



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STATE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup> **\$215**
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **295 Harborview DR. Rockwall TX 75032**

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE
PROPOSED ZONING	PROPOSED USE
ACREAGE	LOTS [CURRENT]
	LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER	<b>KISANET GHEBRETSADIK</b>	APPLICANT	<b>Paul Arce</b>
CONTACT PERSON		CONTACT PERSON	
ADDRESS	<b>297 BLACKHAW DR</b>	ADDRESS	<b>5807 Ranger Dr</b>
CITY, STATE & ZIP	<b>FATE, TX 75087</b>	CITY, STATE & ZIP	<b>Rockwall TX 75032</b>
PHONE	<b>206-351-9741</b>	PHONE	<b>(972) 365-6823</b>
E-MAIL	<b>KISANETGHEBRETSADIK@gmail.com</b>	E-MAIL	<b>paularce tx@yahoo.com</b>

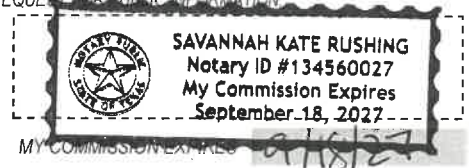
### NOTARY VERIFICATION [REQUIRED]

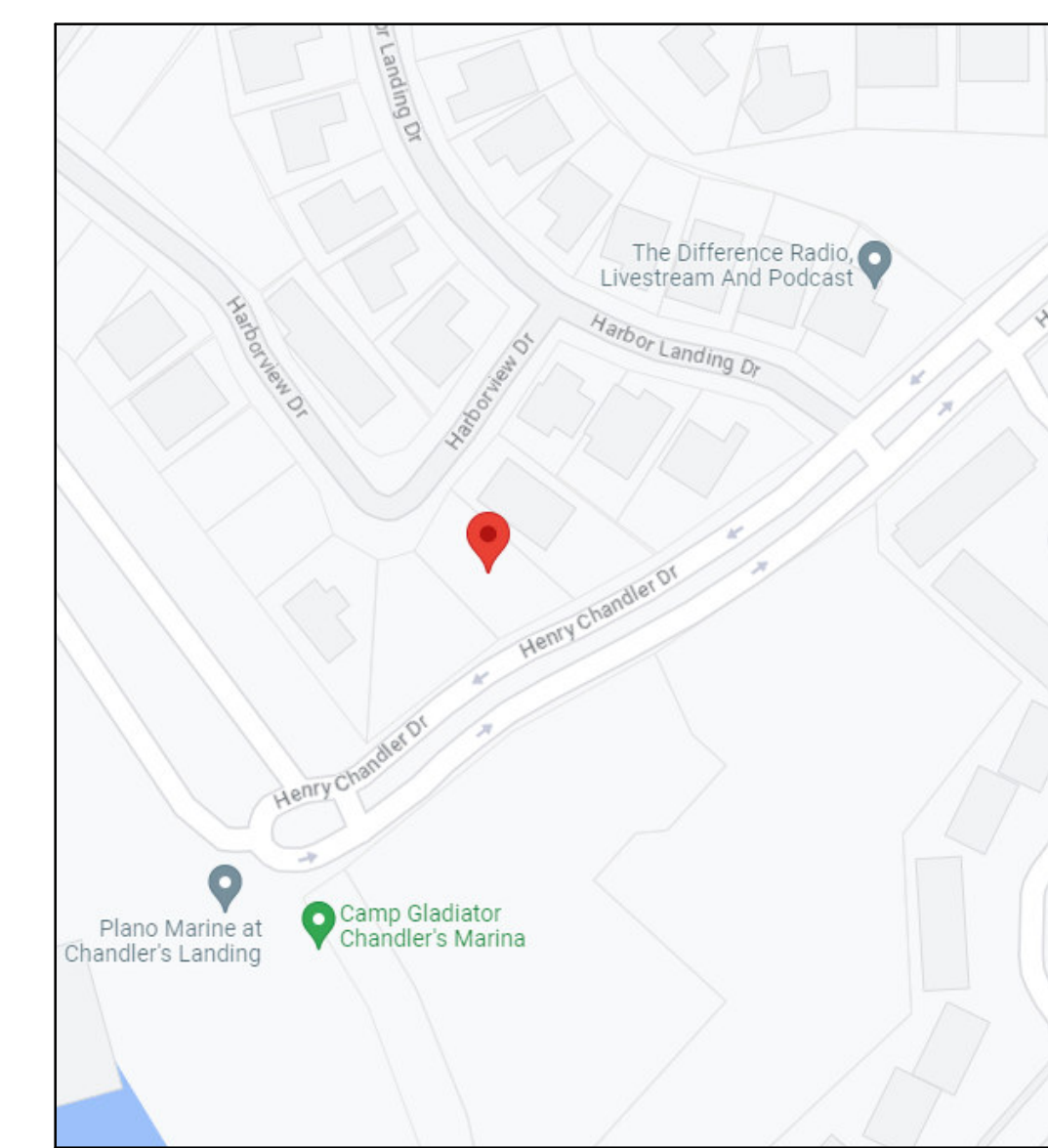
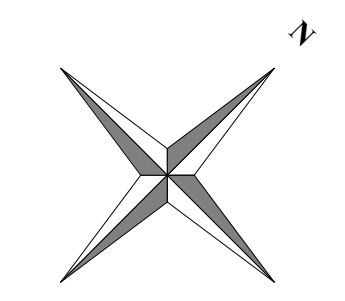
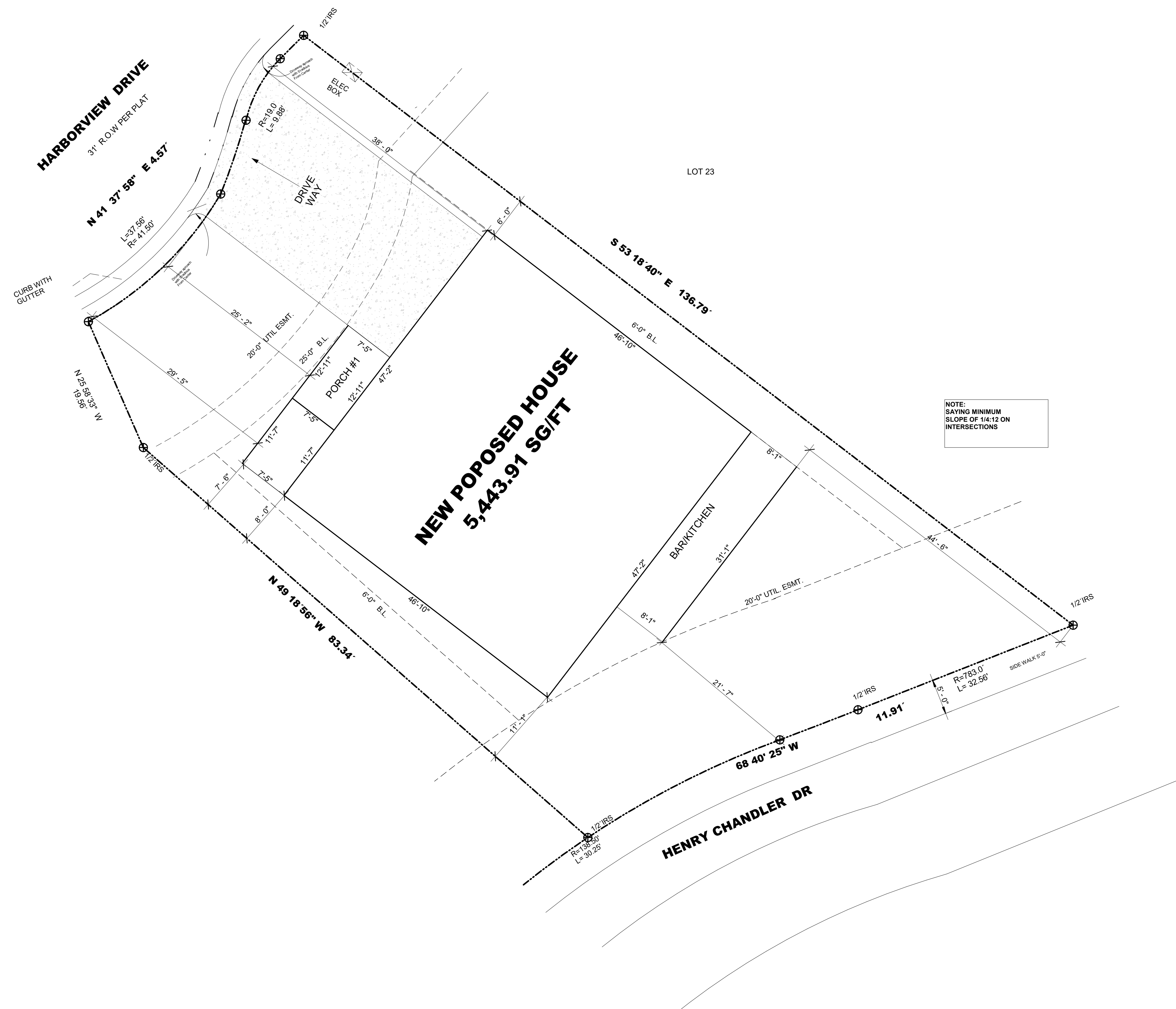
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **TRAVELDE ABREHAM** [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ **10.00** TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE **14/12/23** DAY OF **DECEMBER**, 20**23** BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE **14** DAY OF **12** 20**23**  
OWNER'S SIGNATURE **Kisanet**

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS **SK**

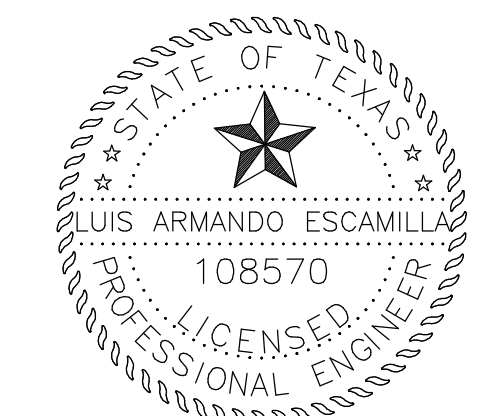




VICINITY MAP

**295 HARBORVIEW DR,  
ROCKWALL, TX 75032**

Proposed First Floor Plan	1,740 SG/FT
Proposed Second Floor Plan	1,640 SG/FT
Proposed Third Floor Plan	468 SG/FT
<b>Total New Construction</b>	<b>3,848 SG/FT</b>
Proposed Garage	564 SG/FT
Proposed Porch #1	96 SG/FT
Proposed Bar/ Kitchen	251.91 SG/FT
Proposed Balcony #1	120 SG/FT
Proposed Balcony #2	108 SG/FT
Proposed Porch #2	48 SG/FT
Proposed Terrace	408 SG/FT
<b>Total New Construction</b>	<b>5,443.91 SG/FT</b>
Lot	22
Country	Rockwall
City	Rockwall
Lot Area	<b>0.14 Acres</b>
Max Lot Coverage	35%
Lot Coverage	65%



10/07/2023  
FIRM# 18123

*L. Escamilla*



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

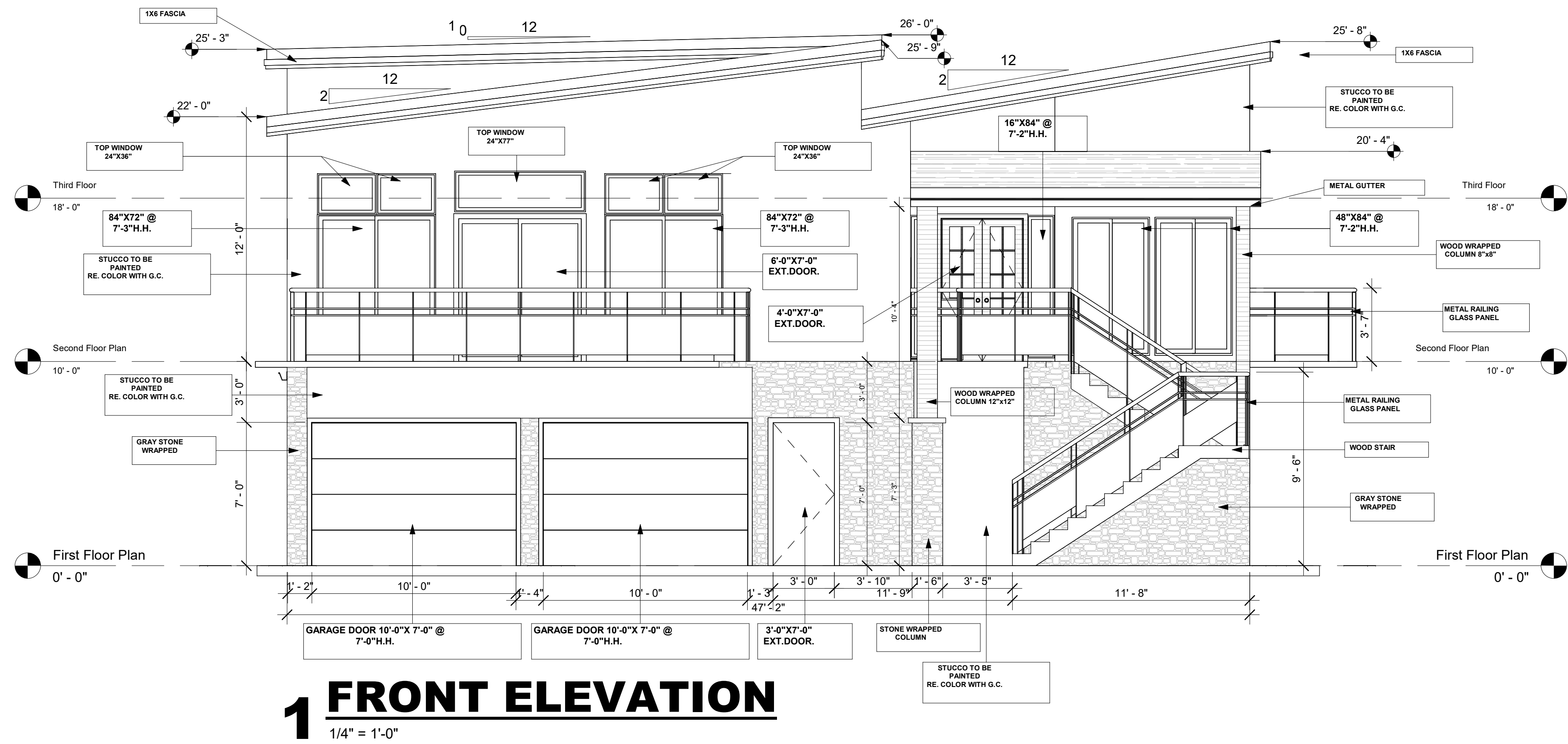
**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032

**Legal Description**  
LOT 22, BLOCK B

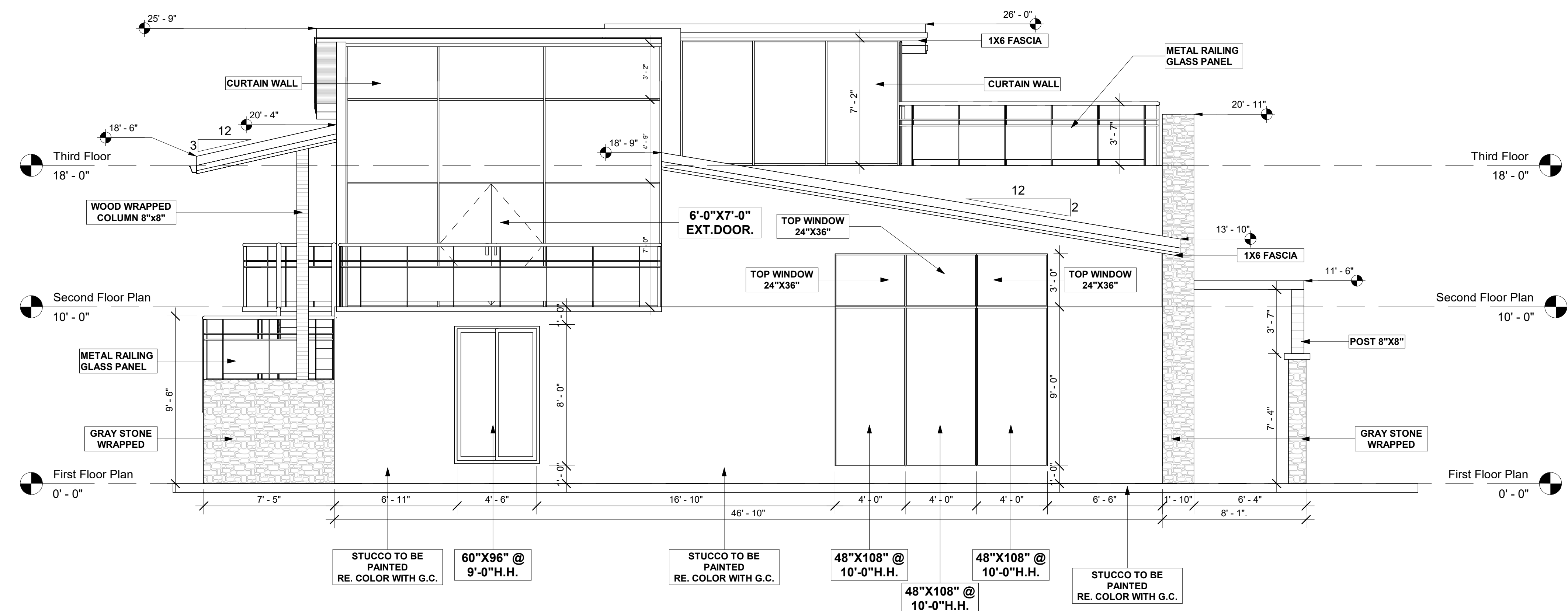
**SITE PLAN**

Date: 9/29/2023      Scale: 1/8" = 1'-0"

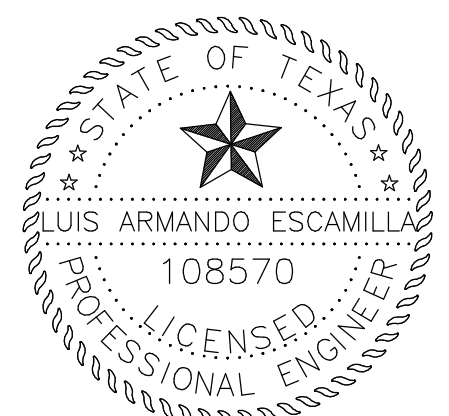
Drawn by: Projects & Construction Araque



**1 FRONT ELEVATION**  
1/4" = 1'-0"



**2 RIGHT ELEVATION**  
1/4" = 1'-0"



10/07/2023  
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*L. Escamilla*



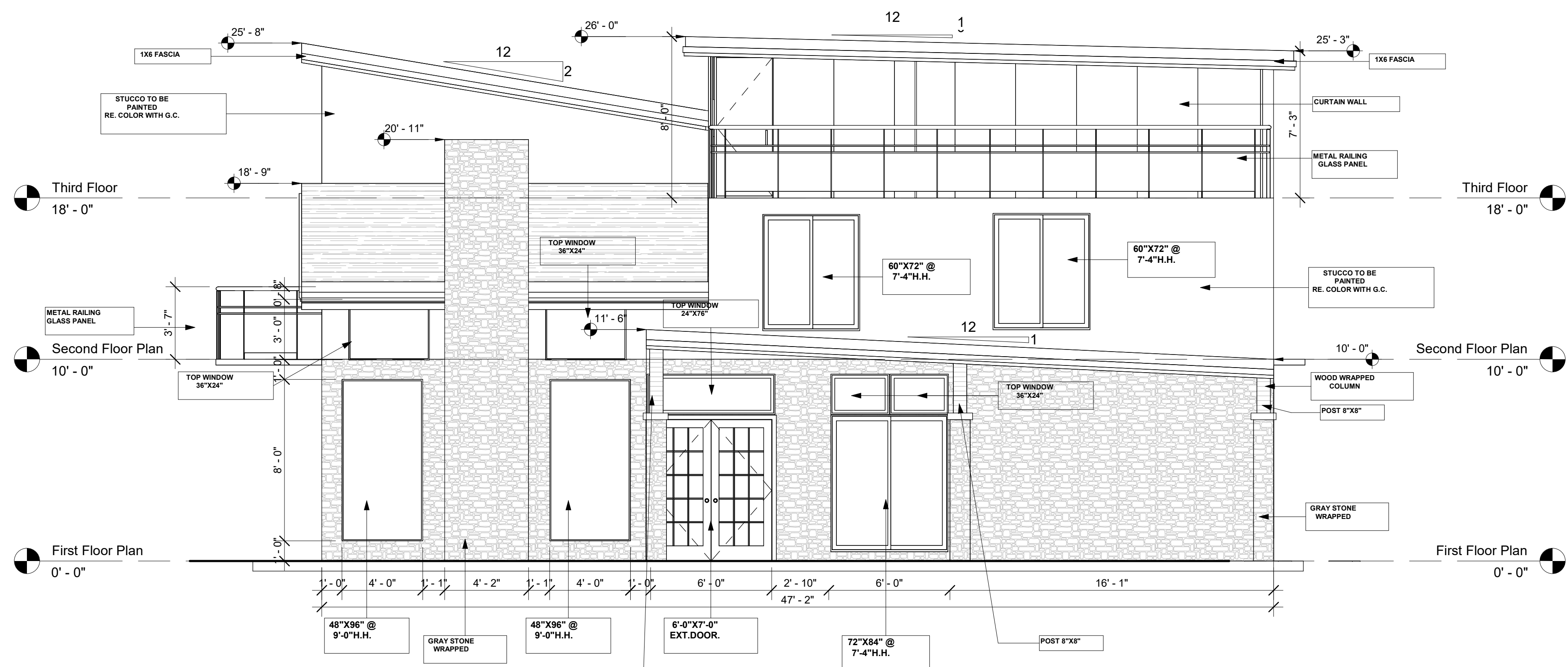
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LOT 22, BLOCK B

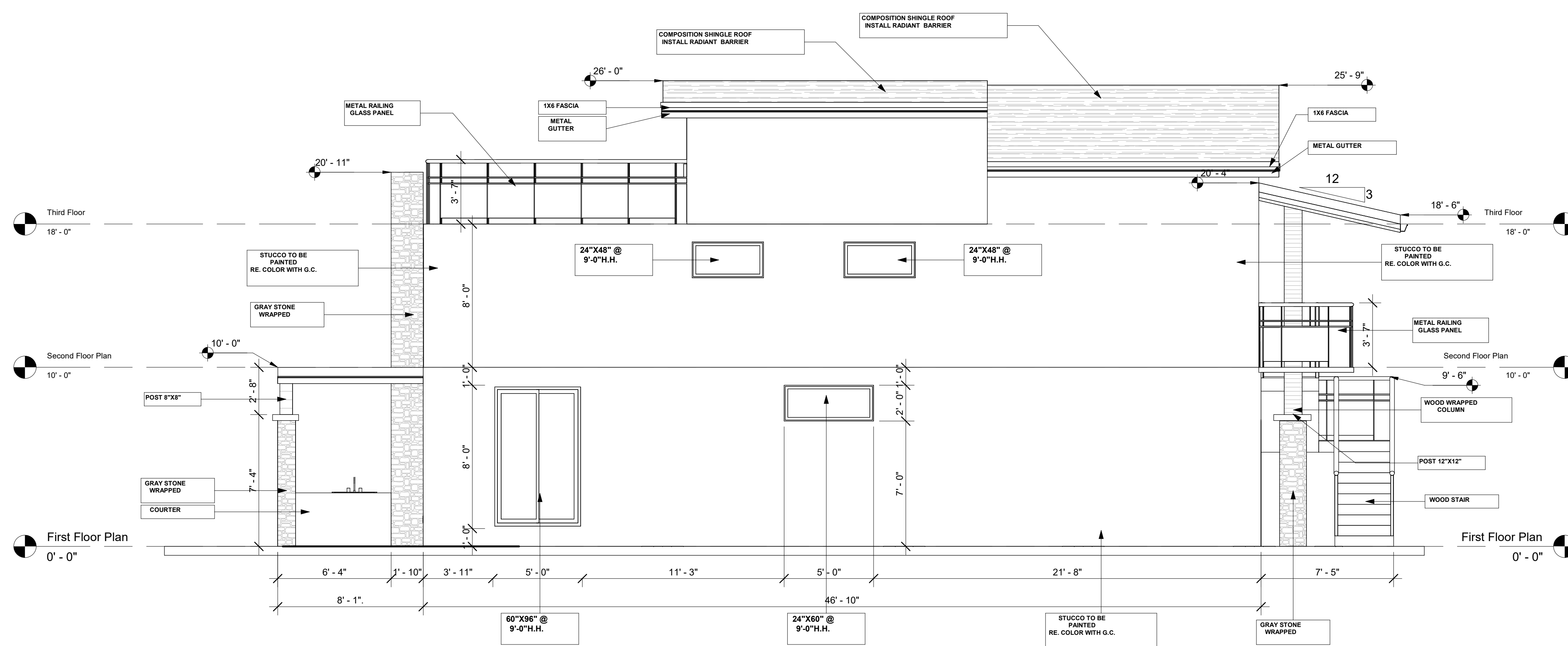
**ELEVATIONS**

Date: 9/29/2023 Scale: 1/4" = 1'-0"  
Drawn by: Projects & Construction Araque



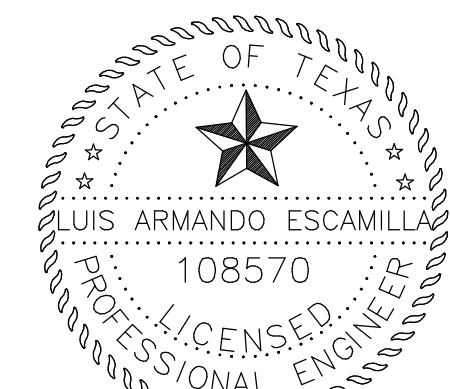
**1 REAR ELEVATION**

1/4" = 1'-0"



**2 LEFT ELEVATION**

1/4" = 1'-0"



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LOT 22, BLOCK B

**ELEVATIONS**

Date: 9/29/2023 Scale: 1/4" = 1'-0"  
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 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_FRONT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque



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 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_RIGHT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.1



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 LOT 22, BLOCK B

**RENDER\_REAR**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.2





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 LOT 22, BLOCK B

**RENDER\_LEFT**

Date: 9/29/2023 Scale  
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12.3



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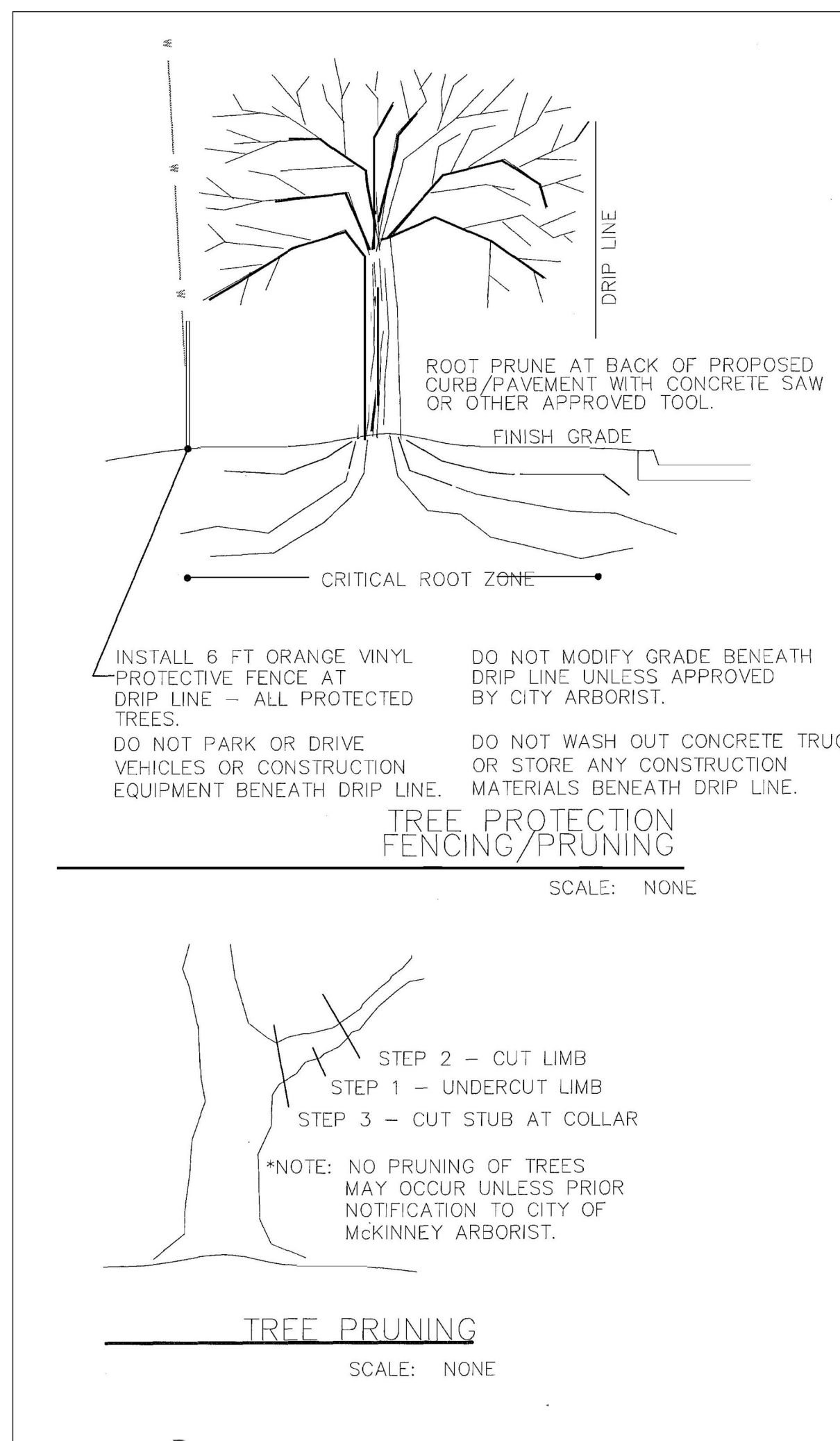
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**Legal Description**  
 LOT 22, BLOCK B

**RENDER**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.4

# DETAIL

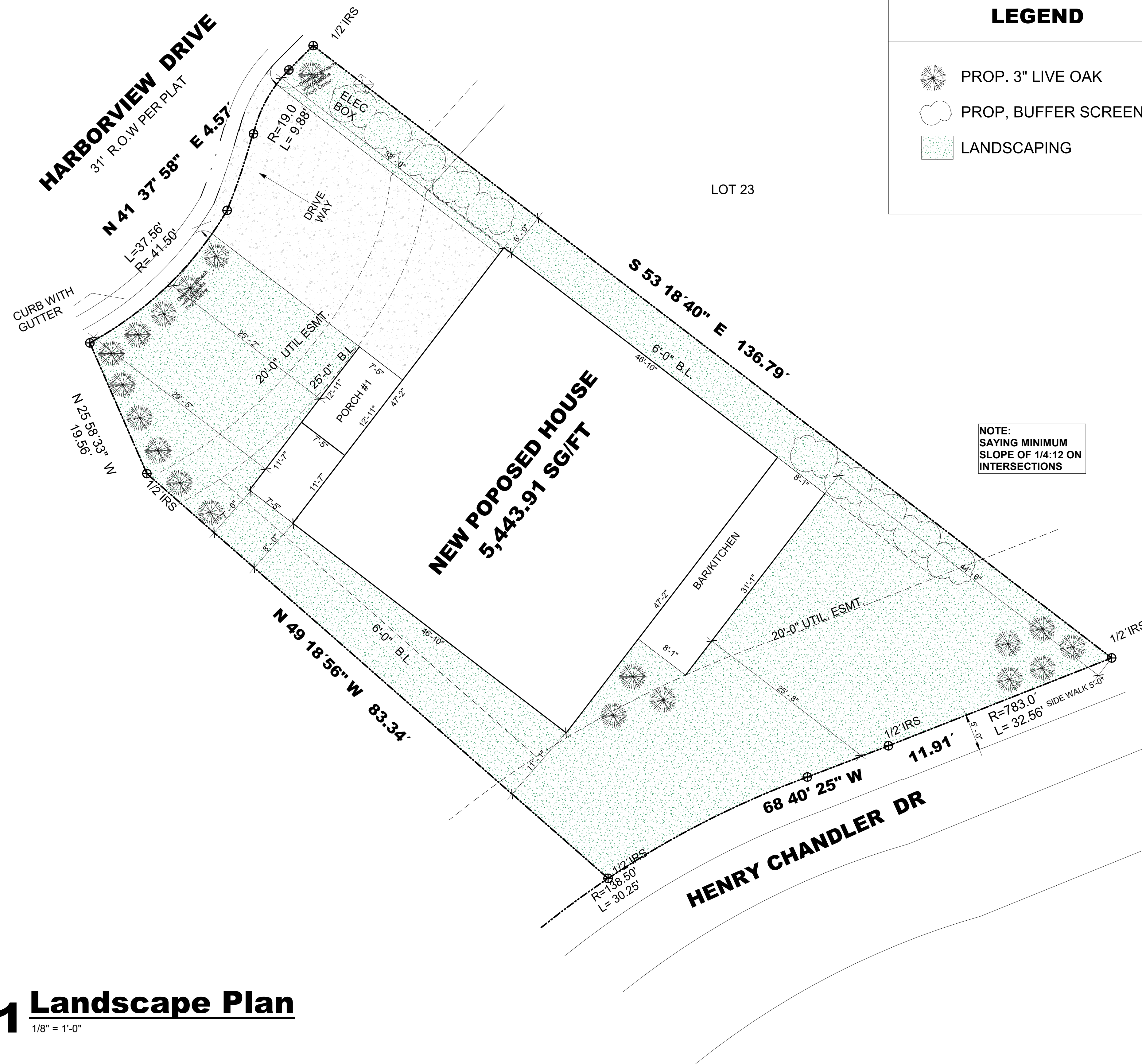


# 1 Landscape Plan

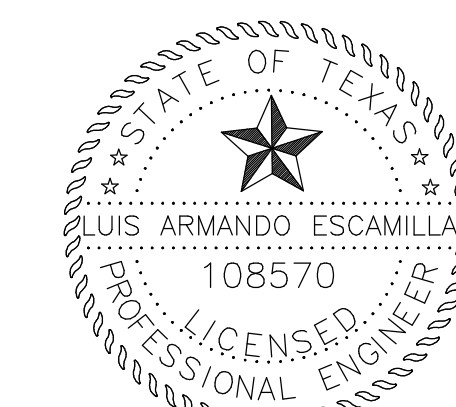
1/8" = 1'-0"

### LEGEND

- PROP. 3" LIVE OAK
- PROP. BUFFER SCREENING SHRUBS
- LANDSCAPING



NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS



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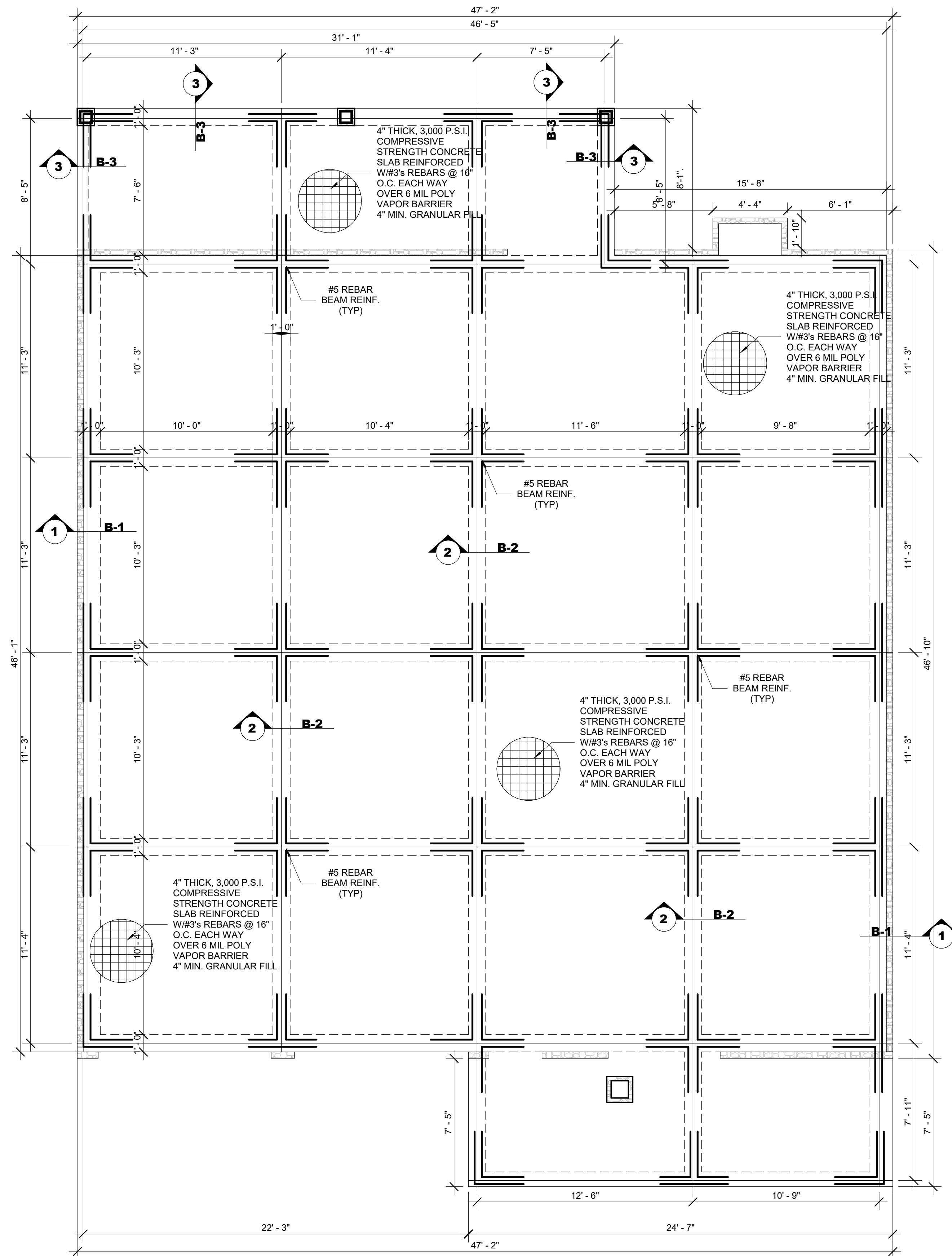
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LOT 22, BLOCK B

## LANDSCAPE PLAN

Date: 9/29/2023      Scale: 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



LEGEND/SYMBOL	
	#5 REBAR BEAM REINF. (TYP)
	5" CONC. SLAB/W #3 BAR'S AT 12" WAY OVER 6 MIL POLYVAPOR BARRIER (TYP)
	BRICK LEDGE 5 1/2"

# 1 Foundation

1/4" = 1'-0"



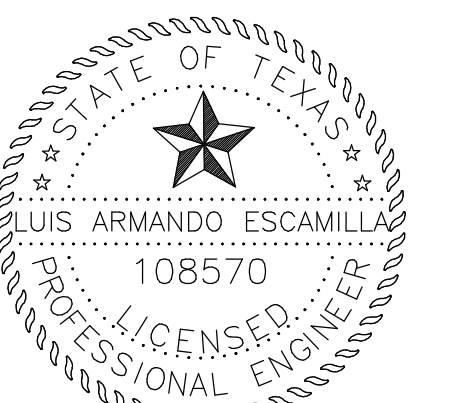
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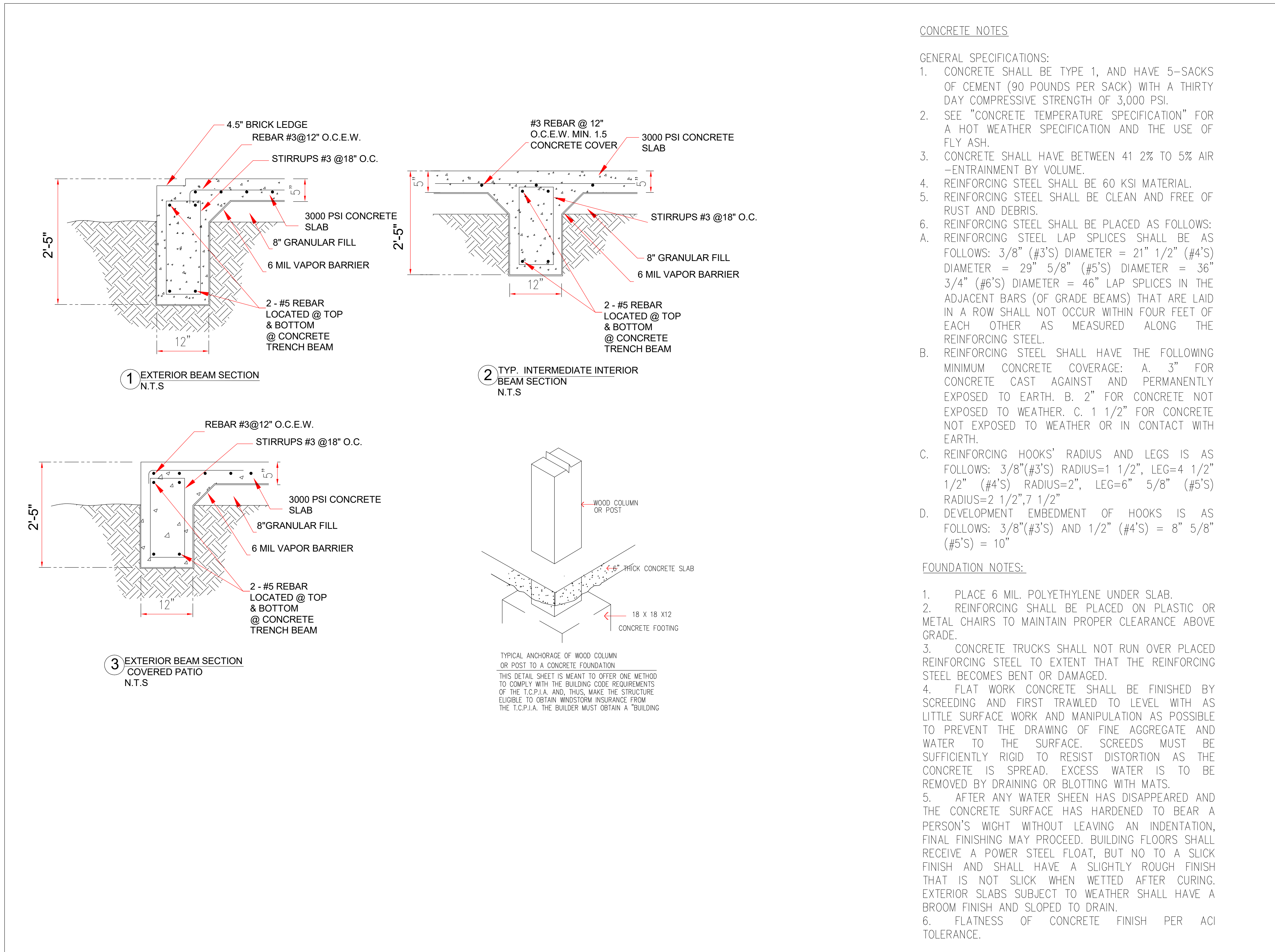
# FOUNDATION

Date: 9/29/2023 Scale: As indicated  
 Drawn by: Projects & Construction Araque



10/07/2023  
 FIRM# 18123

*L. Escamilla*



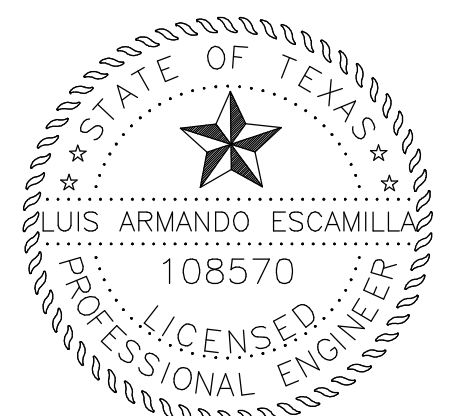
**CONCRETE NOTES**

**GENERAL SPECIFICATIONS:**

1. CONCRETE SHALL BE TYPE 1, AND HAVE 5-SACKS OF CEMENT (90 POUNDS PER SACK) WITH A THIRTY DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
2. SEE "CONCRETE TEMPERATURE SPECIFICATION" FOR A HOT WEATHER SPECIFICATION AND THE USE OF FLY ASH.
3. CONCRETE SHALL HAVE BETWEEN 41 2% TO 5% AIR -ENTRAINMENT BY VOLUME.
4. REINFORCING STEEL SHALL BE 60 KSI MATERIAL.
5. REINFORCING STEEL SHALL BE CLEAN AND FREE OF RUST AND DEBRIS.
6. REINFORCING STEEL SHALL BE PLACED AS FOLLOWS:
  - A. REINFORCING STEEL LAP SPLICES SHALL BE AS FOLLOWS: 3/8" (#3'S) DIAMETER = 21" 1/2" (#4'S) DIAMETER = 29" 5/8" (#5'S) DIAMETER = 36" 3/4" (#6'S) DIAMETER = 46" LAP SPLICES IN THE ADJACENT BARS (OF GRADE BEAMS) THAT ARE LAID IN A ROW SHALL NOT OCCUR WITHIN FOUR FEET OF EACH OTHER AS MEASURED ALONG THE REINFORCING STEEL.
  - B. REINFORCING STEEL SHALL HAVE THE FOLLOWING MINIMUM CONCRETE COVERAGE: A. 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH. B. 2" FOR CONCRETE NOT EXPOSED TO WEATHER. C. 1 1/2" FOR CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH.
  - C. REINFORCING HOOKS' RADIUS AND LEGS IS AS FOLLOWS: 3/8" (#3'S) RADIUS=1 1/2", LEG=4 1/2" 1/2" (#4'S) RADIUS=2", LEG=6" 5/8" (#5'S) RADIUS=2 1/2", 7 1/2"
  - D. DEVELOPMENT EMBEDMENT OF HOOKS IS AS FOLLOWS: 3/8" (#3'S) AND 1/2" (#4'S) = 8" 5/8" (#5'S) = 10"

**FOUNDATION NOTES:**

1. PLACE 6 MIL. POLYETHYLENE UNDER SLAB.
2. REINFORCING SHALL BE PLACED ON PLASTIC OR METAL CHAIRS TO MAINTAIN PROPER CLEARANCE ABOVE GRADE.
3. CONCRETE TRUCKS SHALL NOT RUN OVER PLACED REINFORCING STEEL TO EXTENT THAT THE REINFORCING STEEL BECOMES BENT OR DAMAGED.
4. FLAT WORK CONCRETE SHALL BE FINISHED BY SCREEDING AND FIRST TROWLED TO LEVEL WITH AS LITTLE SURFACE WORK AND MANIPULATION AS POSSIBLE TO PREVENT THE DRAWING OF FINE AGGREGATE AND WATER TO THE SURFACE. SCREEDS MUST BE SUFFICIENTLY RIGID TO RESIST DISTORTION AS THE CONCRETE IS SPREAD. EXCESS WATER IS TO BE REMOVED BY DRAINING OR BLOTING WITH MATS.
5. AFTER ANY WATER SHEEN HAS DISAPPEARED AND THE CONCRETE SURFACE HAS HARDENED TO BEAR A PERSON'S WIGHT WITHOUT LEAVING AN INDENTATION, FINAL FINISHING MAY PROCEED. BUILDING FLOORS SHALL RECEIVE A POWER STEEL FLOAT, BUT NO TO A SLICK FINISH AND SHALL HAVE A SLIGHTLY ROUGH FINISH THAT IS NOT SLICK WHEN WETTED AFTER CURING. EXTERIOR SLABS SUBJECT TO WEATHER SHALL HAVE A BROOM FINISH AND SLOPED TO DRAIN.
6. FLATNESS OF CONCRETE FINISH PER ACI TOLERANCE.



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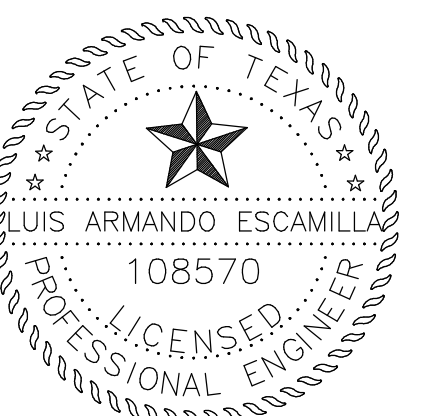
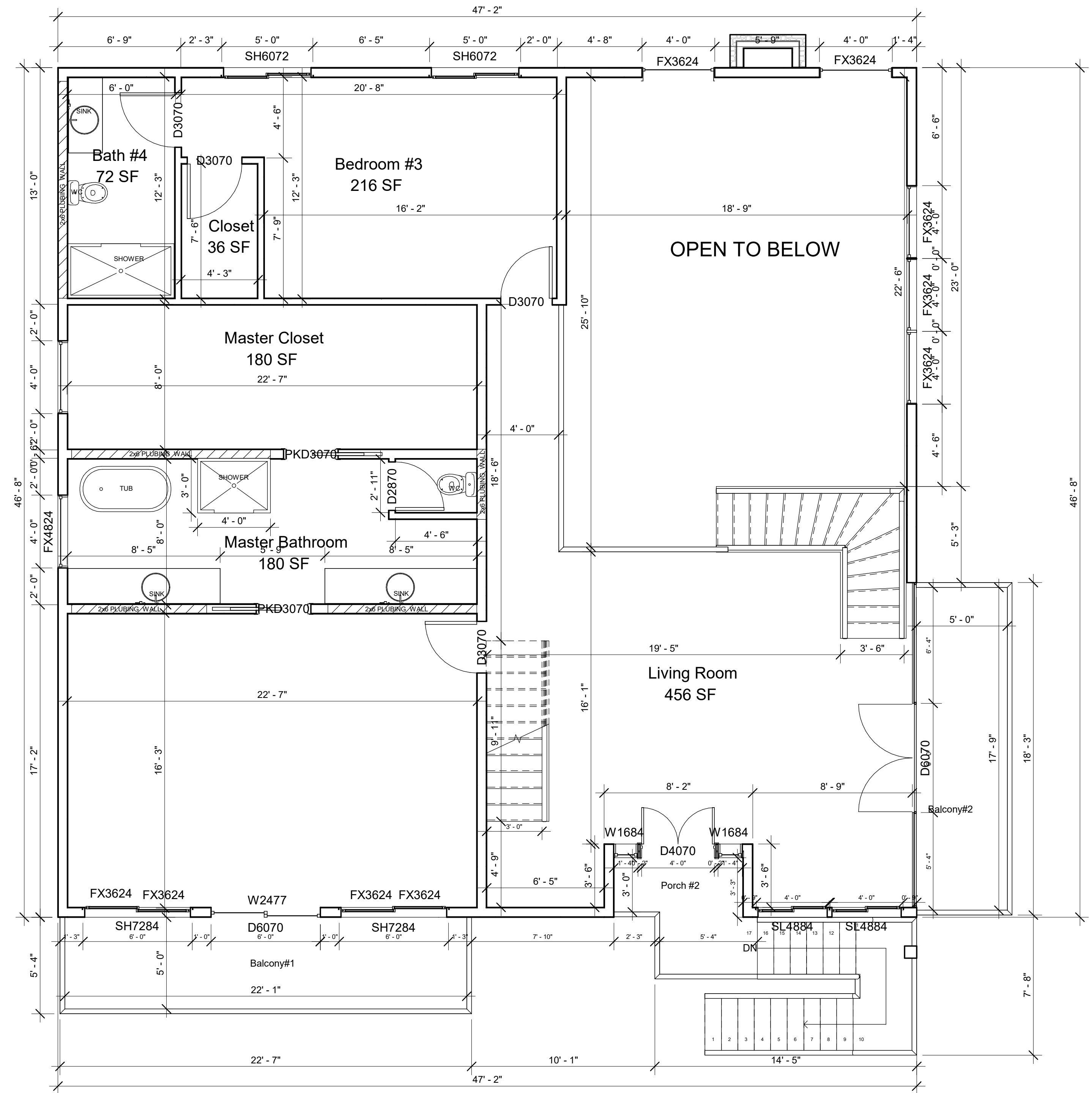
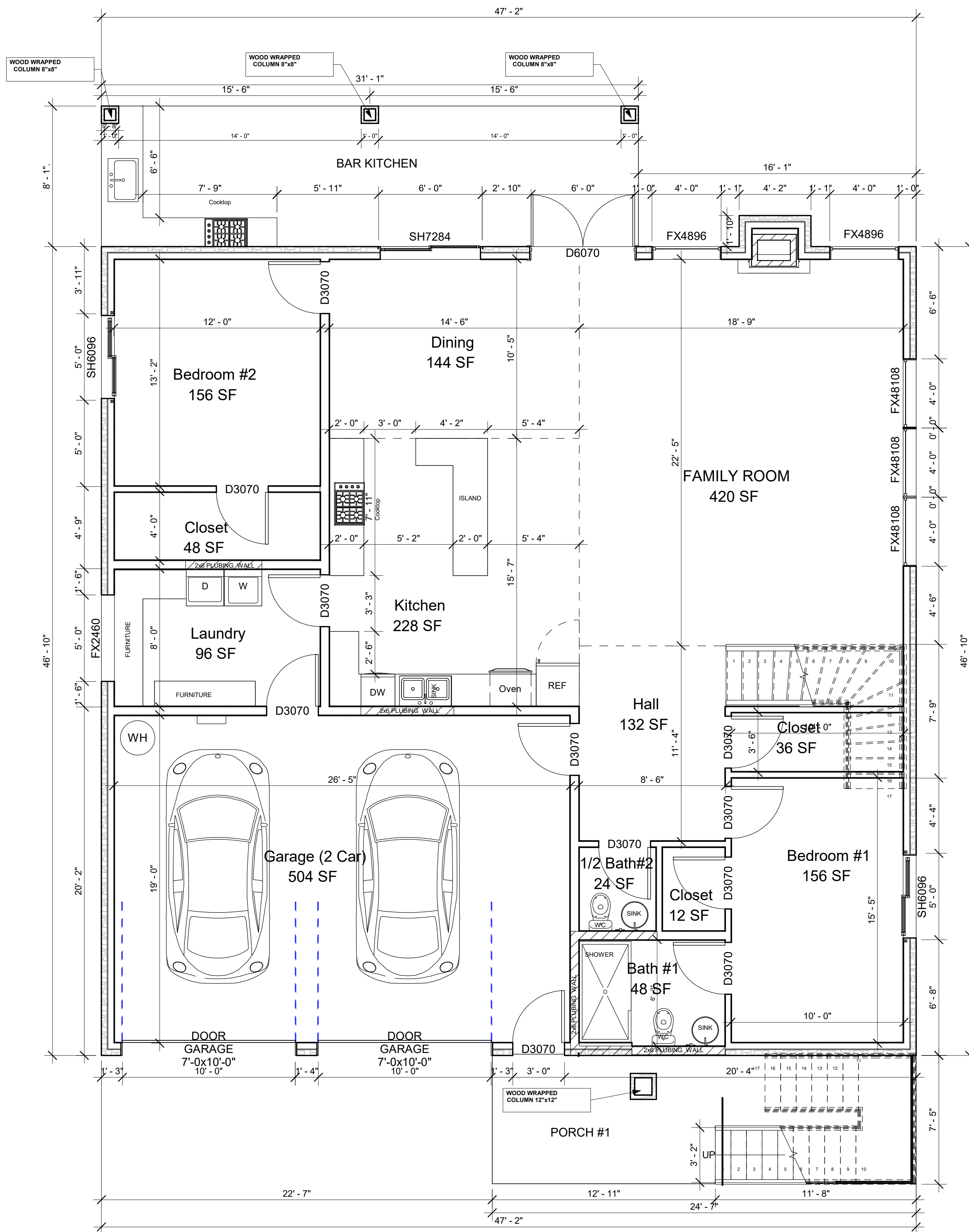
**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

**FOUNDATION DETAILS**

Date: 9/29/2023 Scale

Drawn by: Projects & Construction Araque

**3.1**



10/07/2023  
 FIRM# 18123

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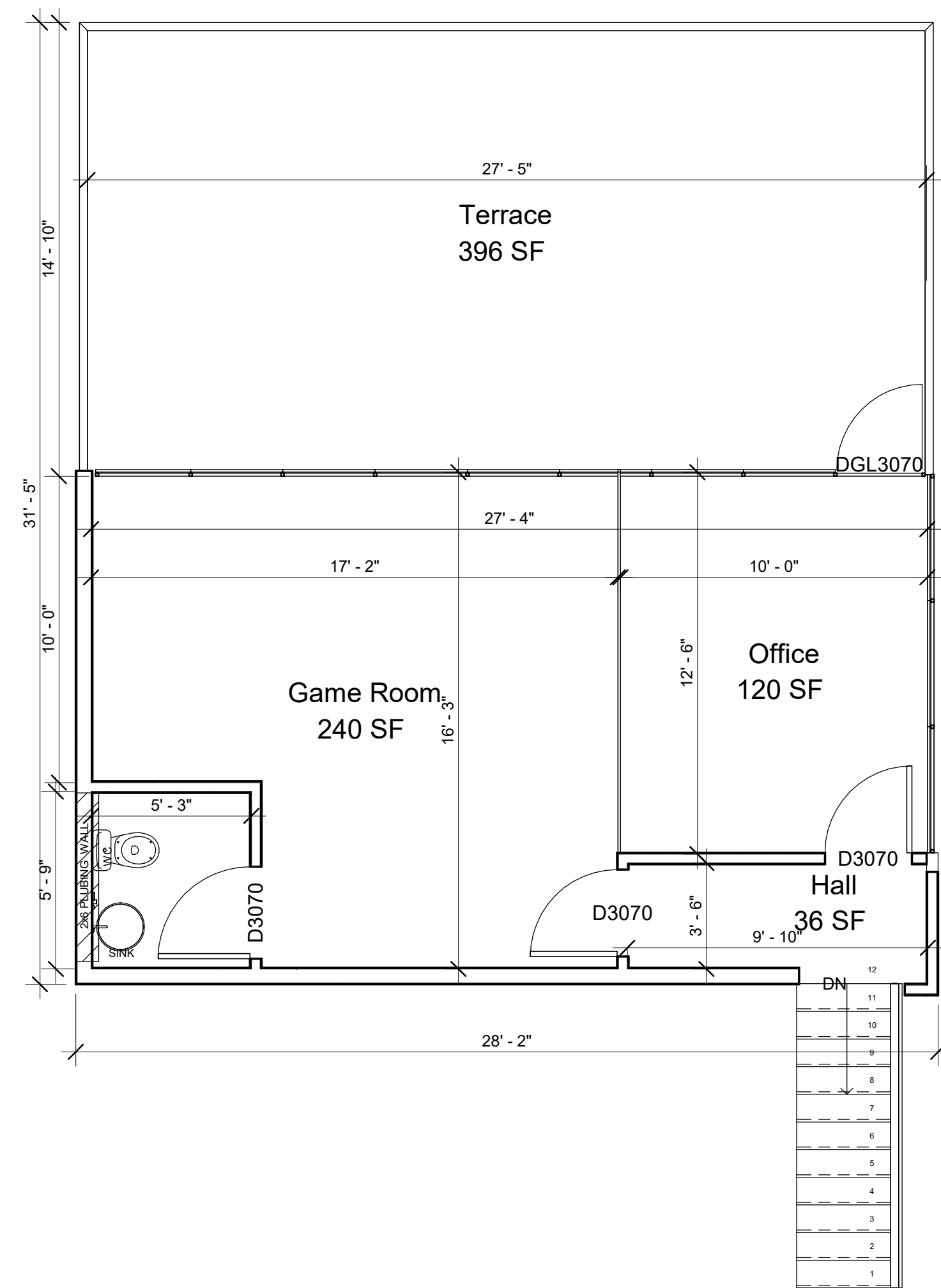
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**Legal Description**  
 LOT 22, BLOCK B

**FLOOR PLAN**

Date: 9/29/2023 Scale: 1/4" = 1'-0"  
 Drawn by: Projects & Construction Araque



**1 Third Floor Plan**  
1/4" = 1'-0"

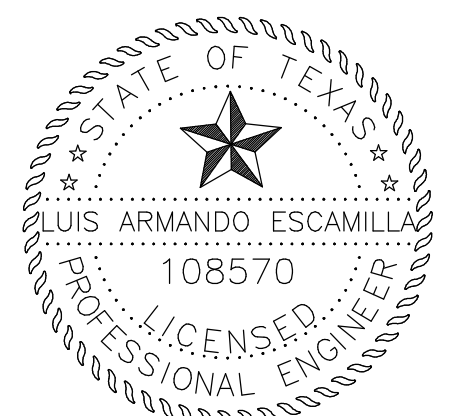
Door Schedule - First Floor					
Phase Created	Level	Mark	Width	Height	Count
New Construction	First Floor Plan	D3070	3' - 0"	7' - 0"	11
New Construction	First Floor Plan	D6070	6' - 0"	7' - 0"	1
New Construction	First Floor Plan	DOOR GARAGE 7'-0x10'-0"	10' - 0"	7' - 0"	2

Door Schedule - Second Floor					
Phase Created	Level	Mark	Width	Height	Count
New Construction	Second Floor Plan	D2870	2' - 8"	7' - 0"	1
New Construction	Second Floor Plan	D3070	3' - 0"	7' - 0"	4
New Construction	Second Floor Plan	D4070	4' - 0"	7' - 0"	1
New Construction	Second Floor Plan	D6070	6' - 0"	7' - 0"	2
New Construction	Second Floor Plan	PKD3070	3' - 0"	7' - 0"	2

Door Schedule - Third Floor					
Phase Created	Level	Mark	Width	Height	Count
New Construction	Third Floor	D3070	3' - 0"	7' - 0"	3
New Construction	Third Floor	DGL3070	3' - 0"	7' - 0"	1

Window Schedule - First Floor					
Phase Created	Level	Mark	Width	Height	Count
New Construction	First Floor Plan	FX2460	5' - 0"	2' - 0"	1
New Construction	First Floor Plan	FX2476	3' - 0"	2' - 0"	1
New Construction	First Floor Plan	FX3624	<varies>	<varies>	4
New Construction	First Floor Plan	FX4896	4' - 0"	8' - 0"	2
New Construction	First Floor Plan	FX48108	4' - 0"	9' - 0"	3
New Construction	First Floor Plan	SH6096	5' - 0"	8' - 0"	2
New Construction	First Floor Plan	SH7284	6' - 0"	7' - 0"	1

Window Schedule - Second Floor					
Phase Created	Level	Mark	Width	Height	Count
New Construction	Second Floor Plan	FX3624	3' - 0"	2' - 0"	8
New Construction	Second Floor Plan	FX4824	4' - 0"	2' - 0"	2
New Construction	Second Floor Plan	SH6072	5' - 0"	6' - 0"	2
New Construction	Second Floor Plan	SH7284	6' - 0"	7' - 0"	2
New Construction	Second Floor Plan	SL4884	4' - 0"	7' - 0"	2
New Construction	Second Floor Plan	W1684	1' - 4"	7' - 0"	2
New Construction	Second Floor Plan	W2477	6' - 5"	2' - 0"	1



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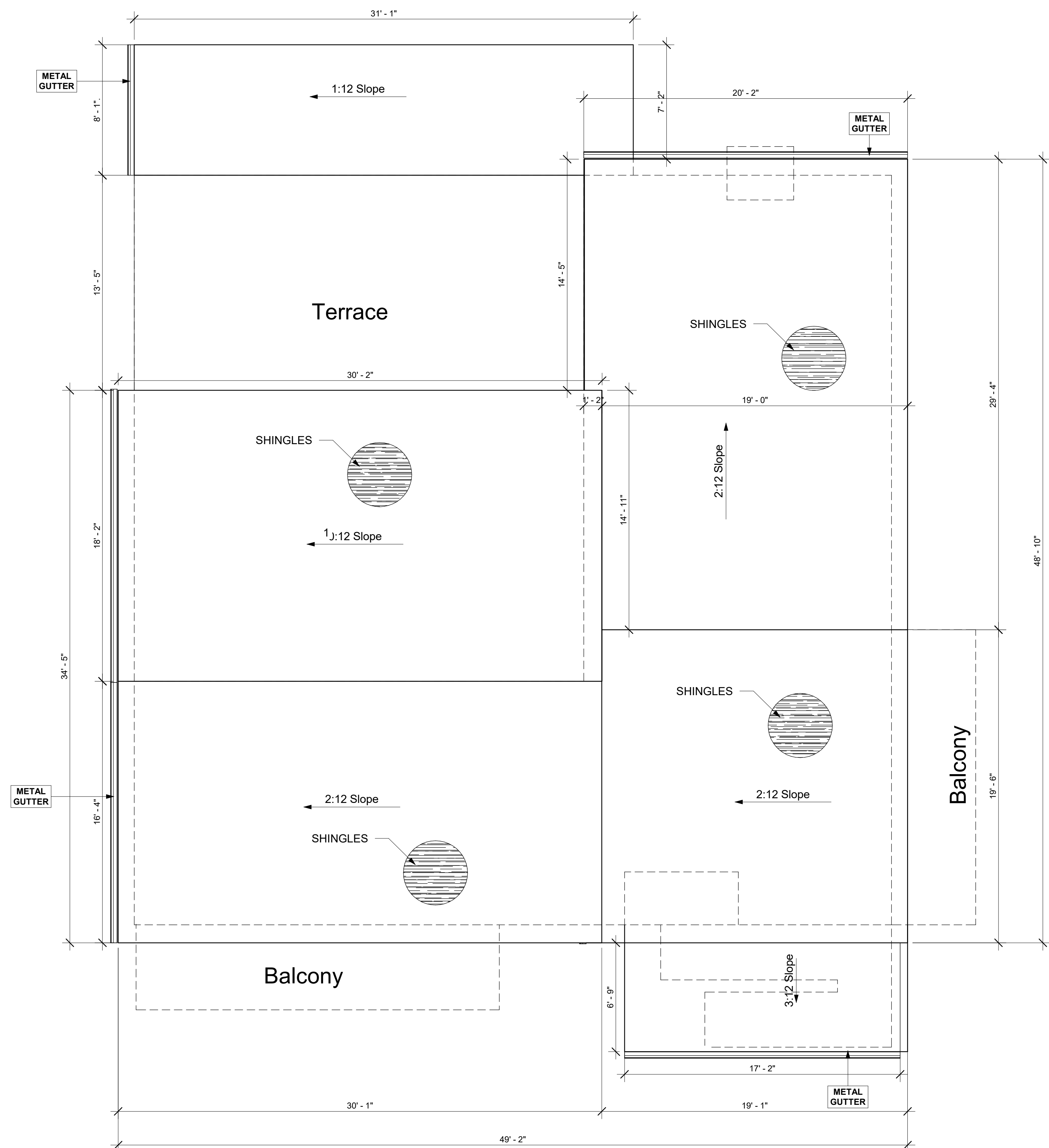
**Legal Description**  
LOT 22, BLOCK B

**FLOOR PLAN**

Date: 9/29/2023 Scale: 1/4" = 1'-0"

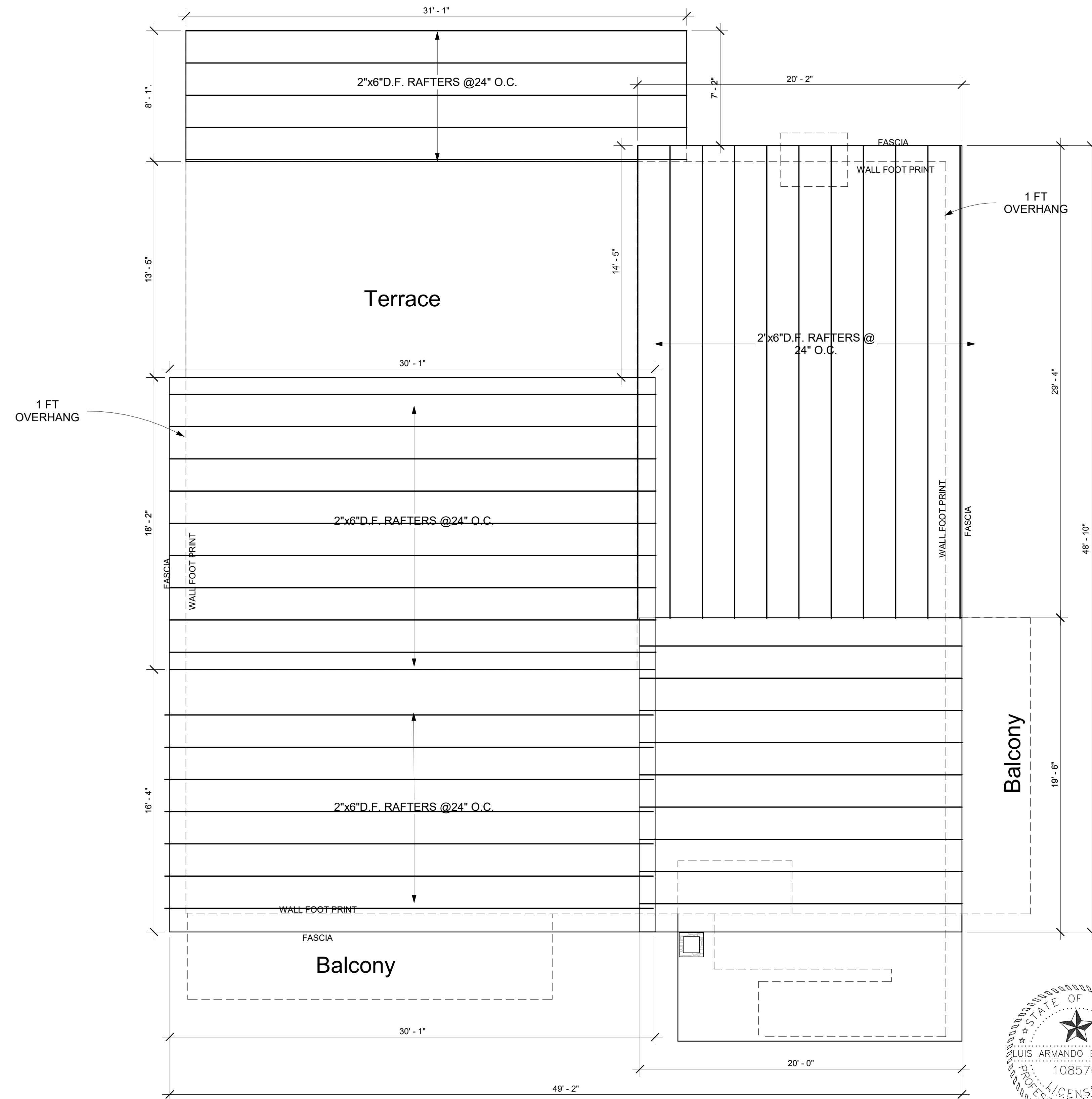
Drawn by: Projects & Construction Araque

**4.1**



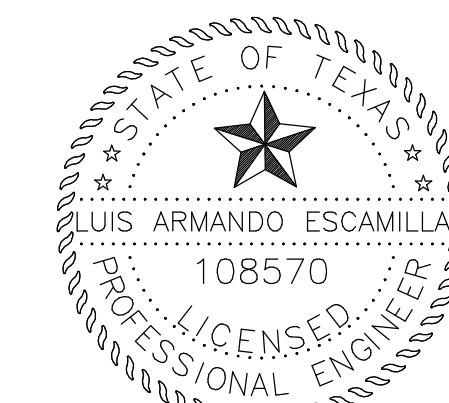
**1 Roof**

1/4" = 1'-0"



**2 Rafter Roof**

1/4" = 1'-0"



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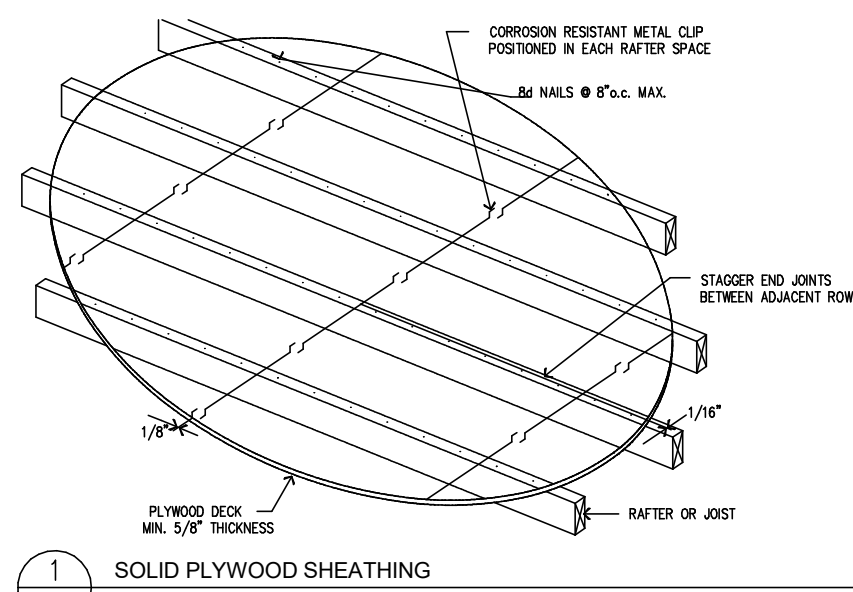
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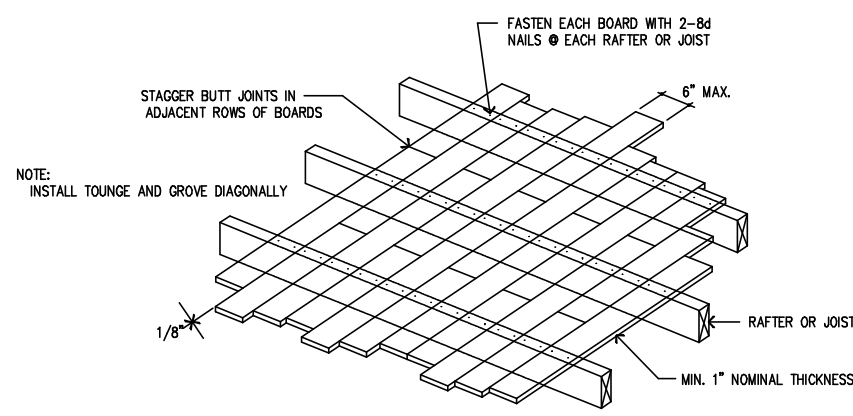
**ROOF**

Date: 9/29/2023 Scale: 1/4" = 1'-0"  
Drawn by: Projects & Construction Araque

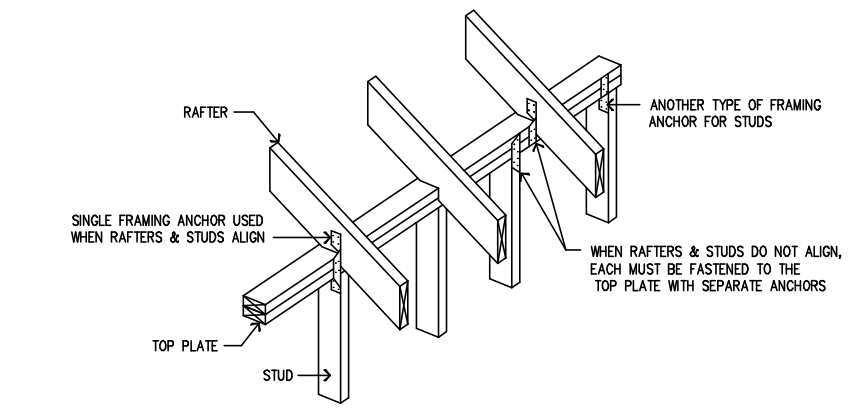




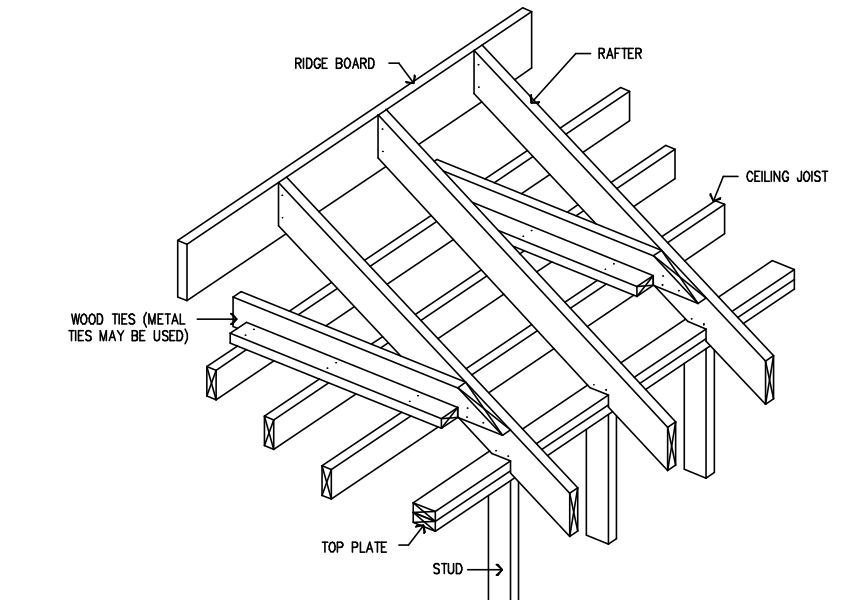
1 SOLID PLYWOOD SHEATHING



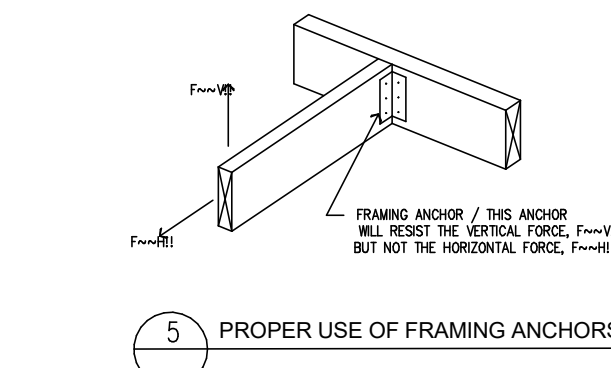
2 SOLID END-MATCHED BOARD SHEATHING



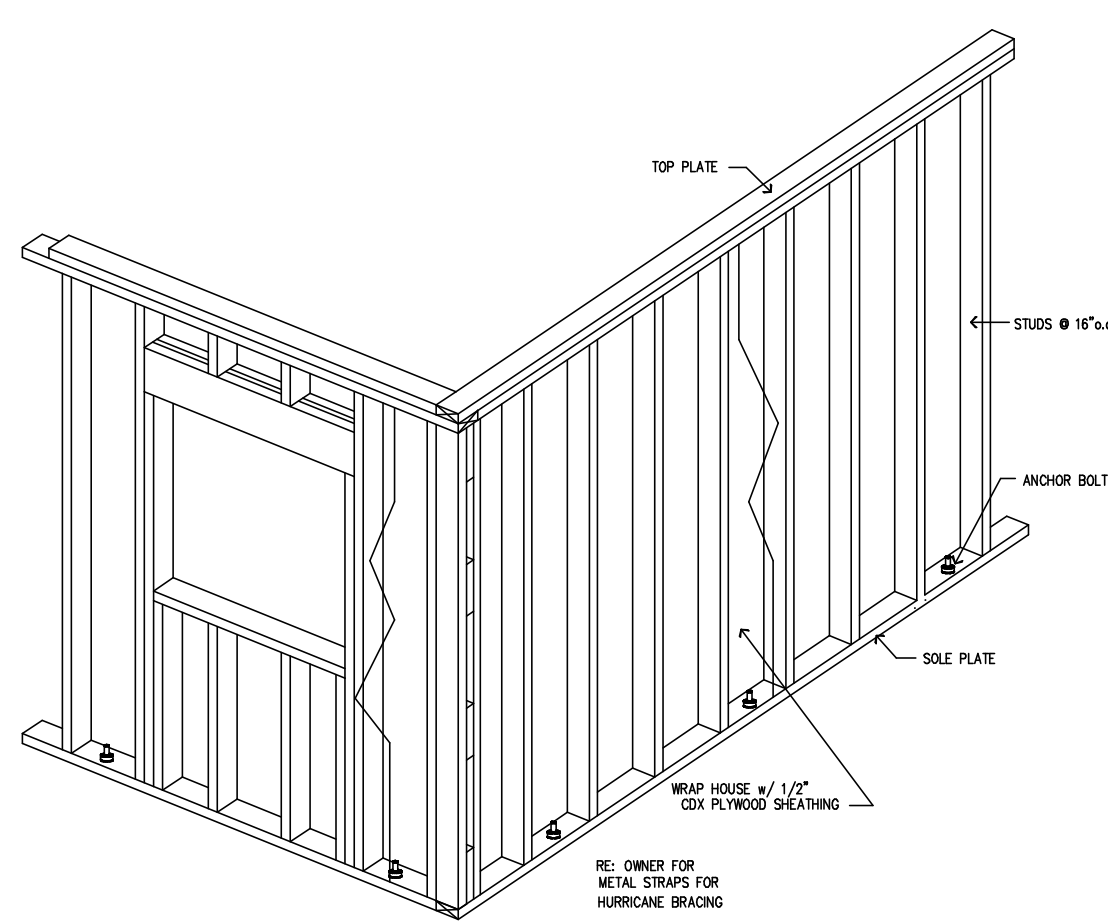
3 FASTENING RAFTERS TO THE WALL FRAMING



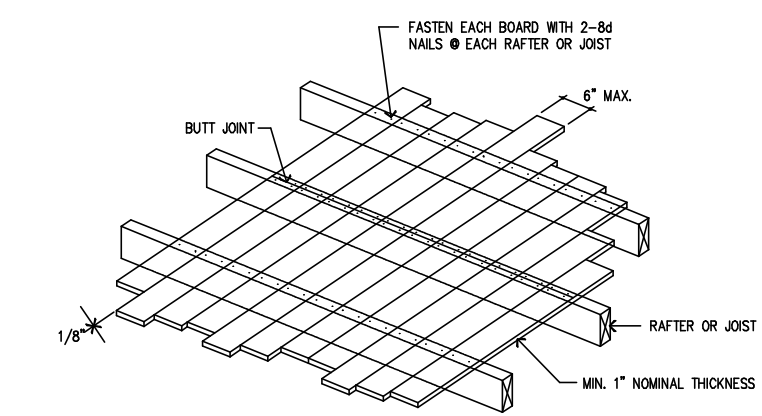
4 SECURING RAFTERS TO PERPENDICULAR JOISTS BELOW



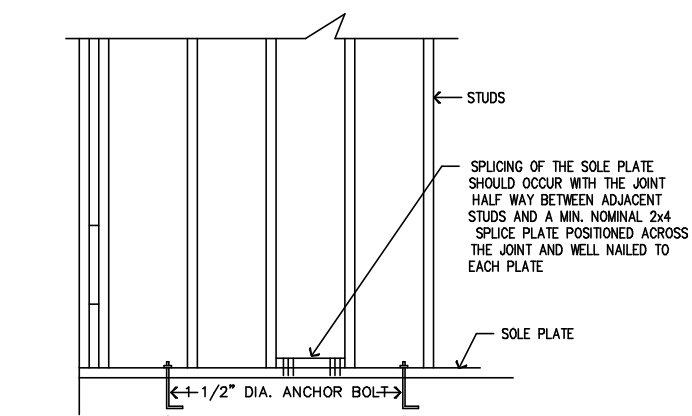
5 PROPER USE OF FRAMING ANCHORS



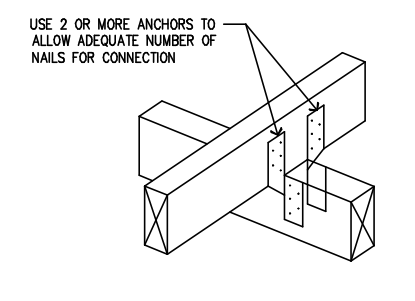
6 LATERAL BRACING OF EXTERIOR WALLS



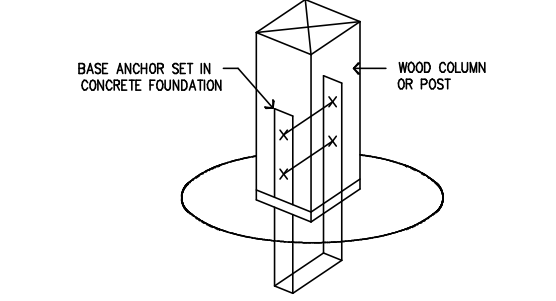
7 SOLID BOARD SHEATHING



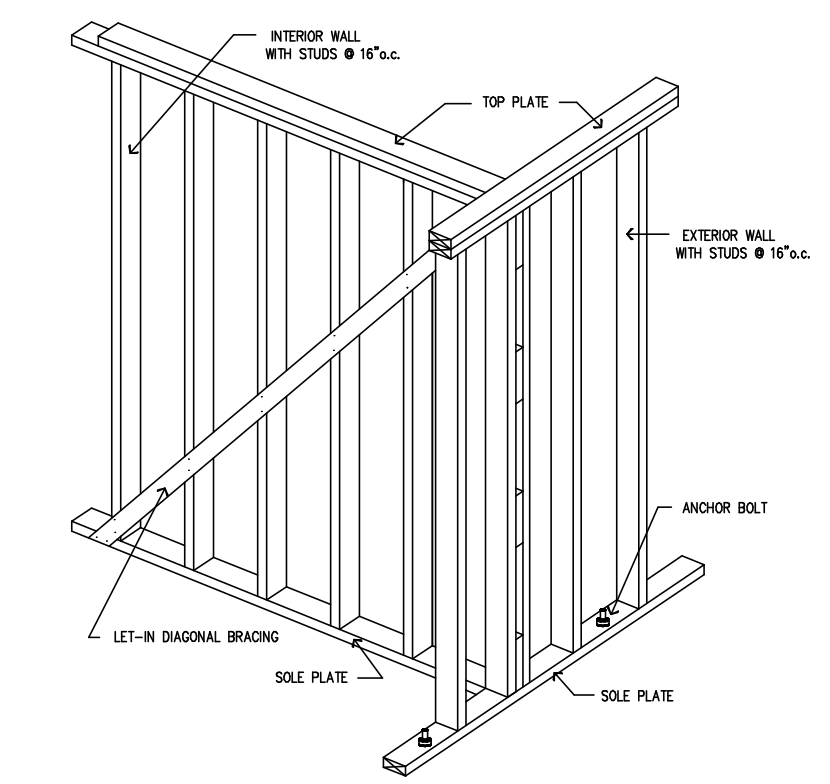
8 SPLICING OF SILLS OR SOLE PLATES



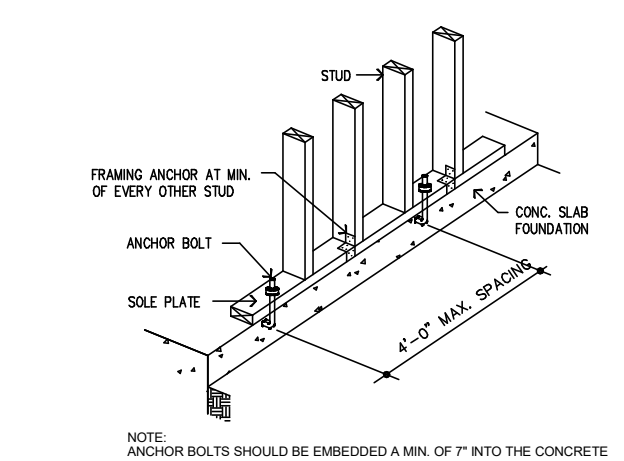
9 MEETING MIN. NAIL REQUIREMENTS WITH LARGE LUMBER OR TIMBER CONNECTIONS



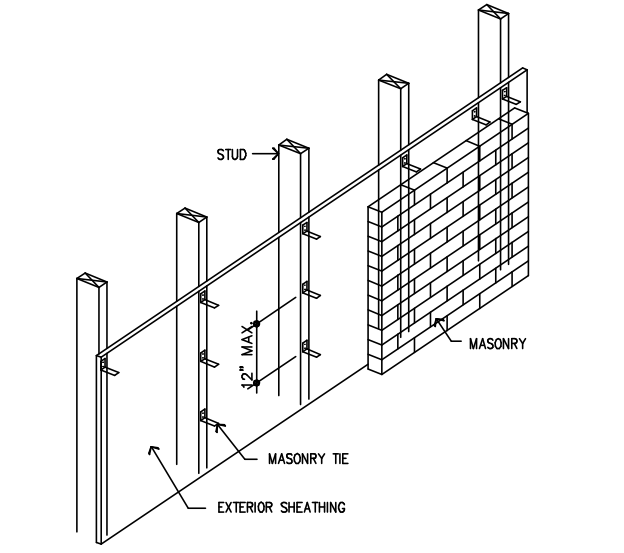
10 TYPICAL ANCHORAGE OF WOOD COLUMN OR POST TO A CONCRETE FOUNDATION



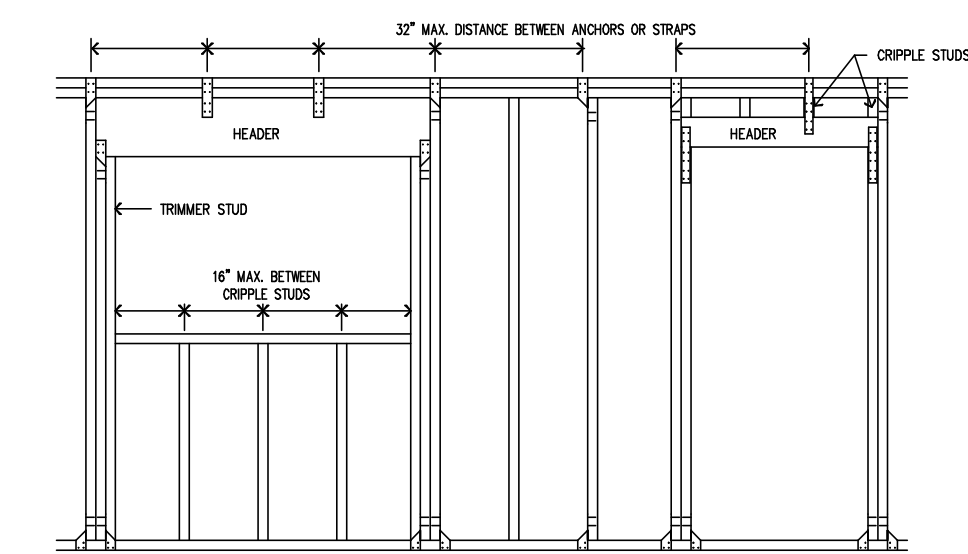
11 LATERAL BRACING OF INTERIOR WALL AT INTERSECTION WITH AN EXTERIOR WALL



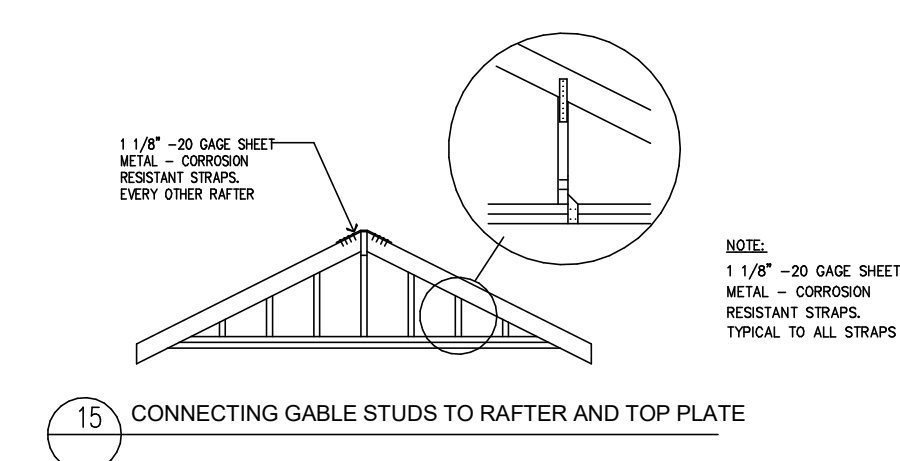
12 ANCHOR SILL PLATE TO FOUNDATION



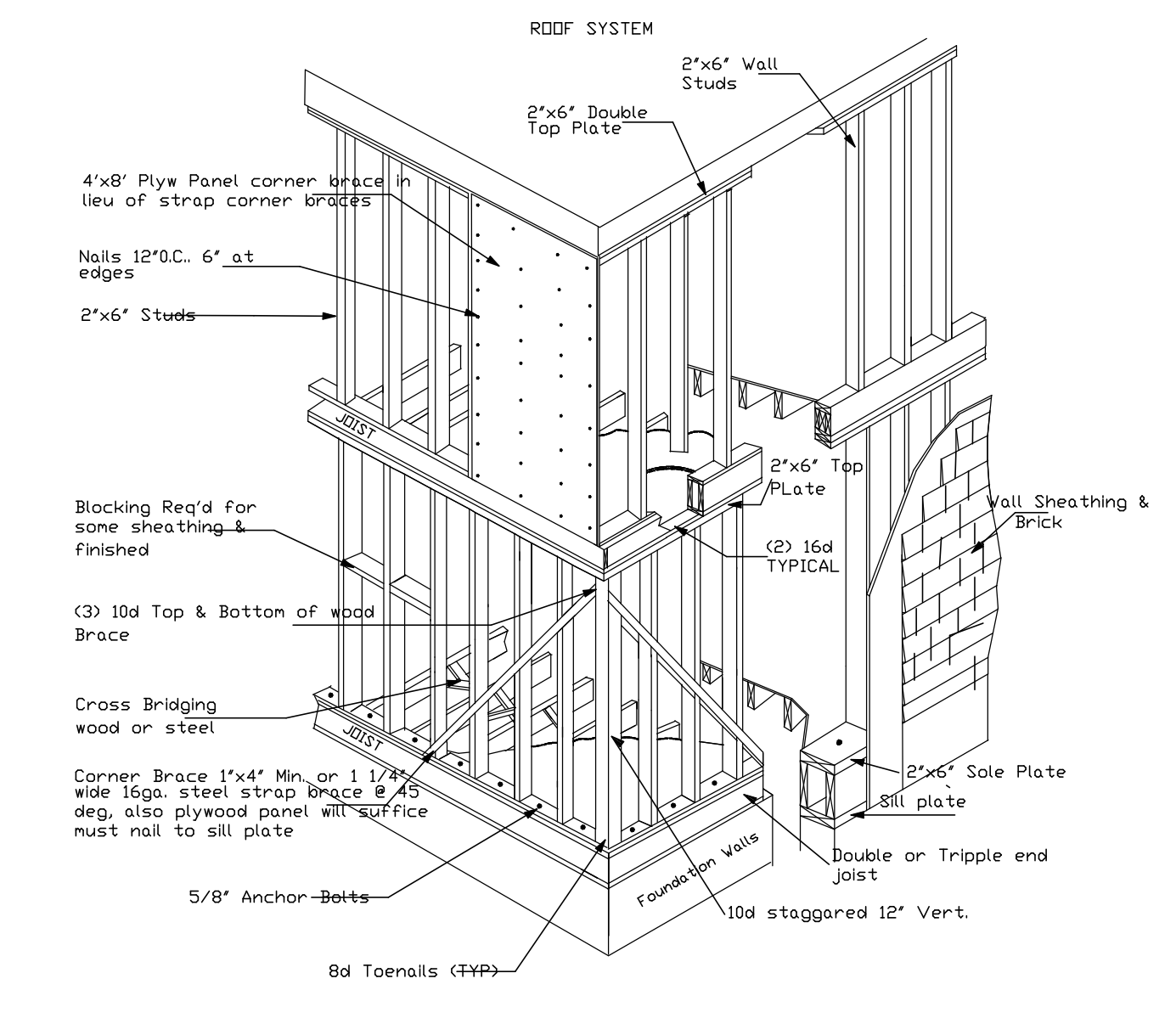
13 ANCHORING MASONRY VENEER TO WALL FRAMING



14 ANCHORAGE OF HEADERS

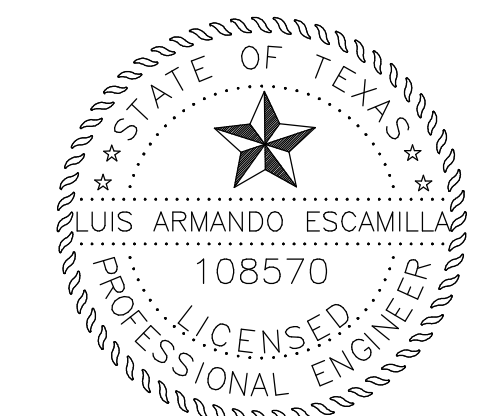


15 CONNECTING GABLE STUDS TO RAFTER AND TOP PLATE



TWO STORY EXTERIOR WALL

THIS DETAIL SHEET IS MEANT TO OFFER ONE METHOD TO COMPLY WITH THE BUILDING CODE REQUIREMENTS OF THE T.C.P.I.A. AND, THUS, MAKE THE STRUCTURE ELIGIBLE TO OBTAIN WINDSTORM INSURANCE FROM THE T.C.P.I.A. THE BUILDER MUST OBTAIN A "BUILDING GUIDELINES MANUEL" FROM THE T.C.P.I.A. AND COMPLY WITH IT.



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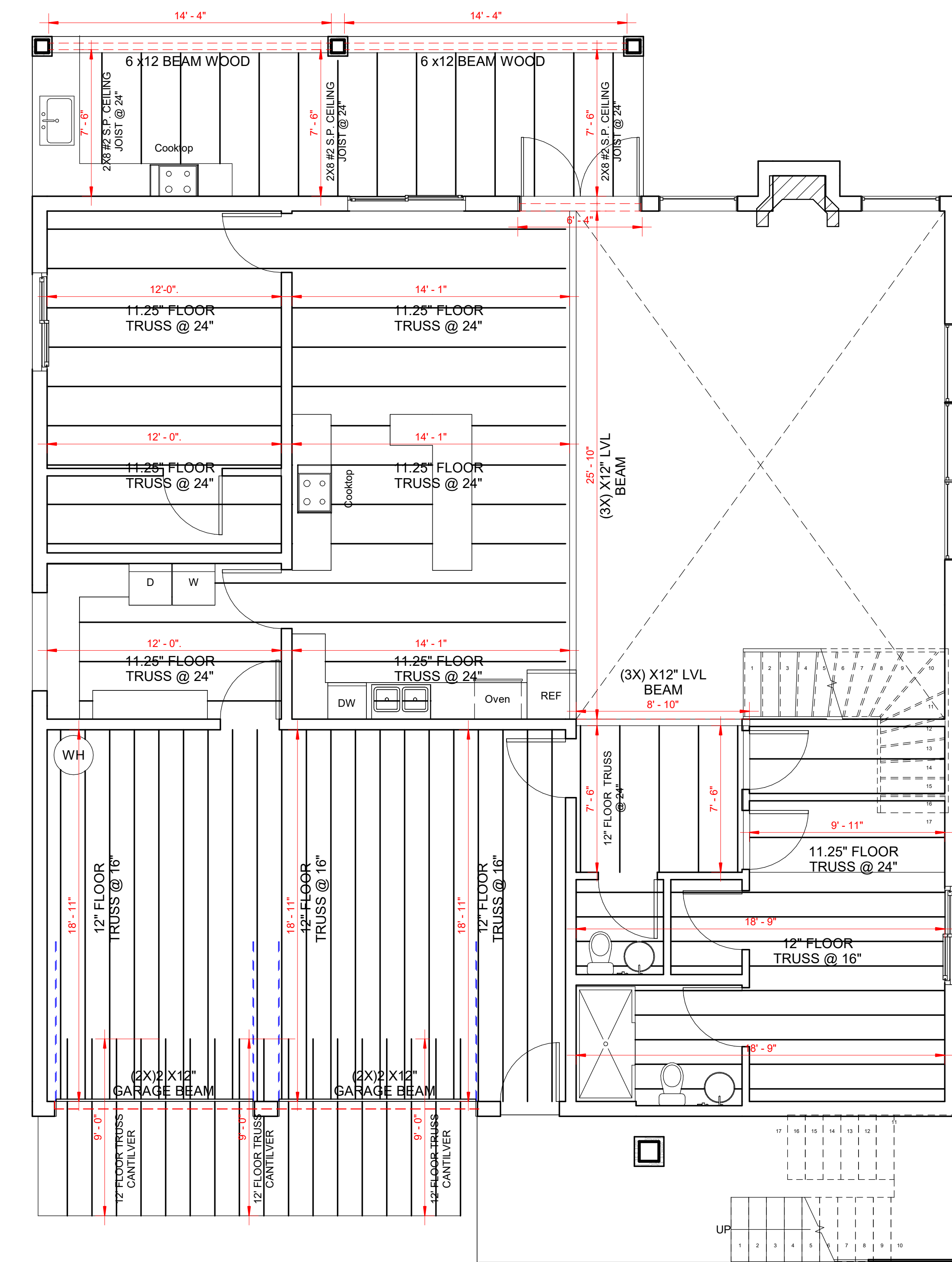
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LOT 22, BLOCK B

# FRAMING NOTES

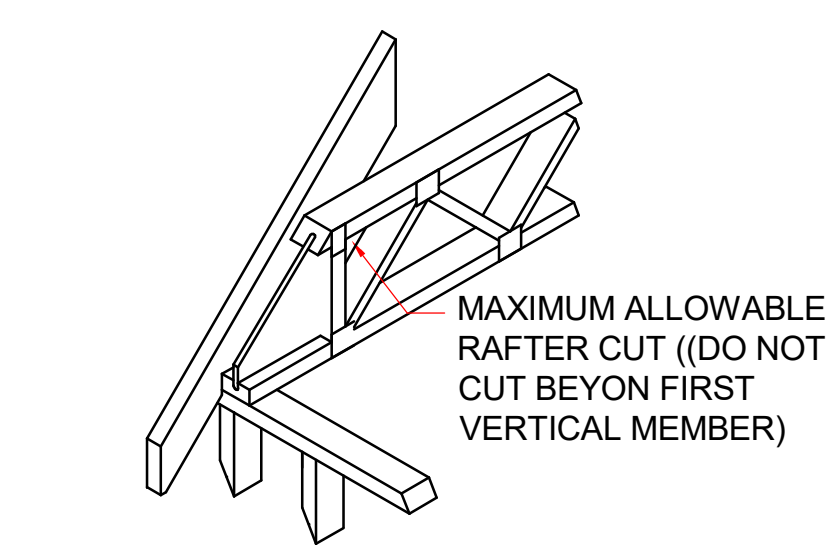
Date: 9/29/2023 Scale: 1/2" = 1'-0"  
Drawn by: Projects & Construction Araque

5.1

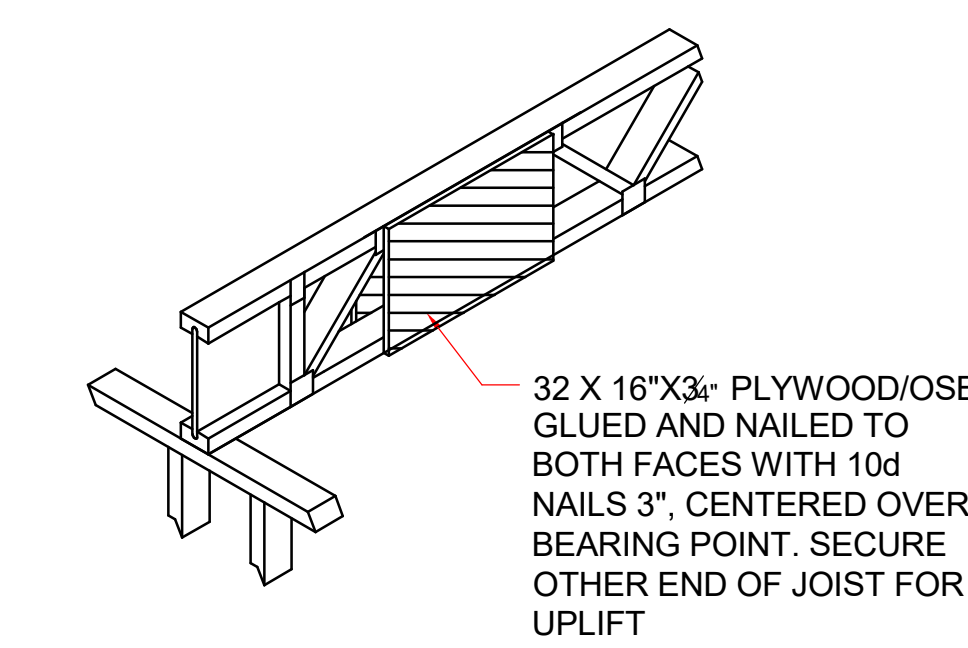


# 1 Second Floor Framing

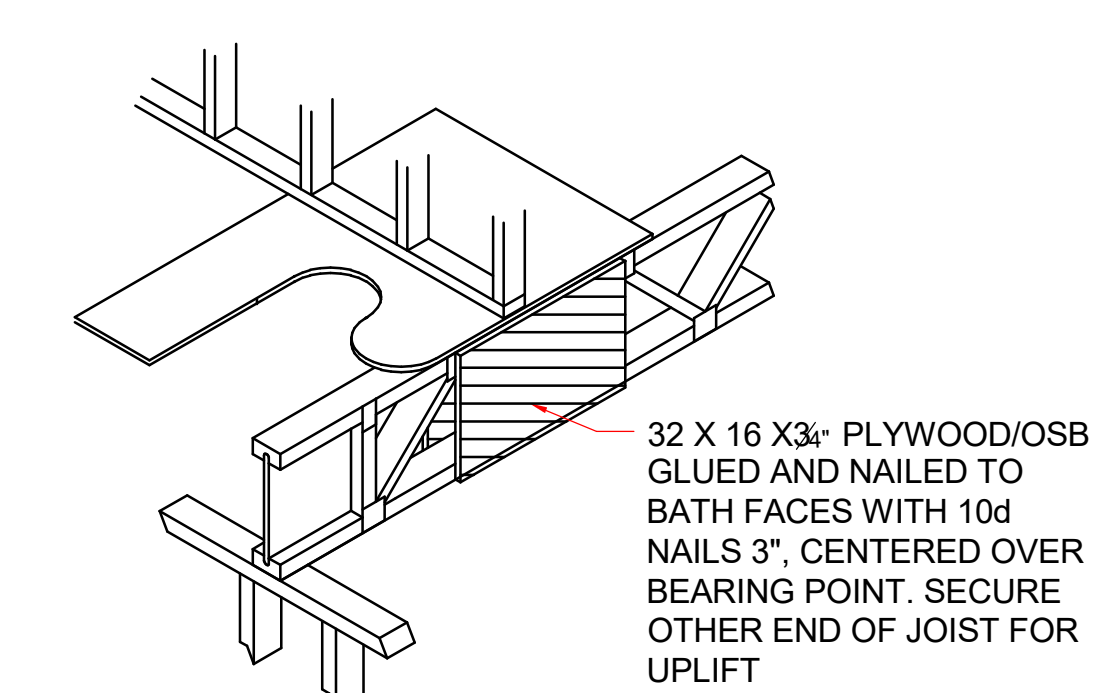
1/4" = 1'-0"



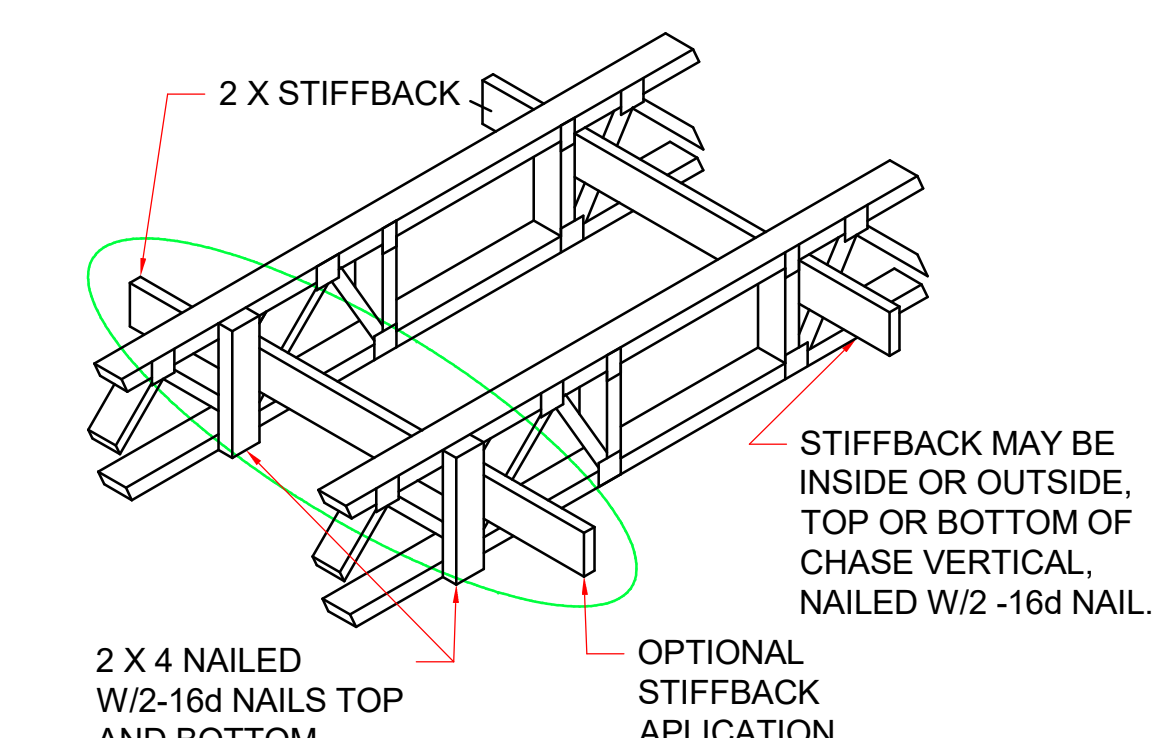
**T1 RAFTER/FIRE CUT**  
SCALE: 1/2" = 1'



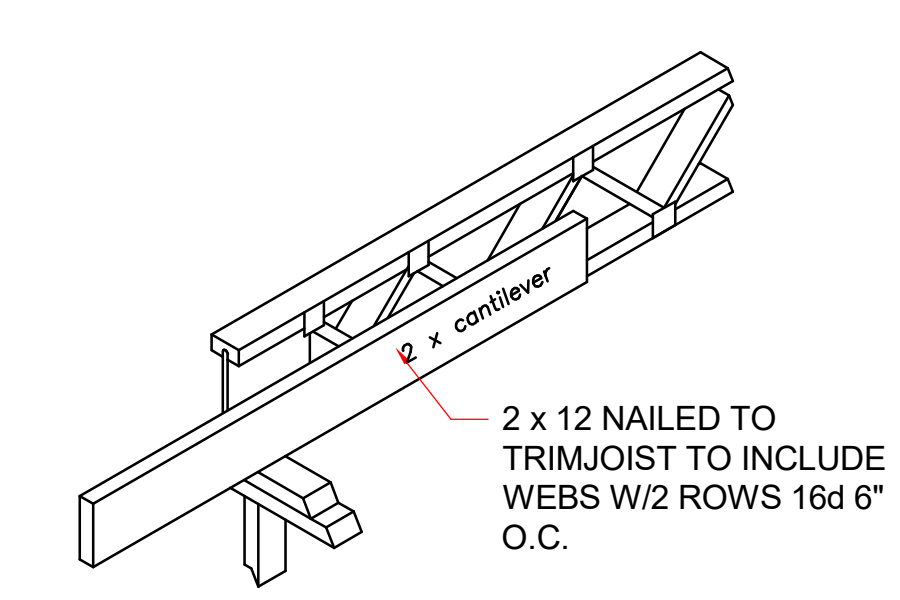
**T2 RAFTER/FIRE CUT**  
SCALE: 1/2" = 1'



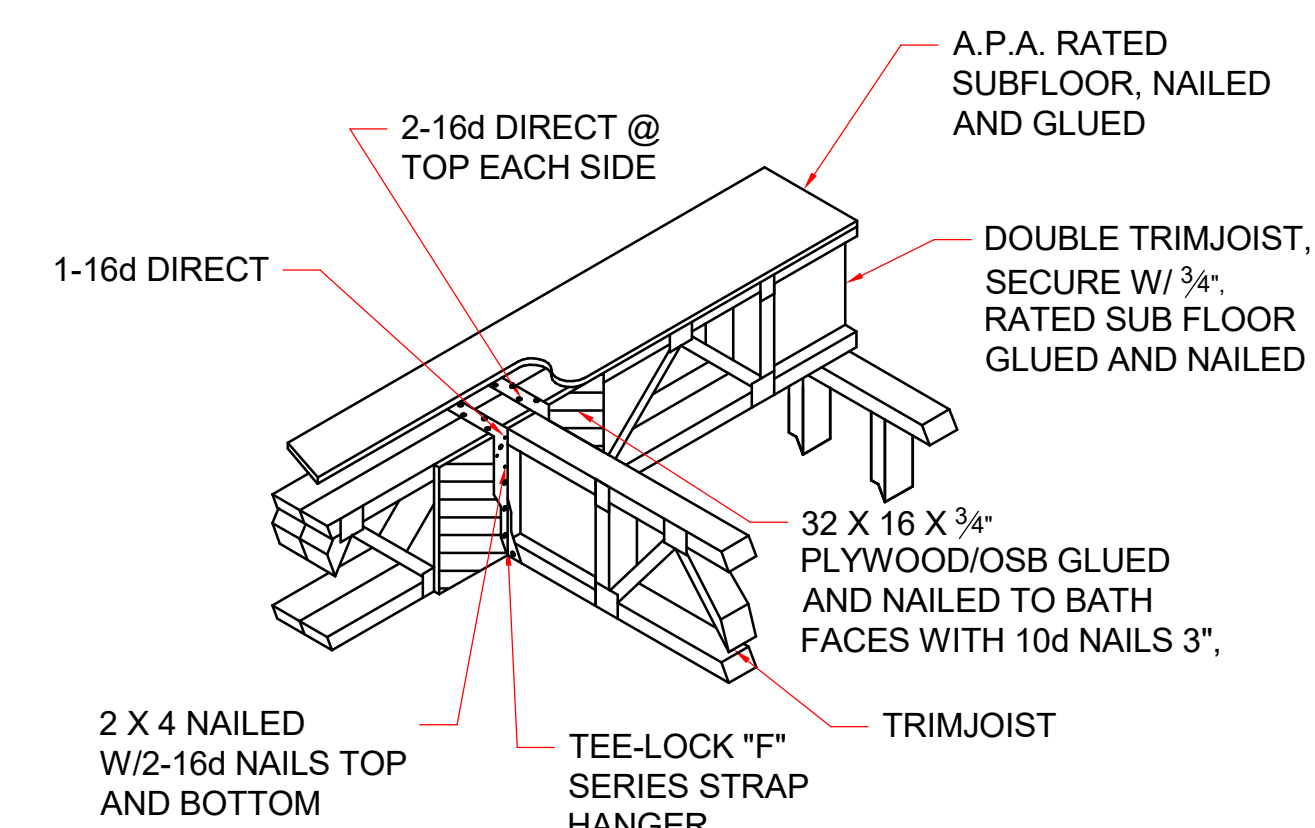
**T3 CONCENTRATED LOAD**  
SCALE: 1/2" = 1'



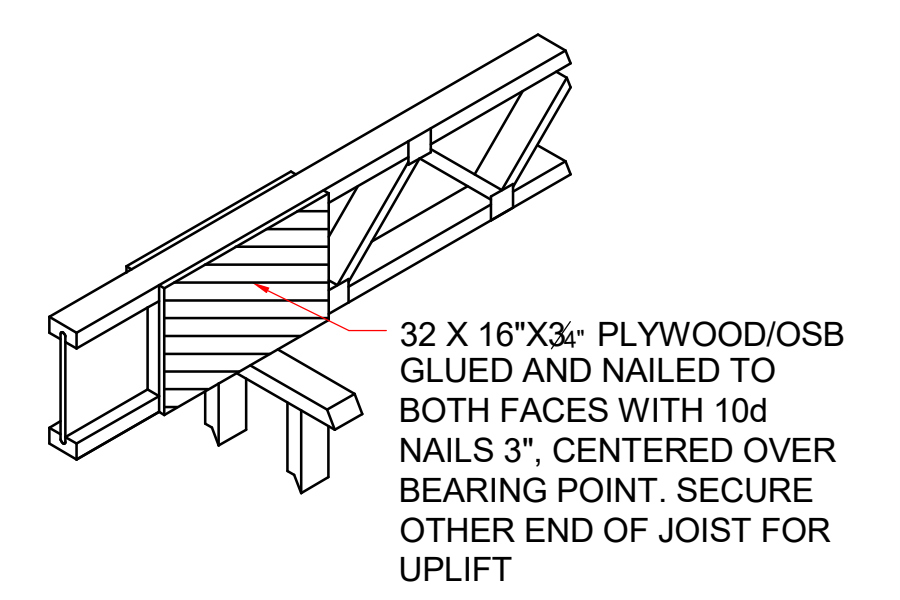
**T4 STIFFBACK APPLICATION**  
SCALE: 1/2" = 1'



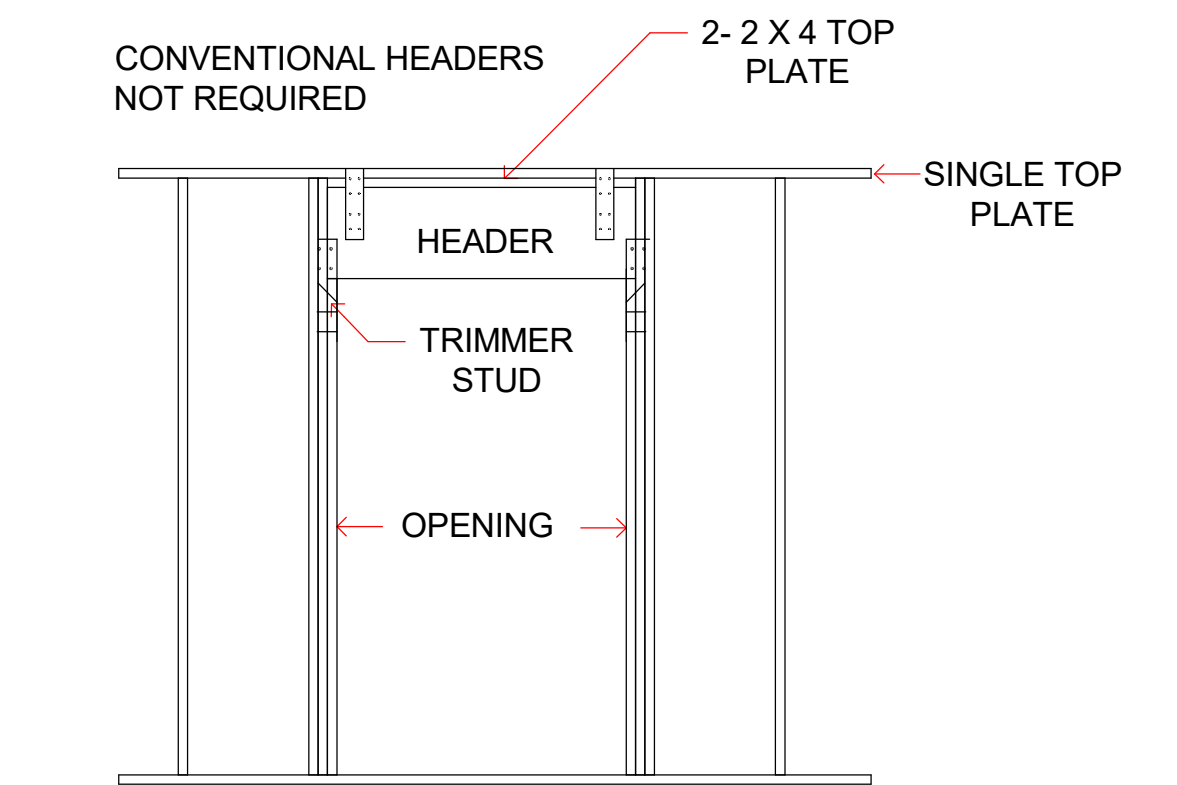
**T2 DECK CANTILIVER**  
SCALE: 1/2" = 1'



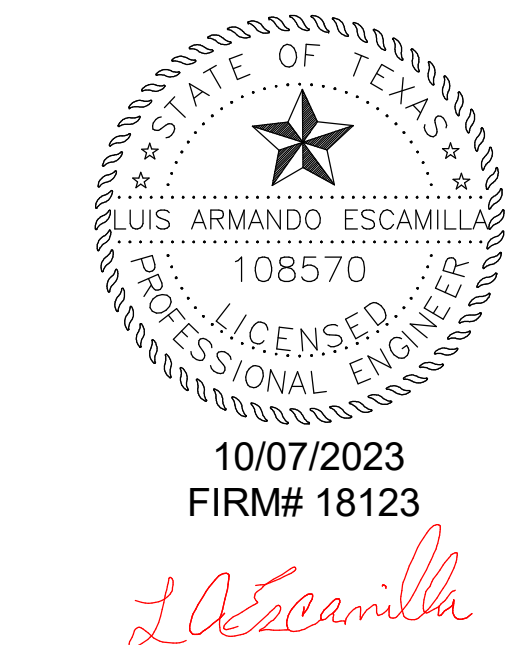
**T5 HANFEREG/JOIST TO JOIST**  
SCALE: 1/2" = 1'



**T2 CANTILIVER**  
SCALE: 1/2" = 1'



**NON-LOAD-BEARING WALLS**



**ARAQUE**  
PROJECTS & CONSTRUCTION

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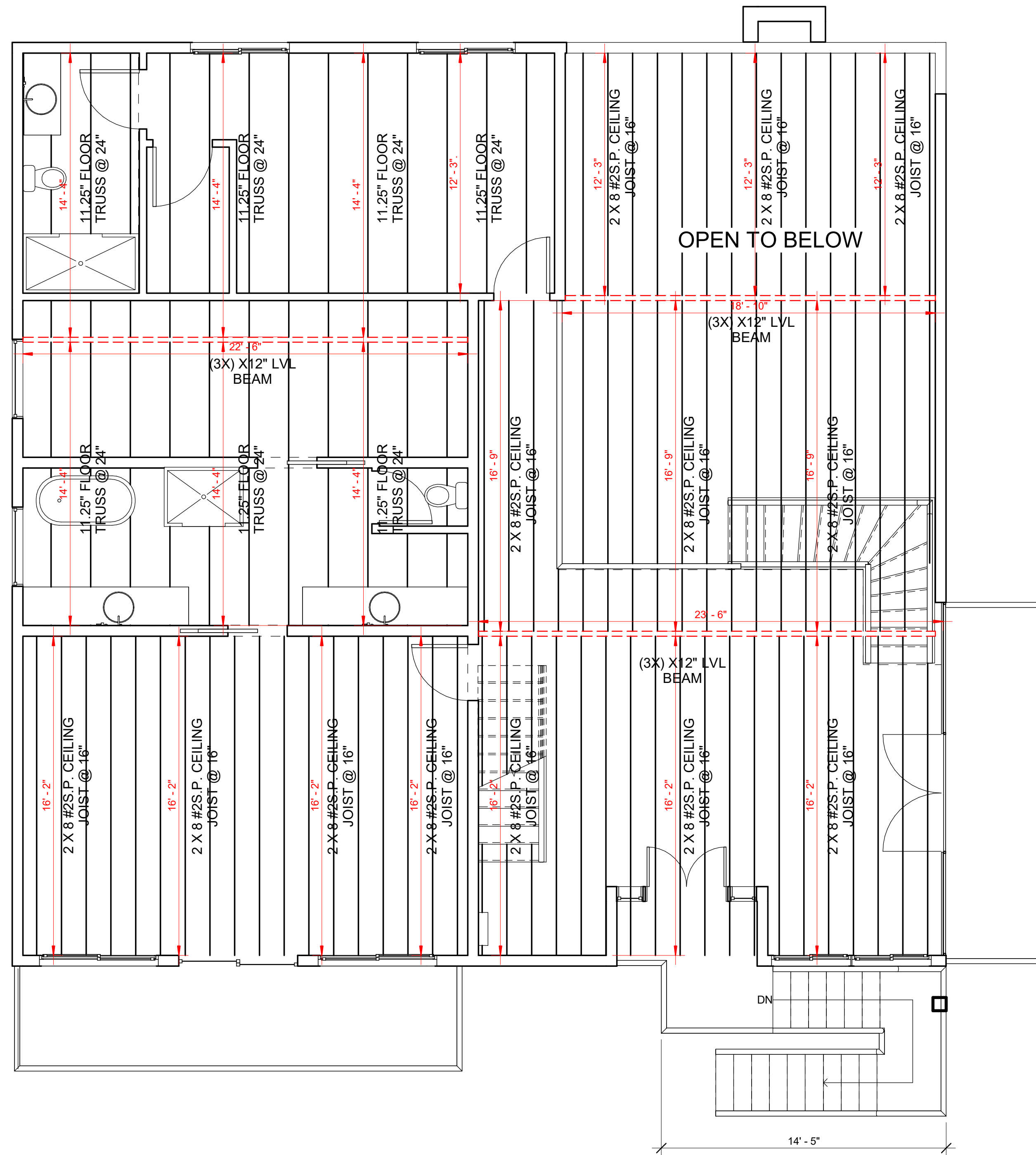
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ROCKWALL, TX 75032

**Legal Description**  
LOT 22, BLOCK B

## FLOOR FRAMING

Date: 9/29/2023 Scale: 1/4" = 1'-0"

Drawn by: Projects & Construction Araque



# 1 Third Floor Framing

1/4" = 1'-0"

### FLOOR TRUSS SPAN CHART FOR L/480 DEFLECTION

4X2 WOOD	DEPTH	ON CENTER SPACING			
		12"	16"	19.2"	24"
188-4167	9.25"	18'2"	16'5"	15'4"	13'6"
188-4170	11.25"	21'5"	19'4"	18'0"	16'8"
188-4173	12'-0"	22'7"	20'4"	19'0"	17'6"
188-4199	14"	25'6"	23'0"	21'7"	19'10"
188-4212	16"	28'3"	25'6"	23'11"	22'1"
188-4238	18"	30'10"	27'10"	26'1"	24'1"
188-4254	20"	33'4"	30'2"	28'3"	26'1"
188-4270	22"	35'9"	32'4"	30'4"	28'0"
188-4296	24"	38'0"	34'5"	32'-3"	29'-10"

The higher Deflection criteria, the shiffter the floor will feel:

\* Dephts available for custom trimmable.

\* Custom trimmable floor can be single or double end trimmable

### FLOOR TRUSS SPAN CHART FOR L/360 DEFLECTION

4X2 WOOD	DEPTH	ON CENTER SPACING			
		12"	16"	19.2"	24"
188-4167	9.25"	18'5"	18'2"	16'10"	13'6"
188-4170	11.25"	22'5"	21'5"	20'1"	17'7"
188-4173	12'-0"	23'11"	21'10"	20'5"	19'0"
188-4199	14"	27'4"	24'10"	23'2"	21'4"
188-4212	16"	30'0"	27'5"	25'-11"	23'9"
188-4238	18"	32'9"	29'8"	28'0"	26'3"
188-4254	20"	35'7"	32'0"	30'1"	28'0"
188-4270	22"	37'11"	34'5"	32'3"	29'8"
188-4296	24"	40'0"	36'10"	34'5"	31'-9"

The higher Deflection criteria, the shiffter the floor will feel:

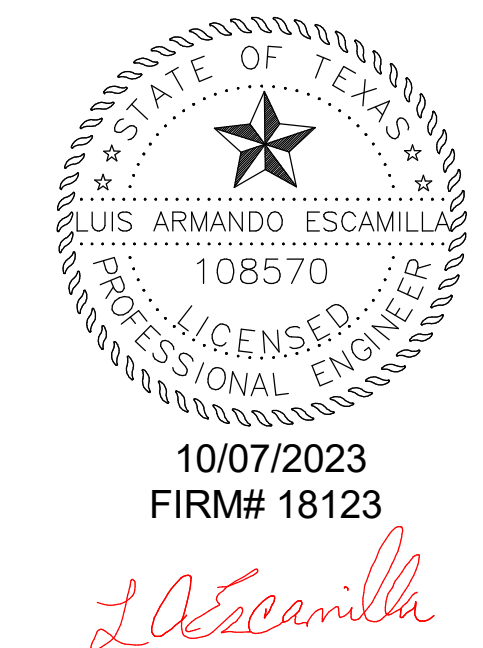
\* Dephts available for custom trimmable.

\* Custom trimmable floor can be single or double end trimmable

### FLOOR JOIST SPANS FOR COMMON LUMBER SPECIES (Residential living areas, live load =40 psf, L /Δ=240)

JOIST SPACING (inches)	SPECIES AND GRADE		ON CENTER SPACING			
			2" X 6"	2" X 8"	2" X 10"	2" X 12"
12	S.P.	S.S.	11-2	14-8	18-9	22-10
		#1	10-9	14-2	18-0	21-11
	S.P.	#2	10-3	13-6	16-2	1-1
		#3	8-2	10-3	12-6	14-9
16	S.P.	S.S.	10-2	13-425'6"	17-0	20-9
		#1	9-9	12-10	16-1	1-1
	S.P.	#2	9-4	11-10	14-0	16-6
		#3	7-1	8-11	10-10	12-10

\* check sources for availability of lumber in lengths greater than 20 feet.  
 for si: inch=24.5 mm, 1 foot=304.8 mm, 1 poun per sq.ft.=0.0479 kpa.  
 a= end bearing length shall be increased to 2 inches.  
 b= Dead load limits for townhouses in seismic design category C and all structures in Seismic Design Categories D, shall be determined in accordance with section R301.2.2.2.



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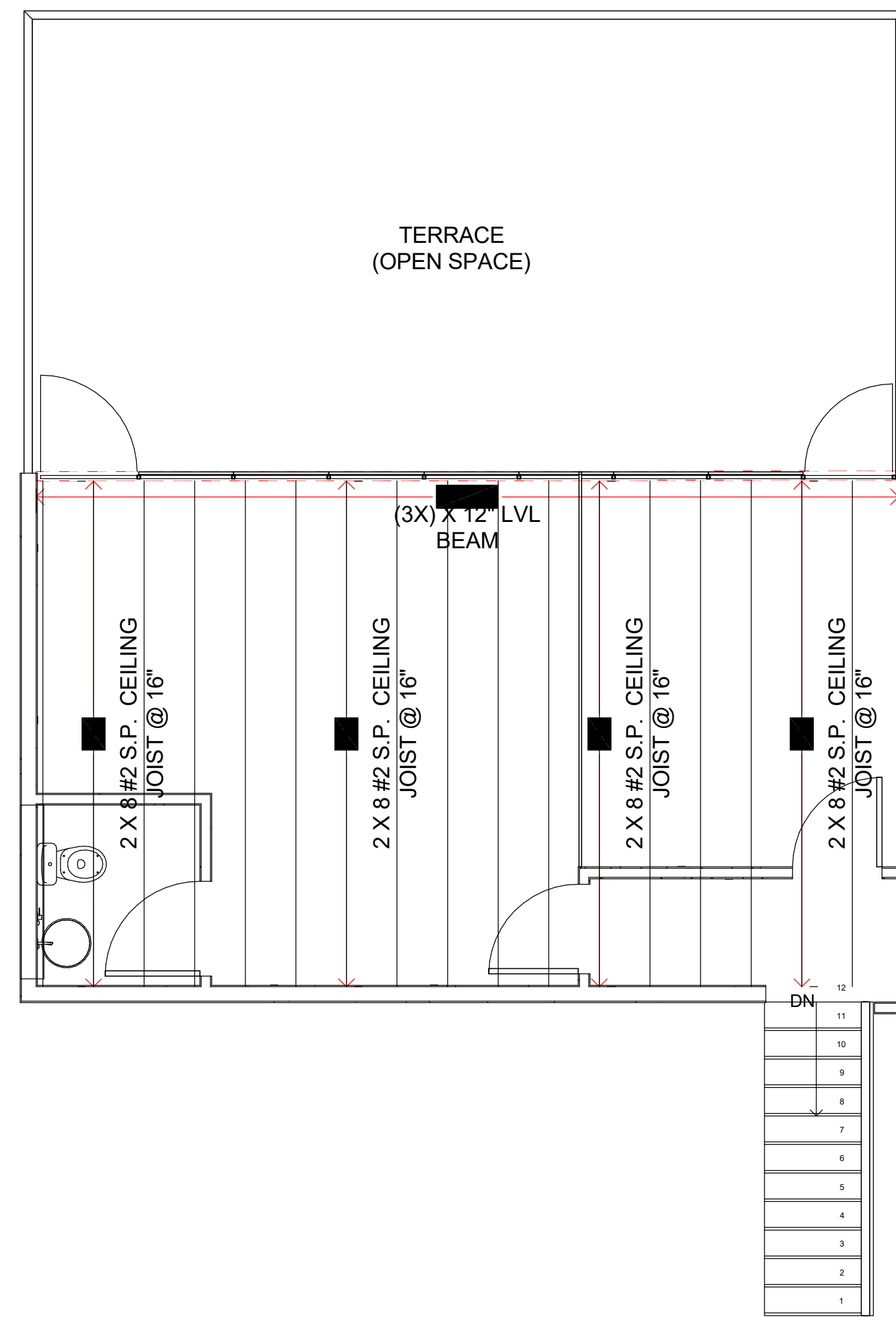
**Project Name & Address**  
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 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

## FLOOR FRAMING

Date: 9/29/2023 Scale: 1/4" = 1'-0"

Drawn by: Projects & Construction Araque

# 6.1



**1 Third Floor Ceiling Joist**

1/4" = 1'-0"

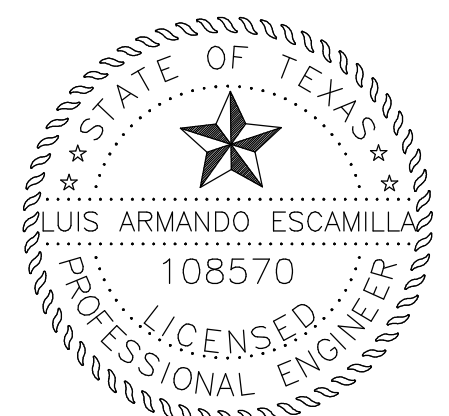
**CEILING JOIST SPANS FOR COMMON LUMBER SPECIES (Uninhabitable attics without storage, live load =10 psf, L /Δ=240)**

CEILING JOIST SPACING (inches)	SPECIES AND GRADE		ON CENTER SPACING			
			2" X 6"	2" X 8"	2" X 10"	2" X 12"
12	S.P.	S.S.	12-11	20-3	Note a	Note a
	S.P.	#1	12-5	19-6	25-8	Note a
	S.P.	#2	11-10	18-8	24-7	Note a
	S.P.	#3	10-1	14-11	18-9	22-9
16	S.P.	S.S.	11-9	18-5	24-3	Note a
	S.P.	#1	11-3	17-8	23-10	Note a
	S.P.	#2	10-9	16-11	21-7	25-7
	S.P.	#3	8-9	12-11	16-3	19-9
19.2	S.P.	S.S.	11-0	17-4	22-10	Note a
	S.P.	#1	10-7	16-8	22-0	Note a
	S.P.	#2	10-2	15-7	19-8	23-5
	S.P.	#3	8-0	11-9	14-10	18-0
24	S.P.	S.S.	10-3	16-1	21-2	Note a
	S.P.	#1	9-10	15-6	20-5	24-0
	S.P.	#2	9-3	13-11	17-7	20-11
	S.P.	#3	7-2	10-6	13-3	16-1

\* check sources for availability of lumber in lengths greater than 20 feet.  
for si: inch=24.5 mm, 1 foot=304.8 mm, 1 poun per sq.ft.=0.0479 kpa.  
a= expands exceeds 26 feet in length.

**TABLE 602.7(2)  
GIRDER SPANS AND HEADER SPANS FOR INTERIOR BEARING WALLS (maximum spans for douglas fir-larch, hem-fir, southern pine ans spruce-pine fir and required number of jack studs)**

HEADERS AND GIRDERS SUPPORTING	SIZE	BUILDING WIDTH (FEET)					
		12		24		36	
		SPAN	NJ	SPAN	NJ	SPAN	NJ
ONE FLOOR ONLY	2-2X4	4'-1"	1	2'-10"	1	2'-4"	1
	2-2X6	6'-1"	1	4'-4"	1	3'-6"	1
	2-2X8	7'-9"	1	5'-5"	1	4'-5"	2
	2-2X10	9'-2"	1	6'-6"	2	5'-3"	2
	2-2X12	10'-9"	1	7'-7"	2	6'-3"	2



10/07/2023  
FIRM# 18123

*L. Escamilla*



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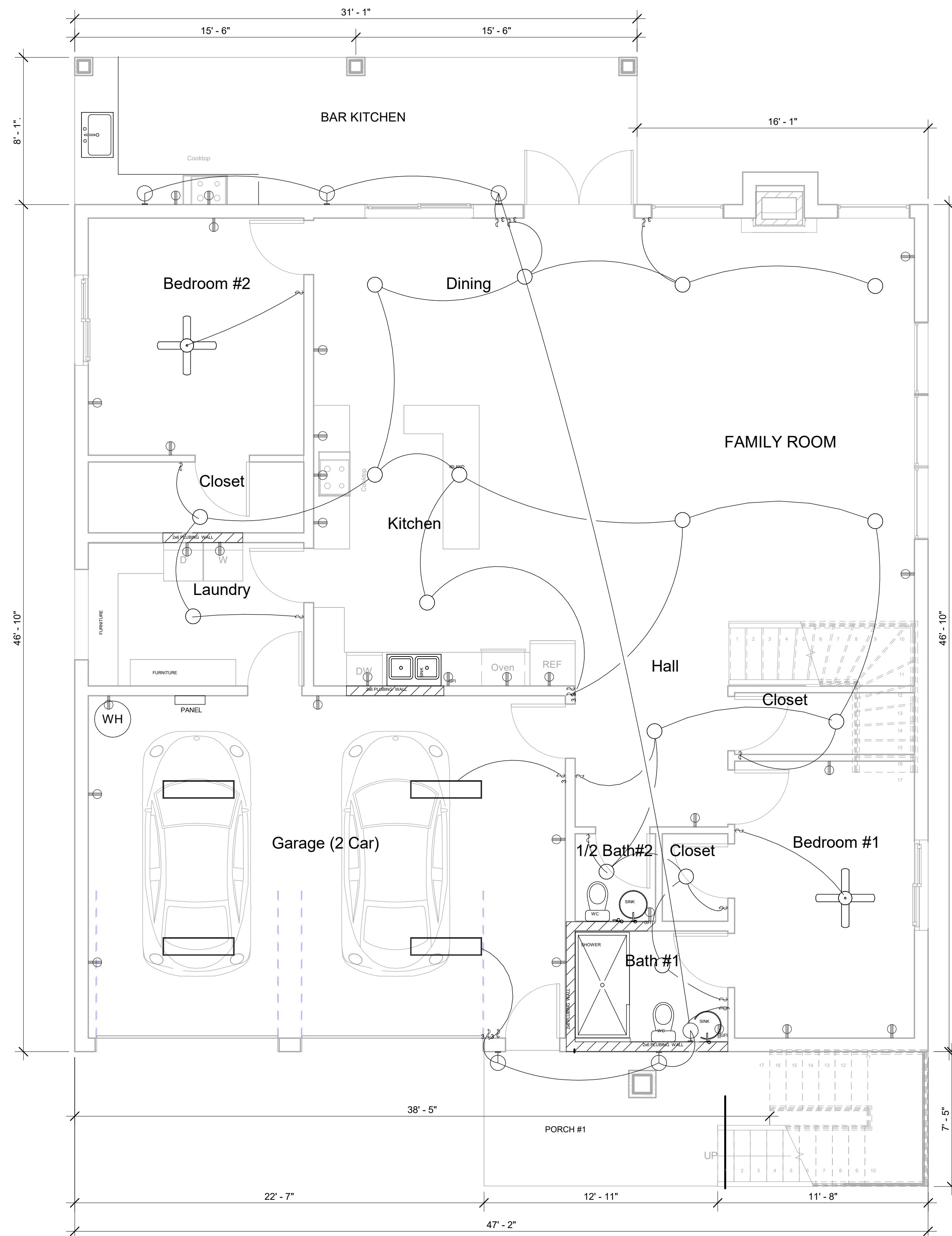
**Legal Description**  
LOT 22, BLOCK B

**CEILING FRAME**

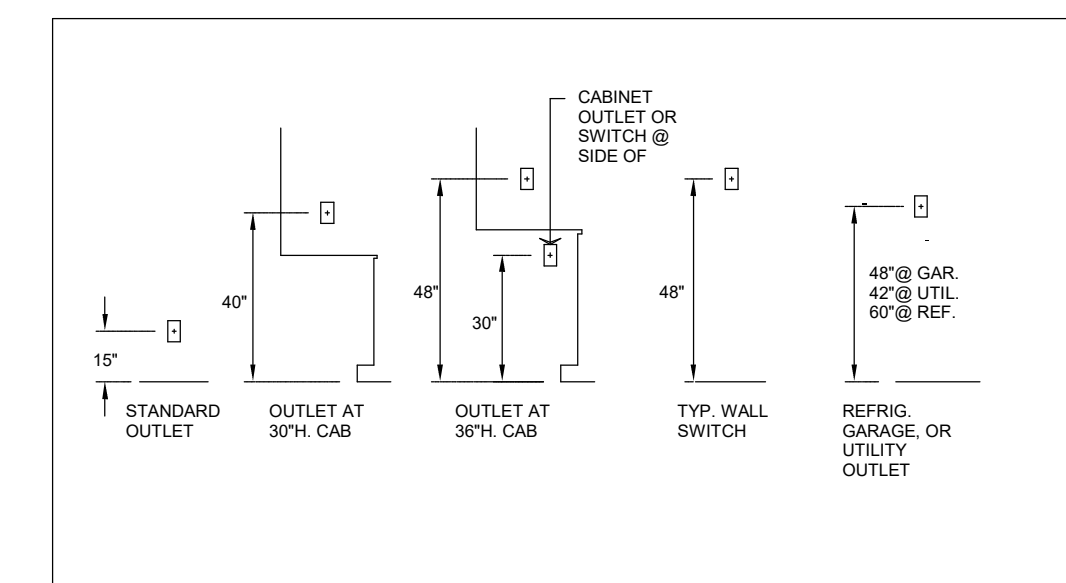
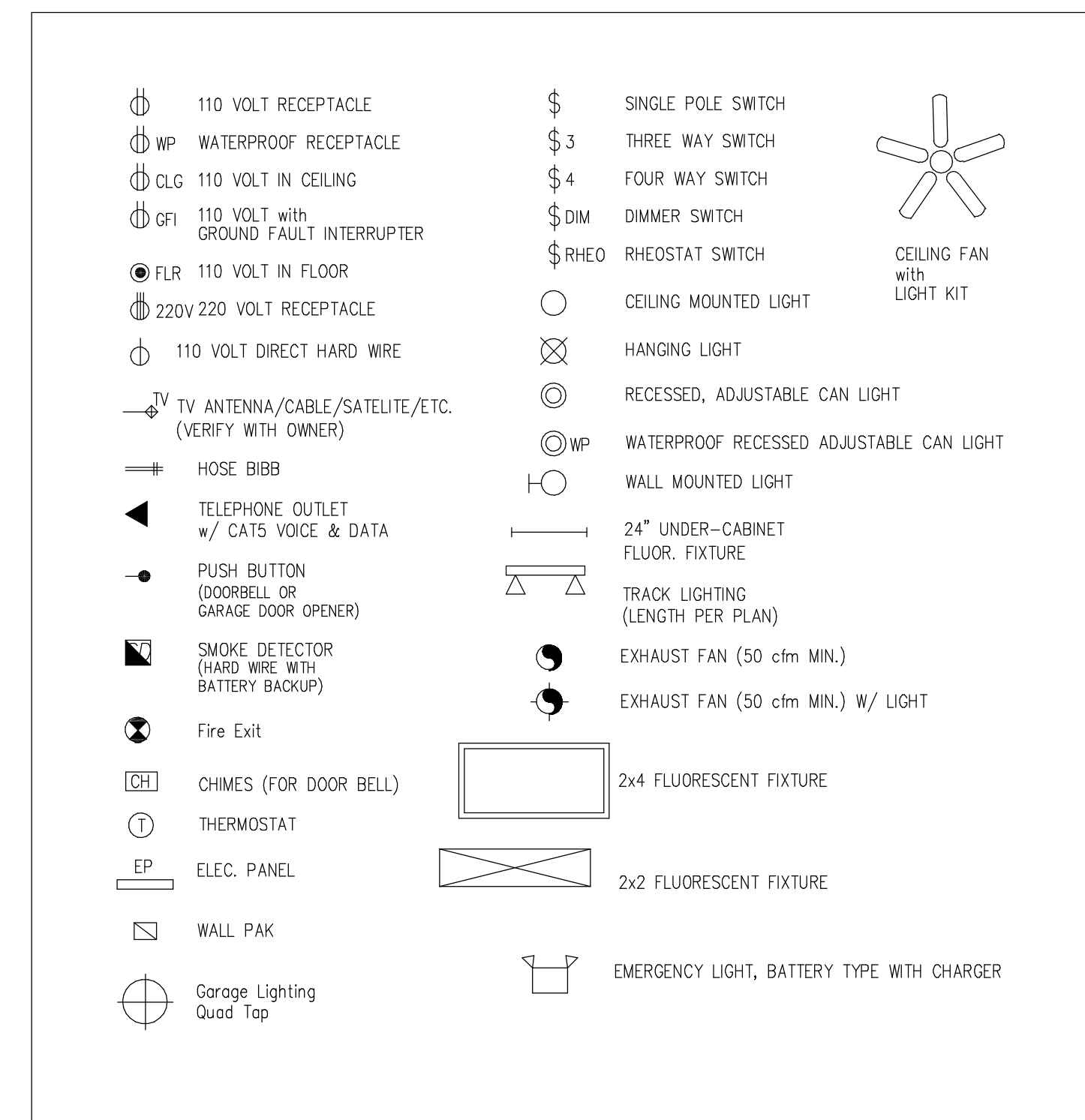
Date: 9/29/2023      Scale: 1/4" = 1'-0"

Drawn by: Projects & Construction Araque

**6.2**



**LEGEND**

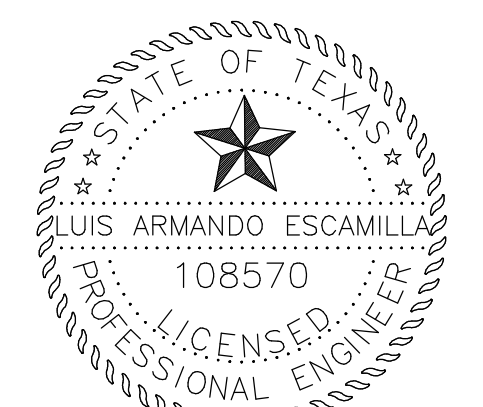


**GENERAL ELECTRICAL NOTES:**

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY.

**1 First Floor Electrical**

1/4" = 1'-0"



10/07/2023  
FIRM# 18123

*L. Escamilla*



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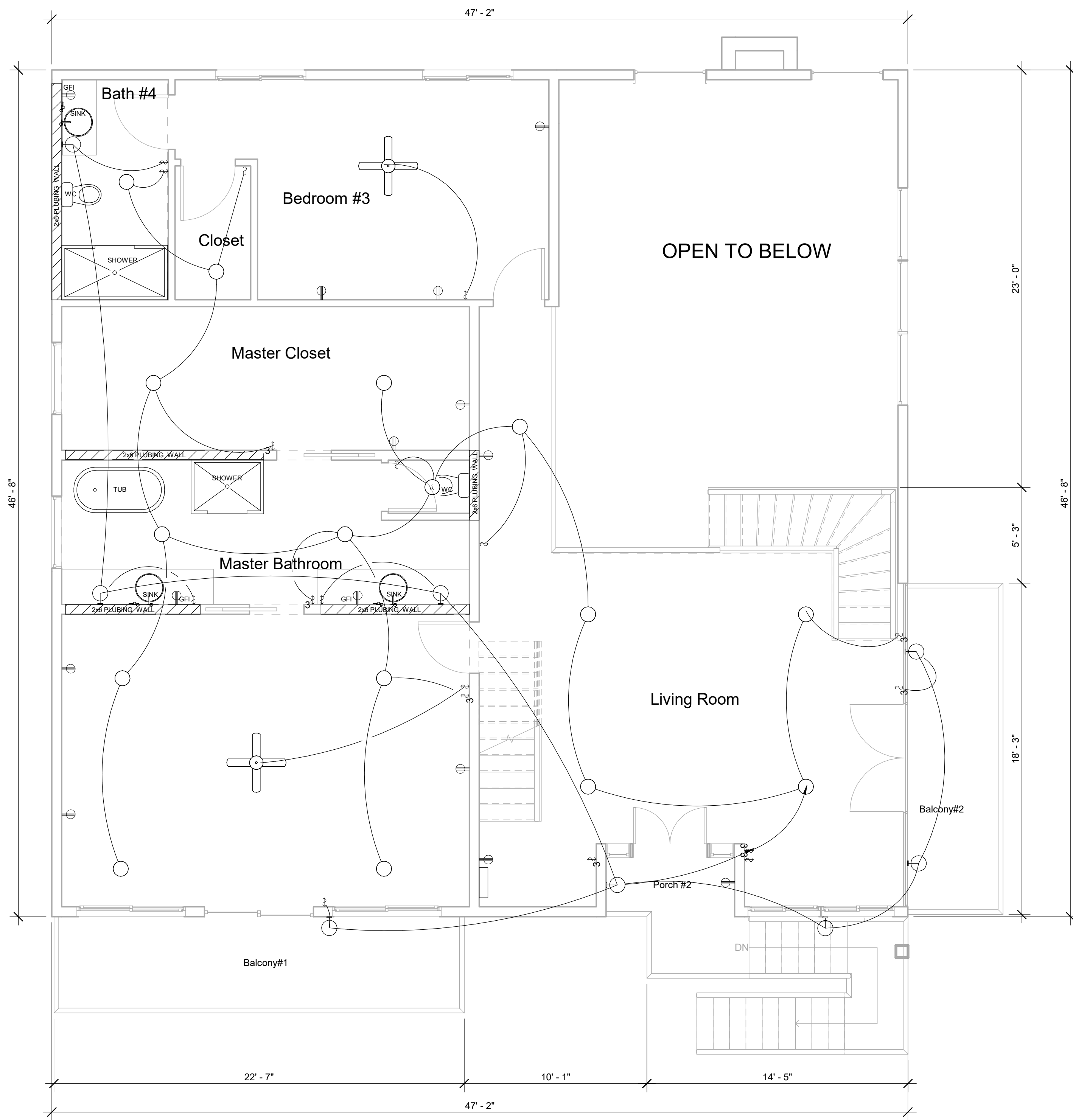
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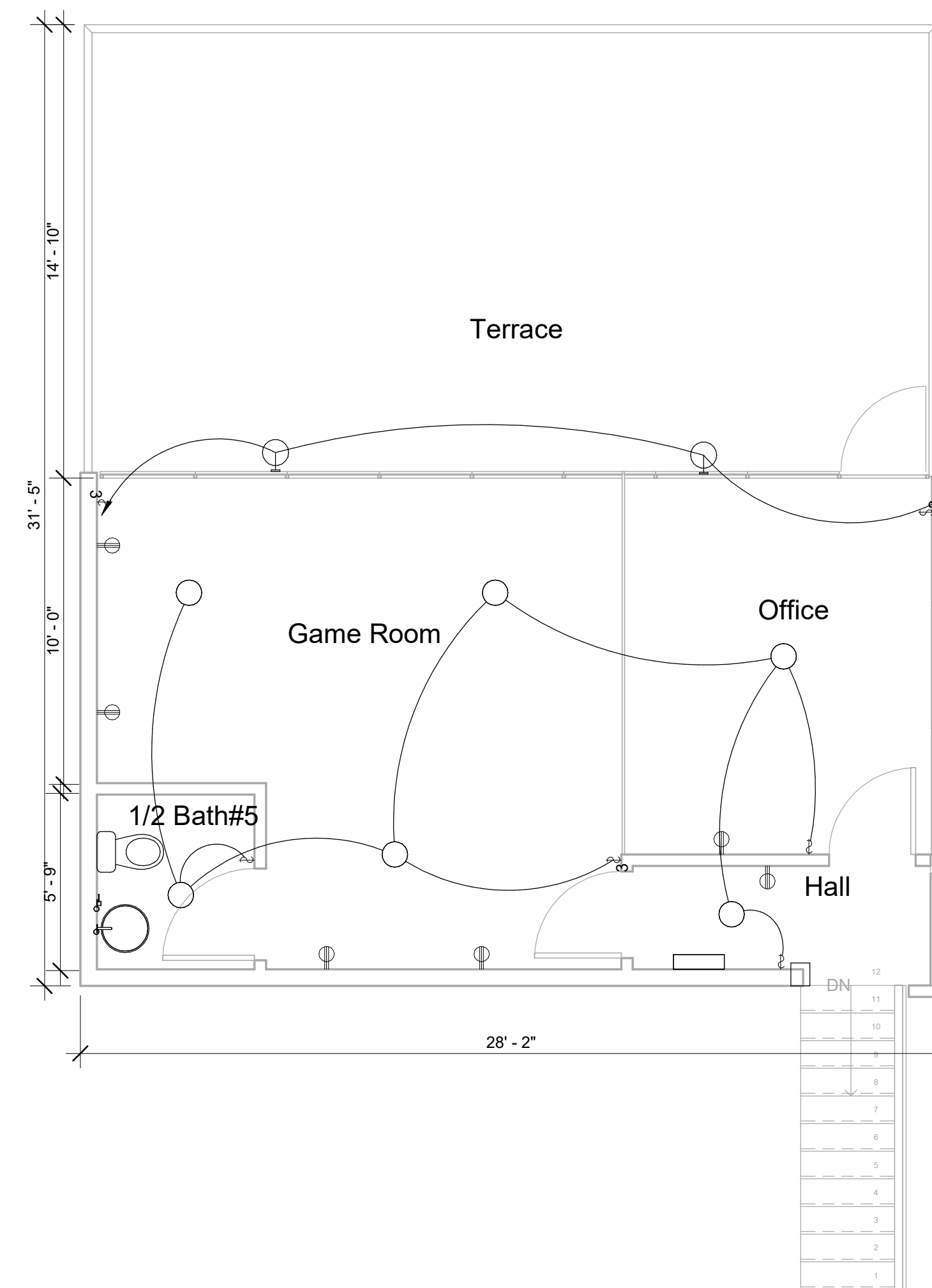
**ELECTRICAL**

Date: 9/29/2023 Scale: 1/4" = 1'-0"

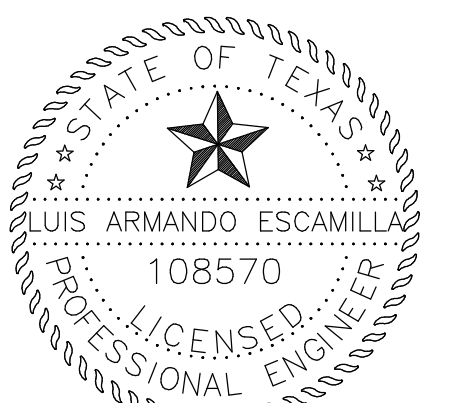
Drawn by: Projects & Construction Araque



**1 Second Floor Electrical**  
1/4" = 1'-0"



**2 Third Floor Electrical**  
1/4" = 1'-0"



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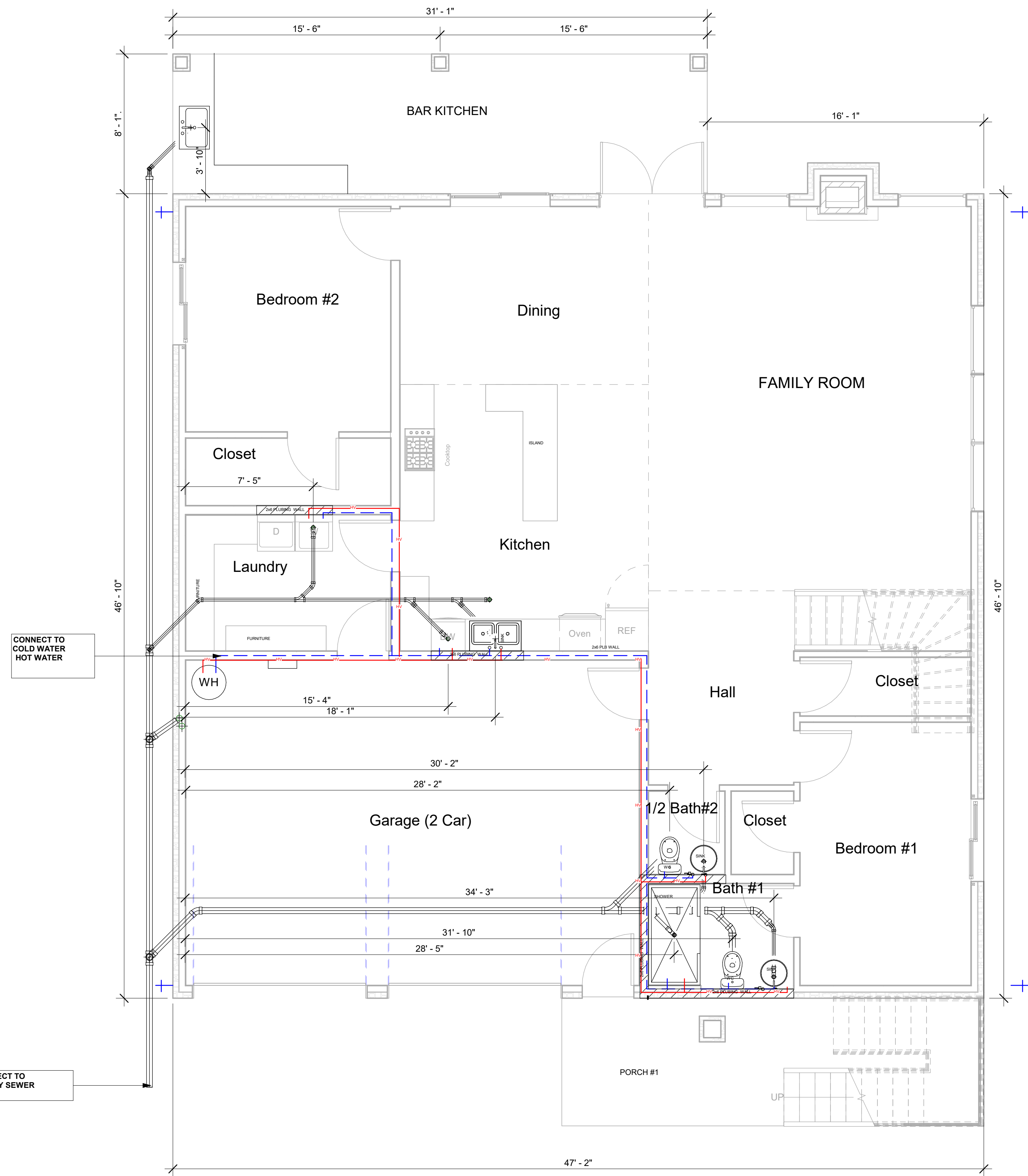
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**ELECTRICAL**

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7.1



PLUMBING LEGEND	
SYMBOL	ITEM DESCRIPTION
---	SANITARY SEWER
---	HOT WATER
---	COLD WATER

SIZING FOR DRAINPIPES		
PIPE SIZE	MAXIMUM FIXTURE UNITS FOR HORIZONTAL DRAIN	MAXIMUM FIXTURE UNITS FOR VERTICAL DRAIN
1-1/4"	1	1
1-1/2"	1 (except sinks)	2
2"	8	16
2-1/2"	14	32
3"	35	48
4"	216	256

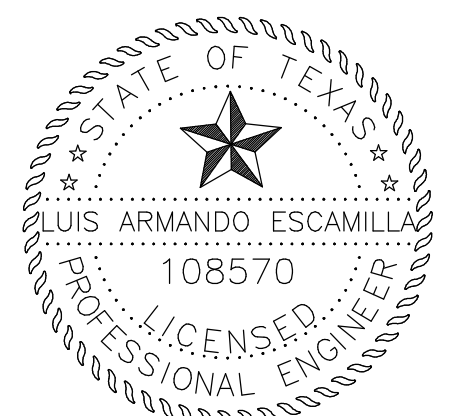
CRITICAL DISTANCES FOR VENT DRAINPIPES		
SIZE FOR FIXTURE DRAIN	MINIMUM VENT SIZE	CRITICAL DISTANCE
1-1/4"	1-1/4"	2-1/2'
1-1/2"	1-1/4"	3-1/2'
2"	1-1/2"	5'
3"	2"	6'
4"	3"	10'

SIZING FOR WATER DISTRIBUTION PIPES							
Meter & Street service	Size of main supply pipe & Branches	Maximum length for total fixture units (46 to 60 PSI)					
		40'	60'	80'	100'	150'	200'
3/4"	1/2"	7	7	6	5	4	3
3/4"	3/4"	20	20	19	17	14	11
3/4"	1"	39	39	36	33	28	23
1"	1"	39	39	39	36	30	25
1"	1-1/4"	78	78	76	67	52	44

SIZING FOR WATER SUPPLY RISERS					
Minimum piper diameter:			Minimum piper diameter:		
WATER TEMP:	COLD	HOT	WATER TEMP:	COLD	HOT
Toilet	3/8"		Bar sink	3/8"	3/8"
Bathtub	1/2"	1/2"	Dishwasher		3/8" to 1/2"
Lavatory sink	3/8"	3/8"	Washing machine	1/2"	1/2"
Shower	1/2"	1/2"	Laundry sink	1/2"	1/2"
Bar sink	3/8"	3/8"	Water heater	3/4"	
Kitchen sink	1/2"	1/2"	Hose bibb	1/2" to 3/4"	

# 1 First Floor Plumbing

1/4" = 1'-0"



10/07/2023  
FIRM# 18123

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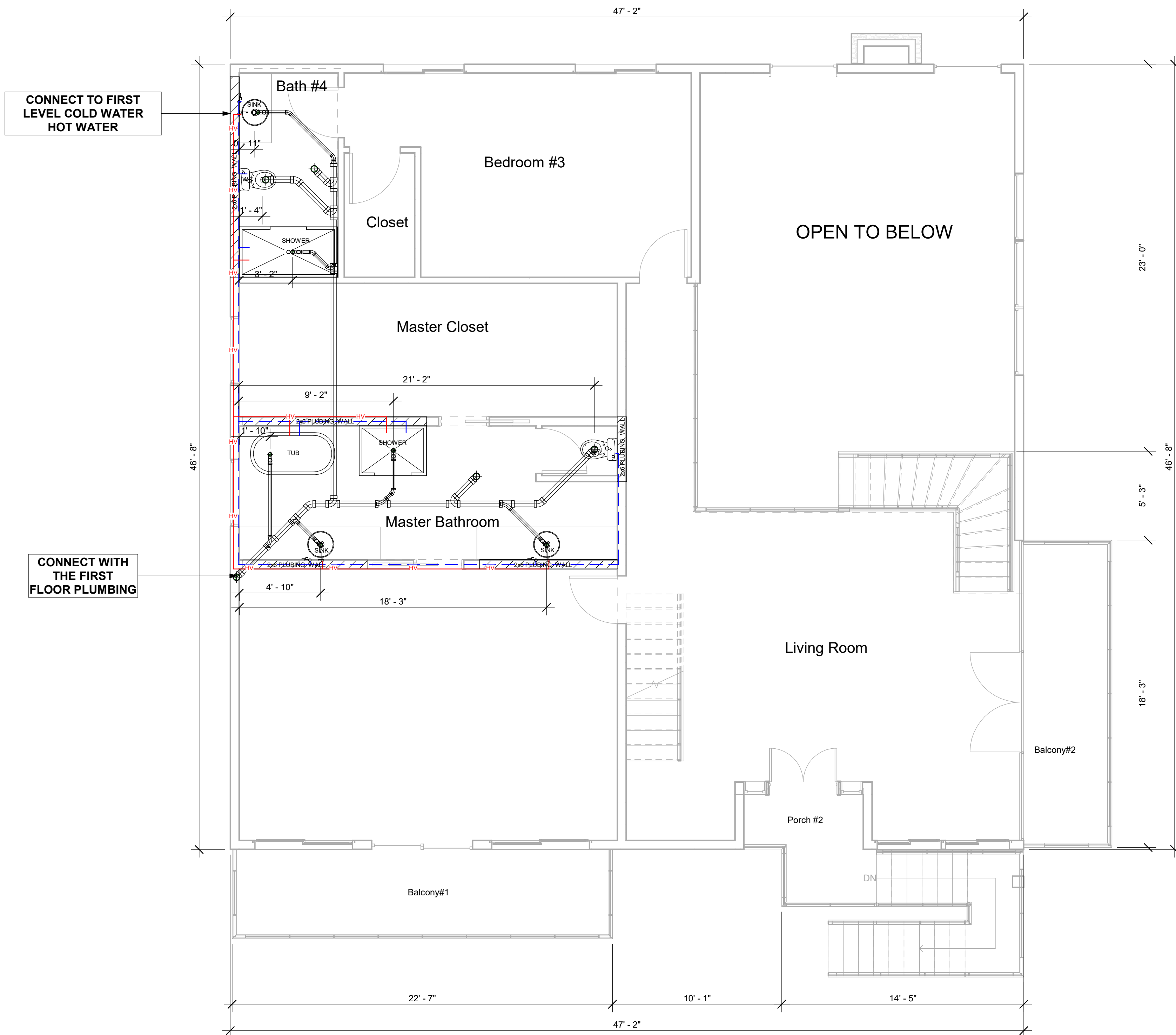
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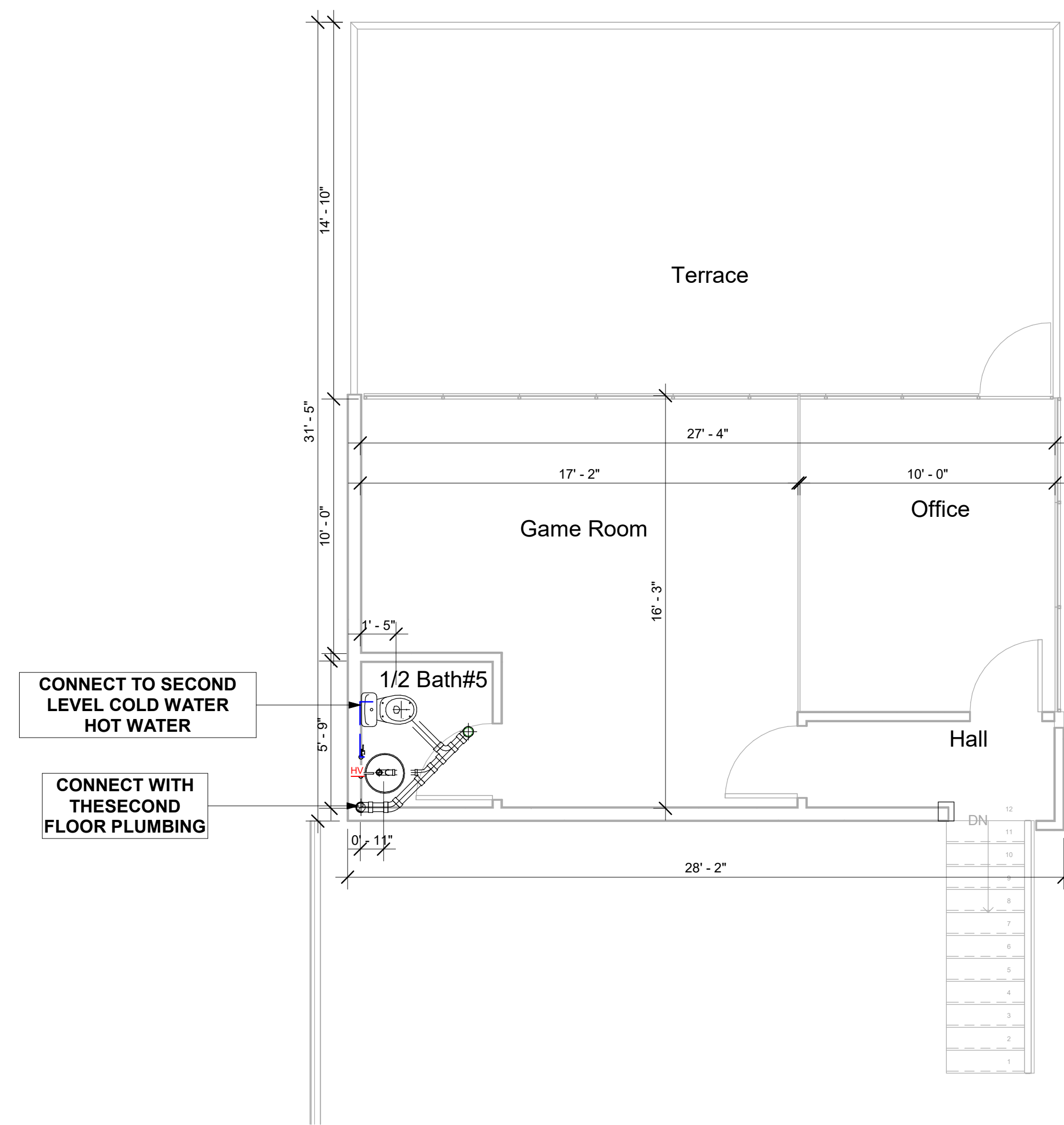
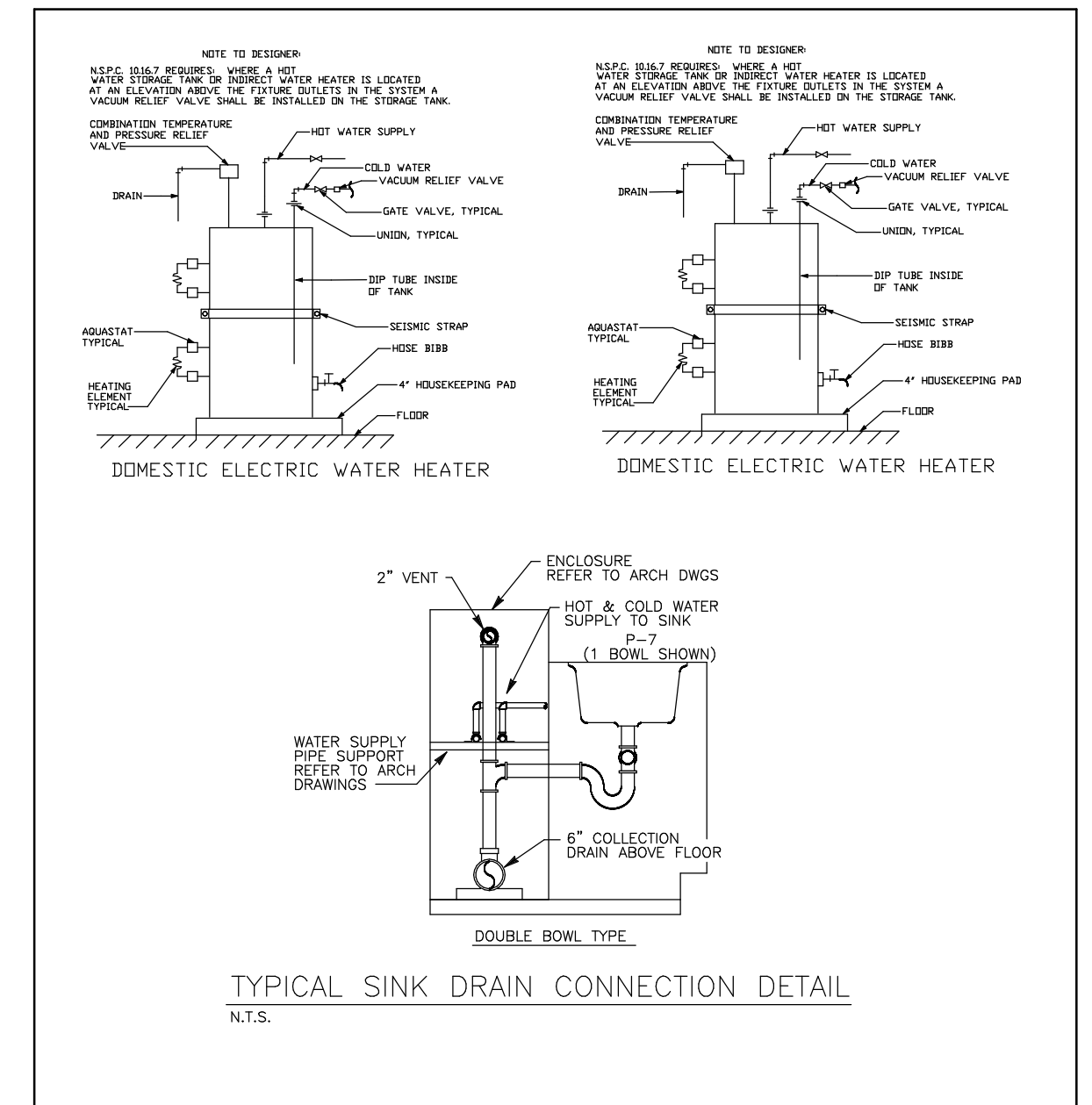
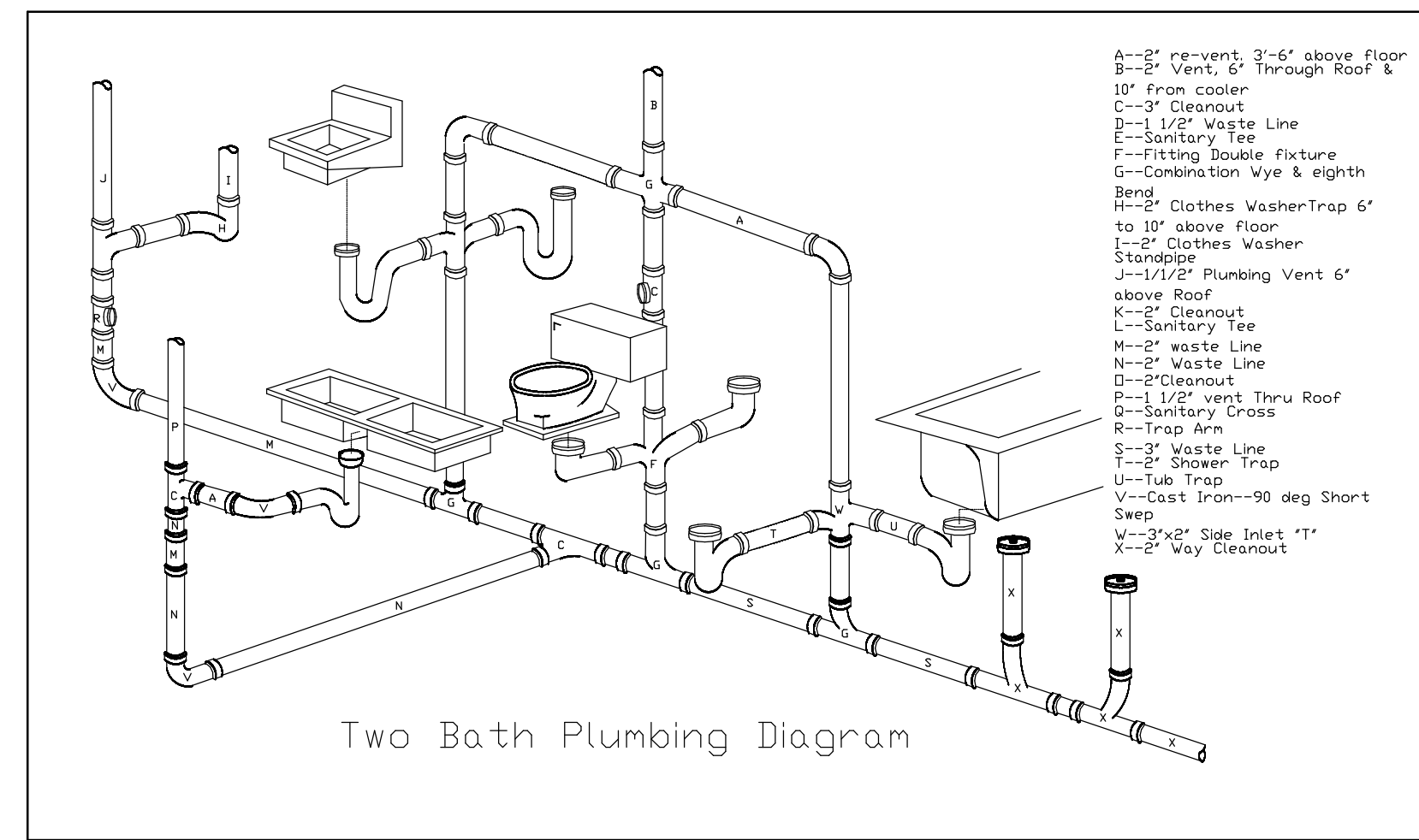
## PLUMBING

Date: 9/29/2023 Scale: 1/4" = 1'-0"  
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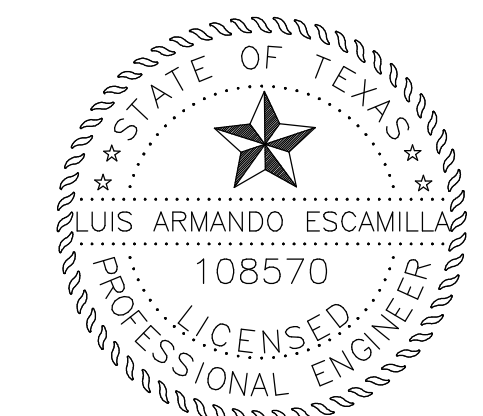
# 1 Second Floor Plumbing

1/4" = 1'-0"



# 2 Third Floor Plumbing

1/4" = 1'-0"



10/07/2023  
FIRM# 18123

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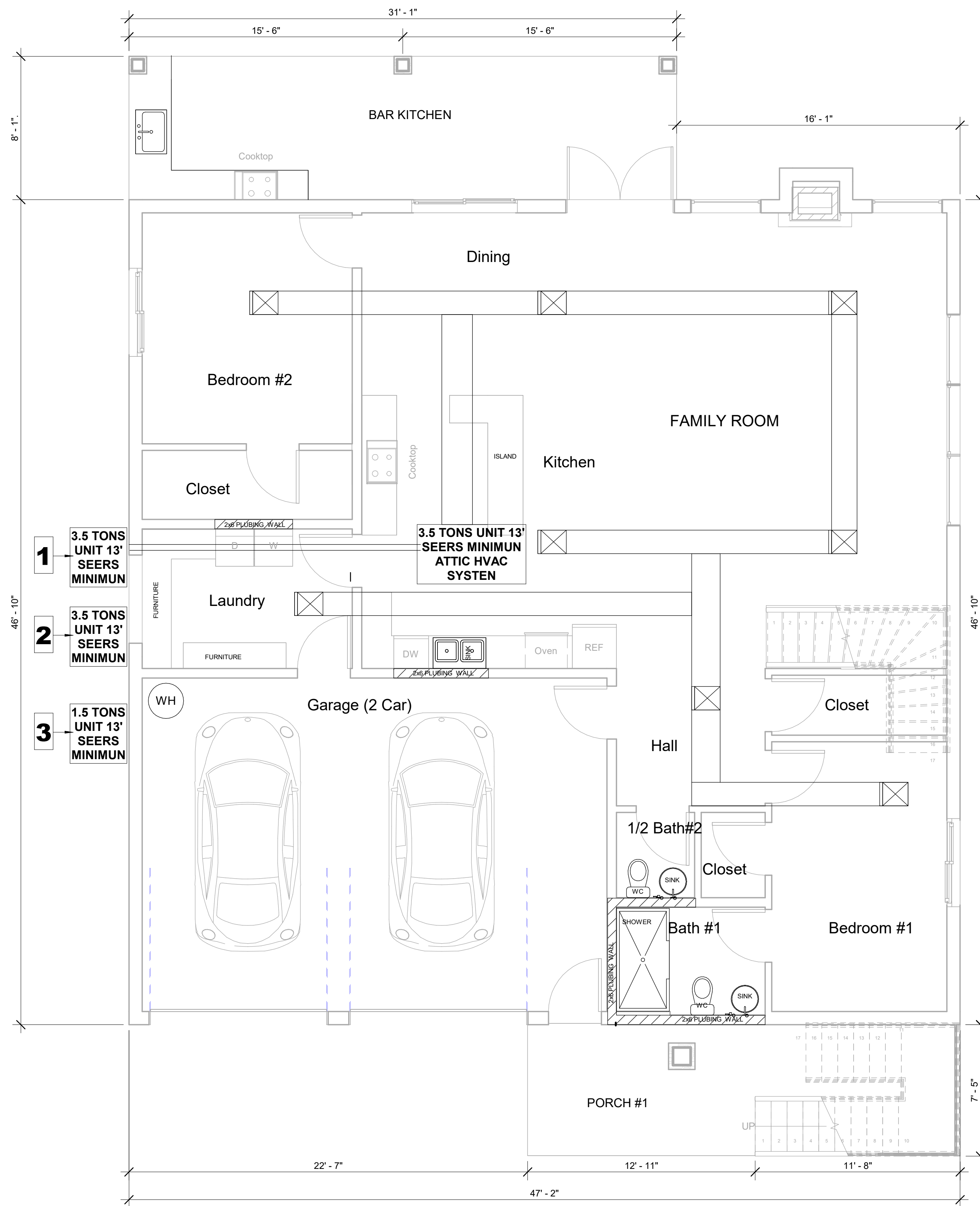
**PLUMBING**

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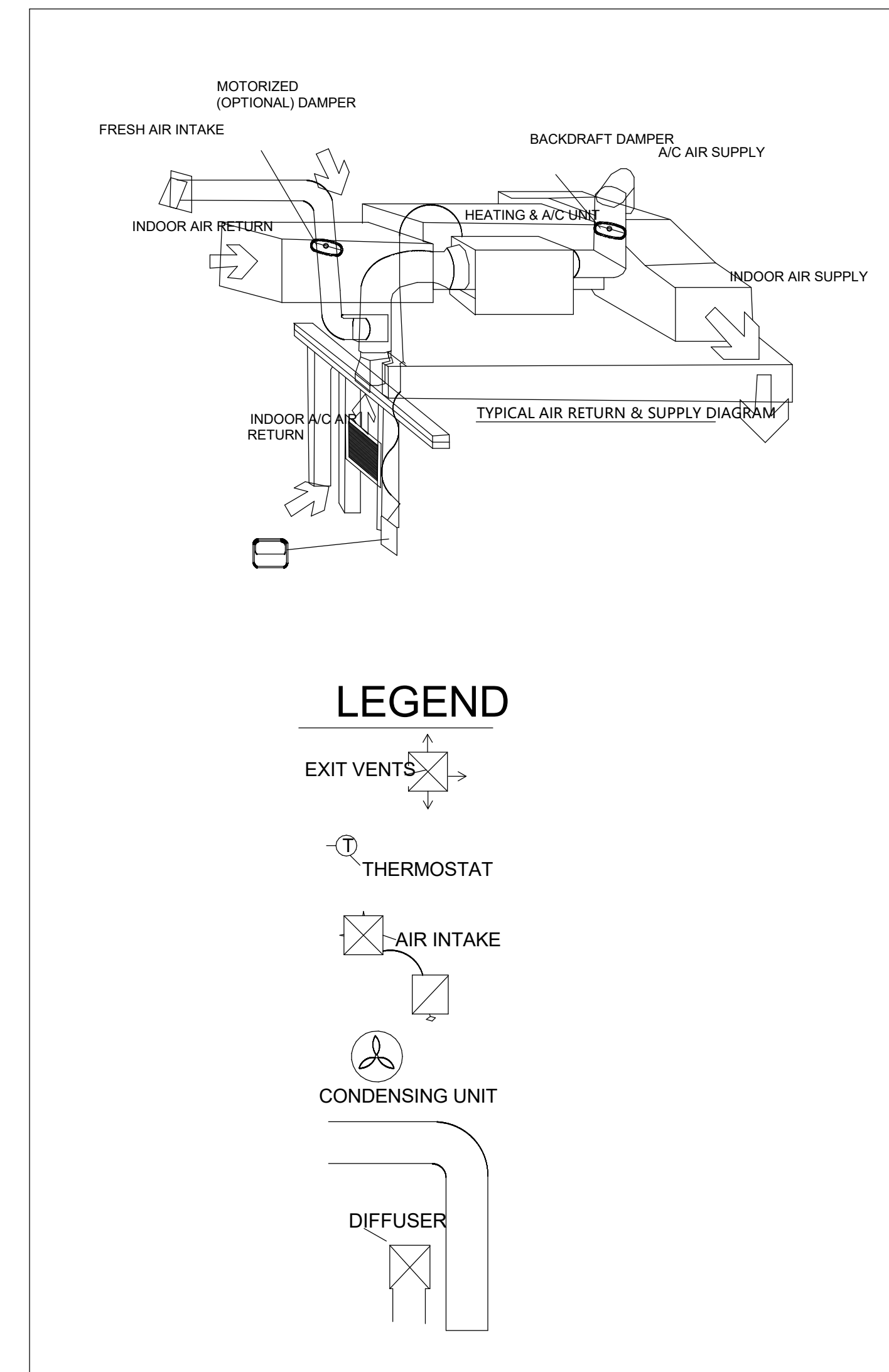
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**8.1**

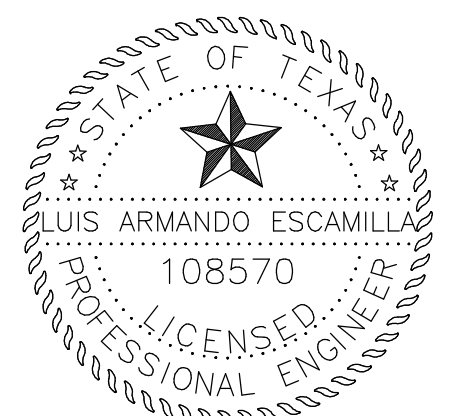




**DETAIL**



**1 First Floor Mechanical**  
1/4" = 1'-0"



10/07/2023  
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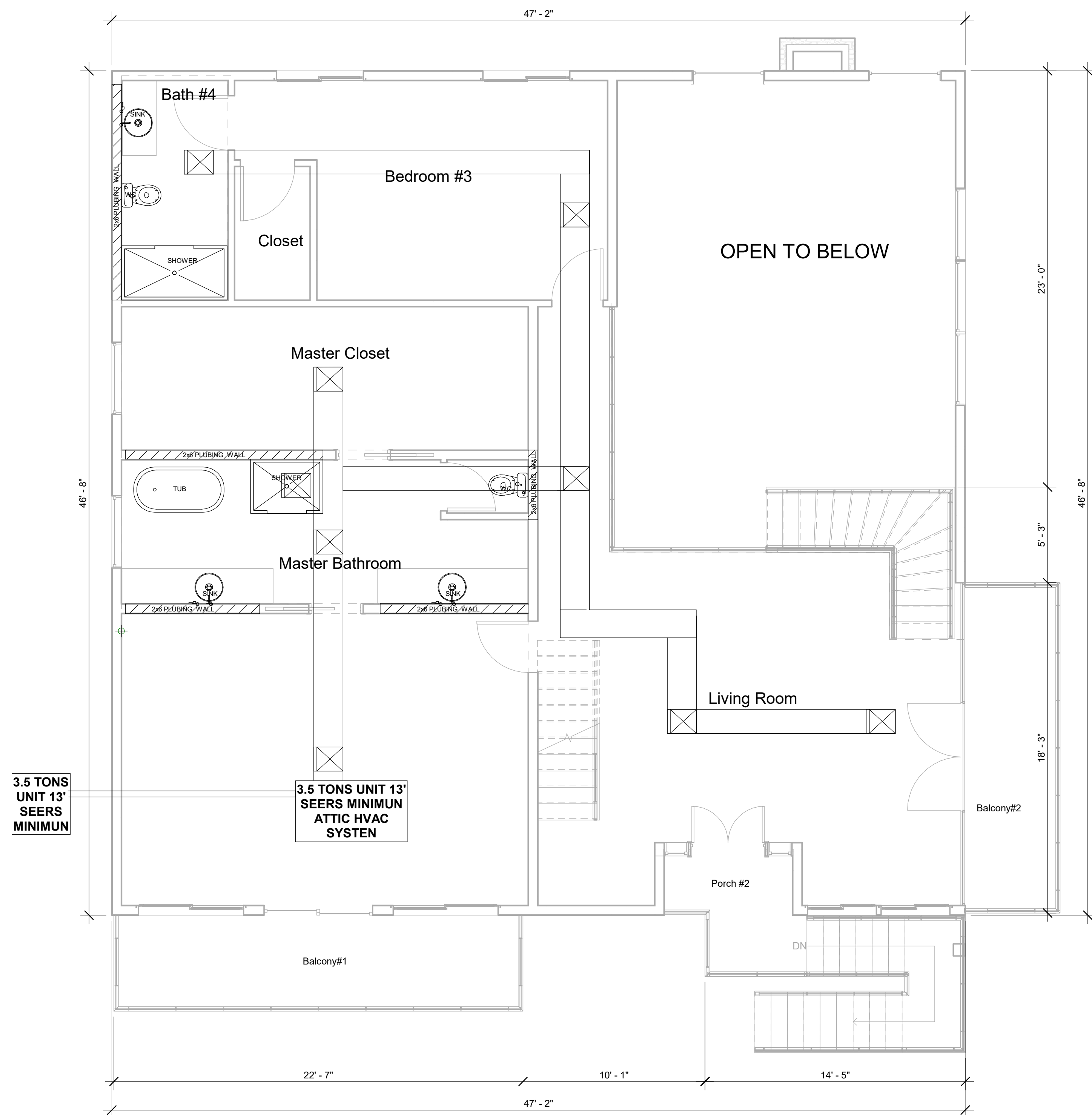
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**MECHANICAL**

Date: 9/29/2023 Scale: 1/4" = 1'-0"

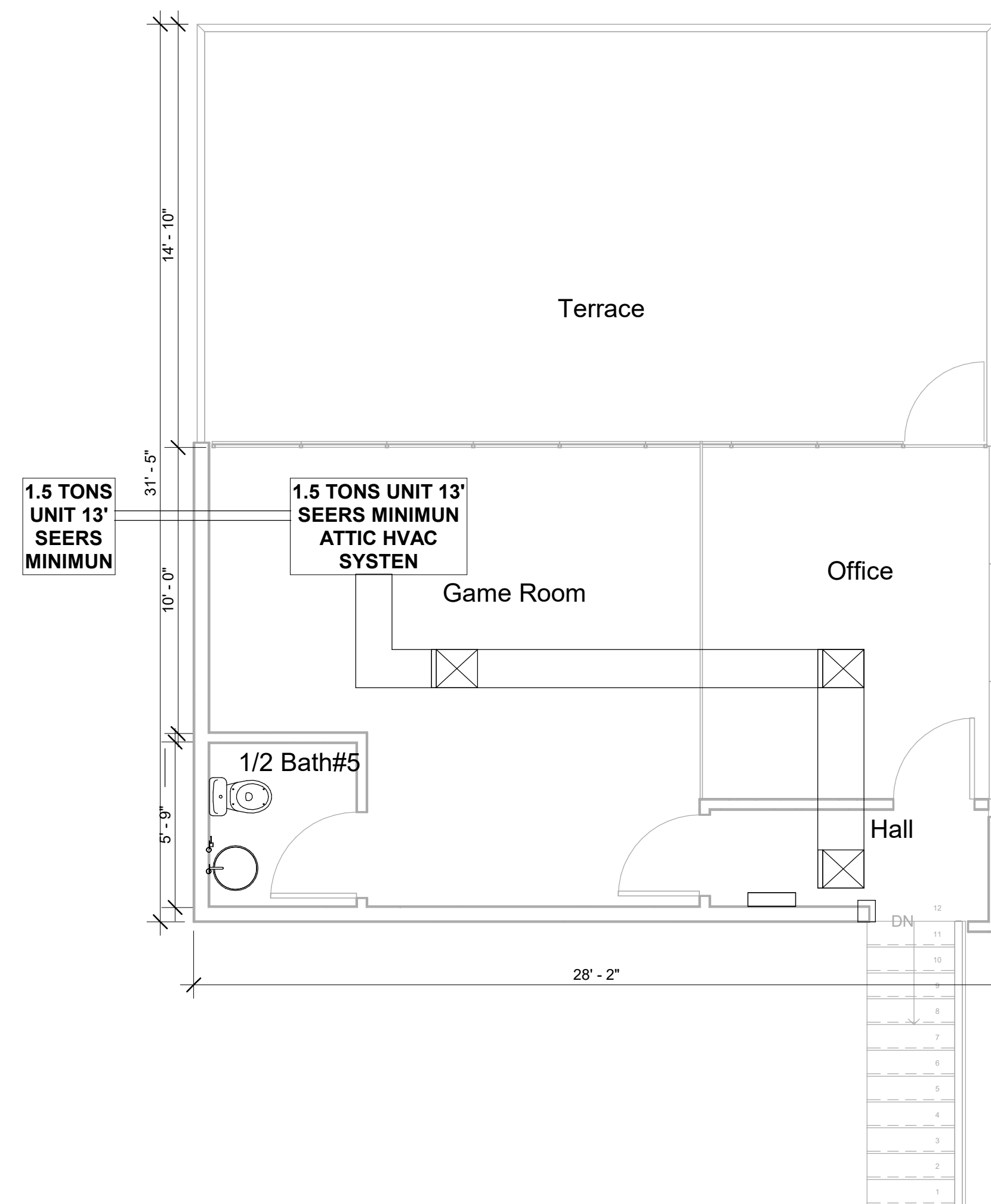
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**9**



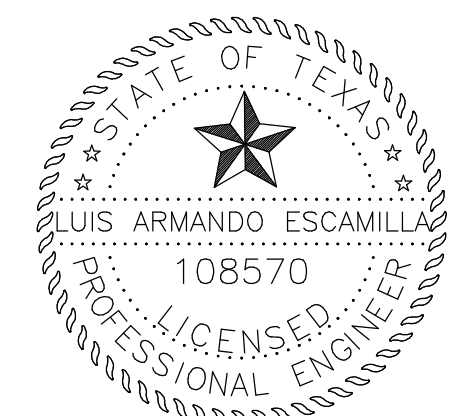
# 1 Second Floor Mechanical

1/4" = 1'-0"



# 2 Third Floor Mechanical

1/4" = 1'-0"



10/07/2023  
FIRM# 18123

*L. Escamilla*



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032

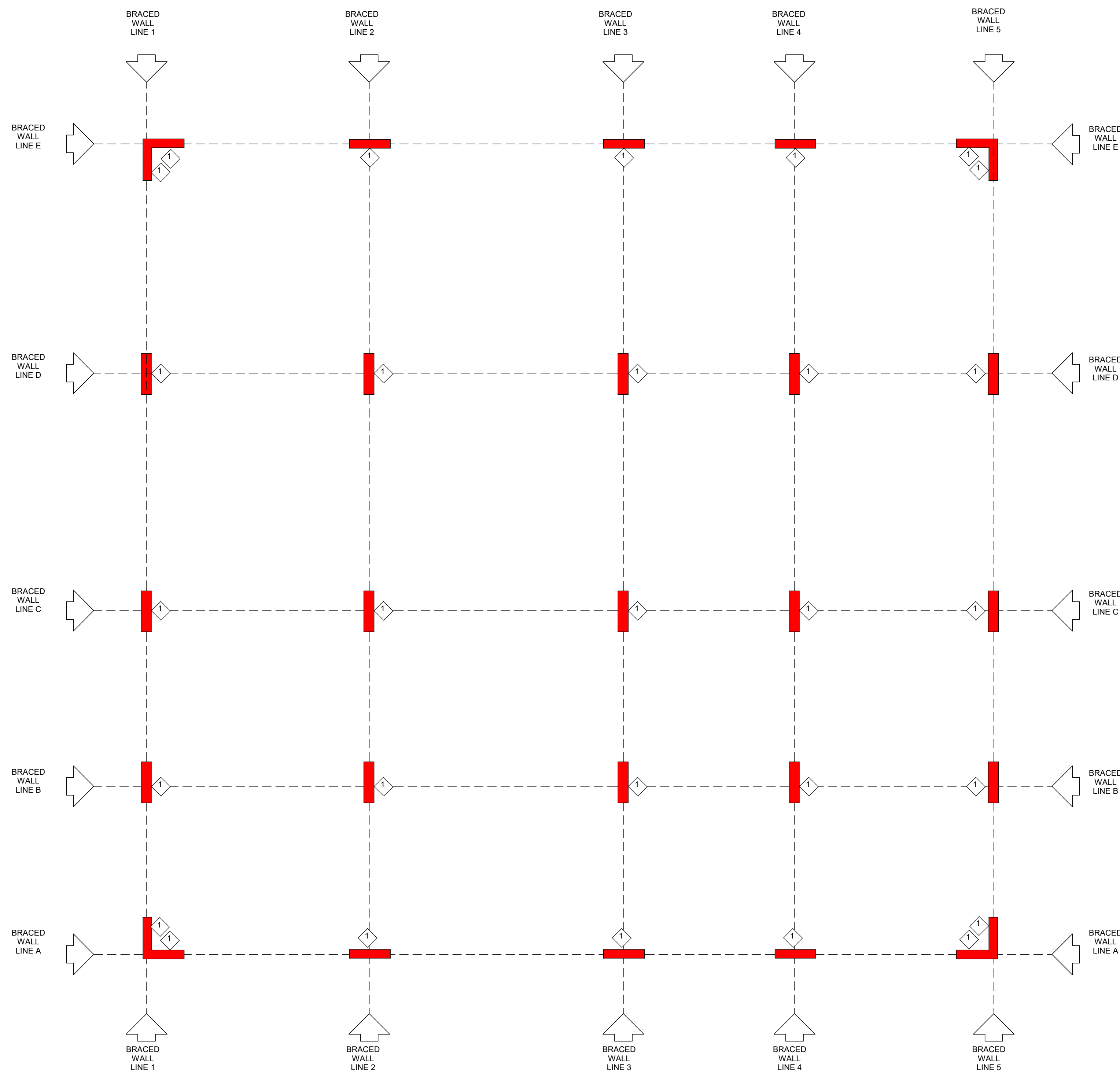
**Legal Description**  
LOT 22, BLOCK B

**MECHANICAL**

Date: 9/29/2023 Scale: 1/4" = 1'-0"

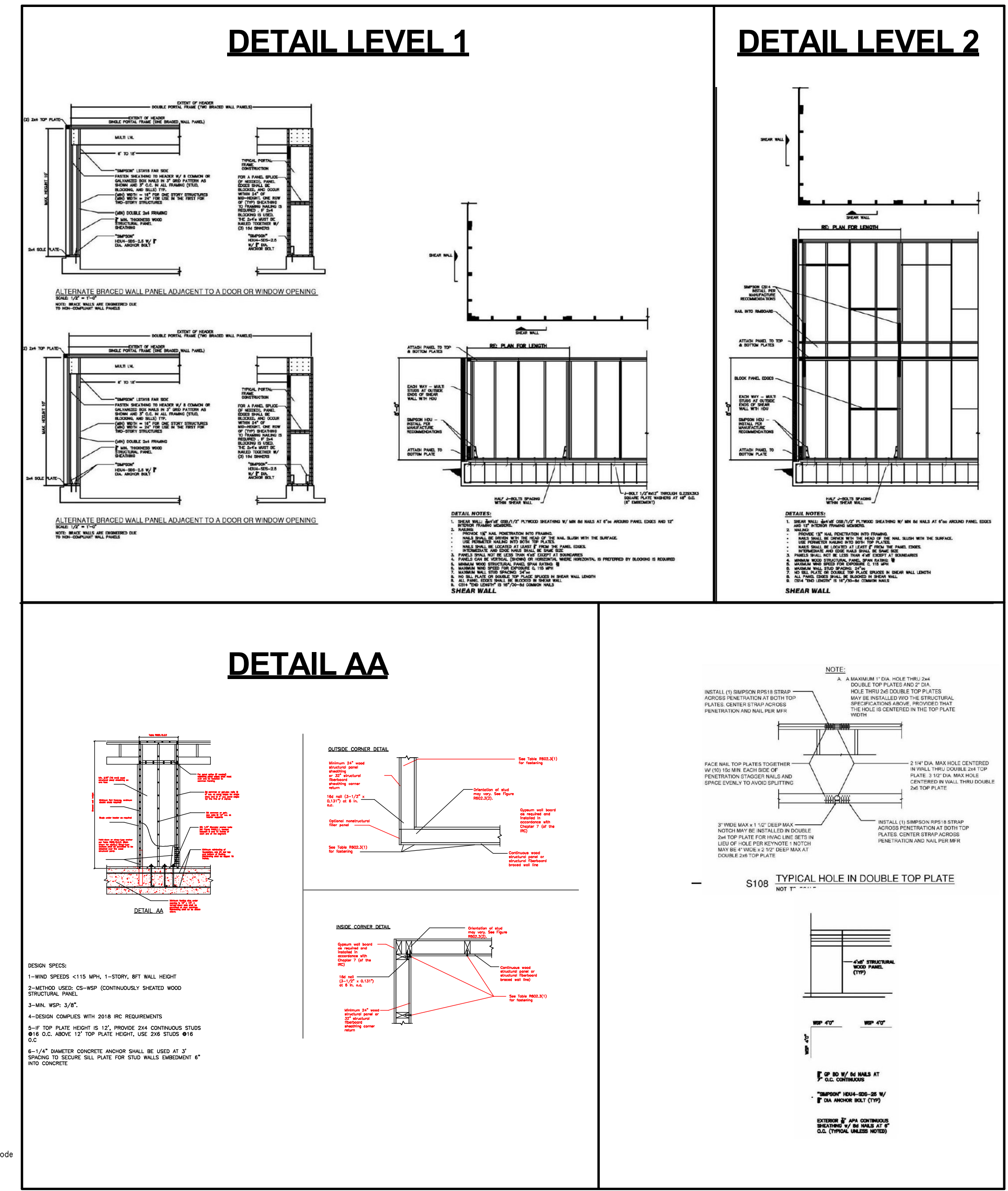
Drawn by: Projects & Construction Araque

**9.1**



# 1 Wall Bracing

1/4" = 1'-0"



**LEGEND**

◊ 48" Braced Wall Panel Structural Sheathing

Note: If 48 inches are not available in the field, use a minimum of 30", unless otherwise noted.

Adopted Codes:  
 2018 International Residential Code  
 2017 National Electrical Code  
 2018 International Energy Conservation Code

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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

# WALL BRACING

Date: 9/29/2023 Scale: 1/4" = 1'-0"  
 Drawn by: Projects & Construction Araque

STATE OF TEXAS  
 J. ARMANDO ESCAMILLA  
 108570  
 LICENSED PROFESSIONAL ENGINEER  
 10/07/2023  
 FIRM# 18123  
*J. Escamilla*





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p><b>PLATTING APPLICATION FEES:</b></p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p><b>SITE PLAN APPLICATION FEES:</b></p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p><b>ZONING APPLICATION FEES:</b></p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input checked="" type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 &amp; 2</sup> <b>\$215</b></p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><b>OTHER APPLICATION FEES:</b></p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup></p> <p><b>NOTES:</b></p> <p><sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p><sup>2</sup>: A <b>\$1,000.00</b> FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **295 Harborview DR. Rockwall TX 75032**

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____	CURRENT USE _____
PROPOSED ZONING _____	PROPOSED USE _____
ACREAGE _____	LOTS [CURRENT] _____
	LOTS [PROPOSED] _____

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER <input type="checkbox"/> <b>KISANET GHEBRETSADIK</b>	APPLICANT <input checked="" type="checkbox"/> <b>Paul Arce</b>
CONTACT PERSON _____	CONTACT PERSON _____
ADDRESS <b>297 BLACKHAW DR</b>	ADDRESS <b>5807 Ranger Dr</b>
CITY, STATE & ZIP <b>FATE, TX 75087</b>	CITY, STATE & ZIP <b>Rockwall TX 75032</b>
PHONE <b>206-351-9741</b>	PHONE <b>(972) 365-6823</b>
E-MAIL <b>KISANETGHEBRETSADIK@gmail.com</b>	E-MAIL <b>paularce tx@yahoo.com</b>

## NOTARY VERIFICATION [REQUIRED]

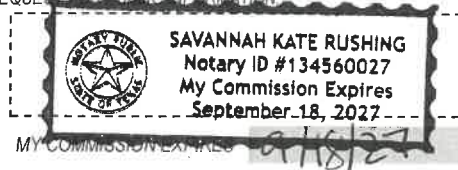
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **TRAVELDE ABREHAM** [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ **10.00** TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE **14** DAY OF **DECEMBER**, 20**23** BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE **14** DAY OF **12** 20**23**

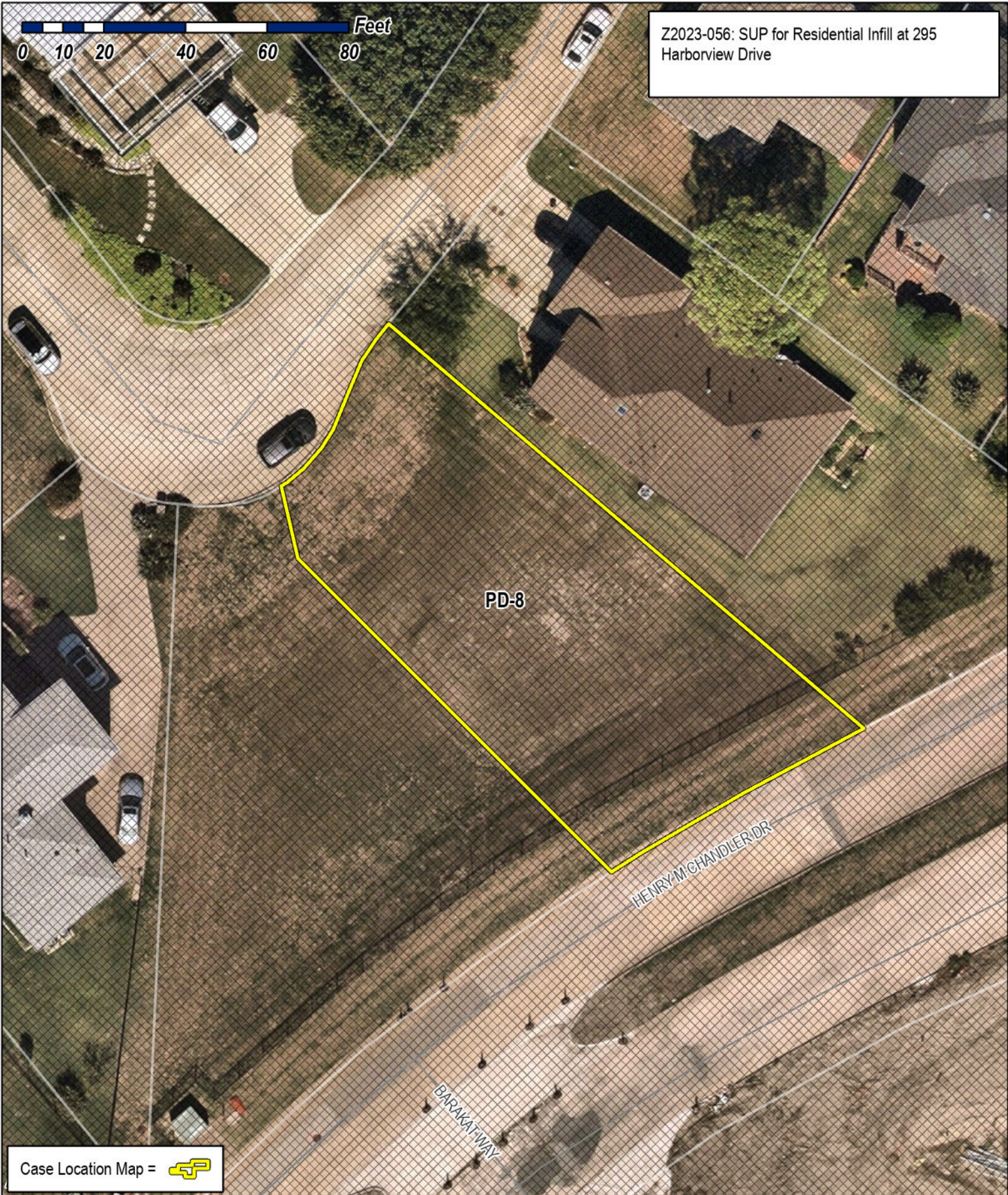
OWNER'S SIGNATURE **Kisanet**

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS **SKUS**






Z2023-056: SUP for Residential Infill at 295 Harborview Drive



PD-8

HENRY MCHANDLER DR

BARAKAT WAY

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

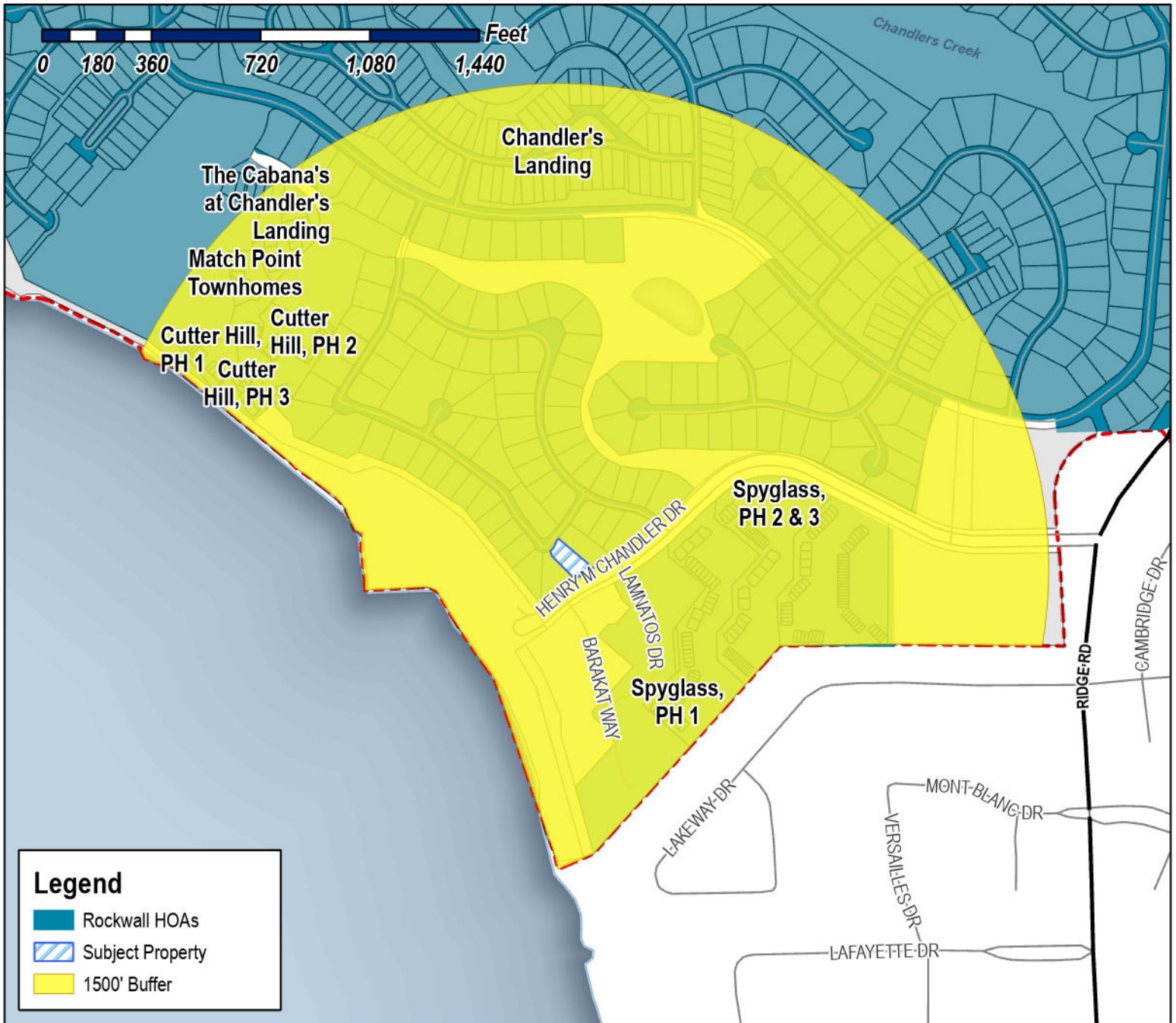




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**Case Number:** Z2023-056  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 295 Harborview Drive

**Date Saved:** 12/15/2023  
 For Questions on this Case Call (972) 771-7745

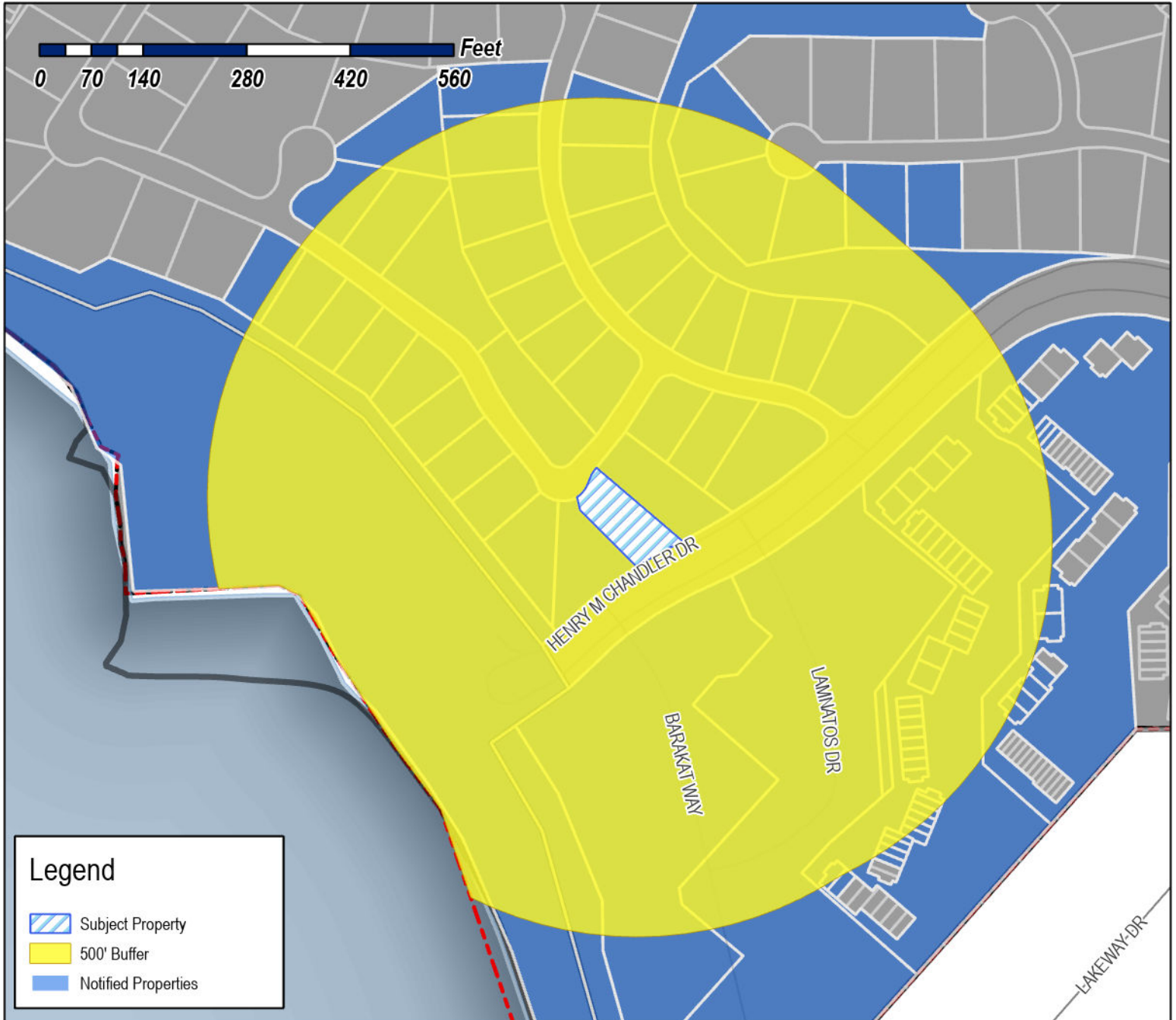




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
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**Case Number:** Z2023-056  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 295 Harborview Drive

**Date Saved:** 12/15/2023

For Questions on this Case Call: (972) 771-7746



CHANDLERS LANDING COMMUNITY ASSOC  
1 COMMODORE PLAZA  
ROCKWALL, TX 75032

SESSUMS BILLY A  
10 CLARKSVILLE ST  
PARIS, TX 75460

NGUYEN ANGELINA  
1025 LAKE RIDGE DR  
RICHARDSON, TX 75081

L T L FAMILY HOLDINGS LLC  
106 SAWGRASS DR  
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC  
106 SAWGRASS DR  
ROCKWALL, TX 75032

STRANN MICHAEL RAY  
112 OLD GLORY LN  
FORNEY, TX 75126

SRP SUB, LLC  
1131 W WARNER RD STE 102  
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD  
115 DEFENDER C  
ROCKWALL, TX 75032

SANCHEZ RAMSES S  
120 APPIAN WAY  
DALLAS, TX 75216

RESIDENT  
132 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
136 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LEDE' HOWARD G AND ANNETTE M  
1360 GOLD COAST DRIVE  
ROCKWALL, TX 75087

RESIDENT  
137 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
138 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
146 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
147 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MACLEOD LYNN  
149 HENRY CHANDLER DR  
ROCKWALL, TX 75032

PARNES ALEXANDRA  
15 KESTREL CT  
ROCKWALL, TX 75032

RESIDENT  
150 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
155 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
155 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
156 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
157 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
158 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
159 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
160 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
161 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

COUGHLIN DIANE AND BRIAN FOULKS  
162 HENRY M CHANDLER DRIVE UNIT 162  
ROCKWALL, TX 75032

RESIDENT  
163 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
164 HENRY M CHANDLER DR  
ROCKWALL, TX 75032



LB QUALITY HOMES LLC  
1651 N COLLINS BLVD STE 260  
RICHARDSON, TX 75080

RESIDENT  
166 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KUPERMAN IGOR  
166 HENRY M CHANDLER  
ROCKWALL, TX 75032

RESIDENT  
167 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

BURNETT JAMES AND ELIZABETH  
168 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
169 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
170 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
171 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
172 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
173 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC  
17330 PRESTON ROAD SUITE 220A  
DALLAS, TX 75252

RESIDENT  
175 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MCKNIGHT MARY D  
201 HARBOR LANDING DR  
ROCKWALL, TX 75032

WILSON SEAN  
202 HARBOR LANDING DR  
ROCKWALL, TX 75032

PETERSON LELAND D & JANET  
203 HARBOR LANDING DR  
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND  
CARLOS AUGUSTO MOSQUERA  
204 HARBOR LANDING  
ROCKWALL, TX 75032

RESIDENT  
205 HARBOR LANDING DR  
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST  
MICHAEL D KNABLE TRUSTEE  
205 BENTON DRIVE APT 1202  
ALLEN, TX 75013

D'AMBROSIA DEAN AND MUSTAFA OMAR  
206 HARBOR LANDING DR  
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN  
208 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

ROMER ENTERPRISES, LLC  
2101 BRISBON STREET  
FATE, TX 75189

HUYNH ANN LE  
2206 STONE HOLLOW DRIVE  
ROWLETT, TX 75088

RESIDENT  
236 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
237 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
238 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
249 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
250 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KIM SEOK H  
2516 WOODHAVEN DR  
FLOWER MOUND, TX 75028

POWELL ALEAH D  
259 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
260 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

NANCE LAYLA SHALON  
261 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

CARNEY DON  
262 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
263 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
264 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
267 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
268 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

FERRIS BETH ANN  
269 HENRY M CHANDLER DRIVE UNIT 269  
ROCKWALL, TX 75032

RESIDENT  
270 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LEMONS BRADLEY & SHARON  
2706 WHISPERING OAKS  
ROCKWALL, TX 75087

RESIDENT  
271 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
272 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
273 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MASON JANIS E  
275 HENRY M CHANDLER DR UNIT 3  
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON  
2807 EASTGROVE LN  
HOUSTON, TX 77027

BALLARD AMANDA L &  
MATTHEW WEST BALLARD  
28106 WHISPERING MAPLE WAY  
SPRING, TX 77386

AMERSON GARY W AND DEBRA J  
293 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
295 HARBORVIEW DR  
ROCKWALL, TX 75032

GHEBRETSADIK KISANET  
295 BLACKHAW DR  
FATE, TX 75087

RESIDENT  
297 HARBORVIEW DR  
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH  
299 HARBORVIEW DRIVE  
ROCKWALL, TX 75032

RESIDENT  
301 HARBORVIEW DR  
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE  
301 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

SERRANO CHRISTIAN  
301 VILLAGE DR APT 307  
KING OF PRUSSIA, PA 19406

GENTLE BILL  
302 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
303 HARBORVIEW DR  
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA  
303 HARBOR LANDING DR  
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C  
304 HARBOR LANDING DR  
ROCKWALL, TX 75032

POTISKA ANDREA  
305 HARBOR LANDING DR  
ROCKWALL, TX 75032

CONFIDENTIAL  
305 HARBORVIEW DR  
ROCKWALL, TX 75032

CLEATON JERRY LEE  
306 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA  
306 HARBORVIEW DR  
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI  
307 HARBOR LANDING DR  
ROCKWALL, TX 75032

CROMEENS SHAN  
307 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
308 HARBORVIEW DR  
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE  
308 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
309 HARBORVIEW DR  
ROCKWALL, TX 75032

LARK KENNETH LAWRENCE & MAURITA NICOLE  
309 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
310 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
310 HARBORVIEW DR  
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA  
310 HARBOR LANDING DR  
ROCKWALL, TX 75032

TAYLOR ANTHONY  
311 HARBOR LANDING  
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA  
311 HARBORVIEW DR  
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L  
312 PORTVIEW PL  
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND  
ROSSITZA I POPOVA  
313 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R  
313 HARBORVIEW DR  
HEATH, TX 75032

PENCE DENNIS AND DIANNA  
314 PORTVIEW PL  
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE  
315 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
338 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KEITH BENJAMIN AND  
SHERYL KEITH  
3403 WATERVIEW TRAIL  
ROCKWALL, TX 75087

RESIDENT  
371 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
372 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
373 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
374 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST  
JERRY C NELSON AND MARIBETH NELSON-  
TRUSTEES  
410 COLUMBIA DRIVE  
ROCKWALL, TX 75032

FRONTERA JOSE ANTONIO & CAROLINE  
4241 BUENA VISTA #18  
DALLAS, TX 75205

MCHALE JOHN D JR  
457 LAURENCE DRIVE SUTIE 168  
HEATH, TX 75032

SCHARF ALLEN J  
501 VILLAGE DR APT 307  
KING OF PRUSSA, PA 19406

SCHARF ALLEN J  
501 VILLAGE DR APT 307  
KING OF PRUSSA, PA 19406

M & H PROPERTIES INC  
5575 CANADA CT  
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN  
5575 CANADA CT  
ROCKWALL, TX 75032

BRENDA BEJARANO REVOCABLE TRUST  
BRENDA BEJARANO- TRUSTEE  
6105 VOLUNTEER PLACE  
ROCKWALL, TX 75032

BRYNE PATRICK AND LAURA KRUSE  
6107 VOLUNTEER PLACE  
ROCKWALL, TX 75032

P&P PAINTING REPAIRS AND REMODELING  
6109 PLANTATION LN  
FLOWER MOUND, TX 75022

P&P PAINTING REPAIRS AND REMODELING  
6109 PLANTATION LN  
FLOWER MOUND, TX 75022

MARSH ELIZABETH AND JACK  
6109 VOLUNTEER PL  
ROCKWALL, TX 75032

BROWN BRYAN K  
6111 VOLUNTEER PL  
ROCKWALL, TX 75032

MAZUR MELISSA  
6112 VOLUNTEER PL  
ROCKWALL, TX 75032

BLASSINGAME KENNETH E ETUX  
6227 HIGHGATE LN  
DALLAS, TX 75214

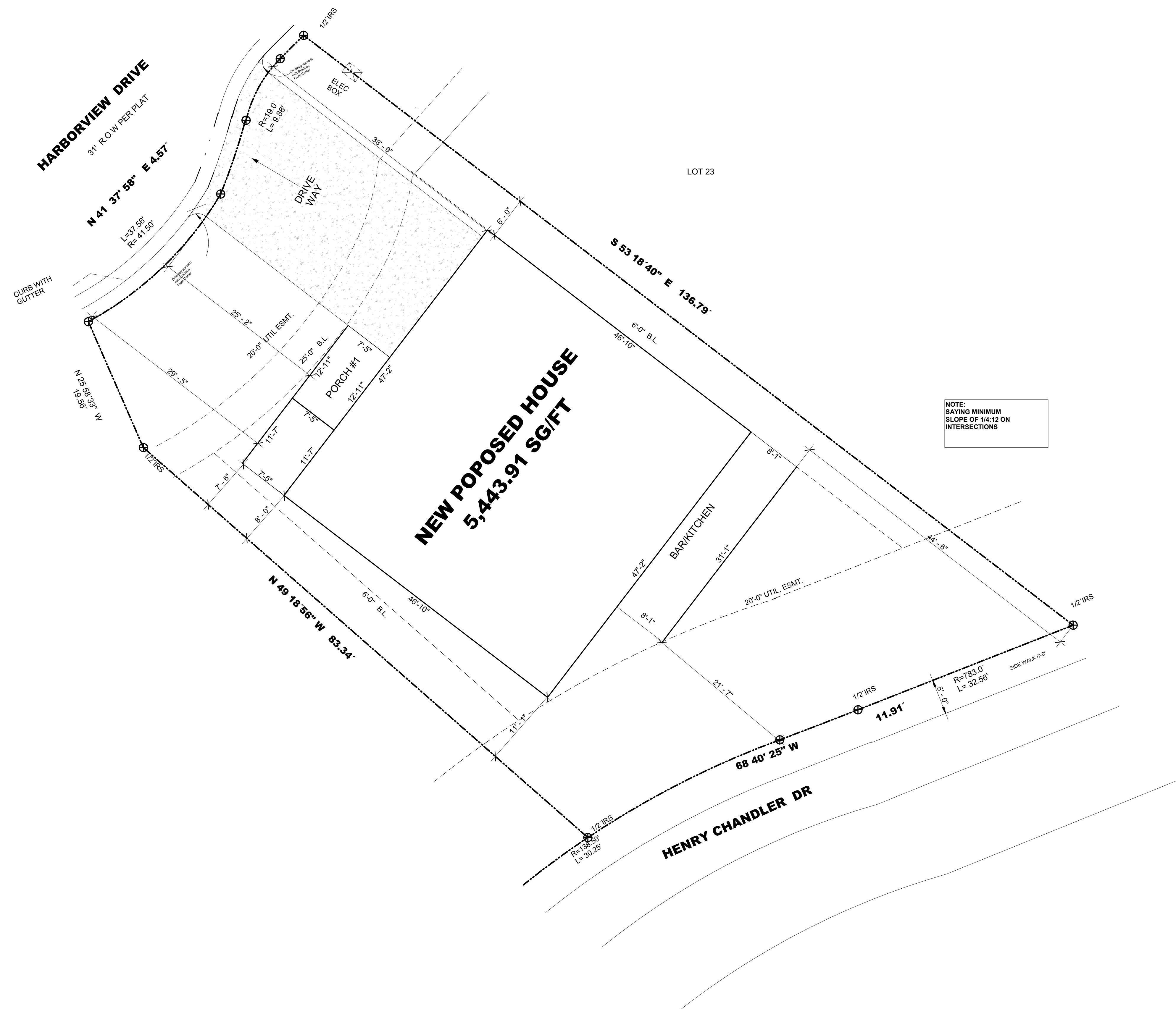
JOHNSON FAMILY TRUST  
628 SHADOW WOOD LN  
HEATH, TX 75032

RESIDENT  
7 GREENBELT  
ROCKWALL, TX 75032

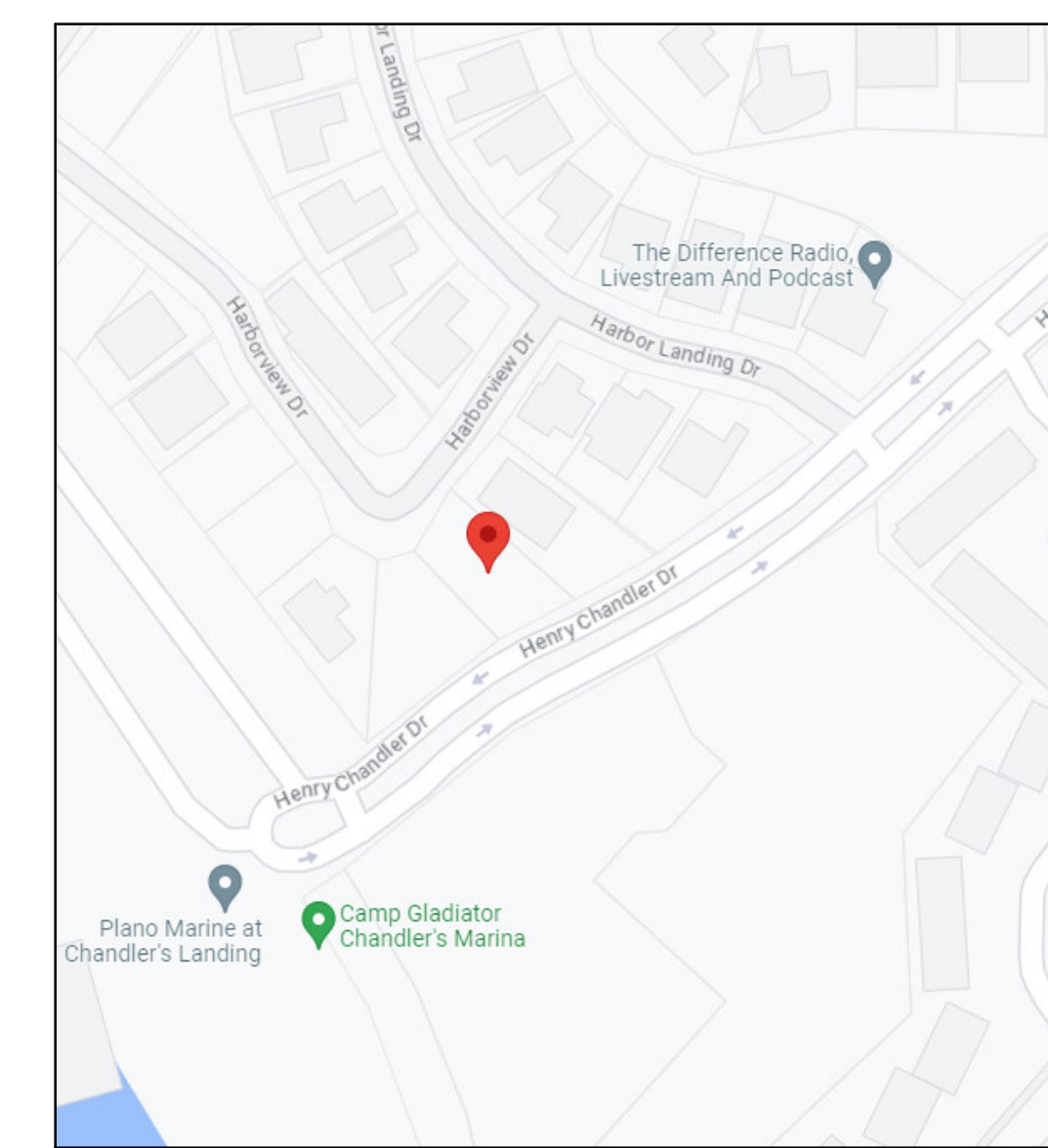
ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

KLINE LINDA ANN MULLANE  
8090 FRANKFORD RD APT 119  
DALLAS, TX 75252

ARA MANAGEMENT LLC  
9906 LINCOLNSHIRE LN  
ROCKWALL, TX 75087



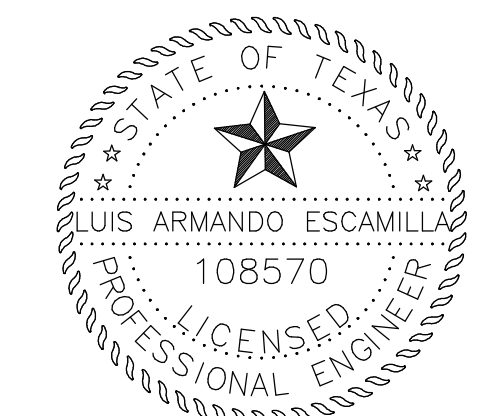
NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS



VICINITY MAP

**295 HARBORVIEW DR,  
ROCKWALL, TX 75032**

Proposed First Floor Plan	1,740 SG/FT
Proposed Second Floor Plan	1,640 SG/FT
Proposed Third Floor Plan	468 SG/FT
<b>Total New Construction</b>	<b>3,848 SG/FT</b>
Proposed Garage	564 SG/FT
Proposed Porch #1	96 SG/FT
Proposed Bar/ Kitchen	251.91 SG/FT
Proposed Balcony #1	120 SG/FT
Proposed Balcony #2	108 SG/FT
Proposed Porch #2	48 SG/FT
Proposed Terrace	408 SG/FT
<b>Total New Construction</b>	<b>5,443.91 SG/FT</b>
Lot	22
Country	Rockwall
City	Rockwall
Lot Area	<b>0.14 Acres</b>
Max Lot Coverage	35%
Lot Coverage	65%



10/07/2023  
FIRM# 18123

*L. Escamilla*



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

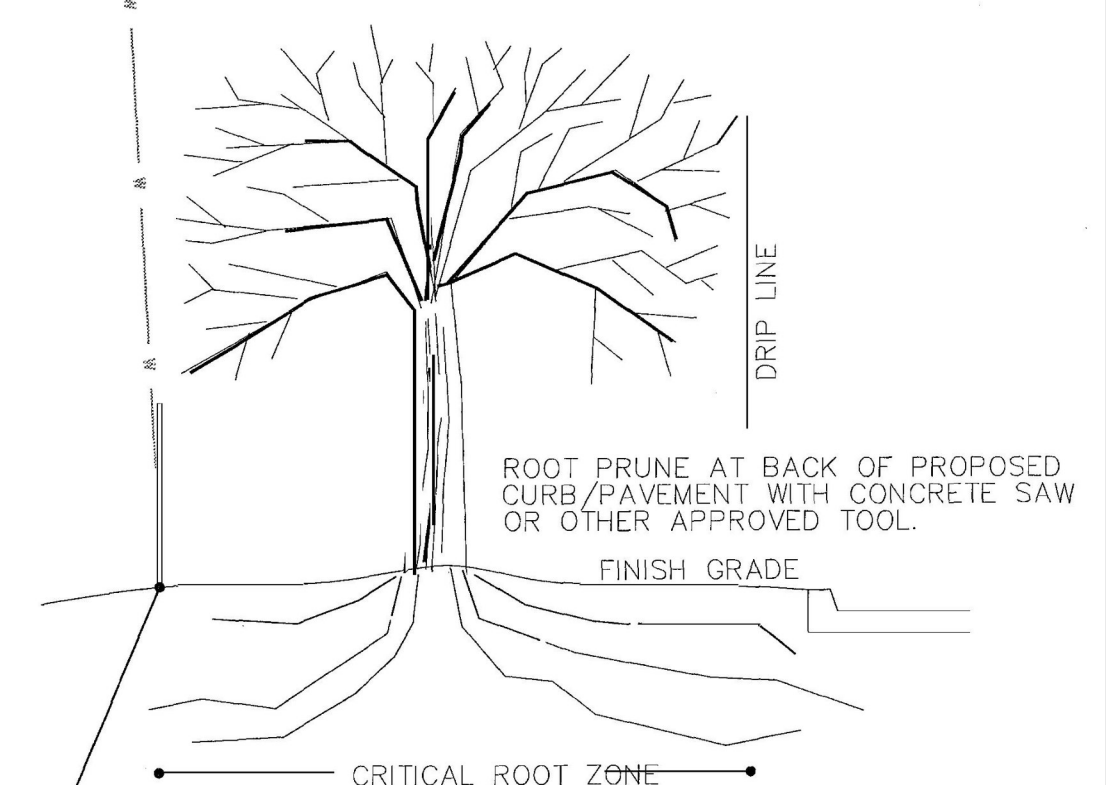
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

**SITE PLAN**

Date: 9/29/2023      Scale: 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque

# DETAIL

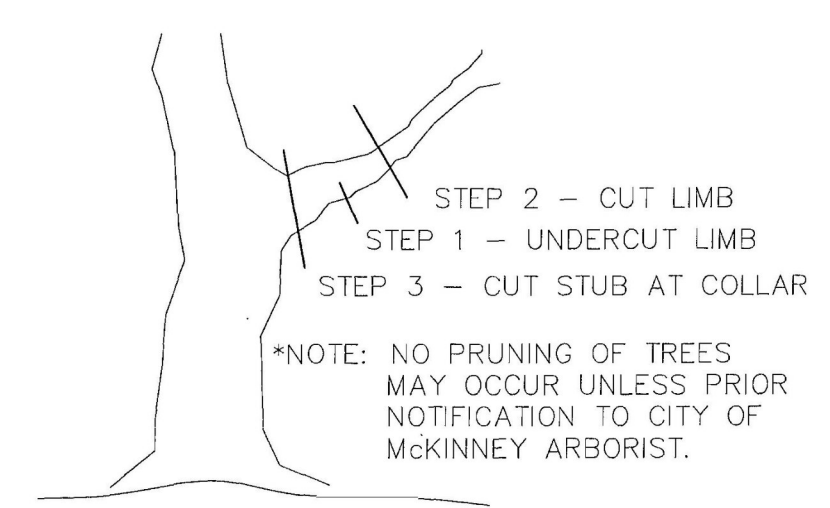


INSTALL 6 FT ORANGE VINYL PROTECTIVE FENCE AT DRIP LINE - ALL PROTECTED TREES.  
DO NOT PARK OR DRIVE VEHICLES OR CONSTRUCTION EQUIPMENT BENEATH DRIP LINE.

DO NOT MODIFY GRADE BENEATH DRIP LINE UNLESS APPROVED BY CITY ARBORIST.  
DO NOT WASH OUT CONCRETE TRUCKS OR STORE ANY CONSTRUCTION MATERIALS BENEATH DRIP LINE.

## TREE PROTECTION FENCING/PRUNING

SCALE: NONE



## TREE PRUNING

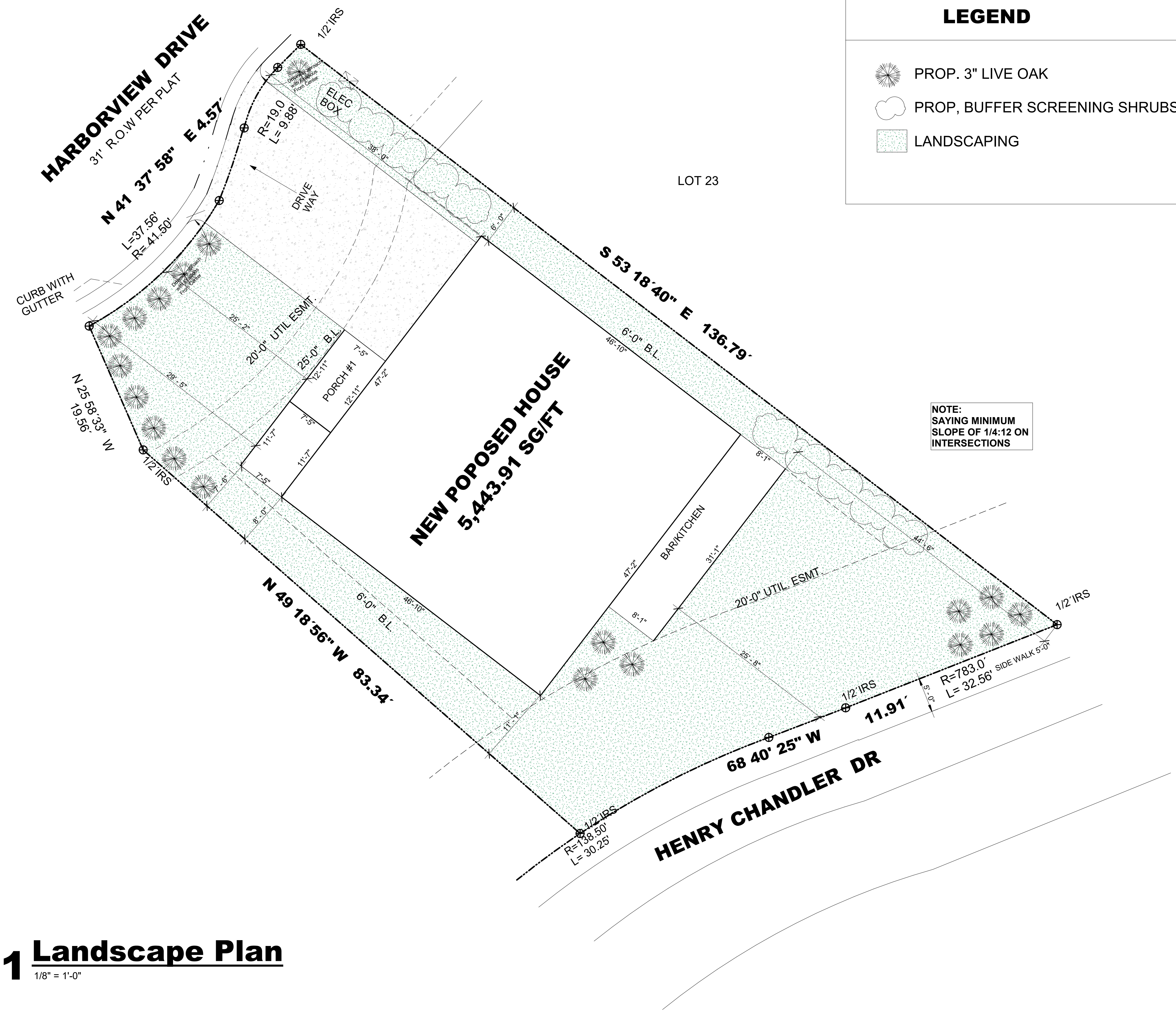
SCALE: NONE

# 1 Landscape Plan

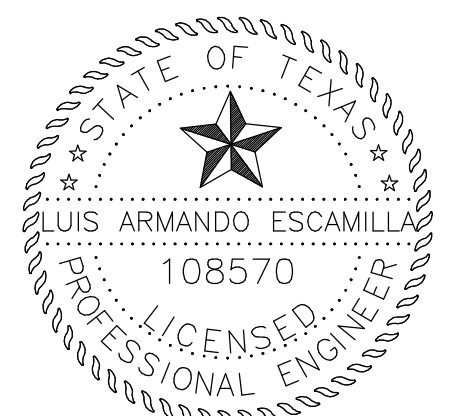
1/8" = 1'-0"

### LEGEND

- PROP. 3" LIVE OAK
- PROP. BUFFER SCREENING SHRUBS
- LANDSCAPING



NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS



10/07/2023  
FIRM# 18123

*L. Escamilla*



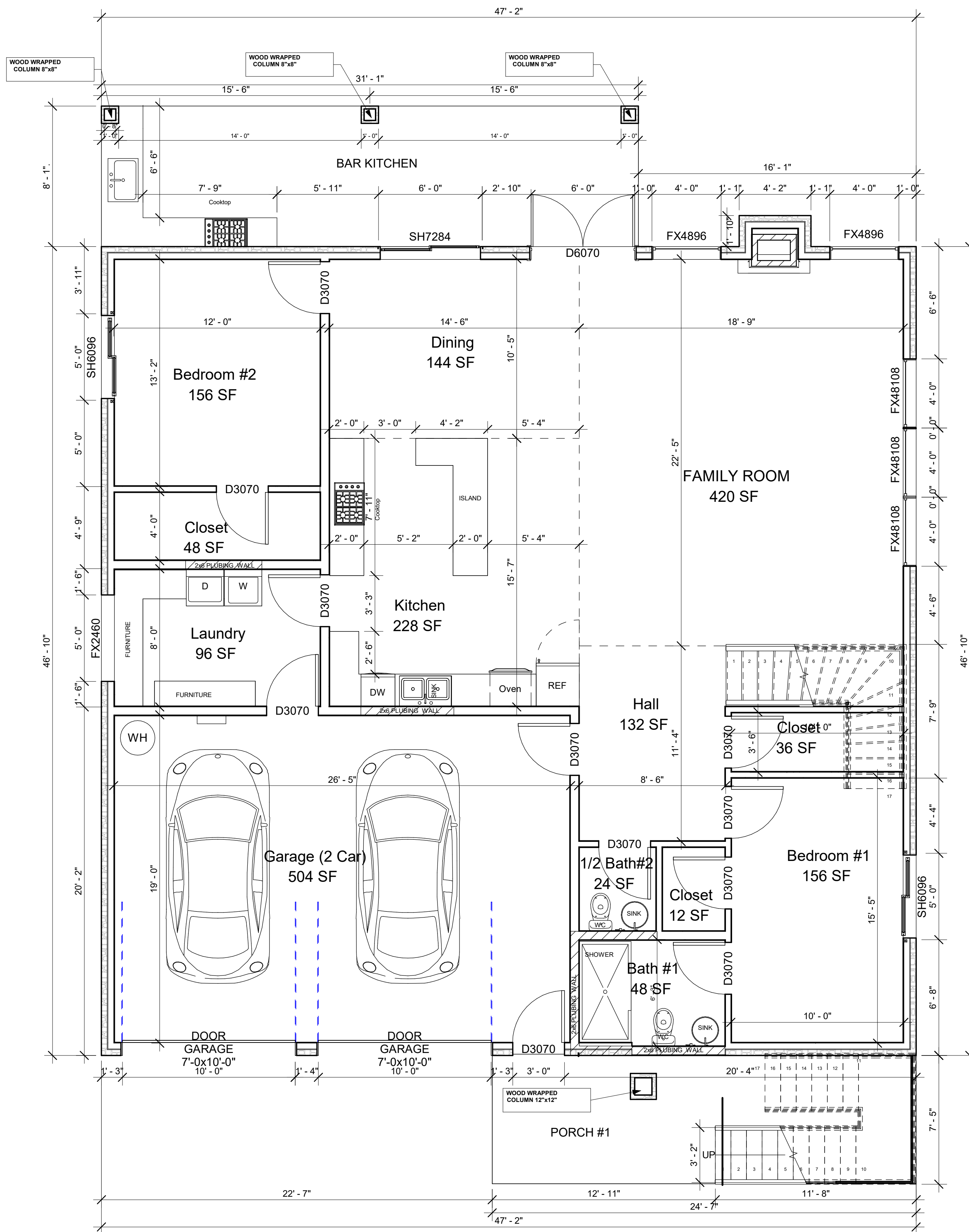
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**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

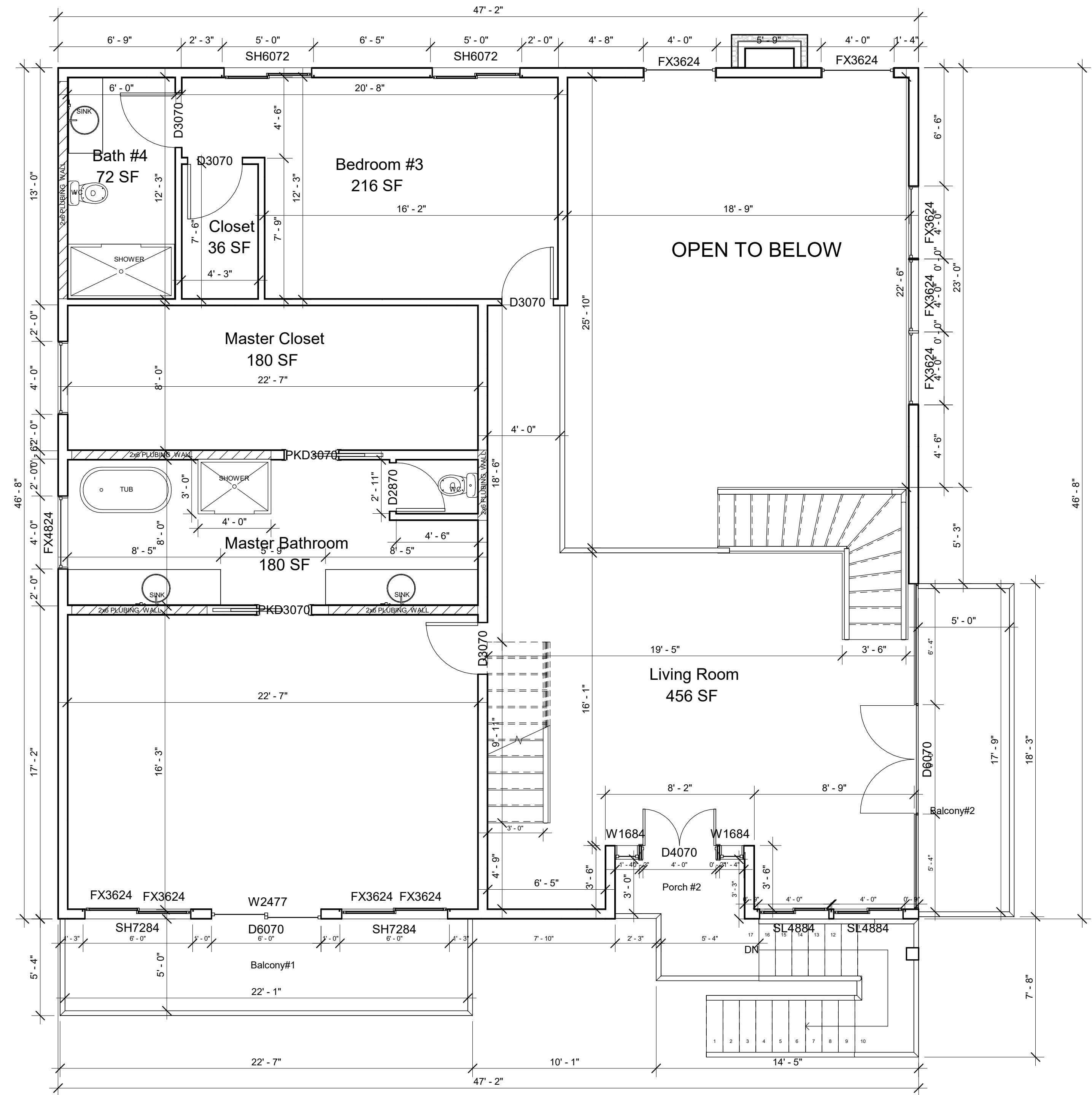
# LANDSCAPE PLAN

Date: 9/29/2023 Scale: 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



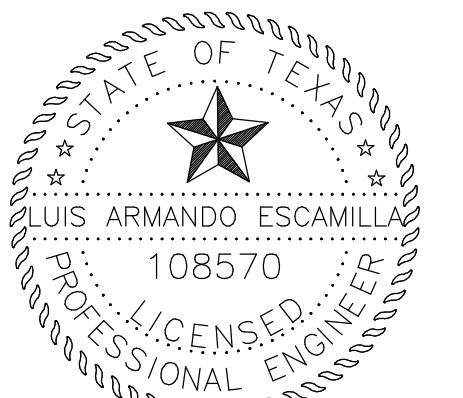
**1 First Floor Plan**

1/4" = 1'-0"



**2 Second Floor Plan**

1/4" = 1'-0"



10/07/2023  
FIRM# 18123

*L. Escamilla*



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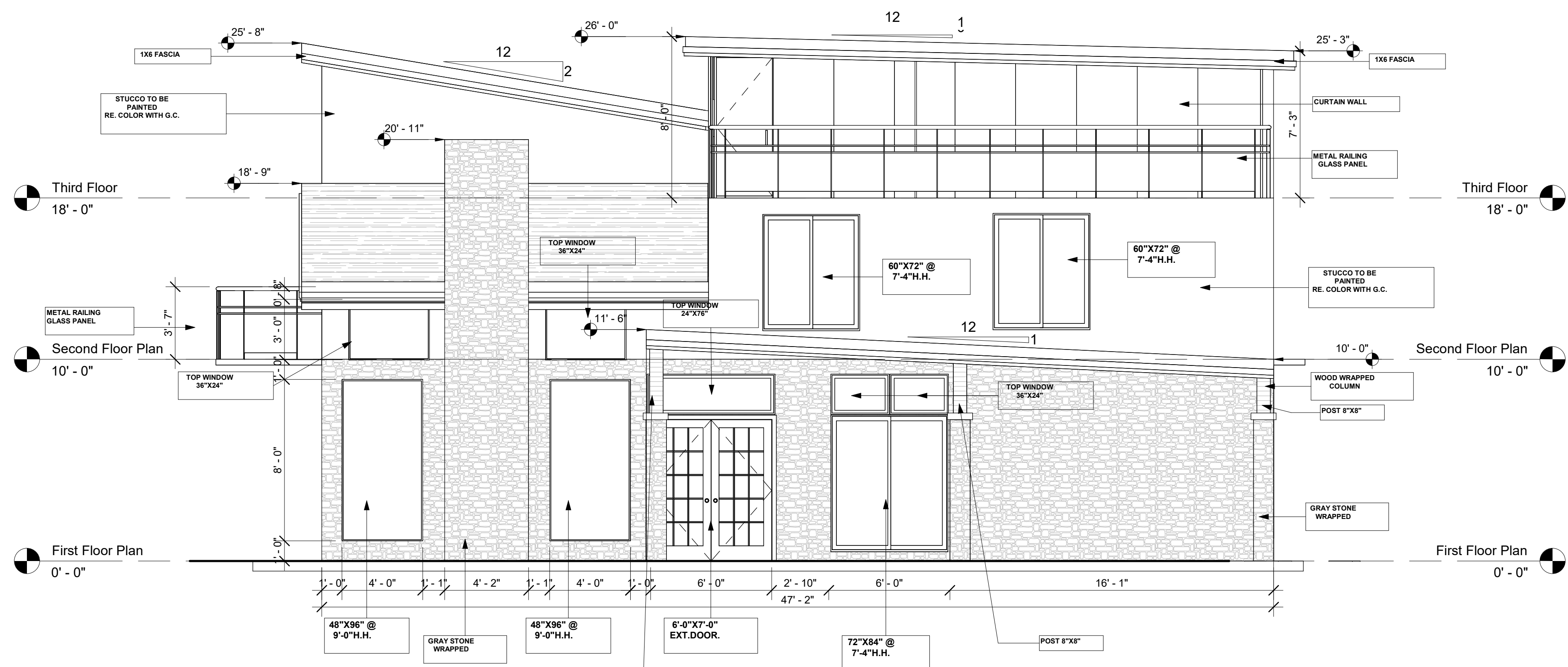
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**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

**FLOOR PLAN**

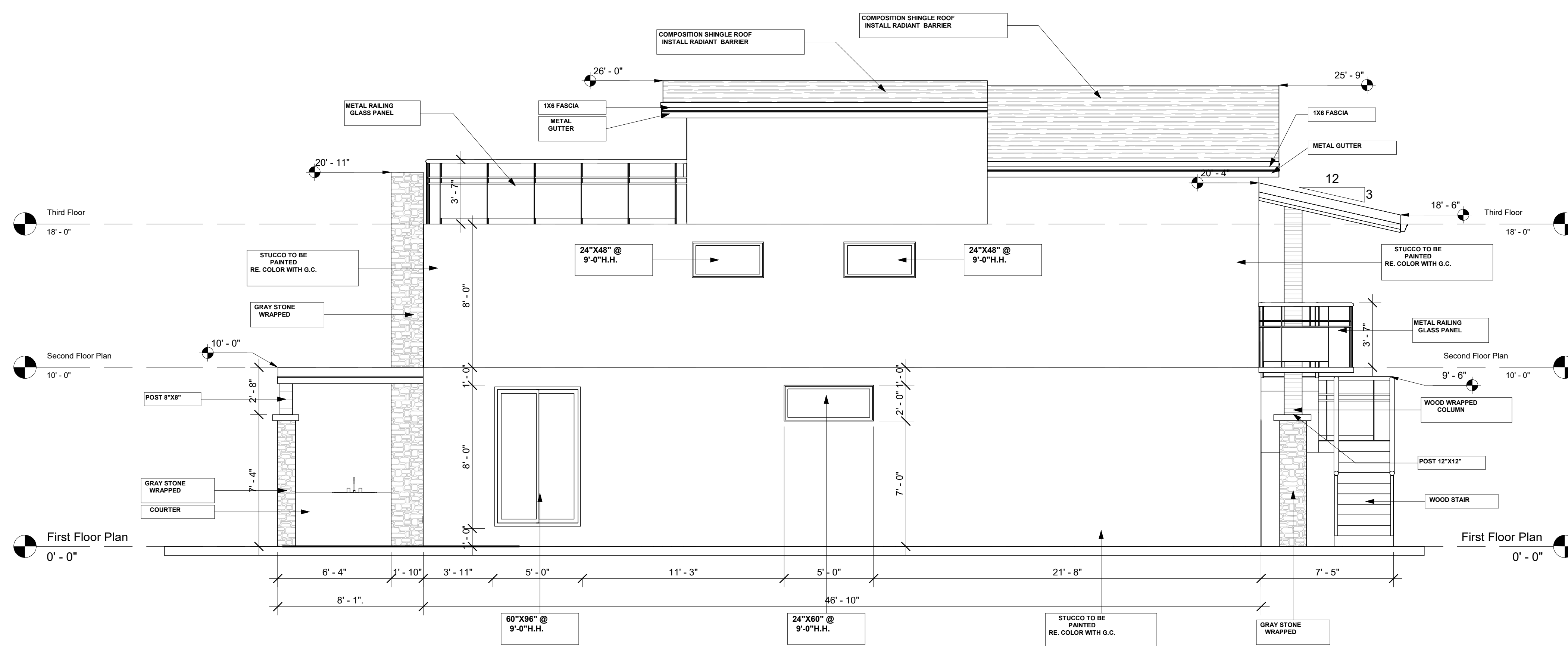
Date: 9/29/2023 Scale: 1/4" = 1'-0"

Drawn by: Projects & Construction Araque



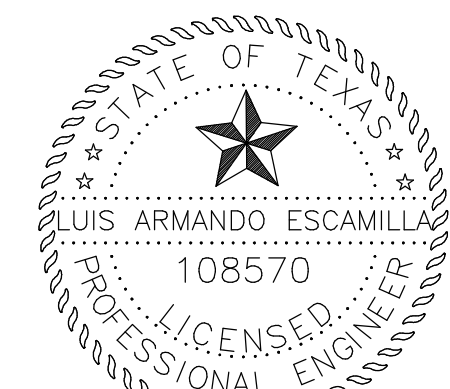
**1 REAR ELEVATION**

1/4" = 1'-0"



**2 LEFT ELEVATION**

1/4" = 1'-0"



10/07/2023  
FIRM# 18123

*L. Escamilla*



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**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

**ELEVATIONS**

Date: 9/29/2023 Scale: 1/4" = 1'-0"  
Drawn by: Projects & Construction Araque





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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_FRONT**

Date: 9/29/2023 Scale  
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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_RIGHT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.1



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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_REAR**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.2



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_LEFT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.3



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.4

**Z2023-056: Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 295 Harborview Drive**

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive.
- I.2 For questions or comments concerning this case, please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aquevara@rockwall.com](mailto:aquevara@rockwall.com).
- M.3 For reference, include the case number (Z2023-056) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), an *Established Subdivision* is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located adjacent to the Harbor Landing Phase 1 Subdivision, which is 100% developed, consists of 38 residential lots, and has been in existence since December 22, 1986.
- I.5 Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that “(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the *Established Subdivision* ... {and} all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the *Established Subdivision*.”
- I.7 The minimum roof pitch for a residential structure is 3:12. In this case you are requesting roof pitches of 1:12 and 2:12. This will require a waiver to this requirement. That being said, there are other homes nearby that have a similar roof plan; however, this is a discretionary decision for the Planning and Zoning Commission.
- M.8 According to Planned Development 8 (PD-8), the maximum height of the home shall be 26-feet or 30-feet depending on the pad elevation; the maximum rooftop elevation shall be 484-feet; and the maximum pad elevation shall be 458-feet. See court order requirements for Block B, Lot 22, Harborview Landing Phase 2 below.

LOT NO.	MAXIMUM ROOFTOP ELEVATION PER COURT ORDER	MAXIMUM PAD ELEVATION PER COURT ORDER	AS-BUILT PAD ELEVATION	MAXIMUM HEIGHT PER COURT ORDER	ADJUSTED MAXIMUM HEIGHT
4	488.00	466.00		22.00'	
5	488.00	459.00		29.00'	
6	471.00	448.00	450.00	23.00'	21.00'
7	471.00	448.00		23.00'	
8	471.00	448.00		23.00'	
9	469.00	447.00		22.00'	
10	469.00	447.00		22.00'	
11	478.50	452.00		26.50'	
12	489.00	451.00		29.00'	
13	474.50	451.50		23.00'	
14	469.00	446.00		23.00'	
15	469.00	446.00		23.00'	
16	468.00	445.00	446.00	23.00'	22.00'
17	468.00	445.00	447.00	23.00'	21.00'
18	468.00	445.00	448.00	23.00'	20.00'
19	477.00	449.00		28.00'	
20	480.00	450.00		30.00'	
21	477.00	450.00		27.00'	
22	484.00	458.00	454.00	26.00'	30.00'
23	490.00	460.00		30.00'	

- M.9 According to Subsection 04.01(B), *Lots Less Than Five Acres*, of Article 06, *Parking and Loading*, garages located in single family districts must be located 20-feet behind the front façade of the building. In this case the proposed garage is located 7-feet 5-inches behind the front façade of the single-family home. This will require a waiver to the requirements of the Unified Development Code (UDC).
- M.10 Please review the attached *Draft Ordinance* prior to the December 27, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than January 3, 2024.
- I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 3, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 16, 2024 Planning and Zoning Commission Public Hearing Meeting.
- I.12 The projected City Council meeting dates for this case will be January 16, 2024 (1st Reading) and February 5, 2024 (2nd Reading).

**Engineering Department:**

- Retaining walls 3' and over must be engineered. No walls or structures in easements
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Finished floor must be a minimum of 1.5' above the gutter line of Harborview Drive.
- Plot plan including grading showing swales and drainage pattern required with Building Permit.
- 15' utility easement.

**Parks Department:**

- 4" trees required by ordinance.

**Building Inspections:**

- Separate Building Permit submittal required if SUP is approved



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p><b>PLATTING APPLICATION FEES:</b></p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p><b>SITE PLAN APPLICATION FEES:</b></p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p><b>ZONING APPLICATION FEES:</b></p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input checked="" type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 &amp; 2</sup> <b>\$215</b></p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><b>OTHER APPLICATION FEES:</b></p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup></p> <p><b>NOTES:</b></p> <p><sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p><sup>2</sup>: A <b>\$1,000.00</b> FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **295 Harborview DR. Rockwall TX 75032**

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____	CURRENT USE _____
PROPOSED ZONING _____	PROPOSED USE _____
ACREAGE _____	LOTS [CURRENT] _____
	LOTS [PROPOSED] _____

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER <b>KISANET GHEBRETSADIK</b>	<input checked="" type="checkbox"/> APPLICANT <b>Paul Arce</b>
CONTACT PERSON _____	CONTACT PERSON _____
ADDRESS <b>297 BLACKHAW DR</b>	ADDRESS <b>5807 Ranger Dr</b>
CITY, STATE & ZIP <b>FATE, TX 75087</b>	CITY, STATE & ZIP <b>Rockwall TX 75032</b>
PHONE <b>206-351-9741</b>	PHONE <b>(972) 365-6823</b>
E-MAIL <b>KISANETGHEBRETSADIK@gmail.com</b>	E-MAIL <b>paularce tx@yahoo.com</b>

## NOTARY VERIFICATION [REQUIRED]

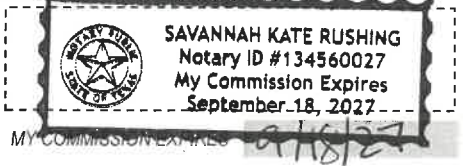
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TRAVELDE ABREHAM [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 10.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF DECEMBER, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF 12 2023

OWNER'S SIGNATURE Kisanet

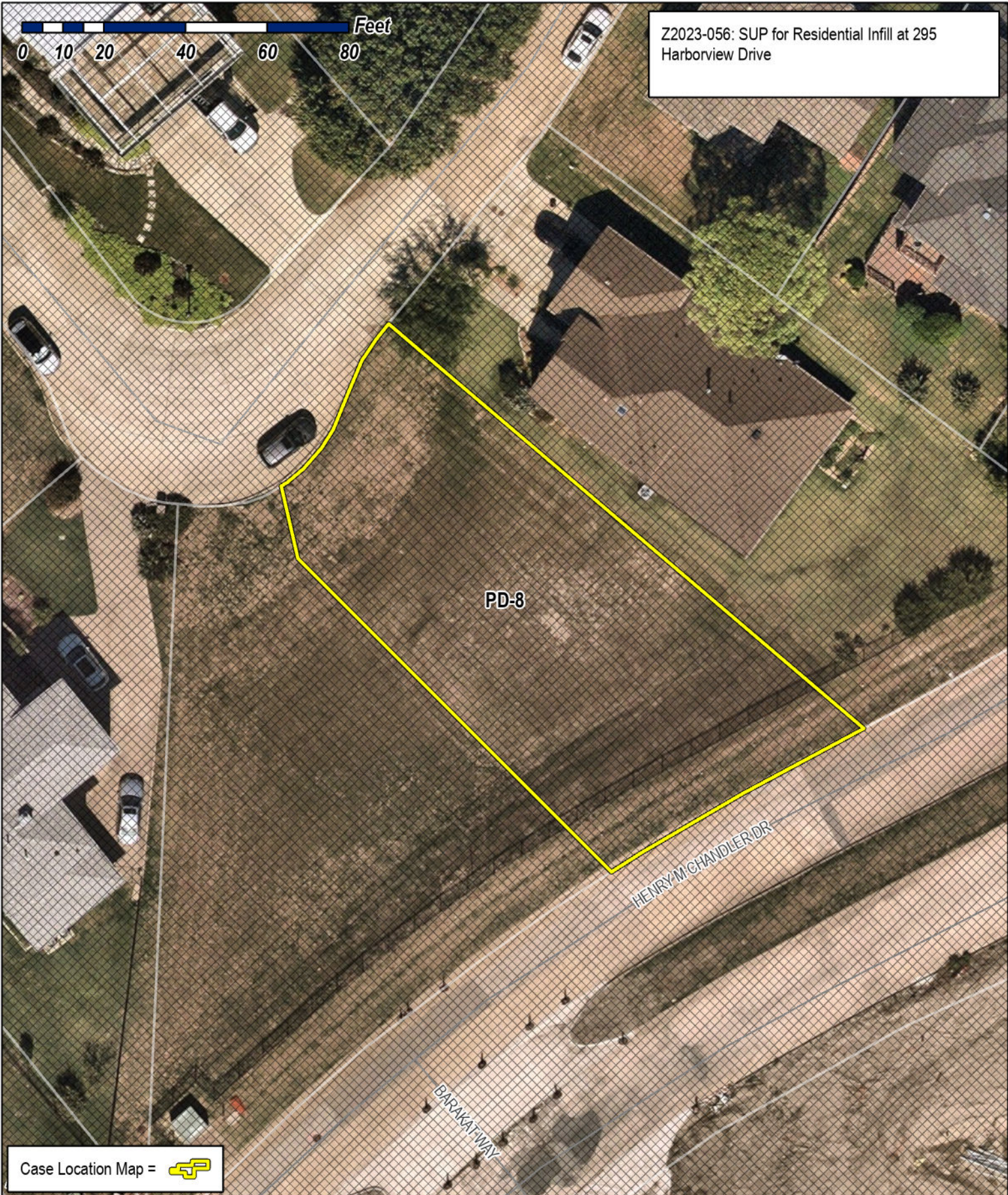
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS SK








Z2023-056: SUP for Residential Infill at 295 Harborview Drive



PD-8

HENRY M. CHANDLER DR

BARAKAT WAY

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

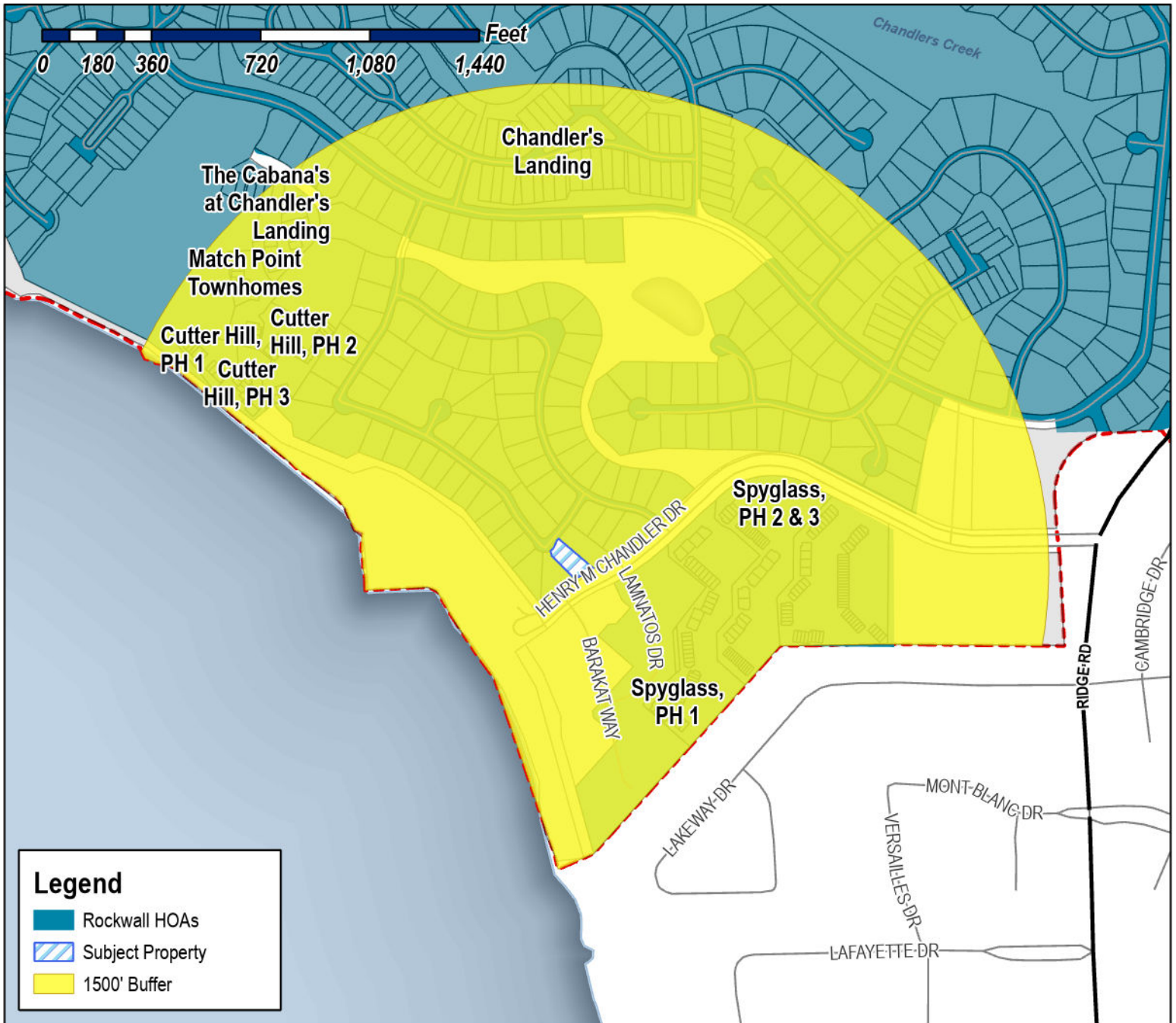




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2023-056  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 295 Harborview Drive

**Date Saved:** 12/15/2023  
 For Questions on this Case Call (972) 771-7745



## Lee, Henry

---

**From:** Zavala, Melanie  
**Sent:** Tuesday, December 19, 2023 10:14 AM  
**Cc:** Miller, Ryan; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-056]  
**Attachments:** Public Notice (P&Z).pdf; HOA Map (12.15.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday December 22, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 9, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 16, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-056: SUP for Residential Infill**

*Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.*

Thank you,

***Melanie Zavala***

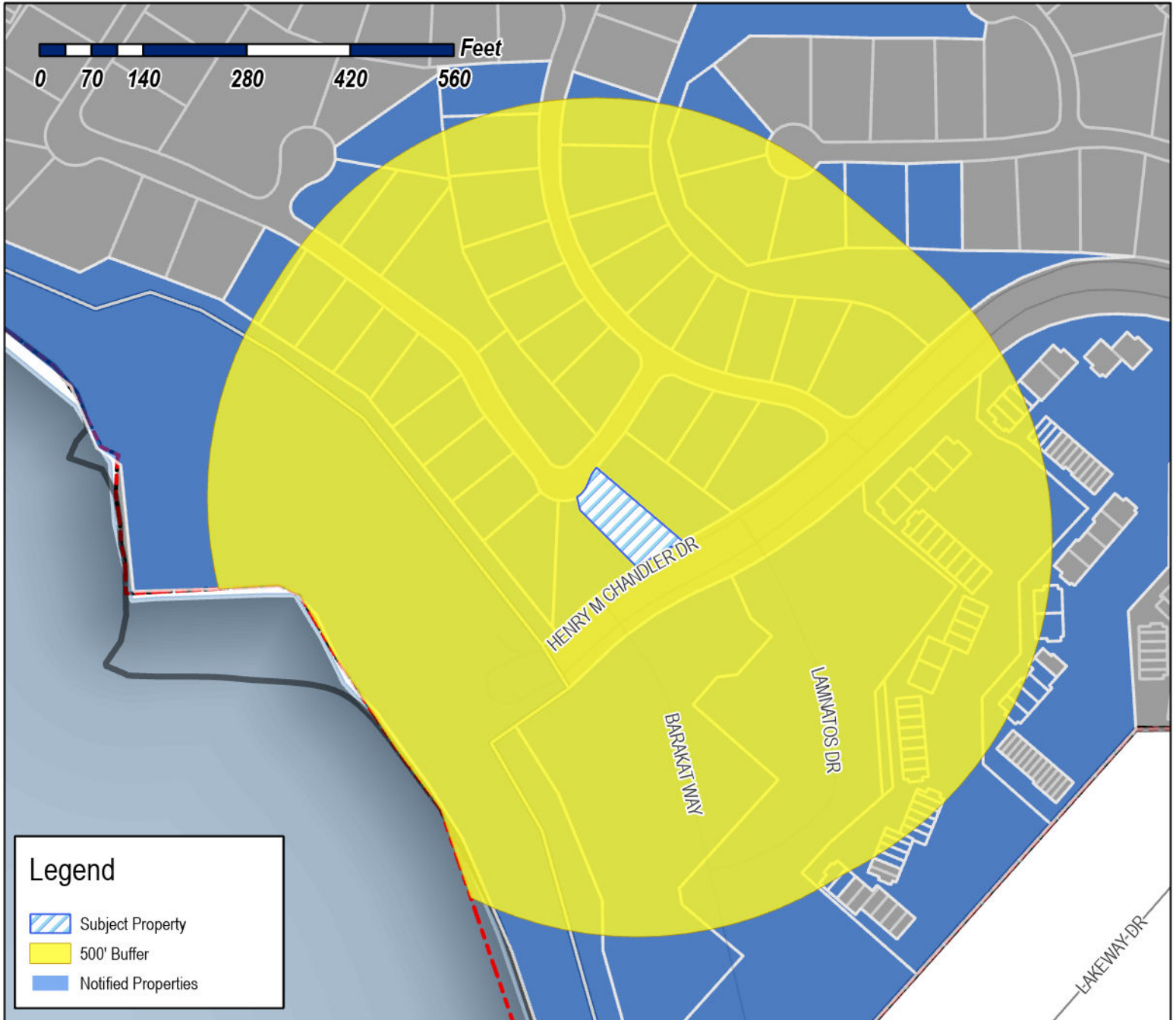
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2023-056  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 295 Harborview Drive

**Date Saved:** 12/15/2023

For Questions on this Case Call: (972) 771-7746



CHANDLERS LANDING COMMUNITY ASSOC  
1 COMMODORE PLAZA  
ROCKWALL, TX 75032

SESSUMS BILLY A  
10 CLARKSVILLE ST  
PARIS, TX 75460

NGUYEN ANGELINA  
1025 LAKE RIDGE DR  
RICHARDSON, TX 75081

L T L FAMILY HOLDINGS LLC  
106 SAWGRASS DR  
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC  
106 SAWGRASS DR  
ROCKWALL, TX 75032

STRANN MICHAEL RAY  
112 OLD GLORY LN  
FORNEY, TX 75126

SRP SUB, LLC  
1131 W WARNER RD STE 102  
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD  
115 DEFENDER C  
ROCKWALL, TX 75032

SANCHEZ RAMSES S  
120 APPIAN WAY  
DALLAS, TX 75216

RESIDENT  
132 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
136 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LEDE' HOWARD G AND ANNETTE M  
1360 GOLD COAST DRIVE  
ROCKWALL, TX 75087

RESIDENT  
137 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
138 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
146 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
147 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MACLEOD LYNN  
149 HENRY CHANDLER DR  
ROCKWALL, TX 75032

PARNES ALEXANDRA  
15 KESTREL CT  
ROCKWALL, TX 75032

RESIDENT  
150 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
155 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
155 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
156 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
157 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
158 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
159 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
160 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
161 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

COUGHLIN DIANE AND BRIAN FOULKS  
162 HENRY M CHANDLER DRIVE UNIT 162  
ROCKWALL, TX 75032

RESIDENT  
163 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
164 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LB QUALITY HOMES LLC  
1651 N COLLINS BLVD STE 260  
RICHARDSON, TX 75080

RESIDENT  
166 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KUPERMAN IGOR  
166 HENRY M CHANDLER  
ROCKWALL, TX 75032

RESIDENT  
167 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

BURNETT JAMES AND ELIZABETH  
168 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
169 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
170 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
171 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
172 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
173 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC  
17330 PRESTON ROAD SUITE 220A  
DALLAS, TX 75252

RESIDENT  
175 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MCKNIGHT MARY D  
201 HARBOR LANDING DR  
ROCKWALL, TX 75032

WILSON SEAN  
202 HARBOR LANDING DR  
ROCKWALL, TX 75032

PETERSON LELAND D & JANET  
203 HARBOR LANDING DR  
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND  
CARLOS AUGUSTO MOSQUERA  
204 HARBOR LANDING  
ROCKWALL, TX 75032

RESIDENT  
205 HARBOR LANDING DR  
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST  
MICHAEL D KNABLE TRUSTEE  
205 BENTON DRIVE APT 1202  
ALLEN, TX 75013

D'AMBROSIA DEAN AND MUSTAFA OMAR  
206 HARBOR LANDING DR  
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN  
208 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

ROMER ENTERPRISES, LLC  
2101 BRISBON STREET  
FATE, TX 75189

HUYNH ANN LE  
2206 STONE HOLLOW DRIVE  
ROWLETT, TX 75088

RESIDENT  
236 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
237 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
238 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
249 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
250 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KIM SEOK H  
2516 WOODHAVEN DR  
FLOWER MOUND, TX 75028

POWELL ALEAH D  
259 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
260 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

NANCE LAYLA SHALON  
261 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

CARNEY DON  
262 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
263 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
264 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
267 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
268 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

FERRIS BETH ANN  
269 HENRY M CHANDLER DRIVE UNIT 269  
ROCKWALL, TX 75032

RESIDENT  
270 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LEMONS BRADLEY & SHARON  
2706 WHISPERING OAKS  
ROCKWALL, TX 75087

RESIDENT  
271 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
272 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
273 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MASON JANIS E  
275 HENRY M CHANDLER DR UNIT 3  
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON  
2807 EASTGROVE LN  
HOUSTON, TX 77027

BALLARD AMANDA L &  
MATTHEW WEST BALLARD  
28106 WHISPERING MAPLE WAY  
SPRING, TX 77386

AMERSON GARY W AND DEBRA J  
293 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
295 HARBORVIEW DR  
ROCKWALL, TX 75032

GHEBRETSADIK KISANET  
295 BLACKHAW DR  
FATE, TX 75087

RESIDENT  
297 HARBORVIEW DR  
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH  
299 HARBORVIEW DRIVE  
ROCKWALL, TX 75032

RESIDENT  
301 HARBORVIEW DR  
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE  
301 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

SERRANO CHRISTIAN  
301 VILLAGE DR APT 307  
KING OF PRUSSIA, PA 19406

GENTLE BILL  
302 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
303 HARBORVIEW DR  
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA  
303 HARBOR LANDING DR  
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C  
304 HARBOR LANDING DR  
ROCKWALL, TX 75032

POTISKA ANDREA  
305 HARBOR LANDING DR  
ROCKWALL, TX 75032

CONFIDENTIAL  
305 HARBORVIEW DR  
ROCKWALL, TX 75032

CLEATON JERRY LEE  
306 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA  
306 HARBORVIEW DR  
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI  
307 HARBOR LANDING DR  
ROCKWALL, TX 75032

CROMEENS SHAN  
307 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
308 HARBORVIEW DR  
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE  
308 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
309 HARBORVIEW DR  
ROCKWALL, TX 75032

LARK KENNETH LAWRENCE & MAURITA NICOLE  
309 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
310 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
310 HARBORVIEW DR  
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA  
310 HARBOR LANDING DR  
ROCKWALL, TX 75032

TAYLOR ANTHONY  
311 HARBOR LANDING  
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA  
311 HARBORVIEW DR  
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L  
312 PORTVIEW PL  
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND  
ROSSITZA I POPOVA  
313 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R  
313 HARBORVIEW DR  
HEATH, TX 75032

PENCE DENNIS AND DIANNA  
314 PORTVIEW PL  
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE  
315 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
338 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KEITH BENJAMIN AND  
SHERYL KEITH  
3403 WATERVIEW TRAIL  
ROCKWALL, TX 75087

RESIDENT  
371 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
372 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
373 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
374 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST  
JERRY C NELSON AND MARIBETH NELSON-  
TRUSTEES  
410 COLUMBIA DRIVE  
ROCKWALL, TX 75032

FRONTERA JOSE ANTONIO & CAROLINE  
4241 BUENA VISTA #18  
DALLAS, TX 75205

MCHALE JOHN D JR  
457 LAURENCE DRIVE SUTIE 168  
HEATH, TX 75032

SCHARF ALLEN J  
501 VILLAGE DR APT 307  
KING OF PRUSSA, PA 19406

SCHARF ALLEN J  
501 VILLAGE DR APT 307  
KING OF PRUSSA, PA 19406

M & H PROPERTIES INC  
5575 CANADA CT  
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN  
5575 CANADA CT  
ROCKWALL, TX 75032



BRENDA BEJARANO REVOCABLE TRUST  
BRENDA BEJARANO- TRUSTEE  
6105 VOLUNTEER PLACE  
ROCKWALL, TX 75032

BRYNE PATRICK AND LAURA KRUSE  
6107 VOLUNTEER PLACE  
ROCKWALL, TX 75032

P&P PAINTING REPAIRS AND REMODELING  
6109 PLANTATION LN  
FLOWER MOUND, TX 75022

P&P PAINTING REPAIRS AND REMODELING  
6109 PLANTATION LN  
FLOWER MOUND, TX 75022

MARSH ELIZABETH AND JACK  
6109 VOLUNTEER PL  
ROCKWALL, TX 75032

BROWN BRYAN K  
6111 VOLUNTEER PL  
ROCKWALL, TX 75032

MAZUR MELISSA  
6112 VOLUNTEER PL  
ROCKWALL, TX 75032

BLASSINGAME KENNETH E ETUX  
6227 HIGHGATE LN  
DALLAS, TX 75214

JOHNSON FAMILY TRUST  
628 SHADOW WOOD LN  
HEATH, TX 75032

RESIDENT  
7 GREENBELT  
ROCKWALL, TX 75032

ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

KLINE LINDA ANN MULLANE  
8090 FRANKFORD RD APT 119  
DALLAS, TX 75252

ARA MANAGEMENT LLC  
9906 LINCOLNSHIRE LN  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-056: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-056: SUP for Residential Infill**

Please place a check mark on the appropriate line below:

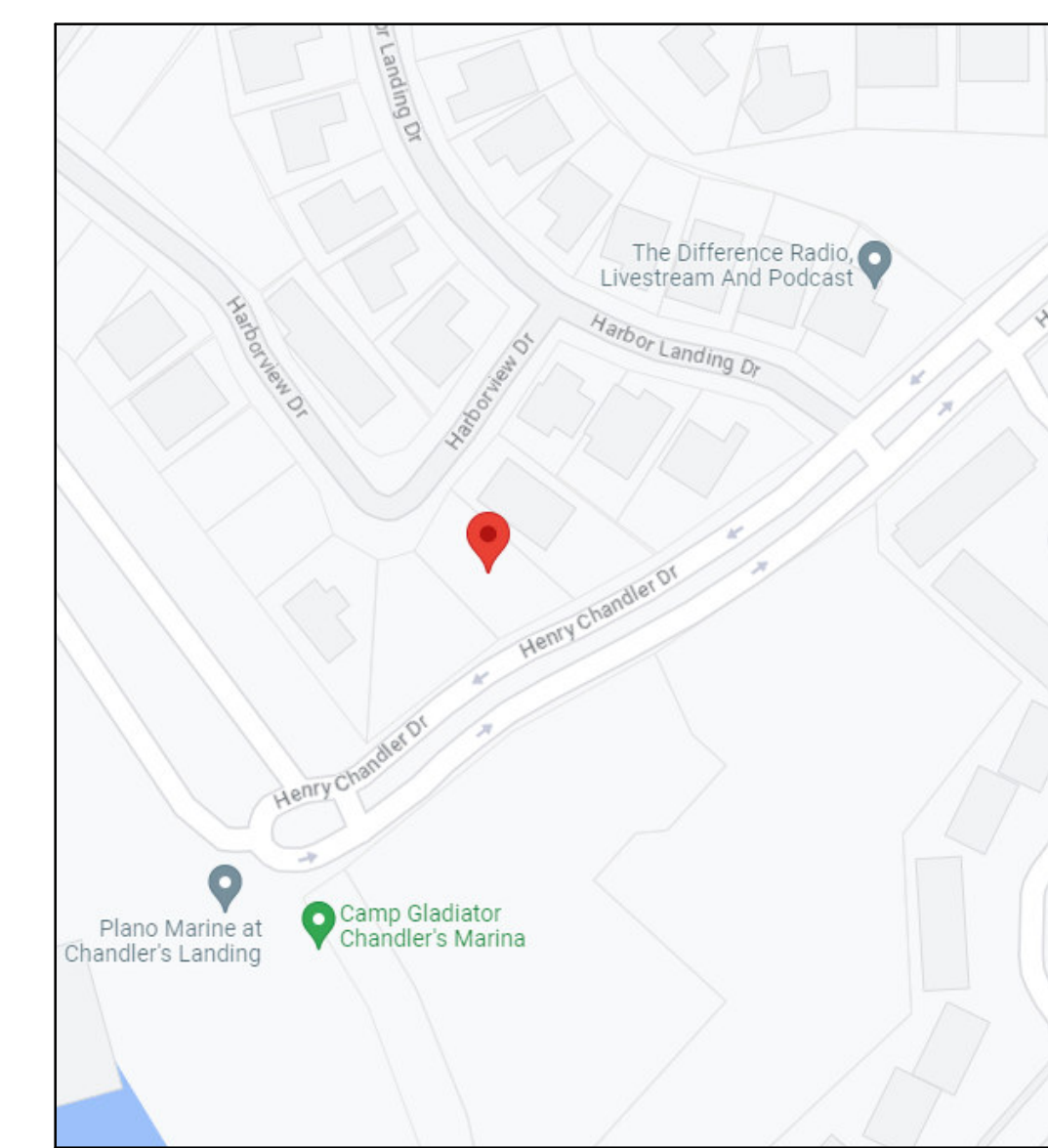
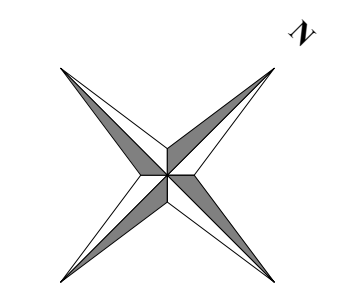
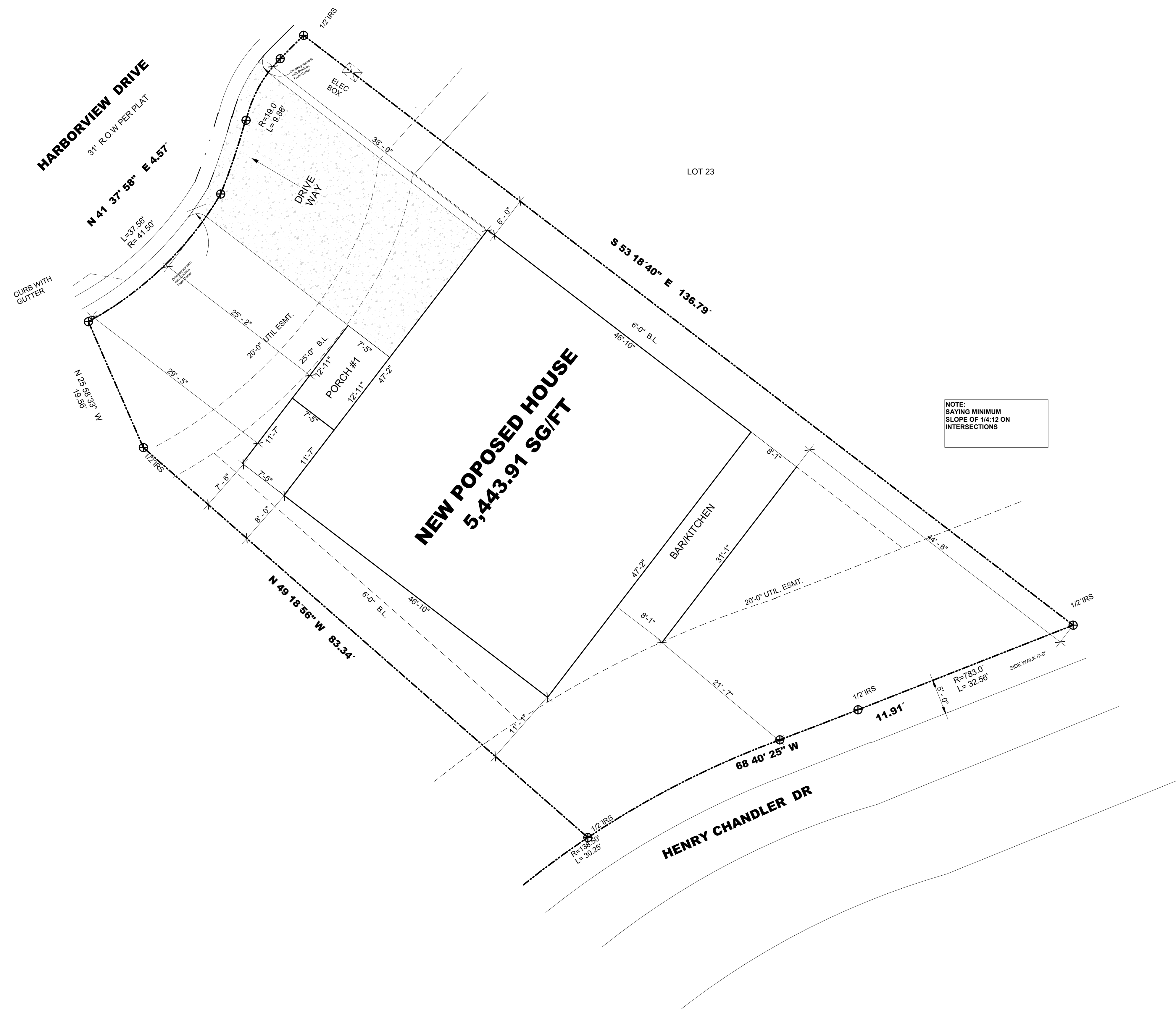
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for providing reasons for support or opposition]

Name: [Grey bar]  
Address: [Grey bar]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

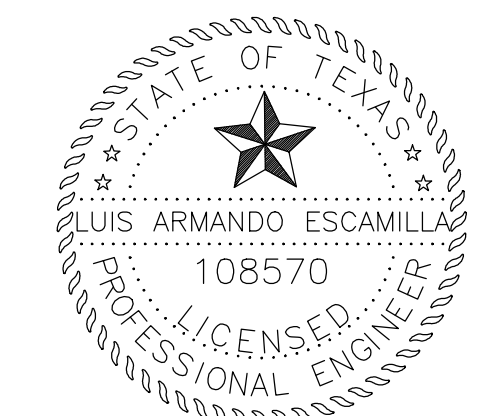
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP

**295 HARBORVIEW DR,  
ROCKWALL, TX 75032**

Proposed First Floor Plan	1,740 SG/FT
Proposed Second Floor Plan	1,640 SG/FT
Proposed Third Floor Plan	468 SG/FT
<b>Total New Construction</b>	<b>3,848 SG/FT</b>
Proposed Garage	564 SG/FT
Proposed Porch #1	96 SG/FT
Proposed Bar/ Kitchen	251.91 SG/FT
Proposed Balcony #1	120 SG/FT
Proposed Balcony #2	108 SG/FT
Proposed Porch #2	48 SG/FT
Proposed Terrace	408 SG/FT
<b>Total New Construction</b>	<b>5,443.91 SG/FT</b>
Lot	22
Country	Rockwall
City	Rockwall
Lot Area	<b>0.14 Acres</b>
Max Lot Coverage	35%
Lot Coverage	65%



10/07/2023  
FIRM# 18123

*L. Escamilla*



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

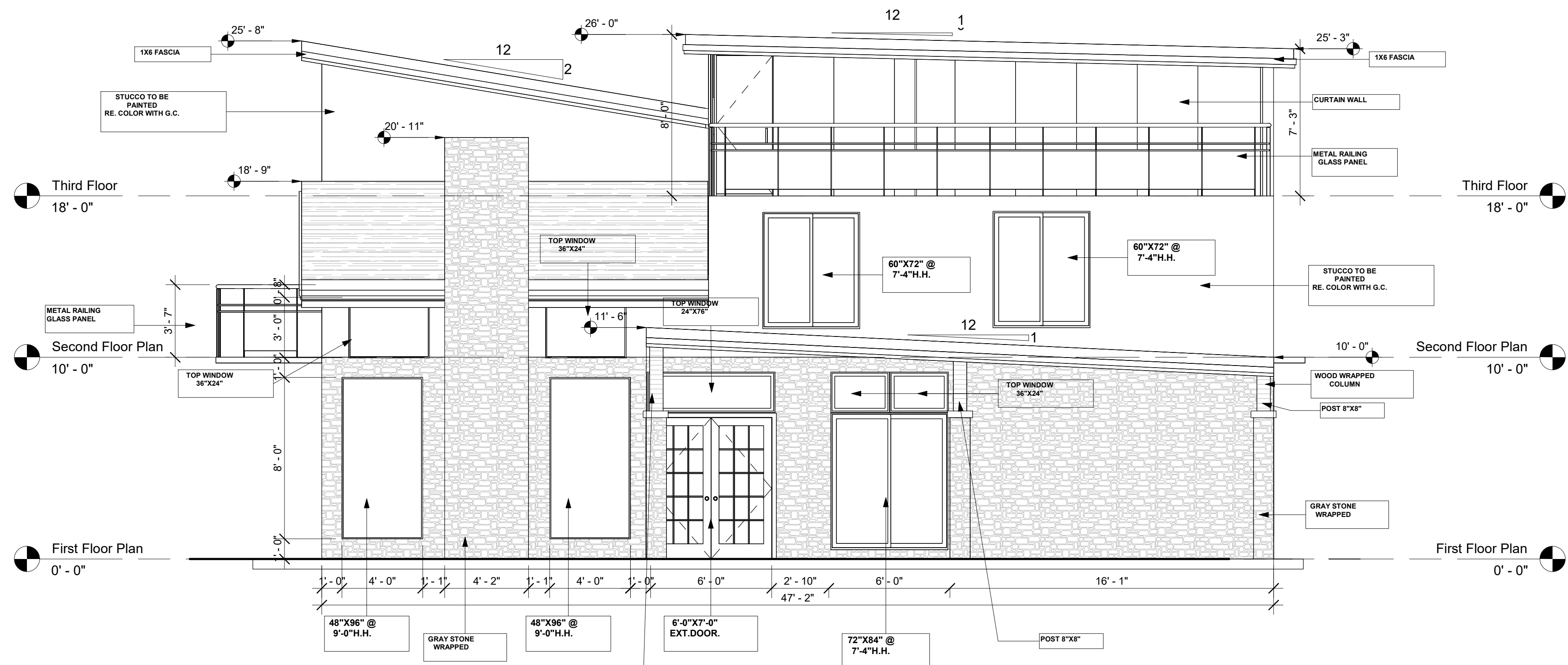
**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032

**Legal Description**  
LOT 22, BLOCK B

**SITE PLAN**

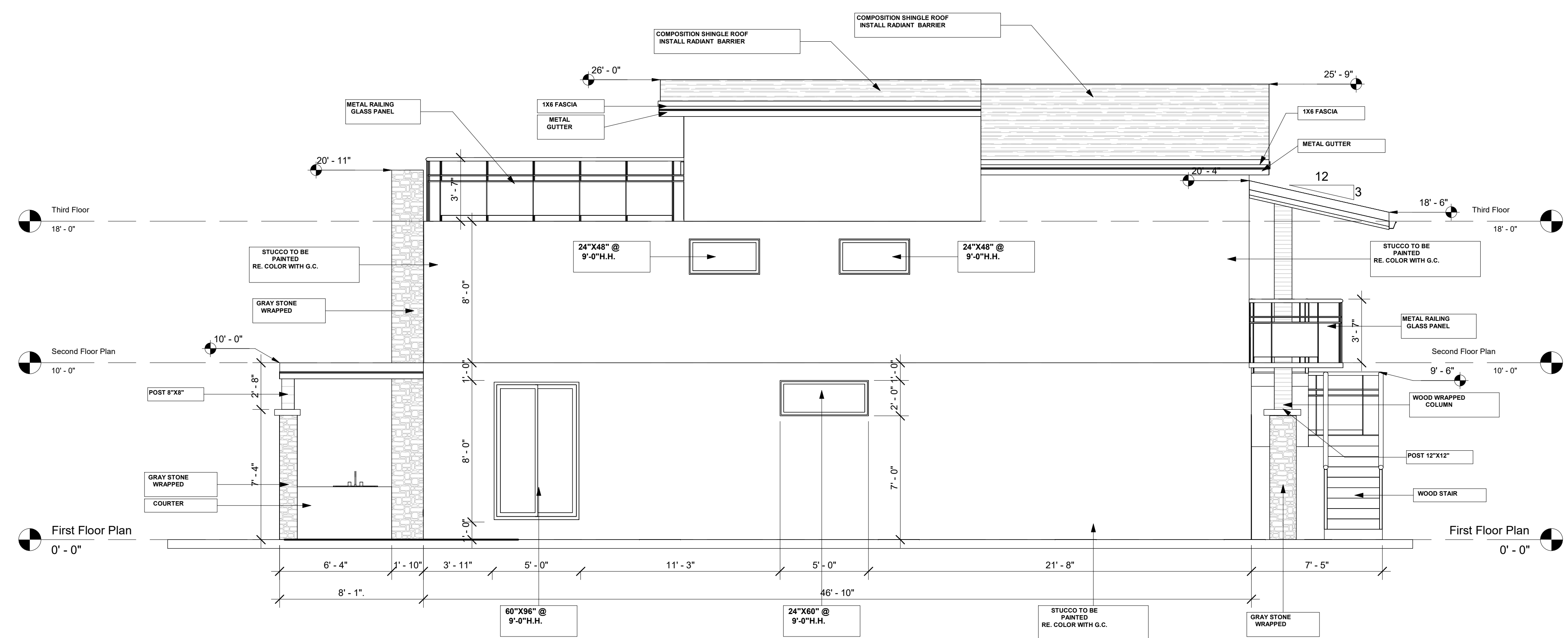
Date: 9/29/2023      Scale: 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



**1 REAR ELEVATION**

1/4" = 1'-0"



**2 LEFT ELEVATION**

1/4" = 1'-0"

  
 10/07/2023  
 FIRM# 18123  
*L. Escamilla*



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.  
  
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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

ELEVATIONS	
Date:	9/29/2023
Scale	1/4" = 1'-0"
Drawn by: Projects & Construction Araque	

10.1



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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_FRONT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque



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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_RIGHT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.1



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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_REAR**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.2



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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_LEFT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.3





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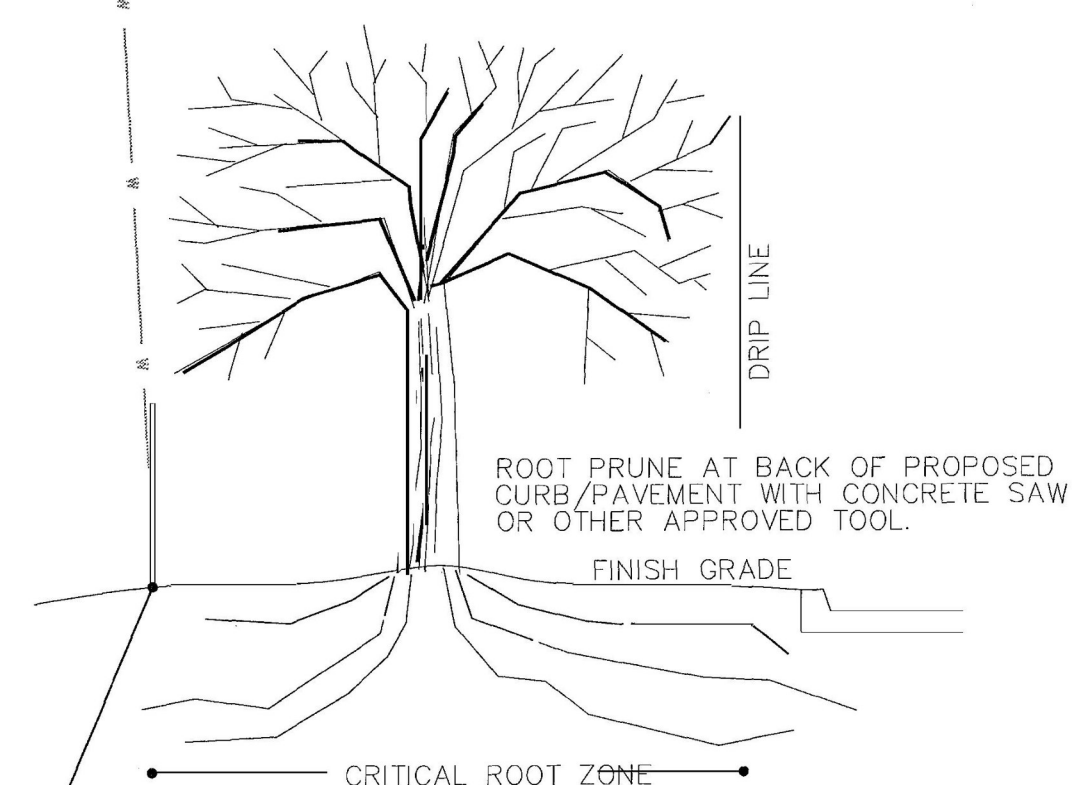
**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.4

# DETAIL

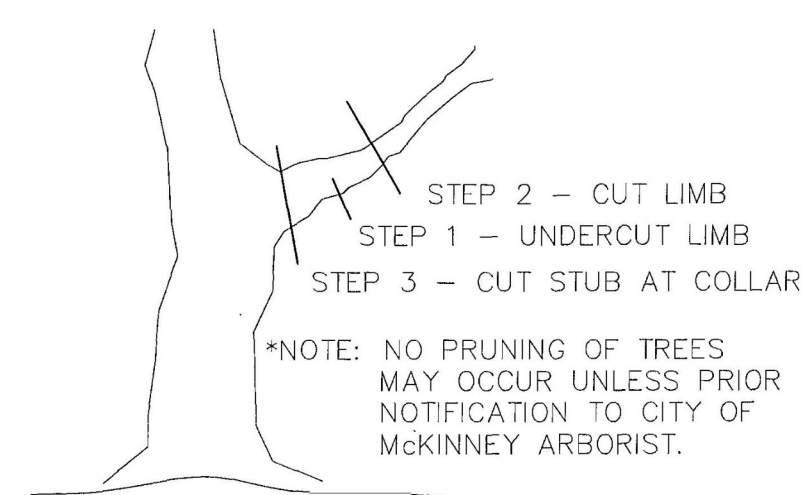


INSTALL 6 FT ORANGE VINYL PROTECTIVE FENCE AT DRIP LINE - ALL PROTECTED TREES.  
DO NOT PARK OR DRIVE VEHICLES OR CONSTRUCTION EQUIPMENT BENEATH DRIP LINE.

DO NOT MODIFY GRADE BENEATH DRIP LINE UNLESS APPROVED BY CITY ARBORIST.  
DO NOT WASH OUT CONCRETE TRUCKS OR STORE ANY CONSTRUCTION MATERIALS BENEATH DRIP LINE.

## TREE PROTECTION FENCING/PRUNING

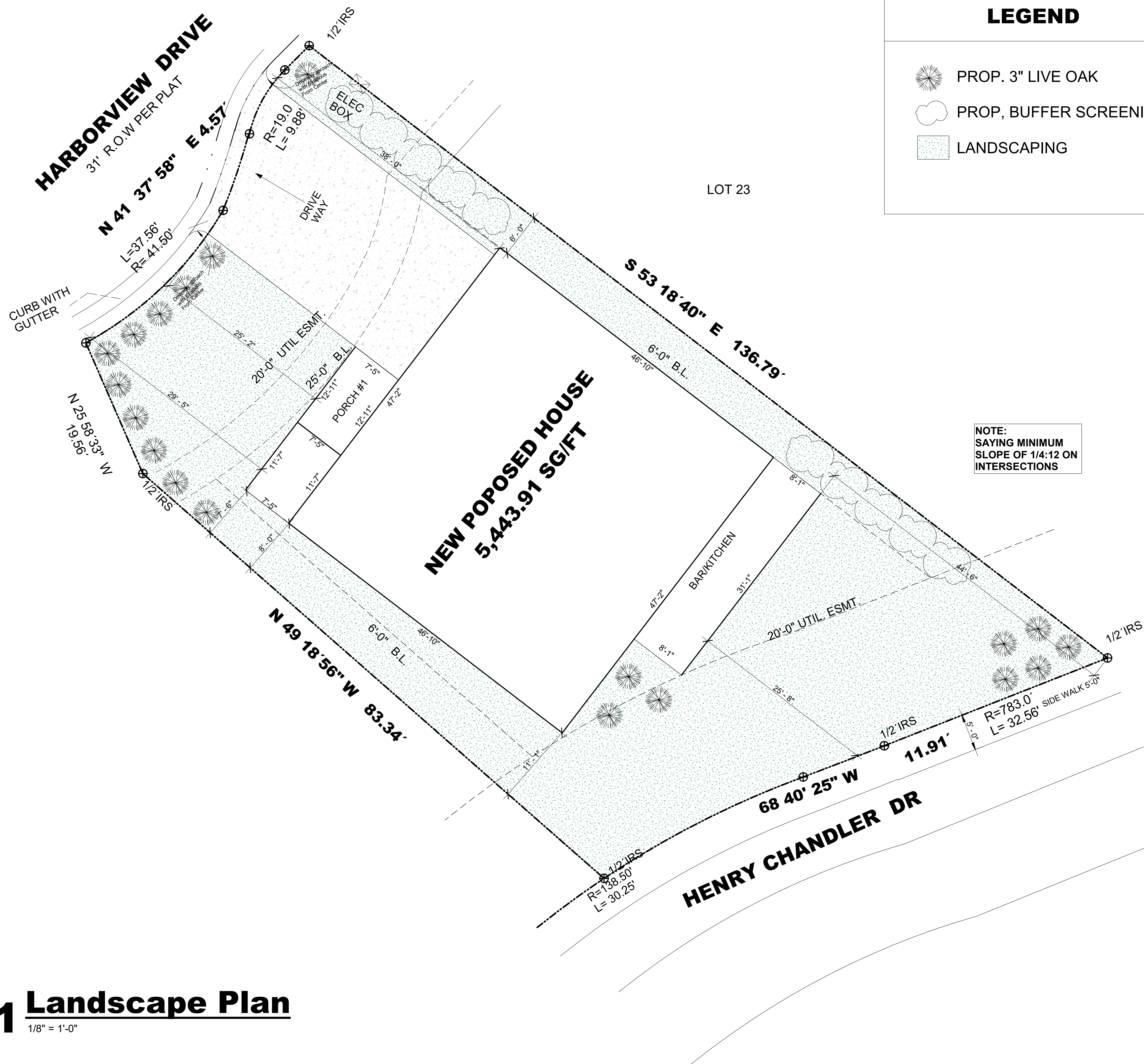
SCALE: NONE



## TREE PRUNING

SCALE: NONE

**HARBORVIEW DRIVE**  
31' ROW PER PLAT



LOT 23

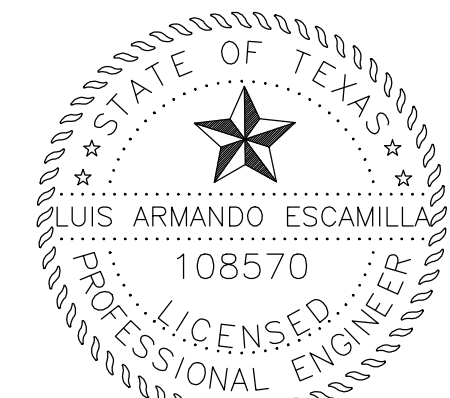
**NEW POPOSED HOUSE**  
5,443.91 SG/FT

NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS

LEGEND	
PROP. 3" LIVE OAK	
PROP. BUFFER SCREENING SHRUBS	
LANDSCAPING	

# 1 Landscape Plan

1/8" = 1'-0"



10/07/2023  
FIRM# 18123

*L. Escamilla*



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**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

# LANDSCAPE PLAN

Date: 9/29/2023 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1377-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 22, BLOCK B, OF THE HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Paul Arce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, of the Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] for Single-Family 7 (SF-7) District land uses, addressed as 295 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF FEBRUARY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: January 16, 2024

2<sup>nd</sup> Reading: February 5, 2024

**Exhibit 'A':**  
*Location Map*

Address: 295 Harborview Drive

Legal Description: Lot 22, Block B, Harbor Landing Phase 2 Addition

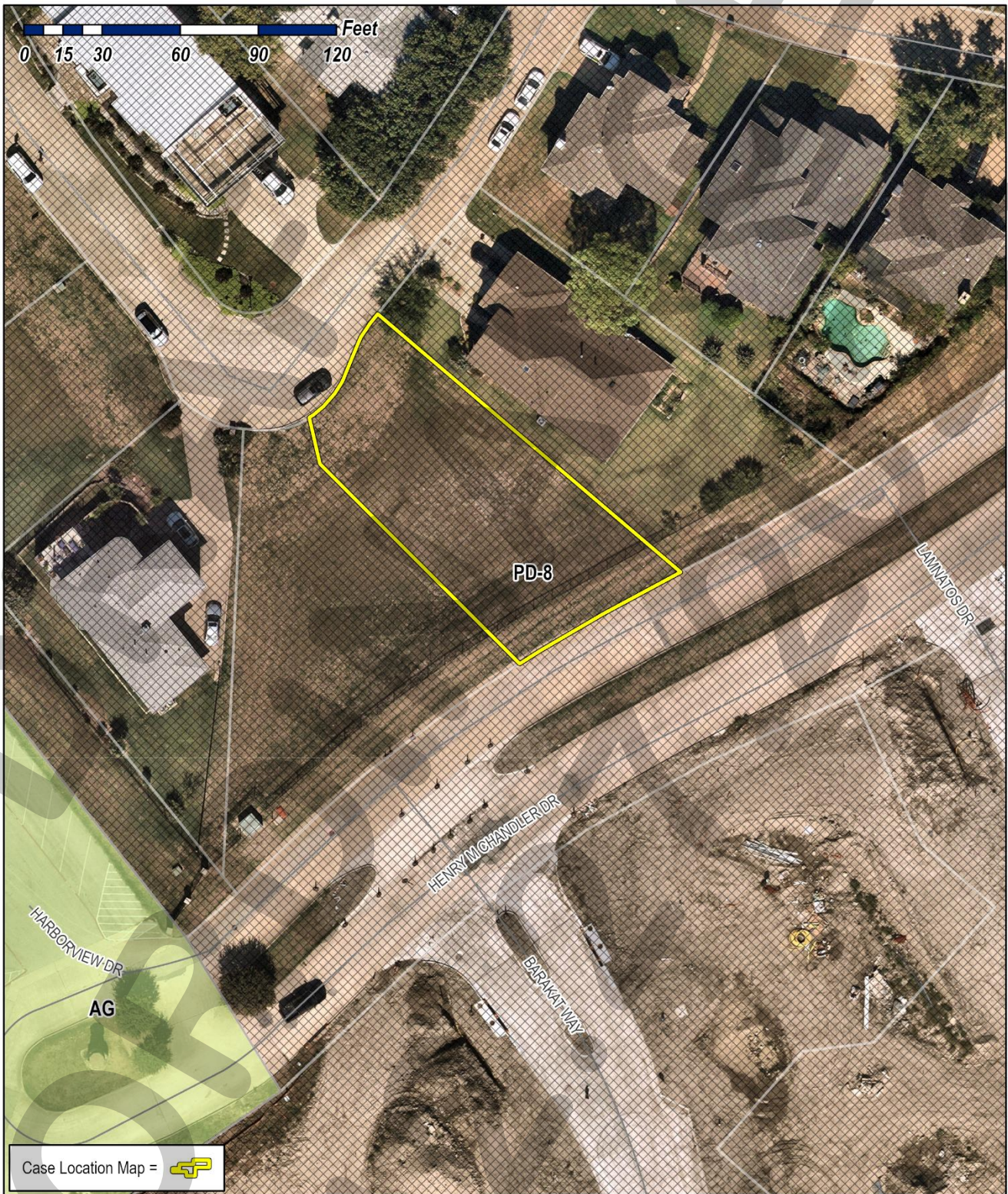
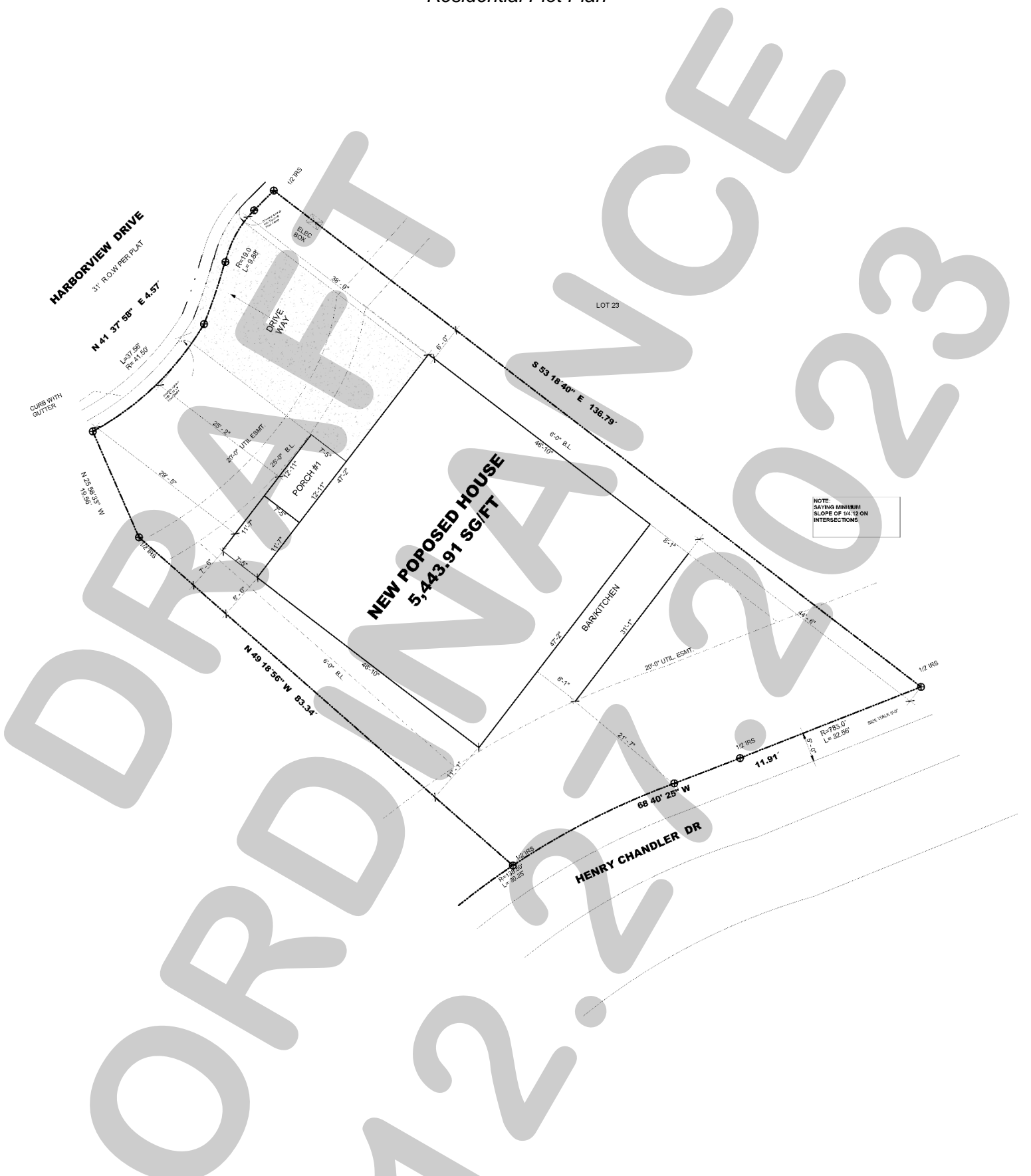


Exhibit 'B':  
Residential Plot Plan



NOTE:  
SAVING MINIMUM  
SLOPE OF 1/4" 12 ON  
INTERSECTIONS



**Exhibit 'C':**  
*Building Elevations*



**Exhibit 'C':**  
*Building Elevations*





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** January 9, 2024  
**APPLICANT:** Paul Arce  
**CASE NUMBER:** Z2023-056; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision for 295 Harborview Drive*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for *Residential Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on October 30, 1973 by *Ordinance No. 73-43 (Case No. A1973-005)*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. Phase 2 of Harborview Landing was later amended by *Ordinance No. 84-16* on April 2, 1984. A Preliminary Plat (*Case No. PZ1987-022-01*) and Final Plat (*Case No. PZ1987-030-01*) were approved on January 1, 1987. A resolution authorizing the settlement of a lawsuit regarding maximum rooftop elevation, maximum pad elevation, and maximum house height was adopted by *Ordinance No. 87-19* on June 15, 1987. A resolution of the City Council of the City of Rockwall clarifying the content of *Ordinance No. 84-16* was adopted on June 15, 1987. On August 7, 2023, the City Council adopted *Ordinance No. 23-40* consolidating all of the ordinances associated with Planned Development District 8 (PD-8); however, no changes were made affecting the subject property. The subject property has remained zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

### PURPOSE

The applicant -- *Paul Arce* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 295 Harborview Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Harborview Drive, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant parcels of land (*i.e. 308 & 310 Harborview Drive*) and two (2) parcels of land developed with single-family homes (*i.e. 306 & 312 Harborview Drive*). North of this is Portview Place, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property Henry M. Chandler Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is a vacant 2.564-acre tract of land (*i.e. Tract 134-12 of the E. Teal Survey, Abstract No. 207*). Beyond this is an additional 2.316-acre vacant tract of land (*i.e. Lot 4, Block A, Spyglass Hill #4 Addition*). Both of these properties are zoned Planned Development District 8 (PD-8) and are currently under development for the Marina Village Subdivision.

East: Directly east of the subject property are four (4) parcels of land (*i.e. 293 Harborview and 201, 203, & 205 Harbor Landing Drive*) developed with single-family homes. Beyond this is Harbor Landing Drive, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is the remainder of Phase 1 of the Harbor Landing Subdivision, which was established on December 22, 1986, and consists of 38 residential lots. Following this is a portion of a vacant 6.242-acre tract of land (*i.e. Tract 134-06 of the E. Teal Survey, Abstract No. 207*) that serves as open space for the Chandler's Landing Subdivision. All of these properties are zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is a vacant parcel of land (*i.e. 295 Harborview Drive*) zoned Planned Development District 8 (PD-8). West of this is the Lake Ray Hubbard Takeline and the Chandler's Landing Marina. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard, which is owned and maintained by the City of Dallas.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is adjacent to Phase 1 of the Harbor Landing Subdivision, which has been in existence since December 22, 1986 and consists of 38 residential lots, and is 100.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Harborview Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Harborview Drive	Proposed Housing
Building Height	Two (2) Story	Three (3) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Harborview Drive
Year Built	2012-2020	N/A
Building SF on Property	2,330 SF – 4,982 SF	5,443 SF
Building Architecture	Traditional Brick/Stucco and Modern Contemporary	Modern Contemporary
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet, 2-Inches
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet
Rear	The rear yard setbacks appear conform to the	21-Feet, 7-Inches

	required ten (10) feet rear yard setback.	
Building Materials	Brick, Stone, Stucco	Stucco, Stone, Metal
Paint and Color	Red, Tan, Brown, Grey, White, Black	White, Brown, Grey
Roofs	Composite Shingles, Metal Roofs	Composite Shingles
Driveways	Driveways are all in the front with the orientations being <i>flat front entry</i> .	The garage is proposed to be situated even with the front façade of the home.

In this case, the applicant is proposing a single-family home that is not conforming to two (2) standards outlined in the Unified Development Code (UDC). These are as follows:

- (1) Garage Orientation. According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the proposed garage is located even with the front façade of the single-family home. When looking at this non-conformity, staff should point out that since the construction range for housing in this phase of the Harbor Landing Subdivision extends from 1992-2000, there are several examples of houses in this area that have a similar garage configuration.
- (2) Roof Pitch. According to Subsection 03.01(A), *General Residential District Standards* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a single-family home with roof pitches of 1:12 and 2:12. Staff should point out that there are other homes in this phase of the Harbor Landing Subdivision with roofs that are similar to the roof design being proposed by the applicant.

With this being said, the approval of a waiver to the garage orientation or roof pitch requirements is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council would be waiving these requirements. With the exception of these two (2) deviations from the *General Residential Standards*, the rest of the request does appear to be in conformance with the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive and the proposed building elevations in the attached packet.

**NOTIFICATIONS**

On December 19, 2023, staff mailed 133 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Chandler’s Landing, The Cabana at Chandler’s Landing, Match Point Townhomes, Cutter Hill Phase 1, Cutter Hill Phase 2, Cutter Hill Phase 3, Spyglass Phases 2 & 3, and Spyglass Phase 1 Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant’s request.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
  - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations

depicted in *Exhibit 'C'* of the draft ordinance; and,

- (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p><b>PLATTING APPLICATION FEES:</b></p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p><b>SITE PLAN APPLICATION FEES:</b></p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p><b>ZONING APPLICATION FEES:</b></p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input checked="" type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 &amp; 2</sup> <b>\$215</b></p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><b>OTHER APPLICATION FEES:</b></p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup></p> <p><b>NOTES:</b></p> <p><sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p><sup>2</sup>: A <b>\$1,000.00</b> FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **295 Harborview DR. Rockwall TX 75032**

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____	CURRENT USE _____
PROPOSED ZONING _____	PROPOSED USE _____
ACREAGE _____	LOTS [CURRENT] _____
	LOTS [PROPOSED] _____

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER <input type="checkbox"/> <b>KISANET GHEBRETSADIK</b>	APPLICANT <input checked="" type="checkbox"/> <b>Paul Arce</b>
CONTACT PERSON _____	CONTACT PERSON _____
ADDRESS <b>297 BLACKHAW DR</b>	ADDRESS <b>5807 Ranger Dr</b>
CITY, STATE & ZIP <b>FATE, TX 75087</b>	CITY, STATE & ZIP <b>Rockwall TX 75032</b>
PHONE <b>206-351-9741</b>	PHONE <b>(972) 365-6823</b>
E-MAIL <b>KISANETGHEBRETSADIK@gmail.com</b>	E-MAIL <b>paularce tx@yahoo.com</b>

## NOTARY VERIFICATION [REQUIRED]

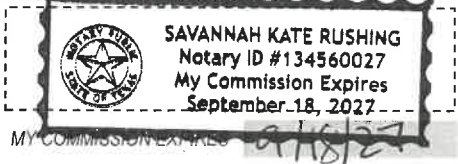
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **TRAVELDE ABREHAM** [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ **10.00** TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE **14** DAY OF **DECEMBER**, 20**23** BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE **14** DAY OF **12** 20**23**

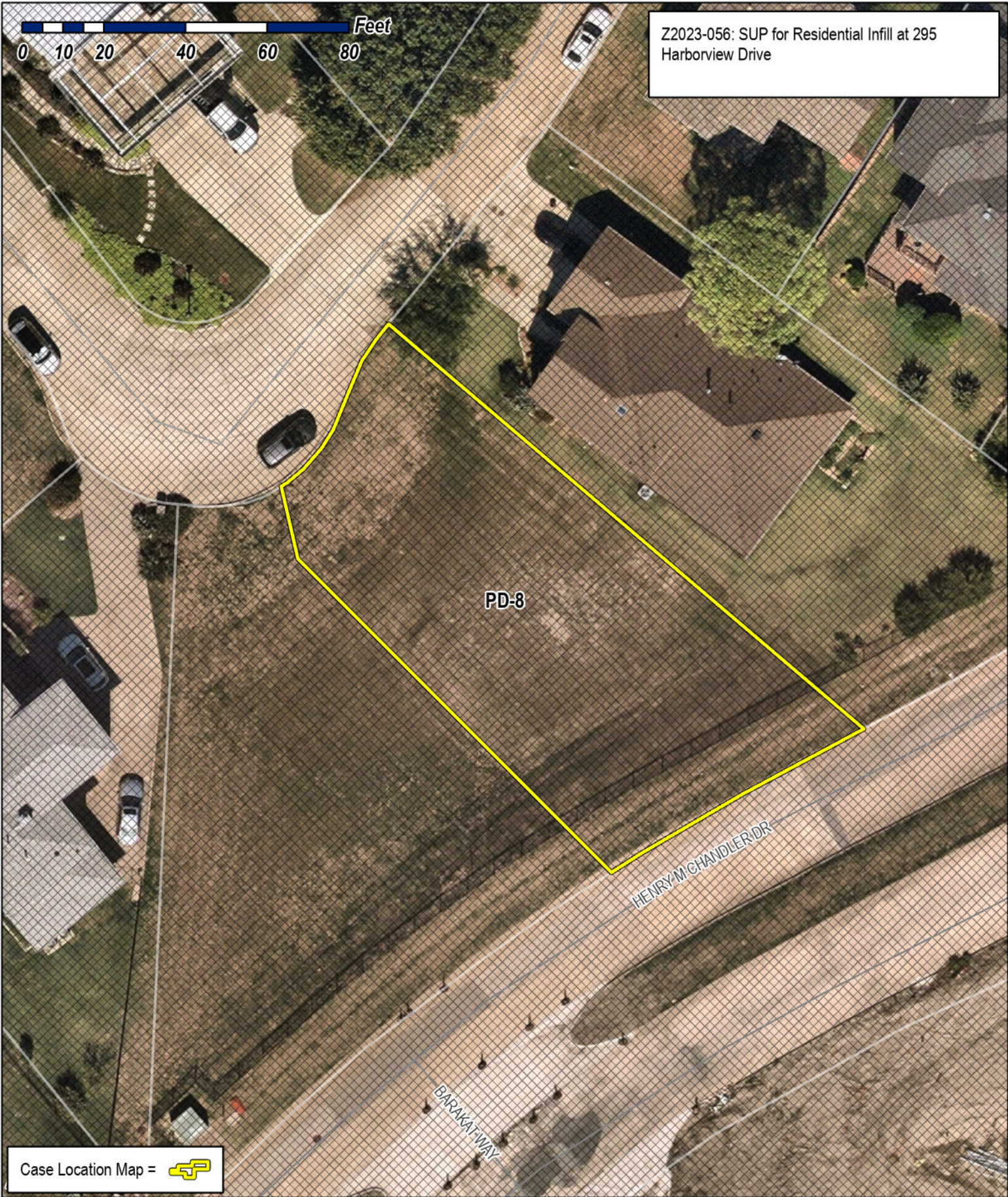
OWNER'S SIGNATURE **Kisanet**


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS **SKUS**





Z2023-056: SUP for Residential Infill at 295 Harborview Drive



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



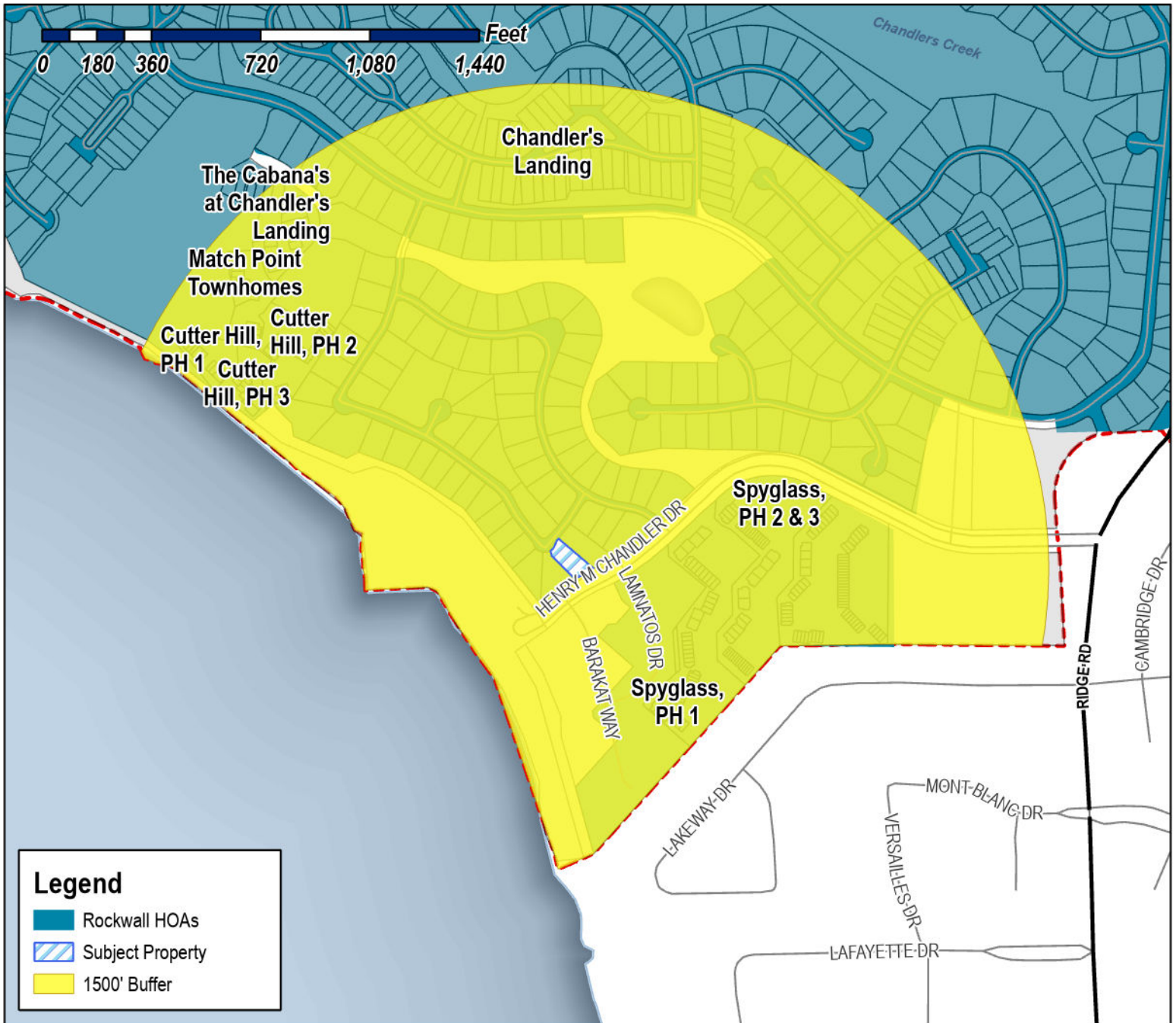




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**Case Number:** Z2023-056  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 295 Harborview Drive

**Date Saved:** 12/15/2023  
 For Questions on this Case Call (972) 771-7745



## Lee, Henry

---

**From:** Zavala, Melanie  
**Sent:** Tuesday, December 19, 2023 10:14 AM  
**Cc:** Miller, Ryan; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-056]  
**Attachments:** Public Notice (P&Z).pdf; HOA Map (12.15.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday December 22, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 9, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 16, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-056: SUP for Residential Infill**

*Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.*

Thank you,

***Melanie Zavala***

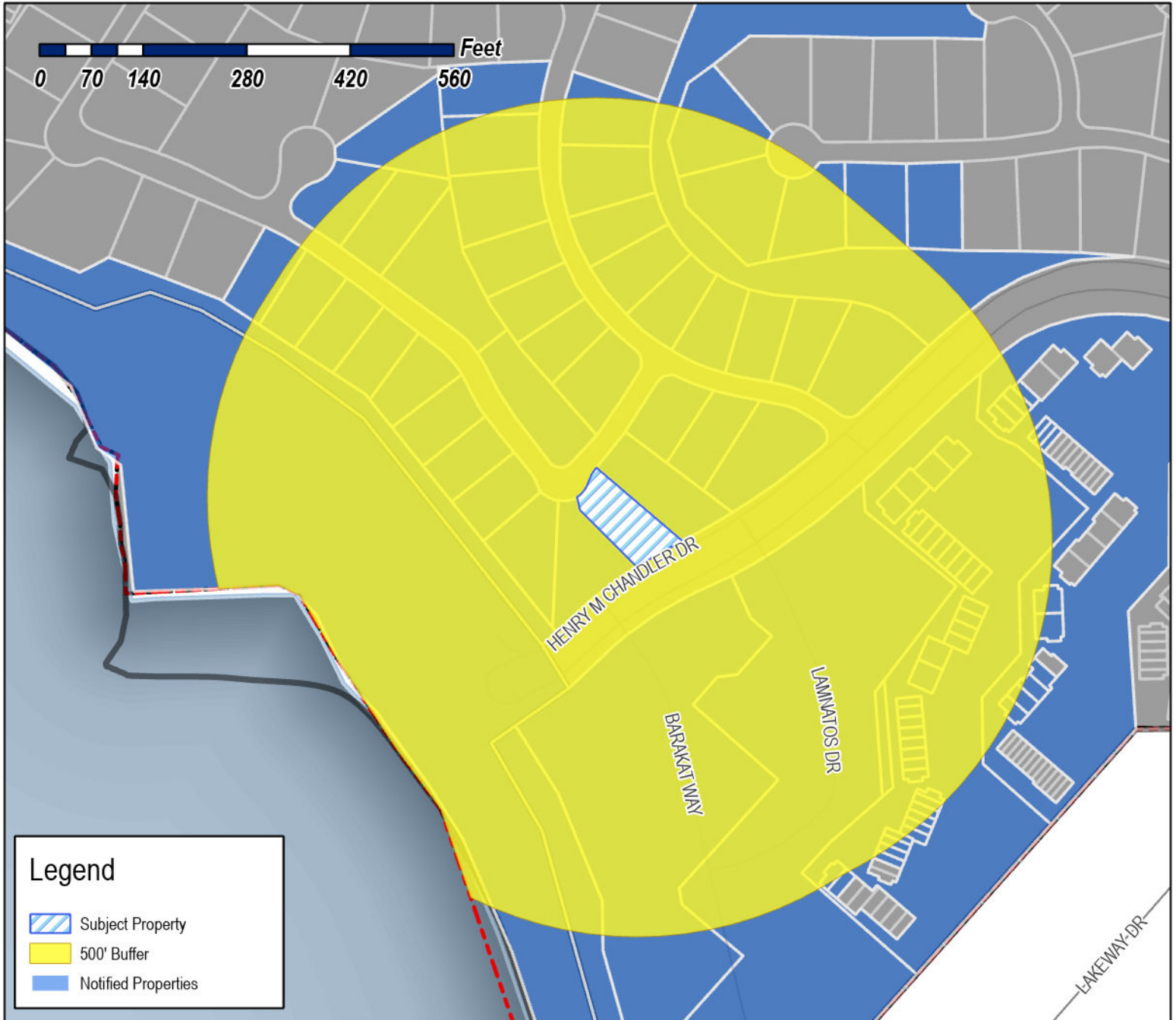
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2023-056  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 295 Harborview Drive

**Date Saved:** 12/15/2023

For Questions on this Case Call: (972) 771-7746



CHANDLERS LANDING COMMUNITY ASSOC  
1 COMMODORE PLAZA  
ROCKWALL, TX 75032

SESSUMS BILLY A  
10 CLARKSVILLE ST  
PARIS, TX 75460

NGUYEN ANGELINA  
1025 LAKE RIDGE DR  
RICHARDSON, TX 75081

L T L FAMILY HOLDINGS LLC  
106 SAWGRASS DR  
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC  
106 SAWGRASS DR  
ROCKWALL, TX 75032

STRANN MICHAEL RAY  
112 OLD GLORY LN  
FORNEY, TX 75126

SRP SUB, LLC  
1131 W WARNER RD STE 102  
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD  
115 DEFENDER C  
ROCKWALL, TX 75032

SANCHEZ RAMSES S  
120 APPIAN WAY  
DALLAS, TX 75216

RESIDENT  
132 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
136 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LEDE' HOWARD G AND ANNETTE M  
1360 GOLD COAST DRIVE  
ROCKWALL, TX 75087

RESIDENT  
137 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
138 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
146 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
147 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MACLEOD LYNN  
149 HENRY CHANDLER DR  
ROCKWALL, TX 75032

PARNES ALEXANDRA  
15 KESTREL CT  
ROCKWALL, TX 75032

RESIDENT  
150 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
155 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
155 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
156 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
157 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
158 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
159 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
160 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
161 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

COUGHLIN DIANE AND BRIAN FOULKS  
162 HENRY M CHANDLER DRIVE UNIT 162  
ROCKWALL, TX 75032

RESIDENT  
163 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
164 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LB QUALITY HOMES LLC  
1651 N COLLINS BLVD STE 260  
RICHARDSON, TX 75080

RESIDENT  
166 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KUPERMAN IGOR  
166 HENRY M CHANDLER  
ROCKWALL, TX 75032

RESIDENT  
167 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

BURNETT JAMES AND ELIZABETH  
168 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
169 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
170 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
171 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
172 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
173 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC  
17330 PRESTON ROAD SUITE 220A  
DALLAS, TX 75252

RESIDENT  
175 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MCKNIGHT MARY D  
201 HARBOR LANDING DR  
ROCKWALL, TX 75032

WILSON SEAN  
202 HARBOR LANDING DR  
ROCKWALL, TX 75032

PETERSON LELAND D & JANET  
203 HARBOR LANDING DR  
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND  
CARLOS AUGUSTO MOSQUERA  
204 HARBOR LANDING  
ROCKWALL, TX 75032

RESIDENT  
205 HARBOR LANDING DR  
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST  
MICHAEL D KNABLE TRUSTEE  
205 BENTON DRIVE APT 1202  
ALLEN, TX 75013

D'AMBROSIA DEAN AND MUSTAFA OMAR  
206 HARBOR LANDING DR  
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN  
208 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

ROMER ENTERPRISES, LLC  
2101 BRISBON STREET  
FATE, TX 75189

HUYNH ANN LE  
2206 STONE HOLLOW DRIVE  
ROWLETT, TX 75088

RESIDENT  
236 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
237 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
238 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
249 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
250 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KIM SEOK H  
2516 WOODHAVEN DR  
FLOWER MOUND, TX 75028

POWELL ALEAH D  
259 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
260 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

NANCE LAYLA SHALON  
261 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

CARNEY DON  
262 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
263 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
264 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
267 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
268 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

FERRIS BETH ANN  
269 HENRY M CHANDLER DRIVE UNIT 269  
ROCKWALL, TX 75032

RESIDENT  
270 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LEMONS BRADLEY & SHARON  
2706 WHISPERING OAKS  
ROCKWALL, TX 75087

RESIDENT  
271 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
272 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
273 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MASON JANIS E  
275 HENRY M CHANDLER DR UNIT 3  
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON  
2807 EASTGROVE LN  
HOUSTON, TX 77027

BALLARD AMANDA L &  
MATTHEW WEST BALLARD  
28106 WHISPERING MAPLE WAY  
SPRING, TX 77386

AMERSON GARY W AND DEBRA J  
293 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
295 HARBORVIEW DR  
ROCKWALL, TX 75032

GHEBRETSADIK KISANET  
295 BLACKHAW DR  
FATE, TX 75087

RESIDENT  
297 HARBORVIEW DR  
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH  
299 HARBORVIEW DRIVE  
ROCKWALL, TX 75032

RESIDENT  
301 HARBORVIEW DR  
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE  
301 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

SERRANO CHRISTIAN  
301 VILLAGE DR APT 307  
KING OF PRUSSIA, PA 19406

GENTLE BILL  
302 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
303 HARBORVIEW DR  
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA  
303 HARBOR LANDING DR  
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C  
304 HARBOR LANDING DR  
ROCKWALL, TX 75032

POTISKA ANDREA  
305 HARBOR LANDING DR  
ROCKWALL, TX 75032

CONFIDENTIAL  
305 HARBORVIEW DR  
ROCKWALL, TX 75032

CLEATON JERRY LEE  
306 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA  
306 HARBORVIEW DR  
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI  
307 HARBOR LANDING DR  
ROCKWALL, TX 75032

CROMEENS SHAN  
307 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
308 HARBORVIEW DR  
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE  
308 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
309 HARBORVIEW DR  
ROCKWALL, TX 75032

LARK KENNETH LAWRENCE & MAURITA NICOLE  
309 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
310 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
310 HARBORVIEW DR  
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA  
310 HARBOR LANDING DR  
ROCKWALL, TX 75032

TAYLOR ANTHONY  
311 HARBOR LANDING  
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA  
311 HARBORVIEW DR  
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L  
312 PORTVIEW PL  
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND  
ROSSITZA I POPOVA  
313 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R  
313 HARBORVIEW DR  
HEATH, TX 75032

PENCE DENNIS AND DIANNA  
314 PORTVIEW PL  
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE  
315 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
338 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KEITH BENJAMIN AND  
SHERYL KEITH  
3403 WATERVIEW TRAIL  
ROCKWALL, TX 75087

RESIDENT  
371 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
372 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
373 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
374 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST  
JERRY C NELSON AND MARIBETH NELSON-  
TRUSTEES  
410 COLUMBIA DRIVE  
ROCKWALL, TX 75032

FRONTERA JOSE ANTONIO & CAROLINE  
4241 BUENA VISTA #18  
DALLAS, TX 75205

MCHALE JOHN D JR  
457 LAURENCE DRIVE SUTIE 168  
HEATH, TX 75032

SCHARF ALLEN J  
501 VILLAGE DR APT 307  
KING OF PRUSSA, PA 19406

SCHARF ALLEN J  
501 VILLAGE DR APT 307  
KING OF PRUSSA, PA 19406

M & H PROPERTIES INC  
5575 CANADA CT  
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN  
5575 CANADA CT  
ROCKWALL, TX 75032

BRENDA BEJARANO REVOCABLE TRUST  
BRENDA BEJARANO- TRUSTEE  
6105 VOLUNTEER PLACE  
ROCKWALL, TX 75032

BRYNE PATRICK AND LAURA KRUSE  
6107 VOLUNTEER PLACE  
ROCKWALL, TX 75032

P&P PAINTING REPAIRS AND REMODELING  
6109 PLANTATION LN  
FLOWER MOUND, TX 75022

P&P PAINTING REPAIRS AND REMODELING  
6109 PLANTATION LN  
FLOWER MOUND, TX 75022

MARSH ELIZABETH AND JACK  
6109 VOLUNTEER PL  
ROCKWALL, TX 75032

BROWN BRYAN K  
6111 VOLUNTEER PL  
ROCKWALL, TX 75032

MAZUR MELISSA  
6112 VOLUNTEER PL  
ROCKWALL, TX 75032

BLASSINGAME KENNETH E ETUX  
6227 HIGHGATE LN  
DALLAS, TX 75214

JOHNSON FAMILY TRUST  
628 SHADOW WOOD LN  
HEATH, TX 75032

RESIDENT  
7 GREENBELT  
ROCKWALL, TX 75032

ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

KLINE LINDA ANN MULLANE  
8090 FRANKFORD RD APT 119  
DALLAS, TX 75252

ARA MANAGEMENT LLC  
9906 LINCOLNSHIRE LN  
ROCKWALL, TX 75087



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-056: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-056: SUP for Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name:

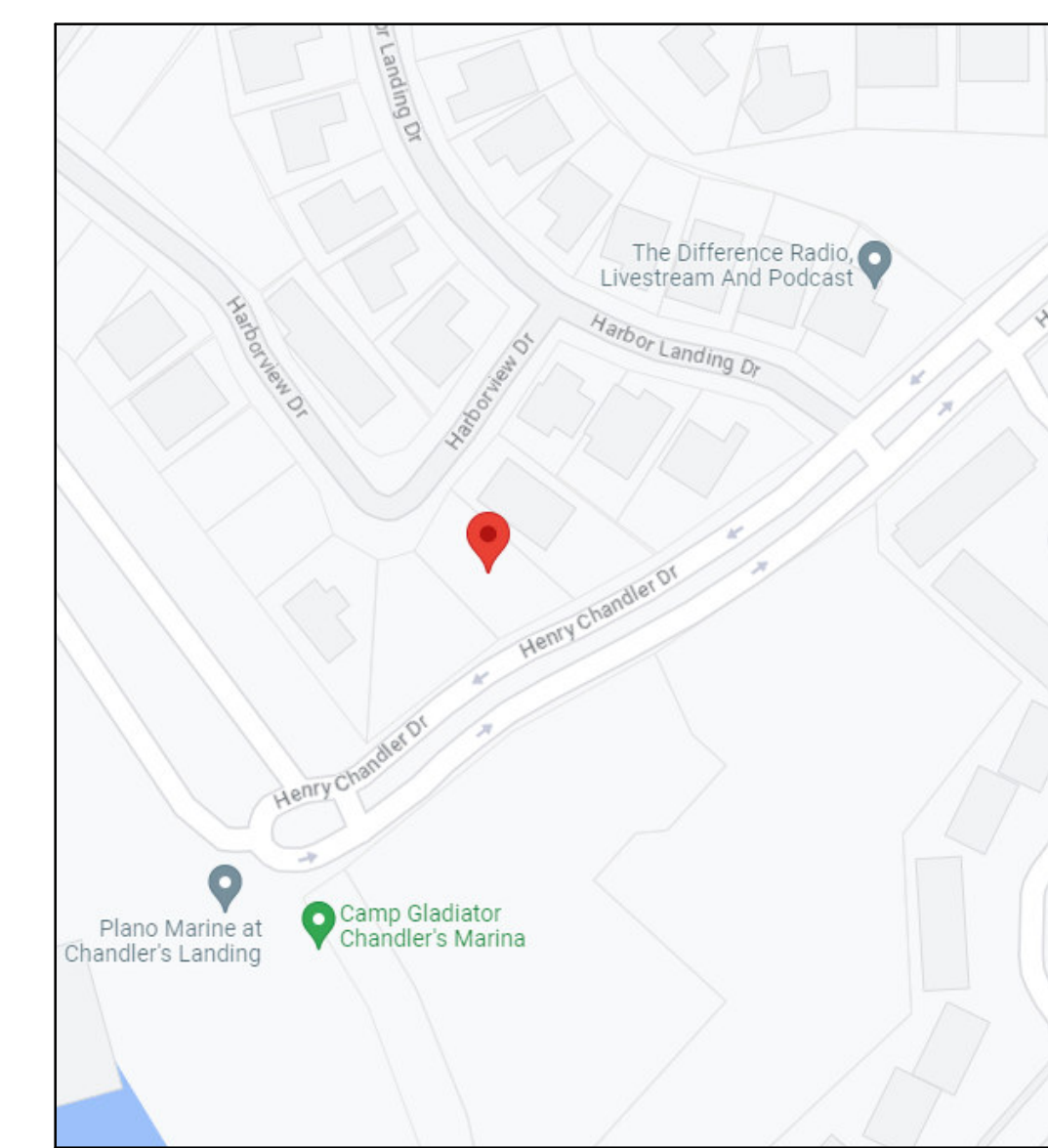
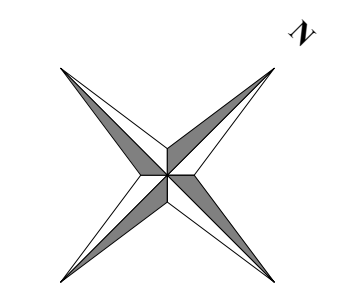
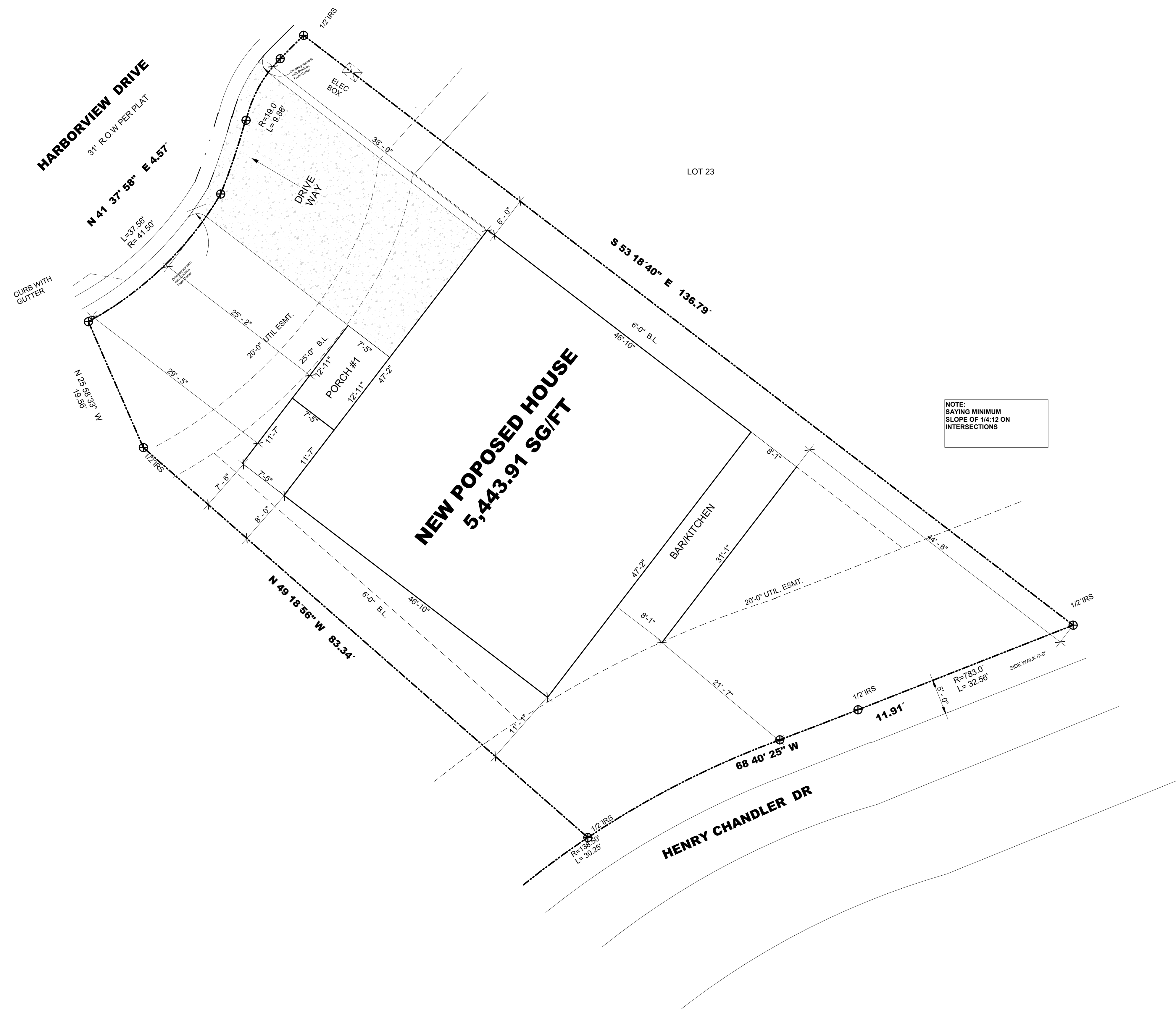
Michael and Linda C. Crider

Address:

[Redacted address]

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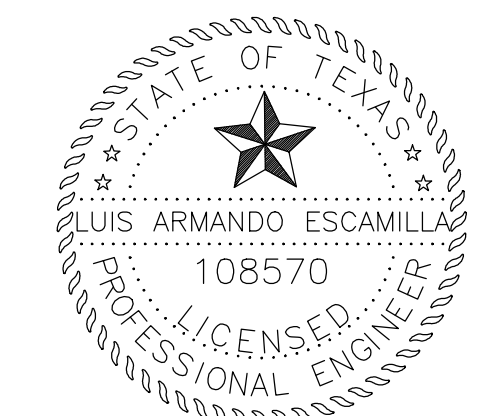
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP

**295 HARBORVIEW DR,  
ROCKWALL, TX 75032**

Proposed First Floor Plan	1,740 SG/FT
Proposed Second Floor Plan	1,640 SG/FT
Proposed Third Floor Plan	468 SG/FT
<b>Total New Construction</b>	<b>3,848 SG/FT</b>
Proposed Garage	564 SG/FT
Proposed Porch #1	96 SG/FT
Proposed Bar/ Kitchen	251.91 SG/FT
Proposed Balcony #1	120 SG/FT
Proposed Balcony #2	108 SG/FT
Proposed Porch #2	48 SG/FT
Proposed Terrace	408 SG/FT
<b>Total New Construction</b>	<b>5,443.91 SG/FT</b>
Lot	22
Country	Rockwall
City	Rockwall
Lot Area	<b>0.14 Acres</b>
Max Lot Coverage	35%
Lot Coverage	65%



10/07/2023  
FIRM# 18123

*L. Escamilla*



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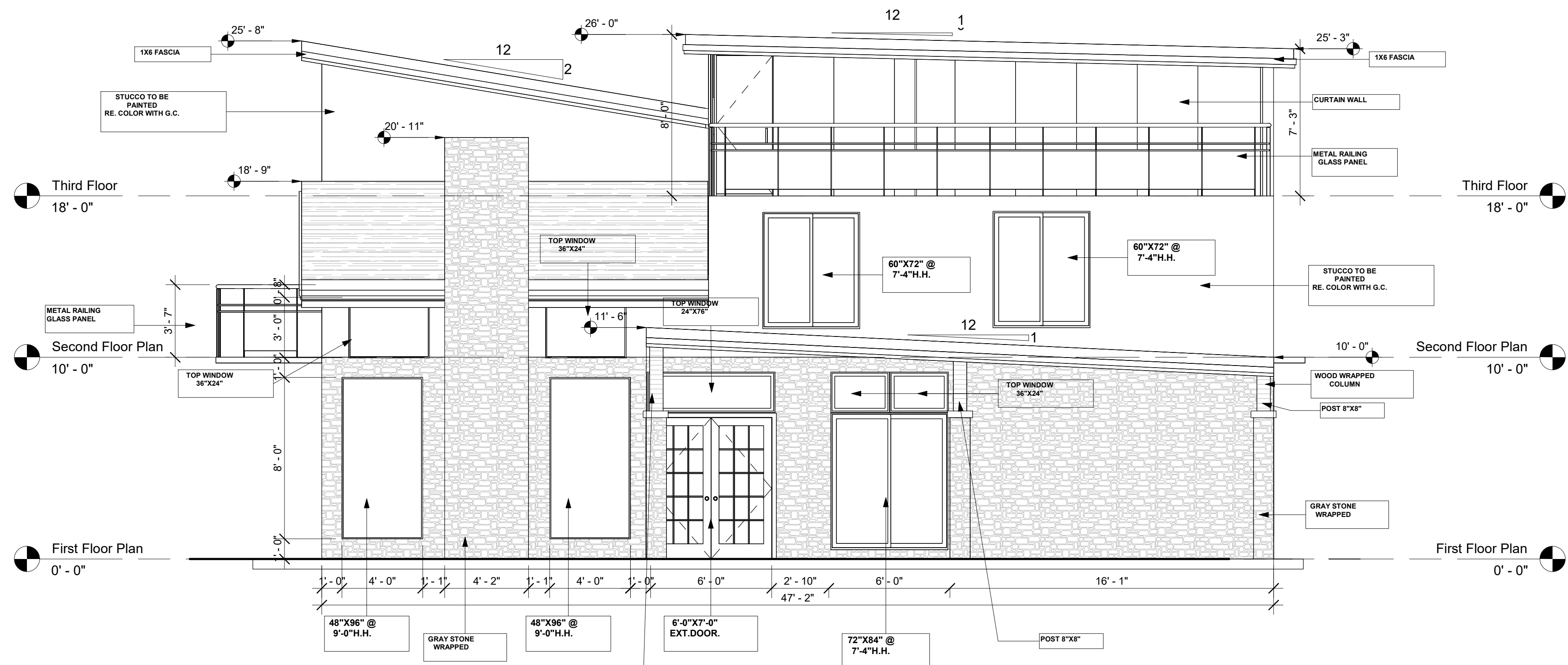
**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032

**Legal Description**  
LOT 22, BLOCK B

**SITE PLAN**

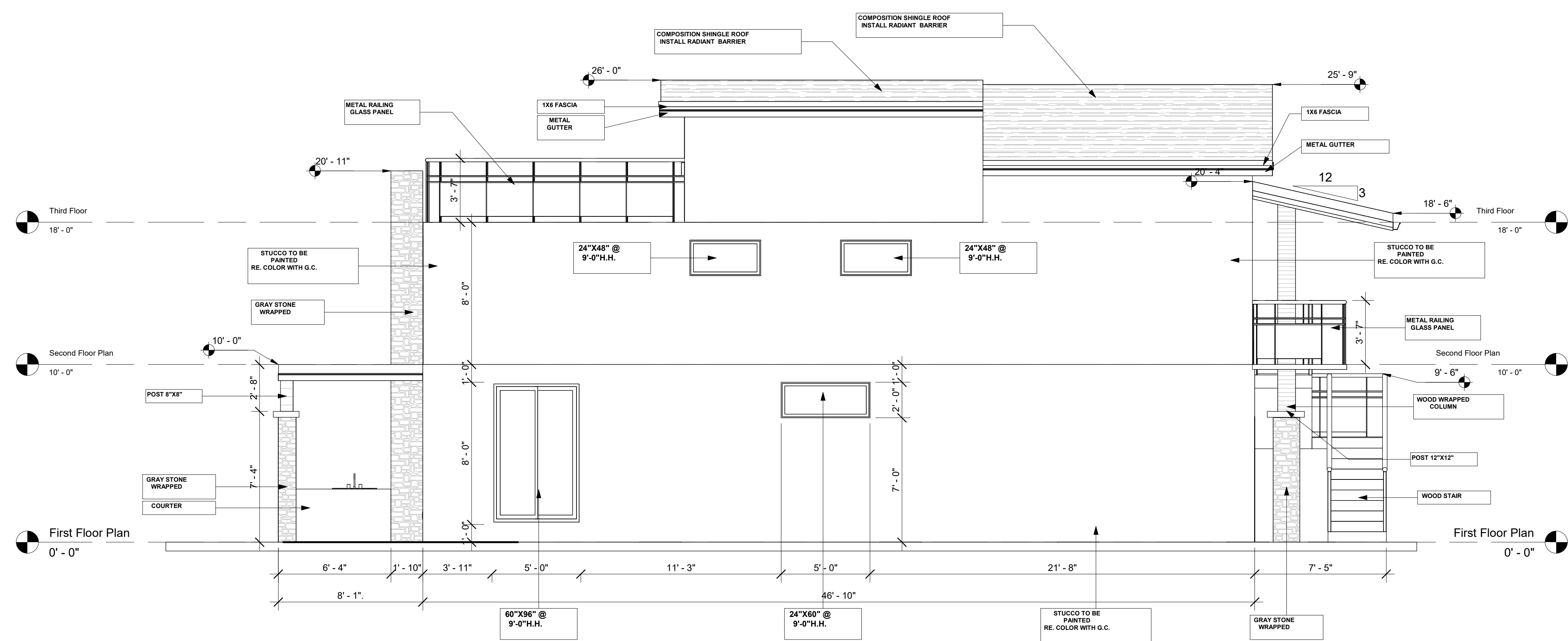
Date: 9/29/2023      Scale: 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



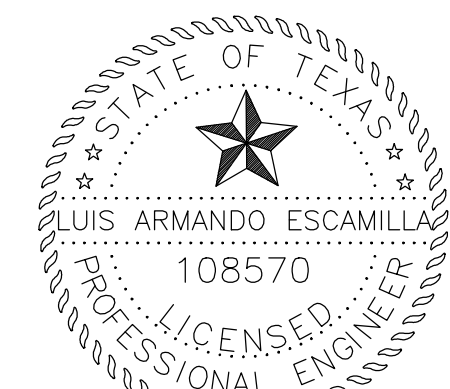
**1 REAR ELEVATION**

1/4" = 1'-0"



**2 LEFT ELEVATION**

1/4" = 1'-0"



10/07/2023  
FIRM# 18123

*L. Escamilla*



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**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

**ELEVATIONS**

Date: 9/29/2023 Scale: 1/4" = 1'-0"  
Drawn by: Projects & Construction Araque

10.1



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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_FRONT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque



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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_RIGHT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.1



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 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_REAR**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.2



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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_LEFT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.3





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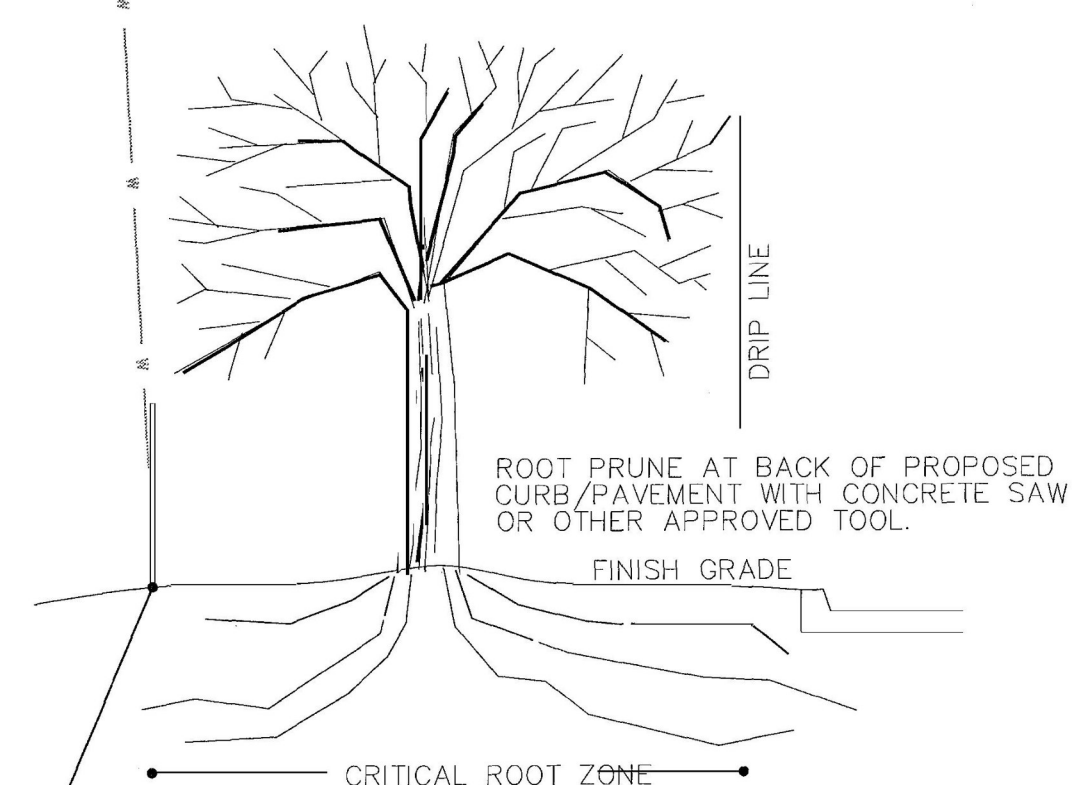
**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.4

# DETAIL

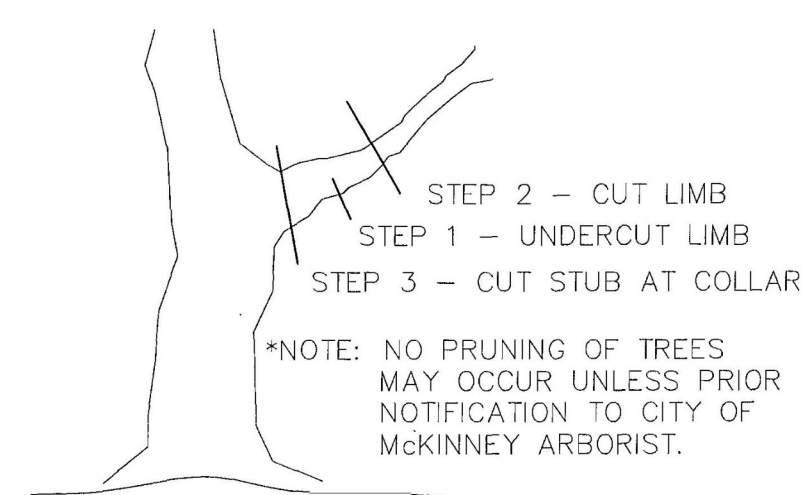


INSTALL 6 FT ORANGE VINYL PROTECTIVE FENCE AT DRIP LINE - ALL PROTECTED TREES.  
DO NOT PARK OR DRIVE VEHICLES OR CONSTRUCTION EQUIPMENT BENEATH DRIP LINE.

DO NOT MODIFY GRADE BENEATH DRIP LINE UNLESS APPROVED BY CITY ARBORIST.  
DO NOT WASH OUT CONCRETE TRUCKS OR STORE ANY CONSTRUCTION MATERIALS BENEATH DRIP LINE.

## TREE PROTECTION FENCING/PRUNING

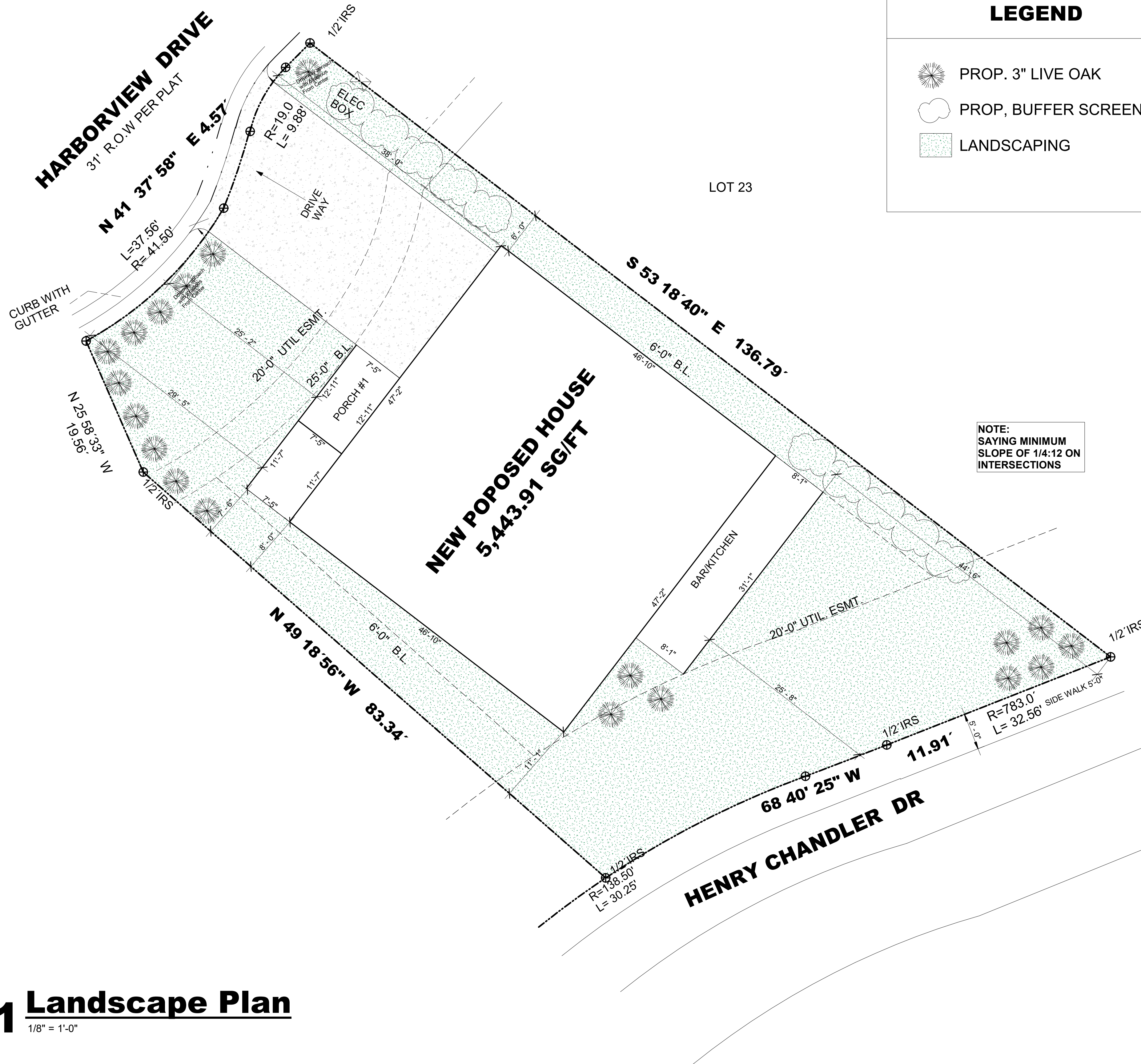
SCALE: NONE



## TREE PRUNING

SCALE: NONE

**HARBORVIEW DRIVE**  
31' ROW PER PLAT



LOT 23

**NEW POPOSED HOUSE**  
5,443.91 SG/FT

**HENRY CHANDLER DR**

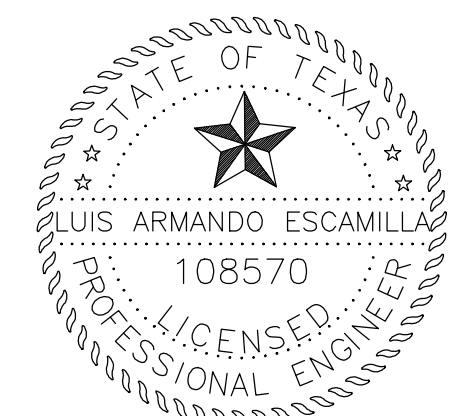
### LEGEND

- PROP. 3" LIVE OAK
- PROP. BUFFER SCREENING SHRUBS
- LANDSCAPING

NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS

# 1 Landscape Plan

1/8" = 1'-0"



10/07/2023  
FIRM# 18123

*L. Escamilla*



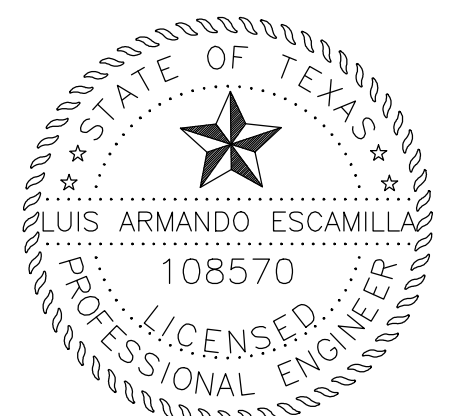
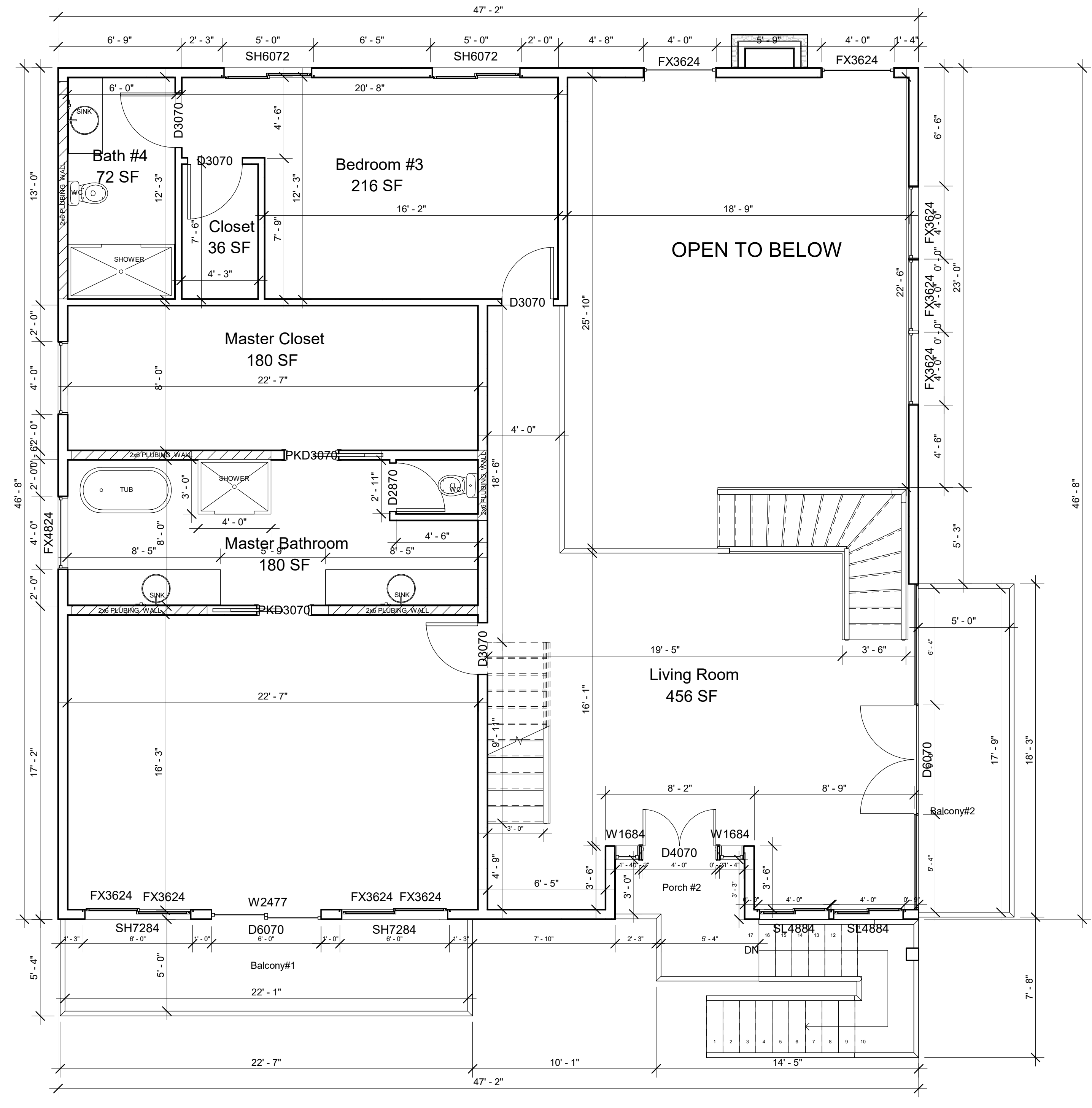
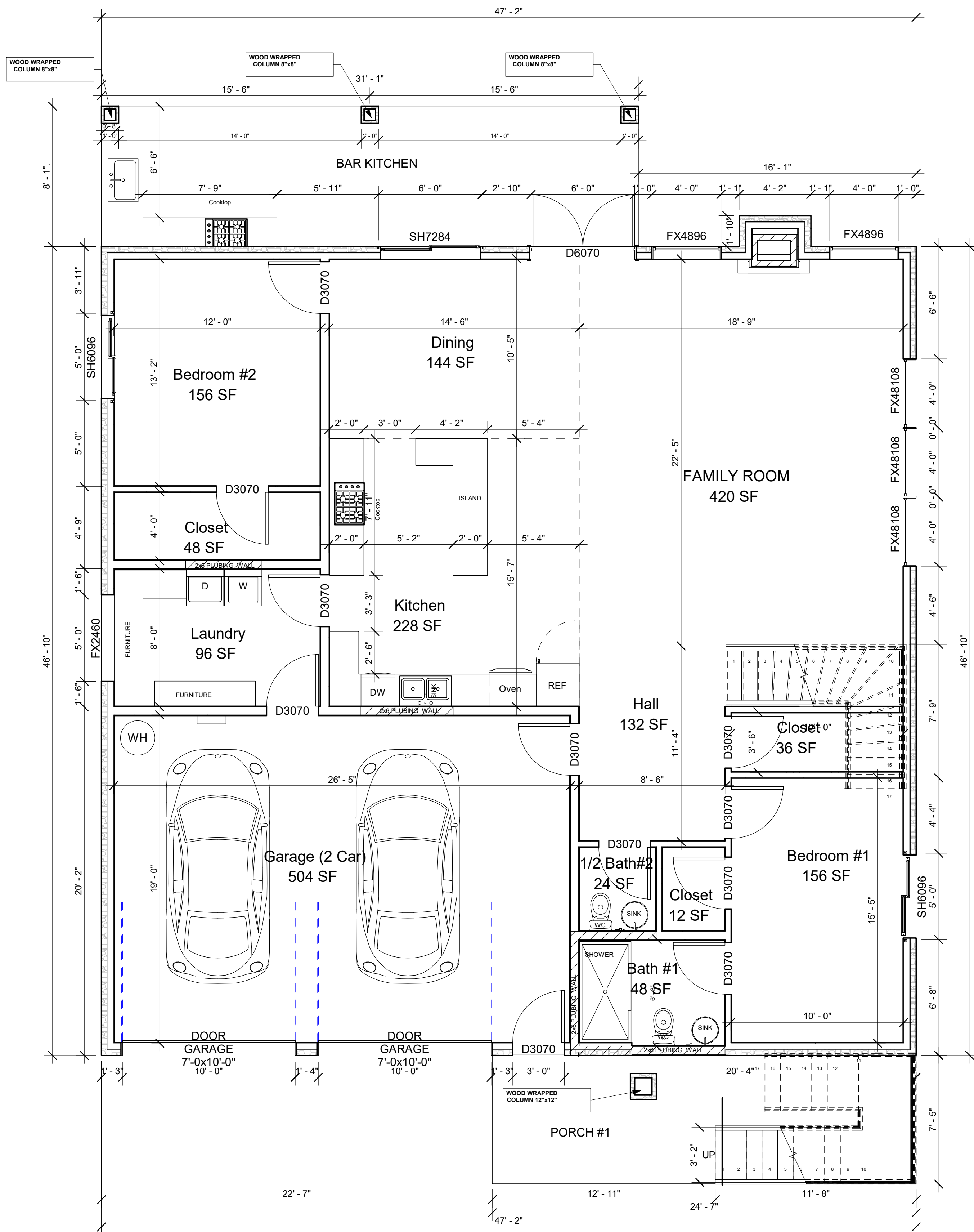
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ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

# LANDSCAPE PLAN

Date: 9/29/2023 Scale: 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



10/07/2023  
FIRM# 18123

*L. Escamilla*



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**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

**FLOOR PLAN**

Date: 9/29/2023 Scale: 1/4" = 1'-0"  
Drawn by: Projects & Construction Araque



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
201 Harbor Landing	Single-Family Home	1988	3,560	N/A	Brick and Siding
203 Harbor Landing	Single-Family Home	1993	4,145	N/A	Brick
205 Harbor Landing	Single-Family Home	1993	2,950	N/A	Brick and Siding
293 Harborview	Single-Family Home	2016	3,518	N/A	Brick and Stone
295 Harborview	Vacant	N/A	N/A	N/A	N/A
297 Harborview	Vacant	N/A	N/A	N/A	N/A
299 Harborview	Single-Family Home	2013	4,346	N/A	Brick, Stone, and Siding
301 Harbor Landing	Single-Family Home	1994	4,158	N/A	Brick
301 Harborview	Vacant	N/A	N/A	N/A	N/A
306 Harborview	Single-Family Home	2018	6,558	N/A	Stucco, Siding, and Stone
307 Harborview	Single-Family Home	2020	4,275	N/A	Brick
310 Harborview	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		2004	4,189	#DIV/0!	



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

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201 Harbor Landing



203 Harbor Landing



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



205 Harbor Landing



293 Harborview



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



295 Harborview



297 Harborview



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



299 Harborview



301 Harbor Landing





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



301 Harborview



306 Harborview



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



307 Harborview



310 Harborview

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1377-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 22, BLOCK B, OF THE HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Paul Arce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, of the Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] for Single-Family 7 (SF-7) District land uses, addressed as 295 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF FEBRUARY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

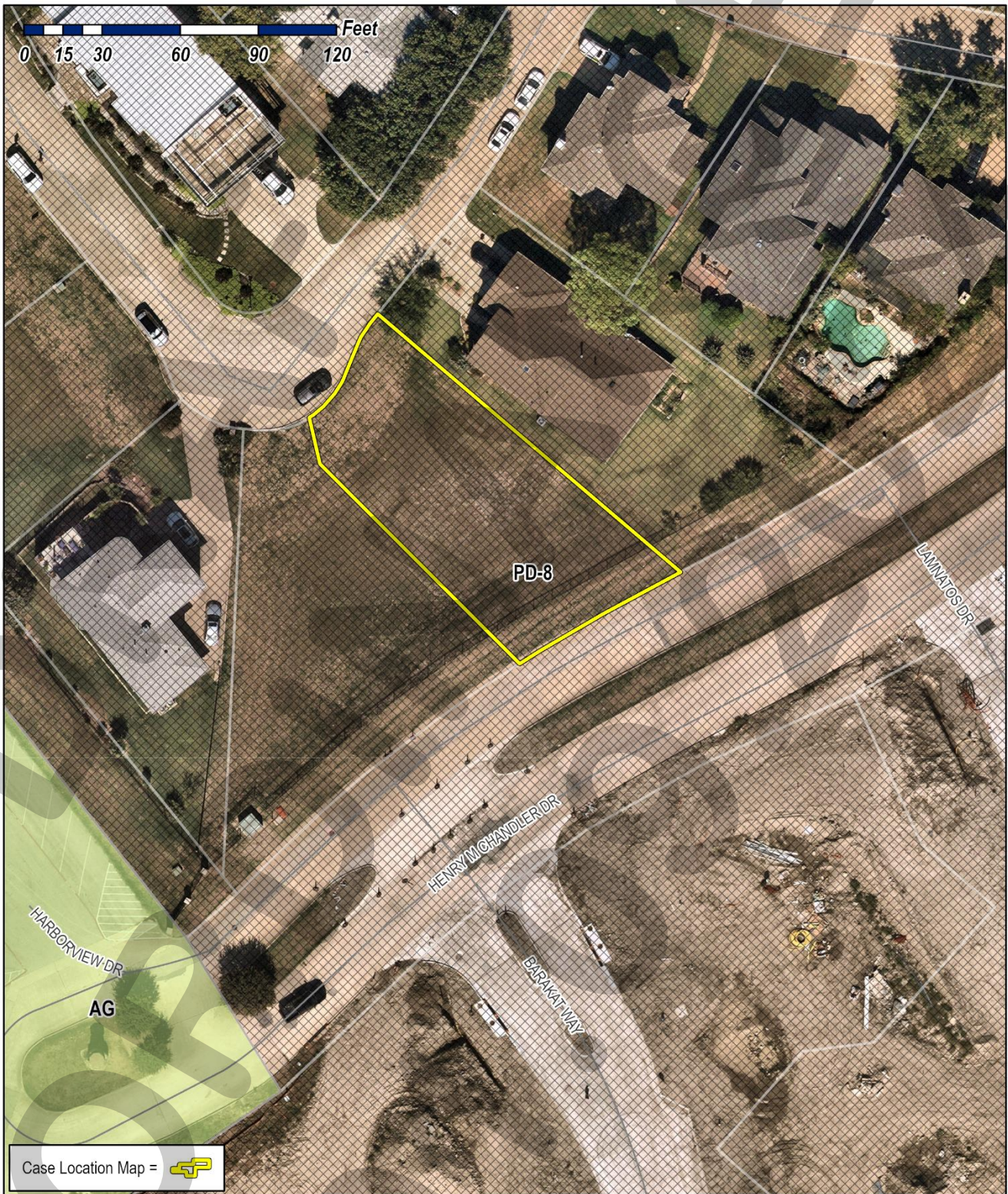
1<sup>st</sup> Reading: January 16, 2024

2<sup>nd</sup> Reading: February 5, 2024

**Exhibit 'A':**  
*Location Map*

Address: 295 Harborview Drive

Legal Description: Lot 22, Block B, Harbor Landing Phase 2 Addition





**Exhibit 'C':**  
*Building Elevations*





**Exhibit 'C':**  
*Building Elevations*





# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council

**DATE:** January 16, 2024

**APPLICANT:** Paul Arce

**CASE NUMBER:** Z2023-056; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision for 295 Harborview Drive*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for *Residential Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on October 30, 1973 by *Ordinance No. 73-43 (Case No. A1973-005)*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. Phase 2 of Harborview Landing was later amended by *Ordinance No. 84-16* on April 2, 1984. A Preliminary Plat (*Case No. PZ1987-022-01*) and Final Plat (*Case No. PZ1987-030-01*) were approved on January 1, 1987. A resolution authorizing the settlement of a lawsuit regarding maximum rooftop elevation, maximum pad elevation, and maximum house height was adopted by *Ordinance No. 87-19* on June 15, 1987. A resolution of the City Council of the City of Rockwall clarifying the content of *Ordinance No. 84-16* was adopted on June 15, 1987. On August 7, 2023, the City Council adopted *Ordinance No. 23-40* consolidating all of the ordinances associated with Planned Development District 8 (PD-8); however, no changes were made affecting the subject property. The subject property has remained zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

### PURPOSE

The applicant -- *Paul Arce* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 295 Harborview Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Harborview Drive, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant parcels of land (*i.e. 308 & 310 Harborview Drive*) and two (2) parcels of land developed with single-family homes (*i.e. 306 & 312 Harborview Drive*). North of this is Portview Place, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property Henry M. Chandler Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is a vacant 2.564-acre tract of land (*i.e. Tract 134-12 of the E. Teal Survey, Abstract No. 207*). Beyond this is an additional 2.316-acre vacant tract of land (*i.e. Lot 4, Block A, Spyglass Hill #4 Addition*). Both of these properties are zoned Planned Development District 8 (PD-8) and are currently under development for the Marina Village Subdivision.

East: Directly east of the subject property are four (4) parcels of land (*i.e. 293 Harborview and 201, 203, & 205 Harbor Landing Drive*) developed with single-family homes. Beyond this is Harbor Landing Drive, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is the remainder of Phase 1 of the Harbor Landing Subdivision, which was established on December 22, 1986, and consists of 38 residential lots. Following this is a portion of a vacant 6.242-acre tract of land (*i.e. Tract 134-06 of the E. Teal Survey, Abstract No. 207*) that serves as open space for the Chandler's Landing Subdivision. All of these properties are zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is a vacant parcel of land (*i.e. 295 Harborview Drive*) zoned Planned Development District 8 (PD-8). West of this is the Lake Ray Hubbard Takeline and the Chandler's Landing Marina. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard, which is owned and maintained by the City of Dallas.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is adjacent to Phase 1 of the Harbor Landing Subdivision, which has been in existence since December 22, 1986 and consists of 38 residential lots, and is 100.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Harborview Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Harborview Drive	Proposed Housing
Building Height	Two (2) Story	Three (3) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Harborview Drive
Year Built	2012-2020	N/A
Building SF on Property	2,330 SF – 4,982 SF	5,443 SF
Building Architecture	Traditional Brick/Stucco and Modern Contemporary	Modern Contemporary
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet, 2-Inches
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet
Rear	The rear yard setbacks appear conform to the	21-Feet, 7-Inches

	required ten (10) feet rear yard setback.	
Building Materials	Brick, Stone, Stucco	Stucco, Stone, Metal
Paint and Color	Red, Tan, Brown, Grey, White, Black	White, Brown, Grey
Roofs	Composite Shingles, Metal Roofs	Composite Shingles
Driveways	Driveways are all in the front with the orientations being <i>flat front entry</i> .	The garage is proposed to be situated even with the front façade of the home.

In this case, the applicant is proposing a single-family home that is not conforming to two (2) standards outlined in the Unified Development Code (UDC). These are as follows:

- (1) Garage Orientation. According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the proposed garage is located even with the front façade of the single-family home. When looking at this non-conformity, staff should point out that since the construction range for housing in this phase of the Harbor Landing Subdivision extends from 1992-2000, there are several examples of houses in this area that have a similar garage configuration.
- (2) Roof Pitch. According to Subsection 03.01(A), *General Residential District Standards* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a single-family home with roof pitches of 1:12 and 2:12. Staff should point out that there are other homes in this phase of the Harbor Landing Subdivision with roofs that are similar to the roof design being proposed by the applicant.

With this being said, the approval of a waiver to the garage orientation or roof pitch requirements is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council would be waiving these requirements. With the exception of these two (2) deviations from the *General Residential Standards*, the rest of the request does appear to be in conformance with the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive and the proposed building elevations in the attached packet.

**NOTIFICATIONS**

On December 19, 2023, staff mailed 133 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Chandler’s Landing, The Cabana at Chandler’s Landing, Match Point Townhomes, Cutter Hill Phase 1, Cutter Hill Phase 2, Cutter Hill Phase 3, Spyglass Phases 2 & 3, and Spyglass Phase 1 Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notices in favor of the applicant’s request.

**CONDITIONS OF APPROVAL**

If City Council chooses to approve of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
  - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of the draft ordinance; and,

- (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On January 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-1, with Commissioner Conway absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p><b>PLATTING APPLICATION FEES:</b></p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p><b>SITE PLAN APPLICATION FEES:</b></p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p><b>ZONING APPLICATION FEES:</b></p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input checked="" type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 &amp; 2</sup> <b>\$215</b></p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><b>OTHER APPLICATION FEES:</b></p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup></p> <p><b>NOTES:</b></p> <p><sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p><sup>2</sup>: A <b>\$1,000.00</b> FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
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## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **295 Harborview DR. Rockwall TX 75032**

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____	CURRENT USE _____
PROPOSED ZONING _____	PROPOSED USE _____
ACREAGE _____	LOTS [CURRENT] _____
	LOTS [PROPOSED] _____

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<b>KISANET GHEBRETSADIK</b>	<input checked="" type="checkbox"/> APPLICANT	<b>Paul Arce</b>
CONTACT PERSON	_____	CONTACT PERSON	_____
ADDRESS	<b>297 BLACKHAW DR</b>	ADDRESS	<b>5807 Ranger Dr</b>
CITY, STATE & ZIP	<b>FATE, TX 75087</b>	CITY, STATE & ZIP	<b>Rockwall TX 75032</b>
PHONE	<b>206-351-9741</b>	PHONE	<b>(972) 365-6823</b>
E-MAIL	<b>KISANETGHEBRETSADIK@gmail.com</b>	E-MAIL	<b>paularce tx@yahoo.com</b>

## NOTARY VERIFICATION [REQUIRED]

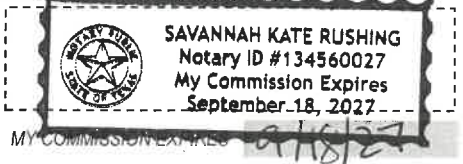
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **TRAVELDE ABREHAM** [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ **10.00** TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE **14** DAY OF **DECEMBER**, 20**23** BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE **14** DAY OF **12** 20**23**

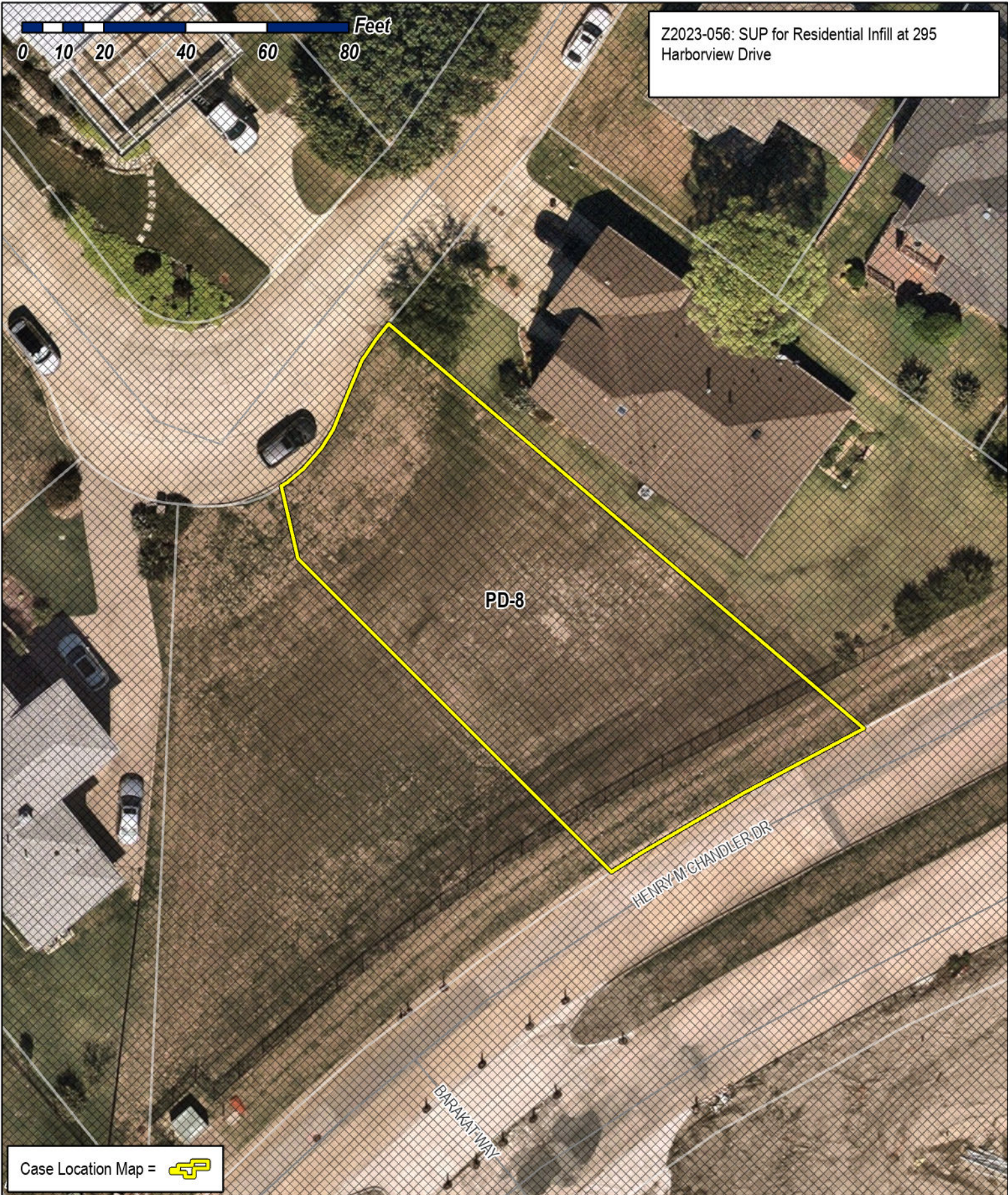
OWNER'S SIGNATURE **Kisanet**


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS **SK**





Z2023-056: SUP for Residential Infill at 295 Harborview Drive



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

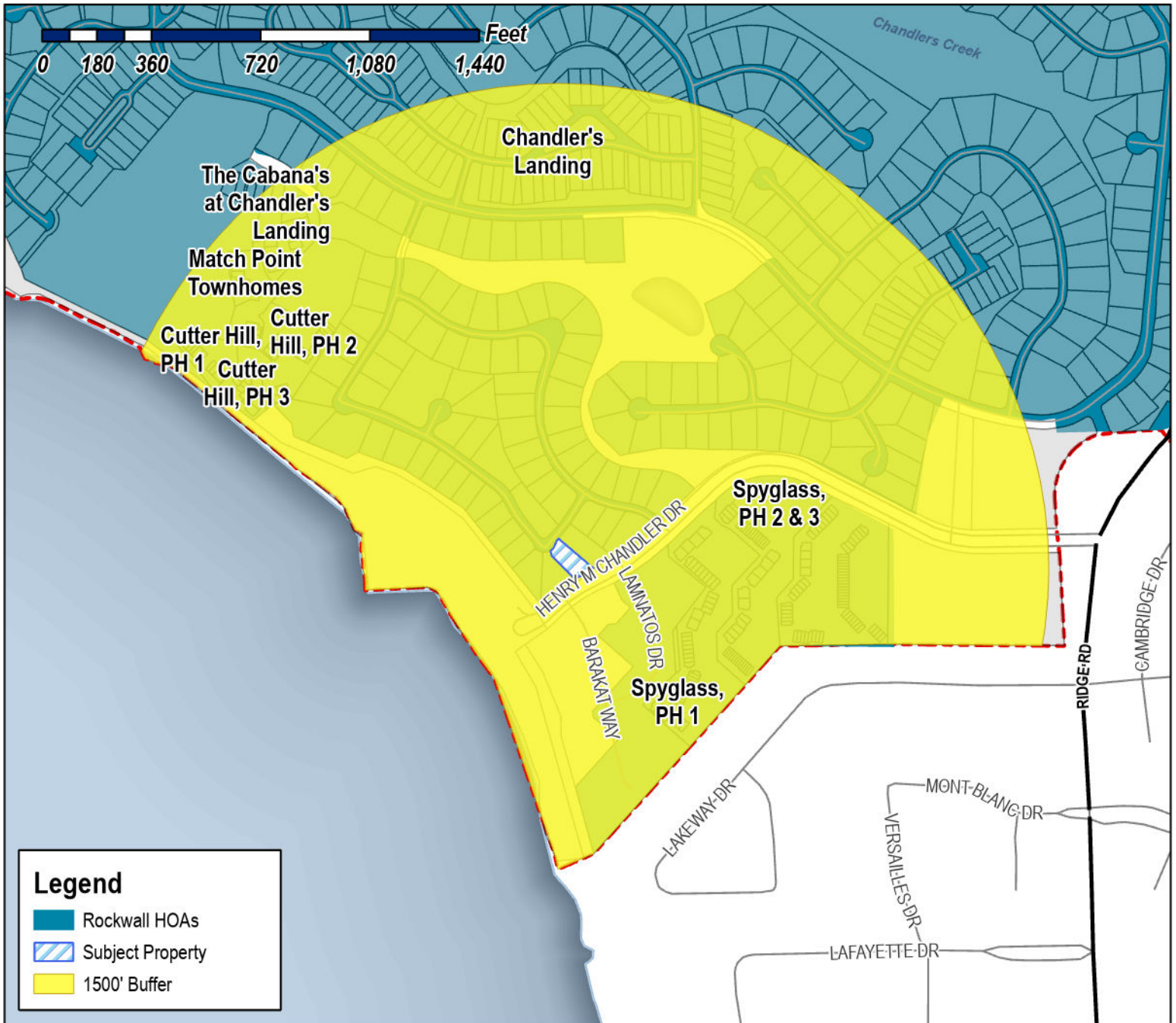




# City of Rockwall

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**Case Number:** Z2023-056  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 295 Harborview Drive

**Date Saved:** 12/15/2023  
 For Questions on this Case Call (972) 771-7745





## Lee, Henry

---

**From:** Zavala, Melanie  
**Sent:** Tuesday, December 19, 2023 10:14 AM  
**Cc:** Miller, Ryan; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-056]  
**Attachments:** Public Notice (P&Z).pdf; HOA Map (12.15.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday December 22, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 9, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 16, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-056: SUP for Residential Infill**

*Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.*

Thank you,

***Melanie Zavala***

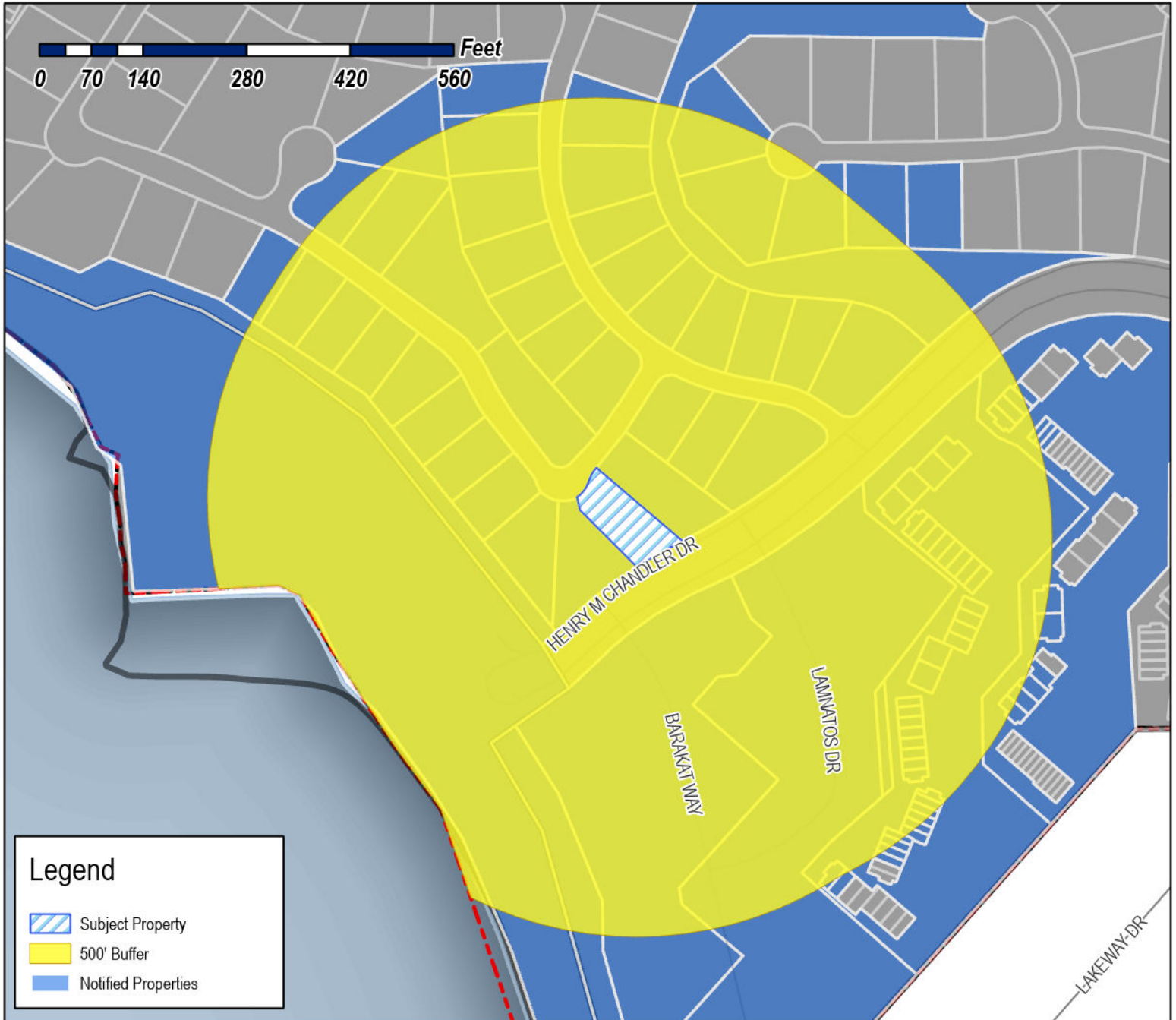
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-056  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 295 Harborview Drive

**Date Saved:** 12/15/2023

For Questions on this Case Call: (972) 771-7746



CHANDLERS LANDING COMMUNITY ASSOC  
1 COMMODORE PLAZA  
ROCKWALL, TX 75032

SESSUMS BILLY A  
10 CLARKSVILLE ST  
PARIS, TX 75460

NGUYEN ANGELINA  
1025 LAKE RIDGE DR  
RICHARDSON, TX 75081

L T L FAMILY HOLDINGS LLC  
106 SAWGRASS DR  
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC  
106 SAWGRASS DR  
ROCKWALL, TX 75032

STRANN MICHAEL RAY  
112 OLD GLORY LN  
FORNEY, TX 75126

SRP SUB, LLC  
1131 W WARNER RD STE 102  
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD  
115 DEFENDER C  
ROCKWALL, TX 75032

SANCHEZ RAMSES S  
120 APPIAN WAY  
DALLAS, TX 75216

RESIDENT  
132 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
136 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LEDE' HOWARD G AND ANNETTE M  
1360 GOLD COAST DRIVE  
ROCKWALL, TX 75087

RESIDENT  
137 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
138 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
146 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
147 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MACLEOD LYNN  
149 HENRY CHANDLER DR  
ROCKWALL, TX 75032

PARNES ALEXANDRA  
15 KESTREL CT  
ROCKWALL, TX 75032

RESIDENT  
150 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
155 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
155 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
156 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
157 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
158 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
159 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
160 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
161 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

COUGHLIN DIANE AND BRIAN FOULKS  
162 HENRY M CHANDLER DRIVE UNIT 162  
ROCKWALL, TX 75032

RESIDENT  
163 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
164 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LB QUALITY HOMES LLC  
1651 N COLLINS BLVD STE 260  
RICHARDSON, TX 75080

RESIDENT  
166 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KUPERMAN IGOR  
166 HENRY M CHANDLER  
ROCKWALL, TX 75032

RESIDENT  
167 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

BURNETT JAMES AND ELIZABETH  
168 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
169 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
170 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
171 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
172 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
173 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC  
17330 PRESTON ROAD SUITE 220A  
DALLAS, TX 75252

RESIDENT  
175 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MCKNIGHT MARY D  
201 HARBOR LANDING DR  
ROCKWALL, TX 75032

WILSON SEAN  
202 HARBOR LANDING DR  
ROCKWALL, TX 75032

PETERSON LELAND D & JANET  
203 HARBOR LANDING DR  
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND  
CARLOS AUGUSTO MOSQUERA  
204 HARBOR LANDING  
ROCKWALL, TX 75032

RESIDENT  
205 HARBOR LANDING DR  
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST  
MICHAEL D KNABLE TRUSTEE  
205 BENTON DRIVE APT 1202  
ALLEN, TX 75013

D'AMBROSIA DEAN AND MUSTAFA OMAR  
206 HARBOR LANDING DR  
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN  
208 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

ROMER ENTERPRISES, LLC  
2101 BRISBON STREET  
FATE, TX 75189

HUYNH ANN LE  
2206 STONE HOLLOW DRIVE  
ROWLETT, TX 75088

RESIDENT  
236 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
237 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
238 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
249 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
250 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KIM SEOK H  
2516 WOODHAVEN DR  
FLOWER MOUND, TX 75028

POWELL ALEAH D  
259 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
260 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

NANCE LAYLA SHALON  
261 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

CARNEY DON  
262 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
263 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
264 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
267 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
268 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

FERRIS BETH ANN  
269 HENRY M CHANDLER DRIVE UNIT 269  
ROCKWALL, TX 75032

RESIDENT  
270 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LEMONS BRADLEY & SHARON  
2706 WHISPERING OAKS  
ROCKWALL, TX 75087

RESIDENT  
271 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
272 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
273 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MASON JANIS E  
275 HENRY M CHANDLER DR UNIT 3  
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON  
2807 EASTGROVE LN  
HOUSTON, TX 77027

BALLARD AMANDA L &  
MATTHEW WEST BALLARD  
28106 WHISPERING MAPLE WAY  
SPRING, TX 77386

AMERSON GARY W AND DEBRA J  
293 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
295 HARBORVIEW DR  
ROCKWALL, TX 75032

GHEBRETSADIK KISANET  
295 BLACKHAW DR  
FATE, TX 75087

RESIDENT  
297 HARBORVIEW DR  
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH  
299 HARBORVIEW DRIVE  
ROCKWALL, TX 75032

RESIDENT  
301 HARBORVIEW DR  
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE  
301 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

SERRANO CHRISTIAN  
301 VILLAGE DR APT 307  
KING OF PRUSSIA, PA 19406

GENTLE BILL  
302 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
303 HARBORVIEW DR  
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA  
303 HARBOR LANDING DR  
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C  
304 HARBOR LANDING DR  
ROCKWALL, TX 75032

POTISKA ANDREA  
305 HARBOR LANDING DR  
ROCKWALL, TX 75032

CONFIDENTIAL  
305 HARBORVIEW DR  
ROCKWALL, TX 75032

CLEATON JERRY LEE  
306 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA  
306 HARBORVIEW DR  
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI  
307 HARBOR LANDING DR  
ROCKWALL, TX 75032

CROMEENS SHAN  
307 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
308 HARBORVIEW DR  
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE  
308 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
309 HARBORVIEW DR  
ROCKWALL, TX 75032

LARK KENNETH LAWRENCE & MAURITA NICOLE  
309 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
310 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
310 HARBORVIEW DR  
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA  
310 HARBOR LANDING DR  
ROCKWALL, TX 75032

TAYLOR ANTHONY  
311 HARBOR LANDING  
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA  
311 HARBORVIEW DR  
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L  
312 PORTVIEW PL  
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND  
ROSSITZA I POPOVA  
313 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R  
313 HARBORVIEW DR  
HEATH, TX 75032

PENCE DENNIS AND DIANNA  
314 PORTVIEW PL  
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE  
315 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
338 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KEITH BENJAMIN AND  
SHERYL KEITH  
3403 WATERVIEW TRAIL  
ROCKWALL, TX 75087

RESIDENT  
371 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
372 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
373 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
374 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST  
JERRY C NELSON AND MARIBETH NELSON-  
TRUSTEES  
410 COLUMBIA DRIVE  
ROCKWALL, TX 75032

FRONTERA JOSE ANTONIO & CAROLINE  
4241 BUENA VISTA #18  
DALLAS, TX 75205

MCHALE JOHN D JR  
457 LAURENCE DRIVE SUTIE 168  
HEATH, TX 75032

SCHARF ALLEN J  
501 VILLAGE DR APT 307  
KING OF PRUSSA, PA 19406

SCHARF ALLEN J  
501 VILLAGE DR APT 307  
KING OF PRUSSA, PA 19406

M & H PROPERTIES INC  
5575 CANADA CT  
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN  
5575 CANADA CT  
ROCKWALL, TX 75032

BRENDA BEJARANO REVOCABLE TRUST  
BRENDA BEJARANO- TRUSTEE  
6105 VOLUNTEER PLACE  
ROCKWALL, TX 75032

BRYNE PATRICK AND LAURA KRUSE  
6107 VOLUNTEER PLACE  
ROCKWALL, TX 75032

P&P PAINTING REPAIRS AND REMODELING  
6109 PLANTATION LN  
FLOWER MOUND, TX 75022

P&P PAINTING REPAIRS AND REMODELING  
6109 PLANTATION LN  
FLOWER MOUND, TX 75022

MARSH ELIZABETH AND JACK  
6109 VOLUNTEER PL  
ROCKWALL, TX 75032

BROWN BRYAN K  
6111 VOLUNTEER PL  
ROCKWALL, TX 75032

MAZUR MELISSA  
6112 VOLUNTEER PL  
ROCKWALL, TX 75032

BLASSINGAME KENNETH E ETUX  
6227 HIGHGATE LN  
DALLAS, TX 75214

JOHNSON FAMILY TRUST  
628 SHADOW WOOD LN  
HEATH, TX 75032

RESIDENT  
7 GREENBELT  
ROCKWALL, TX 75032

ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

KLINE LINDA ANN MULLANE  
8090 FRANKFORD RD APT 119  
DALLAS, TX 75252

ARA MANAGEMENT LLC  
9906 LINCOLNSHIRE LN  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-056: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-056: SUP for Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name:

Michael and Lisa C. Crider

Address:

[Redacted address]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-056: SUP for Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

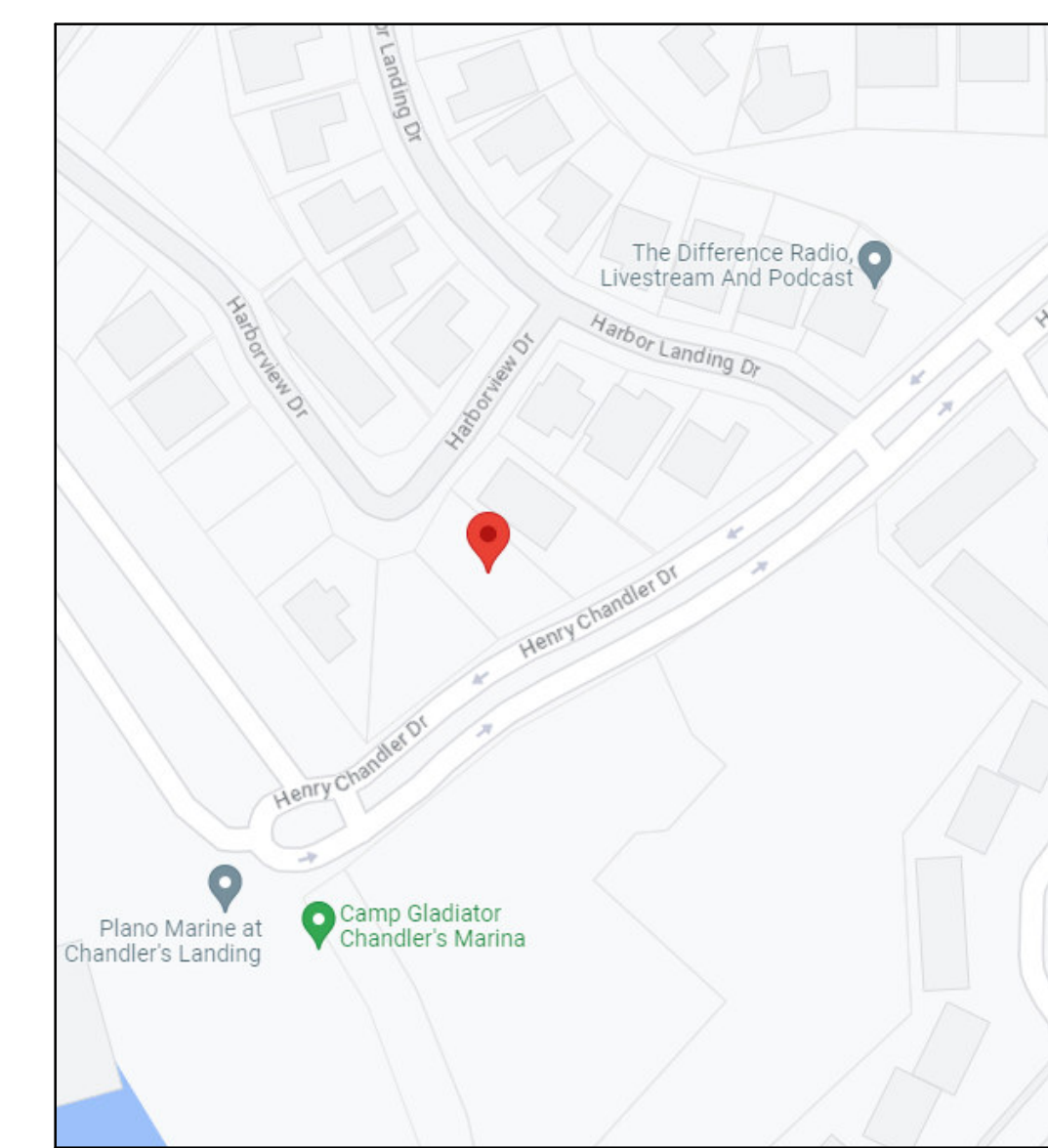
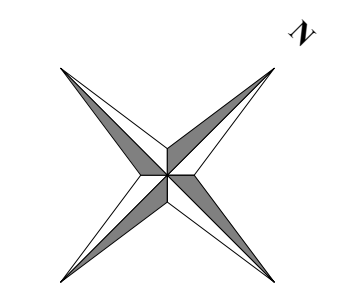
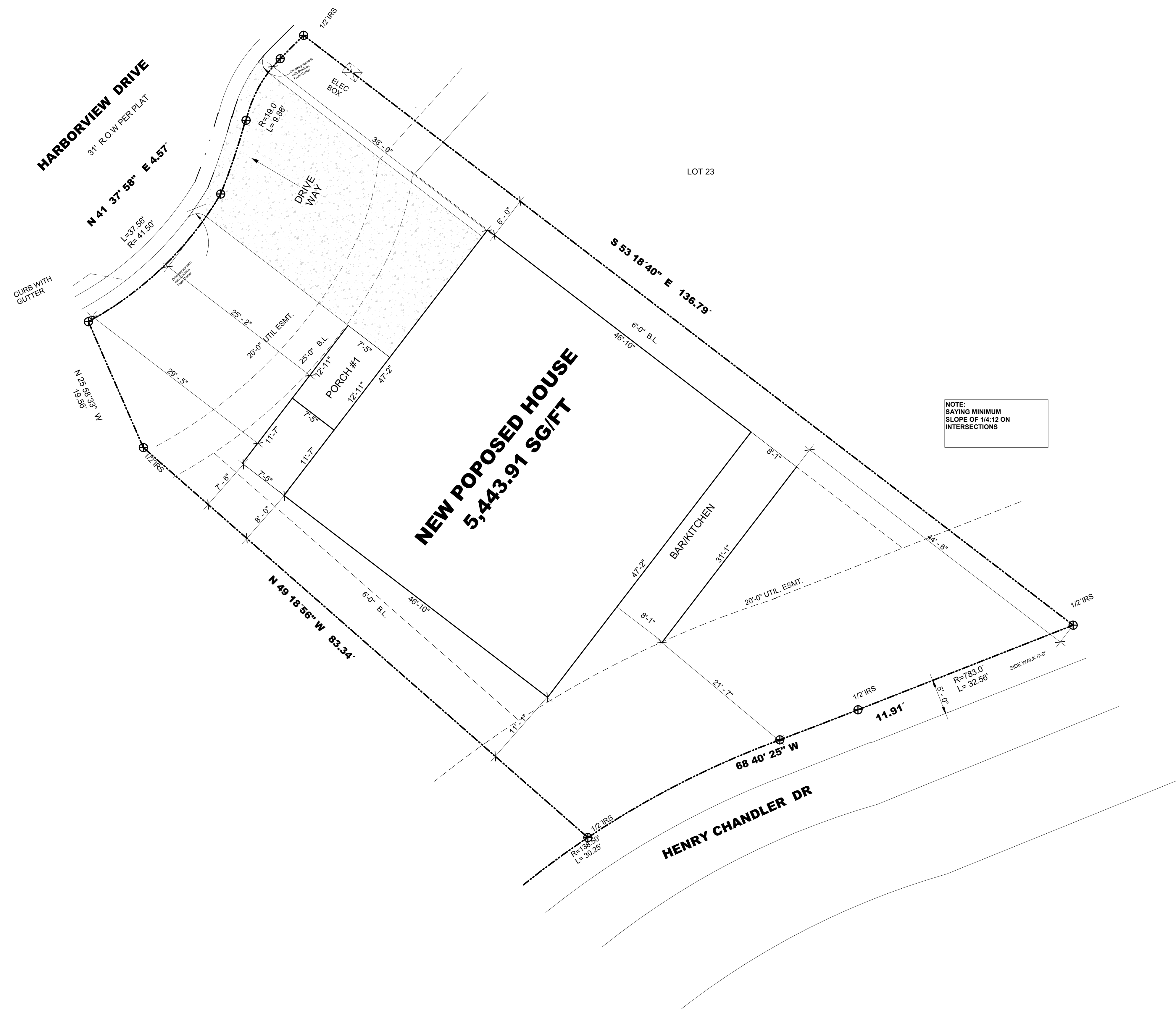
\* DO NOT WANT HOUSE TO BLOCK VIEW OF LAKE  
FOR ~~EXISTING~~ EXISTING HOME OWNERS,  
\* MAYBE INCUR HEIGHT LIMITATION IN DESIGN.  
\* NO TREES TALLER THAN HOUSE

Name:

Address:

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

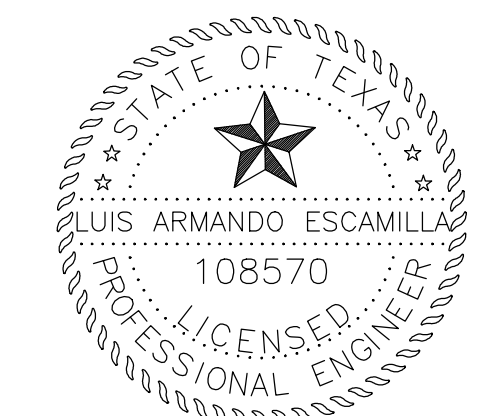
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP

**295 HARBORVIEW DR,  
ROCKWALL, TX 75032**

Proposed First Floor Plan	1,740 SG/FT
Proposed Second Floor Plan	1,640 SG/FT
Proposed Third Floor Plan	468 SG/FT
<b>Total New Construction</b>	<b>3,848 SG/FT</b>
Proposed Garage	564 SG/FT
Proposed Porch #1	96 SG/FT
Proposed Bar/ Kitchen	251.91 SG/FT
Proposed Balcony #1	120 SG/FT
Proposed Balcony #2	108 SG/FT
Proposed Porch #2	48 SG/FT
Proposed Terrace	408 SG/FT
<b>Total New Construction</b>	<b>5,443.91 SG/FT</b>
Lot	22
Country	Rockwall
City	Rockwall
Lot Area	<b>0.14 Acres</b>
Max Lot Coverage	35%
Lot Coverage	65%



10/07/2023  
FIRM# 18123

*L. Escamilla*



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

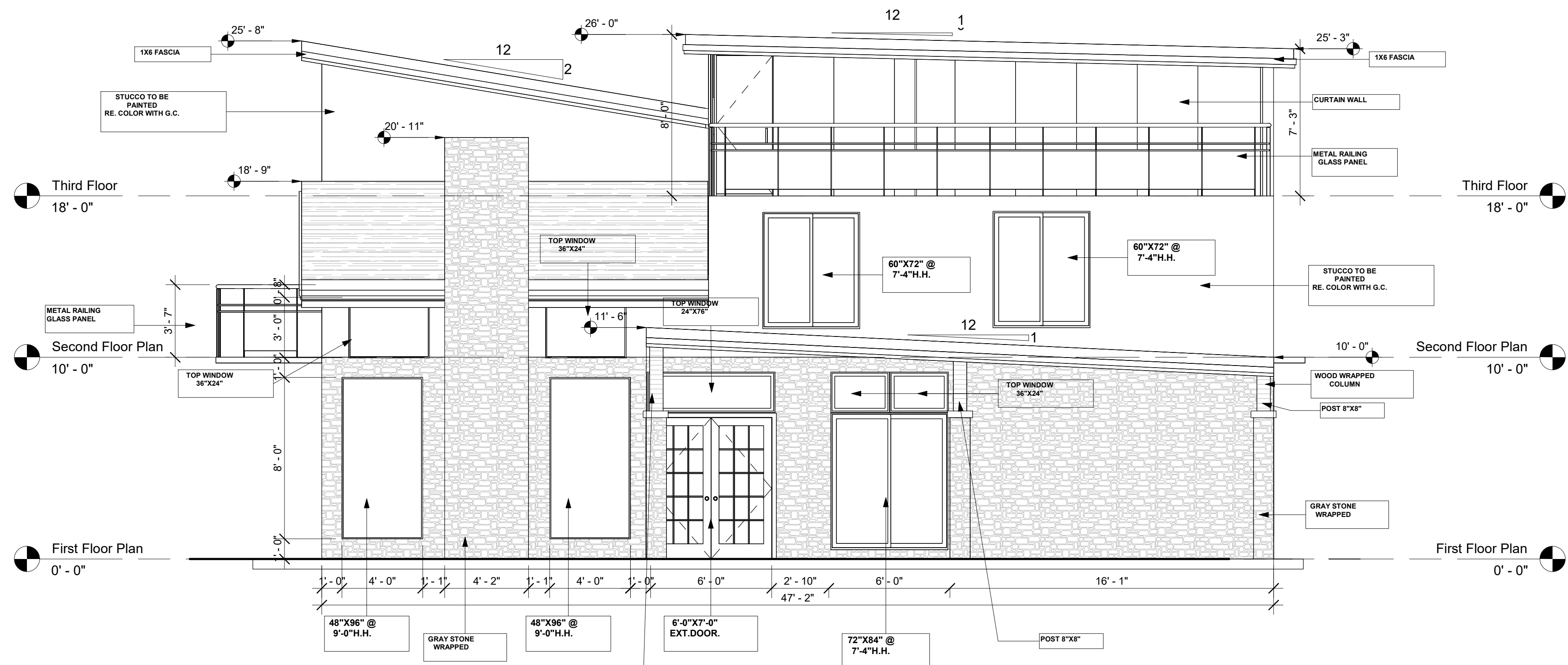
**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032

**Legal Description**  
LOT 22, BLOCK B

**SITE PLAN**

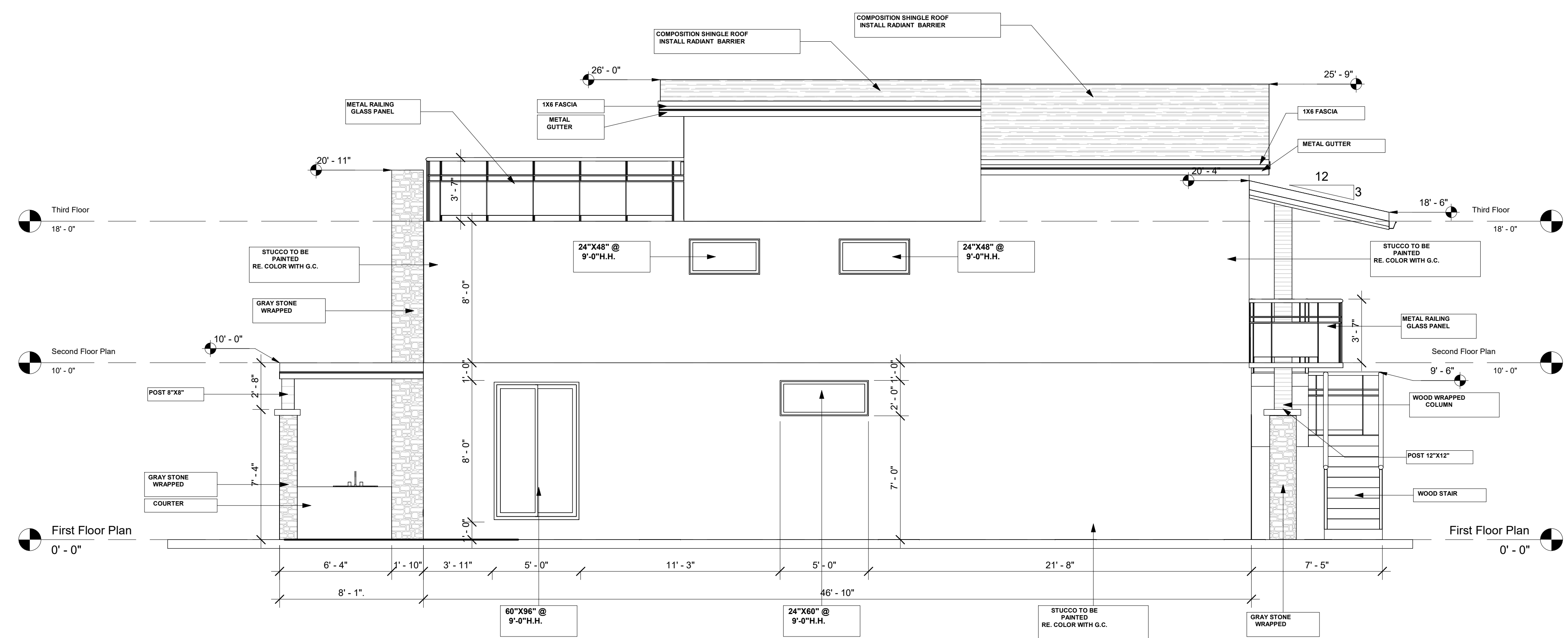
Date: 9/29/2023      Scale: 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



**1 REAR ELEVATION**

1/4" = 1'-0"



**2 LEFT ELEVATION**

1/4" = 1'-0"

  
 10/07/2023  
 FIRM# 18123  
*L. Escamilla*



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.  
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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

ELEVATIONS	
Date:	9/29/2023
Scale	1/4" = 1'-0"
Drawn by: Projects & Construction Araque	

10.1



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_FRONT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_RIGHT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.1



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_REAR**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.2



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_LEFT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.3





THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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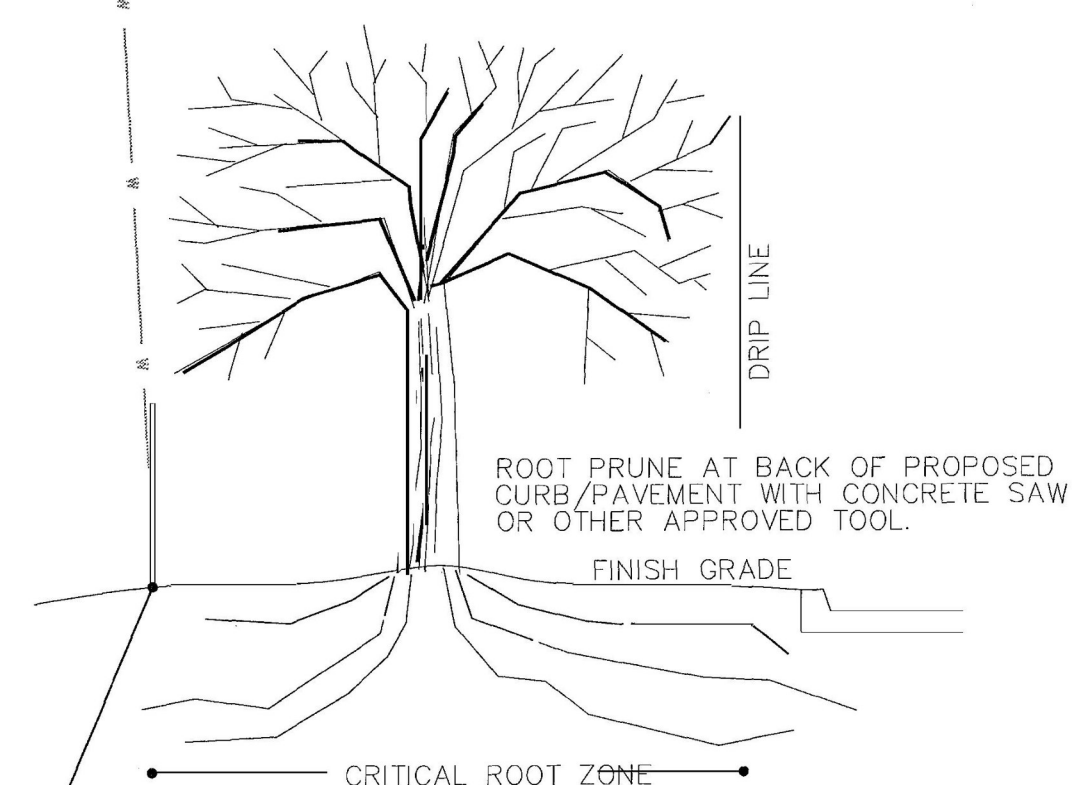
**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.4

# DETAIL

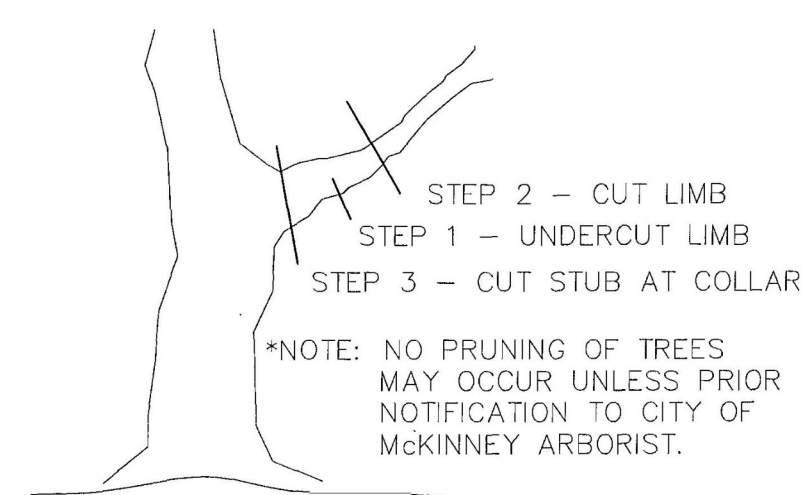


INSTALL 6 FT ORANGE VINYL PROTECTIVE FENCE AT DRIP LINE - ALL PROTECTED TREES.  
DO NOT PARK OR DRIVE VEHICLES OR CONSTRUCTION EQUIPMENT BENEATH DRIP LINE.

DO NOT MODIFY GRADE BENEATH DRIP LINE UNLESS APPROVED BY CITY ARBORIST.  
DO NOT WASH OUT CONCRETE TRUCKS OR STORE ANY CONSTRUCTION MATERIALS BENEATH DRIP LINE.

## TREE PROTECTION FENCING/PRUNING

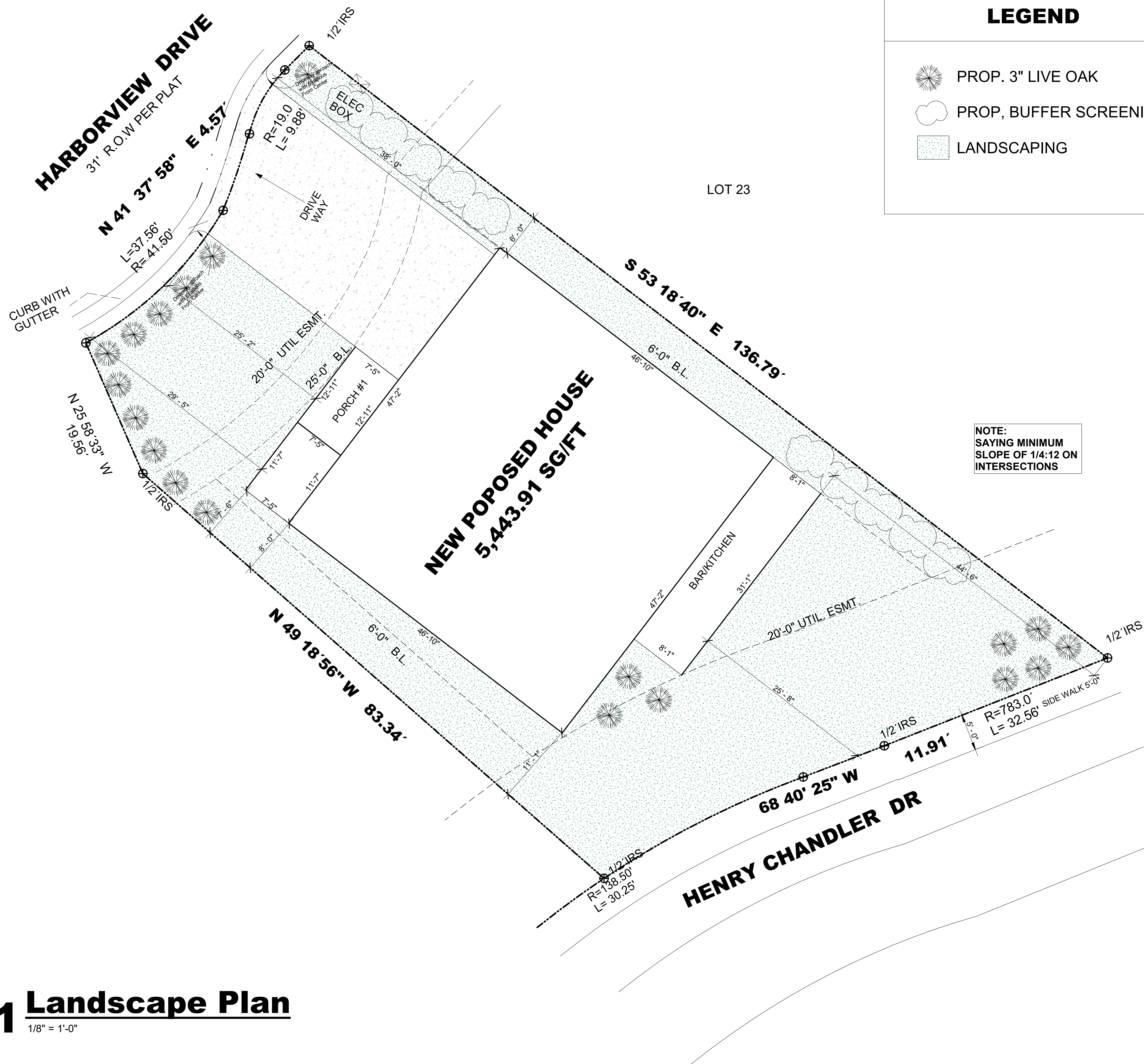
SCALE: NONE



## TREE PRUNING

SCALE: NONE

**HARBORVIEW DRIVE**  
31' ROW PER PLAT

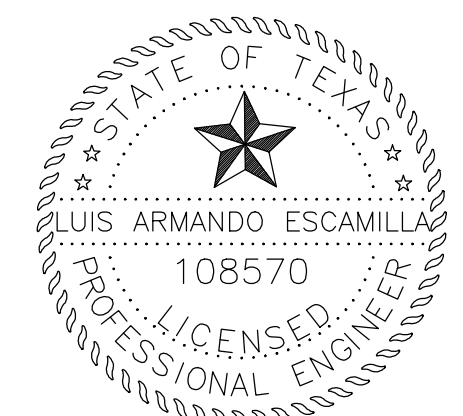


NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS

LEGEND	
	PROP. 3" LIVE OAK
	PROP. BUFFER SCREENING SHRUBS
	LANDSCAPING

# 1 Landscape Plan

1/8" = 1'-0"



10/07/2023  
FIRM# 18123

*L. Escamilla*



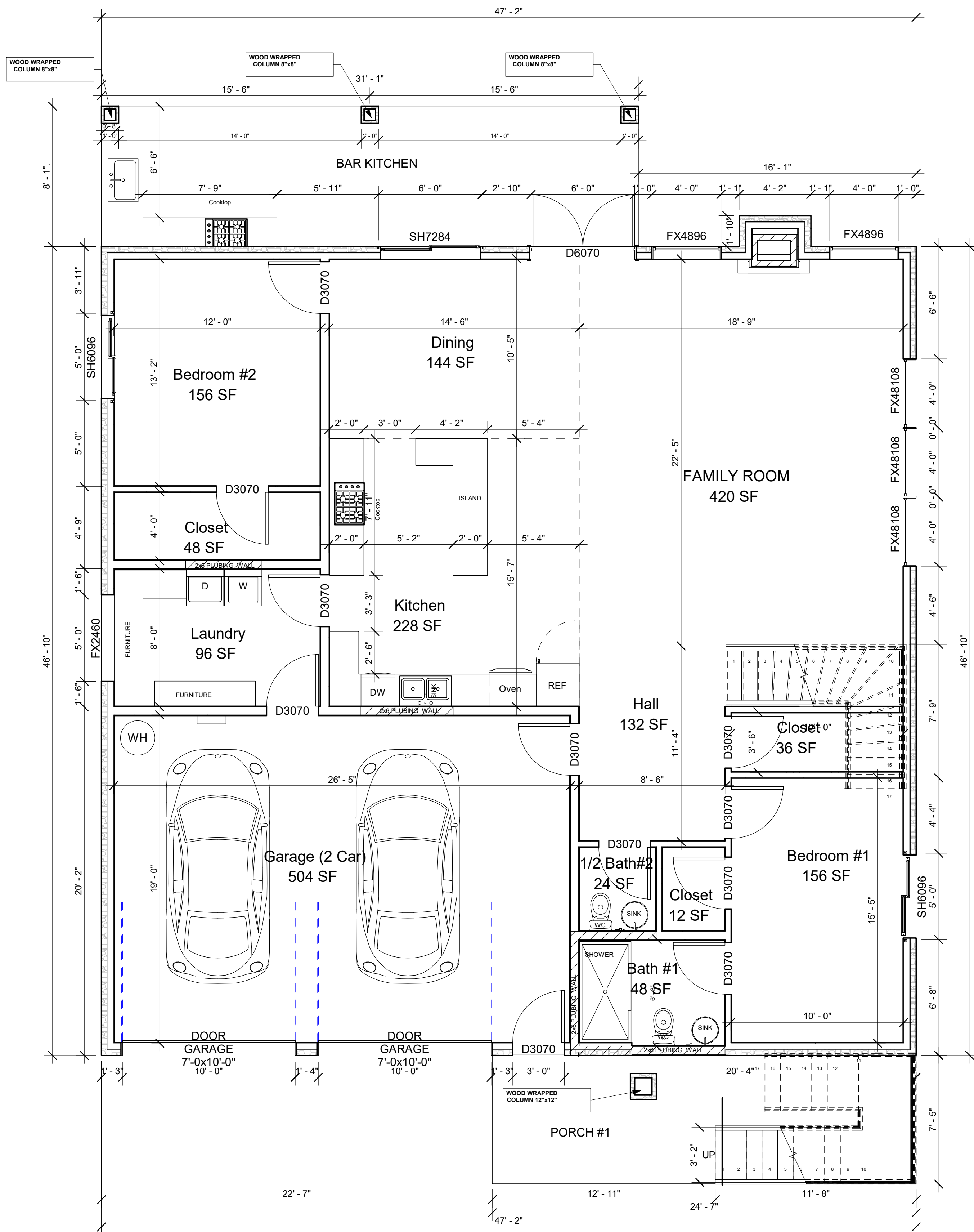
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**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

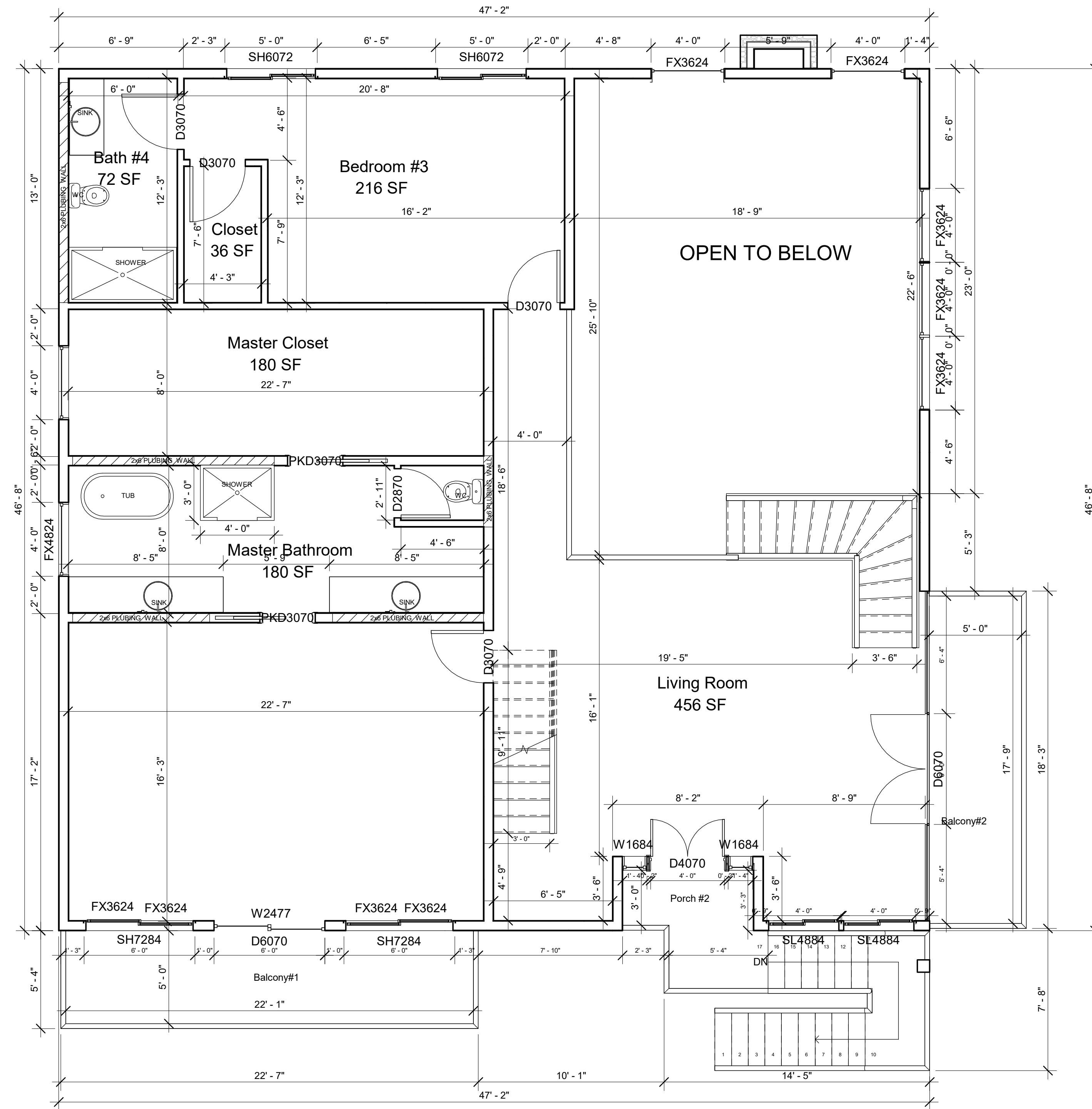
# LANDSCAPE PLAN

Date: 9/29/2023 Scale: 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



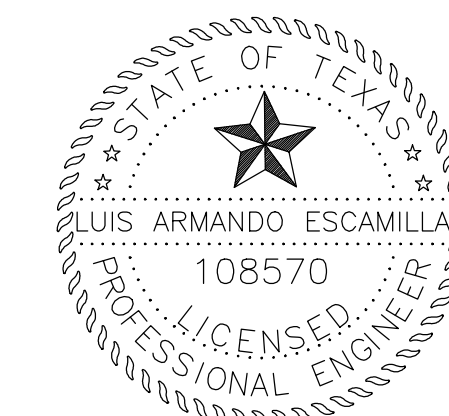
**1 First Floor Plan**

1/4" = 1'-0"



**2 Second Floor Plan**

1/4" = 1'-0"



10/07/2023  
FIRM# 18123

*L. Escamilla*



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**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

**FLOOR PLAN**

Date: 9/29/2023 Scale: 1/4" = 1'-0"  
Drawn by: Projects & Construction Araque



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
201 Harbor Landing	Single-Family Home	1988	3,560	N/A	Brick and Siding
203 Harbor Landing	Single-Family Home	1993	4,145	N/A	Brick
205 Harbor Landing	Single-Family Home	1993	2,950	N/A	Brick and Siding
293 Harborview	Single-Family Home	2016	3,518	N/A	Brick and Stone
295 Harborview	Vacant	N/A	N/A	N/A	N/A
297 Harborview	Vacant	N/A	N/A	N/A	N/A
299 Harborview	Single-Family Home	2013	4,346	N/A	Brick, Stone, and Siding
301 Harbor Landing	Single-Family Home	1994	4,158	N/A	Brick
301 Harborview	Vacant	N/A	N/A	N/A	N/A
306 Harborview	Single-Family Home	2018	6,558	N/A	Stucco, Siding, and Stone
307 Harborview	Single-Family Home	2020	4,275	N/A	Brick
310 Harborview	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		2004	4,189	#DIV/0!	



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

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201 Harbor Landing



203 Harbor Landing



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

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205 Harbor Landing



293 Harborview



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



295 Harborview



297 Harborview



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



299 Harborview



301 Harbor Landing





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

**PLANNING AND ZONING DEPARTMENT**

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301 Harborview



306 Harborview



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



307 Harborview



310 Harborview

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1377-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 22, BLOCK B, OF THE HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Paul Arce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, of the Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] for Single-Family 7 (SF-7) District land uses, addressed as 295 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF FEBRUARY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: January 16, 2024

2<sup>nd</sup> Reading: February 5, 2024

**Exhibit 'A':**  
*Location Map*

Address: 295 Harborview Drive

Legal Description: Lot 22, Block B, Harbor Landing Phase 2 Addition

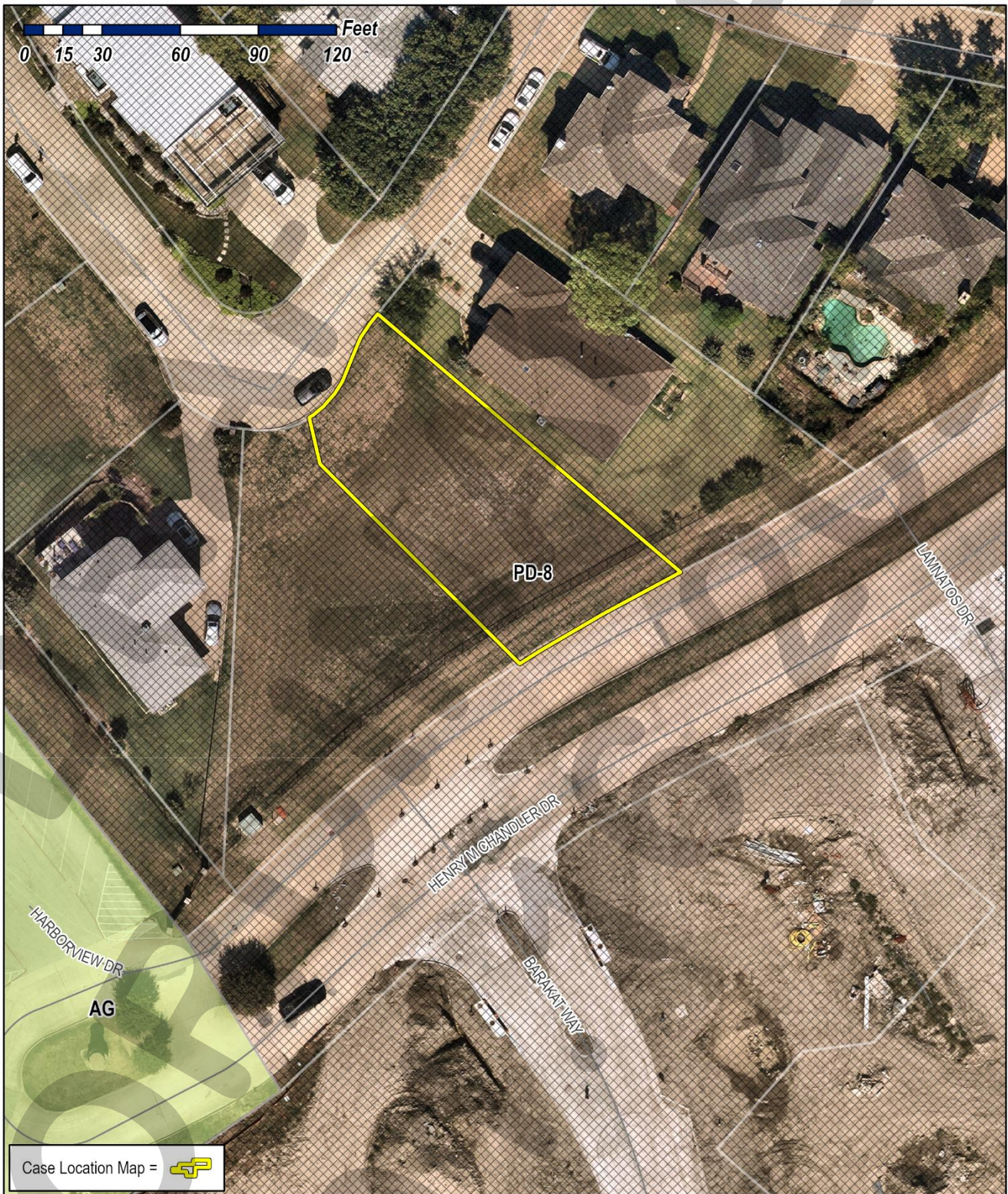
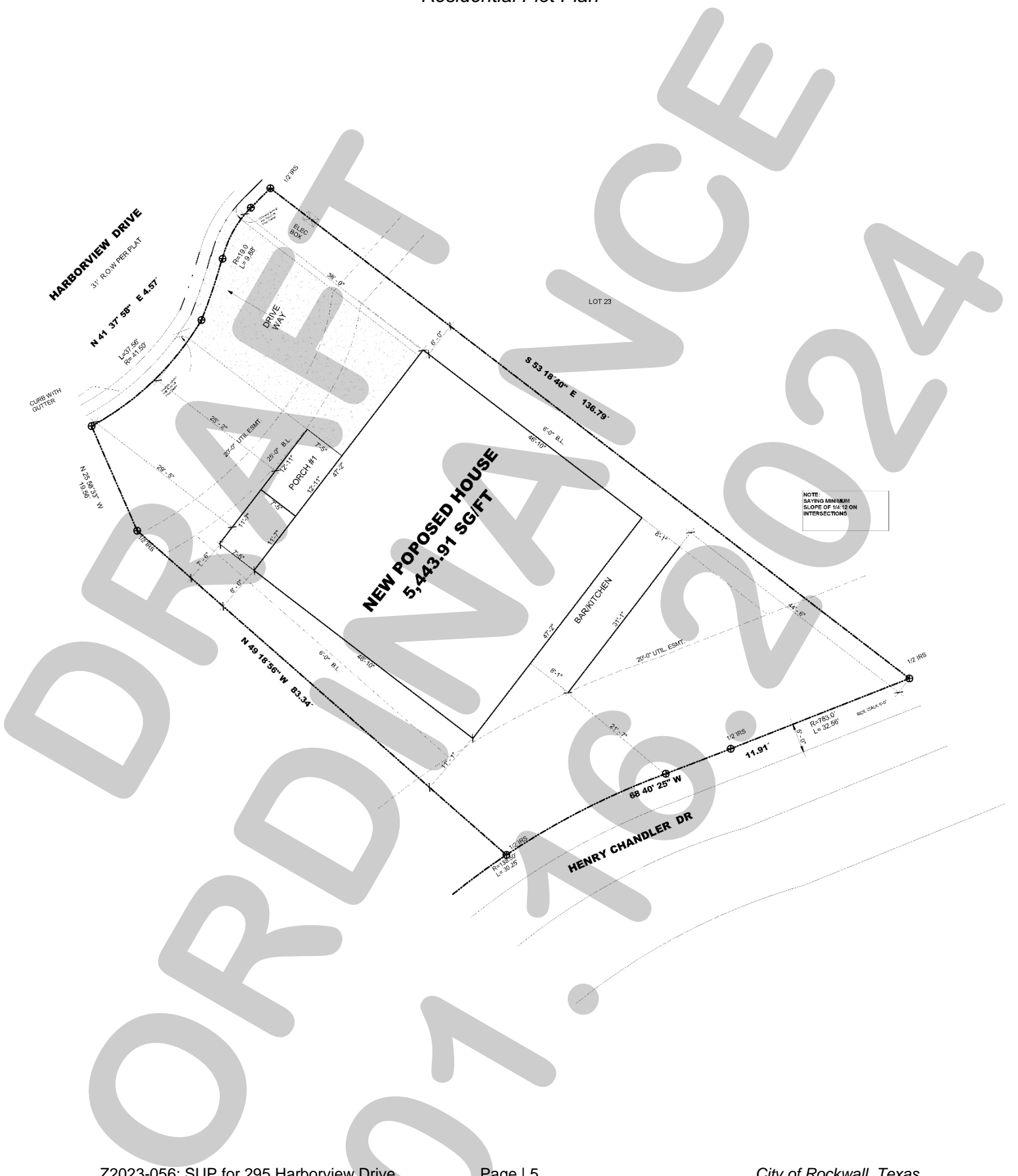


Exhibit 'B':  
Residential Plot Plan



NOTE:  
SAVING MINIMUM  
SLOPE OF 1/4" 12' ON  
INTERSECTIONS

**Exhibit 'C':**  
*Building Elevations*





**Exhibit 'C':**  
*Building Elevations*





February 6, 2024

TO: Paul Arce  
5807 Ranger Drive  
Rockwall, TX 75032

CC: Kisanet Gherbitsabik  
297 Blackhaw Drive  
Fate, TX 75087

FROM: Angelica Guevara  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2023-056; *Specific Use Permit (SUP) For Residential Infill Adjacent to an Established Subdivision*

Mr. Arce:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on February 5, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:

- (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

Planning and Zoning Commission

On January 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0, with Commissioner Conway absent.

City Council

On January 16, 2024, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

On February 5, 2024, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 24-05, S-325*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6438.

Sincerely,

Angelica Guevara, *Planning Technician*  
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 24-05

SPECIFIC USE PERMIT NO. S-325

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1377-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 22, BLOCK B, OF THE HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

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**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

### **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

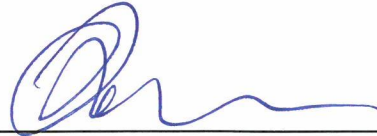
**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

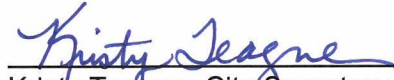
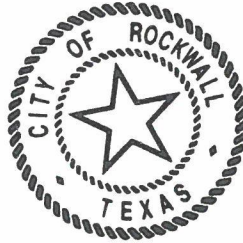
**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF FEBRUARY, 2024.**




Trace Johannesen, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney

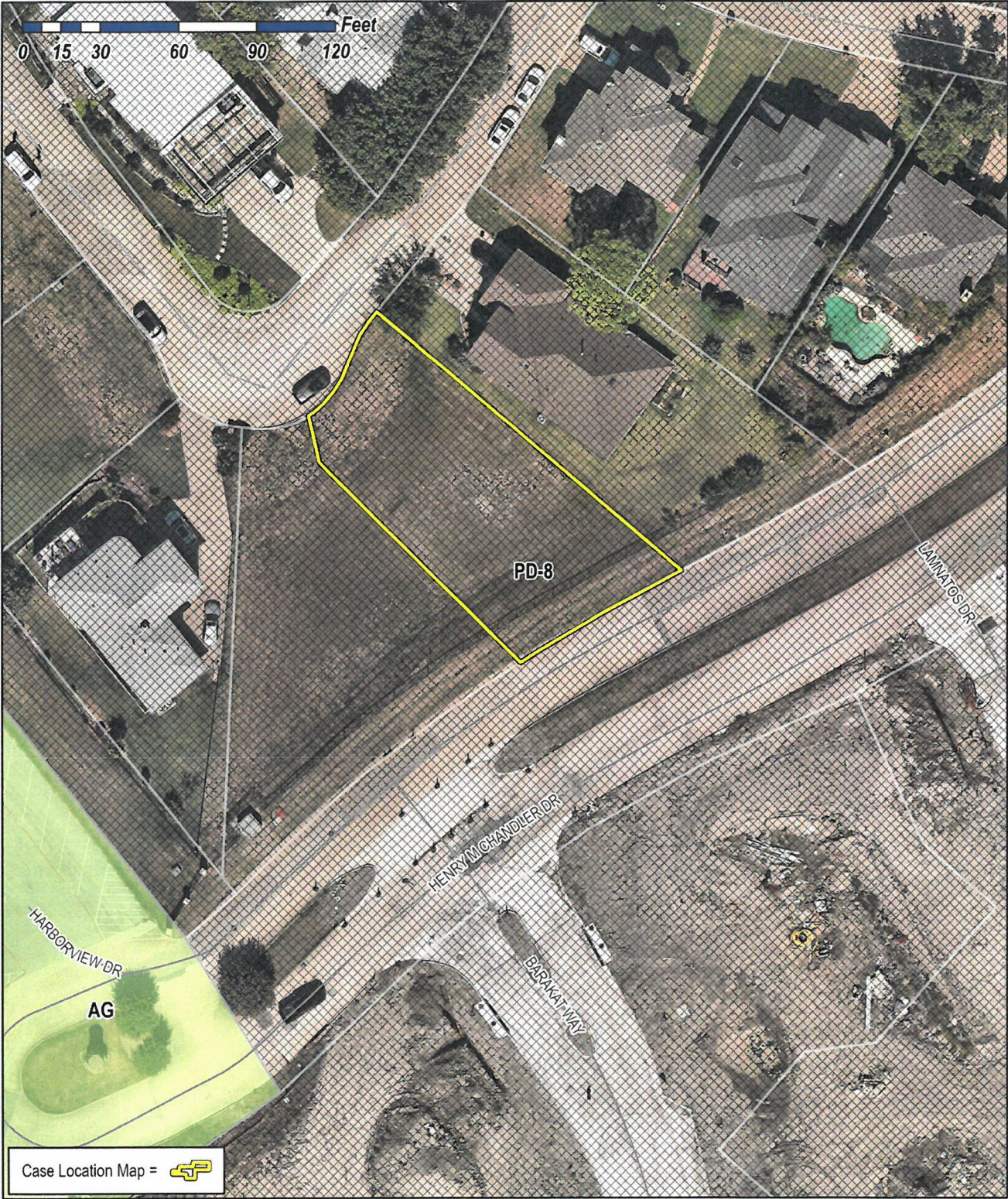
1<sup>st</sup> Reading: January 16, 2024

2<sup>nd</sup> Reading: February 5, 2024

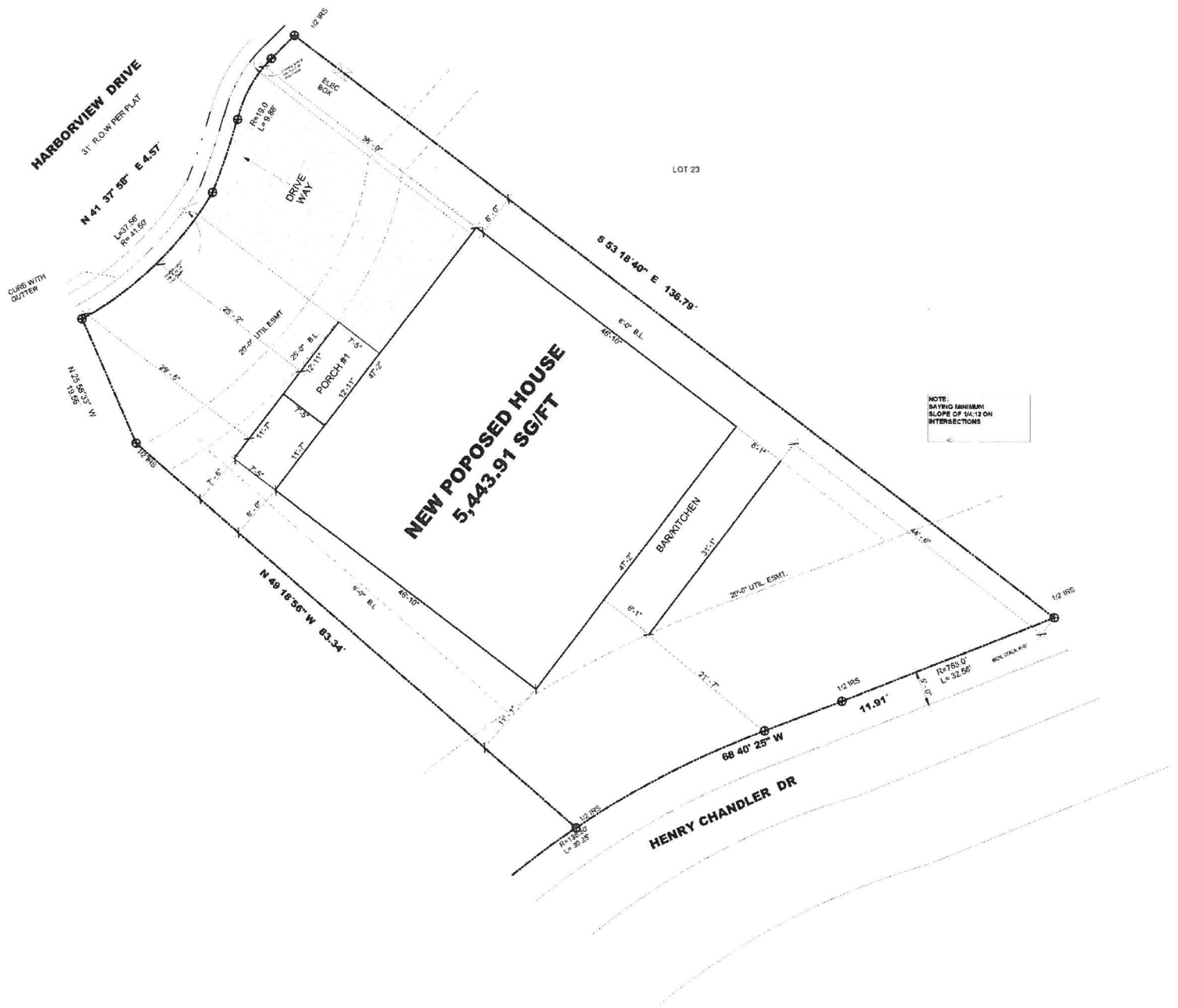
**Exhibit 'A':  
Location Map**

Address: 295 Harborview Drive

Legal Description: Lot 22, Block B, Harbor Landing Phase 2 Addition



**Exhibit 'B':  
Residential Plot Plan**



**Exhibit 'C':**  
*Building Elevations*





**Exhibit 'C':**  
*Building Elevations*

