PHONE **469.331.8566**

E-MAIL **CONORK@STRUCTUREDREA.COM**

E-MAIL **kpatel@triangle-engr.com**

## NOTARY VERIFICATION [REQUIRED]

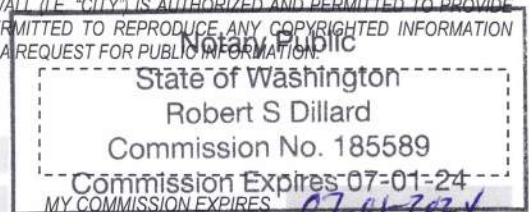
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CONOR KEILTY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF March, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





AG

FIT SPORT LIFE BLVD

C

CORPORATE CROSSING

LI

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

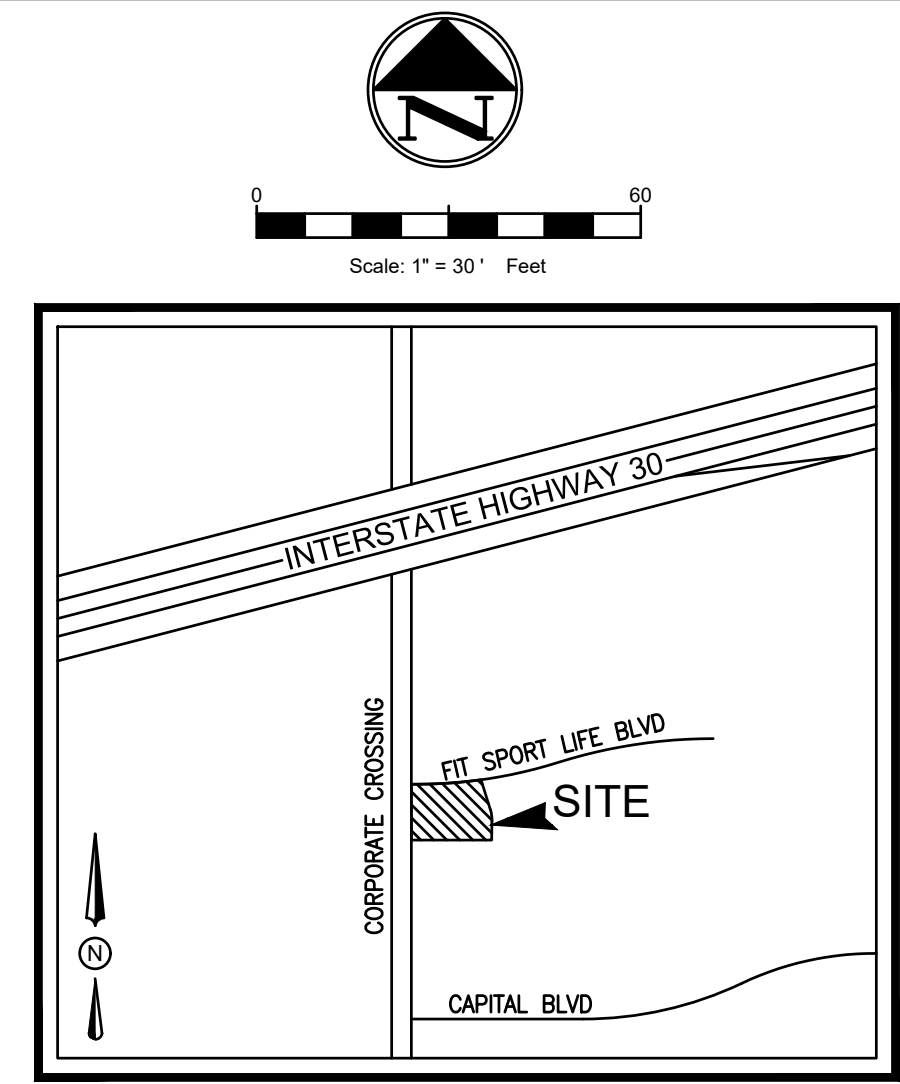
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



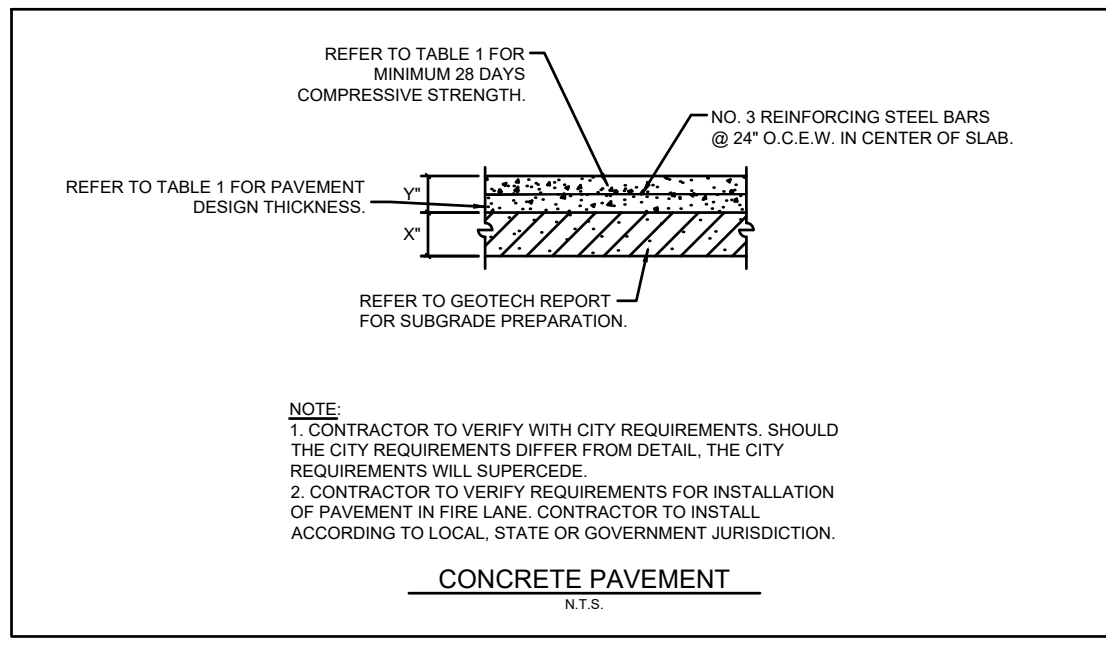
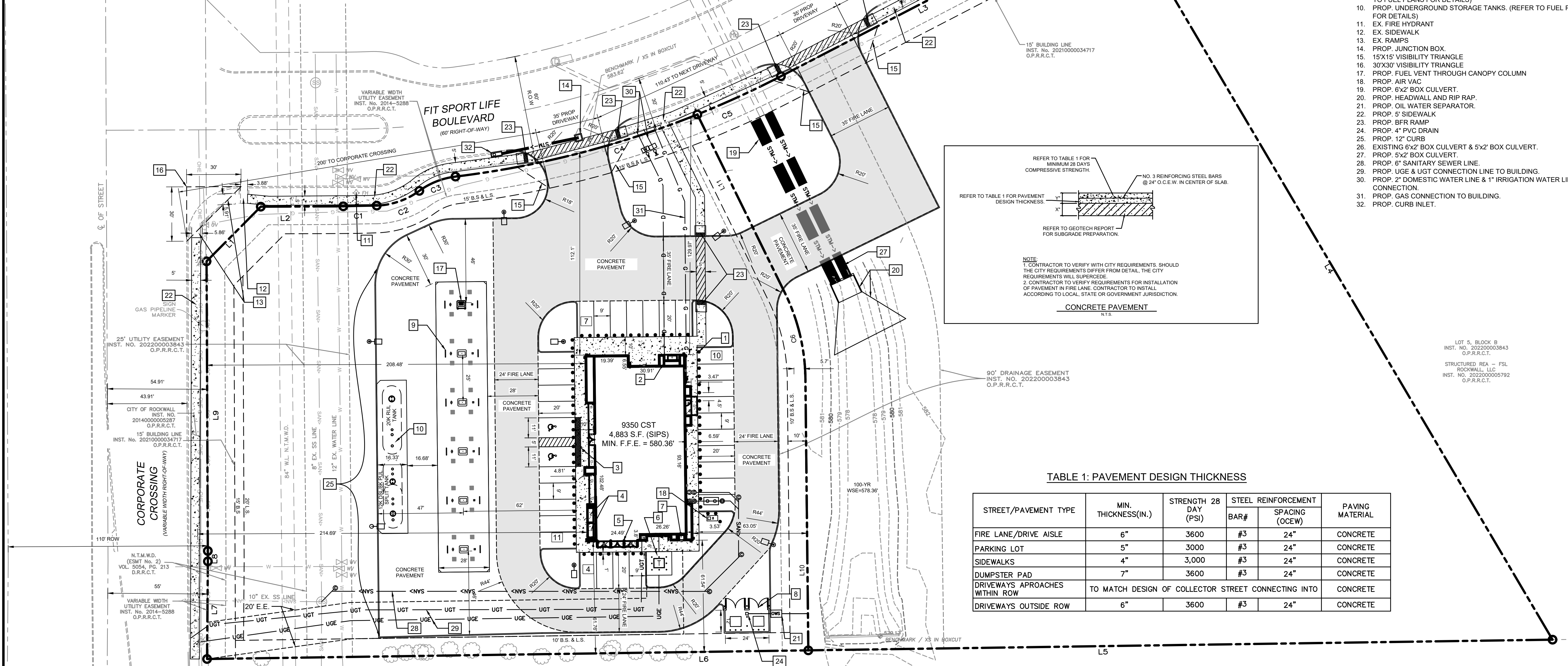


**FLOOD PLAIN NOTE**  
 NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48397C0045L, DATED SEPTEMBER 26, 2008. THE SUBJECT PROPERTY IS LOCATED IN THE AREA DESIGNATED AS ZONE "X". (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

- KEYED NOTES**
1. PROP. 6" BOLLARDS WITH 4.5' SPACING O.C. (TYP.)
  2. PROP. 5'X10' PROPANE TANK
  3. 3' WIDE ADA DETECTABLE SURFACE
  4. ICE MERCHANTISER
  5. PROP. DOOR. REFER TO ARCH PLAN FOR DETAIL.
  6. BUILDING TRANSFORMER
  7. PROP. CO2 CAGE AND NITROGEN CAGE
  8. PROP. DUMPSTER ENCLOSURE (24'X12')
  9. WITH 8' TALL MASONRY SCREENING WALLS AND METAL GATES. REFER TO ARCH PLANS FOR DETAIL.
  10. PROP. OVERHEAD STORAGE TANKS. REFER TO FUEL PLANS FOR DETAILS.
  11. EX. FIRE HYDRANT
  12. EX. SIDEWALK
  13. EX. RAMPS
  14. PROP. JUNCTION BOX
  15. 15'X15' VISIBILITY TRIANGLE
  16. 30'X30' VISIBILITY TRIANGLE
  17. PROP. FUEL VENT THROUGH CANOPY COLUMN
  18. PROP. AIR VAC
  19. PROP. 6'X2' BOX CULVERT.
  20. PROP. HEADWALL AND RIP RAP.
  21. PROP. OIL WATER SEPARATOR.
  22. PROP. 5' SIDEWALK
  23. PROP. BFR RAMP
  24. PROP. 4" PVC DRAIN
  25. PROP. 12" CURB
  26. EXISTING 6'X2' BOX CULVERT & 5'X2' BOX CULVERT.
  27. PROP. 5'X2' BOX CULVERT.
  28. PROP. 6" SANITARY SEWER LINE.
  29. PROP. UGE & UGT CONNECTION LINE TO BUILDING.
  30. PROP. 2" DOMESTIC WATER LINE & 1" IRRIGATION WATER LINE CONNECTION.
  31. PROP. GAS CONNECTION TO BUILDING.
  32. PROP. CURB INLET.

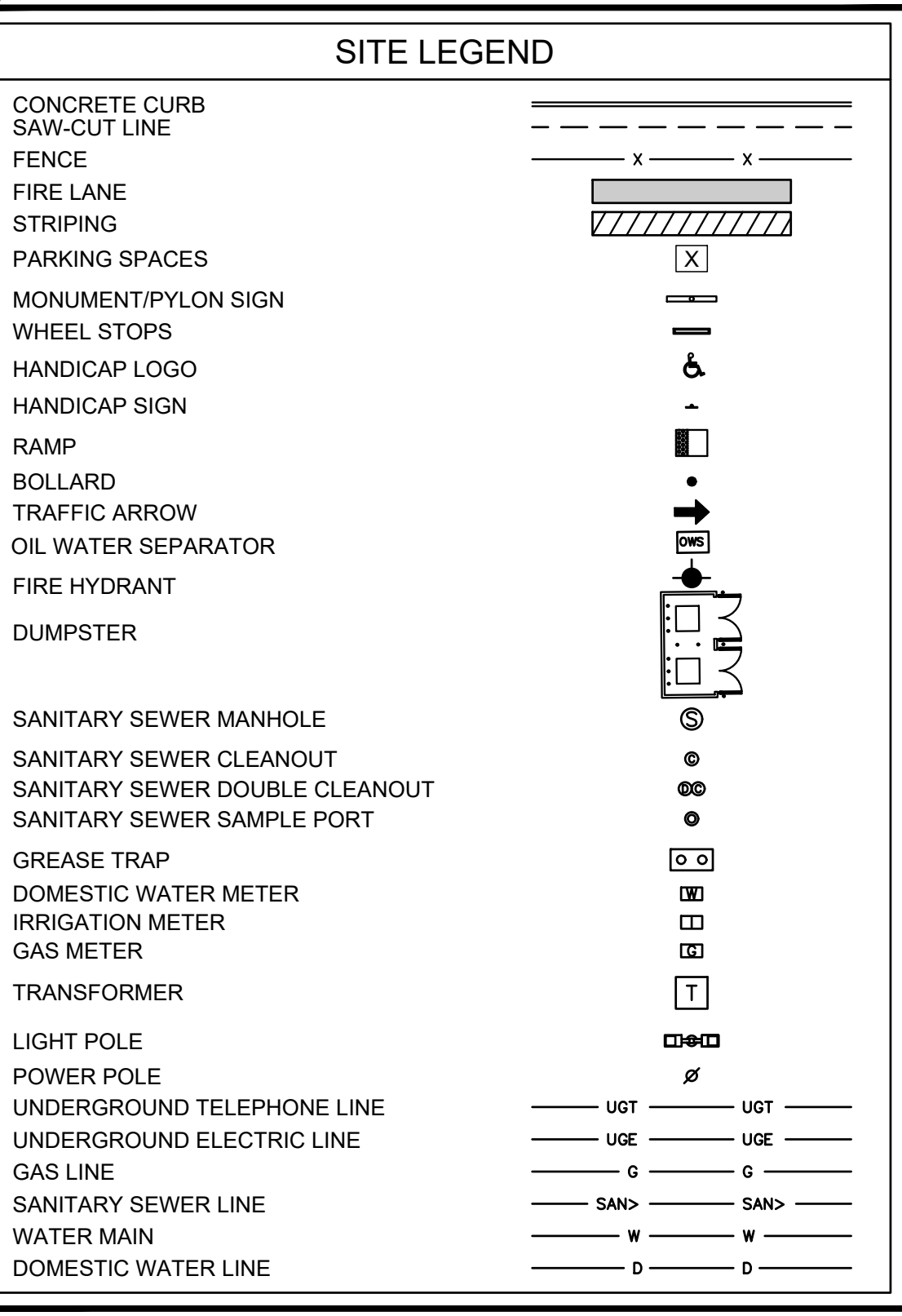


- SITE GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
  2. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
  3. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
  4. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
  5. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
  6. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
  7. ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
  8. AREA UNDER CANOPY AND DUMPSTER AREA DRAINS TO PROPOSED OIL WATER SEPARATOR.



**TABLE 1: PAVEMENT DESIGN THICKNESS**

STREET/PAVEMENT TYPE	MIN. THICKNESS(IN.)	STRENGTH 28 DAY (PSI)	STEEL REINFORCEMENT		PAVING MATERIAL
			BAR#	SPACING (OCEW)	
FIRE LANE/DRIVE AISLE	6"	3600	#3	24"	CONCRETE
PARKING LOT	5"	3000	#3	24"	CONCRETE
SIDEWALKS	4"	3,000	#3	24"	CONCRETE
DUMPSTER PAD	7"	3600	#3	24"	CONCRETE
DRIVEWAYS APPROACHES WITHIN ROW	TO MATCH DESIGN OF COLLECTOR STREET CONNECTING INTO				
DRIVEWAYS OUTSIDE ROW	6"	3600	#3	24"	CONCRETE



**EXISTING LEGEND**

BOUNDARY LINE	CHAIN LINK FENCE
ADJACENT BOUNDARY LINE	METAL FENCE POST
EASEMENT LINE (AS NOTED)	IRRIGATION CONTROL VALVE
WATER LINE	SEWER CLEAN OUT
SANITARY SEWER LINE	TRANSFORMER
STORM DRAIN LINE (AS NOTED)	ELECTRIC BOX
OVERHEAD ELECTRIC LINE	ELECTRIC METER
SET IRON ROD (AS NOTED)	TELEPHONE SIGNAL BOX
FOUND IRON ROD (AS NOTED)	TRAFFIC SIGNAL LIGHT
"X" CUT FOUND	GAS MARKER
"X" CUT SET	GAS METER
SANITARY SEWER MAN HOLE	AIR CONDITIONER UNIT
CABLE VAULT	
UTILITY VAULT	
FIBER OPTIC MARKER	
WATER VALVE	
TRAFFIC SIGN	
STORM MAN HOLE	
LIGHT POLE	
POWER POLE	
BENCH MARK	
CONTROL MONUMENT	

**BOUNDARY LINE DATA**

LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 28°06'50" E	109.77'

**BOUNDARY CURVE DATA**

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.55'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

**SITE DATA SUMMARY TABLE**

SITE ACREAGE:	1.95 AC (84,939 S.F.)
ZONING:	C-COMMERCIAL W/ I-30 OVERLAY DISTRICT
PROPOSED USE:	FUELING STATION W/ CONVENIENCE STORE
BUILDING AREA:	4,883 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	26'-8"
BUILDING COVERAGE:	5.75%
FLOOR AREA RATIO:	0.06
IMPERVIOUS AREA:	48,947 S.F. (57.63%)
PERVIOUS/LANDSCAPE AREA:	35,992 S.F. (42.37%)
REGULAR PARKING REQUIRED:	20 SPACES
1 SP PER 250 S.F.	
REGULAR PARKING PROVIDED:	30 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	32 SPACES

**WATER METER & SANITARY SEWER SCHEDULE**

ID	TYPE	SIZE	NO.
⊙	DOMESTIC	2"	1
⊙	IRRIGATION	1"	1
⊙	SANITARY SEWER	6"	

**EASEMENT/SETBACK LEGEND**

BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

**APPROVED:**  
 I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING & ZONING

**PROJECT CONTACT LIST**

<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	<b>DEVELOPER</b> SCHAFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KEILTY PHONE: 480-656-8808 EMAIL: conor@structuredrea.com	

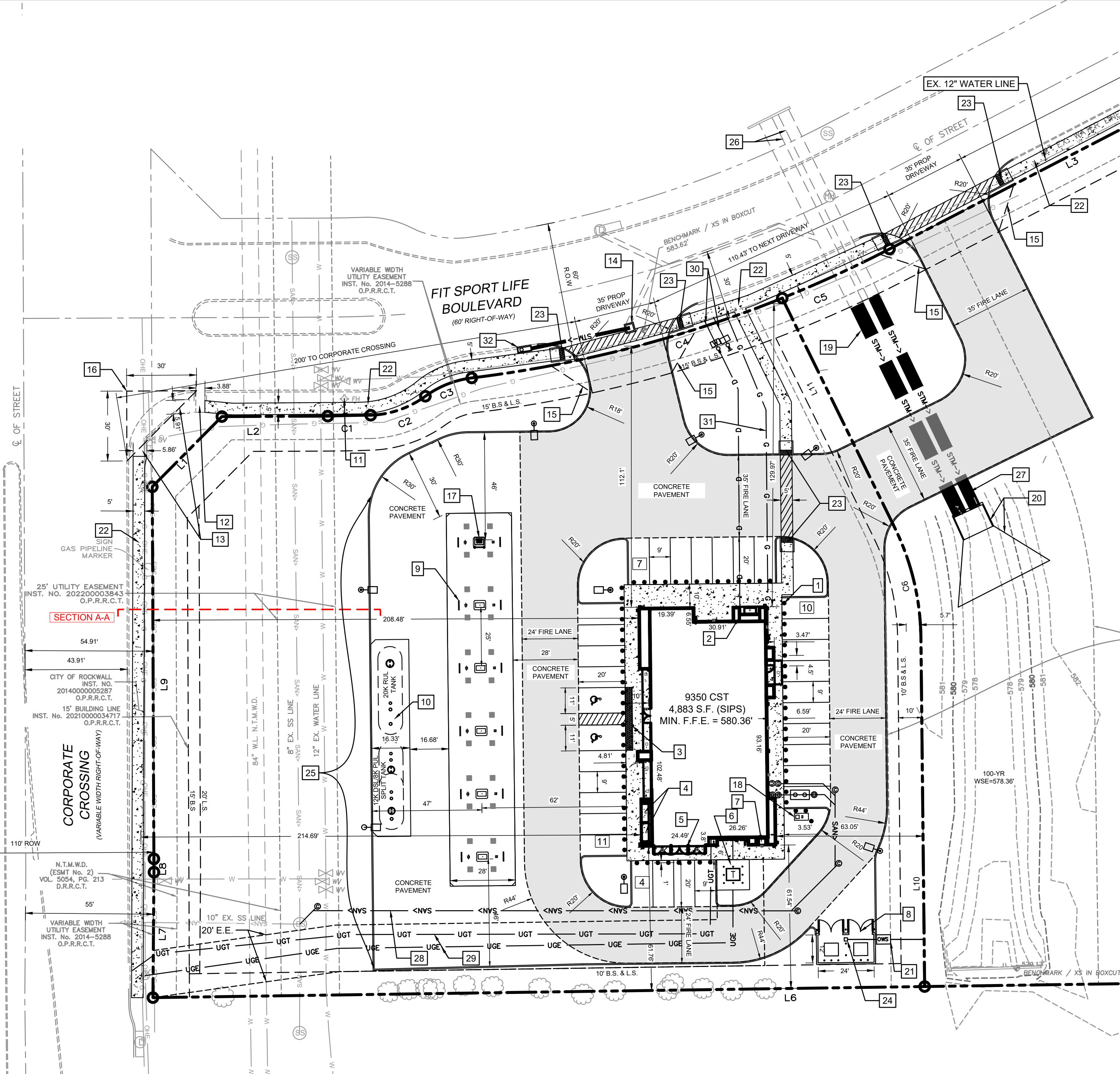
**SITE PLAN**  
**7-ELEVEN**  
 1200 CORPORATE CROSSING  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS 75032  
 FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

Triangle Engineering LLC  
 T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
 W: triangle-engr.com | I: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE BAR	125-23	<b>C-3.0</b>

TX. P.E. FIRM #11525



- ### KEYED NOTES
- PROP. 6" BOLLARDS WITH 4.5" SPACING O.C. (TYP.)
  - PROP. 5X10' PROPANE TANK
  - 3' WIDE ADA DETECTABLE SURFACE
  - ICE MERCHANDISER
  - PROP. DOOR. REFER TO ARCH PLAN FOR DETAIL.
  - BUILDING TRANSFORMER
  - PROP. CO2 CAGE AND NITROGEN CAGE
  - PROP. DUMPSTER ENCLOSURE (24'X12') WITH 8' TALL MASONRY SCREENING WALLS AND METAL GATES. REFER TO ARCH PLANS FOR DETAIL.
  - PROP. OVERHEAD CANOPY W/8 INLINE FUEL DISPENSERS. (REFER TO FUEL PLANS FOR DETAILS)
  - PROP. UNDERGROUND STORAGE TANKS. (REFER TO FUEL PLANS FOR DETAILS)
  - EX. FIRE HYDRANT
  - EX. SIDEWALK
  - EX. RAMPS
  - PROP. JUNCTION BOX
  - 15'X15' VISIBILITY TRIANGLE
  - 30'X30' VISIBILITY TRIANGLE
  - PROP. FUEL VENT THROUGH CANOPY COLUMN
  - PROP. AIR VAC
  - PROP. 6X2' BOX CULVERT
  - PROP. HEADWALL AND RIP RAP
  - PROP. OIL WATER SEPARATOR
  - PROP. 5' SIDEWALK
  - PROP. BFR RAMP
  - PROP. 4" PVC DRAIN
  - PROP. 12" CURB
  - EXISTING 6X2' BOX CULVERT & 5X2' BOX CULVERT.
  - PROP. 5X2' BOX CULVERT
  - PROP. 6" SANITARY SEWER LINE
  - PROP. UGE & UGT CONNECTION LINE TO BUILDING.
  - PROP. 2" DOMESTIC WATER LINE & 1" IRRIGATION WATER LINE CONNECTION.
  - PROP. GAS CONNECTION TO BUILDING.
  - PROP. CURB INLET.

### EASEMENT/SETBACK LEGEND

BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

### BOUNDARY LINE DATA

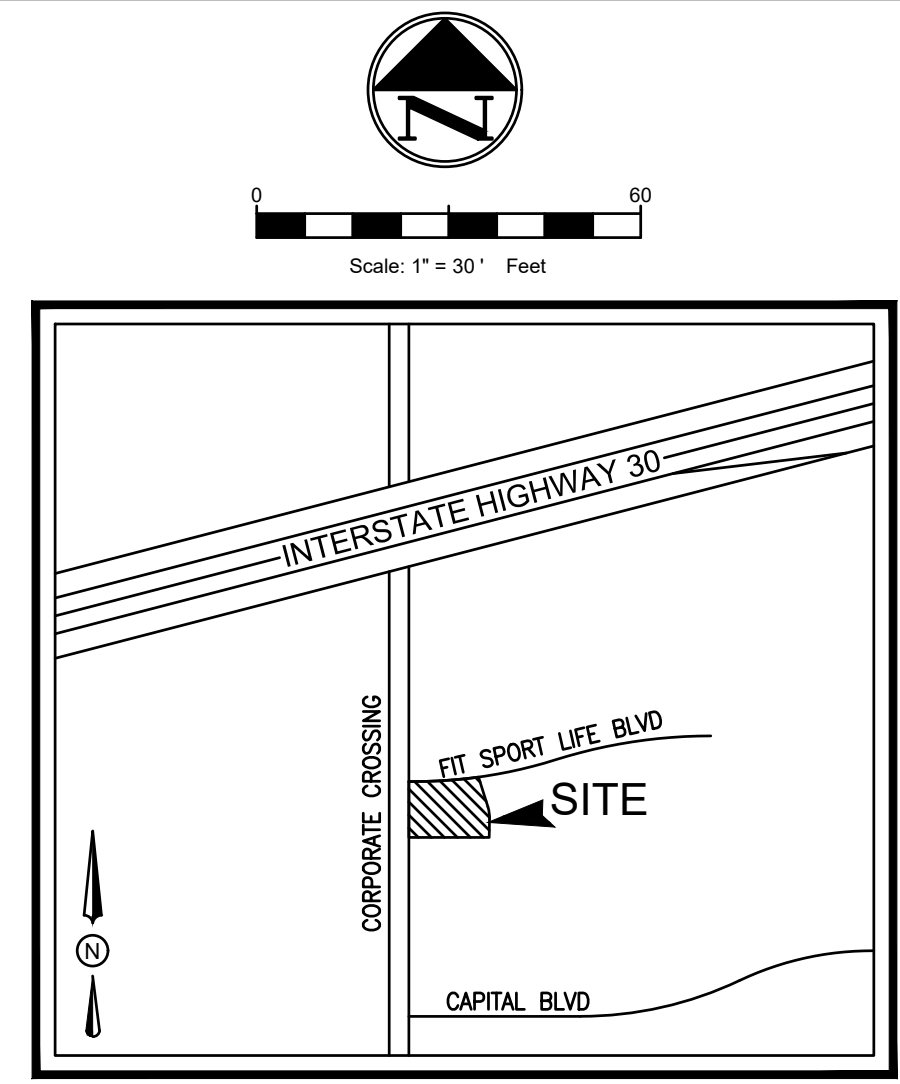
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WATER METER	AIR CONDITIONER UNIT
FIRE HYDRANT	
SANITARY SEWER MAN HOLE	
CABLE VAULT	
UTILITY VAULT	
FIBER OPTIC MARKER	
WATER VALVE	
TRAFFIC SIGN	
STORM MAN HOLE	
LIGHT POLE	
POWER POLE	
BENCH MARK	
(CM) CONTROL MONUMENT	
O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS	
D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS	
P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS	

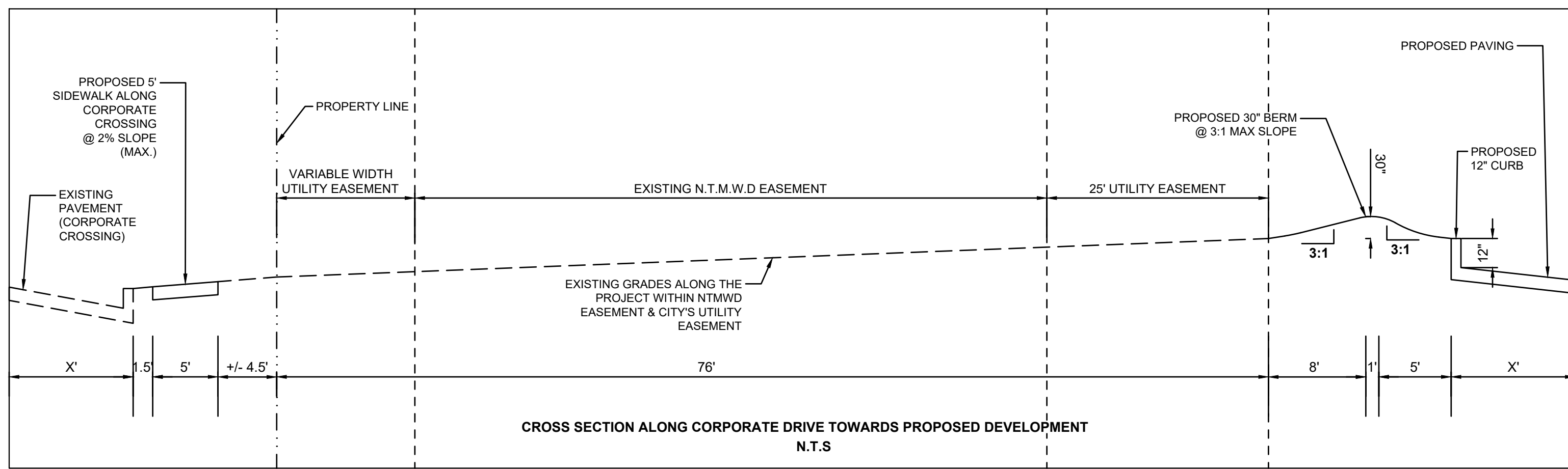


### SITE DATA SUMMARY TABLE

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### SITE LEGEND

CONCRETE CURB	
SAW-CUT LINE	
FENCE	
FIRE LANE	
STRIPING	
PARKING SPACES	
MONUMENT/PYLON SIGN	
WHEEL STOPS	
HANDICAP LOGO	
HANDICAP SIGN	
RAMP	
BOLLARD	
TRAFFIC ARROW	
OIL WATER SEPARATOR	
FIRE HYDRANT	
DUMPSTER	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
SANITARY SEWER DOUBLE CLEANOUT	
SANITARY SEWER SAMPLE PORT	
GREASE TRAP	
DOMESTIC WATER METER	
IRRIGATION METER	
GAS METER	
TRANSFORMER	
LIGHT POLE	
POWER POLE	
UNDERGROUND TELEPHONE LINE	
UNDERGROUND ELECTRIC LINE	
GAS LINE	
SANITARY SEWER LINE	
WATER MAIN	
DOMESTIC WATER LINE	



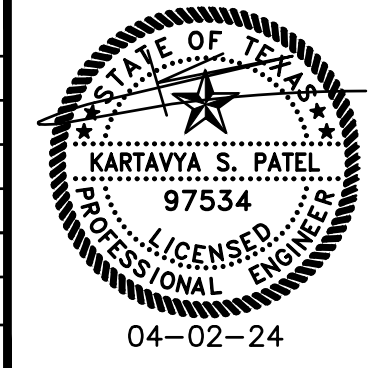
SECTION A-A

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	09/07/23	1st SITE PLAN	EB
2	10/13/23	35' WIDE DRIVEWAYS	EB
3	11/08/23	2nd SITE PLAN	EB
4	02/19/24	REVISED DUMPSTER PAD	EB
5	03-15-24	SITE PLAN SUBMITTAL	JA
6	04-02-24	SITE PLAN SUBMITTAL	JA



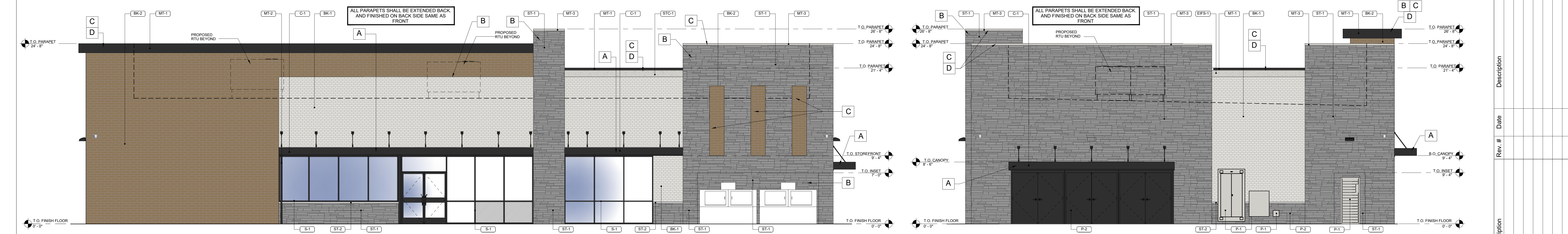
### BERM CROSS-SECTION

7-ELEVEN  
1200 CORPORATE CROSSING  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS 75032  
FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE #1	125-23	C-3.1

TX. P.E. FIRM #11525



**West Elevation Materials**

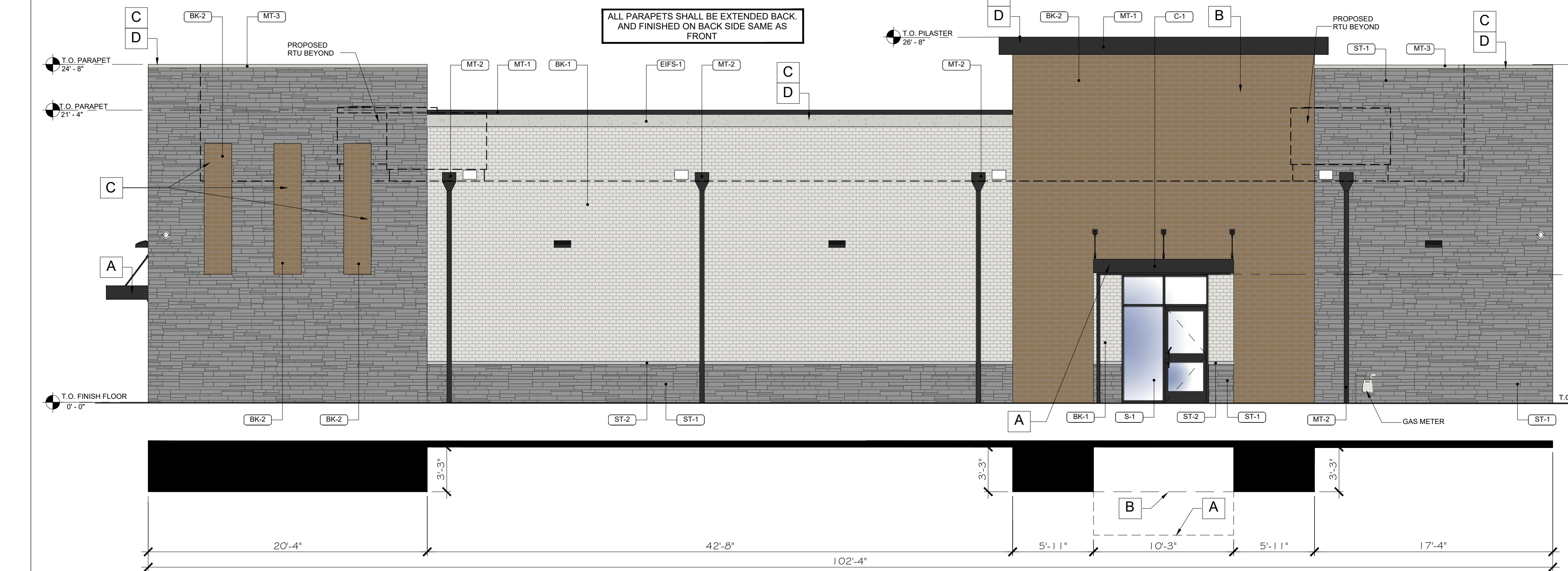
Material	SF	Percent
BK-1	520 sf	25.0%
BK-2	750 sf	39.0%
ST-1	621 sf	30.0%
STC-1	5 sf	0%
MT-1	84 sf	4.0%
MT-3	6 sf	0%
STC-1	15 sf	1.0%
Total	2,041 sf	100%

**South Elevation Materials**

Material	SF	Percent
BK-1	208 sf	13%
BK-2	0 sf	0%
ST-1	990 sf	80%
ST-2	3 sf	0%
MT-1	14 sf	1%
MT-3	11 sf	1%
STC-1	9 sf	0%
Total	1,235 sf	100%

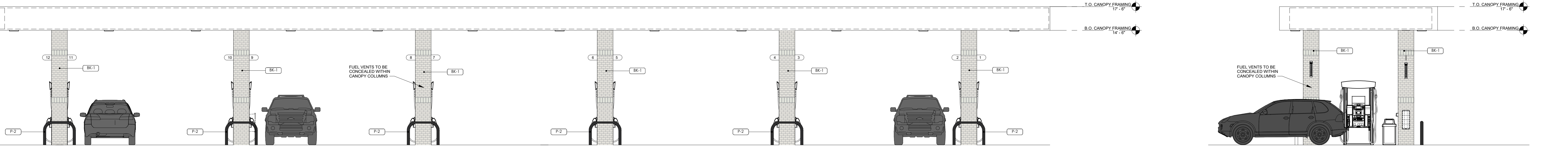
1 ELEVATION - WEST  
3/16" = 1'-0"

2 ELEVATION - SOUTH  
3/16" = 1'-0"



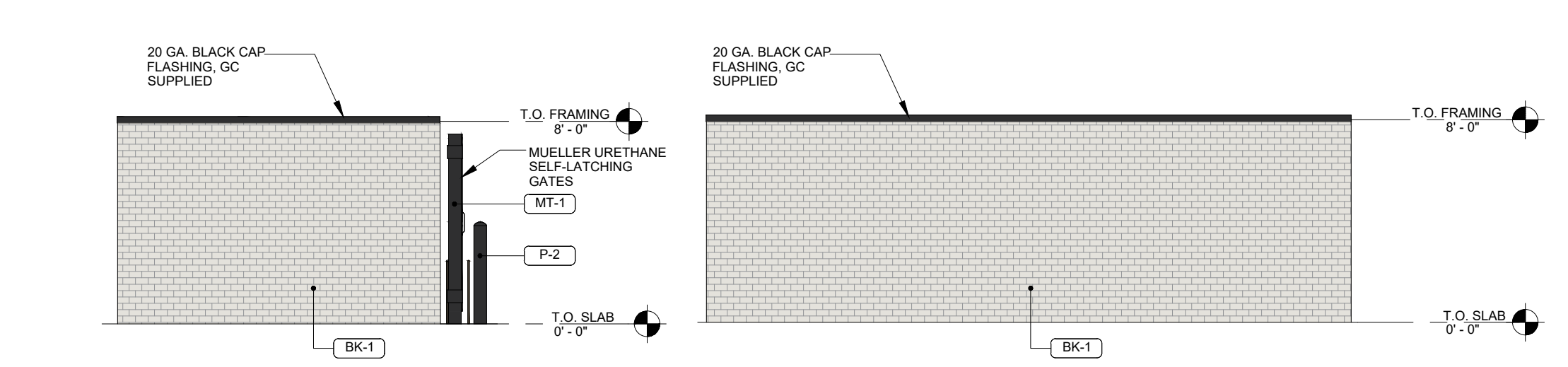
3 ELEVATION - EAST  
3/16" = 1'-0"

4 ELEVATION - NORTH  
3/16" = 1'-0"

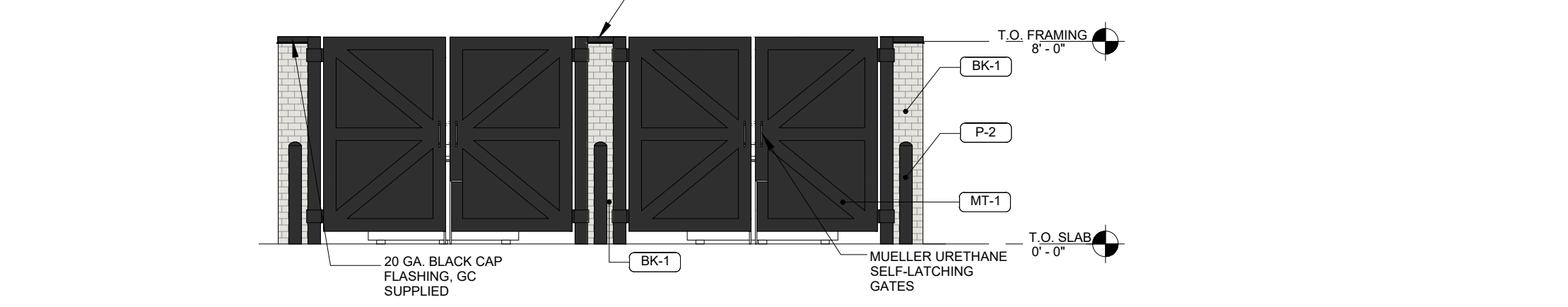


5 GAS CANOPY ELEVATION - FRONT  
3/16" = 1'-0"

6 GAS CANOPY ELEVATION - SIDE  
3/16" = 1'-0"



7 DUMPSTER ENCL. ELEVATION - SIDE  
3/16" = 1'-0"



9 FRONT DUMPSTER ENCL. ELEVATION  
3/16" = 1'-0"

**MATERIAL SCHEDULE**

MT-1 PRE-FINISHED METAL COPING - COAL BLACK	MT-2 PRE-FINISHED SHEET METAL DOWNSPOUT SYSTEM - COAL BLACK	MT-3 PRE-FINISHED METAL COPING - TO BE PAINTED SW 7648 - BIG CHILL	ST-1 NATURAL THIN STONE VENEER QUARRY MILL LEDGESTONE - KIRKLAND	ST-2 STONE SILL CORONADO STONE 800 SERIES TRIM - GRAY	BK-1 THIN BRICK CORONADO STONE - WIRE CUT COLOR: GLACIER
BK-2 THIN BRICK ACME (METROBRICK) COLOR: BROWNSTONE	STC-1 THREE PART STUCCO COLOR: SW 7648 BIG CHILL	P-1 PAINT SHERWIN WILLIAMS - BIG CHILL	P-2 PAINT SHERWIN WILLIAMS - TRICORN BLACK - SW 6258 BOLLARDS, FUEL CANOPY COLUMNS	S-1 KAWNEER 451T VG ALUMINUM STOREFRONT FRAME COLOR: #29 BLACK	C-1 MAPES PRE-FINISHED CANOPY - MATTE BLACK

**REQUIRED ARCHITECTURAL ELEMENTS - ACHIEVED**

A	CANOPES, AWNINGS, OR PORTICO - CANOPES
B	RECESSES/PROJECTIONS - TOWER ELEMENTS, OVERHANG SOFFIT ABOVE MAIN STOREFRONT
C	ARCHITECTURAL DETAILS - DIFFERENT CORNICE TREATMENTS, RECESSED DETAILS (VARIED MATERIALS)
D	VARIED ROOF HEIGHTS

**PROJECT CONTACT LIST**

<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TX 75238 214.343.9400 ALEXANDRA MATIS AMATIS@DIMENSIONGRP.COM	<b>CIVIL ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DR. ALLEN, TX 75013 469.331.8566 KARTAVYA PATEL, P.E. KPATEL@TRIANGLE-ENGR.COM	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2001 NETWORK BLVD, STE #413 FRISCO, TX 75034 214.889.6503 ERIN MILELR EMILLER@SCHAFFERCONST.COM
---	---	--

**PROPOSED FACADE PLAN**

CITY CASE #SP2024-015  
CORPORATE CROSSING & FIT SPORT LIFE BLVD  
FIT SPORT LIFE ADDITION  
BLOCK B, LOT 6  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
DATE PREPARED : 04.03.2024

Job#: 230-759  
Scale: AS NOTED  
Date: 4/3/24  
Drawn By:  
Checked By:

Documents prepared by the specific user for which they are responsible and are not to be used for any other project, without the expressed, written consent of the user. The Group is done at the user's own risk. Specifically, the user will hold the Dimension Group harmless from all claims and all losses.

7-ELEVEN, INC.  
3200 HACKBERRY ROAD, IRVING, TX 75063  
7-ELEVEN #1055880  
SEC OF FIT SPORT BLVD & CORPORATE CROSSING  
ROCKWALL, TX 75087  
PRELIMINARY ELEVATIONS

PROTO: CST 9350

**THE DIMENSION GROUP**  
ARCHITECTURAL/CIVIL/ENGINEERING/MEP/ENGINEERING  
TEL: 214-343-9400  
WWW.DIMENSIONGROUP.COM

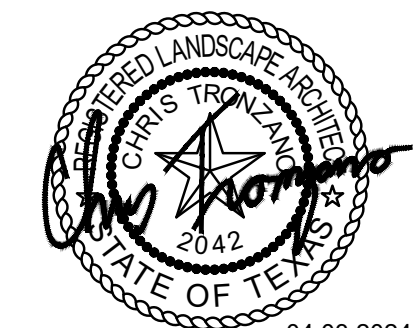
PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

SHEET: P.1  
CST 9350L

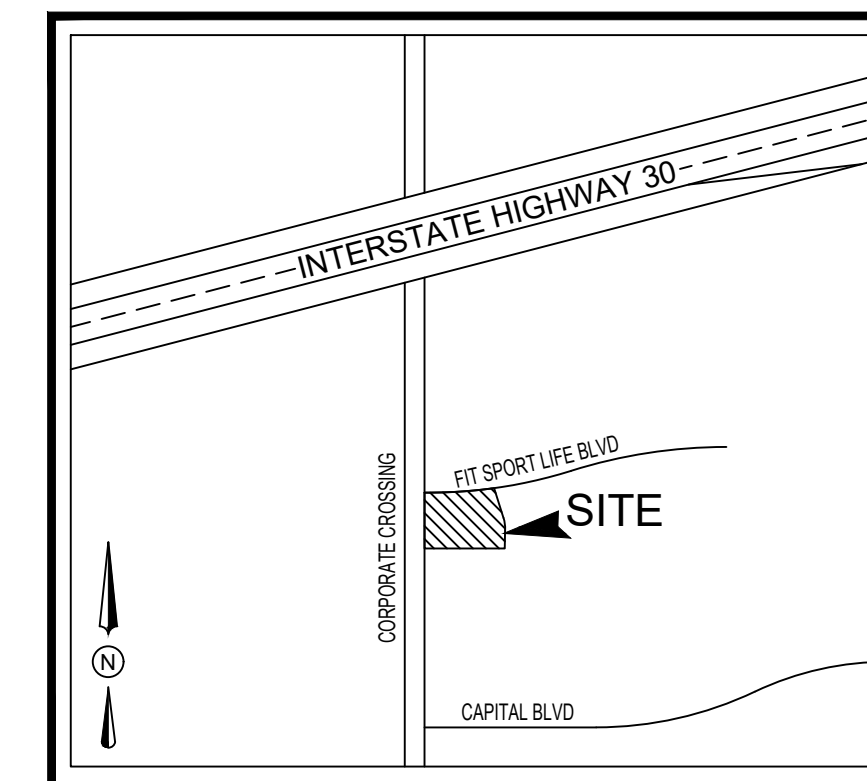
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DRAWING NAME: \_SEI\_XA-EXTERIOR ELEVATIONS PRELIM 2024.04.03.DWG  
PRINT DATE: Apr 03, 2024 - 2:30pm



LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRIS@STUDIOGREENSPOT.COM



04.03.2024



VICINITY MAP  
N.T.S.

**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

**LANDSCAPE TABULATIONS:**  
I-30 Overlay / Commercial zoning

SITE REQUIREMENTS (site area 84,936 s.f.)  
Requirements: 20% site area to be landscaped

Required	Provided
16,987 s.f. (20%)	35,905 s.f. (42%)

Impervious site area- 49,032 s.f. (58%)

**FRONT YARD REQUIREMENTS**  
Requirements: 50% of required landscape must be located in front yard

Required	Provided
8,493 s.f. (50%)	30,744 s.f. (100+%)

**STREET REQUIREMENTS**  
Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4" ht. per 100 l.f. of frontage. Perimeter screening (30" height berm and 30" ht. evergreen shrubs.)

FIT SPORT LIFE BLVD. (249 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(10) accent trees	(10) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

CORPORATE CROSSING (262 l.f.)

Required	Provided
(5) canopy trees	(8) canopy trees
(11) accent trees	(11) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

**PARKING LOT REQUIREMENTS (32 spaces)**  
Requirements: (1) canopy tree, 4" cal. per 10 parking spaces

Required	Provided
(4) canopy trees	(4) canopy trees

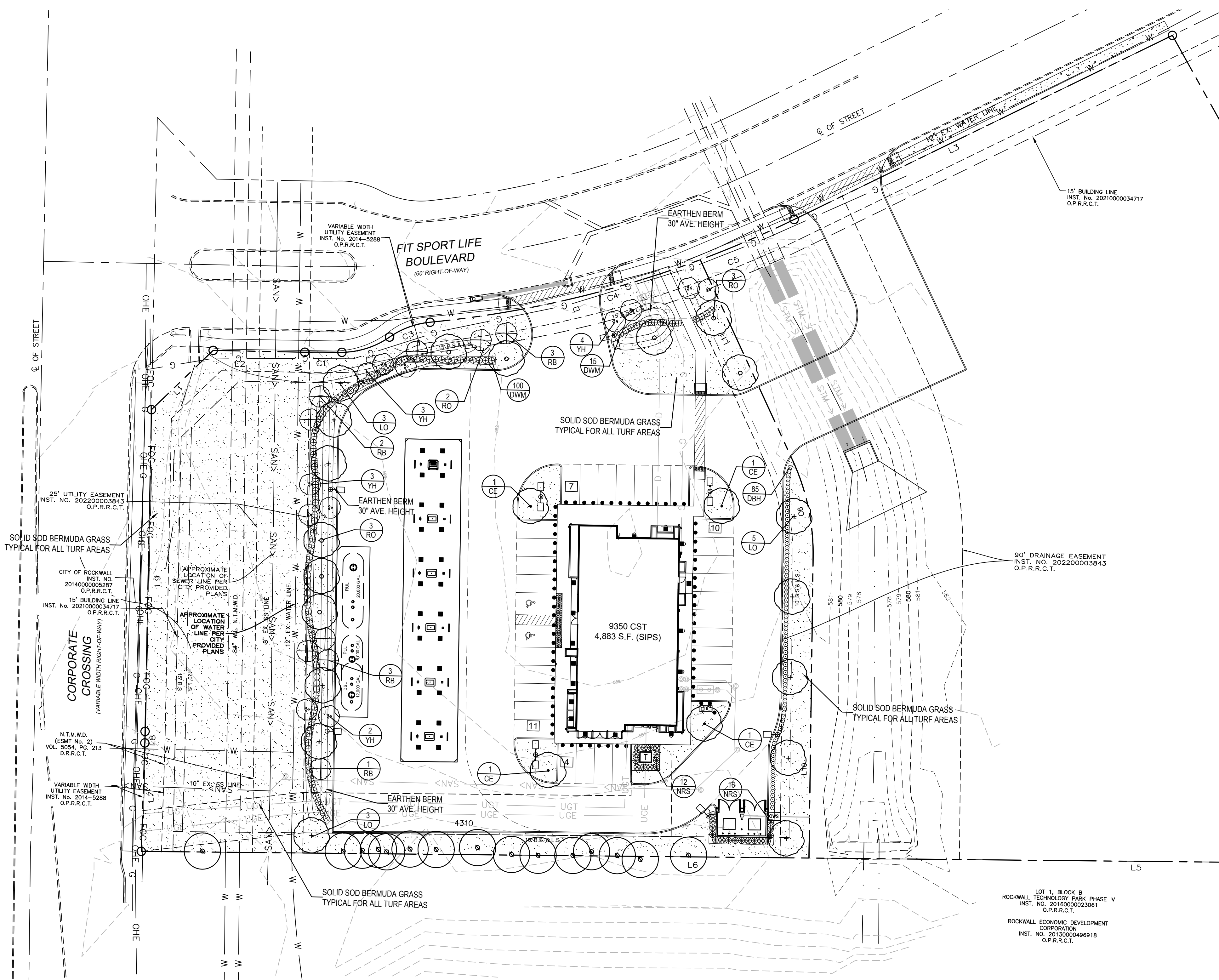
ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE TCEQ AND THE CITY OF ROCKWALL UCS

**GENERAL LAWN NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

**SOLID SOD NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.



LOT 1, BLOCK B  
ROCKWALL TECHNOLOGY PARK PHASE IV  
INST. NO. 20162000023061  
O.P.R.R.C.T.

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION  
INST. NO. 2013000496918  
O.P.R.R.C.T.

LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 26°06'50" E	109.77'

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'28" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

SITE DATA SUMMARY TABLE	
SITE ACREAGE:	1.95 AC (84,939 S.F.)
ZONING:	C-COMMERCIAL W/ I-30 OVERLAY DISTRICT
PROPOSED USE:	FUELING STATION W/ CONVENIENCE STORE
BUILDING AREA:	4,883 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	26'-8"
BUILDING COVERAGE:	5.75%
FLOOR AREA RATIO:	0.06
IMPERVIOUS AREA:	48,947 S.F. (57.63%)
PERVIOUS/LANDSCAPE AREA:	35,992 S.F. (42.37%)
REGULAR PARKING REQUIRED:	20 SPACES
REGULAR PARKING PROVIDED:	30 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	32 SPACES

**PLANT MATERIAL SCHEDULE**

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	4	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	B&B, 12" ht., 5' spread, 6' clear straight trunk
LO	11	Live Oak	<i>Quercus shumardii</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
RO	8	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
YH	12	Yaupon Holly	<i>Ilex vomitoria</i>	2" cal.	container, 8" ht., 4' spread, tree form
RB	9	Red Bud	<i>Cercis canadensis</i>	2" cal.	container, 8" ht., 4' spread, tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DBH	85	Dwarf Burford Holly	<i>Ilex cornuta nana</i>	7 gal.	container, 36" ht., 30" spread
DWM	115	Dwarf Wax Myrtle	<i>Myrica pusilla</i>	7 gal.	container, 36" ht., 30" spread
NRS	28	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 30" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon '419'</i>		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

01 LANDSCAPE PLAN  
SCALE 1"=30'-0"

PROJECT CONTACT LIST	
<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KELTY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com	

**7-ELEVEN AT CORPORATE CROSSING**  
 FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
 ROCKWALL, TEXAS

ISSUE:  
FOR APPROVAL 03.14.2024  
CITY COMMENTS 04.03.2024

DATE:  
04.03.2024

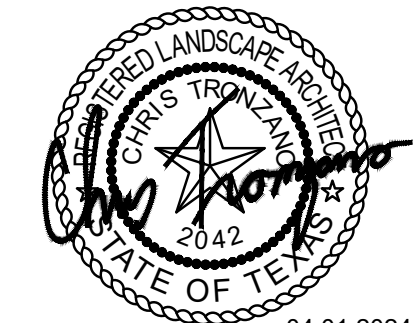
SHEET NAME:  
LANDSCAPE PLAN

SHEET NUMBER:

**L.2**  
CASE NO:  
SP2024-015

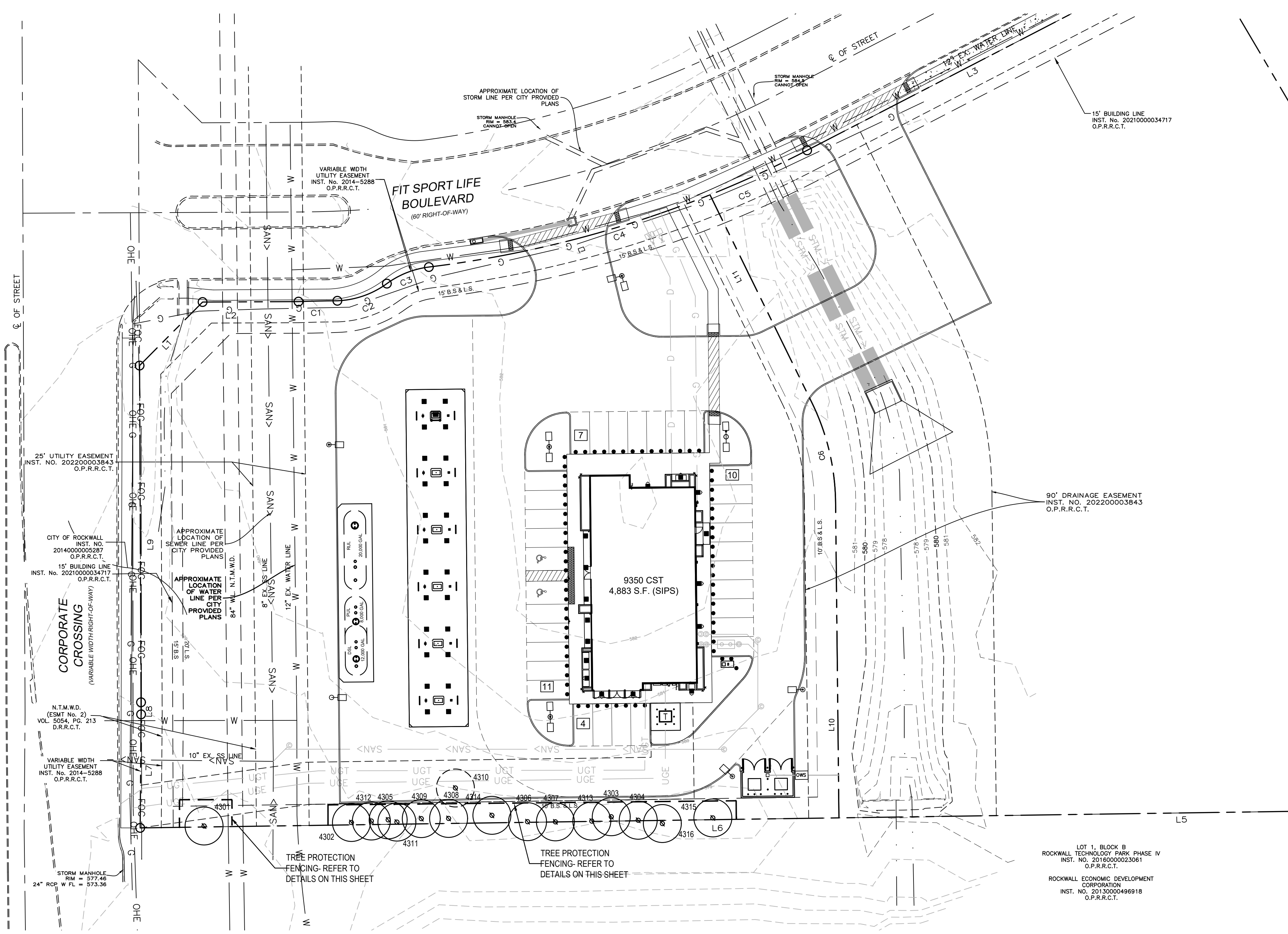


LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRIS@STUDIOGREENSPOT.COM



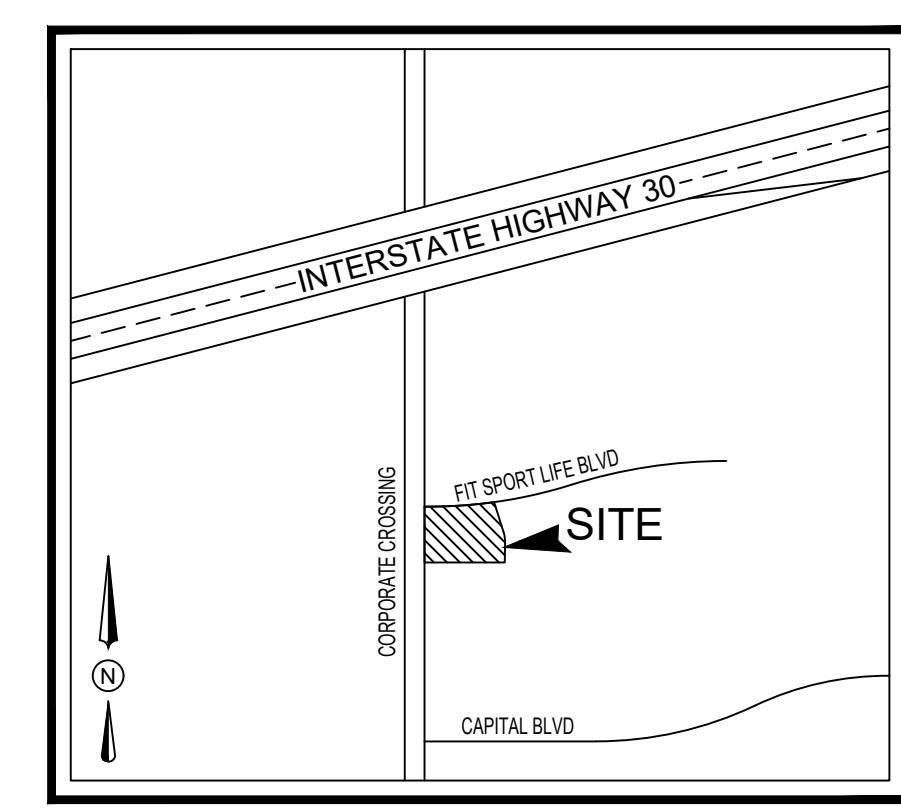
04.01.2024

**7-ELEVEN AT CORPORATE CROSSING**  
FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
ROCKWALL, TEXAS

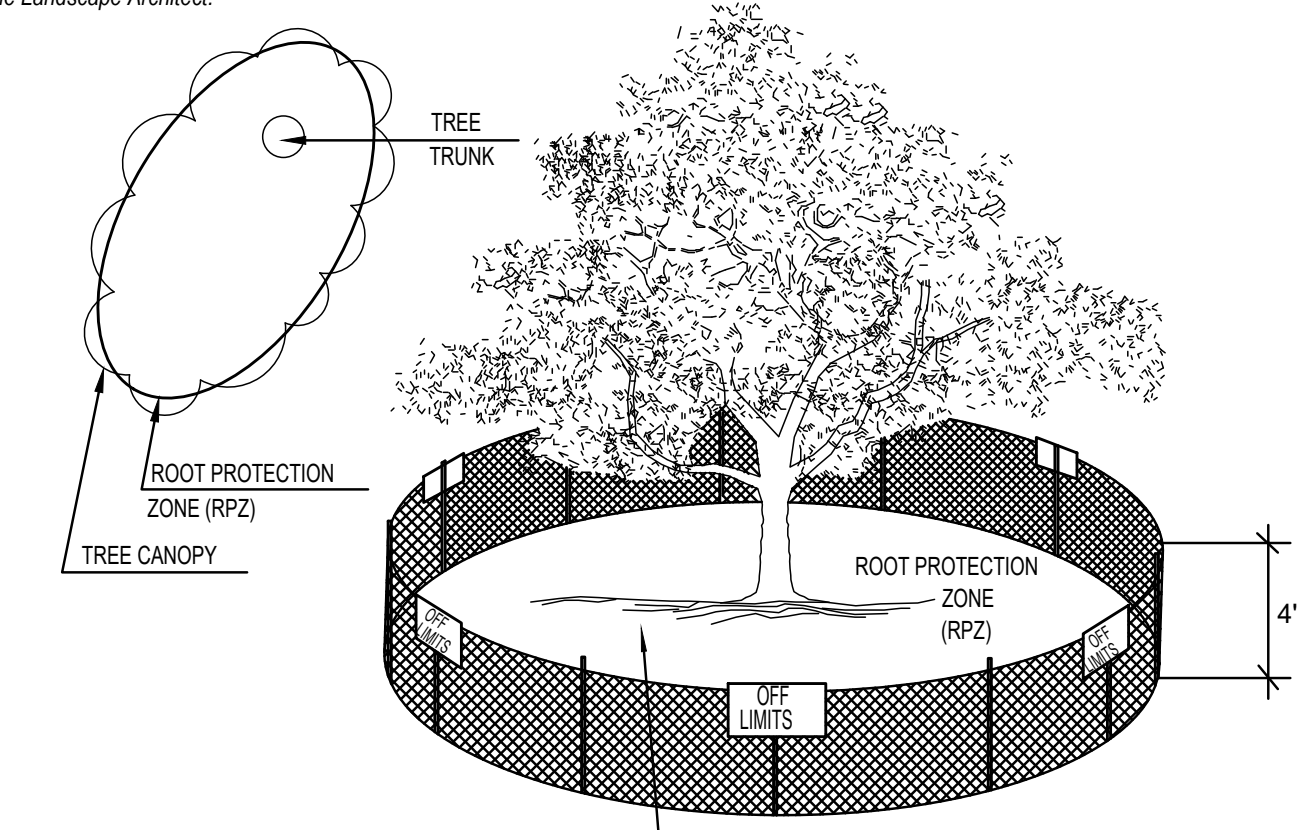


**EXISTING TREE NOTES**

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.



VICINITY MAP  
N.T.S.

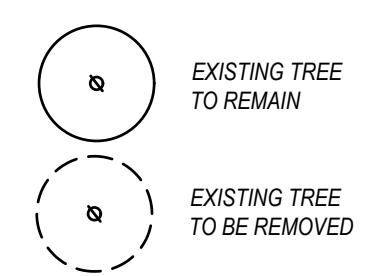


01 TREE PROTECTION FENCE A  
NOT TO SCALE

LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
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CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
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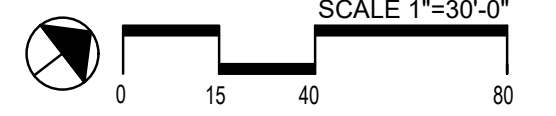
**EXISTING TREE LEGEND**



**TREE SURVEY FIELD DATA**

NO.	SIZE (IN DIA)	SPECIES (COMMON NAME)	PROTECTED/ UNPROTECTED	REMARKS
4301	36	WILLOW	UNPROTECTED	TO REMAIN
4302	6	HACKBERRY	UNPROTECTED	TO REMAIN
4303	6	HACKBERRY	UNPROTECTED	TO REMAIN
4304	12	HACKBERRY	UNPROTECTED	TO REMAIN
4305	7	HACKBERRY	UNPROTECTED	TO REMAIN
4306	16	HACKBERRY	UNPROTECTED	TO REMAIN
4307	12	HACKBERRY	UNPROTECTED	TO REMAIN
4308	7	HACKBERRY	UNPROTECTED	TO REMAIN
4309	7	HACKBERRY	UNPROTECTED	TO REMAIN
4310	6	CEDAR	UNPROTECTED	TO BE REMOVED
4311	7	HACKBERRY	UNPROTECTED	TO REMAIN
4312	14	HACKBERRY	UNPROTECTED	TO REMAIN
4313	6	HACKBERRY	UNPROTECTED	TO REMAIN
4314	8	HACKBERRY	UNPROTECTED	TO REMAIN
4315	14	HACKBERRY	UNPROTECTED	TO REMAIN
4316	14	HACKBERRY	UNPROTECTED	TO REMAIN

**01 TREE PRESERVATION PLAN**



**ISSUE:**  
FOR APPROVAL 04.01.2024

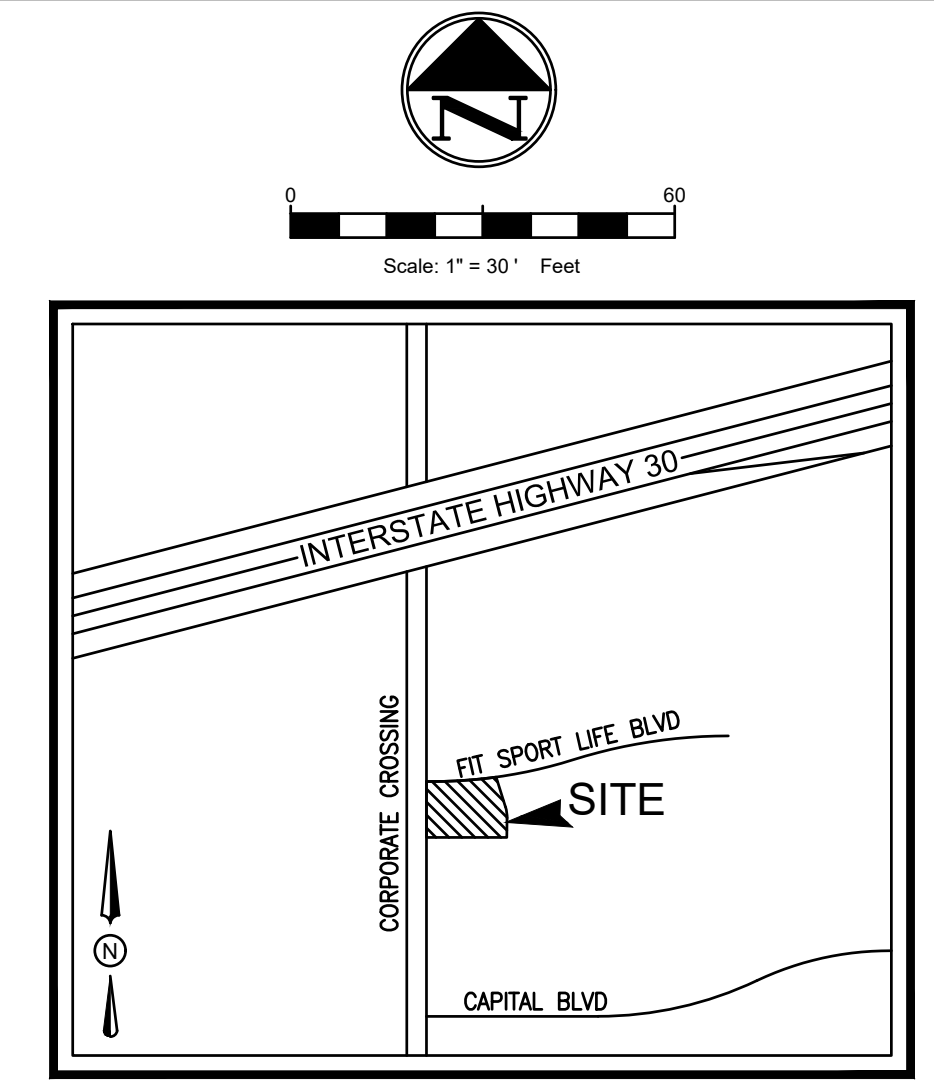
**DATE:**  
04.01.2024

**SHEET NAME:**  
LANDSCAPE PLAN

**SHEET NUMBER:**

PROJECT CONTACT LIST	
<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-531-8566	<b>DEVELOPER</b> SCHAFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
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<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KELTY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com	

**L.1**  
**CASE NO:**  
**SP2024-015**



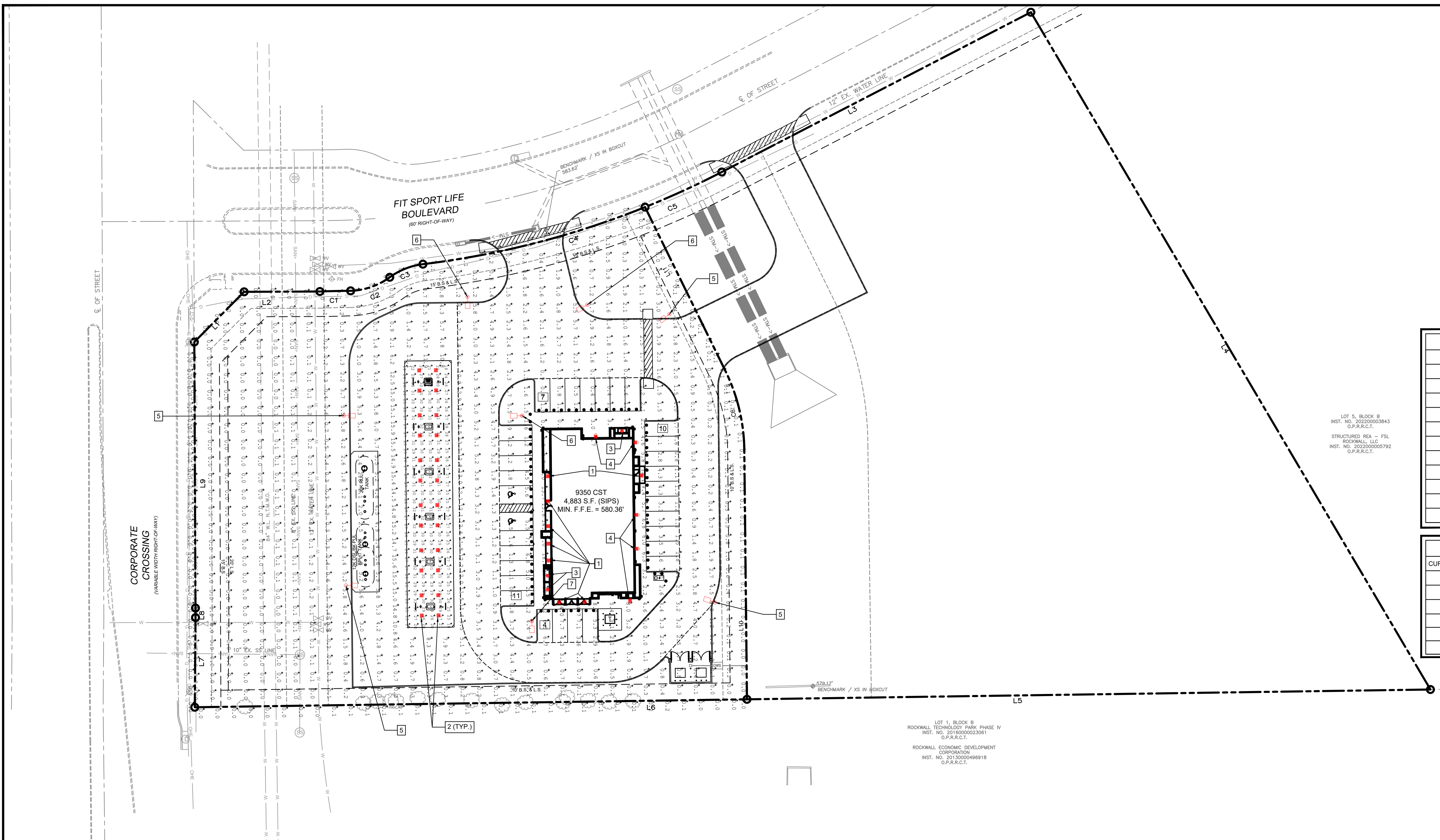
VICINITY MAP  
N.T.S.

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
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BOUNDARY CURVE DATA					
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LOT 5, BLOCK B  
INST. NO. 20220003843  
O.P.R.R.C.T.  
STRUCTURED REA - FSL  
ROCKWALL, LLC  
INST. NO. 20220005792  
O.P.R.R.C.T.

LOT 1, BLOCK B  
ROCKWALL TECHNOLOGY PARK PHASE IV  
INST. NO. 201600023061  
O.P.R.R.C.T.  
ROCKWALL ECONOMIC DEVELOPMENT  
CORPORATION  
INST. NO. 2013000496918  
O.P.R.R.C.T.



Luminaire Schedule									
Number	Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUG Rating
1	[Symbol]	8	CPY-F-4L	Single	1.000	4590	31	CPY250-C-4L-57K7-F-UL-DM-WH-HZ	B2-U0-G1
2	[Symbol]	24	CPY-F-8L	Single	1.000	8475	53	CPY250-C-8L-57K7-F-UL-DM-WH-HZ	B3-U0-G1
3	[Symbol]	3	D2	SINGLE	1.000	N.A.	19	CDR6-B-ALS-9ACK-10V5-WH-UNV	B1-U2-G0
4	[Symbol]	5	XSPW	WALL MOUNT	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-BK	B1-U0-G1
5	[Symbol]	4	XSPMD-3ME-BLS	SINGLE	1.000	8425	95	XSPMD-D-HT-3ME-12L-57K7-UL-BK-N w_XA-SP1BLS	B1-U0-G2
6	[Symbol]	3	XSPMD-4ME-BLS	SINGLE	1.000	8675	92	XSPMD-D-HT-4ME-12L-57K7-UL-BK-N w_XA-SP1BLS	B1-U0-G2
7	[Symbol]	1	XSPMD-2ME-BLS	SINGLE	1.000	9150	135	XSPMD-D-HT-2ME-12L-57K7-UL-BK-N w_XA-SP1BLS	B1-U0-G2

Calculation Summary (Footcandles calculated using LMF: 1.00)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	2.34	18.9	0.0	N.A.	N.A.
GAS CANOPY	Fc	28.32	32	17	1.67	1.88
PROPERTY LINE	Fc	0.05	0.2	0.0	N.A.	N.A.
PAVED AREA	Fc	2.72	12.1	0.2	13.60	60.50

**Pole Schedule**  
(8) SSS-4-11-15-CW-BS-OT-N-BK (15' X 4" X 11ga STEEL SQUARE POLE)  
Proposed poles meet 140 MPH sustained winds.

**Additional Equipment:**  
(8) PD-1H4BK (Single Head Tenon)  
(8) XA-SP1BLS (Back Light Shield)

**Lighting Requirements:**  
Paved Area: Maximum of 20fc  
Gas Canopy: Maximum of 35fc  
Property Line: .2fc Maximum

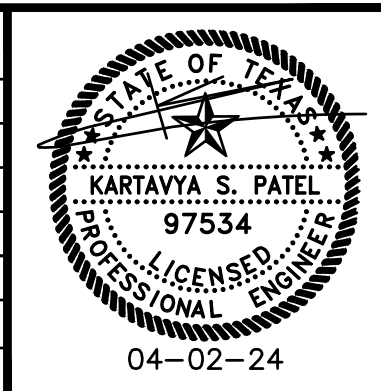
\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	09/07/23	1st SITE PLAN	EB
2	10/13/23	35' WIDE DRIVEWAYS	EB
3	11/08/23	2nd SITE PLAN	EB
4	02/19/24	REVISED DUMPSTER PAD	EB
5	03-15-24	SITE PLAN SUBMITTAL	JA
6	04-02-24	SITE PLAN SUBMITTAL	JA



**PHOTOMETRIC PLAN**  
**7-ELEVEN**  
**1200 CORPORATE CROSSING**  
**CITY OF ROCKWALL**  
**ROCKWALL COUNTY, TEXAS 75032**  
**FIT SPORT LIFE ADDITION, BLOCK B, LOT 6**

**TRIANGLE ENGINEERING LLC**  
T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE BAR	125-23	<b>C-3.5</b>

TX. P.E. FIRM #11525



April 10, 2024

TO: Kevin Patel  
1782 W. McDermott Drive  
Allen, Texas 75013

CC: Conor Keilty  
3104 E Camelback Road #2387  
Pheonix Arizona 85016

FROM: Bethany Ross  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

SUBJECT: SP2024-015; *Site Plan for a Retail Store with Gasoline Sales*

Kevin:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on April 9, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- 1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- 2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government

Architecture Review Board

On March 26, 2024, the Architecture Review Board reviewed the building elevations and made the recommendation that the applicant [1] internalize the fire escape, [2] add awnings over the outside display, [3] show the roofs beyond, [4] provide a natural stone, and [5] find an alternate material to the nichiha.

On April 9, 2024, the Architecture Review Board approved a motion to recommend approval of the site plan with the condition that the applicant provide a stone sample for staff review.

Planning and Zoning Commission

On April 9, 2024, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 7-0 with ARB recommendations.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me a (972) 772-6488.

Sincerely,

A handwritten signature in black ink that reads "Bethany Ross". The signature is written in a cursive, flowing style.

Bethany Ross, *Planner*  
City of Rockwall Planning and Zoning Department