



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address _____

Subdivision Stone Creek Retail Addition

Lot

12

Block

A

General Location North East Corner of N. Goliad St and Bordeaux Dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-070

Current Use

Undeveloped

Proposed Zoning PD-070

Proposed Use

Retail

Acreage 0.93

Lots [Current] 1

Lots [Proposed] 2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Metroplex Acquisition Fund, LP

Applicant ClayMoore Engineering

Contact Person Staci Bowen

Contact Person Clay Cristy

Address 1717 Woodstead Ct.

Address 1903 Central Dr.

Ste. 207

Ste. 406

City, State & Zip The Woodlands, TX 77380

City, State & Zip Bedford, Texas 76021

Phone 214.343.4477

Phone 817.281.0572

E-Mail sbowen@crestviewcompanies.com

E-Mail Clay@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

Billy J. Brice III, President of
Metroplex Acquisition Fund, LP

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 482.57, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of September, 20 23. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information.

Signed under my hand and seal of office on this the 14th day of September, 20 23

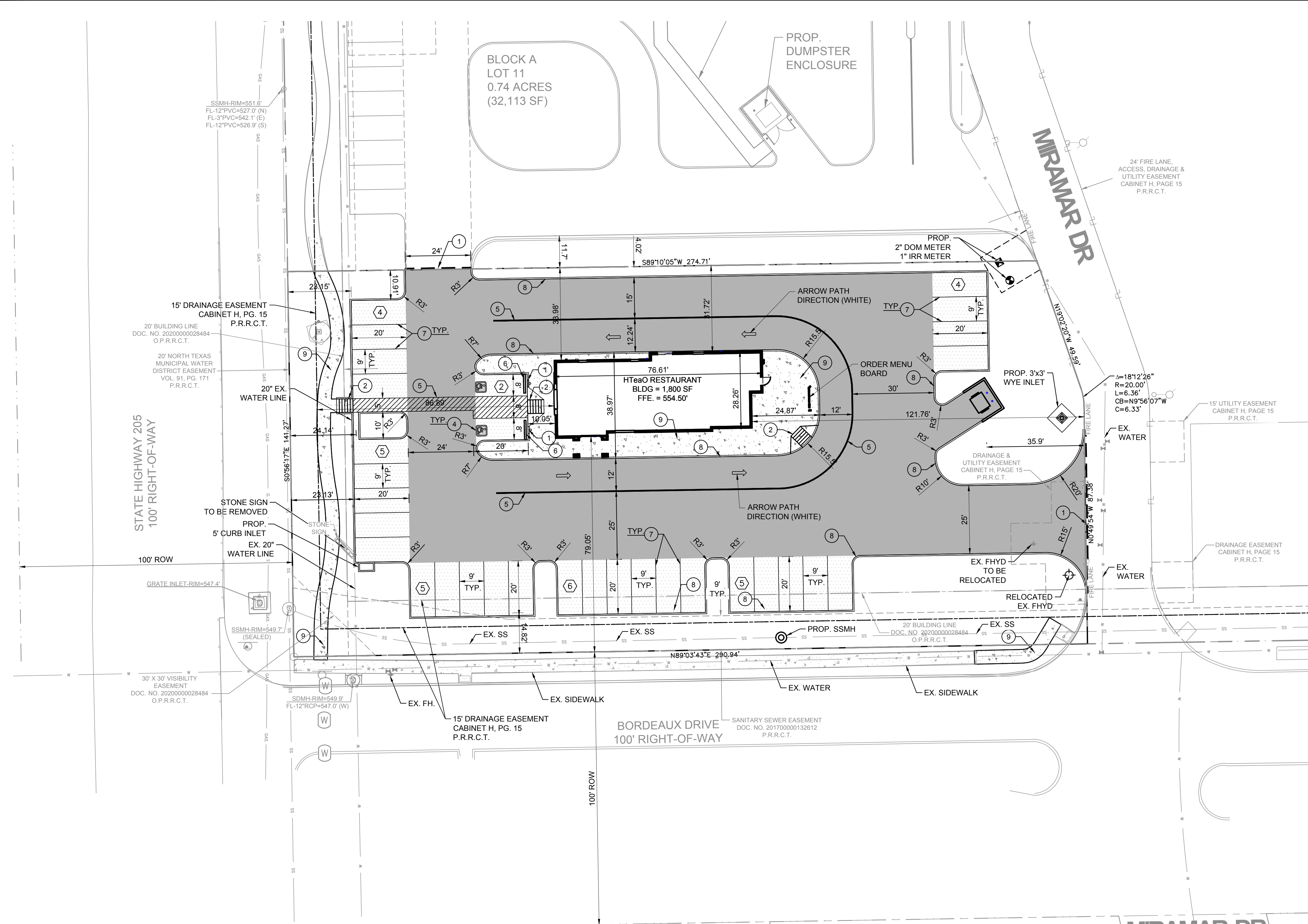
Owner's Signature

My Commission Expires

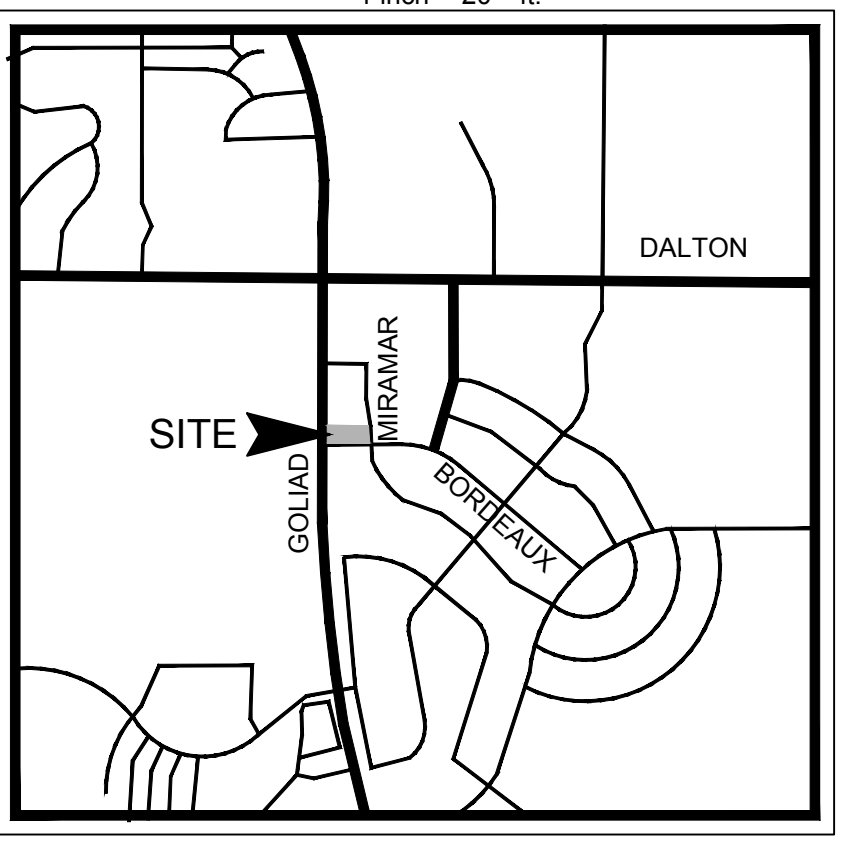
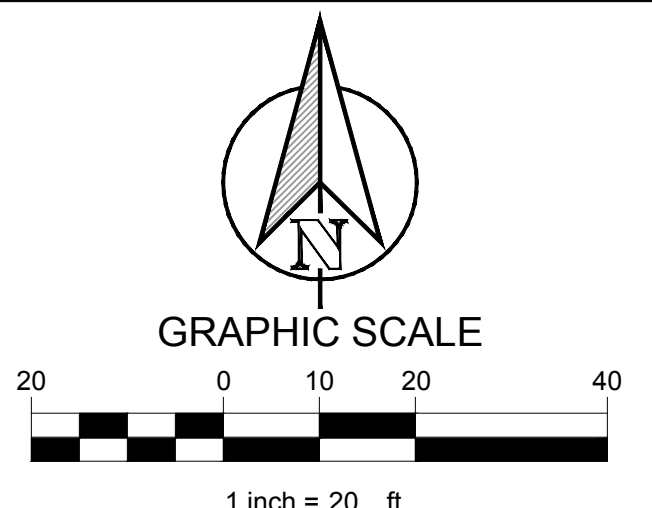
1-27-2025



PLOTTED BY: SASHI SANCA
 PLOT DATE: 9/15/2023 11:22 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2023-110 APPPJ MGMT - HTEAO ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 9/15/2023 11:21 AM



BLOCK A
 LOT 11
 0.74 ACRES
 (32,113 SF)



VICINITY MAP
 N.T.S.

CONSTRUCTION SCHEDULE	
[Pattern]	PROPOSED 5" LIME STABILIZED STANDARD DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 6" LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 5" LIME STABILIZED SIDEWALK CONCRETE PAVEMENT
[Line]	PROPERTY LINE
[Line]	PROPOSED CONCRETE CURB AND GUTTER
[Line]	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
[Line]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

PARKING DATA TABLE	
PARKING REQ.	
DRIVE-THRU RESTAURANT (1,800 SF) @ 100 SF	18 SPACES
PARKING PROVIDED	
STANDARD PARKING	29 SPACES
ADA PARKING	2 SPACES
TOTAL	31 SPACES (2 ADA)

SITE DATA TABLE	
SITE AREA	0.933 AC (40,627 SF)
ZONING	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT
BUILDING SIZE	1,800 SF
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	28,117 SF (69)

CONSTRUCTION SCHEDULE	
①	HANDICAP SIGN
②	ADA RAMP, 12:1 MAX. SLOPE
③	SAWCUT FULL DEPTH EXISTING PAVEMENT
④	HANDICAP SYMBOL
⑤	PAVEMENT STRIPING
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE
⑧	CURB & GUTTER PER DETAIL SHEET C-12
⑨	PROPOSED SIDEWALK, SEE DETAIL SHEET C-12

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER:
 METROPLEX ACQUISITIONS FUND, LP
 1717 WOODSTEAD CT. SUITE 207
 THE WOODLANDS, TX 77380
 CONTACT: STACI BOWEN
 PH: 214.343.447

APPPJ MANAGEMENT
 LEGAL DESCRIPTION AND OR ADDRESS:
 HWY 205 & BORDEAUX DRIVE
 ROCKWALL, TX 75087
 0.933 AC (40,627 SF)

DEVELOPER:
 APPPJ MANAGEMENT
 740 AVALON DR
 HEATH, TX 75032
 CONTACT: JEFF IVY
 PH: 214-272-4350

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: CLAY CRISTY
 PH: 817.281.0572

CASE NUMBER
 SP2023-000

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DR. SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 CLAY CRISTY
 Engineer No. 109800 Date 9/15/2023

**HTEAO RESTAURANT
 HWY 205 & BORDEAUX DR
 ROCKWALL, TX 75087**

No.	DATE	REVISION	BY
1	12/07/2020	STORM REVISION	LRR
2	09/13/2021	STORM REVISION	LRR

SITE PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 9/15/2023

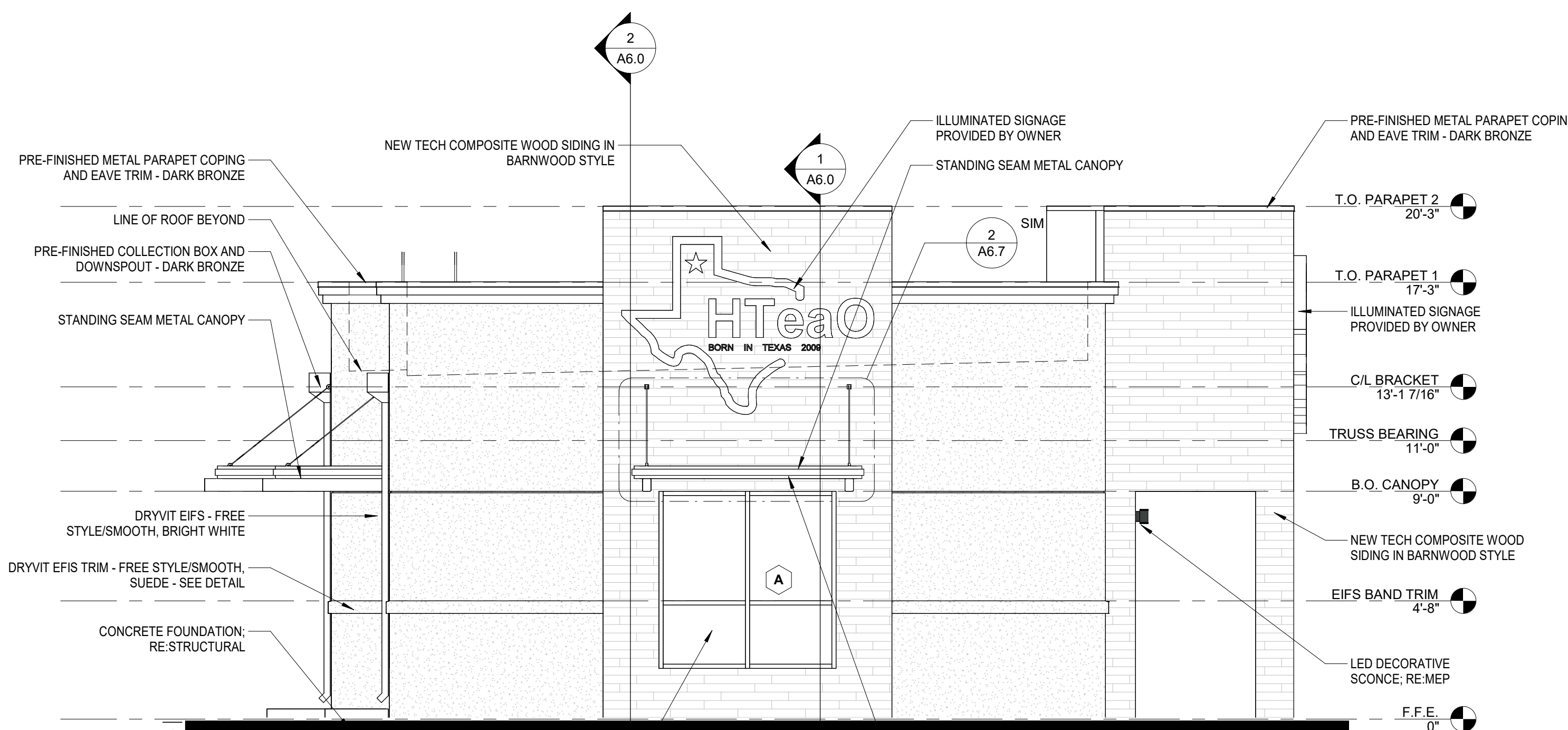
SHEET
SP-1

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.

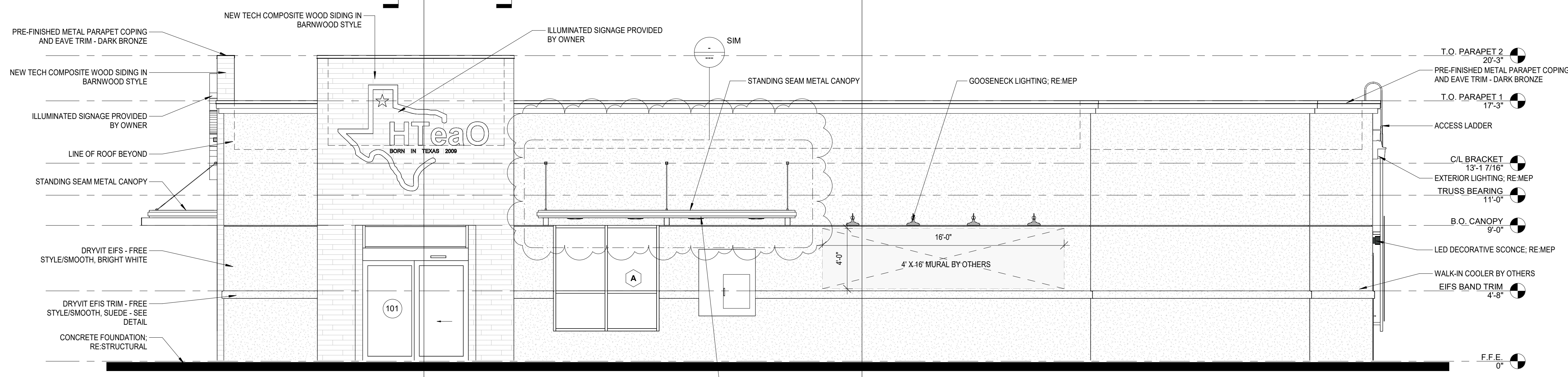


HTEAO ROCKWALL ADDRESS LOCATION



2 FRONT (NORTH)
SCALE: 1/4" = 1'-0"

3 3D View 2
SCALE:



1 RIGHT (WEST)
SCALE: 1/4" = 1'-0"



Date: 7-24-2023
Dwn: BRZ Chk: SJK
Project No.: 2348
Issue:

Revision	Date
1	Revision 1

Sheet Name:
EXTERIOR ELEVATIONS

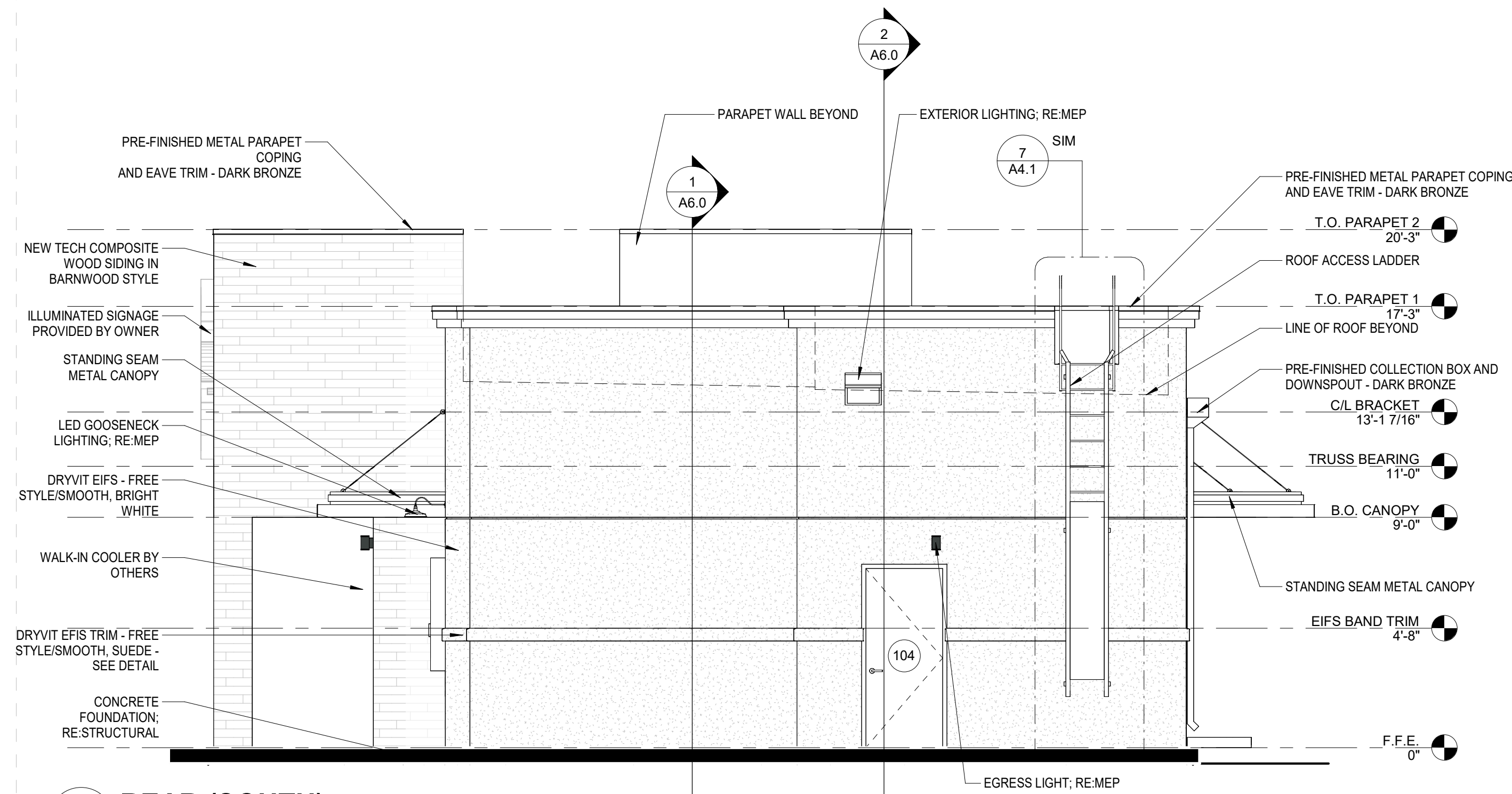
A5.0

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



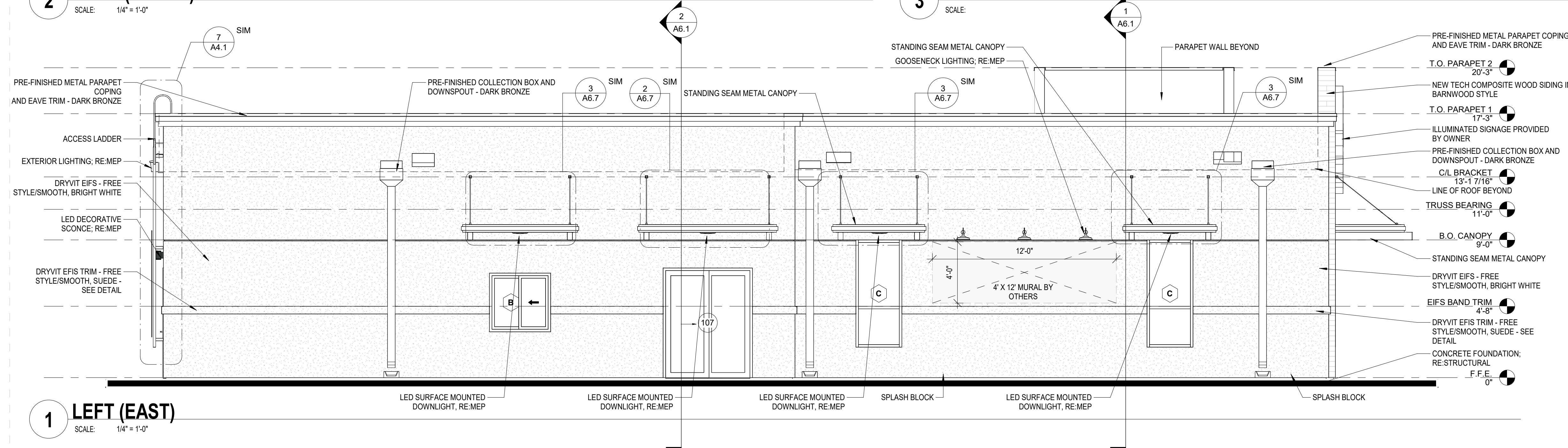
**HTEAO ROCKWALL
ADDRESS
LOCATION**



2 REAR (SOUTH)
SCALE: 1/4" = 1'-0"



3 3D View 1
SCALE:



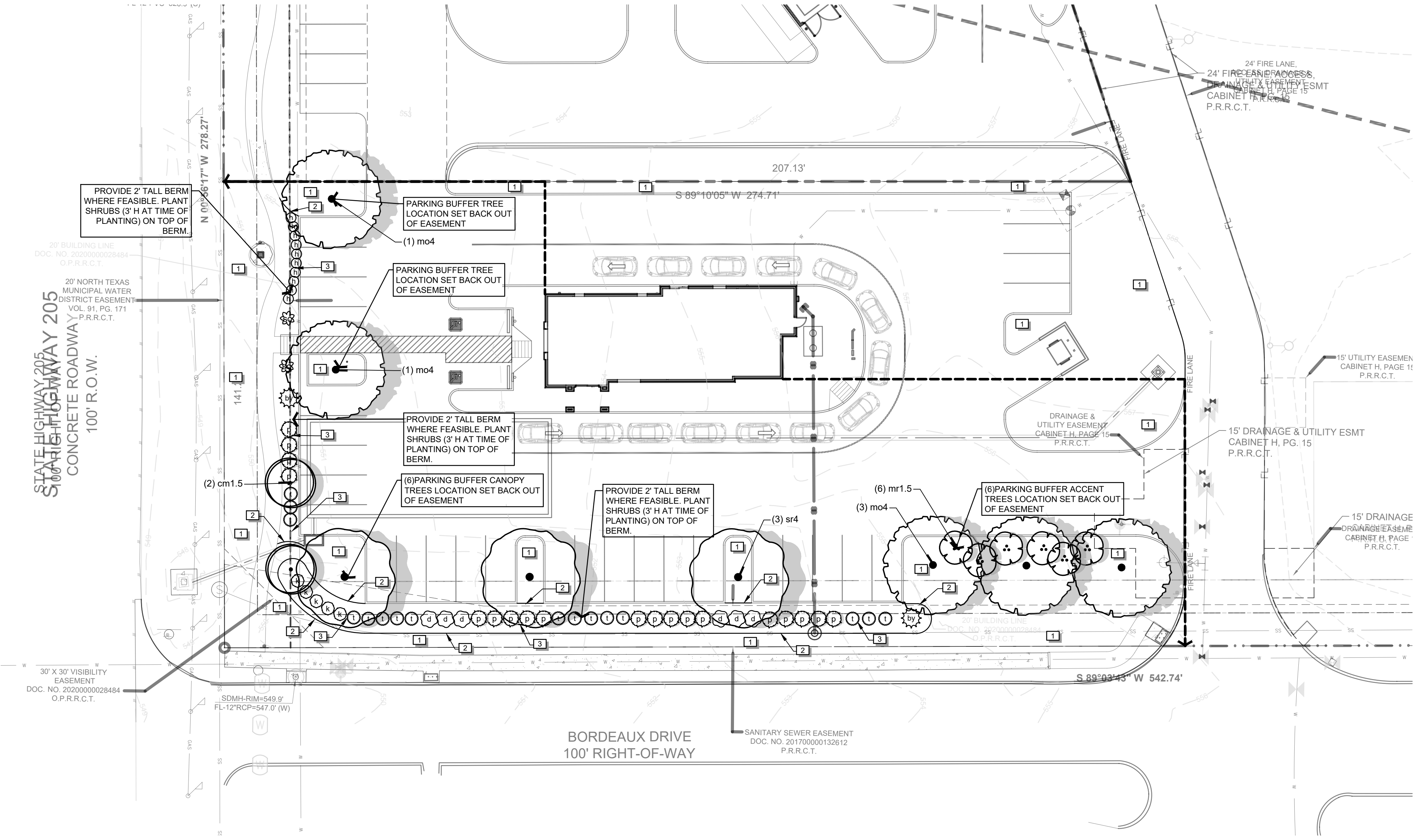
1 LEFT (EAST)
SCALE: 1/4" = 1'-0"



Date: 7-24-2023
Dwn: BRZ Chk: SJK
Project No.: 2348
Issue:

Sheet Name:
**EXTERIOR
ELEVATIONS**

A5.1



LANDSCAPE CALCULATIONS

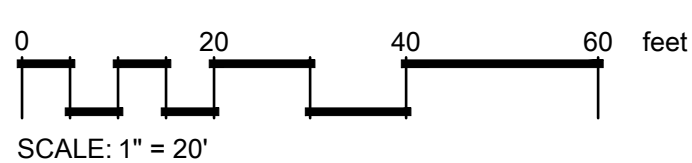
LANDSCAPE BUFFER	REQUIRED	PROVIDED
• N Goliad Dr. (110 lf)		
•• Shade trees (1 per 50 lf)	2	2
•• Accent trees (1 per 50 lf)	2	2
• Bordeaux Dr. (291 lf)		
•• Shade trees (1 per 50 lf)	6	6
•• Accent trees (1 per 50 lf)	6	6

LANDSCAPE SCREENING	REQUIRED	PROVIDED
• Headlight Screening (shrubs and 2' tall berm)		
•• N Goliad Dr.	73 lf	75 lf
•• Bordeaux Dr.	182 lf	184 lf

LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
• Total Site Area	8,524sf	42,619sf
• Amount of Landscaping (20% Total Site)	1,705sf	12,702sf
•• Location of Landscaping (50% in Streetyard)	4,262sf	9,163sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Lawn, Sod
2	Steel Edge
3	Mulch



PLANT SCHEDULE

TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
	mo4	Monterey Oak	Quercus polymorpha 'Monterey'	-	4"Cal	6' H min	5
	sr4	Shumard Red Oak	Quercus shumardii	-	4"Cal	6' H min	3
ORNAMENTAL TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
	cm1.5	Crape Myrtle, Muskogee	Lagerstroemia indica 'Muskogee'	-	1.5"Cal	6' H min	2
	mr1.5	Mexican Redbud	Cercis canadensis mexicana	-	1.5"Cal	6' H min	6
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	CONT	SIZE		
	by	Beaked Yucca, 'Blue Velvet'	Yucca rostrata 'Blue Velvet'	5 gal			1
	d	Dwarf Palmetto	Sabal minor	5 gal			6
	h	Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	5 gal			10
	k	Knock Out Rose	Rosa acicularis 'Knock Out'	5 gal			5
	p	Pineapple Guava	Feijoa sellowiana	5 gal			19
	so	Sotol	Dasylirion texanum	5 gal			2
	t	Texas Sage 'Silverado'	Leucophyllum frutescens 'Silverado'	5 gal			18

Rev	Description	Date							
Consultant Seal									
Company Name and Address									
William S. Blair (512) 522-8979 info@blairla.com www.blairla.com 100 Congress Ave. Ste 2000 Austin, TX 78701									
William S. Blair September 15, 2023 Project Name and Address									
HteaO Rockwall N Goliad Dr. and Bordeaux Dr. Rockwall, Texas									
Sheet Title Landscape Plan									
Design By: Will Blair Checked By: xxxx Issue Date: 09/15/2023 Project Number: Z3062-LP									
L1 OF 2									



Contractors:
 email info@blairla.com with RFIs, submittals, & inspection scheduling
 Schedule inspections at least 2 weeks in advance

Know what's below.
 Call before you dig.

LANDSCAPE PLANTING SPECIFICATIONS

- 1) Guarantee - All labor, materials and plants will be guaranteed for a period of twelve (12) months after the final acceptance of work by Owner. All plants that have died or are unhealthy shall be replaced no later than 30 days from the anniversary date of the final acceptance. This guarantee does not apply to plant material that dies due to abnormal freezes, hail, abnormal high winds, or other acts of God, vandalism or lack of normal maintenance and watering. This guarantee does not apply to annual plantings.
- 2) Contractor is to verify all site dimensions and layout prior to the commencement of landscape construction. Any discrepancies between the drawings and the actual site conditions shall be brought to the attention of the owner's representative immediately.
- 3) Contractor is responsible for verification of the location of all underground utilities, repair to said utilities as a result of the work of the contractor shall be the responsibility of the contractor. Refer to the drawing for any additional information.
- 4) Contractor is responsible for maintaining positive drainage in all shrub and turf planting areas.
- 5) Tree pits are to be the same depth as the root ball and 24" wider. Prior to planting the tree pit should be filled with water to check for good drainage. If water does not drain the Contractor should check with the Landscape Architect to relocate the tree.
- 6) Trees should be positioned in the center of the tree pits, back filled with soil that was excavated from the pit until the surface is level with the surrounding area and the crown of the plant is at the finished grade. Build a water basin around the tree (36" dia.). Water until planting pit is soaked and soil has settled. Add soil necessary to bring soil level flush with surrounding ground. Fill the basin with three (3) inches of compost.
- 7) All plant material shall conform to the standards of the latest edition of "American Standard for Nursery Stock" by The American Association of Nurserymen and "Grades and Standards" by The Texas Association of Nurserymen. A plant shall be dimensioned as it stands in its natural position. All plants shall be at least the minimum size indicated. Larger stock is acceptable at no additional cost, and providing that the larger plants will not be cut back to size indicated.
- 8) It is the landscape contractor's responsibility to provide plants free of disease or pests.
- 9) Space specified quantity of plant materials to evenly fill designated areas, adjusting spacing indicated on the drawings as required. Landscape architect or owner to have final approval of locations of all trees, shrubs and groundcover beds.
- 10) Contractor is responsible for removing all clods, rocks, concrete, trash and any other debris from beds prior to adding soil or plant material.
- 11) All planting beds should have three (3) inches of compost filled into them to a depth of six (6) inches. A three (3) inch layer of shredded hardwood bark mulch should be applied to all beds after planting is completed. Four (4) inch pots and ground cover may be planted through the mulch.
- 12) Contractor is responsible for removal of trash and repair of hazardous conditions (tools, open holes, et.) on a daily basis by the end of the work day.
- 13) Water all plantings in bed areas thoroughly on a daily basis until final acceptance.

- 14) To prepare turf areas treat them with a selective herbicide two weeks prior to sodding or seeding. Then rake area to remove stones, sticks and other debris. Add two (2) inches of topsoil to the turf area. Rake area to a finish grade (1" below walks and curbs).
- 15) If sodding is to take place the sod should be gathered and planted within a 48 hour period. Lay the sod to form a solid mass with tight fitting joints. Butt ends and sides of sod and offset joints in adjacent courses. Roll sod to ensure good contact with soil. If planting on a slope be sure to lay courses parallel to the contours and secure sod with pins if necessary. Site preparation and maintenance will be the same for hydromulching.
- 16) Water sod daily so as to not allow turf blades to wilt. If necessary water twice per day.
- 17) Apply slow release fertilizer 15-15-15 or equal at a rate of 2 lbs. per 100 s.f. to all turf or planted areas.

REFERENCE NOTE SPECIFICATIONS

- LAWN AREAS - SOD / HYDROMULCH / SEED MIX
1. Lawn, Bermuda "Tif 419" Sod. Provide spray irrigation. Temporary irrigation only within septic fields or Right of Way (R.O.W.). Pre emergent weed treatment recommended.

- STEEL EDGE
2. Steel edge, 3/16" x 4" landscape edging as manufactured by Ryerson, or equal, dark green and furnished with steel stakes. Install edging in smooth curves free of kinks. Final height of edging to be 1" above height of soil mat of sod.

- MULCHES / GRAVELS / RIVER ROCK / BOULDERS
3. Mulch, Native Hardwood. 3" deep with drip irrigation. Ensure that drip line is placed above rootballs.

- 19) Contractor shall keep all construction areas and public streets free from accumulation of waste material. Upon completion of construction and prior to final approval contractor shall thoroughly clean the site of all trash, spilled soil, and litter, etc. that has resulted from landscape construction operations. Repair all damage to finish grade including tailings from excavations, wheel ruts, etc. caused from construction. All debris, trash and excess materials and equipment shall be removed from the site prior to final acceptance.
- 20) Remove all tags, ribbons and wires from all newly installed plant material.

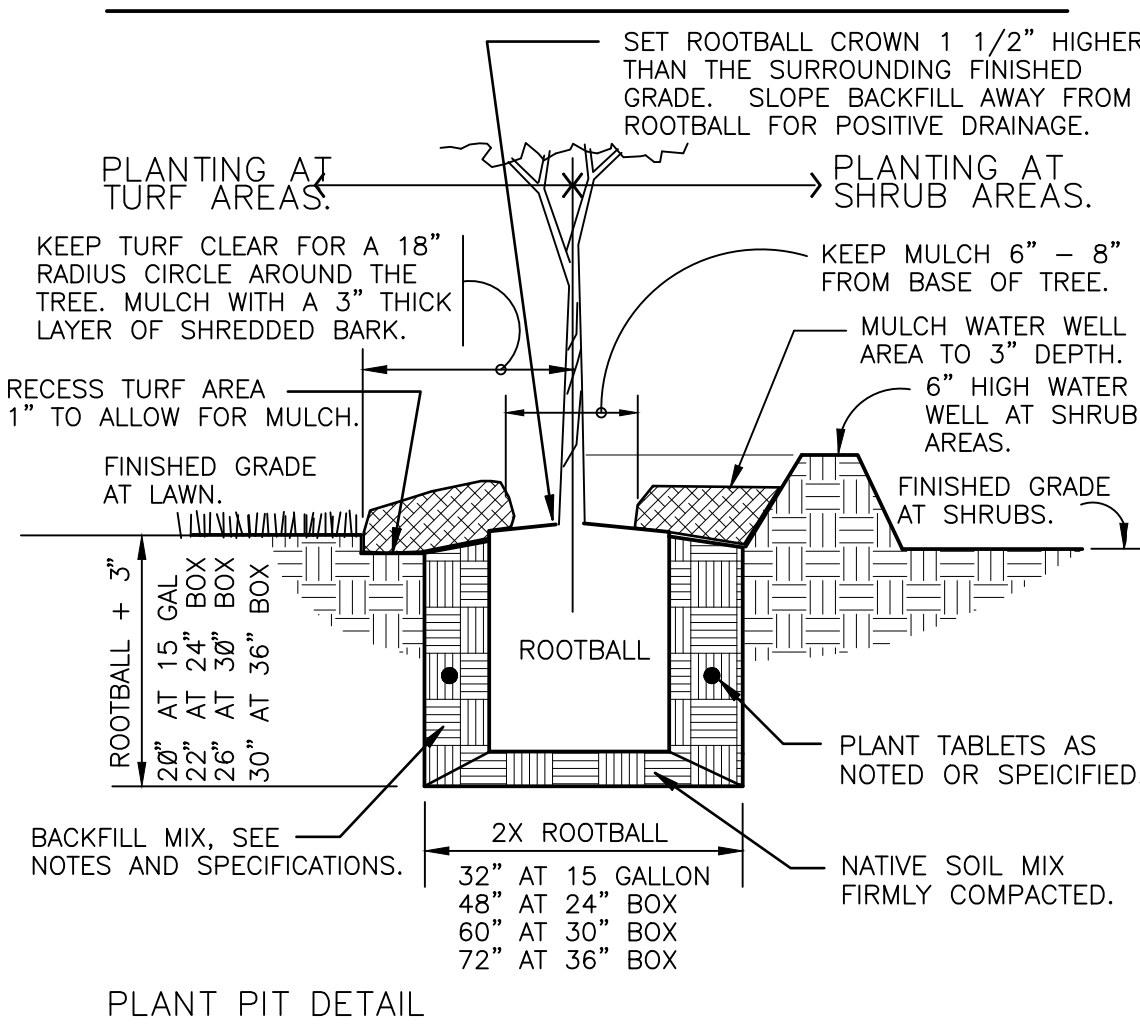
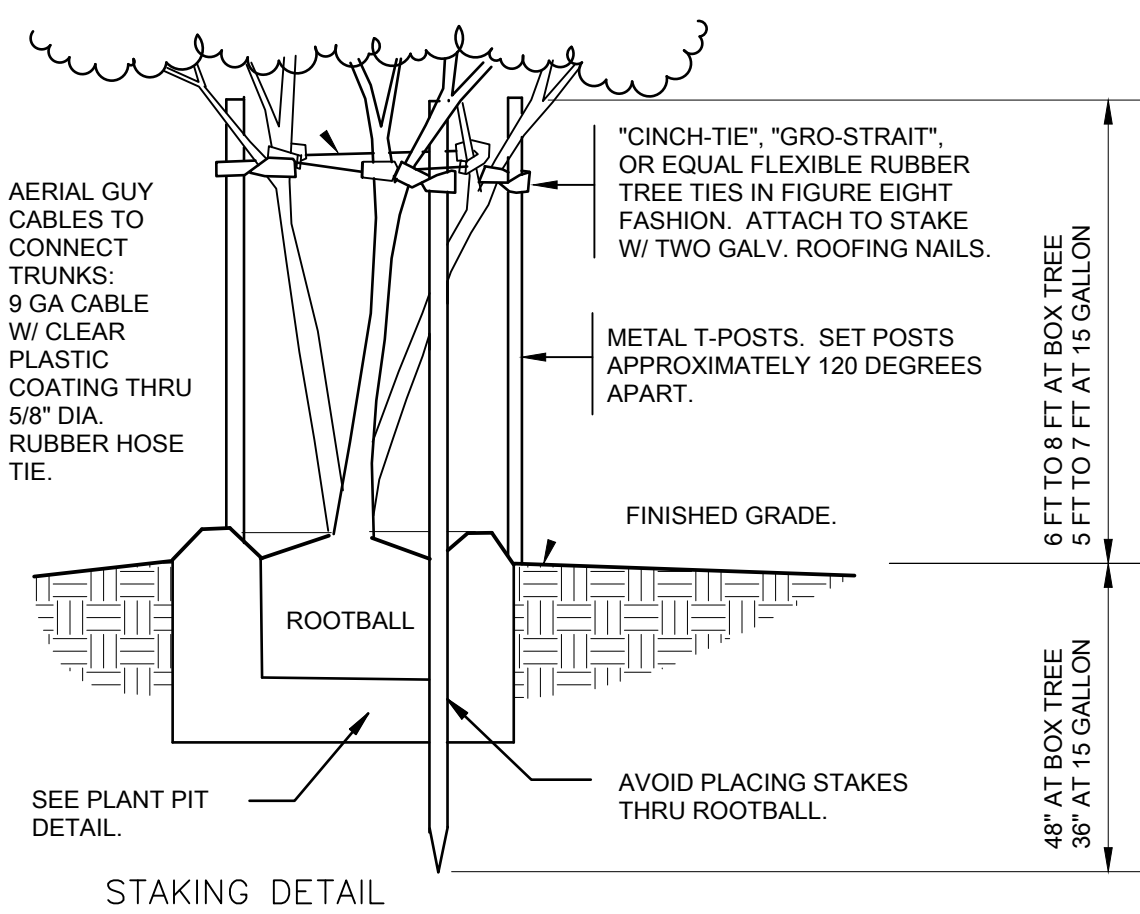
LANDSCAPE MAINTENANCE REQUIREMENTS

- The owner shall be responsible for:
- 1) Regular maintenance of all required landscape areas and plant materials in a vigorous and healthy condition, free from diseases, pests, weeds, and litter. This maintenance shall include weeding, watering, fertilization, pruning, mowing, edging, mulching or other needed maintenance, in accordance with generally accepted horticultural practice.
 - 2) The repair or replacement of required landscape structures (walls, fences, etc.) to a structurally sound condition.
 - 3) The regular maintenance, repair, or replacement, where necessary, of any required screening or buffering.
 - 4) All open space areas that are to be preserved as natural plant communities shall be trimmed, at least once a year, of all exotic vegetation, lawn grasses, trash, or other debris. Natural area should be mulched, pruned and otherwise maintained so that plants are vigorous.

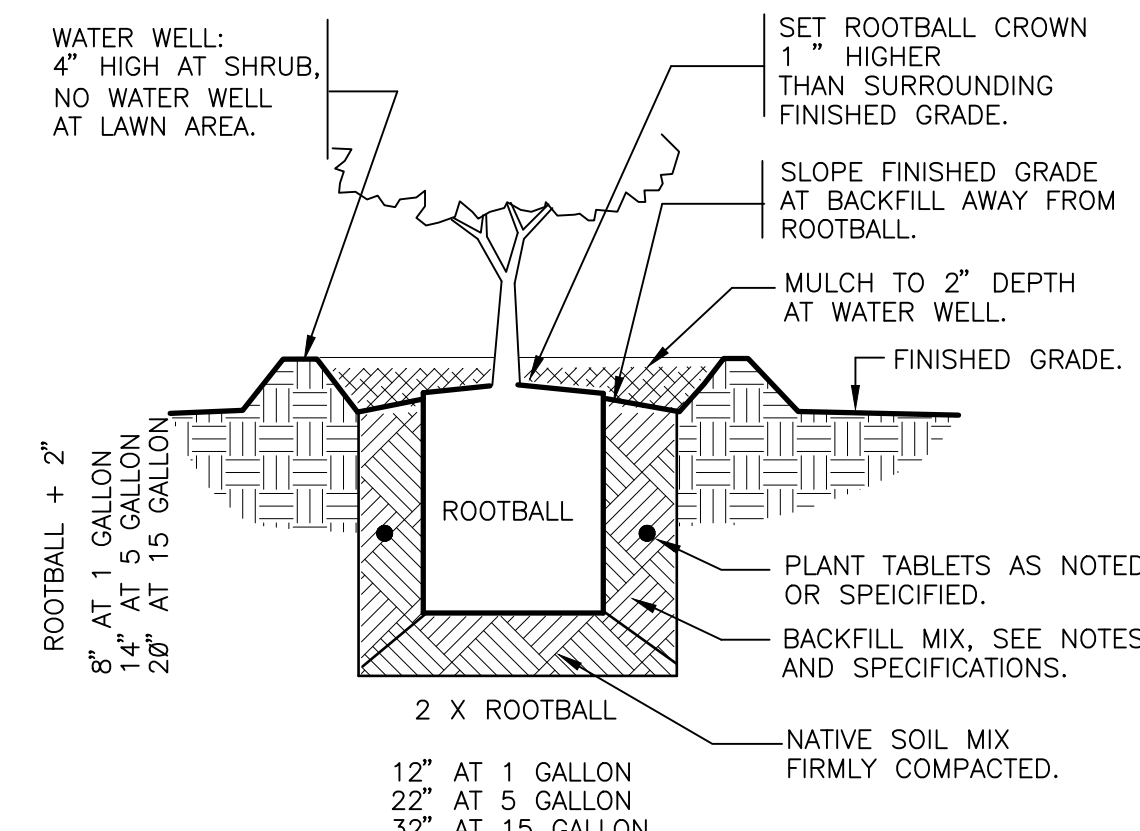
IRRIGATION SPECIFICATIONS

- 1) Irrigation contractor will provide pipes for sleeves and specify locations for placement of sleeves by general contractor prior to pouring concrete or laying asphalt.
- 2) Irrigation contractor will install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local governing authorities.
- 3) Find location of backflow preventer, and automatic controller location shall be approved by the owner's authorized representative.

- 4) 120 VAC electrical power source at controller location shall be provided by others. The irrigation contractor shall make the final connection from the electrical source to the controller.
- 5) All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- 6) The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with minimal overspray onto walks, streets, walls, etc.
- 7) Head location is the responsibility of the irrigation contractor, with the understanding that all landscape areas will receive adequate water to provide for vigorous growth of vegetation.
- 8) Irrigation contractor will replace or repair all items damaged by his work.
- 9) All work shall be installed in accordance with applicable codes and ordinances for the City of Rockwall, Texas and the National Electrical Code and all governing authorities.
- 10) The irrigation contractor is responsible for reporting any deficiency in water pressure that would affect the operation of the irrigation system.
- 11) The irrigation contractor shall be a Registered Licensed Irrigator in the State of Texas. Contractor must conform to all codes as stated in section 34 of the Texas Water Code and TNRCC.
- 12) All remote control valves, gate valves, quick couplers and control wire and computer cable pull pints shall be installed in approved valve boxes.
- 13) Irrigation Contractor shall procure all permits, licenses, and pay all charges and fees and give all necessary notices for the completion of work.
- 14) Contractor shall not disturb roots of existing trees. There shall be no machine trenching below the dripline of existing trees.
- 15) Extreme care shall be exercised in excavating and working near utilities. Contractor shall verify the location and condition of all utilities and be responsible for damage to any utilities.
- 16) Contractor shall clearly mark all exposed excavations, materials, and equipment. Cover or barricade trenches when the contractor is not on the site. Take all necessary precautions to protect and prevent injury to any persons on the site.
- 17) All automatic irrigation systems shall be equipped with a controller of dual or multiple programming. Controllers shall have multiple cycle start capacity and a flexible calendar program, including the capacity of being set to water every five days. All automatic irrigation systems shall be equipped with a rain sensor shutoff device.
- 18) Irrigation in Texas is regulated by the Texas Commission on Environmental Quality, www.tceq.texas.gov, (512) 239-1000



1 TREE PLANTING MULTI-STAKE
1" = 1'-0"



2 SHRUB PLANTING
1" = 1'-0"

will

9/15/2023 10:45 AM d:\ba dropbox\projects\hiteao, rockwall, g\kramer, byam zyglaki, scott scarborough, sandin\hiteao, rockwall\hiteao, rockwall.dwg

will blair

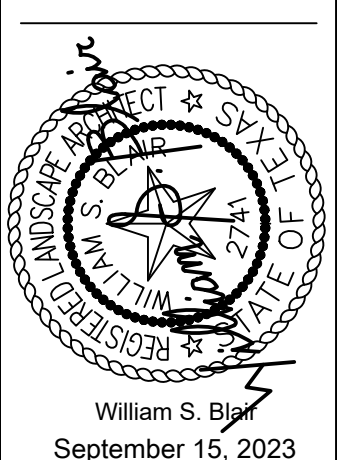
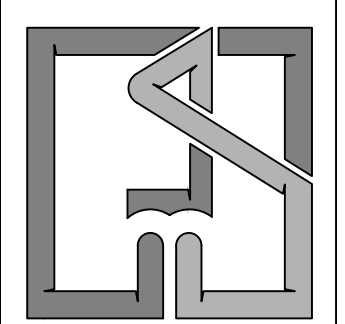
Contractors:
email info@blairla.com with RFIs, submittals, & inspection scheduling
Schedule inspections at least 2 weeks in advance

Rev	Description	Date

Consultant Seal

Company Name and Address
William S. Blair
(512) 522-8979
info@blairla.com
www.blairla.com
100 Congress Ave.
Ste 2000
Austin, TX 78701

BLAIR LANDSCAPE ARCHITECTURE, LLC
QUALITY. INTEGRITY. RELIABILITY.



William S. Blair
September 15, 2023

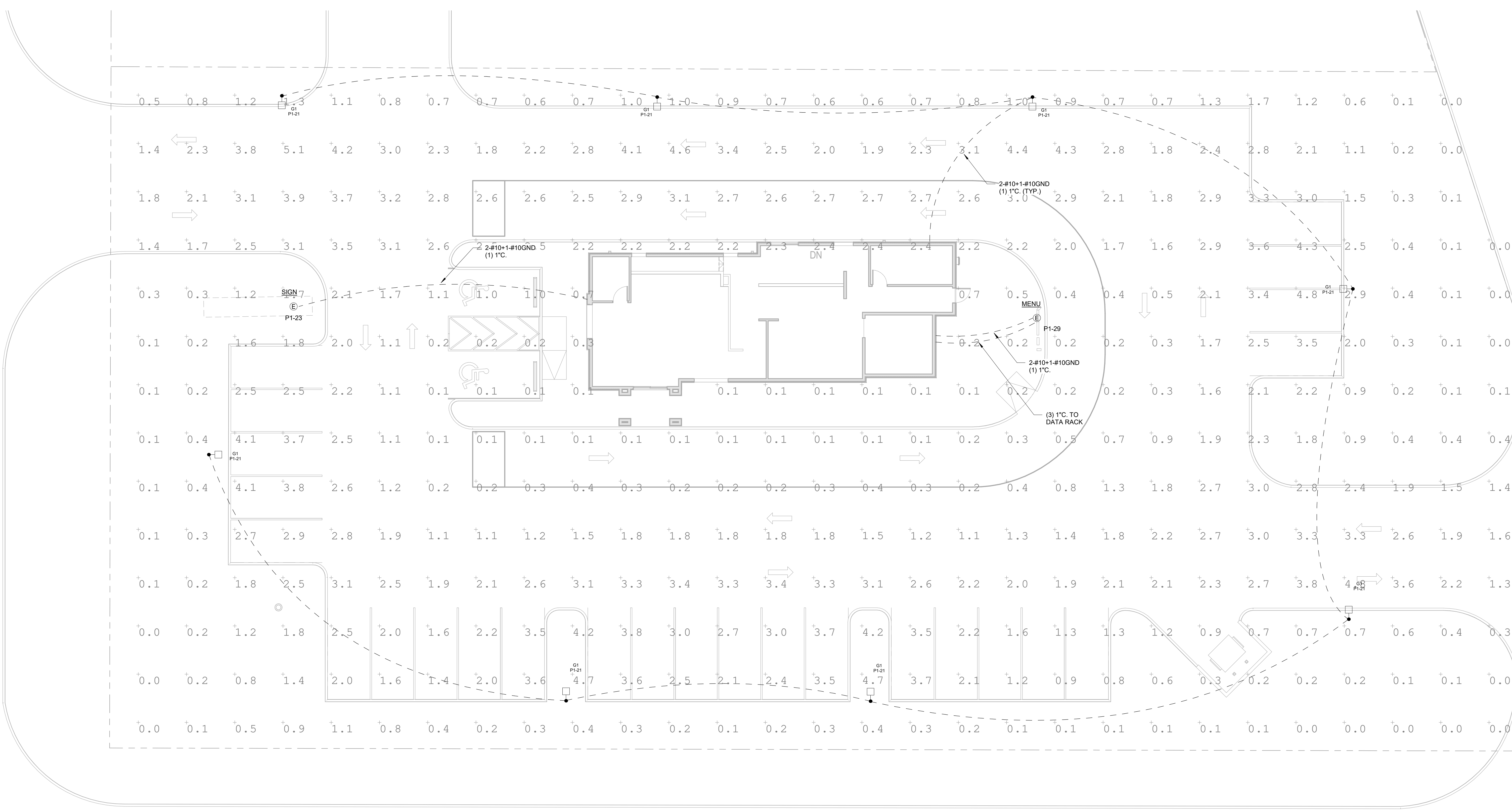
Project Name and Address

HteaO | Rockwall
N Gollad Dr. and Bordeaux Dr.
Rockwall, Texas

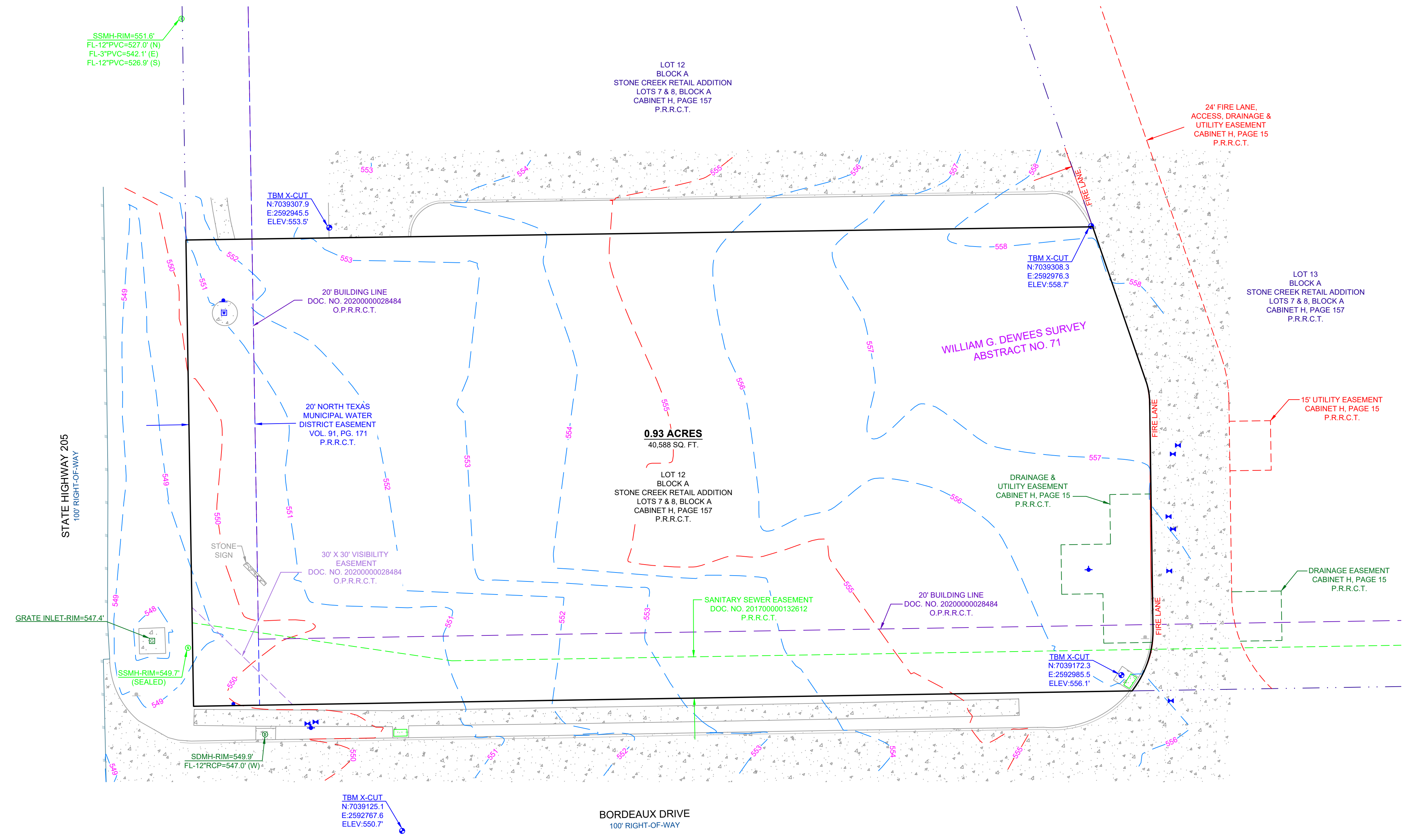
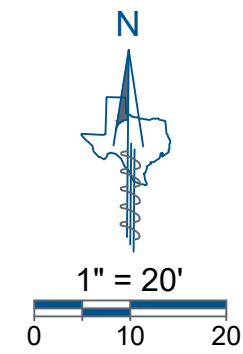
Sheet Title
Landscape Details & Specifications

Design By: Will Blair
Checked By: xxxx
Issue Date: 09/15/2023
Project Number: Z3062-LP

L2
OF 2



1 ELECTRICAL SITE PHOTOMETRIC PLAN
SCALE: 1"=10'-0"



LEGAL DESCRIPTION

Being a 0.93 acre tract of land out of the William G. Dewees Survey, Abstract Number 71, in the city of Rockwall, Rockwall County Texas, being a portion of a Lot 12, Block A of Stone Creek Retail Addition, by deed of record Cabinet H, Page 157 of the Plat Records, Rockwall County, Texas.

FLOOD NOTE


This property is located in **Non-shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 26, 2008 and is located in Community Number 480547 as shown on Map Number 48397C0030L. The location of the Flood Zone is approximate. For additional information regarding Flood Zone designation, please contact 1-(877) FEMA MAP.

ALTERATIONS AND ERRORS

This survey is the work product of the signing surveyor and may not be altered or modified in any manner, except by the signing surveyor. Any alteration or modification performed to this survey by any party except for the signing surveyor will be prosecuted to the fullest extent of the law. The surveyor will not be responsible to the client for any typos or errors for which a correction is not requested by the client within thirty days following the issuance of this survey.

SURVEYOR NOTES

1. This survey was performed without the benefit of an Abstract of Title or Title Commitment. Research of record documents done by Eagle Surveying was performed for the purpose of determining the boundary of this property and adjoining parcels. Additional record documents may exist and encumber this property.
2. Elevations shown on this survey are based on GPS observations utilizing the AllTerra RTK Network. North American Vertical Datum of 1988 (Geoid 12B).
3. This document represents an accurate on the ground survey on Stone Creek Drive and Bordeaux Drive in the City of Rockwall, Rockwall County, Texas, on August 30th, 2023.

JOB NUMBER 1910.030-22	 <p>Eagle Surveying, LLC 222 South Elm Street Suite: 200 Denton, TX 76201 940.222.3009 www.eaglesurveying.com TX Firm # 10194177</p>	<p>TOPOGRAPHIC EXHIBIT</p>	<p>LEGEND</p> <table border="0"> <tr> <td> Spot</td> <td> Water Vault</td> </tr> <tr> <td> Grate Inlet</td> <td> Temporary Benchmark</td> </tr> <tr> <td> Storm Drain Manhole</td> <td> Water Valve</td> </tr> <tr> <td> Sanitary Manhole</td> <td> Fire Hydrant</td> </tr> <tr> <td> Concrete</td> <td> Buried Water Utility Sign</td> </tr> <tr> <td> Stone</td> <td> Plat Records</td> </tr> <tr> <td> Ramp</td> <td> Official Public Records</td> </tr> <tr> <td>DOC. NO. Document Number</td> <td> Rockwall County Records</td> </tr> </table>		Spot	Water Vault	Grate Inlet	Temporary Benchmark	Storm Drain Manhole	Water Valve	Sanitary Manhole	Fire Hydrant	Concrete	Buried Water Utility Sign	Stone	Plat Records	Ramp	Official Public Records	DOC. NO. Document Number	Rockwall County Records
Spot			Water Vault																	
Grate Inlet			Temporary Benchmark																	
Storm Drain Manhole			Water Valve																	
Sanitary Manhole			Fire Hydrant																	
Concrete	Buried Water Utility Sign																			
Stone	Plat Records																			
Ramp	Official Public Records																			
DOC. NO. Document Number	Rockwall County Records																			
DATE 09/01/2023																				
REVISION																				
DRAWN BY HSB																				



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address _____

Subdivision Stone Creek Retail Addition

Lot 12

Block A

General Location North East Corner of N. Goliad St and Bordeaux Dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-070

Current Use Undeveloped

Proposed Zoning PD-070

Proposed Use Retail

Acreage 0.93

Lots [Current] 1

Lots [Proposed] 2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Metroplex Acquisition Fund, LP

Applicant ClayMoore Engineering

Contact Person Staci Bowen

Contact Person Clay Cristy

Address 1717 Woodstead Ct.

Address 1903 Central Dr.

Ste. 207

Ste. 406

City, State & Zip The Woodlands, TX 77380

City, State & Zip Bedford, Texas 76021

Phone 214.343.4477

Phone 817.281.0572

E-Mail sbowen@crestviewcompanies.com

E-Mail Clay@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

Billy J. Brice III, President of
Metroplex Acquisition Fund, LP

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 482.57, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of September, 20 23. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information.

Signed under my hand and seal of office on this the 14th day of September, 20 23

Owner's Signature _____

My Commission Expires 1-27-2025



0 20 40 80 120 160 Feet

Z2023-048: SUP for a Restaurant (HTeaO)

205

N GOLIAD ST

SF-16

PD-70

BORDEAUX DR

MIRAMAR DR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

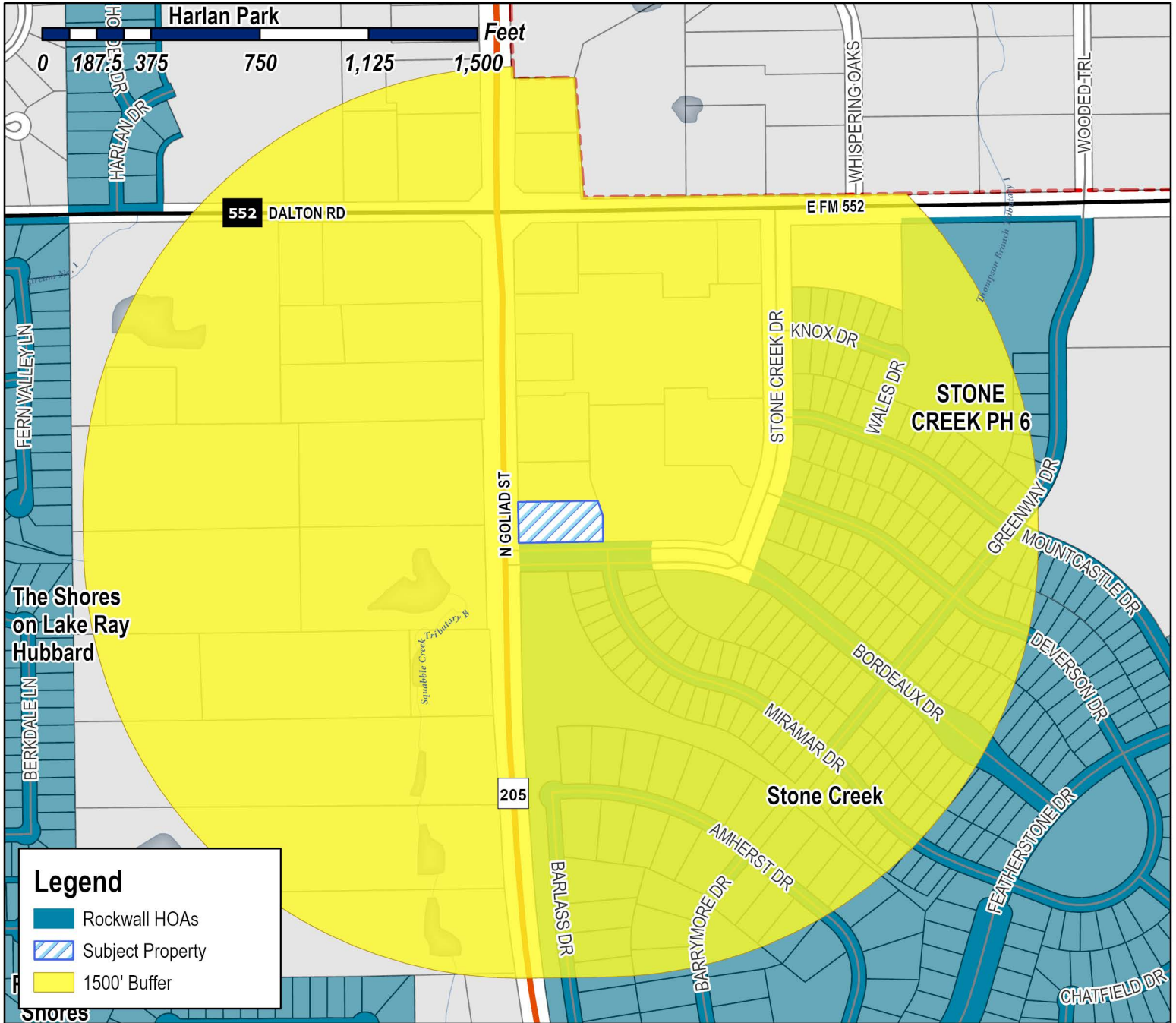




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Legend

-  Rockwall HOAs
-  Subject Property
-  1500' Buffer

Case Number: Z2023-048
Case Name: SUP for a Restaurant Less Than 2,000 SF w/Drive-Through
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: NEC of N. Goliad Street & Bordeaux Street

Date Saved: 9/15/2023

For Questions on this Case Call (972) 771-7745

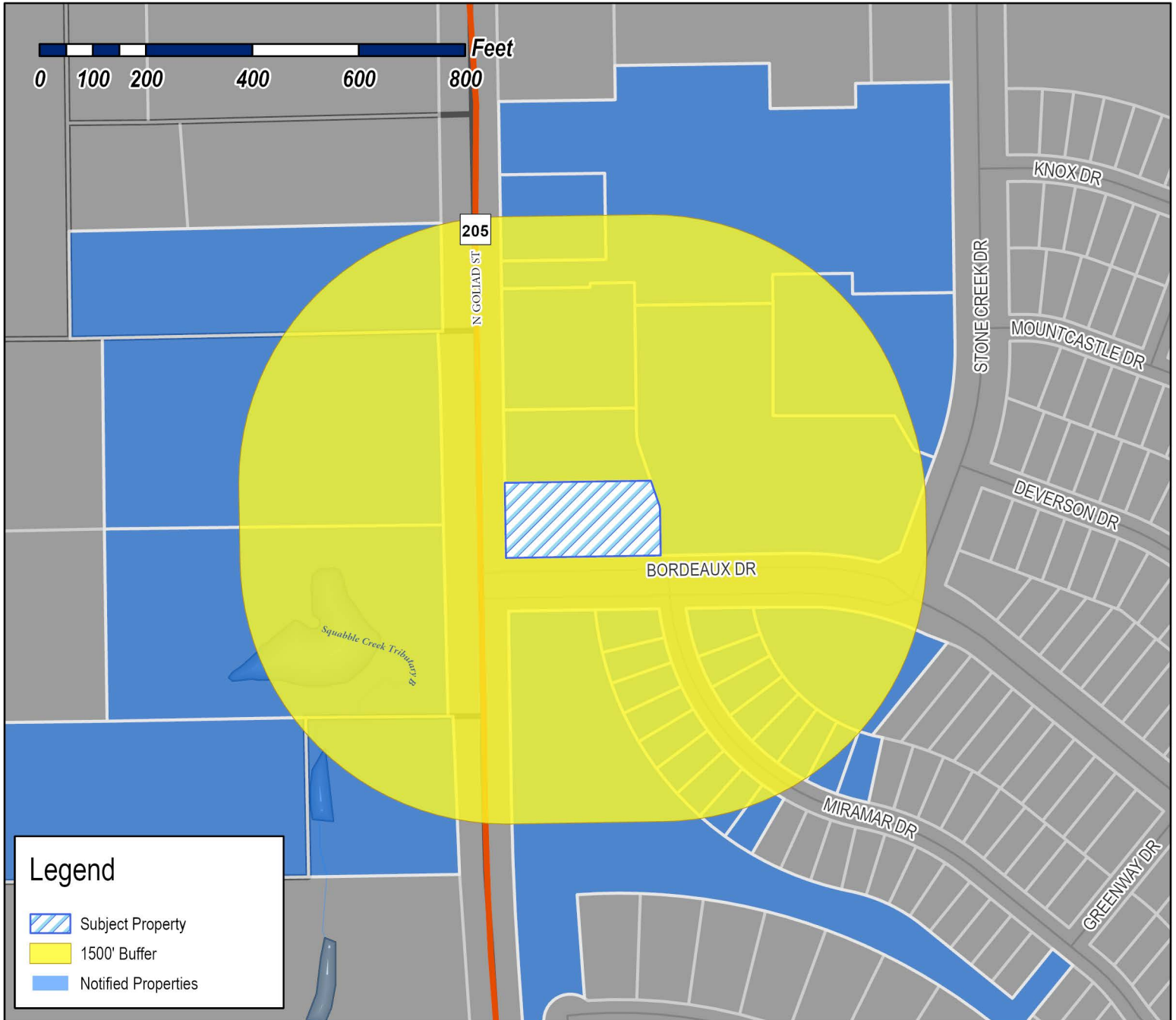




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-048
Case Name: SUP for a Restaurant Less Than 2,000 SF w/Drive-Through
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: NEC of N. Goliad Street & Bordeaux Drive

Date Saved: 9/15/2023

For Questions on this Case Call: (972) 771-7746



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

METROPLEX ACQUISITION FUND, LP
1717 WOODSTEAD CT STE 207
THE WOODLANDS, TX 77380

WEST JEFFREY A & CHANTEL M
3059 N GOLIAD STREET
ROCKWALL, TX 75087

RESIDENT
3061 N GOLIAD ST
ROCKWALL, TX 75087

STEED JASON & NATALIE MARIE
3065 N GOLIAD STREET
ROCKWALL, TX 75087

RESIDENT
3066 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3068 N GOLIAD ST
ROCKWALL, TX 75087

LIU JOHN AND CONNIE Q
3069 N GOLIAD
ROCKWALL, TX 75087

LIU JOHN & CONNIE
3069 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3070 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3073 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3074 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3077 N GOLIAD ST
ROCKWALL, TX 75087

METROPLEX ACQUISITION FUND LP
C/O RONALD DRIBBEN
357 MARIAH BAY DRIVE
HEATH, TX 75032

GEISENDORFF ALBERT G AND ANN M
3057 N GOLIAD ST
ROCKWALL, TX 75087

NORTH ROCKWALL REAL-ESTATE LLC
6245 RYEWORTH DRIVE
FRISCO, TX 75035

VALK CATHLEEN A
794 MIRAMAR DRIVE
ROCKWALL, TX 75087

VOLL ANDREW W AND JOANNA
796 MIRAMAR DR
ROCKWALL, TX 75087

MARTIN VICTORIA C
798 MIRAMAR DR
ROCKWALL, TX 75087

MCCORMICK KEVIN & JULIA
799 MIRAMAR DRIVE
ROCKWALL, TX 75087

RESIDENT
801 BORDEAUX DR
ROCKWALL, TX 75087

FRITCHIE FAMILY REVOCABLE TRUST
RANDALL S FRITCHIE AND SANDRA L FRITCHIE-
COTRUSTEES
801 MIRAMAR DR
ROCKWALL, TX 75087

CRAWFORD KATHY
802 MIRAMAR DRIVE
ROCKWALL, TX 75087

EMBRY DAVID M AND ASHLEY
803 MIRAMAR DRIVE
ROCKWALL, TX 75087

KIM YUN HYUN & JIN HEE JUNG
804 MIRAMAR DRIVE
ROCKWALL, TX 75087

GODINEZ KAREN W
805 MIRAMAR DRIVE
ROCKWALL, TX 75087

CYPERT LYNDOL & JERE
806 MIRAMAR DRIVE
ROCKWALL, TX 75087

RESIDENT
807 MIRAMAR DR
ROCKWALL, TX 75087

BAILEY JERRY SCOTT & KAREN RENEE
808 MIRAMAR DRIVE
ROCKWALL, TX 75087

GREER KRISTEN N
809 MIRAMAR DR
ROCKWALL, TX 75087

SHING RICHARD L & IVEY D
810 MIRAMAR DR
ROCKWALL, TX 75087

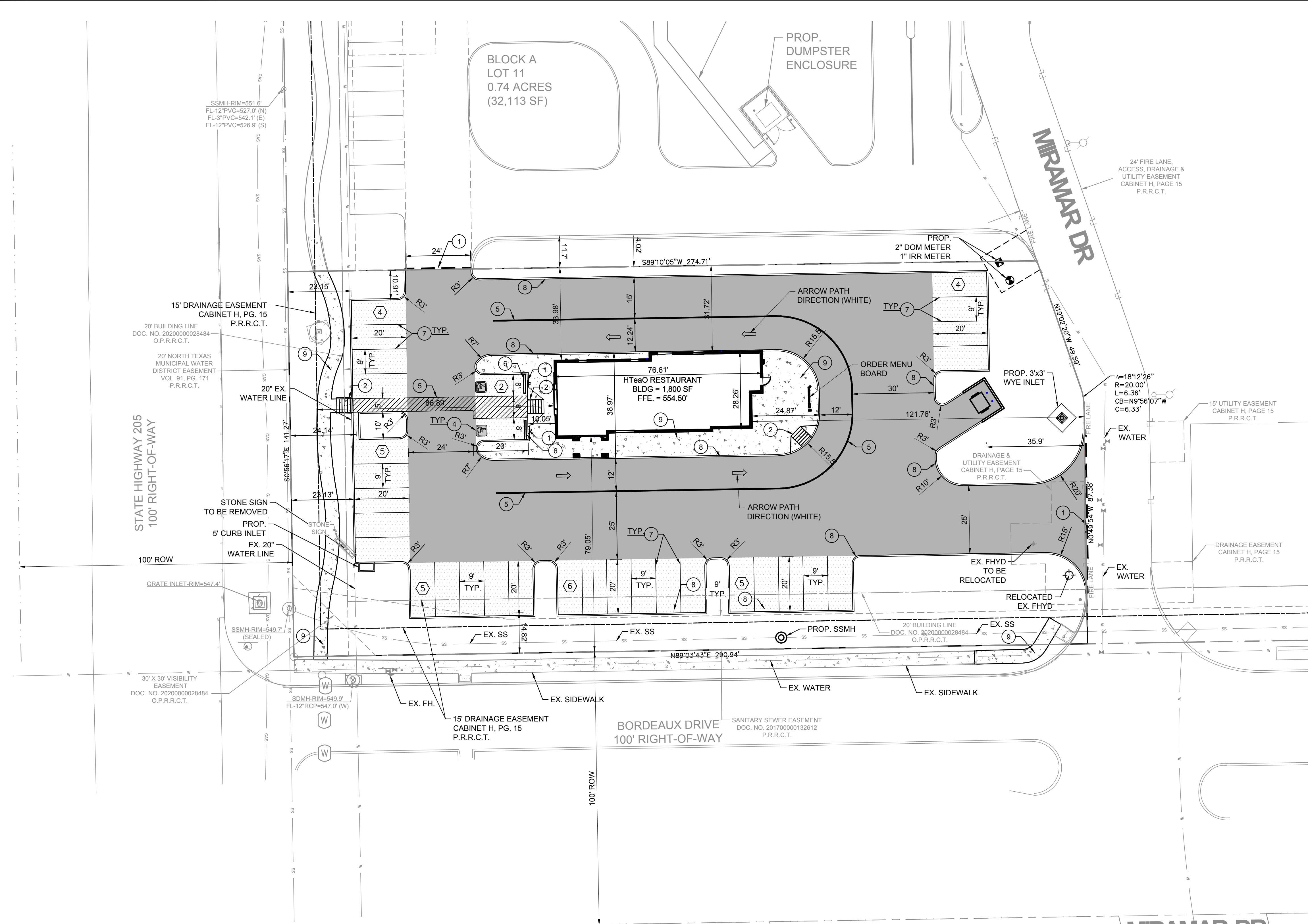
HASSAN ALAA E & PATRICIA ANN HASSAN
IBRAHIM
811 MIRAMAR DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
813 MIRAMAR DRIVE
ROCKWALL, TX 75087

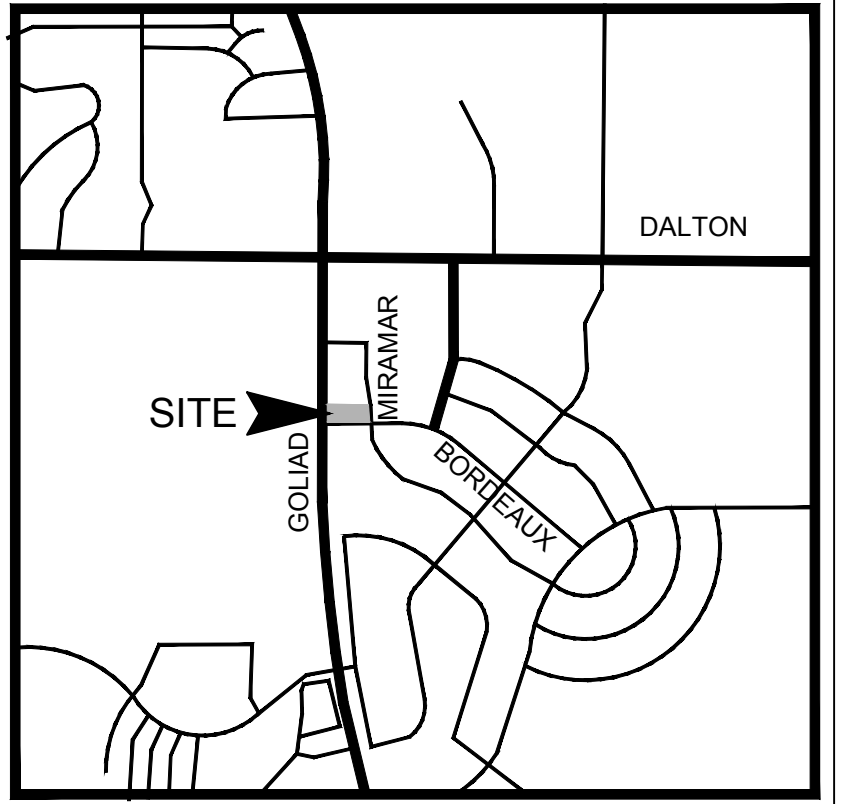
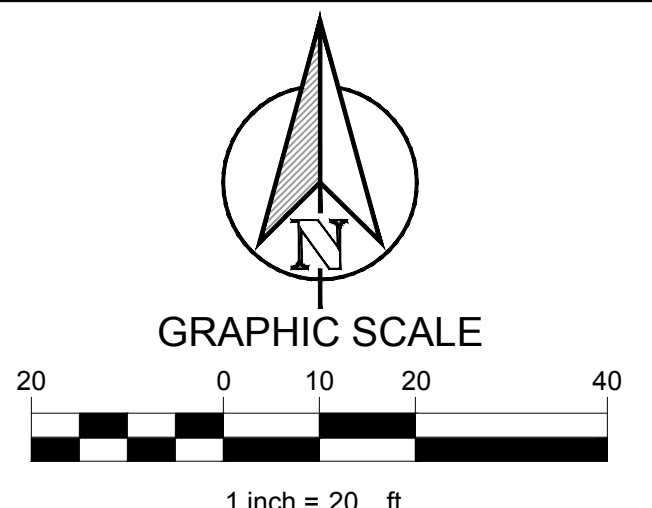
RAJBHANDARI SANJAY KUMAR
815 MIRAMAR DRIVE
ROCKWALL, TX 75087

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

PLOTTED BY: SASHI SANCA
 PLOT DATE: 9/15/2023 11:22 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2023-110 APPPJ MGMT - HTEAO ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 9/15/2023 11:21 AM



BLOCK A
 LOT 11
 0.74 ACRES
 (32,113 SF)



VICINITY MAP
 N.T.S.

CONSTRUCTION SCHEDULE	
[Pattern]	PROPOSED 5" LIME STABILIZED STANDARD DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 6" LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 5" LIME STABILIZED SIDEWALK CONCRETE PAVEMENT
[Line]	PROPERTY LINE
[Line]	PROPOSED CONCRETE CURB AND GUTTER
[Line]	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
[Line]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

PARKING DATA TABLE	
PARKING REQ.	
DRIVE-THRU RESTAURANT (1,800 SF) @ 100 SF	18 SPACES
PARKING PROVIDED	
STANDARD PARKING	29 SPACES
ADA PARKING	2 SPACES
TOTAL	31 SPACES (2 ADA)

SITE DATA TABLE	
SITE AREA	0.933 AC (40,627 SF)
ZONING	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT
BUILDING SIZE	1,800 SF
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	28,117 SF (69)

CONSTRUCTION SCHEDULE	
①	HANDICAP SIGN
②	ADA RAMP, 12:1 MAX. SLOPE
③	SAWCUT FULL DEPTH EXISTING PAVEMENT
④	HANDICAP SYMBOL
⑤	PAVEMENT STRIPING
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE
⑧	CURB & GUTTER PER DETAIL SHEET C-12
⑨	PROPOSED SIDEWALK, SEE DETAIL SHEET C-12

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER:
 METROPLEX ACQUISITIONS FUND, LP
 1717 WOODSTEAD CT. SUITE 207
 THE WOODLANDS, TX 77380
 CONTACT: STACI BOWEN
 PH: 214.343.447

APPPJ MANAGEMENT
 LEGAL DESCRIPTION AND OR ADDRESS:
 HWY 205 & BORDEAUX DRIVE
 ROCKWALL, TX 75087
 0.933 AC (40,627 SF)

DEVELOPER:
 APPPJ MANAGEMENT
 740 AVALON DR
 HEATH, TX 75032
 CONTACT: JEFF IVY
 PH: 214-272-4350

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: CLAY CRISTY
 PH: 817.281.0572

CASE NUMBER:
 SP2023-000

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DR. SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 CLAY CRISTY
 Engineer No. 109800 Date 9/15/2023

**HTEAO RESTAURANT
 HWY 205 & BORDEAUX DR
 ROCKWALL, TX 75087**

No.	DATE	REVISION	BY
1	12/07/2020	STORM REVISION	LRR
2	09/13/2021	STORM REVISION	LRR

SITE PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 9/15/2023

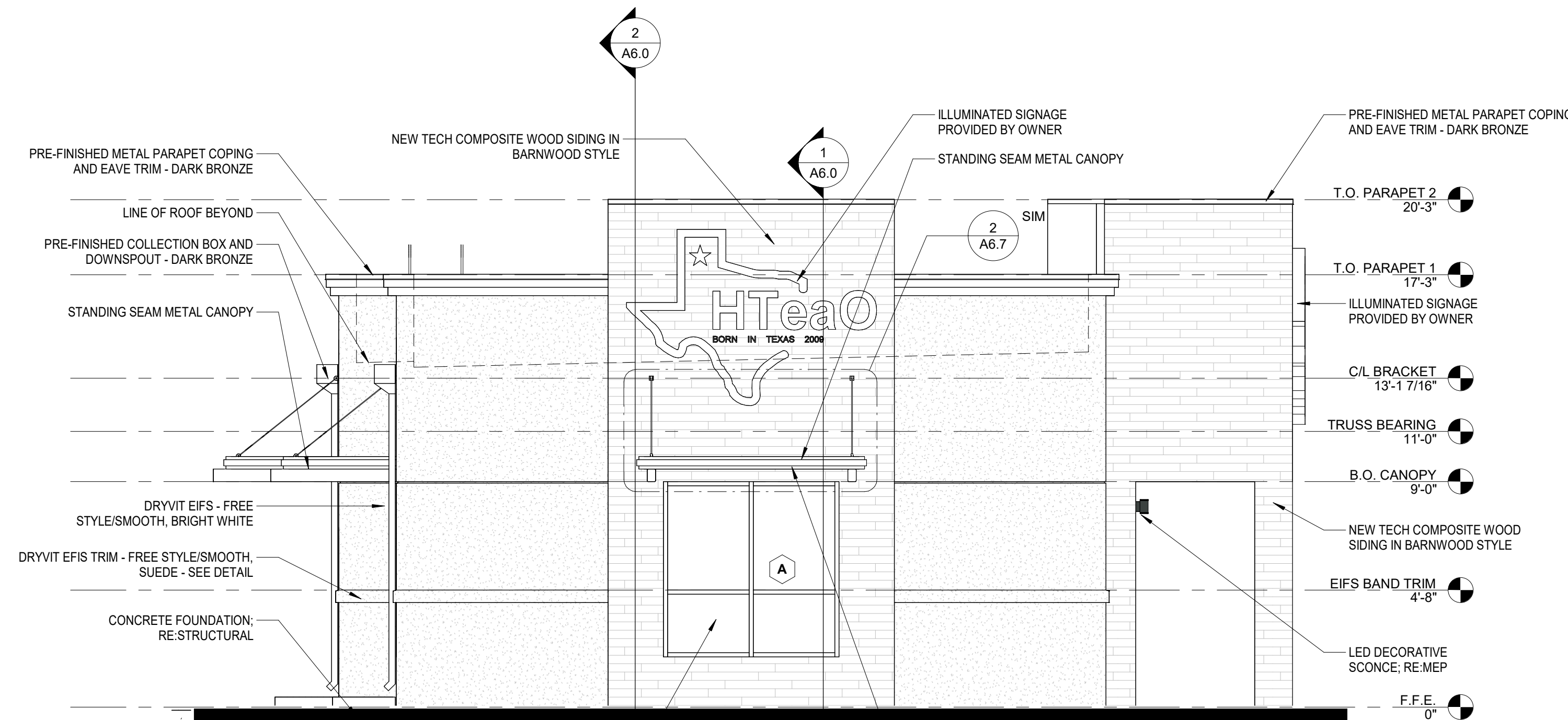
SHEET
SP-1
 File No. 2020-021
 CASE # SP2023-000

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



HTEAO ROCKWALL
ADDRESS
LOCATION



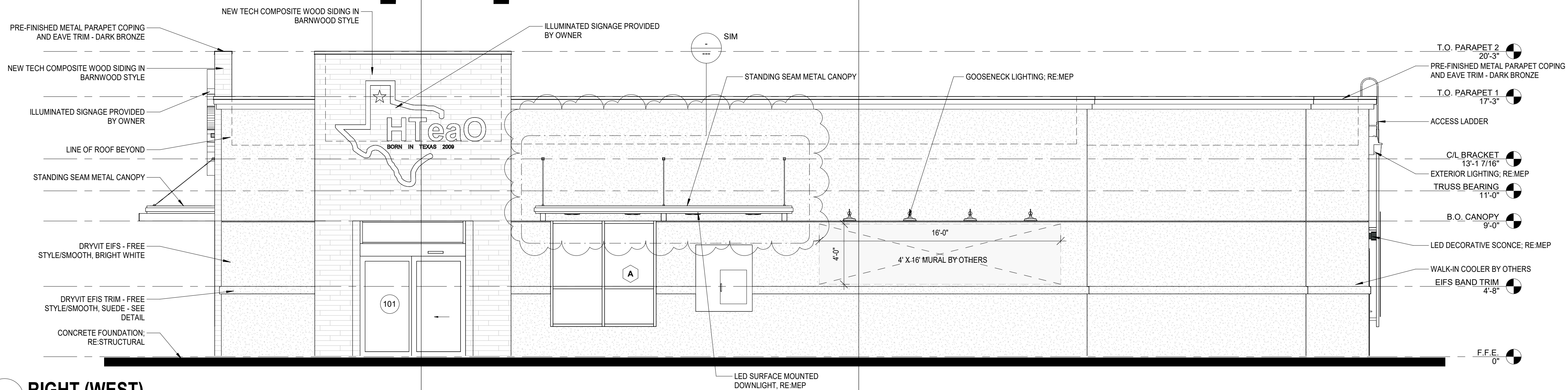
2 FRONT (NORTH)

SCALE: 1/4" = 1'-0"



3 3D View 2

SCALE:



1 RIGHT (WEST)

SCALE: 1/4" = 1'-0"



Date: 7-24-2023
Dwn: BRZ Chk: SJK
Project No.: 2348
Issue:

1	Revision 1	Date 1
---	------------	--------

Sheet Name:
EXTERIOR
ELEVATIONS

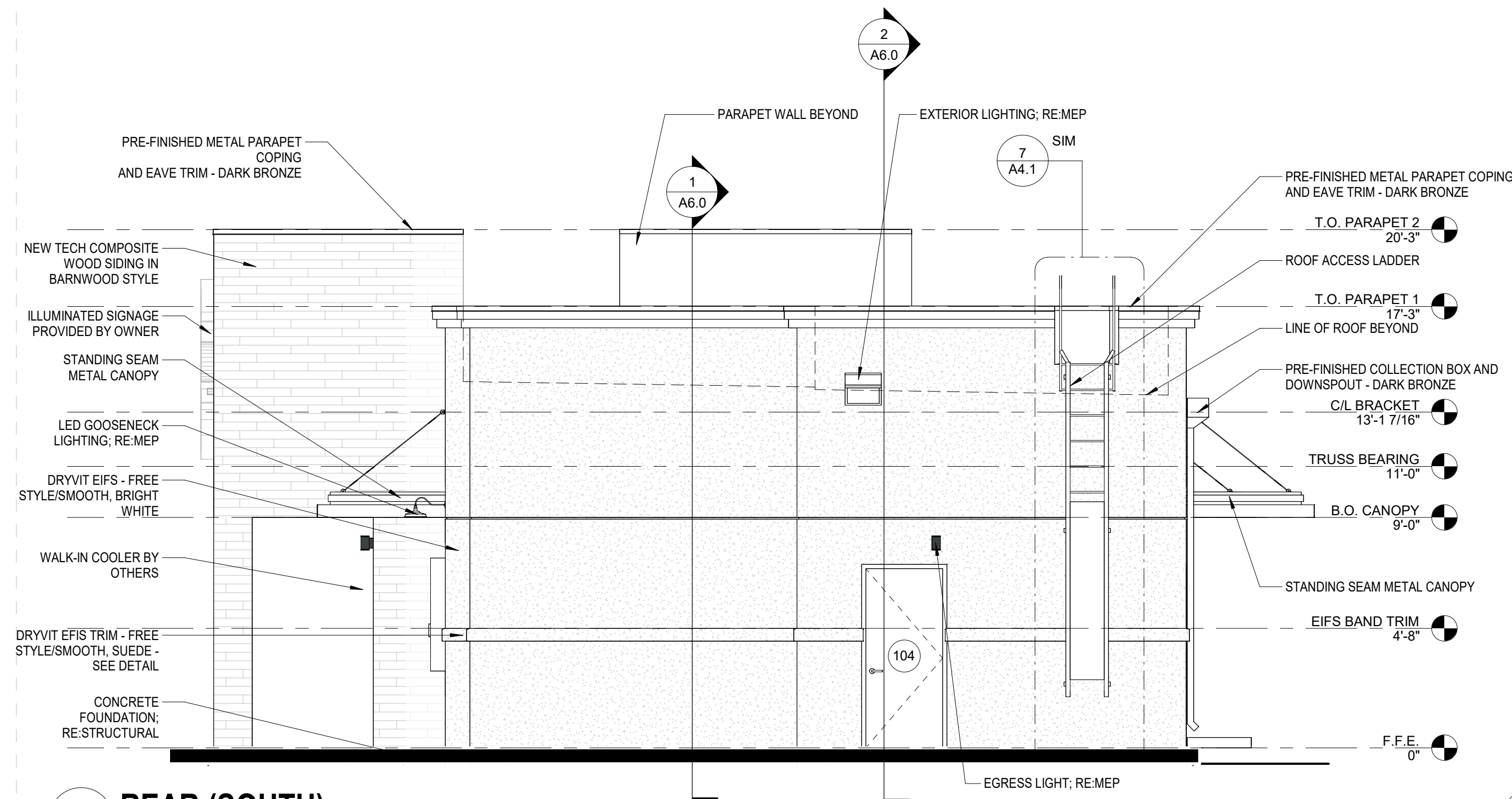
A5.0

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



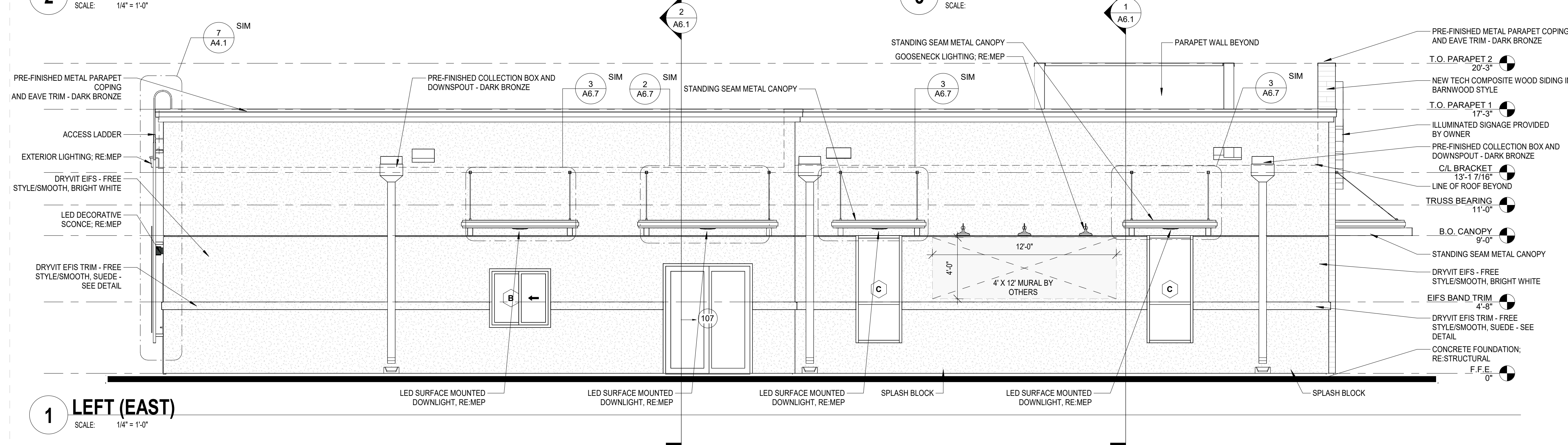
**HTEAO ROCKWALL
ADDRESS
LOCATION**



2 REAR (SOUTH)
SCALE: 1/4" = 1'-0"



3 3D View 1
SCALE:



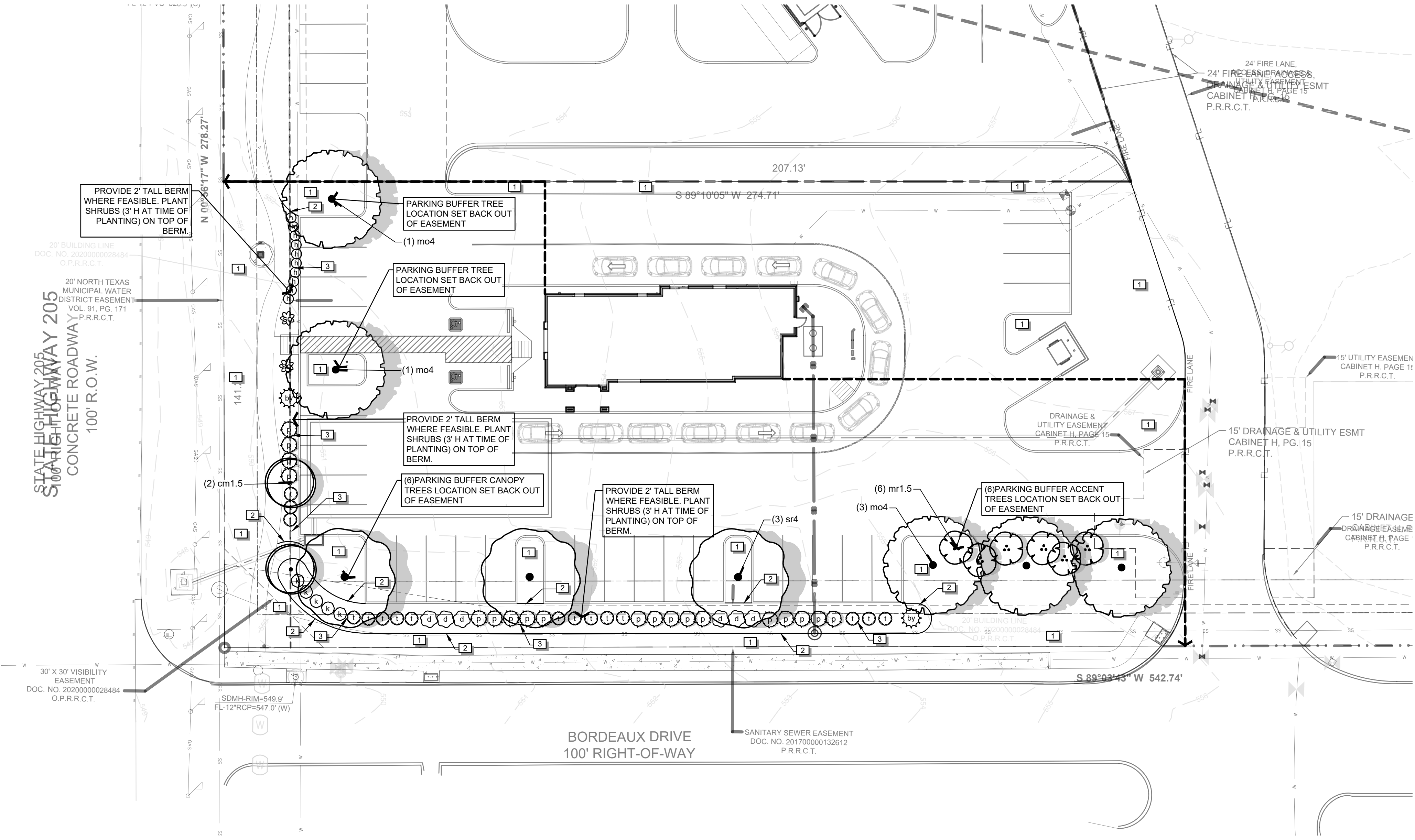
1 LEFT (EAST)
SCALE: 1/4" = 1'-0"



Date: 7-24-2023
Dwn: BRZ Chk: SJK
Project No.: 2348
Issue:

Sheet Name:
EXTERIOR ELEVATIONS

A5.1



LANDSCAPE CALCULATIONS

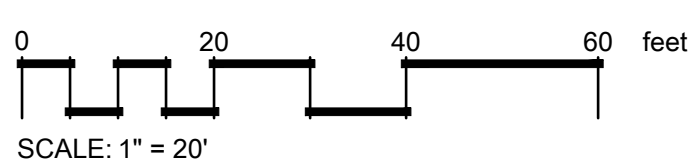
LANDSCAPE BUFFER	REQUIRED	PROVIDED
• N Goliad Dr. (110 lf)		
•• Shade trees (1 per 50 lf)	2	2
•• Accent trees (1 per 50 lf)	2	2
• Bordeaux Dr. (291 lf)		
•• Shade trees (1 per 50 lf)	6	6
•• Accent trees (1 per 50 lf)	6	6

LANDSCAPE SCREENING	REQUIRED	PROVIDED
• Headlight Screening (shrubs and 2' tall berm)		
•• N Goliad Dr.	73 lf	75 lf
•• Bordeaux Dr.	182 lf	184 lf

LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
• Total Site Area	8,524sf	42,619sf
• Amount of Landscaping (20% Total Site)	1,705sf	12,702sf
•• Location of Landscaping (50% in Streetyard)	4,262sf	9,163sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Lawn, Sod
2	Steel Edge
3	Mulch



PLANT SCHEDULE

TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
	mo4	Monterey Oak	Quercus polymorpha 'Monterey'	-	4"Cal	6' H min	5
	sr4	Shumard Red Oak	Quercus shumardii	-	4"Cal	6' H min	3

ORNAMENTAL TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
	cm1.5	Crape Myrtle, Muskogee	Lagerstroemia indica 'Muskogee'	-	1.5"Cal	6' H min	2
	mr1.5	Mexican Redbud	Cercis canadensis mexicana	-	1.5"Cal	6' H min	6

SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
	by	Beaked Yucca, 'Blue Velvet'	Yucca rostrata 'Blue Velvet'	5 gal		1
	d	Dwarf Palmetto	Sabal minor	5 gal		6
	h	Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	5 gal		10
	k	Knock Out Rose	Rosa acicularis 'Knock Out'	5 gal		5
	p	Pineapple Guava	Feijoa sellowiana	5 gal		19
	so	Sotol	Dasylirion texanum	5 gal		2
	t	Texas Sage 'Silverado'	Leucophyllum frutescens 'Silverado'	5 gal		18



Contractors:
 email info@blairla.com with RFIs, submittals, & inspection scheduling
 Schedule inspections at least 2 weeks in advance

Rev	Description	Date
Consultant Seal		
Company Name and Address		
William S. Blair (512) 522-8979 info@blairla.com www.blairla.com 100 Congress Ave. Ste 2000 Austin, TX 78701		
 BLAIR LANDSCAPE ARCHITECTURE, LLC QUALITY. INTEGRITY. RELIABILITY.		
Project Name and Address		
HteaO Rockwall N Goliad Dr. and Bordeaux Dr. Rockwall, Texas		
Sheet Title		
Landscape Plan		
Design By: Will Blair		
Checked By: xxxx		
Issue Date: 09/15/2023		
Project Number: Z3062-LP		
L1 OF 2		

LANDSCAPE PLANTING SPECIFICATIONS

- 1) Guarantee - All labor, materials and plants will be guaranteed for a period of twelve (12) months after the final acceptance of work by Owner. All plants that have died or are unhealthy shall be replaced no later than 30 days from the anniversary date of the final acceptance. This guarantee does not apply to plant material that dies due to abnormal freezes, hail, abnormal high winds, or other acts of God, vandalism or lack of normal maintenance and watering. This guarantee does not apply to annual plantings.
- 2) Contractor is to verify all site dimensions and layout prior to the commencement of landscape construction. Any discrepancies between the drawings and the actual site conditions shall be brought to the attention of the owner's representative immediately.
- 3) Contractor is responsible for verification of the location of all underground utilities, repair to said utilities as a result of the work of the contractor shall be the responsibility of the contractor. Refer to the drawing for any additional information.
- 4) Contractor is responsible for maintaining positive drainage in all shrub and turf planting areas.
- 5) Tree pits are to be the same depth as the root ball and 24" wider. Prior to planting the tree pit should be filled with water to check for good drainage. If water does not drain the Contractor should check with the Landscape Architect to relocate the tree.
- 6) Trees should be positioned in the center of the tree pits, back filled with soil that was excavated from the pit until the surface is level with the surrounding area and the crown of the plant is at the finished grade. Build a water basin around the tree (36" dia.). Water until planting pit is soaked and soil has settled. Add soil necessary to bring soil level flush with surrounding ground. Fill the basin with three (3) inches of compost.
- 7) All plant material shall conform to the standards of the latest edition of "American Standard for Nursery Stock" by The American Association of Nurserymen and "Grades and Standards" by The Texas Association of Nurserymen. A plant shall be dimensioned as it stands in its natural position. All plants shall be at least the minimum size indicated. Larger stock is acceptable at no additional cost, and providing that the larger plants will not be cut back to size indicated.
- 8) It is the landscape contractor's responsibility to provide plants free of disease or pests.
- 9) Space specified quantity of plant materials to evenly fill designated areas, adjusting spacing indicated on the drawings as required. Landscape architect or owner to have final approval of locations of all trees, shrubs and groundcover beds.
- 10) Contractor is responsible for removing all clods, rocks, concrete, trash and any other debris from beds prior to adding soil or plant material.
- 11) All planting beds should have three (3) inches of compost filled into them to a depth of six (6) inches. A three (3) inch layer of shredded hardwood bark mulch should be applied to all beds after planting is completed. Four (4) inch pots and ground cover may be planted through the mulch.
- 12) Contractor is responsible for removal of trash and repair of hazardous conditions (tools, open holes, et.) on a daily basis by the end of the work day.
- 13) Water all plantings in bed areas thoroughly on a daily basis until final acceptance.

- 14) To prepare turf areas treat them with a selective herbicide two weeks prior to sodding or seeding. Then rake area to remove stones, sticks and other debris. Add two (2) inches of topsoil to the turf area. Rake area to a finish grade (1" below walks and curbs).
- 15) If sodding is to take place the sod should be gathered and planted within a 48 hour period. Lay the sod to form a solid mass with tight fitting joints. Butt ends and sides of sod and offset joints in adjacent courses. Roll sod to ensure good contact with soil. If planting on a slope be sure to lay courses parallel to the contours and secure sod with pins if necessary. Site preparation and maintenance will be the same for hydromulching.
- 16) Water sod daily so as to not allow turf blades to wilt. If necessary water twice per day.
- 17) Apply slow release fertilizer 15-15-15 or equal at a rate of 2 lbs. per 100 s.f. to all turf or planted areas.

REFERENCE NOTE SPECIFICATIONS

- LAWN AREAS - SOD / HYDROMULCH / SEED MIX
- 1. Lawn, Bermuda "Tif 419" Sod. Provide spray irrigation. Temporary irrigation only within septic fields or Right of Way (R.O.W.). Pre emergent weed treatment recommended.

STEEL EDGE

- 2. Steel edge, 3/16" x 4" landscape edging as manufactured by Ryerson, or equal, dark green and furnished with steel stakes. Install edging in smooth curves free of kinks. Final height of edging to be 1" above height of soil mat of sod.

MULCHES / GRAVELS / RIVER ROCK / BOULDERS

- 3. Mulch, Native Hardwood. 3" deep with drip irrigation. Ensure that drip line is placed above rootballs.

- 19) Contractor shall keep all construction areas and public streets free from accumulation of waste material. Upon completion of construction and prior to final approval contractor shall thoroughly clean the site of all trash, spilled soil, and litter, etc. that has resulted from landscape construction operations. Repair all damage to finish grade including tailings from excavations, wheel ruts, etc. caused from construction. All debris, trash and excess materials and equipment shall be removed from the site prior to final acceptance.
- 20) Remove all tags, ribbons and wires from all newly installed plant material.

LANDSCAPE MAINTENANCE REQUIREMENTS

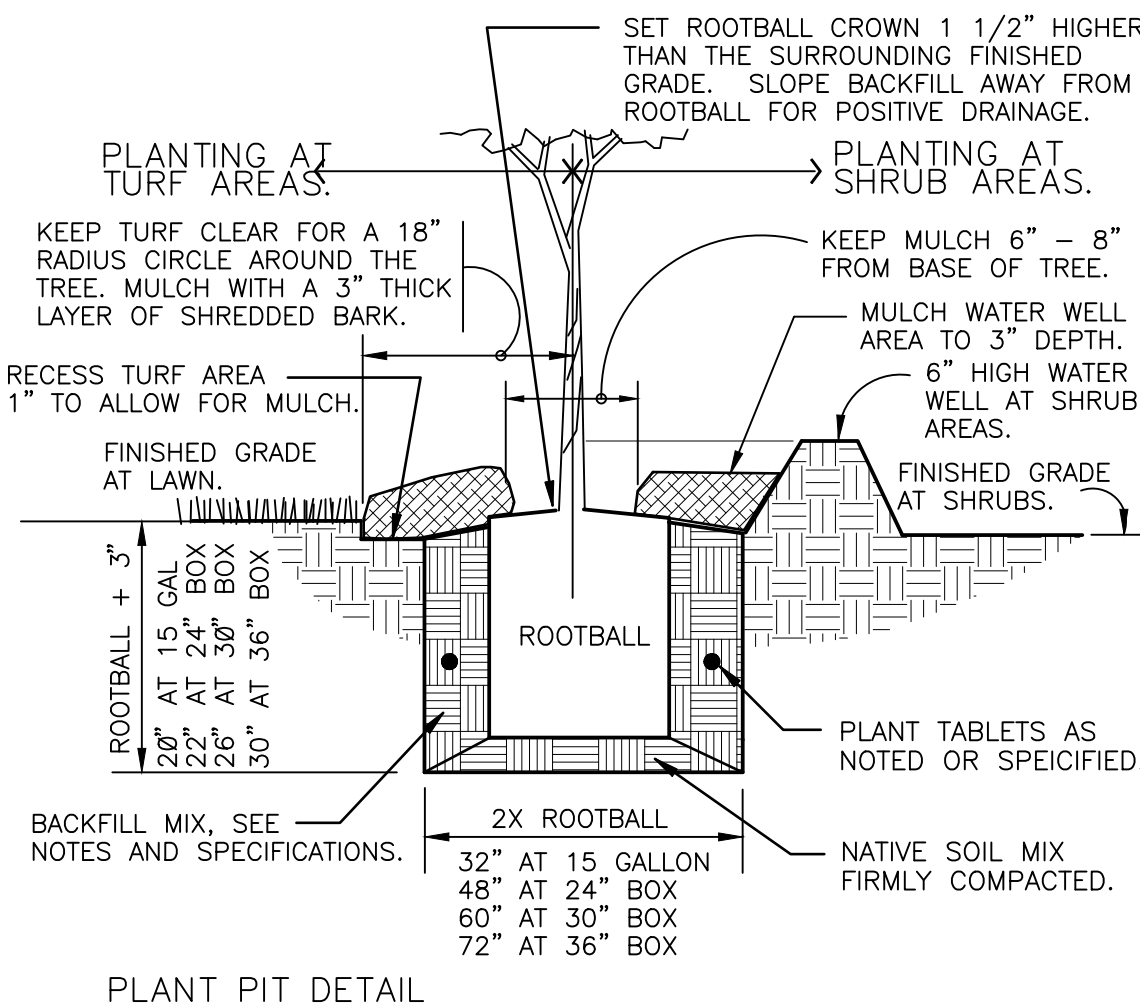
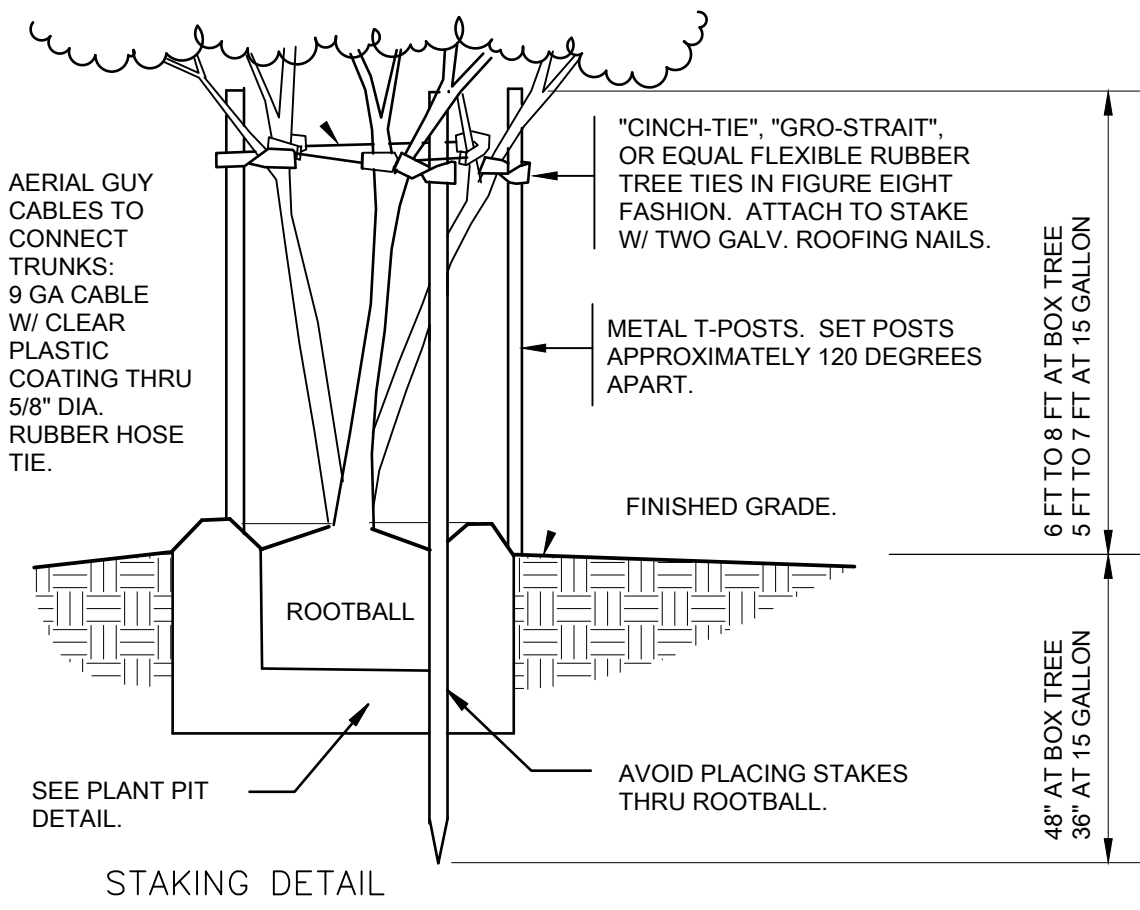
The owner shall be responsible for:

- 1) Regular maintenance of all required landscape areas and plant materials in a vigorous and healthy condition, free from diseases, pests, weeds, and litter. This maintenance shall include weeding, watering, fertilization, pruning, mowing, edging, mulching or other needed maintenance, in accordance with generally accepted horticultural practice.
- 2) The repair or replacement of required landscape structures (walls, fences, etc.) to a structurally sound condition.
- 3) The regular maintenance, repair, or replacement, where necessary, of any required screening or buffering.
- 4) All open space areas that are to be preserved as natural plant communities shall be trimmed, at least once a year, of all exotic vegetation, lawn grasses, trash, or other debris. Natural area should be mulched, pruned and otherwise maintained so that plants are vigorous.

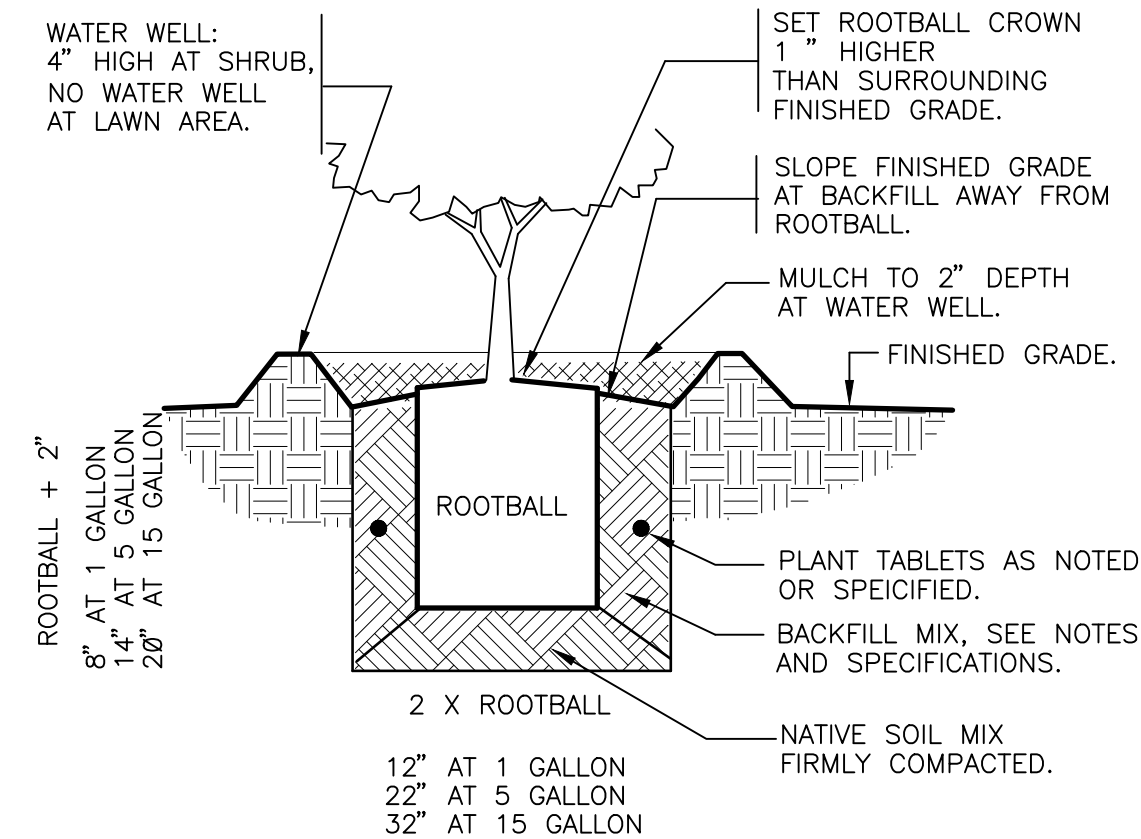
IRRIGATION SPECIFICATIONS

- 1) Irrigation contractor will provide pipes for sleeves and specify locations for placement of sleeves by general contractor prior to pouring concrete or laying asphalt.
- 2) Irrigation contractor will install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local governing authorities.
- 3) Find location of backflow preventer, and automatic controller location shall be approved by the owner's authorized representative.

- 4) 120 VAC electrical power source at controller location shall be provided by others. The irrigation contractor shall make the final connection from the electrical source to the controller.
- 5) All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- 6) The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with minimal overspray onto walks, streets, walls, etc.
- 7) Head location is the responsibility of the irrigation contractor, with the understanding that all landscape areas will receive adequate water to provide for vigorous growth of vegetation.
- 8) Irrigation contractor will replace or repair all items damaged by his work.
- 9) All work shall be installed in accordance with applicable codes and ordinances for the City of Rockwall, Texas and the National Electrical Code and all governing authorities.
- 10) The irrigation contractor is responsible for reporting any deficiency in water pressure that would affect the operation of the irrigation system.
- 11) The irrigation contractor shall be a Registered Licensed Irrigator in the State of Texas. Contractor must conform to all codes as stated in section 34 of the Texas Water Code and TNRCC.
- 12) All remote control valves, gate valves, quick couplers and control wire and computer cable pull pints shall be installed in approved valve boxes.
- 13) Irrigation Contractor shall procure all permits, licenses, and pay all charges and fees and give all necessary notices for the completion of work.
- 14) Contractor shall not disturb roots of existing trees. There shall be no machine trenching below the dripline of existing trees.
- 15) Extreme care shall be exercised in excavating and working near utilities. Contractor shall verify the location and condition of all utilities and be responsible for damage to any utilities.
- 16) Contractor shall clearly mark all exposed excavations, materials, and equipment. Cover or barricade trenches when the contractor is not on the site. Take all necessary precautions to protect and prevent injury to any persons on the site.
- 17) All automatic irrigation systems shall be equipped with a controller of dual or multiple programming. Controllers shall have multiple cycle start capacity and a flexible calendar program, including the capacity of being set to water every five days. All automatic irrigation systems shall be equipped with a rain sensor shutoff device.
- 18) Irrigation in Texas is regulated by the Texas Commission on Environmental Quality, www.tceq.texas.gov, (512) 239-1000



1 TREE PLANTING MULTI-STAKE 1" = 1'-0"



2 SHRUB PLANTING 1" = 1'-0"

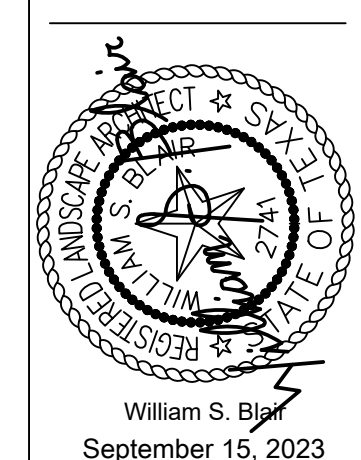
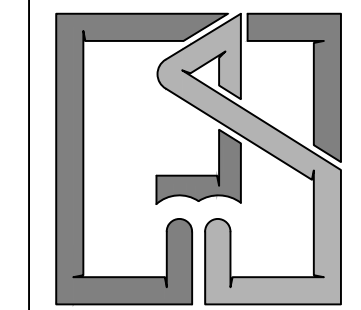
Contractors: email info@blairla.com with RFIs, submittals, & inspection scheduling Schedule inspections at least 2 weeks in advance

Rev	Description	Date

Consultant Seal

Company Name and Address
William S. Blair
(512) 522-8979
info@blairla.com
www.blairla.com
100 Congress Ave.
Ste 2000
Austin, TX 78701

BLAIR LANDSCAPE ARCHITECTURE, LLC
QUALITY. INTEGRITY. RELIABILITY.



Project Name and Address

Hteo | Rockwall
N Gollad Dr. and Bordeaux Dr.
Rockwall, Texas

Sheet Title
Landscape Details & Specifications

Design By: Will Blair
Checked By: xxx
Issue Date: 09/15/2023
Project Number: Z3062-LP

L2 OF 2

will

9/15/2023 10:45 AM d:\ba dropbox\projects\hteo, rockwall, g\kramer, byam zyglaki, scott scarborough, sandin\hteo, rockwall\hteo, rockwall.dwg

will blair

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2023

PROJECT NUMBER: Z2023-048
PROJECT NAME: SUP for a Restaurant with less than 2,000 SF
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	09/22/2023	Approved w/ Comments

09/22/2023: Z2023-046; Specific Use Permit (SUP) for Restaurant Less Than 2,000 SF with Drive-Through or Drive-In (HTeaO)
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2023-046) in the lower right-hand corner of all pages on future submittals.

I.4 According to Planned Development District 70 (PD-70) [Ordinance No. 19-41] the Subject Property shall be subject to the requirements and land uses permitted in the General Retail (GR) District. The Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC) states that the Restaurant with Less Than 2,000 SF with Drive Through or Drive-In land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. In addition, the Conditional Land Use Standards contained in Article 04, Permissible Uses, of the Unified Development Code (UDC) stipulate the following conditions for this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to the drive-through lanes to impair visibility and impact of head-lights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

I.5 According to Subsection 01.06, Residential Adjacency Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In that is adjacent to a residential district shall be required to meet the Residential Adjacency Standards. In this case, the request appears to conform to all of the Residential Adjacency Standards.

M.6 Please make the following changes to the Concept Plan:

- (1) Show a minimum of six (6) vehicles. (Article 04, Permissible Uses, of the Unified Development Code)
- (2) Cluster the landscaping on the east side of the property behind the dumpster. (Subsection 01.05, Screening Standards, of Article 05, District Development Standards, of the Unified Development Code)
- (3) Add shrubs around the dumpster enclosure for proper screening. (Subsection 01.05, Screening Standards, of Article 05, District Development Standards, of the Unified Development Code)
- (4) Add headlight screening to the parking spaces on the east side of the property. (Article 04, Permissible Uses, of the Unified Development Code)
- (5) Remove and replace the crape myrtles with other approved accent trees. (Appendix C, Landscaping Guidelines and Requirements)
- (6) Increased landscaping along N. Goliad Street.

M.7 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

- (1) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.

M.8 Please review the attached Draft Ordinance prior to the September 26, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than October 3, 2023. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 10, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 26, 2023.

I.10 The projected City Council meeting dates for this case will be October 16, 2023 (1st Reading) and November 6, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/19/2023	Approved w/ Comments

- 09/19/2023:
1. Show fire lane striping if fire lane is needed. Ensure min. fire lane radius can be met (20').
 2. What is the driveway spacing here? Please dimension.
 3. Min. 20' fire lane radius.
 4. Show proposed utilities on site plan.
 5. Bring the proposed water meters onto this lot. Will have to be within easements.
 6. Show stacked cars and ensure stacking requirements are met.
 7. All parking to be 20'x9'.
 8. No trees within 10' of NTMWD water line.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.

Drainage Items:

- Detention is required.

- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Detention ponds must be in a drainage and detention easement.
- No vertical walls in detention ponds
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- Dumpster areas/pads must drain to an oil/water separator.

Water and Wastewater Items:

- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. Easement width based on size of line and depth.
- Required to show ex. and proposed water and sewer on site plan.

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/21/2023	Approved

09/21/2023: * GREASE TRAP REQUIRED FOR BUSINESS

* OIL/WATER SEPARATOR REQUIRED FOR DUMPSTER ENCLOSURE,ENCLOSURE TO HAVE A TRENCH DRAIN THAT WILL FLOW THROUGH AN OIL/WATER SEPARATOR BEFORE DISCHARGING TO THE STORM WATER LINE

* MORE REQUIREMENTS MAY BE REQUIRED WHEN BUILDING PLANS ARE SUBMITTED

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/18/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/18/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Angelica Guevara	09/22/2023	N/A

No Comments

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.

Drainage Items:

- Detention is required.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Detention ponds must be in a drainage and detention easement.
- No vertical walls in detention ponds
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- Dumpster areas/pads must drain to an oil/water separator.

Water and Wastewater Items:

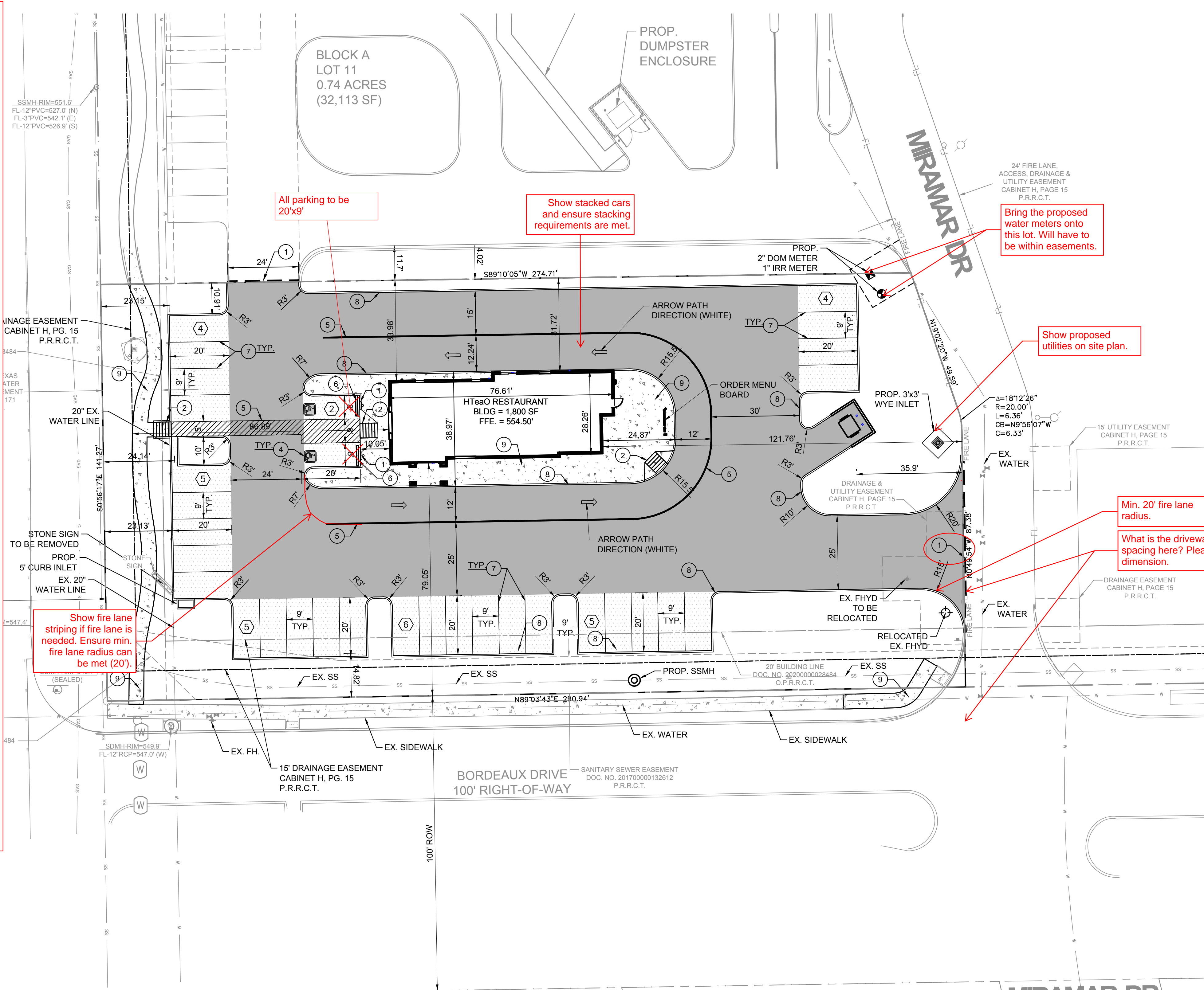
- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. Easement width based on size of line and depth.
- Required to show ex. and proposed water and sewer on site plan.

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



PLOTTED BY: SASHI SANCA
 PLOT DATE: 9/15/2023 11:22 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2023-110 APPPJ MGMT - HTEAO ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 9/15/2023 11:21 AM

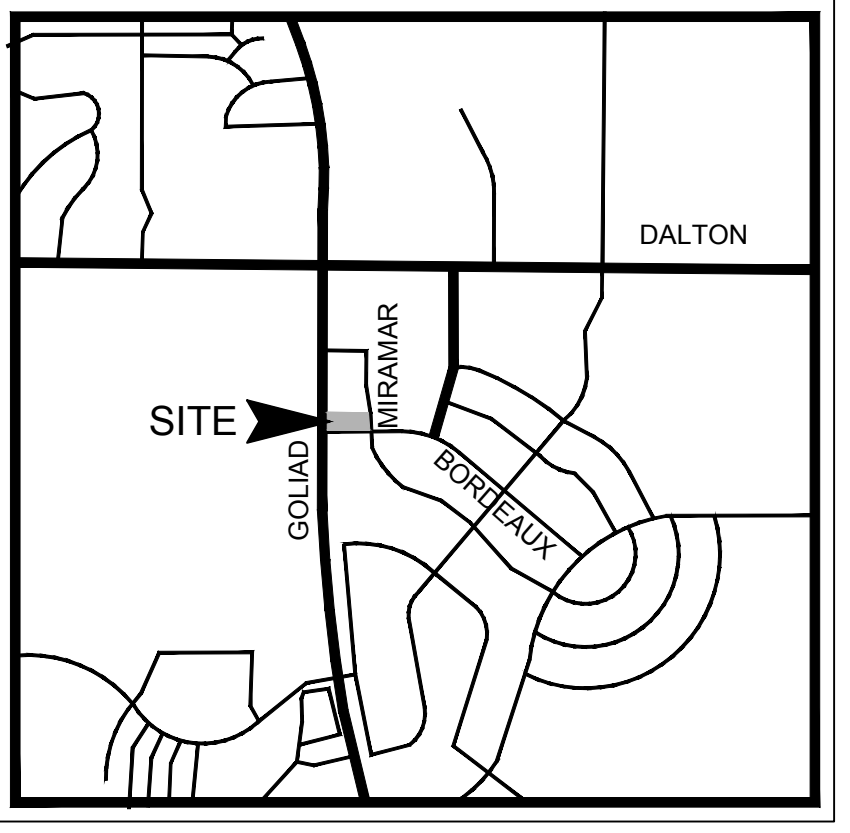
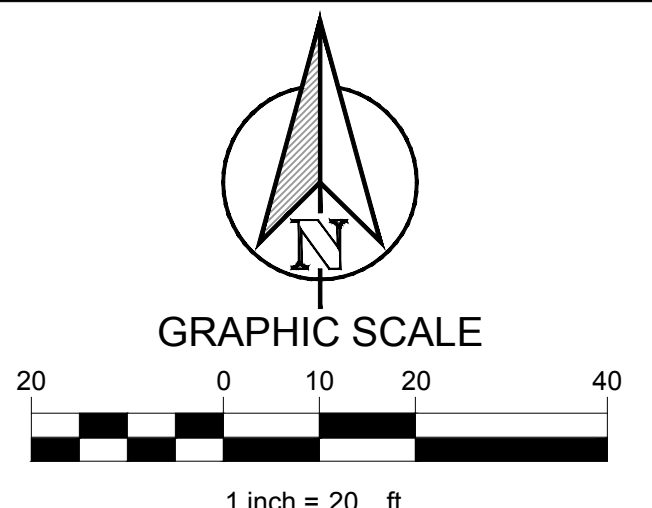
PARKING DATA TABLE	
PARKING REQ.	
DRIVE-THRU RESTAURANT (1,800 SF) 1/ 100 SF	18 SPACES
PARKING PROVIDED	
STANDARD PARKING	29 SPACES
ADA PARKING	2 SPACES
TOTAL	31 SPACES (2 ADA)

SITE DATA TABLE	
SITE AREA	0.933 AC (40,627 SF)
ZONING	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT
BUILDING SIZE	1,800 SF
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	28,117 SF (69)

CONSTRUCTION SCHEDULE	
①	HANDICAP SIGN
②	ADA RAMP; 12:1 MAX. SLOPE
③	SAWCUT FULL DEPTH EXISTING PAVEMENT
④	HANDICAP SYMBOL
⑤	PAVEMENT STRIPING
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE
⑧	CURB & GUTTER PER DETAIL SHEET C-12
⑨	PROPOSED SIDEWALK SEE DETAIL SHEET C-12

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER:
 METROPLEX ACQUISITIONS FUND, LP
 1717 WOODSTEAD CT. SUITE 207
 THE WOODLANDS, TX 77380
 CONTACT: STACI BOWEN
 PH: 214.343.447



CONSTRUCTION SCHEDULE	
[Symbol]	PROPOSED 5" LIME STABILIZED STANDARD DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED 6" LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED 5" LIME STABILIZED SIDEWALK CONCRETE PAVEMENT
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PROPOSED FIRE LANE, PUBLIC ACCESS (ADN) UTILITY EASEMENT
[Symbol]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

- NOTES:**
1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

APPPJ MANAGEMENT
 LEGAL DESCRIPTION AND OR ADDRESS:
 HWY 205 & BORDEAUX DRIVE
 ROCKWALL, TX 75087
 0.933 AC (40,627 SF)

DEVELOPER:
 APPPJ MANAGEMENT
 740 AVALON DR
 HEATH, TX 75032
 CONTACT: JEFF IVY
 PH: 214-272-4350

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: CLAY CRISTY
 PH: 817.281.0572

CASE NUMBER:
 SP2023-000

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DR. SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 CLAY CRISTY
 Engineer No. 109800 Date 9/15/2023

**HTEAO RESTAURANT
 HWY 205 & BORDEAUX DR
 ROCKWALL, TX 75087**

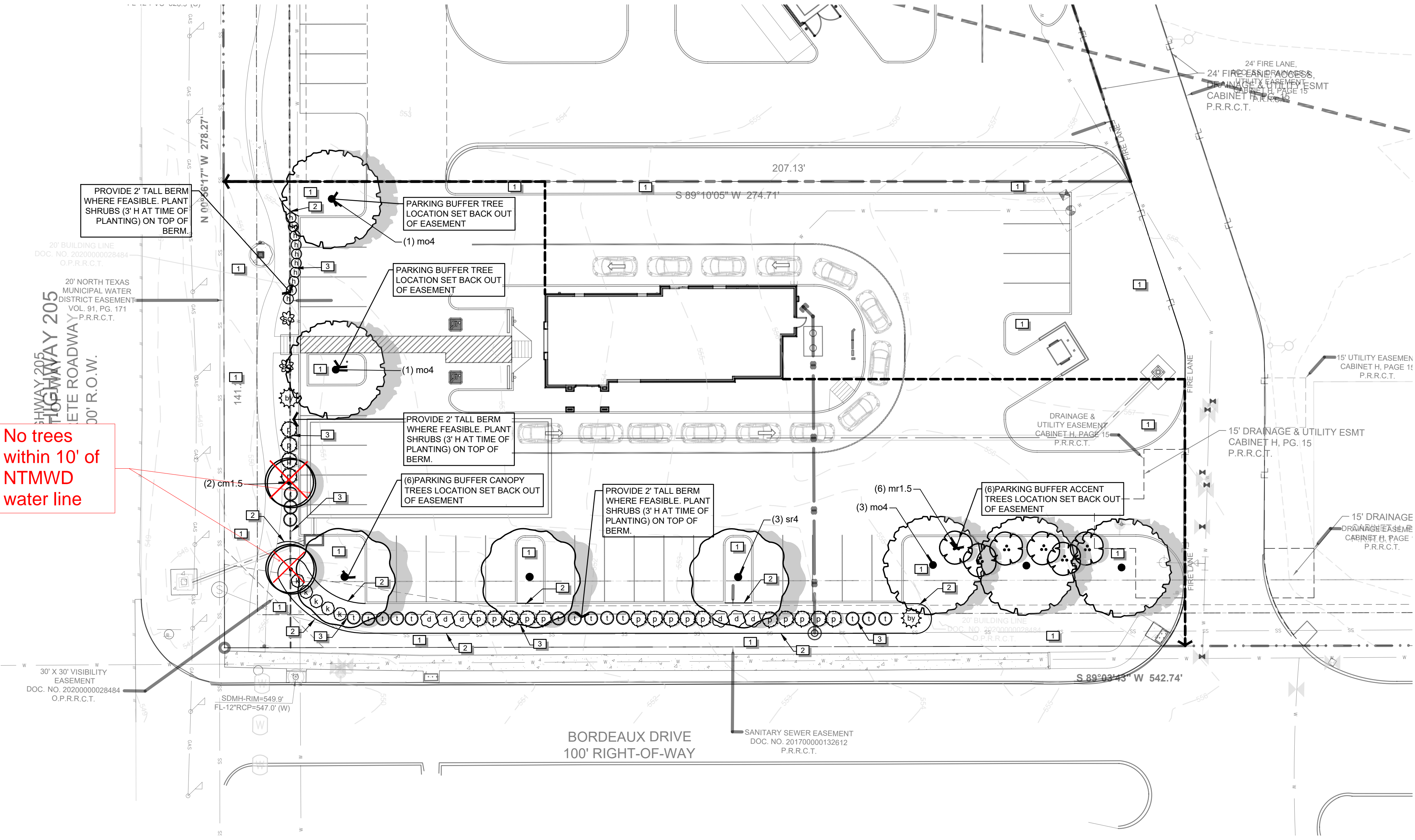
NO.	DATE	REVISION	BY
1	12/07/2020	STORM REVISION	LRR
2	09/13/2021	STORM REVISION	LRR

SITE PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 9/15/2023

SHEET
SP-1

File No. 2020-021
 CASE # SP2023-000



No trees within 10' of NTMWD water line

LANDSCAPE CALCULATIONS

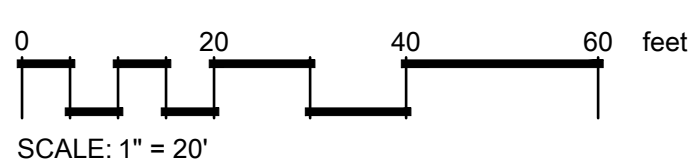
	REQUIRED	PROVIDED
LANDSCAPE BUFFER		
• N Goliad Dr. (110 lf)		
•• Shade trees (1 per 50 lf)	2	2
•• Accent trees (1 per 50 lf)	2	2
• Bordeaux Dr. (291 lf)		
•• Shade trees (1 per 50 lf)	6	6
•• Accent trees (1 per 50 lf)	6	6
LANDSCAPE SCREENING		
• Headlight Screening (shrubs and 2' tall berm)		
•• N Goliad Dr.	73 lf	75 lf
•• Bordeaux Dr.	182 lf	184 lf
LANDSCAPE REQUIREMENTS		
• Total Site Area	8,524sf	42,619sf
• Amount of Landscaping (20% Total Site)	1,705sf	12,702sf
•• Location of Landscaping (50% in Streetyard)	4,262sf	9,163sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Lawn, Sod
2	Steel Edge
3	Mulch

PLANT SCHEDULE

TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
	mo4	Monterey Oak	Quercus polymorpha 'Monterey'	-	4"Cal	6' H min	5
	sr4	Shumard Red Oak	Quercus shumardii	-	4"Cal	6' H min	3
ORNAMENTAL TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
	cm1.5	Crape Myrtle, Muskogee	Lagerstroemia indica 'Muskogee'	-	1.5"Cal	6' H min	2
	mr1.5	Mexican Redbud	Cercis canadensis mexicana	-	1.5"Cal	6' H min	6
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	CONT	SIZE		
	by	Beaked Yucca, 'Blue Velvet'	Yucca rostrata 'Blue Velvet'	5 gal			1
	d	Dwarf Palmetto	Sabal minor	5 gal			6
	h	Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	5 gal			10
	k	Knock Out Rose	Rosa acicularis 'Knock Out'	5 gal			5
	p	Pineapple Guava	Feijoa sellowiana	5 gal			19
	so	Sotol	Dasyliyon texanum	5 gal			2
	t	Texas Sage 'Silverado'	Leucophyllum frutescens 'Silverado'	5 gal			18

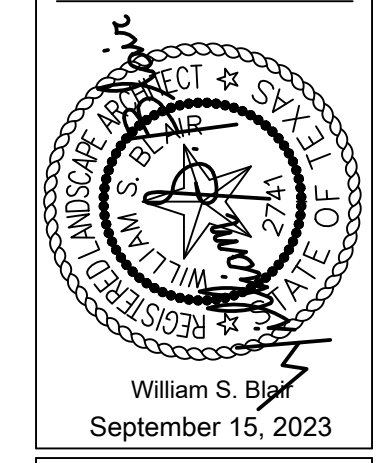
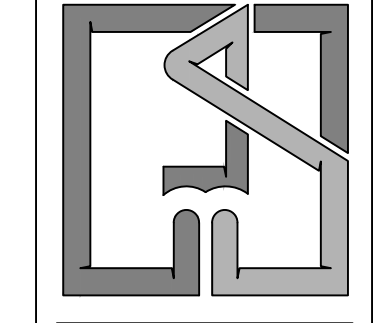


Rev	Description	Date

Consultant Seal

Company Name and Address
 William S. Blair
 (512) 522-8979
 info@blairla.com
 www.blairla.com
 100 Congress Ave.
 Ste 2000
 Austin, TX 78701

BLAIR LANDSCAPE ARCHITECTURE, LLC
 QUALITY. INTEGRITY. RELIABILITY.



Project Name and Address
 Hiteao | Rockwall
 N Goliad Dr. and Bordeaux Dr.
 Rockwall, Texas

Hiteao | Rockwall
 N Goliad Dr. and Bordeaux Dr.
 Rockwall, Texas

Sheet Title
Landscape Plan

Design By: Will Blair
 Checked By: xxxx
 Issue Date: 09/15/2023
 Project Number: Z3062-LP

L1
 OF 2



Contractors:
 email info@blairla.com with RFIs, submittals, & inspection scheduling
 Schedule inspections at least 2 weeks in advance

Know what's below.
 Call before you dig.

LANDSCAPE PLANTING SPECIFICATIONS

- 1) Guarantee - All labor, materials and plants will be guaranteed for a period of twelve (12) months after the final acceptance of work by Owner. All plants that have died or are unhealthy shall be replaced no later than 30 days from the anniversary date of the final acceptance. This guarantee does not apply to plant material that dies due to abnormal freezes, hail, abnormal high winds, or other acts of God, vandalism or lack of normal maintenance and watering. This guarantee does not apply to annual plantings.
- 2) Contractor is to verify all site dimensions and layout prior to the commencement of landscape construction. Any discrepancies between the drawings and the actual site conditions shall be brought to the attention of the owner's representative immediately.
- 3) Contractor is responsible for verification of the location of all underground utilities, repair to said utilities as a result of the work of the contractor shall be the responsibility of the contractor. Refer to the drawing for any additional information.
- 4) Contractor is responsible for maintaining positive drainage in all shrub and turf planting areas.
- 5) Tree pits are to be the same depth as the root ball and 24" wider. Prior to planting the tree pit should be filled with water to check for good drainage. If water does not drain the Contractor should check with the Landscape Architect to relocate the tree.
- 6) Trees should be positioned in the center of the tree pits, back filled with soil that was excavated from the pit until the surface is level with the surrounding area and the crown of the plant is at the finished grade. Build a water basin around the tree (36" dia.). Water until planting pit is soaked and soil has settled. Add soil necessary to bring soil level flush with surrounding ground. Fill the basin with three (3) inches of compost.
- 7) All plant material shall conform to the standards of the latest edition of "American Standard for Nursery Stock" by The American Association of Nurserymen and "Grades and Standards" by The Texas Association of Nurserymen. A plant shall be dimensioned as it stands in its natural position. All plants shall be at least the minimum size indicated. Larger stock is acceptable at no additional cost, and providing that the larger plants will not be cut back to size indicated.
- 8) It is the landscape contractor's responsibility to provide plants free of disease or pests.
- 9) Space specified quantity of plant materials to evenly fill designated areas, adjusting spacing indicated on the drawings as required. Landscape architect or owner to have final approval of locations of all trees, shrubs and groundcover beds.
- 10) Contractor is responsible for removing all clods, rocks, concrete, trash and any other debris from beds prior to adding soil or plant material.
- 11) All planting beds should have three (3) inches of compost filled into them to a depth of six (6) inches. A three (3) inch layer of shredded hardwood bark mulch should be applied to all beds after planting is completed. Four (4) inch pots and ground cover may be planted through the mulch.
- 12) Contractor is responsible for removal of trash and repair of hazardous conditions (tools, open holes, et.) on a daily basis by the end of the work day.
- 13) Water all plantings in bed areas thoroughly on a daily basis until final acceptance.

- 14) To prepare turf areas treat them with a selective herbicide two weeks prior to sodding or seeding. Then rake area to remove stones, sticks and other debris. Add two (2) inches of topsoil to the turf area. Rake area to a finish grade (1" below walks and curbs).
- 15) If sodding is to take place the sod should be gathered and planted within a 48 hour period. Lay the sod to form a solid mass with tight fitting joints. Butt ends and sides of sod and offset joints in adjacent courses. Roll sod to ensure good contact with soil. If planting on a slope be sure to lay courses parallel to the contours and secure sod with pins if necessary. Site preparation and maintenance will be the same for hydromulching.
- 16) Water sod daily so as to not allow turf blades to wilt. If necessary water twice per day.
- 17) Apply slow release fertilizer 15-15-15 or equal at a rate of 2 lbs. per 100 s.f. to all turf or planted areas.

REFERENCE NOTE SPECIFICATIONS

- LAWN AREAS - SOD / HYDROMULCH / SEED MIX
1. Lawn, Bermuda "Tif 419" Sod. Provide spray irrigation. Temporary irrigation only within septic fields or Right of Way (R.O.W.). Pre emergent weed treatment recommended.

STEEL EDGE

2. Steel edge, 3/16" x 4" landscape edging as manufactured by Ryerson, or equal, dark green and furnished with steel stakes. Install edging in smooth curves free of kinks. Final height of edging to be 1" above height of soil mat of sod.

MULCHES / GRAVELS / RIVER ROCK / BOULDERS

3. Mulch, Native Hardwood. 3" deep with drip irrigation. Ensure that drip line is placed above rootballs.

- 19) Contractor shall keep all construction areas and public streets free from accumulation of waste material. Upon completion of construction and prior to final approval contractor shall thoroughly clean the site of all trash, spilled soil, and litter, etc. that has resulted from landscape construction operations. Repair all damage to finish grade including tailings from excavations, wheel ruts, etc. caused from construction. All debris, trash and excess materials and equipment shall be removed from the site prior to final acceptance.
- 20) Remove all tags, ribbons and wires from all newly installed plant material.

LANDSCAPE MAINTENANCE REQUIREMENTS

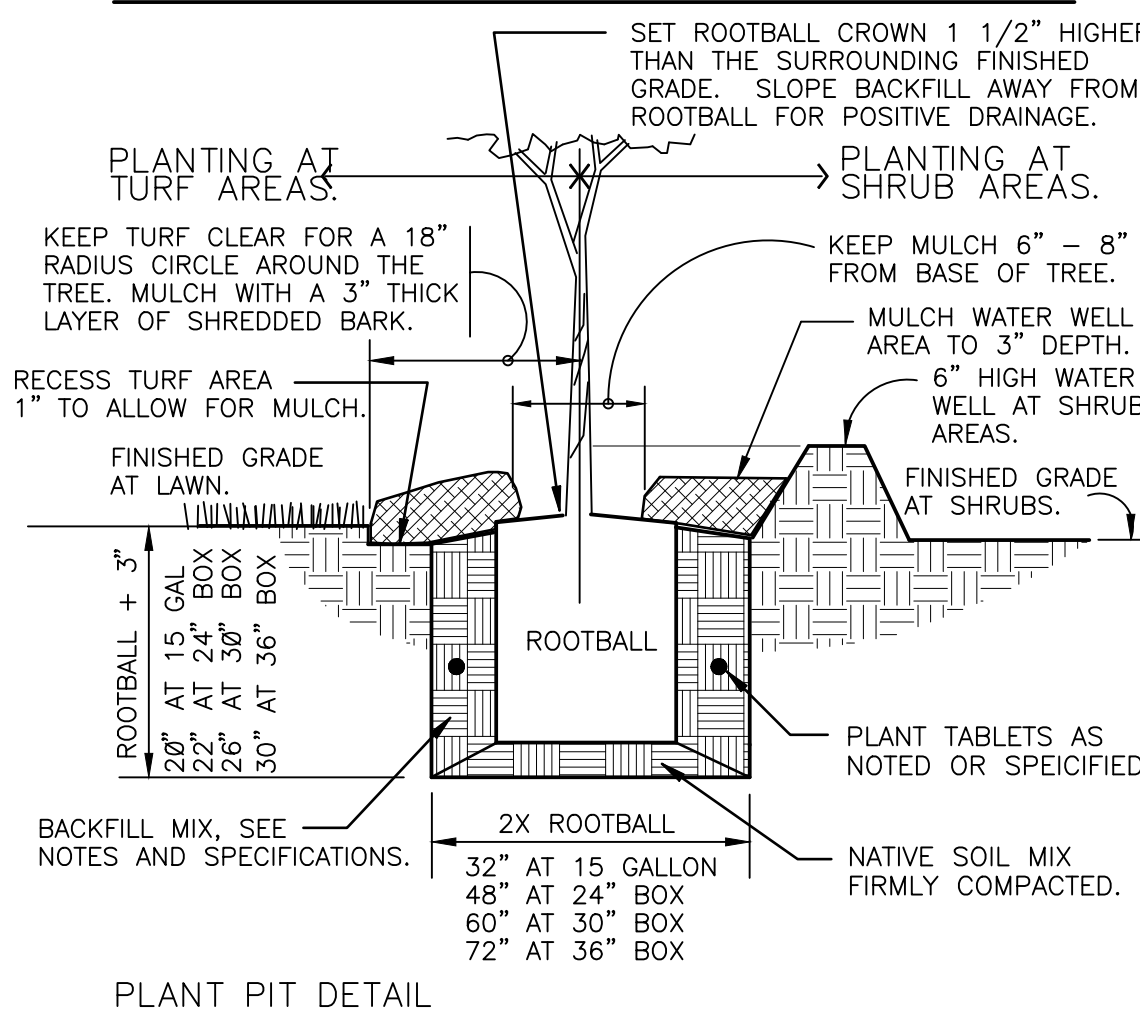
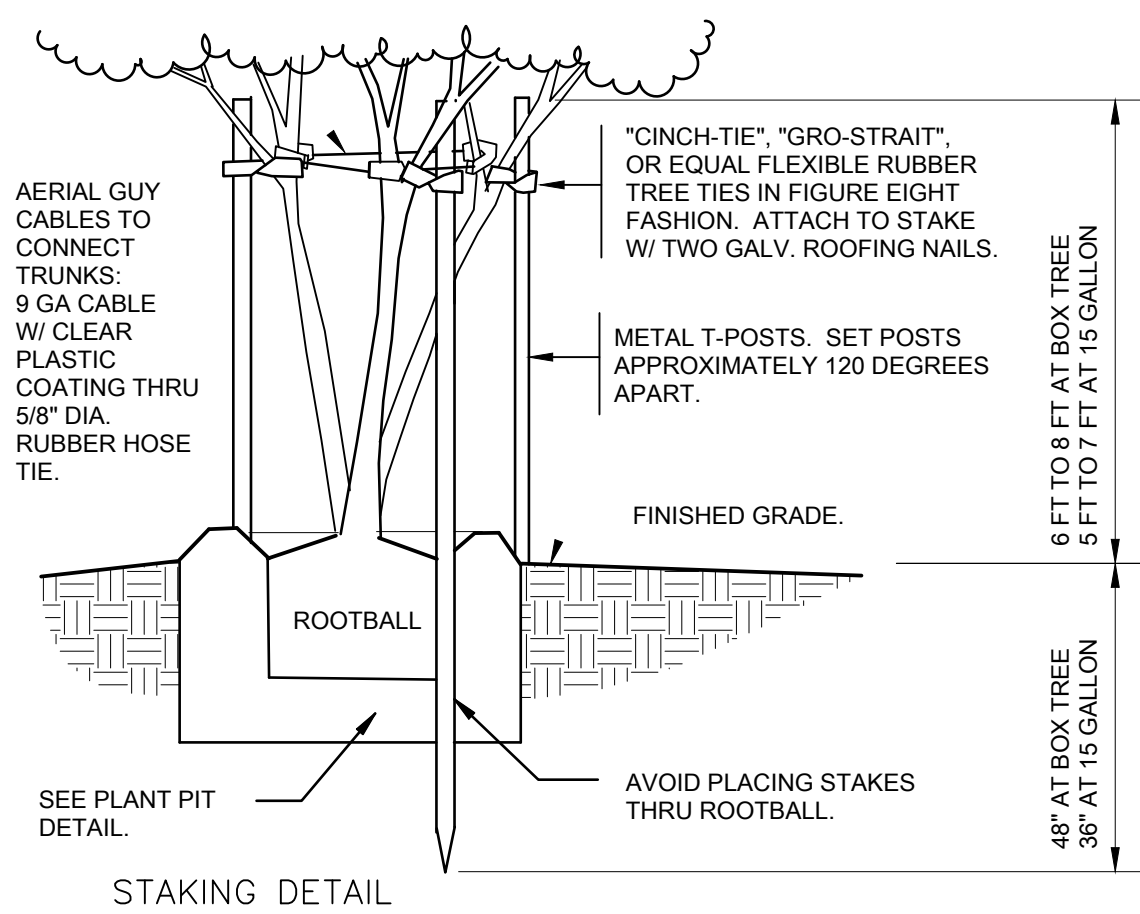
The owner shall be responsible for:

- 1) Regular maintenance of all required landscape areas and plant materials in a vigorous and healthy condition, free from diseases, pests, weeds, and litter. This maintenance shall include weeding, watering, fertilization, pruning, mowing, edging, mulching or other needed maintenance, in accordance with generally accepted horticultural practice.
- 2) The repair or replacement of required landscape structures (walls, fences, etc.) to a structurally sound condition.
- 3) The regular maintenance, repair, or replacement, where necessary, of any required screening or buffering.
- 4) All open space areas that are to be preserved as natural plant communities shall be trimmed, at least once a year, of all exotic vegetation, lawn grasses, trash, or other debris. Natural area should be mulched, pruned and otherwise maintained so that plants are vigorous.

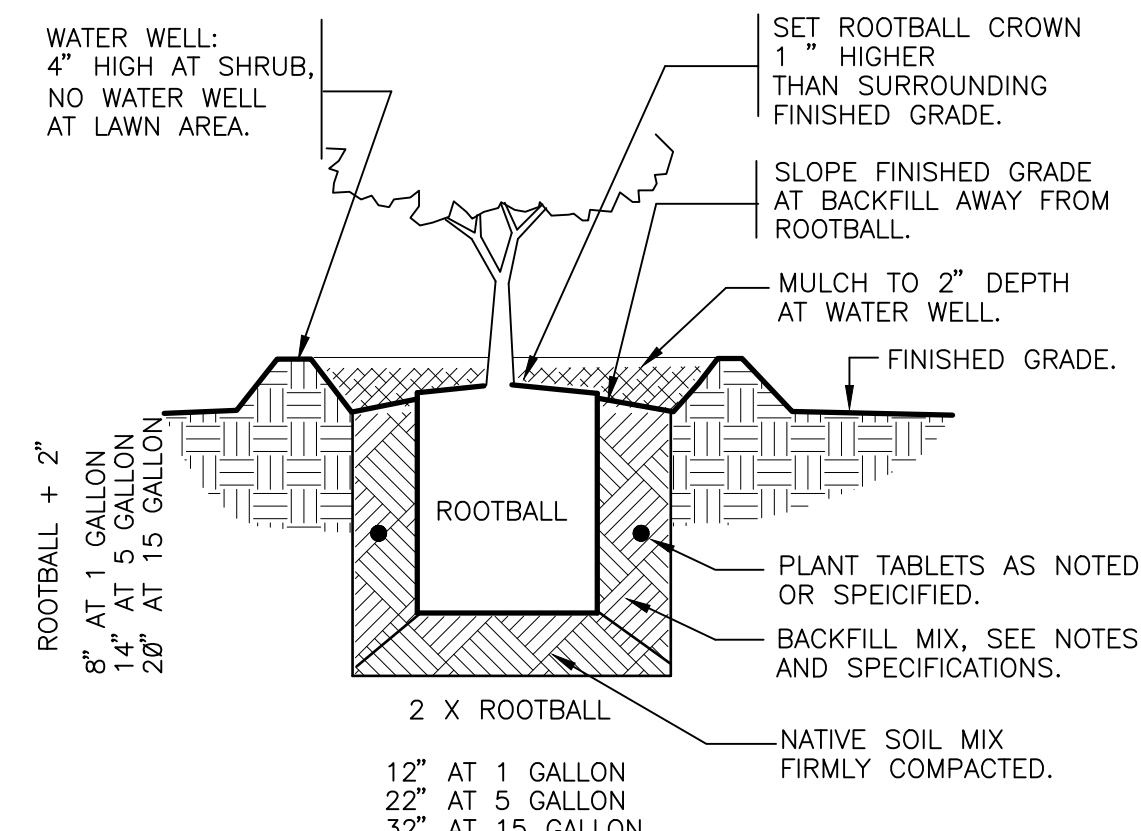
IRRIGATION SPECIFICATIONS

- 1) Irrigation contractor will provide pipes for sleeves and specify locations for placement of sleeves by general contractor prior to pouring concrete or laying asphalt.
- 2) Irrigation contractor will install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local governing authorities.
- 3) Find location of backflow preventer, and automatic controller location shall be approved by the owner's authorized representative.

- 4) 120 VAC electrical power source at controller location shall be provided by others. The irrigation contractor shall make the final connection from the electrical source to the controller.
- 5) All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- 6) The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with minimal overspray onto walks, streets, walls, etc.
- 7) Head location is the responsibility of the irrigation contractor, with the understanding that all landscape areas will receive adequate water to provide for vigorous growth of vegetation.
- 8) Irrigation contractor will replace or repair all items damaged by his work.
- 9) All work shall be installed in accordance with applicable codes and ordinances for the City of Rockwall, Texas and the National Electrical Code and all governing authorities.
- 10) The irrigation contractor is responsible for reporting any deficiency in water pressure that would affect the operation of the irrigation system.
- 11) The irrigation contractor shall be a Registered Licensed Irrigator in the State of Texas. Contractor must conform to all codes as stated in section 34 of the Texas Water Code and TNRCC.
- 12) All remote control valves, gate valves, quick couplers and control wire and computer cable pull pints shall be installed in approved valve boxes.
- 13) Irrigation Contractor shall procure all permits, licenses, and pay all charges and fees and give all necessary notices for the completion of work.
- 14) Contractor shall not disturb roots of existing trees. There shall be no machine trenching below the dripline of existing trees.
- 15) Extreme care shall be exercised in excavating and working near utilities. Contractor shall verify the location and condition of all utilities and be responsible for damage to any utilities.
- 16) Contractor shall clearly mark all exposed excavations, materials, and equipment. Cover or barricade trenches when the contractor is not on the site. Take all necessary precautions to protect and prevent injury to any persons on the site.
- 17) All automatic irrigation systems shall be equipped with a controller of dual or multiple programming. Controllers shall have multiple cycle start capacity and a flexible calendar program, including the capacity of being set to water every five days. All automatic irrigation systems shall be equipped with a rain sensor shutoff device.
- 18) Irrigation in Texas is regulated by the Texas Commission on Environmental Quality, www.tceq.texas.gov, (512) 239-1000



1 TREE PLANTING MULTI-STAKE
1" = 1'-0"



2 SHRUB PLANTING
1" = 1'-0"

will

9/15/2023 10:45 AM d:\ba dropbox\projects\hiteao, rockwall_9\kramer, byam zygluski, scott scarborough, sandin\hiteao, rockwall\hiteao, rockwall.dwg

will blair

Contractors:
email info@blairla.com with RFIs, submittals, & inspection scheduling
Schedule inspections at least 2 weeks in advance

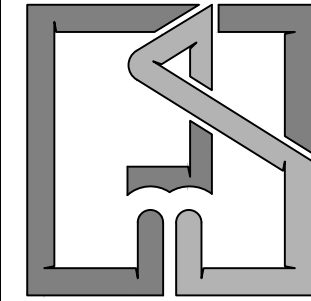
Rev	Description	Date

Consultant Seal

Company Name and Address

William S. Blair
(512) 522-8979
info@blairla.com
www.blairla.com
100 Congress Ave.
Ste 2000
Austin, TX 78701

BLAIR LANDSCAPE ARCHITECTURE, LLC
QUALITY. INTEGRITY. RELIABILITY.



Project Name and Address

Hteo | Rockwall
N Gollad Dr. and Bordeaux Dr.
Rockwall, Texas

Sheet Title

Landscape Details & Specifications

Design By: Will Blair
Checked By: xxxx
Issue Date: 09/15/2023
Project Number: Z3062-LP

L2
OF 2



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address _____

Subdivision Stone Creek Retail Addition

Lot 12

Block A

General Location North East Corner of N. Goliad St and Bordeaux Dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-070

Current Use Undeveloped

Proposed Zoning PD-070

Proposed Use Retail

Acreage 0.93

Lots [Current] 1

Lots [Proposed] 2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Metroplex Acquisition Fund, LP

Applicant ClayMoore Engineering

Contact Person Staci Bowen

Contact Person Clay Cristy

Address 1717 Woodstead Ct.

Address 1903 Central Dr.

Ste. 207

Ste. 406

City, State & Zip The Woodlands, TX 77380

City, State & Zip Bedford, Texas 76021

Phone 214.343.4477

Phone 817.281.0572

E-Mail sbowen@crestviewcompanies.com

E-Mail Clay@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

Billy J. Brice III, President of Metroplex Acquisition Fund, LP

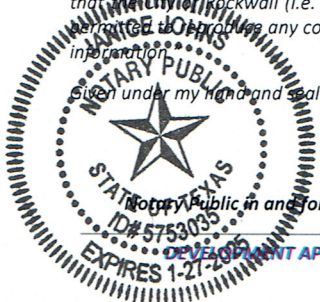
Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 482.57, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of September, 20 23. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information.

Signed under my hand and seal of office on this the 14th day of September, 20 23

Owner's Signature _____

My Commission Expires 1-27-2025



0 20 40 80 120 160 Feet

Z2023-048: SUP for a Restaurant (HTeaO)

205

N GOLIAD ST

SF-16

PD-70

BORDEAUX DR

MIRAMAR DR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

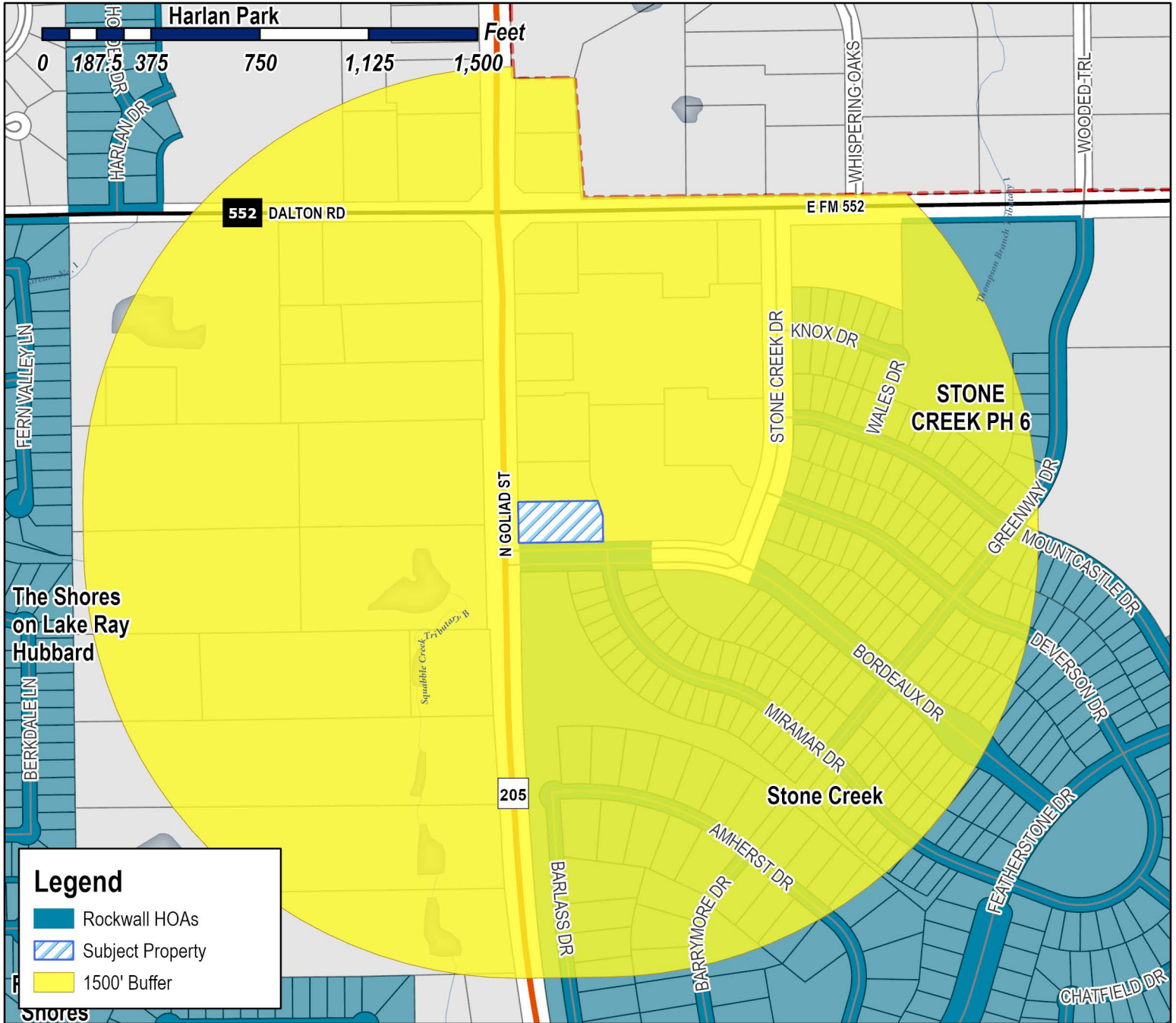
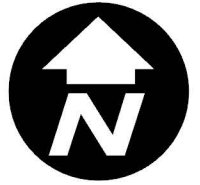




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Legend

-  Rockwall HOAs
-  Subject Property
-  1500' Buffer

Case Number: Z2023-048
Case Name: SUP for a Restaurant Less Than 2,000 SF w/Drive-Through
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: NEC of N. Goliad Street & Bordeaux Street

Date Saved: 9/15/2023

For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-048]
Date: Friday, September 22, 2023 10:30:04 AM
Attachments: [Public Notice \(P&Z\) \(09.18.2023\).pdf](#)
[HOA Map \(09.18.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [September 22, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 10, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 16, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-048: SUP for a Restaurant w/ Less Than 2,000 SF

Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a [Specific Use Permit \(SUP\)](#) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

Thank You,

Melanie Zavala

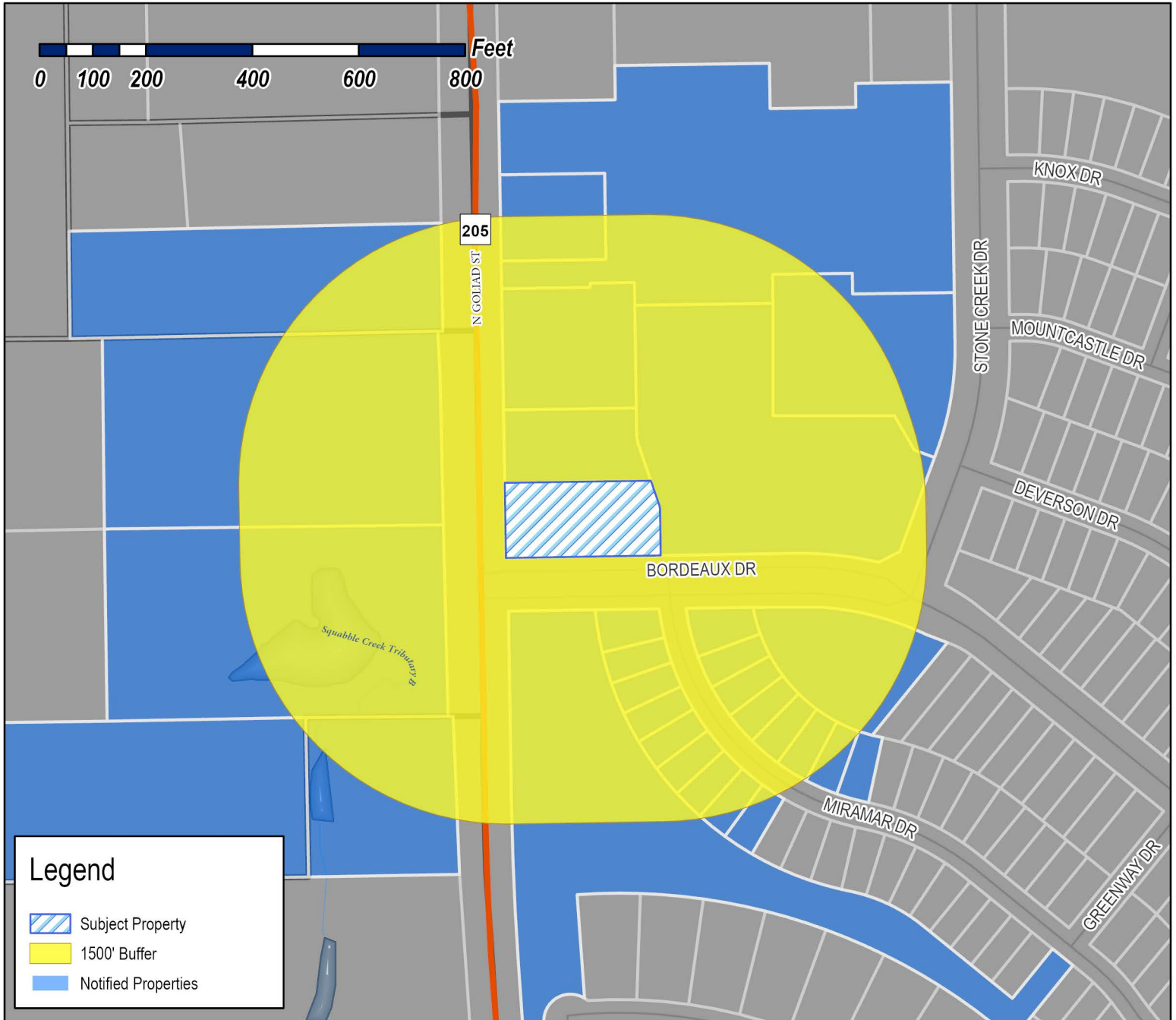
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

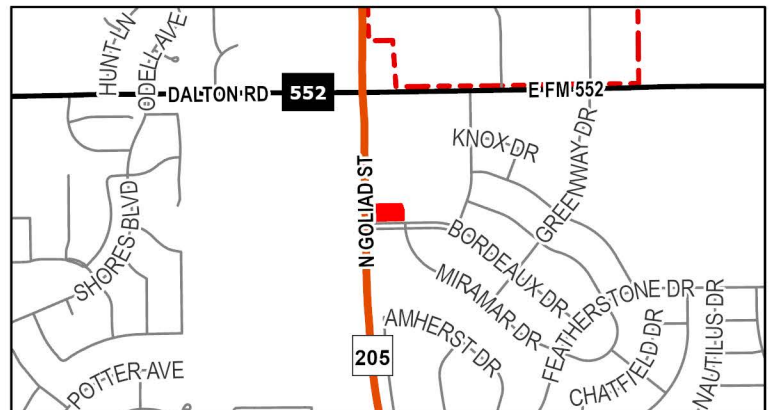
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-048
Case Name: SUP for a Restaurant Less Than 2,000 SF w/Drive-Through
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: NEC of N. Goliad Street & Bordeaux Drive

Date Saved: 9/15/2023

For Questions on this Case Call: (972) 771-7746



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

METROPLEX ACQUISITION FUND, LP
1717 WOODSTEAD CT STE 207
THE WOODLANDS, TX 77380

WEST JEFFREY A & CHANTEL M
3059 N GOLIAD STREET
ROCKWALL, TX 75087

RESIDENT
3061 N GOLIAD ST
ROCKWALL, TX 75087

STEED JASON & NATALIE MARIE
3065 N GOLIAD STREET
ROCKWALL, TX 75087

RESIDENT
3066 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3068 N GOLIAD ST
ROCKWALL, TX 75087

LIU JOHN AND CONNIE Q
3069 N GOLIAD
ROCKWALL, TX 75087

LIU JOHN & CONNIE
3069 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3070 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3073 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3074 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3077 N GOLIAD ST
ROCKWALL, TX 75087

METROPLEX ACQUISITION FUND LP
C/O RONALD DRIBBEN
357 MARIAH BAY DRIVE
HEATH, TX 75032

GEISENDORFF ALBERT G AND ANN M
3057 N GOLIAD ST
ROCKWALL, TX 75087

NORTH ROCKWALL REAL-ESTATE LLC
6245 RYEWORTH DRIVE
FRISCO, TX 75035

VALK CATHLEEN A
794 MIRAMAR DRIVE
ROCKWALL, TX 75087

VOLL ANDREW W AND JOANNA
796 MIRAMAR DR
ROCKWALL, TX 75087

MARTIN VICTORIA C
798 MIRAMAR DR
ROCKWALL, TX 75087

MCCORMICK KEVIN & JULIA
799 MIRAMAR DRIVE
ROCKWALL, TX 75087

RESIDENT
801 BORDEAUX DR
ROCKWALL, TX 75087

FRITCHIE FAMILY REVOCABLE TRUST
RANDALL S FRITCHIE AND SANDRA L FRITCHIE-
COTRUSTEES
801 MIRAMAR DR
ROCKWALL, TX 75087

CRAWFORD KATHY
802 MIRAMAR DRIVE
ROCKWALL, TX 75087

EMBRY DAVID M AND ASHLEY
803 MIRAMAR DRIVE
ROCKWALL, TX 75087

KIM YUN HYUN & JIN HEE JUNG
804 MIRAMAR DRIVE
ROCKWALL, TX 75087

GODINEZ KAREN W
805 MIRAMAR DRIVE
ROCKWALL, TX 75087

CYPERT LYNDOL & JERE
806 MIRAMAR DRIVE
ROCKWALL, TX 75087

RESIDENT
807 MIRAMAR DR
ROCKWALL, TX 75087

BAILEY JERRY SCOTT & KAREN RENEE
808 MIRAMAR DRIVE
ROCKWALL, TX 75087

GREER KRISTEN N
809 MIRAMAR DR
ROCKWALL, TX 75087

SHING RICHARD L & IVEY D
810 MIRAMAR DR
ROCKWALL, TX 75087

HASSAN ALAA E & PATRICIA ANN HASSAN
IBRAHIM
811 MIRAMAR DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
813 MIRAMAR DRIVE
ROCKWALL, TX 75087

RAJBHANDARI SANJAY KUMAR
815 MIRAMAR DRIVE
ROCKWALL, TX 75087

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-048: SUP for Restaurant w/ Less Than 2,000 SF

Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 16, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

Case No. Z2023-048: SUP for Restaurant w/ Less Than 2,000 SF

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

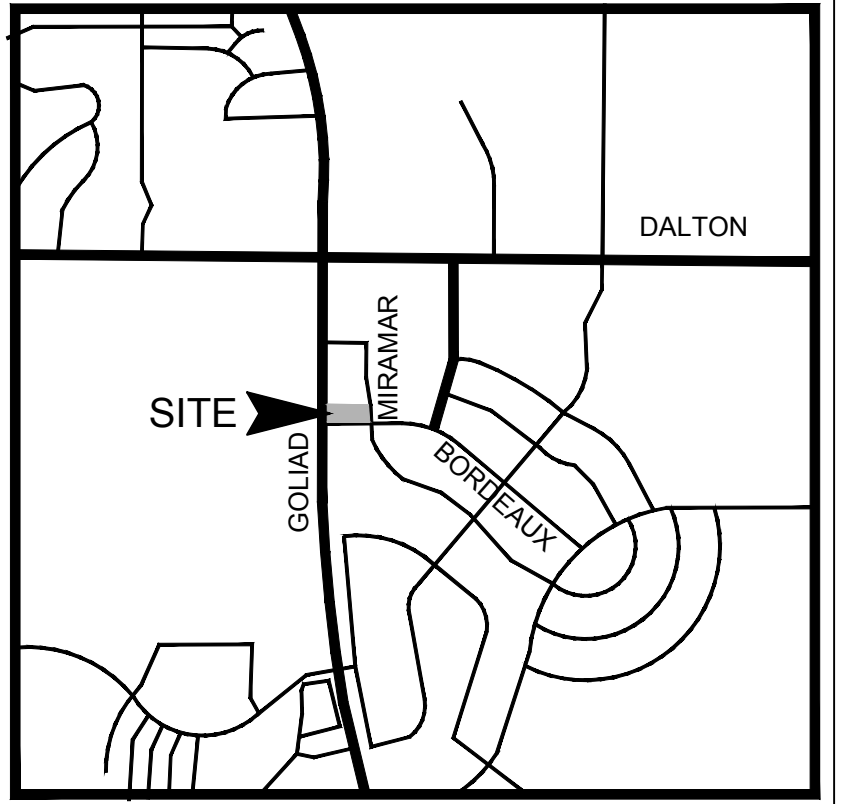
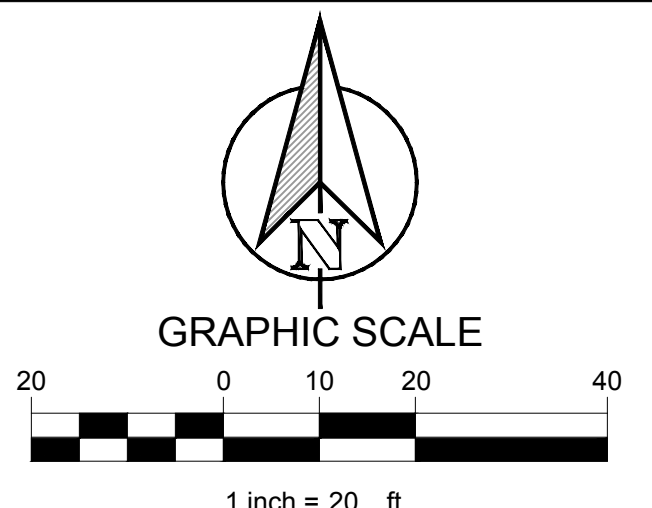
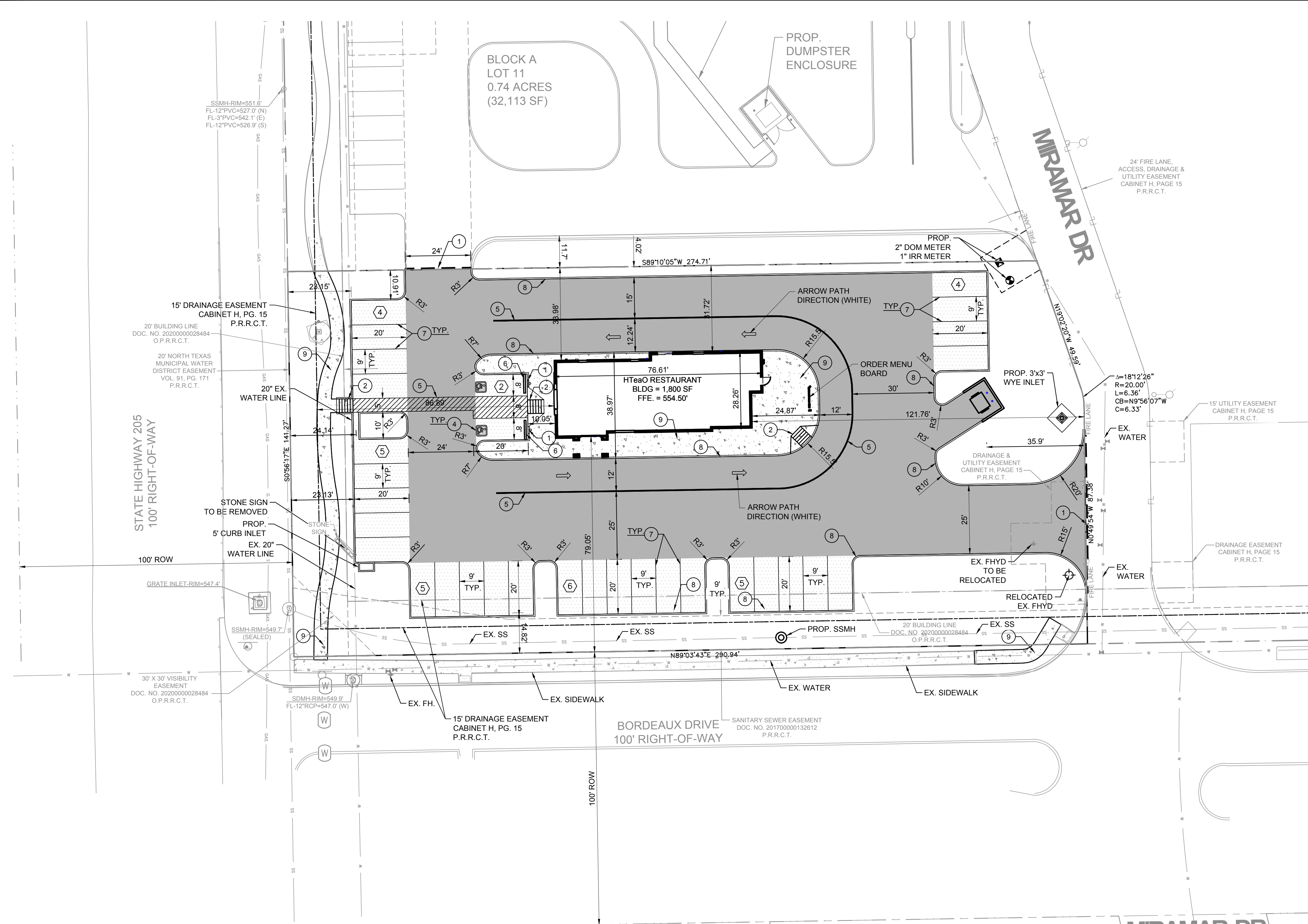
Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLOTTED BY: SASHI SANCA
 PLOT DATE: 9/15/2023 11:22 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2023-110 APPPJ MGMT - HTEAO ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 9/15/2023 11:21 AM



CONSTRUCTION SCHEDULE	
[Pattern]	PROPOSED 5" LIME STABILIZED STANDARD DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 6" LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 5" LIME STABILIZED SIDEWALK CONCRETE PAVEMENT
[Line]	PROPERTY LINE
[Line]	PROPOSED CONCRETE CURB AND GUTTER
[Line]	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
[Line]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

PARKING DATA TABLE	
PARKING REQ.	
DRIVE-THRU RESTAURANT (1,800 SF) @ 100 SF	18 SPACES
PARKING PROVIDED	
STANDARD PARKING	29 SPACES
ADA PARKING	2 SPACES
TOTAL	31 SPACES (2 ADA)

SITE DATA TABLE	
SITE AREA	0.933 AC (40,627 SF)
ZONING	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT
BUILDING SIZE	1,800 SF
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	28,117 SF (69)

CONSTRUCTION SCHEDULE	
①	HANDICAP SIGN
②	ADA RAMP, 12:1 MAX. SLOPE
③	SAWCUT FULL DEPTH EXISTING PAVEMENT
④	HANDICAP SYMBOL
⑤	PAVEMENT STRIPING
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE
⑧	CURB & GUTTER PER DETAIL SHEET C-12
⑨	PROPOSED SIDEWALK, SEE DETAIL SHEET C-12

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER:
 METROPLEX ACQUISITIONS FUND, LP
 1717 WOODSTEAD CT. SUITE 207
 THE WOODLANDS, TX 77380
 CONTACT: STACI BOWEN
 PH: 214.343.447

APPPJ MANAGEMENT
 LEGAL DESCRIPTION AND OR ADDRESS:
 HWY 205 & BORDEAUX DRIVE
 ROCKWALL, TX 75087
 0.933 AC (40,627 SF)

DEVELOPER:
 APPPJ MANAGEMENT
 740 AVALON DR
 HEATH, TX 75032
 CONTACT: JEFF IVY
 PH: 214-272-4350

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: CLAY CRISTY
 PH: 817.281.0572

CASE NUMBER
 SP2023-000

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DR. SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 CLAY CRISTY
 Engineer No. 109800 Date 9/15/2023

**HTEAO RESTAURANT
 HWY 205 & BORDEAUX DR
 ROCKWALL, TX 75087**

No.	DATE	REVISION	BY
1	12/07/2020	STORM REVISION	LRR
2	09/13/2021	STORM REVISION	LRR

SITE PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 9/15/2023

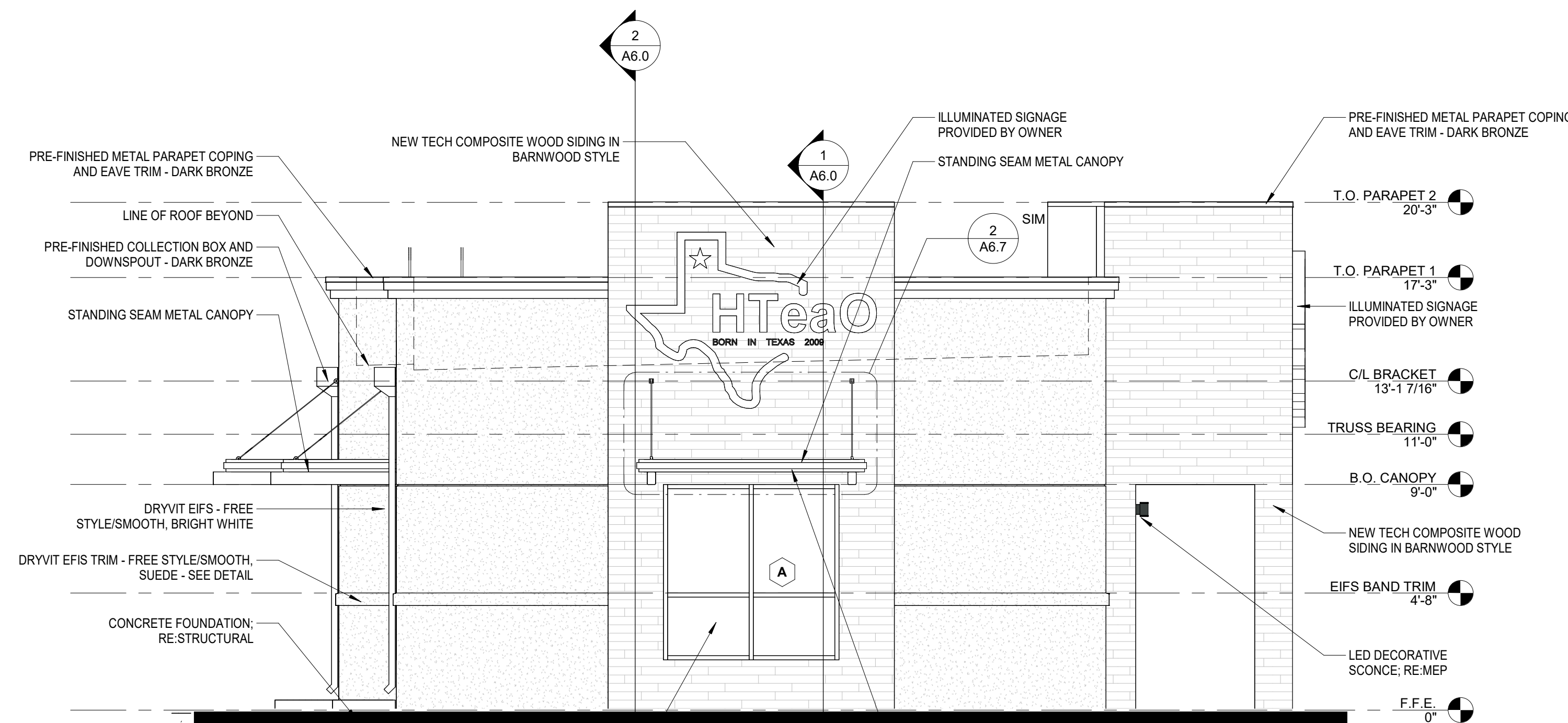
SHEET
SP-1
 File No. 2020-021
 CASE # SP2023-000

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



HTEAO ROCKWALL
ADDRESS
LOCATION



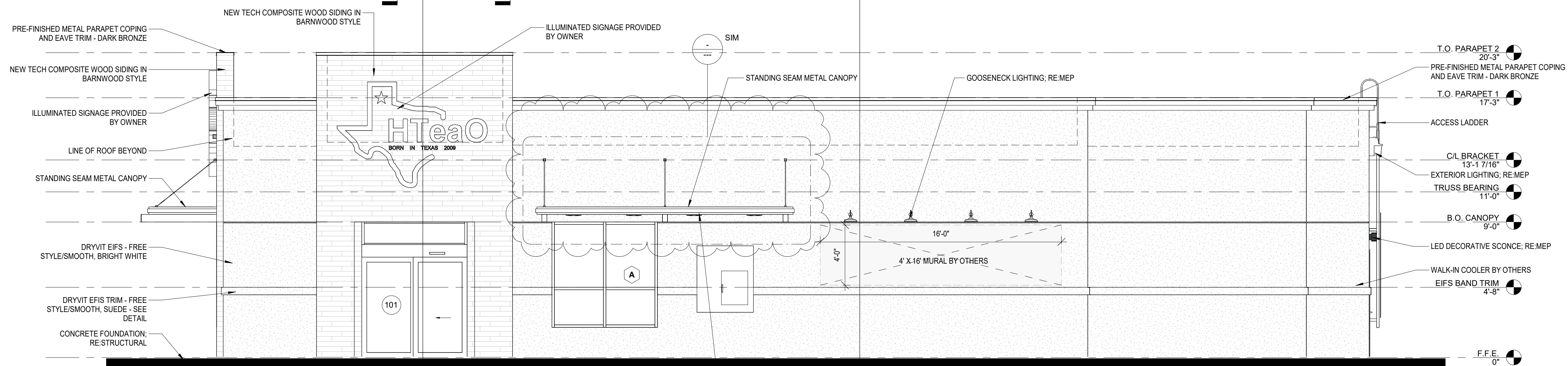
2 FRONT (NORTH)

SCALE: 1/4" = 1'-0"



3 3D View 2

SCALE:



1 RIGHT (WEST)

SCALE: 1/4" = 1'-0"



Date: 7-24-2023
 Dwn: BRZ Chk: SJK
 Project No.: 2348
 Issue:

1	Revision 1	Date 1
---	------------	--------

Sheet Name:
EXTERIOR ELEVATIONS

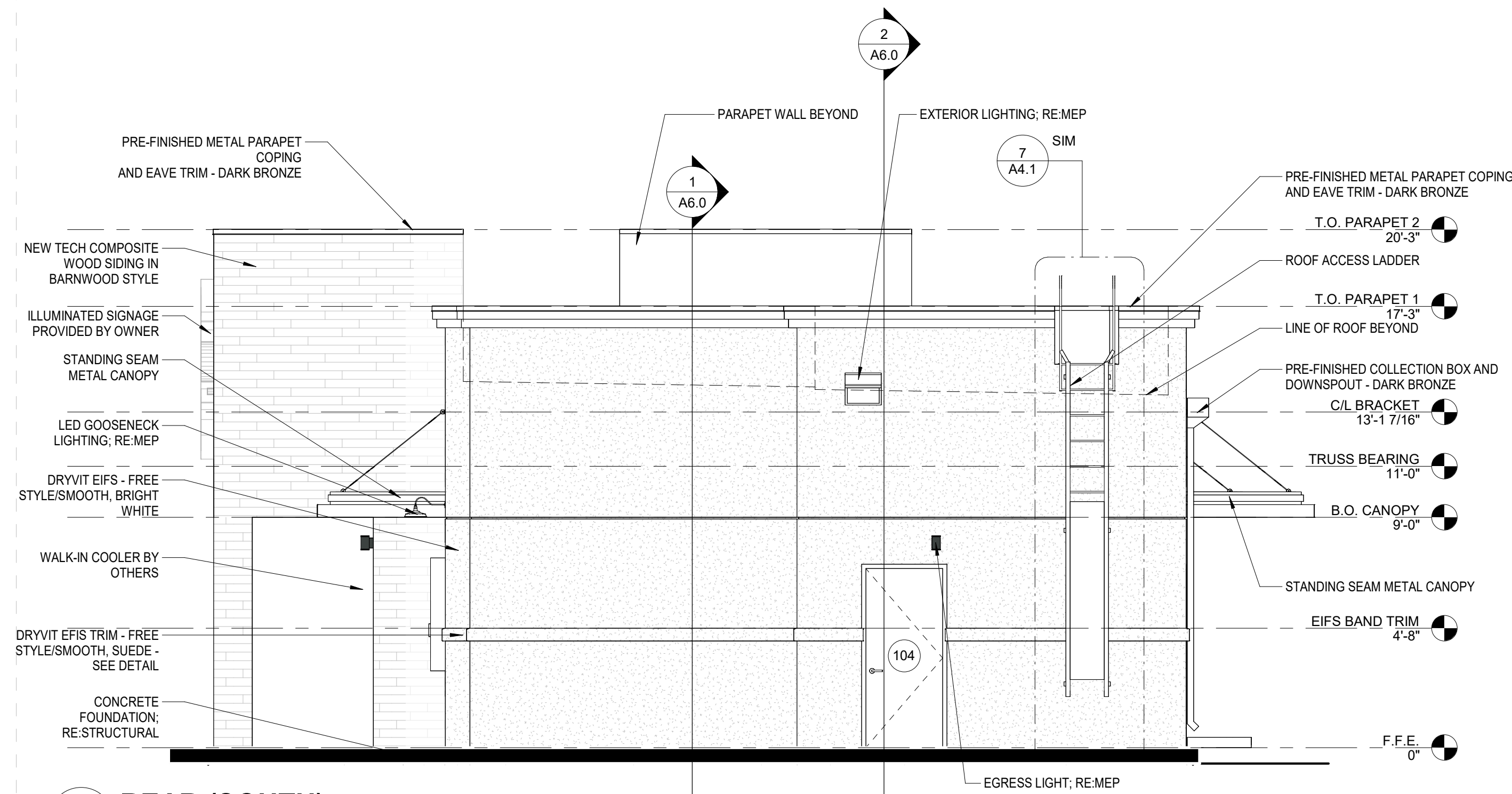
A5.0

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



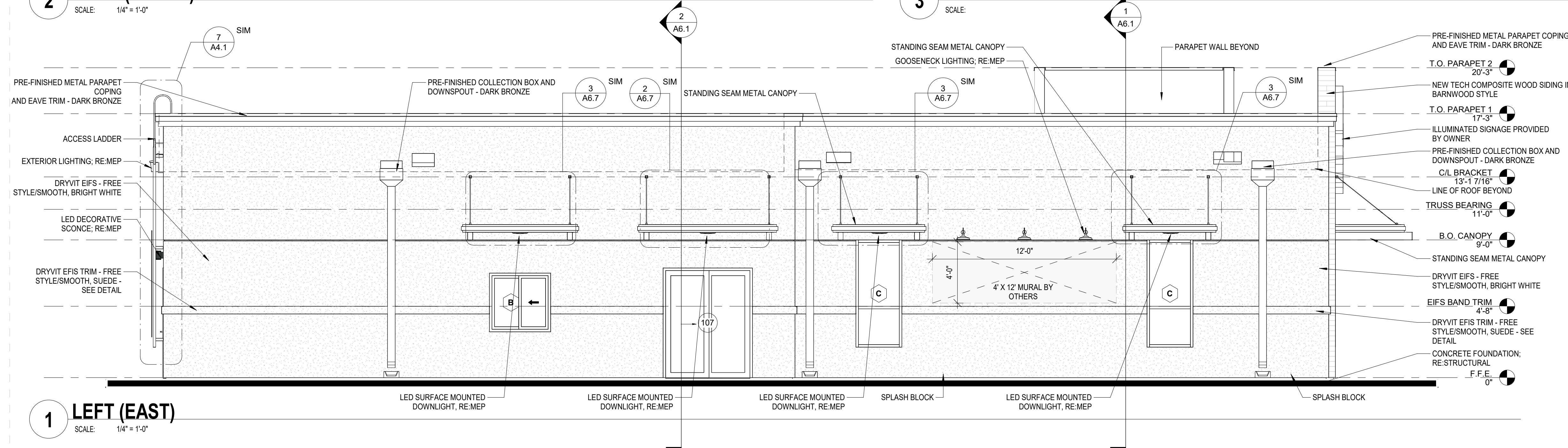
**HTEAO ROCKWALL
ADDRESS
LOCATION**



2 REAR (SOUTH)
SCALE: 1/4" = 1'-0"



3 3D View 1
SCALE:



1 LEFT (EAST)
SCALE: 1/4" = 1'-0"



Date: 7-24-2023
Dwn: BRZ Chk: SJK
Project No.: 2348
Issue:

Sheet Name:
**EXTERIOR
ELEVATIONS**

A5.1

LANDSCAPE PLANTING SPECIFICATIONS

- 1) Guarantee - All labor, materials and plants will be guaranteed for a period of twelve (12) months after the final acceptance of work by Owner. All plants that have died or are unhealthy shall be replaced no later than 30 days from the anniversary date of the final acceptance. This guarantee does not apply to plant material that dies due to abnormal freezes, hail, abnormal high winds, or other acts of God, vandalism or lack of normal maintenance and watering. This guarantee does not apply to annual plantings.
- 2) Contractor is to verify all site dimensions and layout prior to the commencement of landscape construction. Any discrepancies between the drawings and the actual site conditions shall be brought to the attention of the owner's representative immediately.
- 3) Contractor is responsible for verification of the location of all underground utilities, repair to said utilities as a result of the work of the contractor shall be the responsibility of the contractor. Refer to the drawing for any additional information.
- 4) Contractor is responsible for maintaining positive drainage in all shrub and turf planting areas.
- 5) Tree pits are to be the same depth as the root ball and 24" wider. Prior to planting the tree pit should be filled with water to check for good drainage. If water does not drain the Contractor should check with the Landscape Architect to relocate the tree.
- 6) Trees should be positioned in the center of the tree pits, back filled with soil that was excavated from the pit until the surface is level with the surrounding area and the crown of the plant is at the finished grade. Build a water basin around the tree (36" dia.). Water until planting pit is soaked and soil has settled. Add soil necessary to bring soil level flush with surrounding ground. Fill the basin with three (3) inches of compost.
- 7) All plant material shall conform to the standards of the latest edition of "American Standard for Nursery Stock" by The American Association of Nurserymen and "Grades and Standards" by The Texas Association of Nurserymen. A plant shall be dimensioned as it stands in its natural position. All plants shall be at least the minimum size indicated. Larger stock is acceptable at no additional cost, and providing that the larger plants will not be cut back to size indicated.
- 8) It is the landscape contractor's responsibility to provide plants free of disease or pests.
- 9) Space specified quantity of plant materials to evenly fill designated areas, adjusting spacing indicated on the drawings as required. Landscape architect or owner to have final approval of locations of all trees, shrubs and groundcover beds.
- 10) Contractor is responsible for removing all clods, rocks, concrete, trash and any other debris from beds prior to adding soil or plant material.
- 11) All planting beds should have three (3) inches of compost filled into them to a depth of six (6) inches. A three (3) inch layer of shredded hardwood bark mulch should be applied to all beds after planting is completed. Four (4) inch pots and ground cover may be planted through the mulch.
- 12) Contractor is responsible for removal of trash and repair of hazardous conditions (tools, open holes, et.) on a daily basis by the end of the work day.
- 13) Water all plantings in bed areas thoroughly on a daily basis until final acceptance.

- 14) To prepare turf areas treat them with a selective herbicide two weeks prior to sodding or seeding. Then rake area to remove stones, sticks and other debris. Add two (2) inches of topsoil to the turf area. Rake area to a finish grade (1" below walks and curbs).
- 15) If sodding is to take place the sod should be gathered and planted within a 48 hour period. Lay the sod to form a solid mass with tight fitting joints. Butt ends and sides of sod and offset joints in adjacent courses. Roll sod to ensure good contact with soil. If planting on a slope be sure to lay courses parallel to the contours and secure sod with pins if necessary. Site preparation and maintenance will be the same for hydromulching.
- 16) Water sod daily so as to not allow turf blades to wilt. If necessary water twice per day.
- 17) Apply slow release fertilizer 15-15-15 or equal at a rate of 2 lbs. per 100 s.f. to all turf or planted areas.

REFERENCE NOTE SPECIFICATIONS

- LAWN AREAS - SOD / HYDROMULCH / SEED MIX
1. Lawn, Bermuda "Tif 419" Sod. Provide spray irrigation. Temporary irrigation only within septic fields or Right of Way (R.O.W.). Pre emergent weed treatment recommended.
- STEEL EDGE
2. Steel edge, 3/16" x 4" landscape edging as manufactured by Ryerson, or equal, dark green and furnished with steel stakes. Install edging in smooth curves free of kinks. Final height of edging to be 1" above height of soil mat of sod.
- MULCHES / GRAVELS / RIVER ROCK / BOULDERS
3. Mulch, Native Hardwood. 3" deep with drip irrigation. Ensure that drip line is placed above rootballs.

- 19) Contractor shall keep all construction areas and public streets free from accumulation of waste material. Upon completion of construction and prior to final approval contractor shall thoroughly clean the site of all trash, spilled soil, and litter, etc. that has resulted from landscape construction operations. Repair all damage to finish grade including tailings from excavations, wheel ruts, etc. caused from construction. All debris, trash and excess materials and equipment shall be removed from the site prior to final acceptance.
- 20) Remove all tags, ribbons and wires from all newly installed plant material.

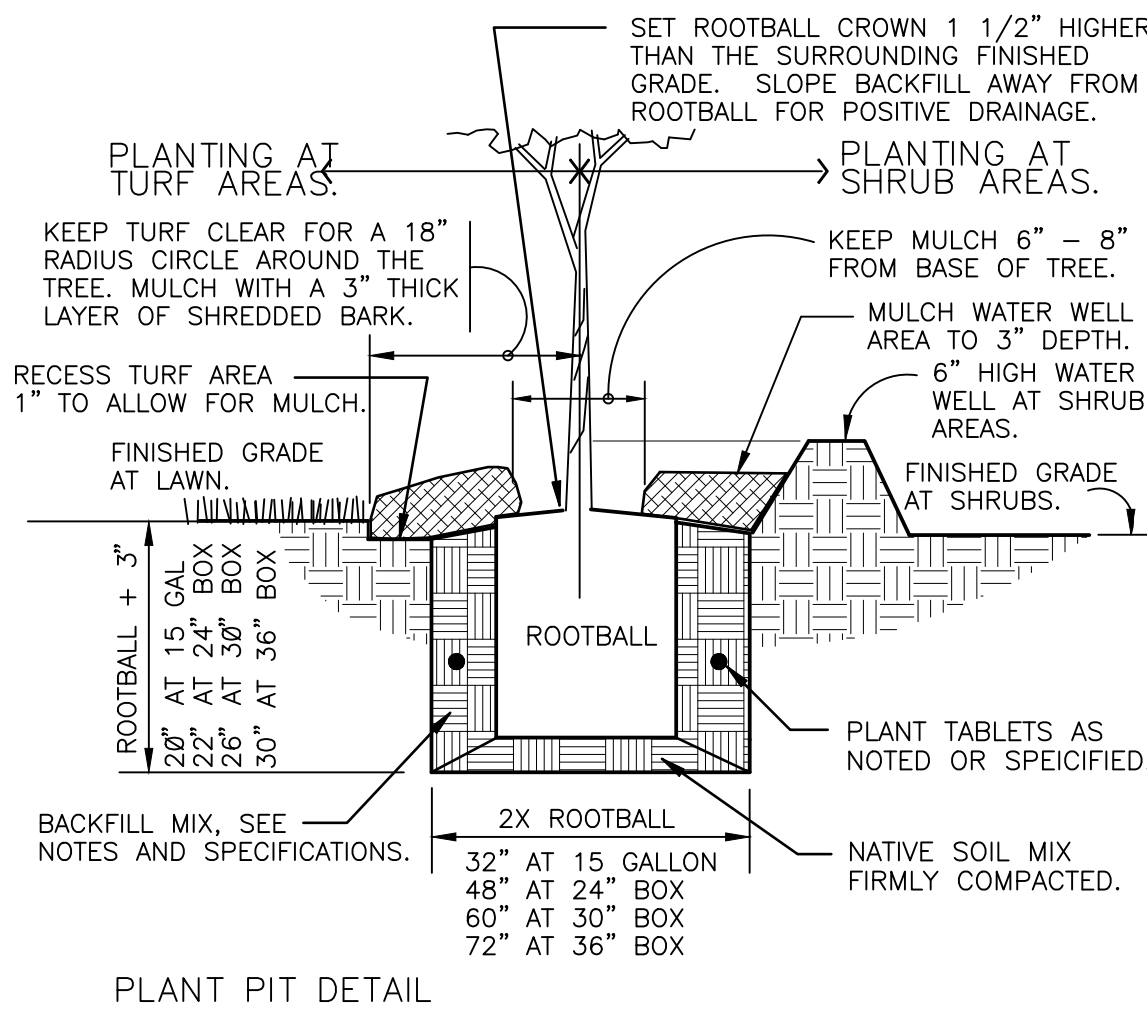
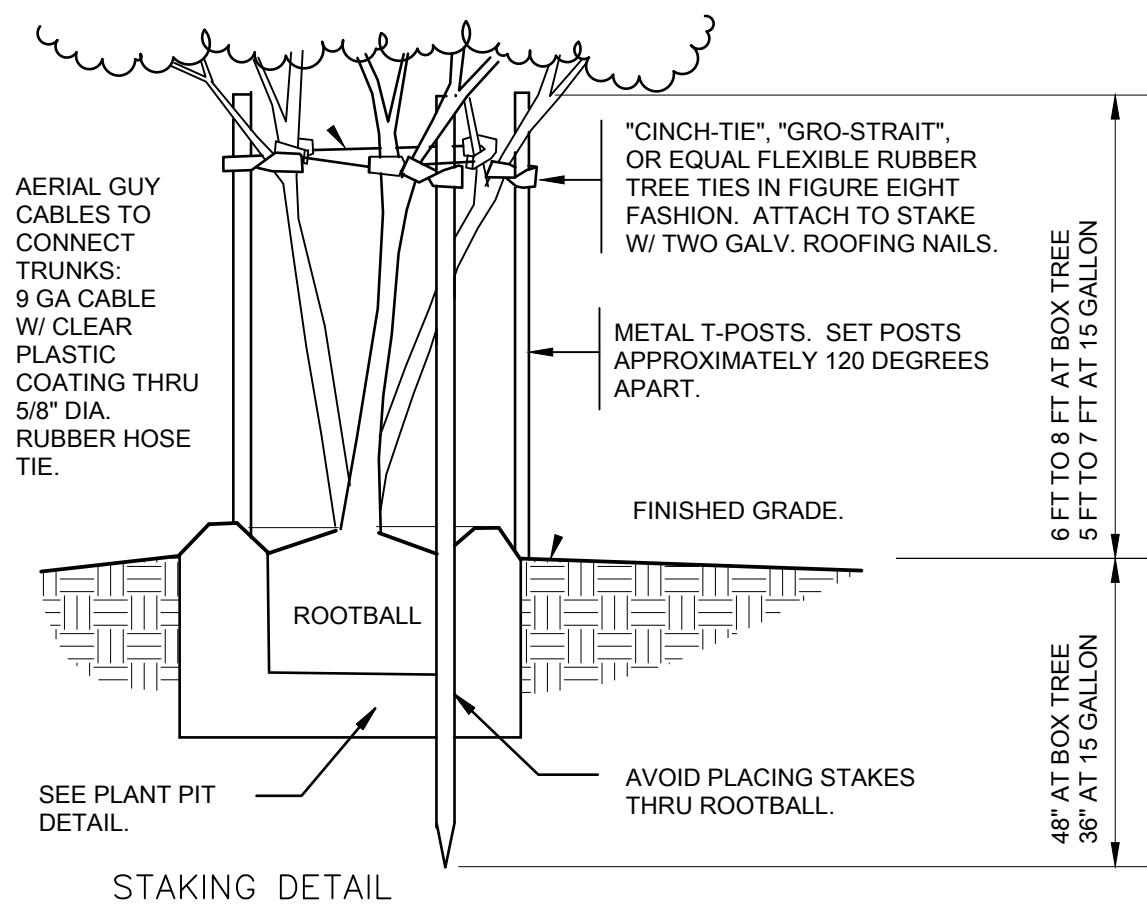
LANDSCAPE MAINTENANCE REQUIREMENTS

- The owner shall be responsible for:
- 1) Regular maintenance of all required landscape areas and plant materials in a vigorous and healthy condition, free from diseases, pests, weeds, and litter. This maintenance shall include weeding, watering, fertilization, pruning, mowing, edging, mulching or other needed maintenance, in accordance with generally accepted horticultural practice.
 - 2) The repair or replacement of required landscape structures (walls, fences, etc.) to a structurally sound condition.
 - 3) The regular maintenance, repair, or replacement, where necessary, of any required screening or buffering.
 - 4) All open space areas that are to be preserved as natural plant communities shall be trimmed, at least once a year, of all exotic vegetation, lawn grasses, trash, or other debris. Natural area should be mulched, pruned and otherwise maintained so that plants are vigorous.

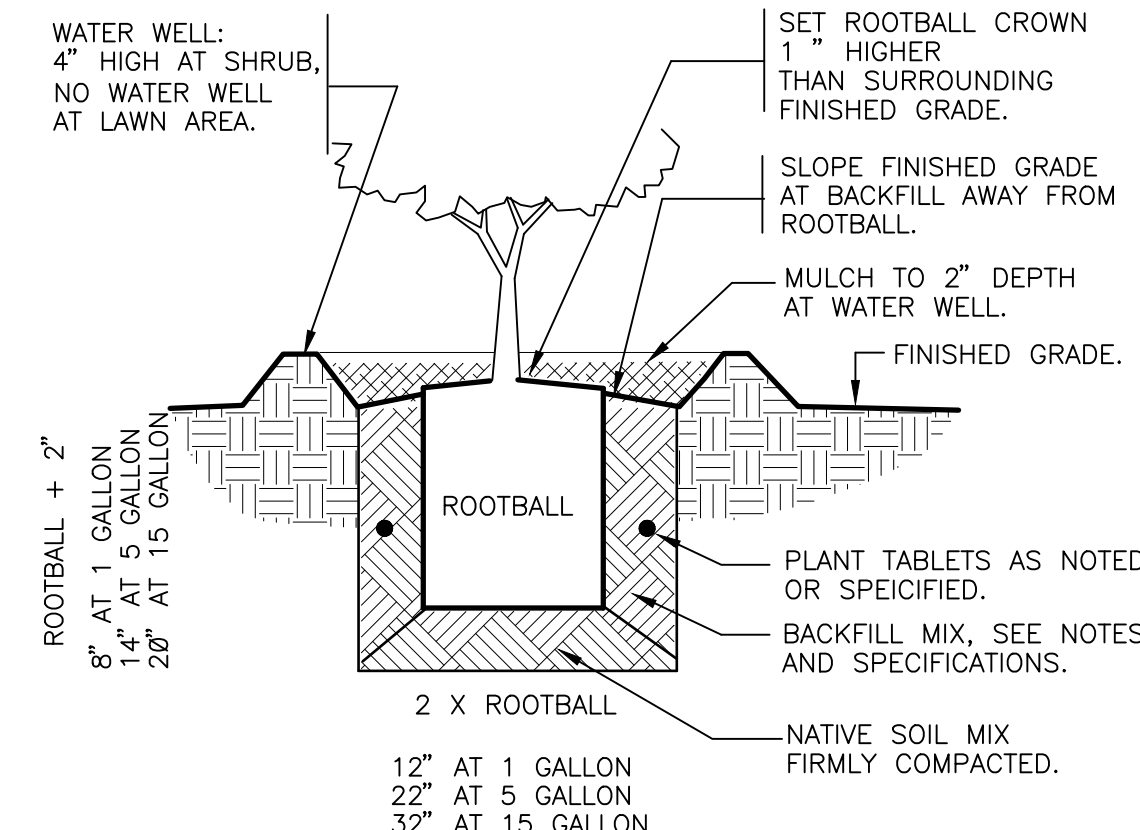
IRRIGATION SPECIFICATIONS

- 1) Irrigation contractor will provide pipes for sleeves and specify locations for placement of sleeves by general contractor prior to pouring concrete or laying asphalt.
- 2) Irrigation contractor will install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local governing authorities.
- 3) Find location of backflow preventer, and automatic controller location shall be approved by the owner's authorized representative.

- 4) 120 VAC electrical power source at controller location shall be provided by others. The irrigation contractor shall make the final connection from the electrical source to the controller.
- 5) All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- 6) The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with minimal overspray onto walks, streets, walls, etc.
- 7) Head location is the responsibility of the irrigation contractor, with the understanding that all landscape areas will receive adequate water to provide for vigorous growth of vegetation.
- 8) Irrigation contractor will replace or repair all items damaged by his work.
- 9) All work shall be installed in accordance with applicable codes and ordinances for the City of Rockwall, Texas and the National Electrical Code and all governing authorities.
- 10) The irrigation contractor is responsible for reporting any deficiency in water pressure that would affect the operation of the irrigation system.
- 11) The irrigation contractor shall be a Registered Licensed Irrigator in the State of Texas. Contractor must conform to all codes as stated in section 34 of the Texas Water Code and TNRCC.
- 12) All remote control valves, gate valves, quick couplers and control wire and computer cable pull pints shall be installed in approved valve boxes.
- 13) Irrigation Contractor shall procure all permits, licenses, and pay all charges and fees and give all necessary notices for the completion of work.
- 14) Contractor shall not disturb roots of existing trees. There shall be no machine trenching below the dripline of existing trees.
- 15) Extreme care shall be exercised in excavating and working near utilities. Contractor shall verify the location and condition of all utilities and be responsible for damage to any utilities.
- 16) Contractor shall clearly mark all exposed excavations, materials, and equipment. Cover or barricade trenches when the contractor is not on the site. Take all necessary precautions to protect and prevent injury to any persons on the site.
- 17) All automatic irrigation systems shall be equipped with a controller of dual or multiple programming. Controllers shall have multiple cycle start capacity and a flexible calendar program, including the capacity of being set to water every five days. All automatic irrigation systems shall be equipped with a rain sensor shutoff device.
- 18) Irrigation in Texas is regulated by the Texas Commission on Environmental Quality, www.tceq.texas.gov, (512) 239-1000



1 TREE PLANTING MULTI-STAKE
1" = 1'-0"



2 SHRUB PLANTING
1" = 1'-0"

will blair 09/15/2023 10:45 AM d:\ba dropbox\projects\hiteao, rockwall_9\kramer, byam zygluski, scott scarborough, sandin\hiteao, rockwall\hiteao, rockwall.dwg

Contractors:
email info@blairla.com with RFIs, submittals, & inspection scheduling
Schedule inspections at least 2 weeks in advance

	Date						
	Description						
	Rev						
Consultant Seal							
Company Name and Address							
William S. Blair (512) 522-8979 info@blairla.com www.blairla.com 100 Congress Ave. Ste 2000 Austin, TX 78701							
William S. Blair September 15, 2023							
Project Name and Address							
Hteo Rockwall N Gollad Dr. and Bordeaux Dr. Rockwall, Texas							
Sheet Title							
Landscape Details & Specifications							
Design By: Will Blair							
Checked By: xxxx							
Issue Date: 09/15/2023							
Project Number: Z3062-LP							
L2 OF 2							

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 70 (PD-70) [ORDINANCE NO. 19-41] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A RESTAURANT WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN ON A 0.93-ACRE PORTION OF A LARGER 5.16-ACRE PARCEL OF LAND IDENTIFIED AS LOT 13, BLOCK A, STONE CREEK RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DESCRIBED IN EXHIBIT 'A' AND DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Clay Cristy of ClayMoore Engineering for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* for the purpose of constructing a restaurant with drive-through on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and being more specifically described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 70 (PD-70) [Ordinance No. 19-41] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. Planned Development District 70 (PD-70) [Ordinance No. 19-41] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant*

with Less Than 2,000 SF with Drive-Through or Drive-In in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.04, *General Retail (GR) District*, and Subsection 06.11, *North SH-205 Overlay (N. SH-205 OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 70 (PD-70) [Ordinance No. 19-41] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The applicant shall add increased landscaping on the west side of the property along N. Goliad Street.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF NOVEMBER, 2023.**

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

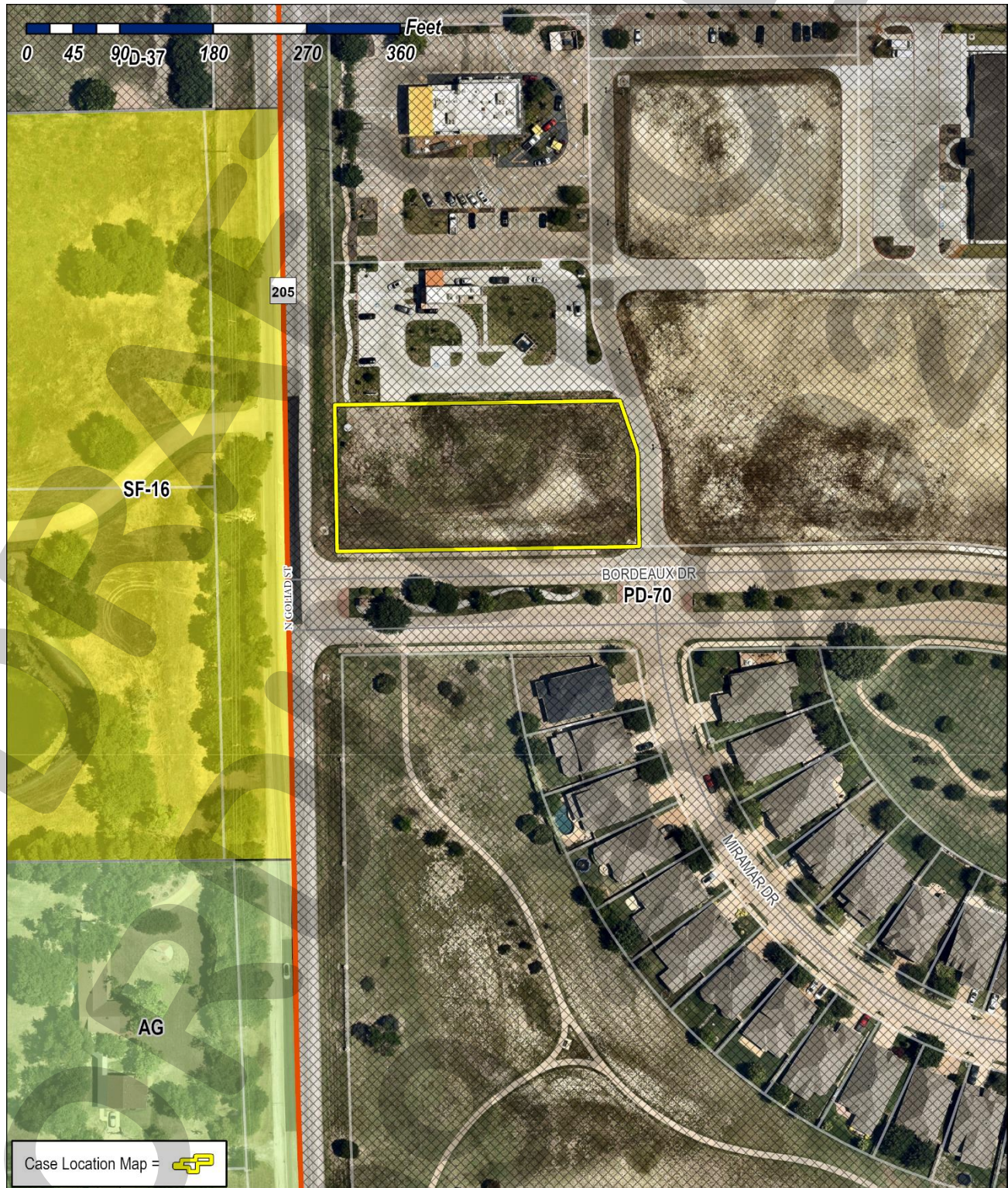
1st Reading: October 18, 2023

2nd Reading: November 6, 2023

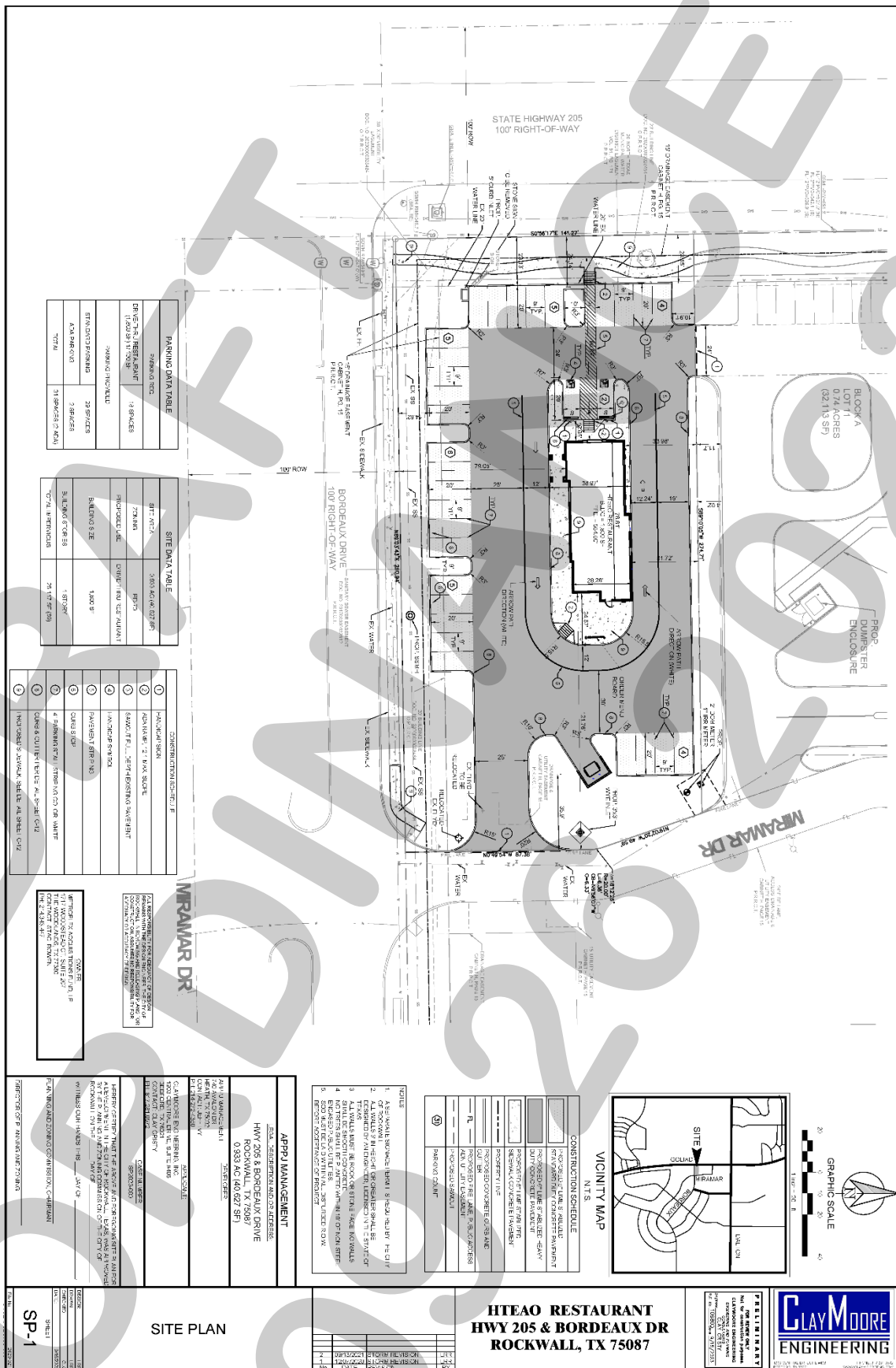
Exhibit 'A'
Location Map

Address: NEC of N. Goliad Street [SH-205] and Bordeaux Drive

Legal Description: Lot 13, Block A, Stone Creek Retail Addition



**Exhibit 'B':
Concept Plan**



PARKING DATA TABLE

STANDARD	18 SPACES
DISABLED	2 SPACES
TOTAL	20 SPACES

SITE DATA TABLE

LOT AREA	10,000 SQ. FT. (228.9 SQ. M)
FRONT YARD SETBACK	10 FT.
REAR YARD SETBACK	10 FT.
SIDE YARD SETBACK	5 FT.
MAXIMUM BUILDING HEIGHT	35 FT.
MAXIMUM GROUND COVER	30%
MAXIMUM LOT COVERAGE	30%

CONSTRUCTION SPECIFICATIONS

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IMC).
2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.
6. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.

NOTES:
1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.

APPROVALS

DESIGNED BY: CLAY MOORE ENGINEERING
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 08/23/2023

CONSTRUCTION SCHEDULE

PERMITS	1 WEEK
FOUNDATION	2 WEEKS
FRAME	4 WEEKS
MECHANICAL/ELECTRICAL/PLUMBING	6 WEEKS
FINISHES	4 WEEKS
TOTAL	17 WEEKS

PROPERTY ADDRESS
 HWY 205 & BORDEAUX DRIVE
 ROCKWALL, TX 75087
 0.533 AC (40,027 SF)

APPROVALS

DESIGNED BY: CLAY MOORE ENGINEERING
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 08/23/2023

CONSTRUCTION SCHEDULE

PERMITS	1 WEEK
FOUNDATION	2 WEEKS
FRAME	4 WEEKS
MECHANICAL/ELECTRICAL/PLUMBING	6 WEEKS
FINISHES	4 WEEKS
TOTAL	17 WEEKS

APPROVALS

DESIGNED BY: CLAY MOORE ENGINEERING
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 08/23/2023

CLAY MOORE ENGINEERING
 10000 W. HICKORY AVE., SUITE 100
 ROCKWALL, TX 75087
 (972) 967-9000
 www.claymoore.com



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 10, 2023
APPLICANT: Clay Cristy; *ClayMoore Engineering*
CASE NUMBER: Z2023-048; *Specific Use Permit for a Restaurant with less than 2,000 SF with Drive-Through or Drive-In*

SUMMARY

Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In* for the purpose of constructing a restaurant (*i.e. HTeaO*) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [*SH-205*] and Bordeaux Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on May 19, 1986 by *Ordinance No. 86-37*. On December 7, 1993, the City's historic zoning map indicates the subject property was zoned Agricultural (AG) District. On April 2, 2007, the City Council approved a zoning change for the subject property changing the zoning designation from an Agricultural (AG) District to Planned Development District 70 (PD-70) [*i.e. Ordinance No. 07-13*] for limited General Retail (GR) District land uses. On October 5, 2020, the City Council approved a replat [*i.e. Case No. P2020-038*] that replatted the subject property as Lot 11, Block A, Stone Creek Retail Addition. On May 2, 2022, the City Council approved a replat [*i.e. Case No. P2022-013*] that established the subject property as a portion of Lot 13, Block A, Stone Creek Retail Addition. The subject property is currently vacant.

PURPOSE

The applicant -- *Clay Cristy of ClayMoore Engineering* -- is requesting the approval of a Specific Use Permit (SUP) to allow for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located northeast of the intersection of N. Goliad Street [*SH-205*] and Bordeaux Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject is a *Restaurant with less than 2,000 SF with a Drive-Through (i.e. Salad-n-Go)*. North of this is a *Restaurant with more than 2,000 SF with a Drive-Through (i.e. McDonald's)*. Beyond this is a *Retail Store with Gasoline Sales (i.e. Tom Thumb Gas Station)*. All of these properties are zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses

South: Directly south of the subject property is Bordeaux Drive, which is identified as a *A4D (i.e. major arterial, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 1 of the Stone Creek Subdivision, which is an 83.57-acre residential subdivision, zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property is the remainder of a 5.16-acre parcel of land (*i.e. Lot 13, Block A, Stone Creek Retail Addition*) -- that includes the subject property --, which is currently vacant. East of this is Stone Creek Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phases 2B & 6 of the Stone Creek Subdivision, which are zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is N. Goliad Street [*SH-205*], which is identified as a *A4D (i.e. major arterial, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land (*i.e. 3069 and 3073 N. Goliad Street*), zoned Single-Family 16 (SF-16) District. Beyond this is Phase 6 of the Shores Subdivision, which consists of 70 lots and is zoned Planned Development District 3 (PD-3) for single-family land uses.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and a concept plan requesting a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* for the purpose of establishing a restaurant (*i.e. HTeaO*). The concept plan indicates that the proposed restaurant will be approximately 1,800 SF with a drive-through lane beginning on the south side of the building leading to a pick-up window. The request appears to meet all of the *Residential Adjacency Standards*, but will require to provide increased landscaping along N. Goliad Street [*SH-205*] to provide headlight screening.

CONFORMANCE WITH THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *Restaurant with Drive Through or Drive-In* as "(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises." In this case, the applicant's proposed business -- *HTeaO* -- falls under this classification. According to Planned Development District 70 (PD-70) the subject property is required to meet the General Retail (GR) District land uses -- *with some exceptions* --, and according to the *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* requires a Specific Use Permit (SUP) in a General Retail (GR) District. The purpose of this requirement is to acknowledge that not all *Restaurant* operations are appropriate within the City's General Retail (GR) Districts, and that the City Council should have discretionary oversight with regard to the types of *Restaurant* operations and their impacts within these types of districts. In addition, Subsection 02.03(f)(9) places the following additional conditions on this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles.

The applicant's request does appear to conform to the requirements stipulated by the Unified Development Code (UDC); however, staff has incorporated an additional condition that will require increased landscaping be planted along N. Goliad Street [*SH-205*] to provide headlight screening from N. Goliad Street [*SH-205*] and the adjacent properties. The Unified Development Code (UDC) requires headlight screening to be a minimum of three (3) feet in height. Staff requested this of the applicant, but the applicant has failed to provide the necessary changes on the submitted concept plan. Based on this, staff has added this as a condition of approval for this case.

STAFF ANALYSIS

The intent of the General Retail (GR) District is to provide limited retail and service uses for nearby residential neighborhoods. Development in these areas should not include intensive commercial land uses that carry large volumes of retail traffic. Developments should also be adequately buffered and screened from residential land uses. Since the General Retail (GR) District is located close to residential areas, the development standards are typically more stringent and similar to the Residential-Office (RO) and Neighborhood Services (NS) Districts. All of these districts are intended to create a transition from

the adjacent residential neighborhoods to less intense non-residential land uses. When reviewing this case, the proposed land use does appear to be appropriate for this location due to the separation of the subject property from the nearby residential development and its proximity to N. Goliad Street [SH-205] (*which is identified as a M4D [major collector, four [4] lane, divided roadway] on the City's Master Thoroughfare Plan*). With this being said, approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On September 22, 2023, staff mailed 35 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stone Creek Homeowner's Association (HOA), which is the only HOA/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted staff had received one (1) notice in favor and two (2) notices in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the SUP is ordinance.
 - (b) The development of the *Subject Property* shall generally conform to the Landscape Plan as depicted in *Exhibit 'C'* of this ordinance; however, additional landscaping shall be required around the dumpster enclosure, adjacent to N. Goliad Street [SH-205] -- *especially in the areas where headlights will be visible from the drive-through lane --*, and along the northern property line adjacent to the drive-through lane.
- (2) The applicant shall provide an updated landscape plan showing additional landscaping shall be required around the dumpster enclosure, adjacent to N. Goliad Street [SH-205] -- *especially in the areas where headlights will be visible from the drive-through lane --*, and along the northern property line adjacent to the drive-through lane. The applicant shall provide this landscape plan prior to the second reading of this case.
- (3) The applicant shall provide an updated landscape plan removing the crape myrtles and replacing it with a variety of accent tree that conforms to Appendix C, *Landscape Guidelines and Requirements*, of the Unified Development Code (UDC). The applicant shall provide this landscape plan prior to the second reading of this case.
- (4) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address _____

Subdivision Stone Creek Retail Addition

Lot

12

Block

A

General Location North East Corner of N. Goliad St and Bordeaux Dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-070

Current Use

Undeveloped

Proposed Zoning PD-070

Proposed Use

Retail

Acreage 0.93

Lots [Current] 1

Lots [Proposed] 2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Metroplex Acquisition Fund, LP

Applicant ClayMoore Engineering

Contact Person Staci Bowen

Contact Person Clay Cristy

Address 1717 Woodstead Ct.

Address 1903 Central Dr.

Ste. 207

Ste. 406

City, State & Zip The Woodlands, TX 77380

City, State & Zip Bedford, Texas 76021

Phone 214.343.4477

Phone 817.281.0572

E-Mail sbowen@crestviewcompanies.com

E-Mail Clay@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

Billy J. Brice III, President of
Metroplex Acquisition Fund, LP

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 482.57, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of September, 20 23. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information.

Signed under my hand and seal of office on this the 14th day of September, 20 23

Owner's Signature

My Commission Expires

1-27-2025



0 20 40 80 120 160 Feet

Z2023-048: SUP for a Restaurant (HTeaO)

205

N GOLIAD ST

SF-16

PD-70

BORDEAUX DR

MIRAMAR DR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

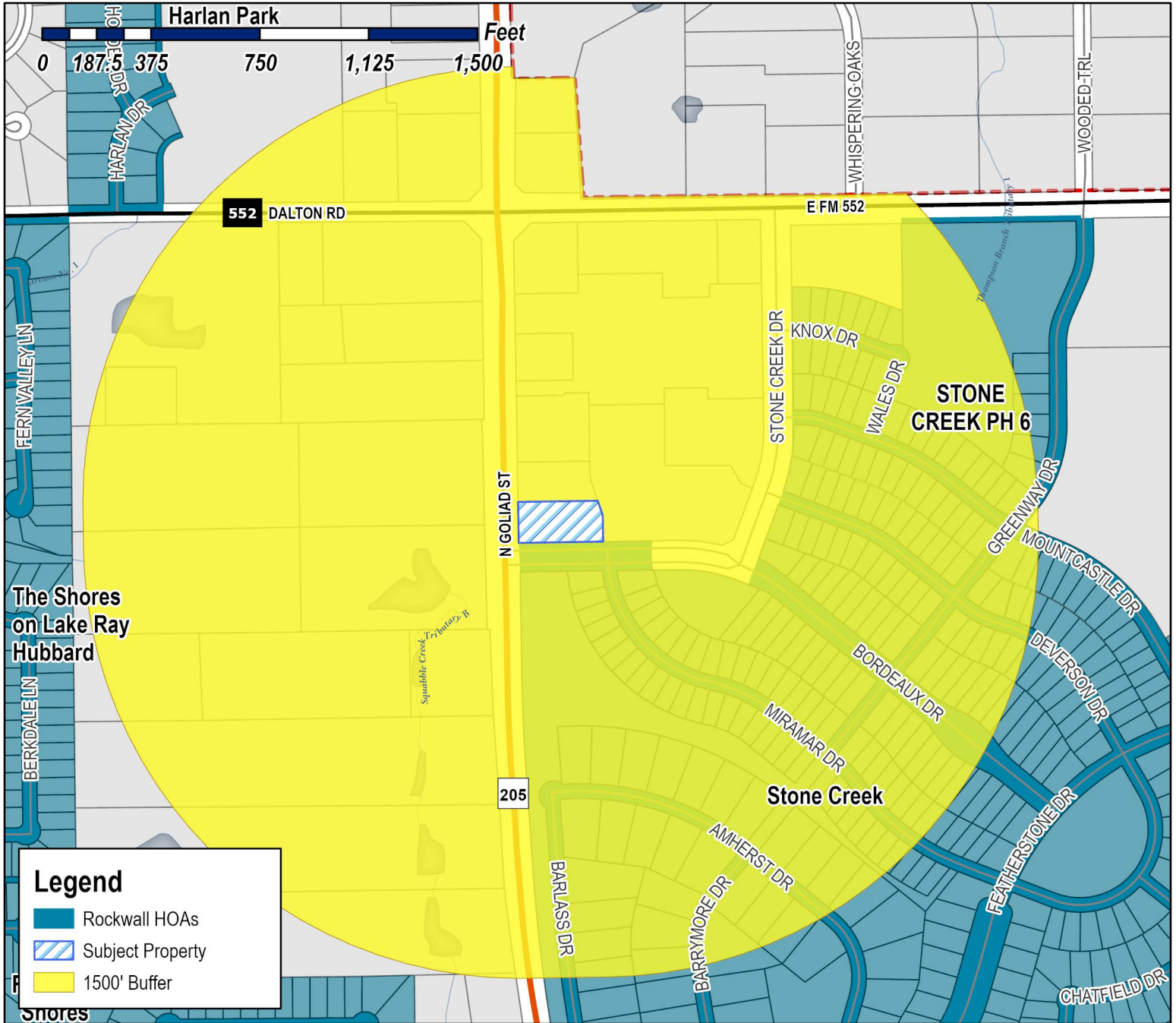




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-048
Case Name: SUP for a Restaurant Less Than 2,000 SF w/Drive-Through
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: NEC of N. Goliad Street & Bordeaux Street

Date Saved: 9/15/2023
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-048]
Date: Friday, September 22, 2023 10:30:04 AM
Attachments: [Public Notice \(P&Z\) \(09.18.2023\).pdf](#)
[HOA Map \(09.18.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [September 22, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 10, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 16, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-048: SUP for a Restaurant w/ Less Than 2,000 SF

Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a [Specific Use Permit \(SUP\)](#) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

Thank You,

Melanie Zavala

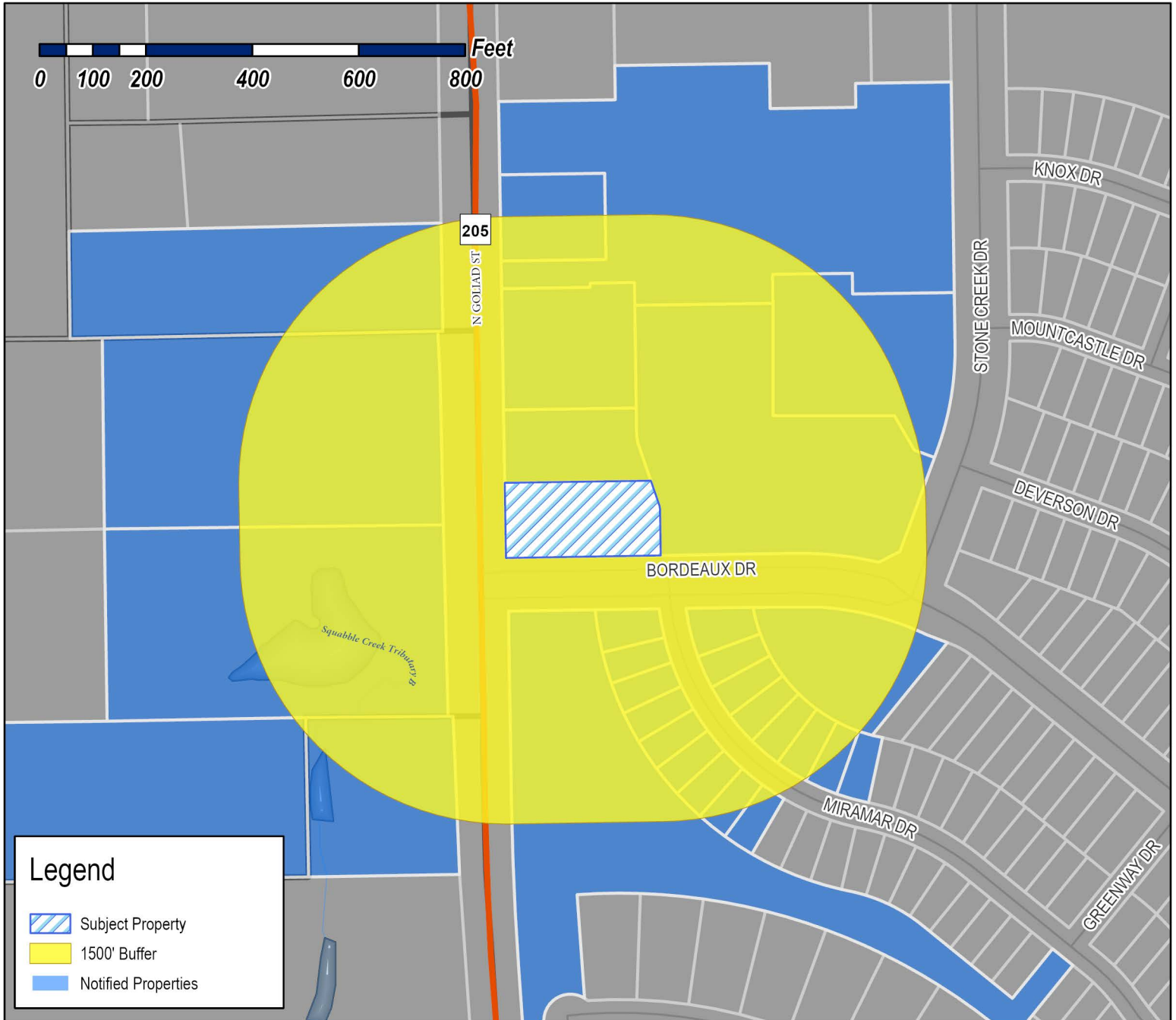
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-048
Case Name: SUP for a Restaurant Less Than 2,000 SF w/Drive-Through
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: NEC of N. Goliad Street & Bordeaux Drive

Date Saved: 9/15/2023

For Questions on this Case Call: (972) 771-7746



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

METROPLEX ACQUISITION FUND, LP
1717 WOODSTEAD CT STE 207
THE WOODLANDS, TX 77380

WEST JEFFREY A & CHANTEL M
3059 N GOLIAD STREET
ROCKWALL, TX 75087

RESIDENT
3061 N GOLIAD ST
ROCKWALL, TX 75087

STEED JASON & NATALIE MARIE
3065 N GOLIAD STREET
ROCKWALL, TX 75087

RESIDENT
3066 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3068 N GOLIAD ST
ROCKWALL, TX 75087

LIU JOHN AND CONNIE Q
3069 N GOLIAD
ROCKWALL, TX 75087

LIU JOHN & CONNIE
3069 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3070 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3073 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3074 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3077 N GOLIAD ST
ROCKWALL, TX 75087

METROPLEX ACQUISITION FUND LP
C/O RONALD DRIBBEN
357 MARIAH BAY DRIVE
HEATH, TX 75032

GEISENDORFF ALBERT G AND ANN M
3057 N GOLIAD ST
ROCKWALL, TX 75087

NORTH ROCKWALL REAL-ESTATE LLC
6245 RYEWORTH DRIVE
FRISCO, TX 75035

VALK CATHLEEN A
794 MIRAMAR DRIVE
ROCKWALL, TX 75087

VOLL ANDREW W AND JOANNA
796 MIRAMAR DR
ROCKWALL, TX 75087

MARTIN VICTORIA C
798 MIRAMAR DR
ROCKWALL, TX 75087

MCCORMICK KEVIN & JULIA
799 MIRAMAR DRIVE
ROCKWALL, TX 75087

RESIDENT
801 BORDEAUX DR
ROCKWALL, TX 75087

FRITCHIE FAMILY REVOCABLE TRUST
RANDALL S FRITCHIE AND SANDRA L FRITCHIE-
COTRUSTEES
801 MIRAMAR DR
ROCKWALL, TX 75087

CRAWFORD KATHY
802 MIRAMAR DRIVE
ROCKWALL, TX 75087

EMBRY DAVID M AND ASHLEY
803 MIRAMAR DRIVE
ROCKWALL, TX 75087

KIM YUN HYUN & JIN HEE JUNG
804 MIRAMAR DRIVE
ROCKWALL, TX 75087

GODINEZ KAREN W
805 MIRAMAR DRIVE
ROCKWALL, TX 75087

CYPERT LYNDOL & JERE
806 MIRAMAR DRIVE
ROCKWALL, TX 75087

RESIDENT
807 MIRAMAR DR
ROCKWALL, TX 75087

BAILEY JERRY SCOTT & KAREN RENEE
808 MIRAMAR DRIVE
ROCKWALL, TX 75087

GREER KRISTEN N
809 MIRAMAR DR
ROCKWALL, TX 75087

SHING RICHARD L & IVEY D
810 MIRAMAR DR
ROCKWALL, TX 75087

HASSAN ALAA E & PATRICIA ANN HASSAN
IBRAHIM
811 MIRAMAR DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
813 MIRAMAR DRIVE
ROCKWALL, TX 75087

RAJBHANDARI SANJAY KUMAR
815 MIRAMAR DRIVE
ROCKWALL, TX 75087

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-048: SUP for Restaurant w/ Less Than 2,000 SF

Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 16, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

Case No. Z2023-048: SUP for Restaurant w/ Less Than 2,000 SF

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-048

Please place a check mark on the appropriate line below *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

This type of business, HTeaO, is more desirable than other businesses I have seen in such a small SQF area, i.e. Vap shops, Nail Salons, Donut shops and etc.

Respondent Information

Please provide your information.

First Name *

Richard

Last Name *

Shing

Address *

[Redacted]

City *

[Redacted]

State *

[Redacted]

Zip Code *

[Redacted]

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

I received a property owner notification in the mail.

I read about the request on the City's website.

I saw a zoning sign on the property.

I read about the request in the Rockwall Herald Banner.

My neighbors told me about the request.

Other: _____

This content is neither created nor endorsed by Google.

Google Forms

Ross, Bethany

From: Robin Mullins [REDACTED]
Sent: Monday, September 25, 2023 10:06 AM
To: Planning
Subject: Opposed to Z2023-048

Robin Mullins
[REDACTED]

I am very much opposed to this. In our neighborhood the children have been kept at a safe distance from the retail shops and drive thrus made possible by the buffer roads keeping them on their internal tract. Stone Creek does not get the cars coming directly out of the drive thrus- the people undoubtedly digging in their laps looking for straws, unwrapping their first bites, wrestling with straw wrappers. Salad N Go's lanes have to maneuver out of the parking lot and around the establishment before reaching any actual street. McDonald's exit is out to Goliad or again through a mini maze before landing on a residential street belonging to Stone Creek.

By putting this drive thru establishment on the corner of Bordeaux, it will directly **NEGATIVELY** affect the safety of our children who ride bikes, walk dogs, drive golf carts, and walk to friends houses and to the swimming pool together.

Also, the turn there out of the neighborhood of Stone Creek out onto Goliad is hard enough as it is. I don't even let my new driver attempt it. Now we're going to add in those looking for a quick beverage- not the most patient group.

There is NOT that much of a need for tea. Salad N Go (LITERALLY right next door) offers specialty teas at affordable prices.

Seems redundant and the last thing we need is a failed business in a community that has just changed hands from it's developer into our own Neighborhood governing board. The visual appeal of our neighborhood has been a bone of contention recently and the homeowners are now working to regain control over retention ponds, etc.

Thank you for your attention,
Robin Mullins- resident of Stone Creek with 3 children since 2014

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-048 SUP restaurant less than 2,000 SF

Please place a check mark on the appropriate line below *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I have witnessed several near accidents cars coming out from Salad to Go & McDonalds the traffic is congested. I foresee the traffic is create a major problem. This location is not conducive for a restaurant. Cars zoom speeding out of the fast-food businesses. The side road near Bordeaux behind the businesses doesn't have any speed limit signs posted.

Respondent Information

Please provide your information.

First Name *

Victoria

Last Name *

Martin

Address *

[Redacted]

City *

[Redacted]

State *

[Redacted]

Zip Code *

[Redacted]

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

I received a property owner notification in the mail.

I read about the request on the City's website.

I saw a zoning sign on the property.

I read about the request in the Rockwall Herald Banner.

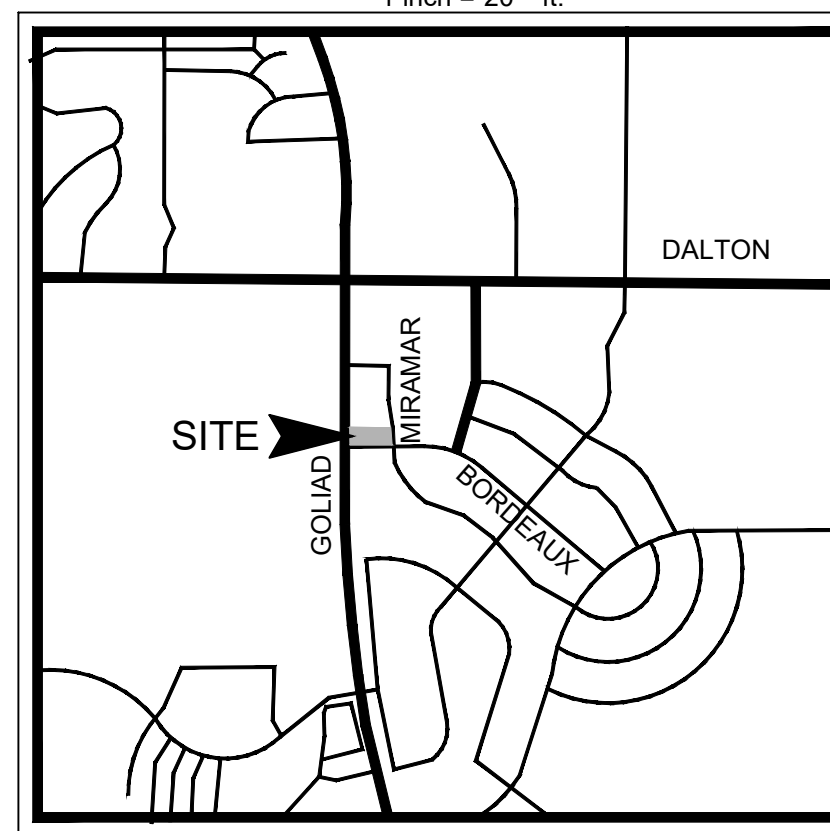
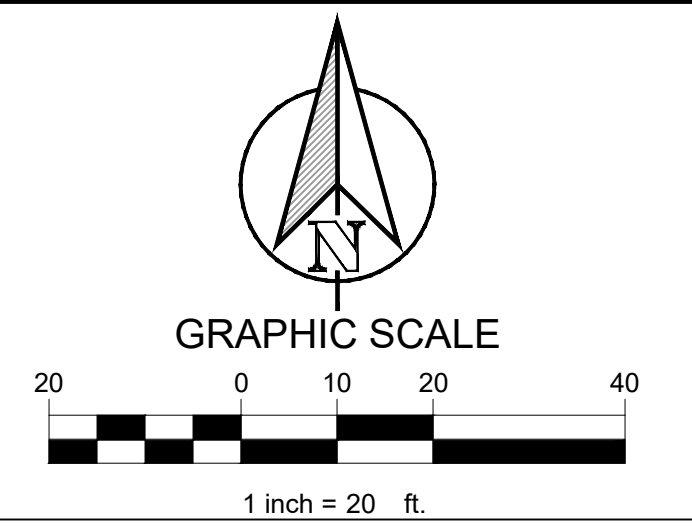
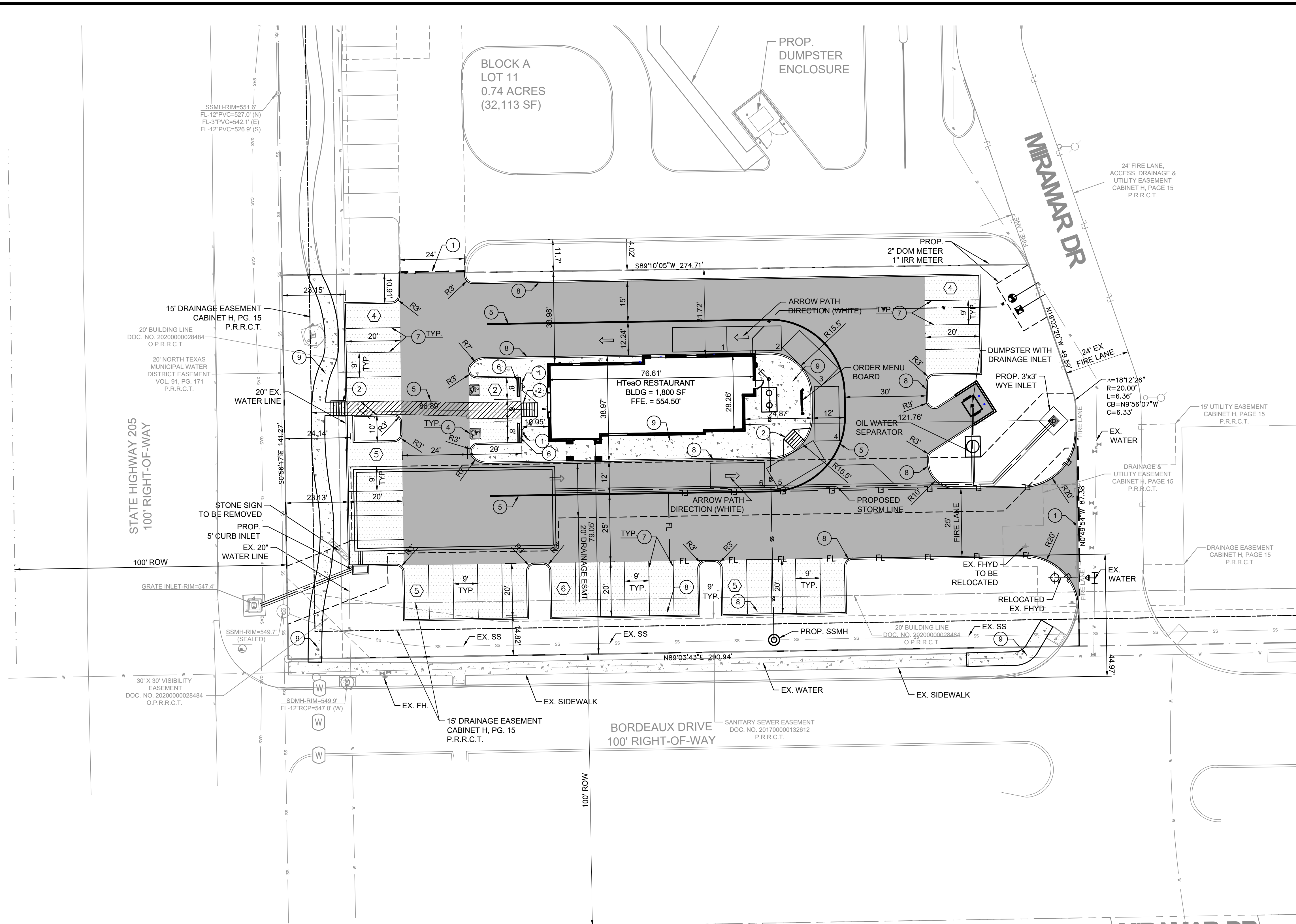
My neighbors told me about the request.

Other: _____

This content is neither created nor endorsed by Google.

Google Forms

PLOTTED BY: CLAY CRISTY 10/4/2023 12:57 AM
 PLOT DATE: 10/4/2023 12:57 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2023-110 APPPJ MGMT - HTEAO ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 10/4/2023 12:55 AM



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE	
[Pattern]	PROPOSED 5" LIME STABILIZED STANDARD DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 6" LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 5" LIME STABILIZED SIDEWALK CONCRETE PAVEMENT
[Line]	PROPERTY LINE
[Line]	PROPOSED CONCRETE CURB AND GUTTER
[Line]	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
[Line]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
 - PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS

PARKING DATA TABLE		
PARKING REQ.		
DRIVE-THRU RESTAURANT (1,800 SF) 1/ 100 SF	18 SPACES	
PARKING PROVIDED		
STANDARD PARKING	29 SPACES	
ADA PARKING	2 SPACES	
TOTAL	31 SPACES (2 ADA)	

SITE DATA TABLE	
SITE AREA	0.933 AC (40,627 SF)
ZONING	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT
BUILDING SIZE	1,800 SF
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	28,117 SF (69)

CONSTRUCTION SCHEDULE	
①	HANDICAP SIGN
②	ADA RAMP, 12:1 MAX. SLOPE
③	SAWCUT FULL DEPTH EXISTING PAVEMENT
④	HANDICAP SYMBOL
⑤	PAVEMENT STRIPING
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE
⑧	CURB & GUTTER
⑨	PROPOSED SIDEWALK

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER:
 METROPLEX ACQUISITIONS FUND, LP
 1717 WOODSTEAD CT. SUITE 207
 THE WOODLANDS, TX 77380
 CONTACT: STACI BOWEN
 PH: 214.343.447

APPPJ MANAGEMENT
 LEGAL DESCRIPTION AND OR ADDRESS:
 HWY 205 & BORDEAUX DRIVE
 ROCKWALL, TX 75087
 0.933 AC (40,627 SF)

DEVELOPER:
 APPPJ MANAGEMENT
 740 AVALON DR
 HEATH, TX 75032
 CONTACT: JEFF IVY
 PH: 214-272-4350

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: CLAY CRISTY
 PH: 817.281.0572

CASE NUMBER:
 Z2023-046

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 10/4/2023

PLANNING AND ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DR. SUITE #406
 BEDFORD, TX 76021
 WWW.CLAYMOOREENR.COM
 PHONE: 817.281.0572

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING AND PLANNING CONSULTANTS
 ENGINEER: CLAY CRISTY
 P.E. No. 10980 Date 10/4/2023

**HTEAO RESTAURANT
 HWY 205 & BORDEAUX DR
 ROCKWALL, TX 75087**

NO.	DATE	REVISION	BY
2	09/13/2021	STORM REVISION	LRR
1	12/07/2020	STORM REVISION	LRR

SITE PLAN

SHEET
SP-1

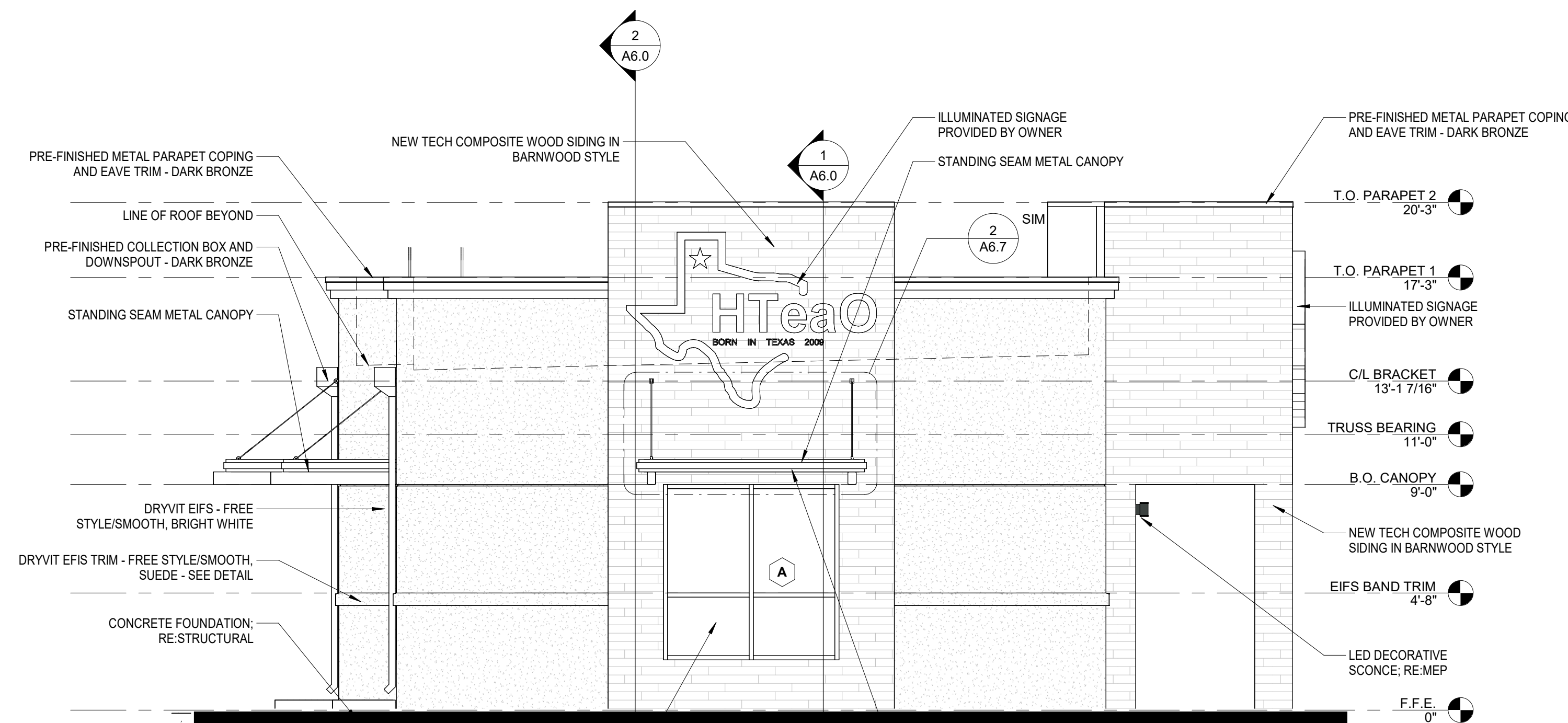
File No. 2020-021
 CASE # SP2023-000

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



HTEAO ROCKWALL ADDRESS LOCATION



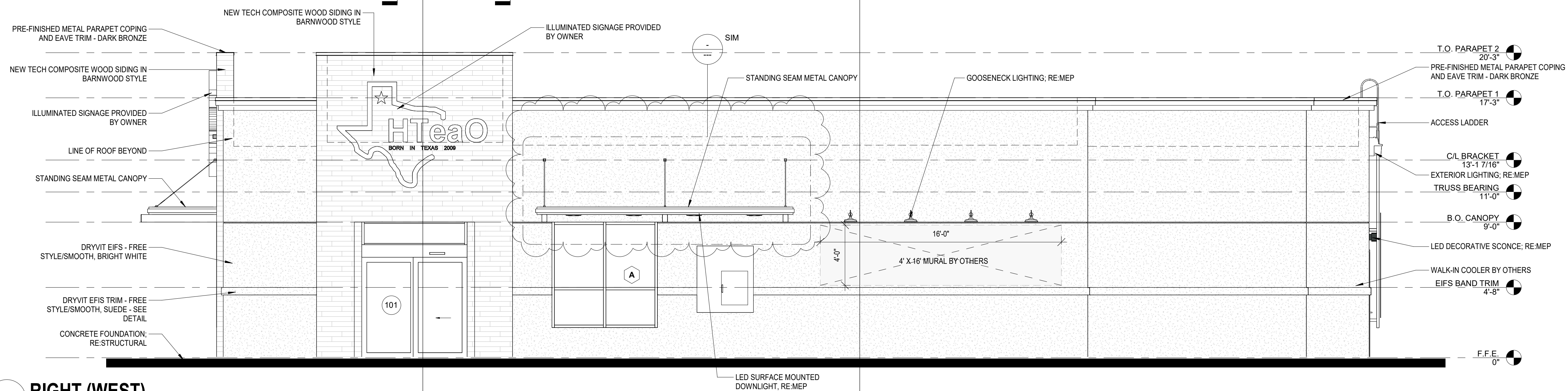
2 FRONT (NORTH)

SCALE: 1/4" = 1'-0"



3 3D View 2

SCALE:



1 RIGHT (WEST)

SCALE: 1/4" = 1'-0"



Date: 7-24-2023
 Dwn: BRZ Chk: SJK
 Project No.: 2348
 Issue:

1	Revision 1	Date 1
---	------------	--------

Sheet Name:
EXTERIOR ELEVATIONS

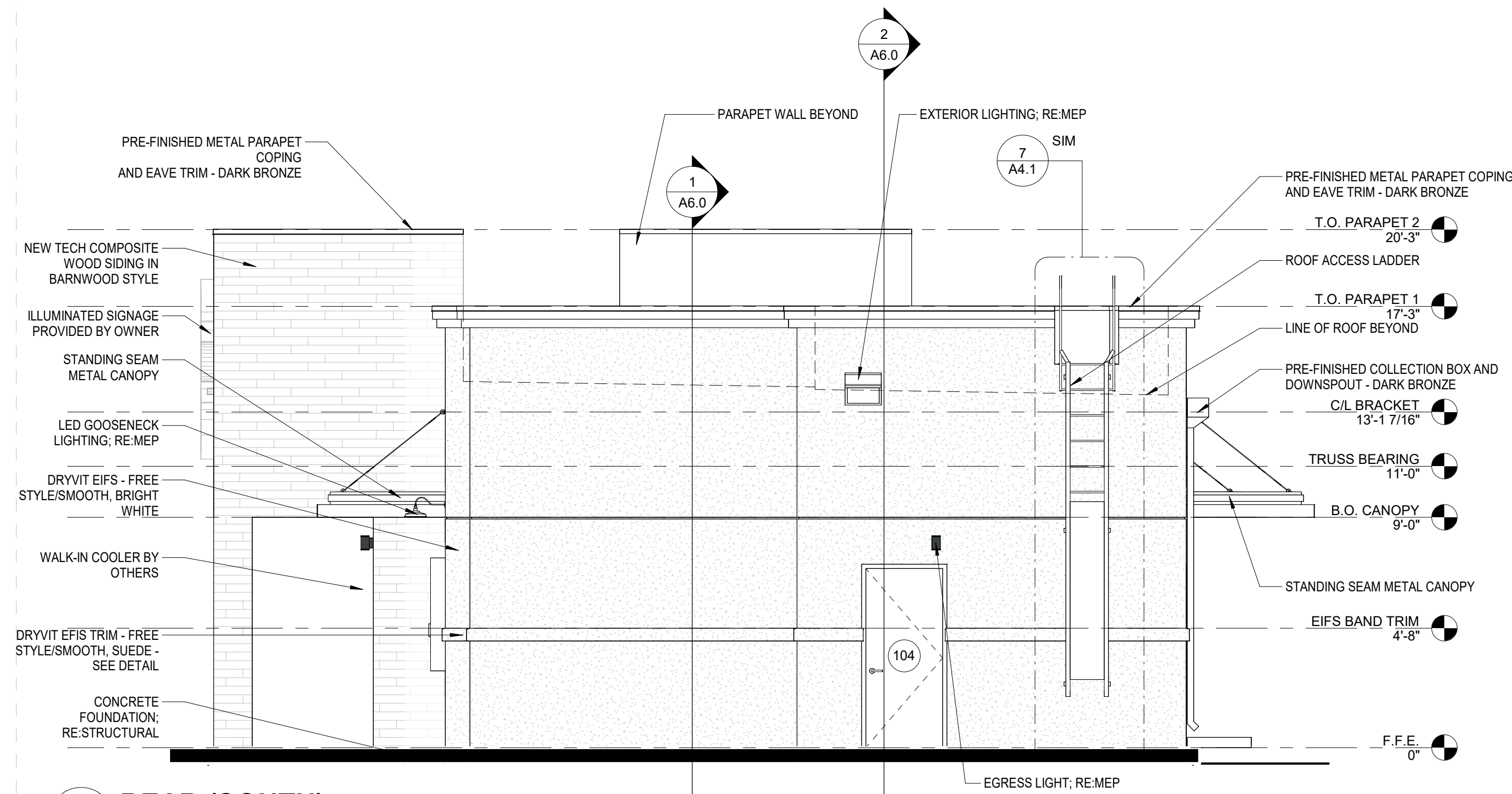
A5.0

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



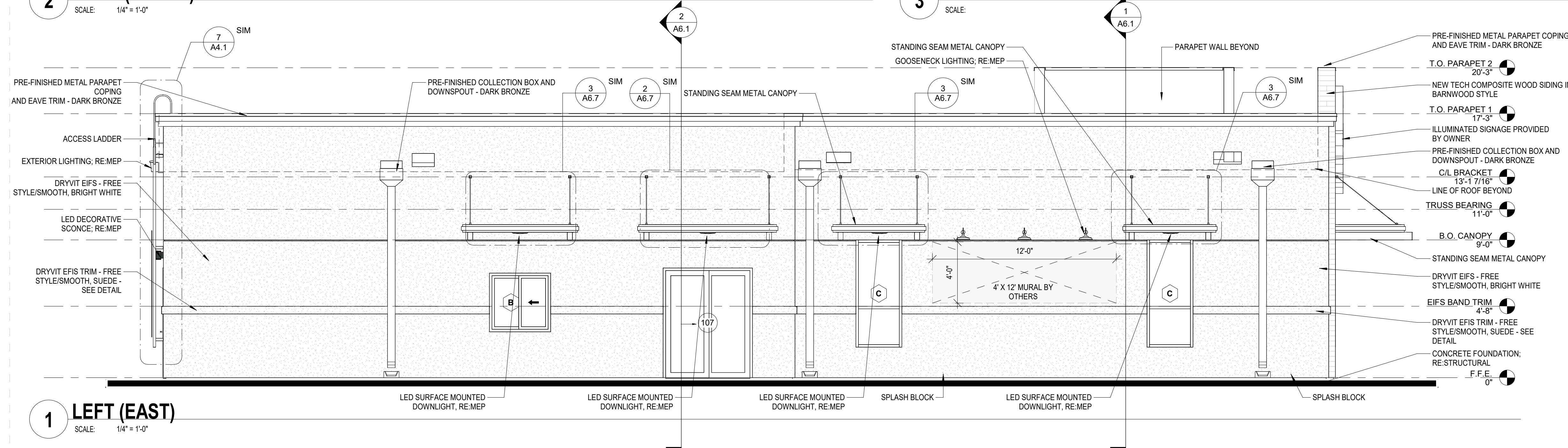
**HTEAO ROCKWALL
ADDRESS
LOCATION**



2 REAR (SOUTH)
SCALE: 1/4" = 1'-0"



3 3D View 1
SCALE:



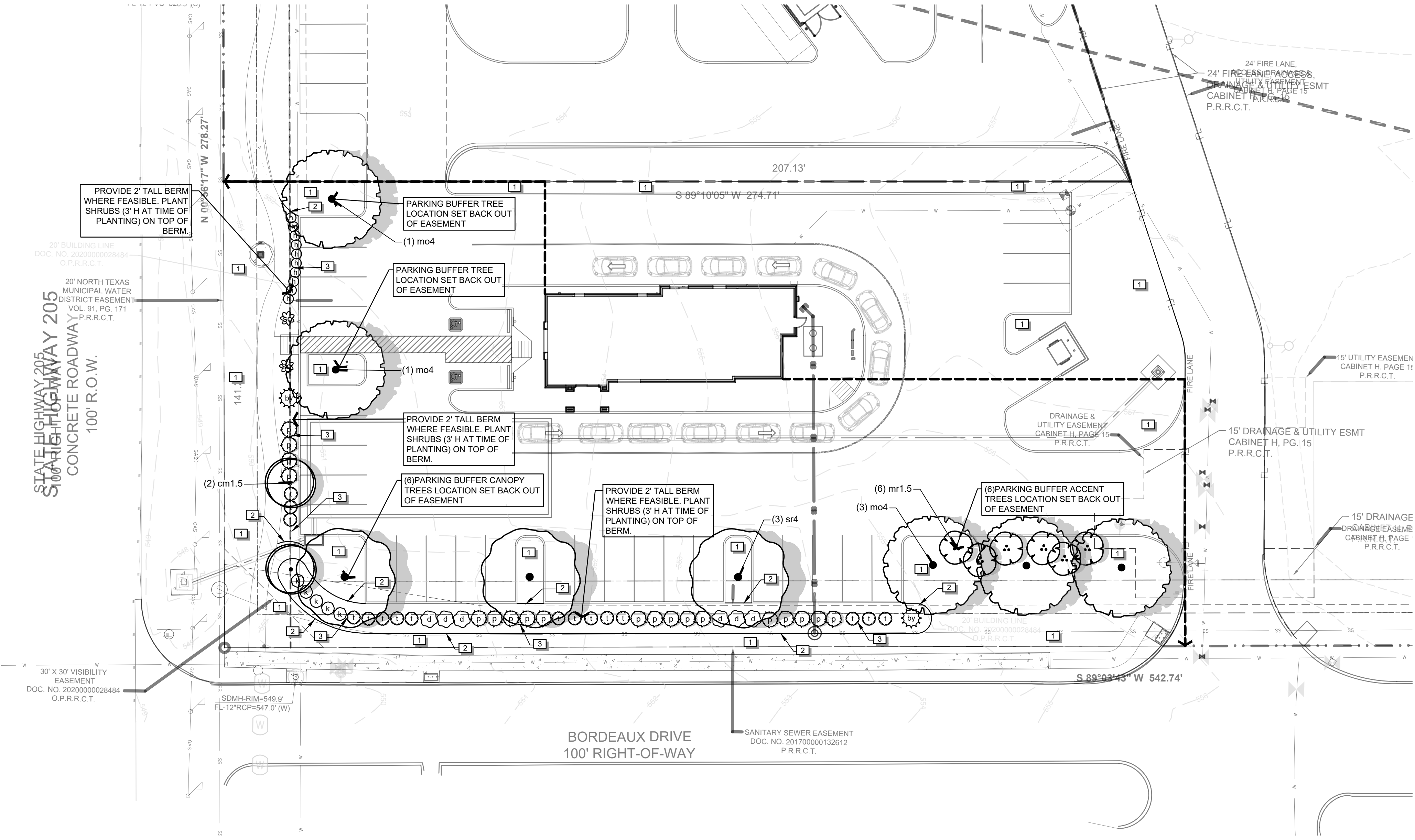
1 LEFT (EAST)
SCALE: 1/4" = 1'-0"



Date: 7-24-2023
Dwn: BRZ Chk: SJK
Project No.: 2348
Issue:

Sheet Name:
**EXTERIOR
ELEVATIONS**

A5.1

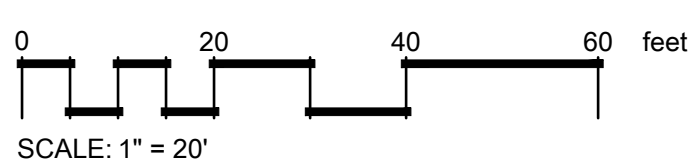


LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
LANDSCAPE BUFFER		
• N Goliad Dr. (110 lf)		
•• Shade trees (1 per 50 lf)	2	2
•• Accent trees (1 per 50 lf)	2	2
• Bordeaux Dr. (291 lf)		
•• Shade trees (1 per 50 lf)	6	6
•• Accent trees (1 per 50 lf)	6	6
LANDSCAPE SCREENING		
• Headlight Screening (shrubs and 2' tall berm)		
•• N Goliad Dr.	73 lf	75 lf
•• Bordeaux Dr.	182 lf	184 lf
LANDSCAPE REQUIREMENTS		
• Total Site Area	8,524sf	42,619sf
• Amount of Landscaping (20% Total Site)	1,705sf	12,702sf
•• Location of Landscaping (50% in Streetyard)	4,262sf	9,163sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Lawn, Sod
2	Steel Edge
3	Mulch



PLANT SCHEDULE

TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
	mo4	Monterey Oak	Quercus polymorpha 'Monterey'	-	4"Cal	6' H min	5
	sr4	Shumard Red Oak	Quercus shumardii	-	4"Cal	6' H min	3
ORNAMENTAL TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
	cm1.5	Crape Myrtle, Muskogee	Lagerstroemia indica 'Muskogee'	-	1.5"Cal	6' H min	2
	mr1.5	Mexican Redbud	Cercis canadensis mexicana	-	1.5"Cal	6' H min	6
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	CONT	SIZE		
	by	Beaked Yucca, 'Blue Velvet'	Yucca rostrata 'Blue Velvet'	5 gal			1
	d	Dwarf Palmetto	Sabal minor	5 gal			6
	h	Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	5 gal			10
	k	Knock Out Rose	Rosa acicularis 'Knock Out'	5 gal			5
	p	Pineapple Guava	Feijoa sellowiana	5 gal			19
	so	Sotol	Dasylirion texanum	5 gal			2
	t	Texas Sage 'Silverado'	Leucophyllum frutescens 'Silverado'	5 gal			18

Rev	Description	Date							
Consultant Seal									
Company Name and Address									
William S. Blair (512) 522-8979 info@blairla.com www.blairla.com 100 Congress Ave. Ste 2000 Austin, TX 78701									
Project Name and Address									
HteaO Rockwall N Goliad Dr. and Bordeaux Dr. Rockwall, Texas									
Sheet Title									
<h1 style="margin: 0;">Landscape Plan</h1>									
Design By: Will Blair									
Checked By: xxxx									
Issue Date: 09/15/2023									
Project Number: Z3062-LP									
<h2 style="margin: 0;">L1</h2> OF 2									



Contractors:
 email info@blairla.com with RFIs, submittals, & inspection scheduling
 Schedule inspections at least 2 weeks in advance

Know what's below.
 Call before you dig.

LANDSCAPE PLANTING SPECIFICATIONS

- 1) Guarantee - All labor, materials and plants will be guaranteed for a period of twelve (12) months after the final acceptance of work by Owner. All plants that have died or are unhealthy shall be replaced no later than 30 days from the anniversary date of the final acceptance. This guarantee does not apply to plant material that dies due to abnormal freezes, hail, abnormal high winds, or other acts of God, vandalism or lack of normal maintenance and watering. This guarantee does not apply to annual plantings.
- 2) Contractor is to verify all site dimensions and layout prior to the commencement of landscape construction. Any discrepancies between the drawings and the actual site conditions shall be brought to the attention of the owner's representative immediately.
- 3) Contractor is responsible for verification of the location of all underground utilities, repair to said utilities as a result of the work of the contractor shall be the responsibility of the contractor. Refer to the drawing for any additional information.
- 4) Contractor is responsible for maintaining positive drainage in all shrub and turf planting areas.
- 5) Tree pits are to be the same depth as the root ball and 24" wider. Prior to planting the tree pit should be filled with water to check for good drainage. If water does not drain the Contractor should check with the Landscape Architect to relocate the tree.
- 6) Trees should be positioned in the center of the tree pits, back filled with soil that was excavated from the pit until the surface is level with the surrounding area and the crown of the plant is at the finished grade. Build a water basin around the tree (36" dia.). Water until planting pit is soaked and soil has settled. Add soil necessary to bring soil level flush with surrounding ground. Fill the basin with three (3) inches of compost.
- 7) All plant material shall conform to the standards of the latest edition of "American Standard for Nursery Stock" by The American Association of Nurserymen and "Grades and Standards" by The Texas Association of Nurserymen. A plant shall be dimensioned as it stands in its natural position. All plants shall be at least the minimum size indicated. Larger stock is acceptable at no additional cost, and providing that the larger plants will not be cut back to size indicated.
- 8) It is the landscape contractor's responsibility to provide plants free of disease or pests.
- 9) Space specified quantity of plant materials to evenly fill designated areas, adjusting spacing indicated on the drawings as required. Landscape architect or owner to have final approval of locations of all trees, shrubs and groundcover beds.
- 10) Contractor is responsible for removing all clods, rocks, concrete, trash and any other debris from beds prior to adding soil or plant material.
- 11) All planting beds should have three (3) inches of compost filled into them to a depth of six (6) inches. A three (3) inch layer of shredded hardwood bark mulch should be applied to all beds after planting is completed. Four (4) inch pots and ground cover may be planted through the mulch.
- 12) Contractor is responsible for removal of trash and repair of hazardous conditions (tools, open holes, et.) on a daily basis by the end of the work day.
- 13) Water all plantings in bed areas thoroughly on a daily basis until final acceptance.

- 14) To prepare turf areas treat them with a selective herbicide two weeks prior to sodding or seeding. Then rake area to remove stones, sticks and other debris. Add two (2) inches of topsoil to the turf area. Rake area to a finish grade (1" below walks and curbs).
- 15) If sodding is to take place the sod should be gathered and planted within a 48 hour period. Lay the sod to form a solid mass with tight fitting joints. Butt ends and sides of sod and offset joints in adjacent courses. Roll sod to ensure good contact with soil. If planting on a slope be sure to lay courses parallel to the contours and secure sod with pins if necessary. Site preparation and maintenance will be the same for hydromulching.
- 16) Water sod daily so as to not allow turf blades to wilt. If necessary water twice per day.
- 17) Apply slow release fertilizer 15-15-15 or equal at a rate of 2 lbs. per 100 s.f. to all turf or planted areas.

REFERENCE NOTE SPECIFICATIONS

- LAWN AREAS - SOD / HYDROMULCH / SEED MIX
1. Lawn, Bermuda "Tif 419" Sod. Provide spray irrigation. Temporary irrigation only within septic fields or Right of Way (R.O.W.). Pre emergent weed treatment recommended.

STEEL EDGE

2. Steel edge, 3/16" x 4" landscape edging as manufactured by Ryerson, or equal, dark green and furnished with steel stakes. Install edging in smooth curves free of kinks. Final height of edging to be 1" above height of soil mat of sod.

MULCHES / GRAVELS / RIVER ROCK / BOULDERS

3. Mulch, Native Hardwood. 3" deep with drip irrigation. Ensure that drip line is placed above rootballs.

- 19) Contractor shall keep all construction areas and public streets free from accumulation of waste material. Upon completion of construction and prior to final approval contractor shall thoroughly clean the site of all trash, spilled soil, and litter, etc. that has resulted from landscape construction operations. Repair all damage to finish grade including tailings from excavations, wheel ruts, etc. caused from construction. All debris, trash and excess materials and equipment shall be removed from the site prior to final acceptance.
- 20) Remove all tags, ribbons and wires from all newly installed plant material.

LANDSCAPE MAINTENANCE REQUIREMENTS

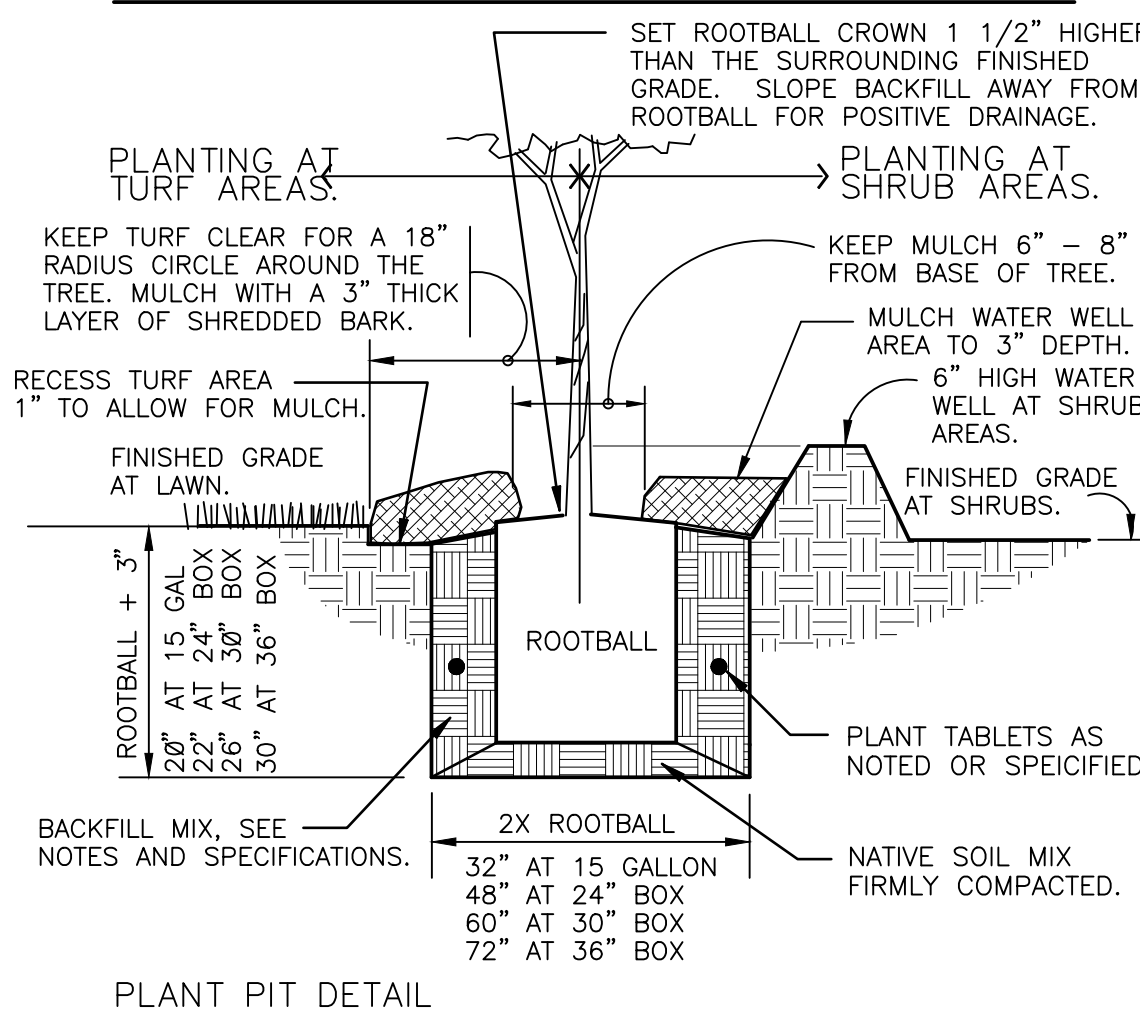
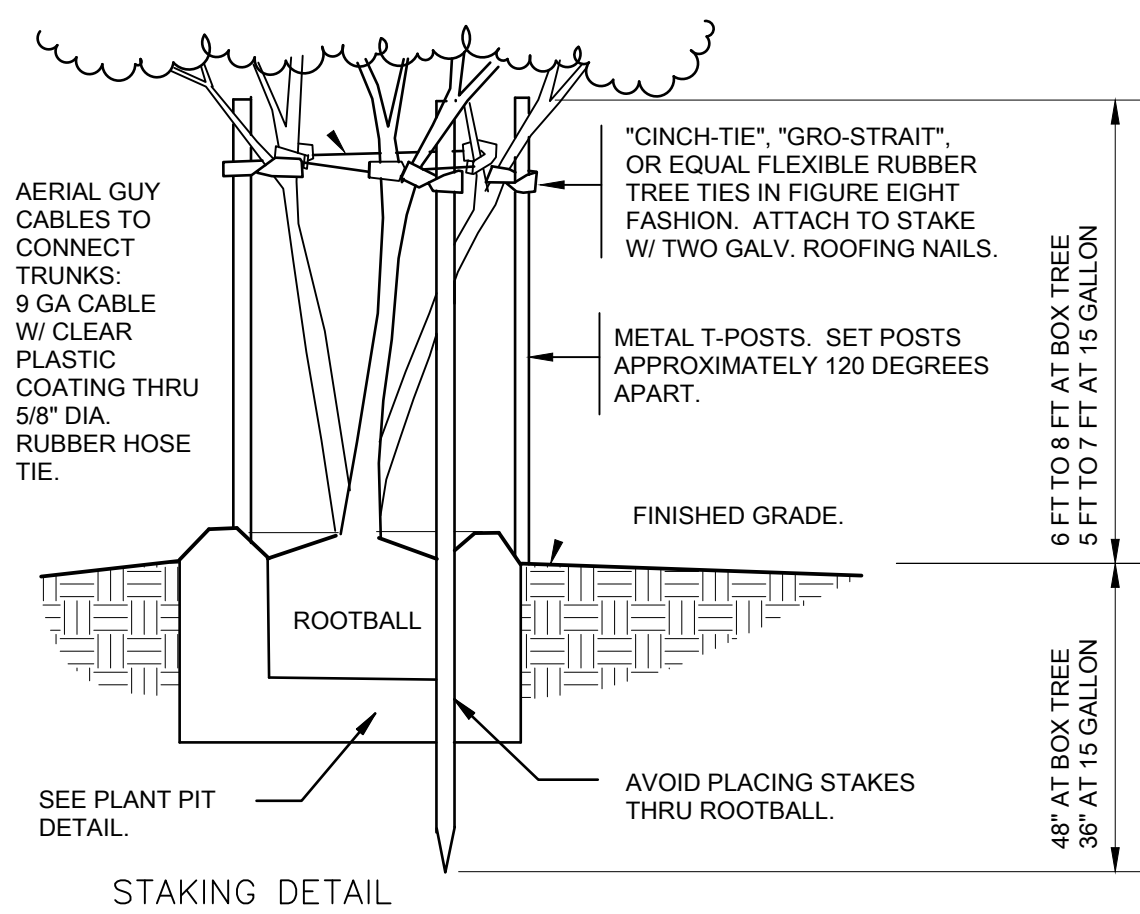
The owner shall be responsible for:

- 1) Regular maintenance of all required landscape areas and plant materials in a vigorous and healthy condition, free from diseases, pests, weeds, and litter. This maintenance shall include weeding, watering, fertilization, pruning, mowing, edging, mulching or other needed maintenance, in accordance with generally accepted horticultural practice.
- 2) The repair or replacement of required landscape structures (walls, fences, etc.) to a structurally sound condition.
- 3) The regular maintenance, repair, or replacement, where necessary, of any required screening or buffering.
- 4) All open space areas that are to be preserved as natural plant communities shall be trimmed, at least once a year, of all exotic vegetation, lawn grasses, trash, or other debris. Natural area should be mulched, pruned and otherwise maintained so that plants are vigorous.

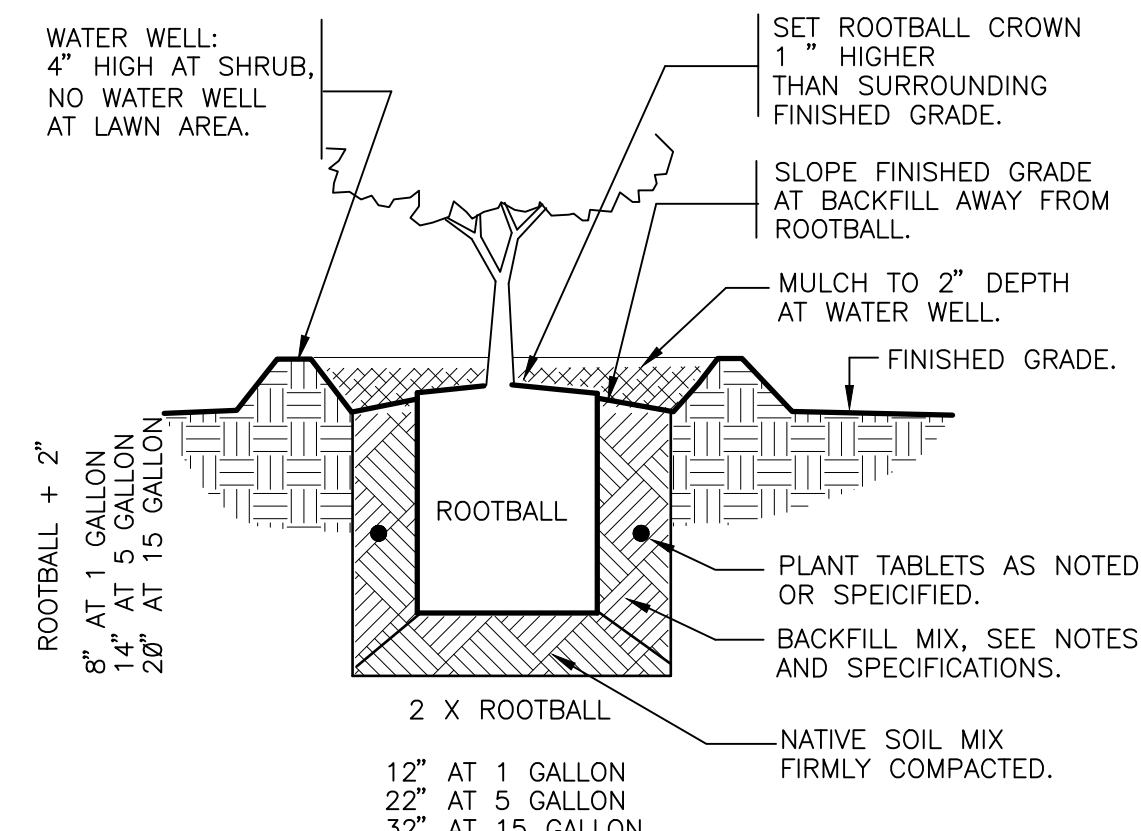
IRRIGATION SPECIFICATIONS

- 1) Irrigation contractor will provide pipes for sleeves and specify locations for placement of sleeves by general contractor prior to pouring concrete or laying asphalt.
- 2) Irrigation contractor will install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local governing authorities.
- 3) Find location of backflow preventer, and automatic controller location shall be approved by the owner's authorized representative.

- 4) 120 VAC electrical power source at controller location shall be provided by others. The irrigation contractor shall make the final connection from the electrical source to the controller.
- 5) All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- 6) The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with minimal overspray onto walks, streets, walls, etc.
- 7) Head location is the responsibility of the irrigation contractor, with the understanding that all landscape areas will receive adequate water to provide for vigorous growth of vegetation.
- 8) Irrigation contractor will replace or repair all items damaged by his work.
- 9) All work shall be installed in accordance with applicable codes and ordinances for the City of Rockwall, Texas and the National Electrical Code and all governing authorities.
- 10) The irrigation contractor is responsible for reporting any deficiency in water pressure that would affect the operation of the irrigation system.
- 11) The irrigation contractor shall be a Registered Licensed Irrigator in the State of Texas. Contractor must conform to all codes as stated in section 34 of the Texas Water Code and TNRCC.
- 12) All remote control valves, gate valves, quick couplers and control wire and computer cable pull pints shall be installed in approved valve boxes.
- 13) Irrigation Contractor shall procure all permits, licenses, and pay all charges and fees and give all necessary notices for the completion of work.
- 14) Contractor shall not disturb roots of existing trees. There shall be no machine trenching below the dripline of existing trees.
- 15) Extreme care shall be exercised in excavating and working near utilities. Contractor shall verify the location and condition of all utilities and be responsible for damage to any utilities.
- 16) Contractor shall clearly mark all exposed excavations, materials, and equipment. Cover or barricade trenches when the contractor is not on the site. Take all necessary precautions to protect and prevent injury to any persons on the site.
- 17) All automatic irrigation systems shall be equipped with a controller of dual or multiple programming. Controllers shall have multiple cycle start capacity and a flexible calendar program, including the capacity of being set to water every five days. All automatic irrigation systems shall be equipped with a rain sensor shutoff device.
- 18) Irrigation in Texas is regulated by the Texas Commission on Environmental Quality, www.tceq.texas.gov, (512) 239-1000



1 TREE PLANTING MULTI-STAKE
1" = 1'-0"



2 SHRUB PLANTING
1" = 1'-0"

will

9/15/2023 10:45 AM d:\ba dropbox\projects\hiteao, rockwall_9\kramer, brynn zygluski, scott scarborough, sandrin hiteao, rockwall\hiteao, rockwall.dwg

will blair

Contractors:
email info@blairla.com with RFIs, submittals, & inspection scheduling
Schedule inspections at least 2 weeks in advance

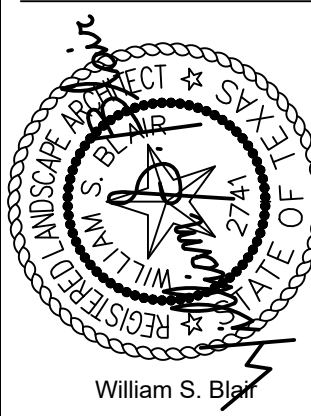
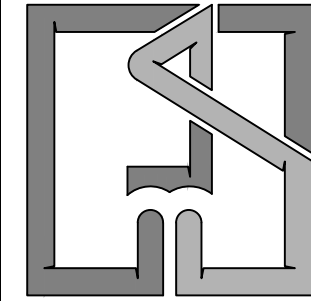
Rev	Description	Date

Consultant Seal

Company Name and Address

William S. Blair
(512) 522-8979
info@blairla.com
www.blairla.com
100 Congress Ave.
Ste 2000
Austin, TX 78701

BLAIR LANDSCAPE ARCHITECTURE, LLC
QUALITY. INTEGRITY. RELIABILITY.



Project Name and Address

Hteo | Rockwall
N Gollad Dr. and Bordeaux Dr.
Rockwall, Texas

Sheet Title

Landscape Details & Specifications

Design By: Will Blair
Checked By: xxxx
Issue Date: 09/15/2023
Project Number: Z3062-LP

L2
OF 2

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 70 (PD-70) [ORDINANCE NO. 19-41] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A RESTAURANT WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN ON A 0.93-ACRE PORTION OF A LARGER 5.16-ACRE PARCEL OF LAND IDENTIFIED AS LOT 13, BLOCK A, STONE CREEK RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DESCRIBED IN EXHIBIT 'A' AND DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Clay Cristy of ClayMoore Engineering for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* for the purpose of constructing a restaurant with drive-through on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and being more specifically described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 70 (PD-70) [Ordinance No. 19-41] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. Planned Development District 70 (PD-70) [Ordinance No. 19-41] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant*

with Less Than 2,000 SF with Drive-Through or Drive-In in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.04, *General Retail (GR) District*, and Subsection 06.11, North *SH-205 Overlay (N. SH-205 OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 70 (PD-70) [Ordinance No. 19-41] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The development of the *Subject Property* shall generally conform to the Landscape Plan as depicted in *Exhibit 'C'* of this ordinance; however, additional landscaping shall be required around the dumpster enclosure, adjacent to N. Goliad Street [SH-205] -- especially in the areas where headlights will be visible from the drive-through lane --, and along the northern property line adjacent to the drive-through lane.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or

provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF NOVEMBER, 2023.**

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

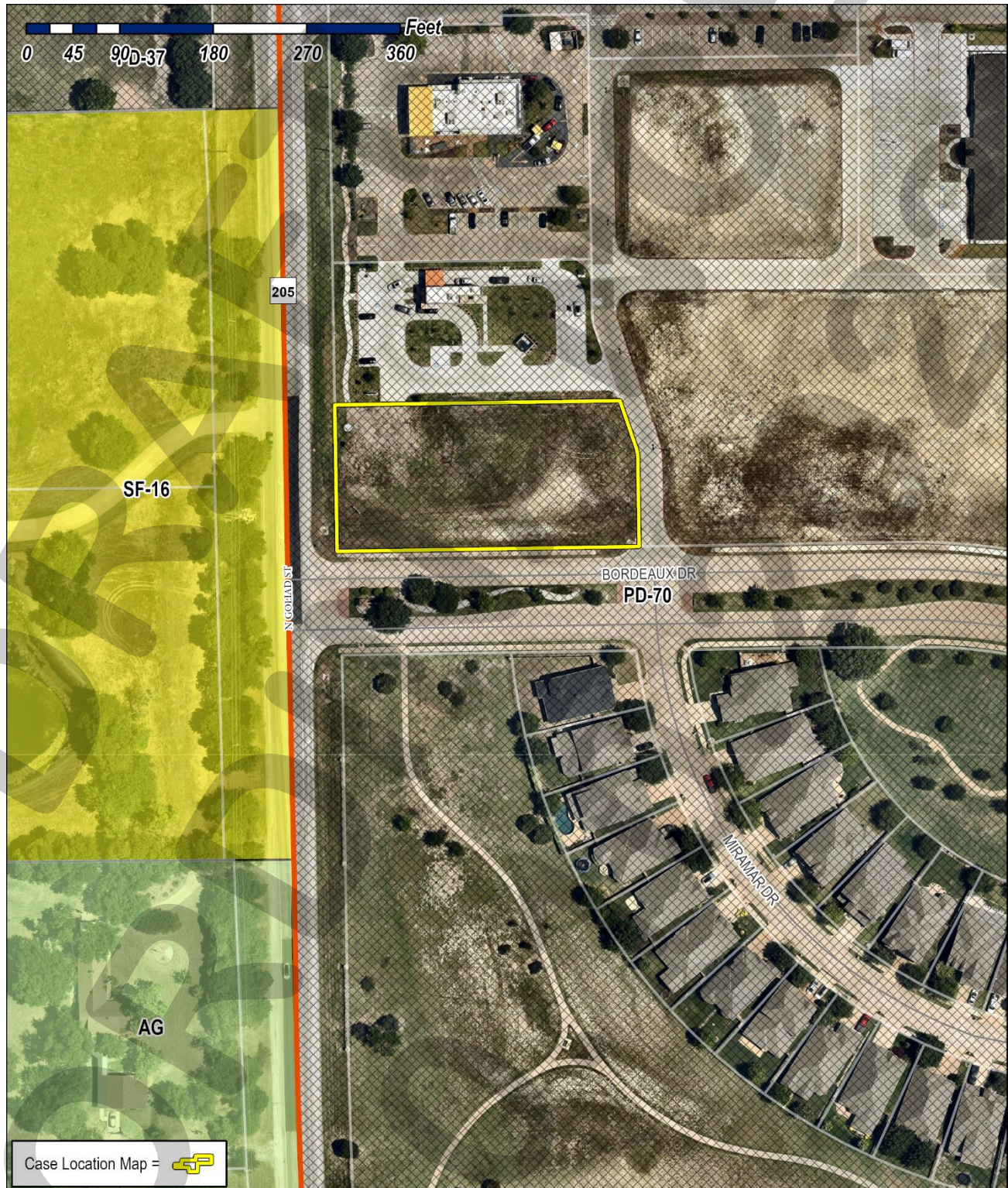
1st Reading: October 18, 2023

2nd Reading: November 6, 2023

Exhibit 'A'
Location Map

Address: NEC of N. Goliad Street [SH-205] and Bordeaux Drive

Legal Description: Lot 13, Block A, Stone Creek Retail Addition





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: October 16, 2023
APPLICANT: Clay Cristy; *ClayMoore Engineering*
CASE NUMBER: Z2023-048; *Specific Use Permit for a Restaurant with less than 2,000 SF with Drive-Through or Drive-In*

SUMMARY

Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In* for the purpose of constructing a restaurant (*i.e. HTeaO*) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [*SH-205*] and Bordeaux Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on May 19, 1986 by *Ordinance No. 86-37*. On December 7, 1993, the City's historic zoning map indicates the subject property was zoned Agricultural (AG) District. On April 2, 2007, the City Council approved a zoning change for the subject property changing the zoning designation from an Agricultural (AG) District to Planned Development District 70 (PD-70) [*i.e. Ordinance No. 07-13*] for limited General Retail (GR) District land uses. On October 5, 2020, the City Council approved a replat [*i.e. Case No. P2020-038*] that replatted the subject property as Lot 11, Block A, Stone Creek Retail Addition. On May 2, 2022, the City Council approved a replat [*i.e. Case No. P2022-013*] that established the subject property as a portion of Lot 13, Block A, Stone Creek Retail Addition. The subject property is currently vacant.

PURPOSE

The applicant -- *Clay Cristy of ClayMoore Engineering* -- is requesting the approval of a Specific Use Permit (SUP) to allow for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located northeast of the intersection of N. Goliad Street [*SH-205*] and Bordeaux Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject is a *Restaurant with less than 2,000 SF with a Drive-Through (i.e. Salad-n-Go)*. North of this is a *Restaurant with more than 2,000 SF with a Drive-Through (i.e. McDonald's)*. Beyond this is a *Retail Store with Gasoline Sales (i.e. Tom Thumb Gas Station)*. All of these properties are zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses

South: Directly south of the subject property is Bordeaux Drive, which is identified as a *A4D (i.e. major arterial, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 1 of the Stone Creek Subdivision, which is an 83.57-acre residential subdivision, zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property is the remainder of a 5.16-acre parcel of land (*i.e. Lot 13, Block A, Stone Creek Retail Addition*) -- that includes the subject property --, which is currently vacant. East of this is Stone Creek Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phases 2B & 6 of the Stone Creek Subdivision, which are zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is N. Goliad Street [*SH-205*], which is identified as a *A4D (i.e. major arterial, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land (*i.e. 3069 and 3073 N. Goliad Street*), zoned Single-Family 16 (SF-16) District. Beyond this is Phase 6 of the Shores Subdivision, which consists of 70 lots and is zoned Planned Development District 3 (PD-3) for single-family land uses.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and a concept plan requesting a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* for the purpose of establishing a restaurant (*i.e. HTeaO*). The concept plan indicates that the proposed restaurant will be approximately 1,800 SF with a drive-through lane beginning on the south side of the building leading to a pick-up window. The request appears to meet all of the *Residential Adjacency Standards*, but will require to provide increased landscaping along N. Goliad Street [*SH-205*] to provide headlight screening.

CONFORMANCE WITH THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *Restaurant with Drive Through or Drive-In* as "(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises." In this case, the applicant's proposed business -- *HTeaO* -- falls under this classification. According to Planned Development District 70 (PD-70) the subject property is required to meet the General Retail (GR) District land uses -- *with some exceptions* --, and according to the *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* requires a Specific Use Permit (SUP) in a General Retail (GR) District. The purpose of this requirement is to acknowledge that not all *Restaurant* operations are appropriate within the City's General Retail (GR) Districts, and that the City Council should have discretionary oversight with regard to the types of *Restaurant* operations and their impacts within these types of districts. In addition, Subsection 02.03(f)(9) places the following additional conditions on this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles.

The applicant's request does appear to conform to the requirements stipulated by the Unified Development Code (UDC); however, staff has incorporated an additional condition that will require increased landscaping be planted along N. Goliad Street [*SH-205*] to provide headlight screening from N. Goliad Street [*SH-205*] and the adjacent properties. The Unified Development Code (UDC) requires headlight screening to be a minimum of three (3) feet in height. Staff requested this of the applicant, but the applicant has failed to provide the necessary changes on the submitted concept plan. Based on this, staff has added this as a condition of approval for this case.

STAFF ANALYSIS

The intent of the General Retail (GR) District is to provide limited retail and service uses for nearby residential neighborhoods. Development in these areas should not include intensive commercial land uses that carry large volumes of retail traffic. Developments should also be adequately buffered and screened from residential land uses. Since the General Retail (GR) District is located close to residential areas, the development standards are typically more stringent and similar to the Residential-Office (RO) and Neighborhood Services (NS) Districts. All of these districts are intended to create a transition from

the adjacent residential neighborhoods to less intense non-residential land uses. When reviewing this case, the proposed land use does appear to be appropriate for this location due to the separation of the subject property from the nearby residential development and its proximity to N. Goliad Street [SH-205] (*which is identified as a M4D [major collector, four [4] lane, divided roadway] on the City's Master Thoroughfare Plan*). With this being said, approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On September 22, 2023, staff mailed 35 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stone Creek Homeowner's Association (HOA), which is the only HOA/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted staff had received one (1) notice in favor and two (2) notices in opposition, and one (1) notice both in favor and opposition to the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the SUP is ordinance.
 - (b) The development of the *Subject Property* shall generally conform to the Landscape Plan as depicted in *Exhibit 'C'* of this ordinance; however, additional landscaping shall be required around the dumpster enclosure, adjacent to N. Goliad Street [SH-205] -- *especially in the areas where headlights will be visible from the drive-through lane --*, and along the northern property line adjacent to the drive-through lane.
- (2) The applicant shall provide an updated landscape plan showing additional landscaping shall be required around the dumpster enclosure, adjacent to N. Goliad Street [SH-205] -- *especially in the areas where headlights will be visible from the drive-through lane --*, and along the northern property line adjacent to the drive-through lane. The applicant shall provide this landscape plan prior to the second reading of this case.
- (3) The applicant shall provide an updated landscape plan removing the crape myrtles and replacing it with a variety of accent tree that conforms to Appendix C, *Landscape Guidelines and Requirements*, of the Unified Development Code (UDC). The applicant shall provide this landscape plan prior to the second reading of this case.
- (4) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On October 10, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address _____

Subdivision Stone Creek Retail Addition

Lot 12

Block A

General Location North East Corner of N. Goliad St and Bordeaux Dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-070

Current Use Undeveloped

Proposed Zoning PD-070

Proposed Use Retail

Acreage 0.93

Lots [Current] 1

Lots [Proposed] 2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Metroplex Acquisition Fund, LP

Applicant ClayMoore Engineering

Contact Person Staci Bowen

Contact Person Clay Cristy

Address 1717 Woodstead Ct.

Address 1903 Central Dr.

Ste. 207

Ste. 406

City, State & Zip The Woodlands, TX 77380

City, State & Zip Bedford, Texas 76021

Phone 214.343.4477

Phone 817.281.0572

E-Mail sbowen@crestviewcompanies.com

E-Mail Clay@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

Billy J. Brice III, President of
Metroplex Acquisition Fund, LP

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 482.57, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of September, 20 23. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information.

Signed under my hand and seal of office on this the 14th day of September, 20 23

Owner's Signature _____

My Commission Expires 1-27-2025



0 20 40 80 120 160 Feet

Z2023-048: SUP for a Restaurant (HTeaO)

205

N GOLIAD ST

SF-16

PD-70

BORDEAUX DR

MIRAMAR DR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

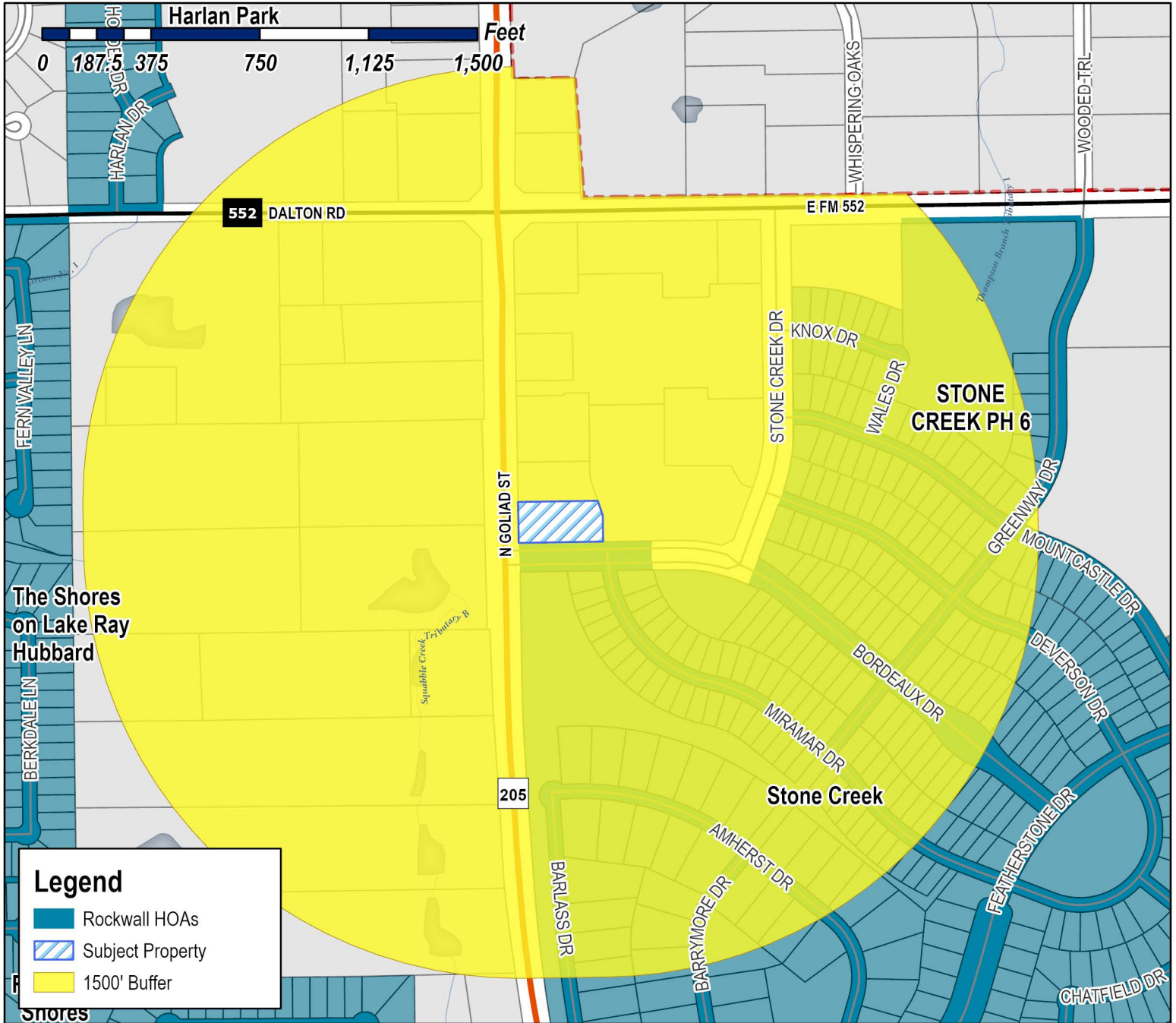




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-048
Case Name: SUP for a Restaurant Less Than 2,000 SF w/Drive-Through
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: NEC of N. Goliad Street & Bordeaux Street

Date Saved: 9/15/2023

For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-048]
Date: Friday, September 22, 2023 10:30:04 AM
Attachments: [Public Notice \(P&Z\) \(09.18.2023\).pdf](#)
[HOA Map \(09.18.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [September 22, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 10, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 16, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-048: SUP for a Restaurant w/ Less Than 2,000 SF

Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a [Specific Use Permit \(SUP\)](#) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

Thank You,

Melanie Zavala

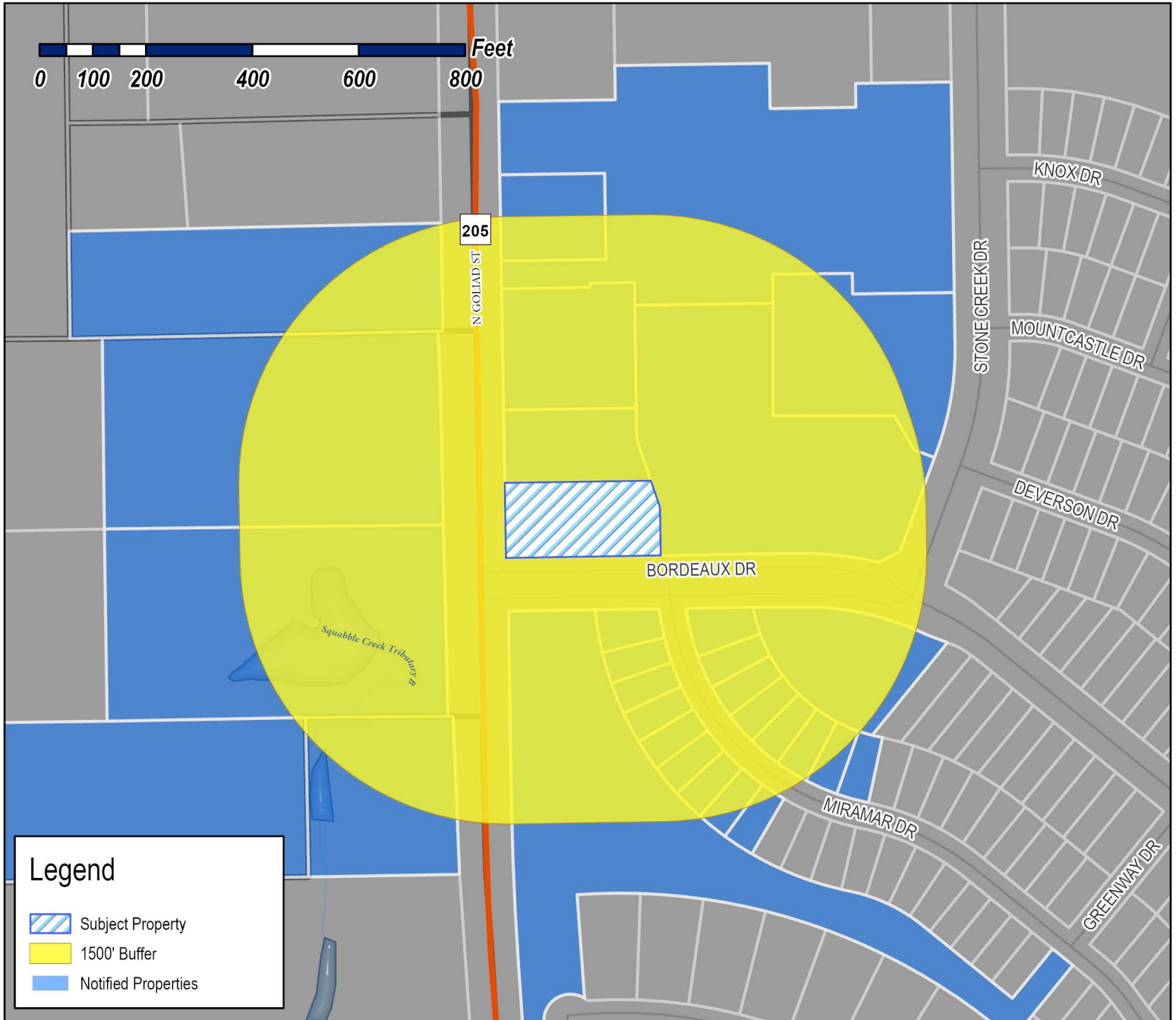
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-048
Case Name: SUP for a Restaurant Less Than 2,000 SF w/Drive-Through
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: NEC of N. Goliad Street & Bordeaux Drive

Date Saved: 9/15/2023

For Questions on this Case Call: (972) 771-7746



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

METROPLEX ACQUISITION FUND, LP
1717 WOODSTEAD CT STE 207
THE WOODLANDS, TX 77380

WEST JEFFREY A & CHANTEL M
3059 N GOLIAD STREET
ROCKWALL, TX 75087

RESIDENT
3061 N GOLIAD ST
ROCKWALL, TX 75087

STEED JASON & NATALIE MARIE
3065 N GOLIAD STREET
ROCKWALL, TX 75087

RESIDENT
3066 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3068 N GOLIAD ST
ROCKWALL, TX 75087

LIU JOHN AND CONNIE Q
3069 N GOLIAD
ROCKWALL, TX 75087

LIU JOHN & CONNIE
3069 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3070 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3073 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3074 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3077 N GOLIAD ST
ROCKWALL, TX 75087

METROPLEX ACQUISITION FUND LP
C/O RONALD DRIBBEN
357 MARIAH BAY DRIVE
HEATH, TX 75032

GEISENDORFF ALBERT G AND ANN M
3057 N GOLIAD ST
ROCKWALL, TX 75087

NORTH ROCKWALL REAL-ESTATE LLC
6245 RYEWORTH DRIVE
FRISCO, TX 75035

VALK CATHLEEN A
794 MIRAMAR DRIVE
ROCKWALL, TX 75087

VOLL ANDREW W AND JOANNA
796 MIRAMAR DR
ROCKWALL, TX 75087

MARTIN VICTORIA C
798 MIRAMAR DR
ROCKWALL, TX 75087

MCCORMICK KEVIN & JULIA
799 MIRAMAR DRIVE
ROCKWALL, TX 75087

RESIDENT
801 BORDEAUX DR
ROCKWALL, TX 75087

FRITCHIE FAMILY REVOCABLE TRUST
RANDALL S FRITCHIE AND SANDRA L FRITCHIE-
COTRUSTEES
801 MIRAMAR DR
ROCKWALL, TX 75087

CRAWFORD KATHY
802 MIRAMAR DRIVE
ROCKWALL, TX 75087

EMBRY DAVID M AND ASHLEY
803 MIRAMAR DRIVE
ROCKWALL, TX 75087

KIM YUN HYUN & JIN HEE JUNG
804 MIRAMAR DRIVE
ROCKWALL, TX 75087

GODINEZ KAREN W
805 MIRAMAR DRIVE
ROCKWALL, TX 75087

CYPERT LYNDOL & JERE
806 MIRAMAR DRIVE
ROCKWALL, TX 75087

RESIDENT
807 MIRAMAR DR
ROCKWALL, TX 75087

BAILEY JERRY SCOTT & KAREN RENEE
808 MIRAMAR DRIVE
ROCKWALL, TX 75087

GREER KRISTEN N
809 MIRAMAR DR
ROCKWALL, TX 75087

SHING RICHARD L & IVEY D
810 MIRAMAR DR
ROCKWALL, TX 75087

HASSAN ALAA E & PATRICIA ANN HASSAN
IBRAHIM
811 MIRAMAR DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
813 MIRAMAR DRIVE
ROCKWALL, TX 75087

RAJBHANDARI SANJAY KUMAR
815 MIRAMAR DRIVE
ROCKWALL, TX 75087

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-048: SUP for Restaurant w/ Less Than 2,000 SF

Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 16, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

Case No. Z2023-048: SUP for Restaurant w/ Less Than 2,000 SF

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-048

Please place a check mark on the appropriate line below *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

This type of business, HTeaO, is more desirable than other businesses I have seen in such a small SQF area, i.e. Vap shops, Nail Salons, Donut shops and etc.

Respondent Information

Please provide your information.

First Name *

Richard

Last Name *

Shing

Address *

[Redacted]

City *

[Redacted]

State *

[Redacted]

Zip Code *

[Redacted]

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

I received a property owner notification in the mail.

I read about the request on the City's website.

I saw a zoning sign on the property.

I read about the request in the Rockwall Herald Banner.

My neighbors told me about the request.

Other: _____

This content is neither created nor endorsed by Google.

Google Forms

Ross, Bethany

From: Robin Mullins [REDACTED]
Sent: Monday, September 25, 2023 10:06 AM
To: Planning
Subject: Opposed to Z2023-048

Robin Mullins
[REDACTED]

I am very much opposed to this. In our neighborhood the children have been kept at a safe distance from the retail shops and drive thrus made possible by the buffer roads keeping them on their internal tract. Stone Creek does not get the cars coming directly out of the drive thrus- the people undoubtedly digging in their laps looking for straws, unwrapping their first bites, wrestling with straw wrappers. Salad N Go's lanes have to maneuver out of the parking lot and around the establishment before reaching any actual street. McDonald's exit is out to Goliad or again through a mini maze before landing on a residential street belonging to Stone Creek.

By putting this drive thru establishment on the corner of Bordeaux, it will directly **NEGATIVELY** affect the safety of our children who ride bikes, walk dogs, drive golf carts, and walk to friends houses and to the swimming pool together.

Also, the turn there out of the neighborhood of Stone Creek out onto Goliad is hard enough as it is. I don't even let my new driver attempt it. Now we're going to add in those looking for a quick beverage- not the most patient group.

There is NOT that much of a need for tea. Salad N Go (LITERALLY right next door) offers specialty teas at affordable prices.

Seems redundant and the last thing we need is a failed business in a community that has just changed hands from it's developer into our own Neighborhood governing board. The visual appeal of our neighborhood has been a bone of contention recently and the homeowners are now working to regain control over retention ponds, etc.

Thank you for your attention,
Robin Mullins- resident of Stone Creek with 3 children since 2014

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-048 SUP restaurant less than 2,000 SF

Please place a check mark on the appropriate line below *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I have witnessed several near accidents cars coming out from Salad to Go & McDonalds the traffic is congested. I foresee the traffic is create a major problem. This location is not conducive for a restaurant. Cars zoom speeding out of the fast-food businesses. The side road near Bordeaux behind the businesses doesn't have any speed limit signs posted.

Respondent Information

Please provide your information.

First Name *

Victoria

Last Name *

Martin

Address *

[Redacted]

City *

[Redacted]

State *

[Redacted]

Zip Code *

[Redacted]

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

I received a property owner notification in the mail.

I read about the request on the City's website.

I saw a zoning sign on the property.

I read about the request in the Rockwall Herald Banner.

My neighbors told me about the request.

Other: _____

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-048

Please place a check mark on the appropriate line below *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Favor - if TXDOT lowers the speed limit to 40 mph from at least Dalton Rd to the south where it becomes 35 MPH

Opposed - if the speed limit stays at 50 mph from Dalton Road to the south

Respondent Information

Please provide your information.

First Name *

Bob

Last Name *

Wacker

Address *

[Redacted]

City *

[Redacted]

State *

[Redacted]

Zip Code *

[Redacted]

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

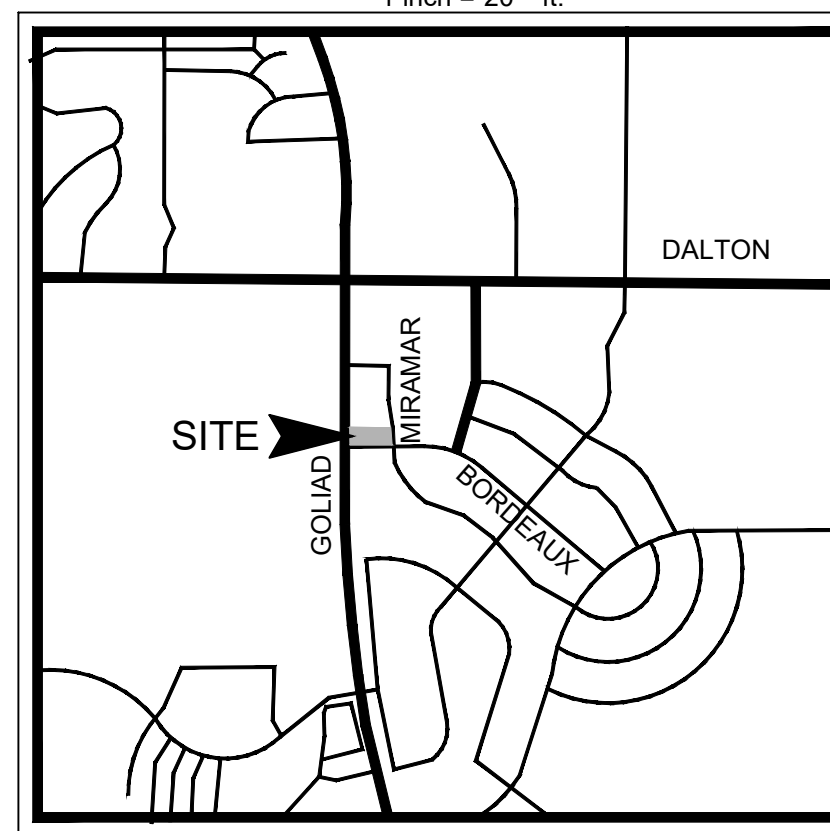
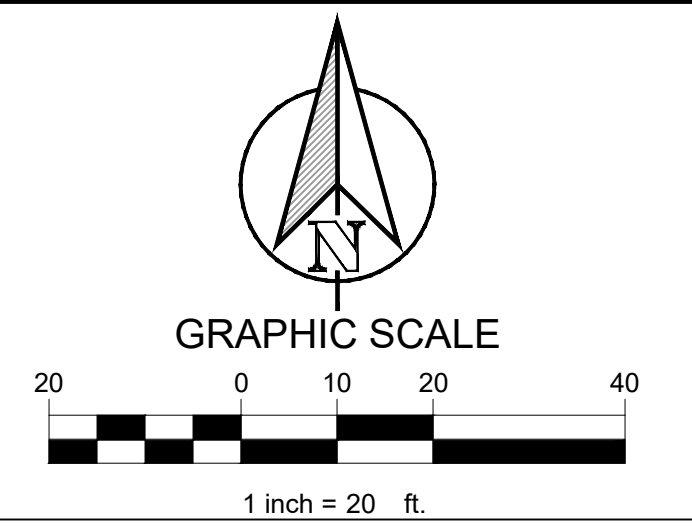
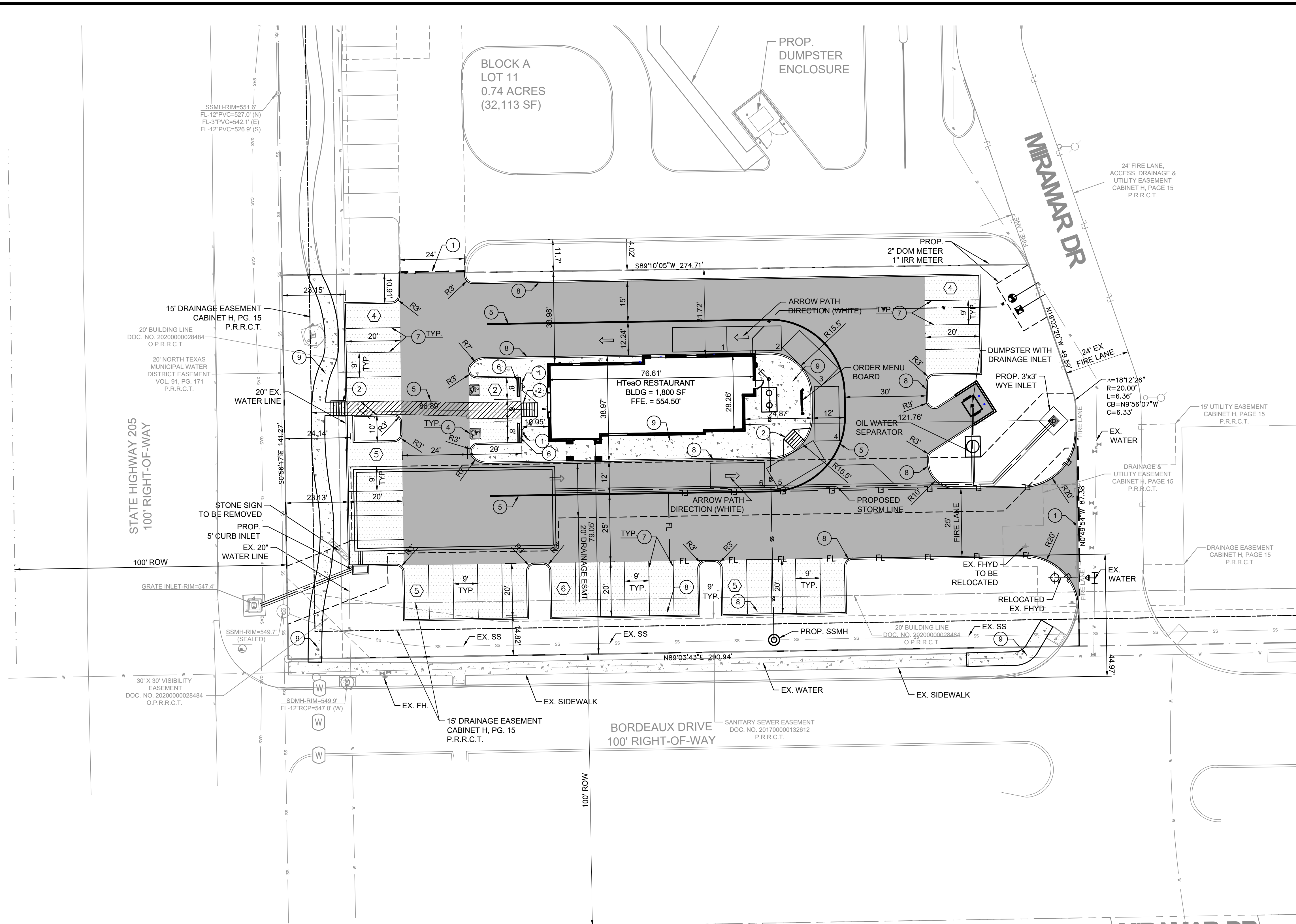
How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Email notification to Stone Creek Estates HOA

This content is neither created nor endorsed by Google.

Google Forms

PLOTTED BY: CLAY CRISTY 10/4/2023 12:57 AM
 PLOT DATE: 10/4/2023 12:57 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2023-110 APPPJ MGMT - HTEAO ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 10/4/2023 12:55 AM



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE	
[Pattern]	PROPOSED 5" LIME STABILIZED STANDARD DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 6" LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 5" LIME STABILIZED SIDEWALK CONCRETE PAVEMENT
[Line]	PROPERTY LINE
[Line]	PROPOSED CONCRETE CURB AND GUTTER
[Line]	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
[Line]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
 - PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS

PARKING DATA TABLE		
PARKING REQ.		
DRIVE-THRU RESTAURANT (1,800 SF) 1/ 100 SF	18 SPACES	
PARKING PROVIDED		
STANDARD PARKING	29 SPACES	
ADA PARKING	2 SPACES	
TOTAL	31 SPACES (2 ADA)	

SITE DATA TABLE	
SITE AREA	0.933 AC (40,627 SF)
ZONING	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT
BUILDING SIZE	1,800 SF
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	28,117 SF (69)

CONSTRUCTION SCHEDULE	
①	HANDICAP SIGN
②	ADA RAMP, 12:1 MAX. SLOPE
③	SAWCUT FULL DEPTH EXISTING PAVEMENT
④	HANDICAP SYMBOL
⑤	PAVEMENT STRIPING
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE
⑧	CURB & GUTTER
⑨	PROPOSED SIDEWALK

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER:
 METROPLEX ACQUISITIONS FUND, LP
 1717 WOODSTEAD CT. SUITE 207
 THE WOODLANDS, TX 77380
 CONTACT: STACI BOWEN
 PH: 214.343.447

APPPJ MANAGEMENT
 LEGAL DESCRIPTION AND OR ADDRESS:
 HWY 205 & BORDEAUX DRIVE
 ROCKWALL, TX 75087
 0.933 AC (40,627 SF)

DEVELOPER:
 APPPJ MANAGEMENT
 740 AVALON DR
 HEATH, TX 75032
 CONTACT: JEFF IVY
 PH: 214-272-4350

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: CLAY CRISTY
 PH: 817.281.0572

CASE NUMBER:
 Z2023-046

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 10/4/2023

PLANNING AND ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DR. SUITE #406
 BEDFORD, TX 76021
 WWW.CLAYMOOREENR.COM
 PHONE: 817.281.0572

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING AND PLANNING CONSULTANTS
 ENGINEER: CLAY CRISTY
 P.E. No. 10980 Date 10/4/2023

**HTEAO RESTAURANT
 HWY 205 & BORDEAUX DR
 ROCKWALL, TX 75087**

NO.	DATE	REVISION	BY
2	09/13/2021	STORM REVISION	LRR
1	12/07/2020	STORM REVISION	LRR

SITE PLAN

SHEET
SP-1

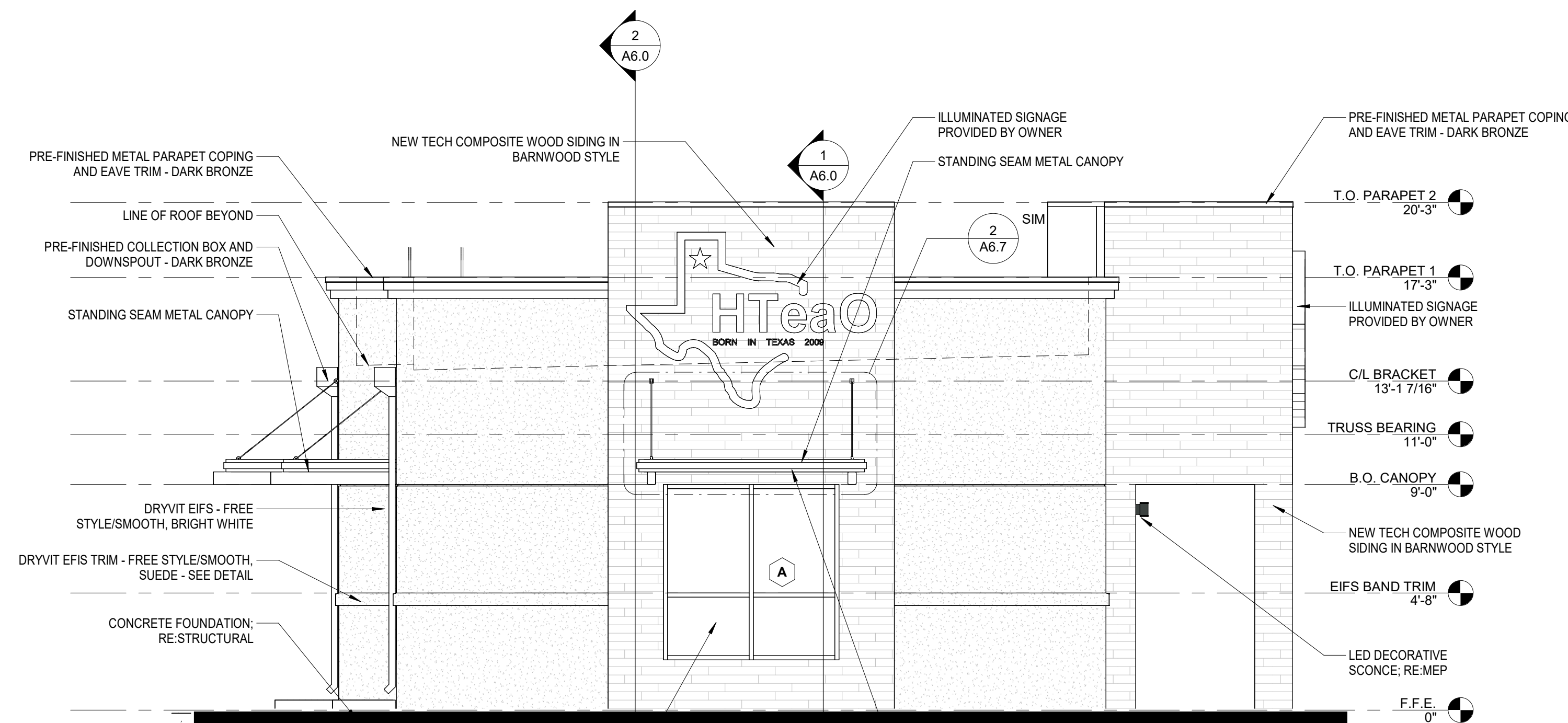
File No. 2020-021
 CASE # SP2023-000

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



HTEAO ROCKWALL
ADDRESS
LOCATION



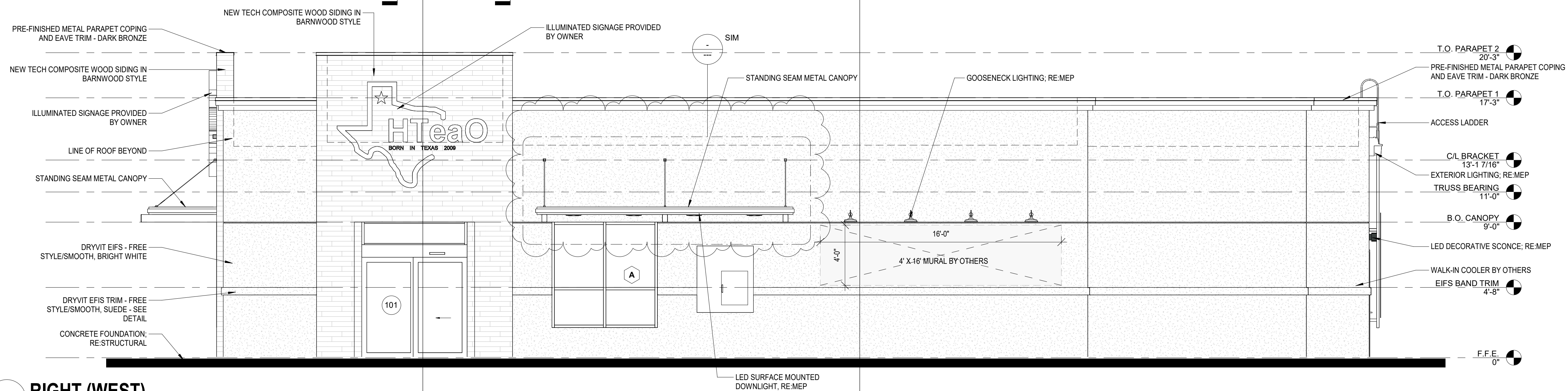
2 FRONT (NORTH)

SCALE: 1/4" = 1'-0"



3 3D View 2

SCALE:



1 RIGHT (WEST)

SCALE: 1/4" = 1'-0"



Date: 7-24-2023
Dwn: BRZ Chk: SJK
Project No.: 2348
Issue:

1	Revision 1	Date 1
---	------------	--------

Sheet Name:
EXTERIOR
ELEVATIONS

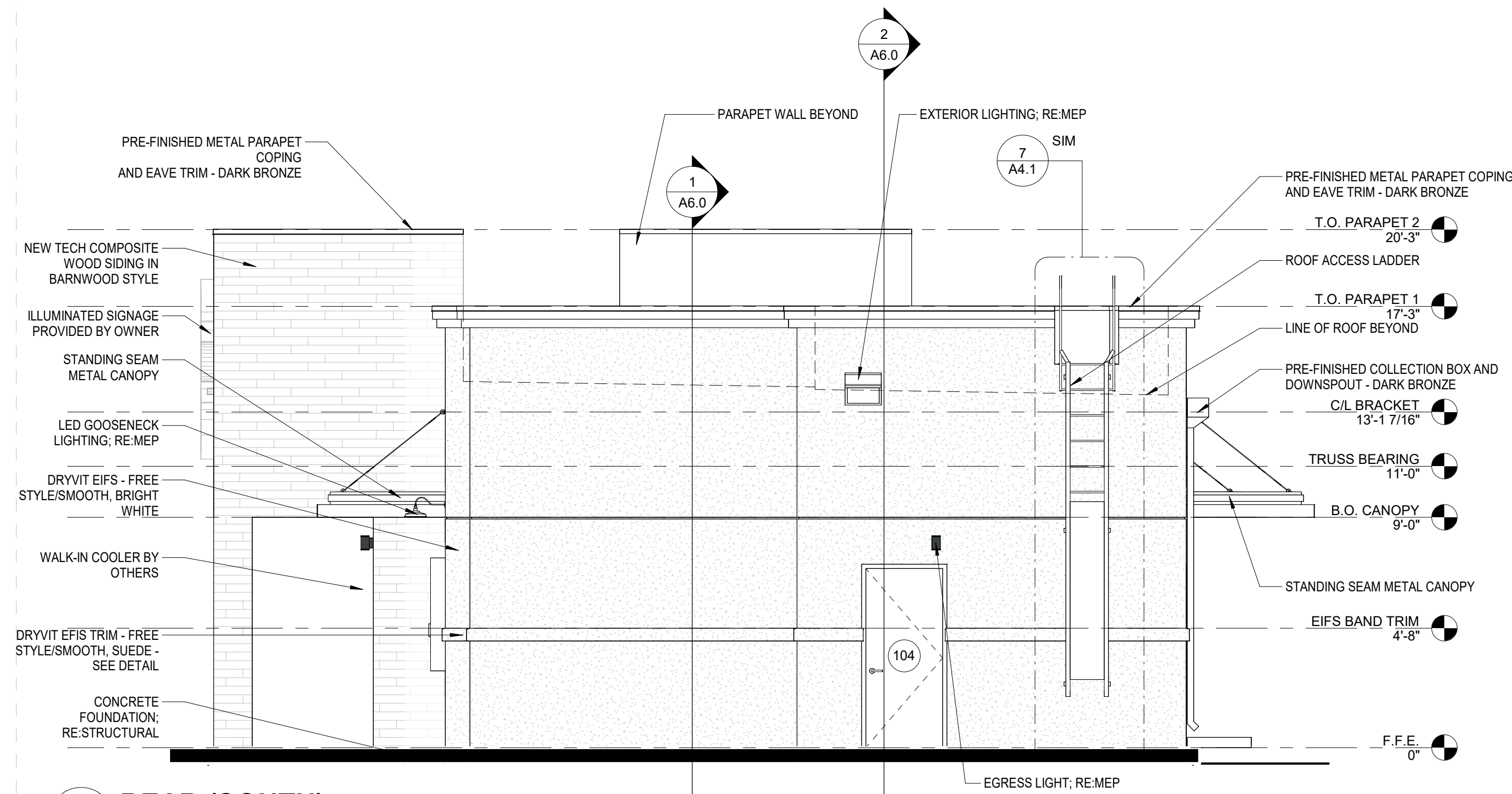
A5.0

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



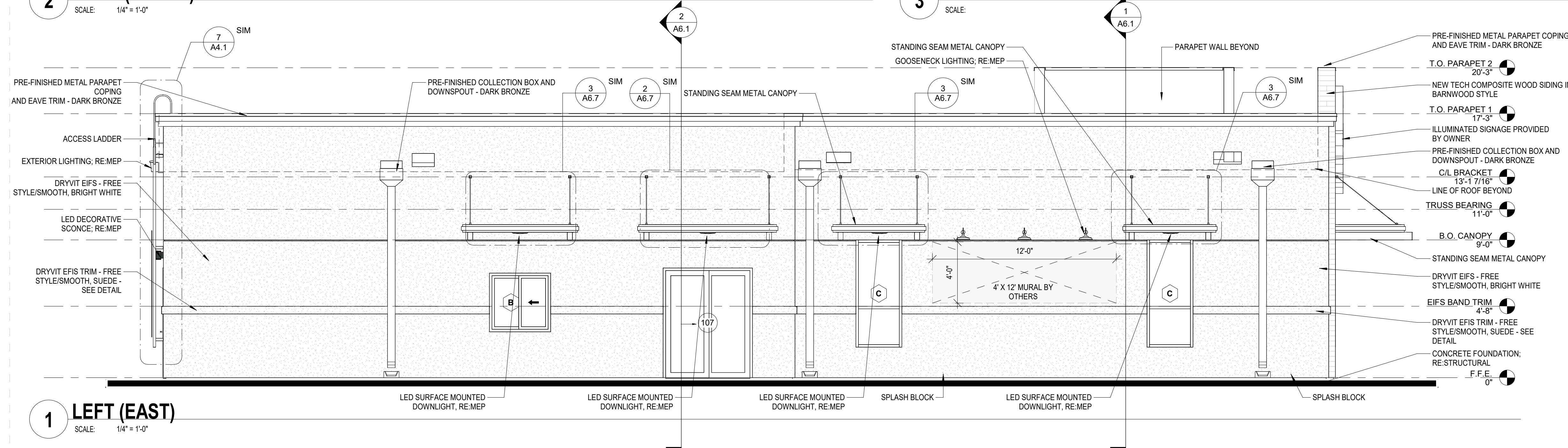
**HTEAO ROCKWALL
ADDRESS
LOCATION**



2 REAR (SOUTH)
SCALE: 1/4" = 1'-0"



3 3D View 1
SCALE:



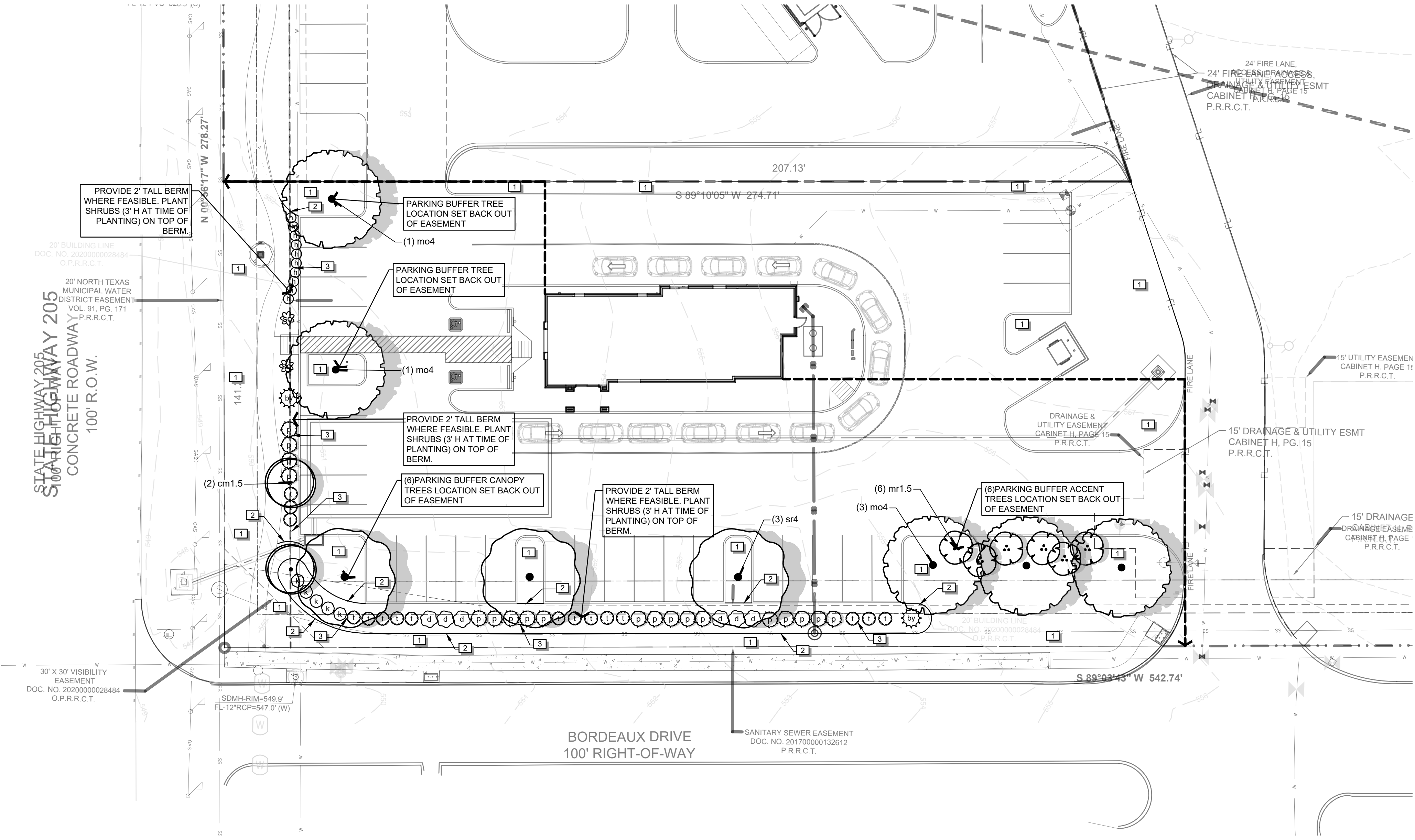
1 LEFT (EAST)
SCALE: 1/4" = 1'-0"



Date: 7-24-2023
Dwn: BRZ Chk: SJK
Project No.: 2348
Issue:

Sheet Name:
**EXTERIOR
ELEVATIONS**

A5.1

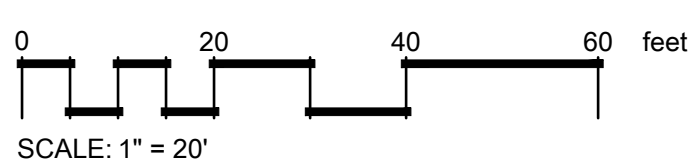


LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
LANDSCAPE BUFFER		
• N Goliad Dr. (110 lf)		
•• Shade trees (1 per 50 lf)	2	2
•• Accent trees (1 per 50 lf)	2	2
• Bordeaux Dr. (291 lf)		
•• Shade trees (1 per 50 lf)	6	6
•• Accent trees (1 per 50 lf)	6	6
LANDSCAPE SCREENING		
• Headlight Screening (shrubs and 2' tall berm)		
•• N Goliad Dr.	73 lf	75 lf
•• Bordeaux Dr.	182 lf	184 lf
LANDSCAPE REQUIREMENTS		
• Total Site Area	8,524sf	42,619sf
• Amount of Landscaping (20% Total Site)	1,705sf	12,702sf
• Location of Landscaping (50% in Streetyard)	4,262sf	9,163sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Lawn, Sod
2	Steel Edge
3	Mulch



PLANT SCHEDULE

TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
	mo4	Monterey Oak	Quercus polymorpha 'Monterey'	-	4"Cal	6' H min	5
	sr4	Shumard Red Oak	Quercus shumardii	-	4"Cal	6' H min	3
ORNAMENTAL TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
	cm1.5	Crape Myrtle, Muskogee	Lagerstroemia indica 'Muskogee'	-	1.5"Cal	6' H min	2
	mr1.5	Mexican Redbud	Cercis canadensis mexicana	-	1.5"Cal	6' H min	6
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	CONT	SIZE		
	by	Beaked Yucca, 'Blue Velvet'	Yucca rostrata 'Blue Velvet'	5 gal			1
	d	Dwarf Palmetto	Sabal minor	5 gal			6
	h	Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	5 gal			10
	k	Knock Out Rose	Rosa acicularis 'Knock Out'	5 gal			5
	p	Pineapple Guava	Feijoa sellowiana	5 gal			19
	so	Sotol	Dasylirion texanum	5 gal			2
	t	Texas Sage 'Silverado'	Leucophyllum frutescens 'Silverado'	5 gal			18



Contractors:
 email info@blairla.com with RFIs, submittals, & inspection scheduling
 Schedule inspections at least 2 weeks in advance

Date		
Description		
Rev		
Consultant Seal		
Company Name and Address	William S. Blair (512) 522-8979 info@blairla.com www.blairla.com 100 Congress Ave. Ste 2000 Austin, TX 78701	
Project Name and Address	HteaO Rockwall N Goliad Dr. and Bordeaux Dr. Rockwall, Texas	
Sheet Title	Landscape Plan	
Design By	Will Blair	
Checked By	xxxx	
Issue Date	09/15/2023	
Project Number	Z3062-LP	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	
Date	September 15, 2023	

LANDSCAPE PLANTING SPECIFICATIONS

- 1) Guarantee - All labor, materials and plants will be guaranteed for a period of twelve (12) months after the final acceptance of work by Owner. All plants that have died or are unhealthy shall be replaced no later than 30 days from the anniversary date of the final acceptance. This guarantee does not apply to plant material that dies due to abnormal freezes, hail, abnormal high winds, or other acts of God, vandalism or lack of normal maintenance and watering. This guarantee does not apply to annual plantings.
- 2) Contractor is to verify all site dimensions and layout prior to the commencement of landscape construction. Any discrepancies between the drawings and the actual site conditions shall be brought to the attention of the owner's representative immediately.
- 3) Contractor is responsible for verification of the location of all underground utilities, repair to said utilities as a result of the work of the contractor shall be the responsibility of the contractor. Refer to the drawing for any additional information.
- 4) Contractor is responsible for maintaining positive drainage in all shrub and turf planting areas.
- 5) Tree pits are to be the same depth as the root ball and 24" wider. Prior to planting the tree pit should be filled with water to check for good drainage. If water does not drain the Contractor should check with the Landscape Architect to relocate the tree.
- 6) Trees should be positioned in the center of the tree pits, back filled with soil that was excavated from the pit until the surface is level with the surrounding area and the crown of the plant is at the finished grade. Build a water basin around the tree (36" dia.). Water until planting pit is soaked and soil has settled. Add soil necessary to bring soil level flush with surrounding ground. Fill the basin with three (3) inches of compost.
- 7) All plant material shall conform to the standards of the latest edition of "American Standard for Nursery Stock" by The American Association of Nurserymen and "Grades and Standards" by The Texas Association of Nurserymen. A plant shall be dimensioned as it stands in its natural position. All plants shall be at least the minimum size indicated. Larger stock is acceptable at no additional cost, and providing that the larger plants will not be cut back to size indicated.
- 8) It is the landscape contractor's responsibility to provide plants free of disease or pests.
- 9) Space specified quantity of plant materials to evenly fill designated areas, adjusting spacing indicated on the drawings as required. Landscape architect or owner to have final approval of locations of all trees, shrubs and groundcover beds.
- 10) Contractor is responsible for removing all clods, rocks, concrete, trash and any other debris from beds prior to adding soil or plant material.
- 11) All planting beds should have three (3) inches of compost filled into them to a depth of six (6) inches. A three (3) inch layer of shredded hardwood bark mulch should be applied to all beds after planting is completed. Four (4) inch pots and ground cover may be planted through the mulch.
- 12) Contractor is responsible for removal of trash and repair of hazardous conditions (tools, open holes, et.) on a daily basis by the end of the work day.
- 13) Water all plantings in bed areas thoroughly on a daily basis until final acceptance.

- 14) To prepare turf areas treat them with a selective herbicide two weeks prior to sodding or seeding. Then rake area to remove stones, sticks and other debris. Add two (2) inches of topsoil to the turf area. Rake area to a finish grade (1" below walks and curbs).
- 15) If sodding is to take place the sod should be gathered and planted within a 48 hour period. Lay the sod to form a solid mass with tight fitting joints. Butt ends and sides of sod and offset joints in adjacent courses. Roll sod to ensure good contact with soil. If planting on a slope be sure to lay courses parallel to the contours and secure sod with pins if necessary. Site preparation and maintenance will be the same for hydromulching.
- 16) Water sod daily so as to not allow turf blades to wilt. If necessary water twice per day.
- 17) Apply slow release fertilizer 15-15-15 or equal at a rate of 2 lbs. per 100 s.f. to all turf or planted areas.

REFERENCE NOTE SPECIFICATIONS

- LAWN AREAS - SOD / HYDROMULCH / SEED MIX
1. Lawn, Bermuda "Tif 419" Sod. Provide spray irrigation. Temporary irrigation only within septic fields or Right of Way (R.O.W.). Pre emergent weed treatment recommended.

STEEL EDGE

2. Steel edge, 3/16" x 4" landscape edging as manufactured by Ryerson, or equal, dark green and furnished with steel stakes. Install edging in smooth curves free of kinks. Final height of edging to be 1" above height of soil mat of sod.

MULCHES / GRAVELS / RIVER ROCK / BOULDERS

3. Mulch, Native Hardwood. 3" deep with drip irrigation. Ensure that drip line is placed above rootballs.

- 19) Contractor shall keep all construction areas and public streets free from accumulation of waste material. Upon completion of construction and prior to final approval contractor shall thoroughly clean the site of all trash, spilled soil, and litter, etc. that has resulted from landscape construction operations. Repair all damage to finish grade including tailings from excavations, wheel ruts, etc. caused from construction. All debris, trash and excess materials and equipment shall be removed from the site prior to final acceptance.
- 20) Remove all tags, ribbons and wires from all newly installed plant material.

LANDSCAPE MAINTENANCE REQUIREMENTS

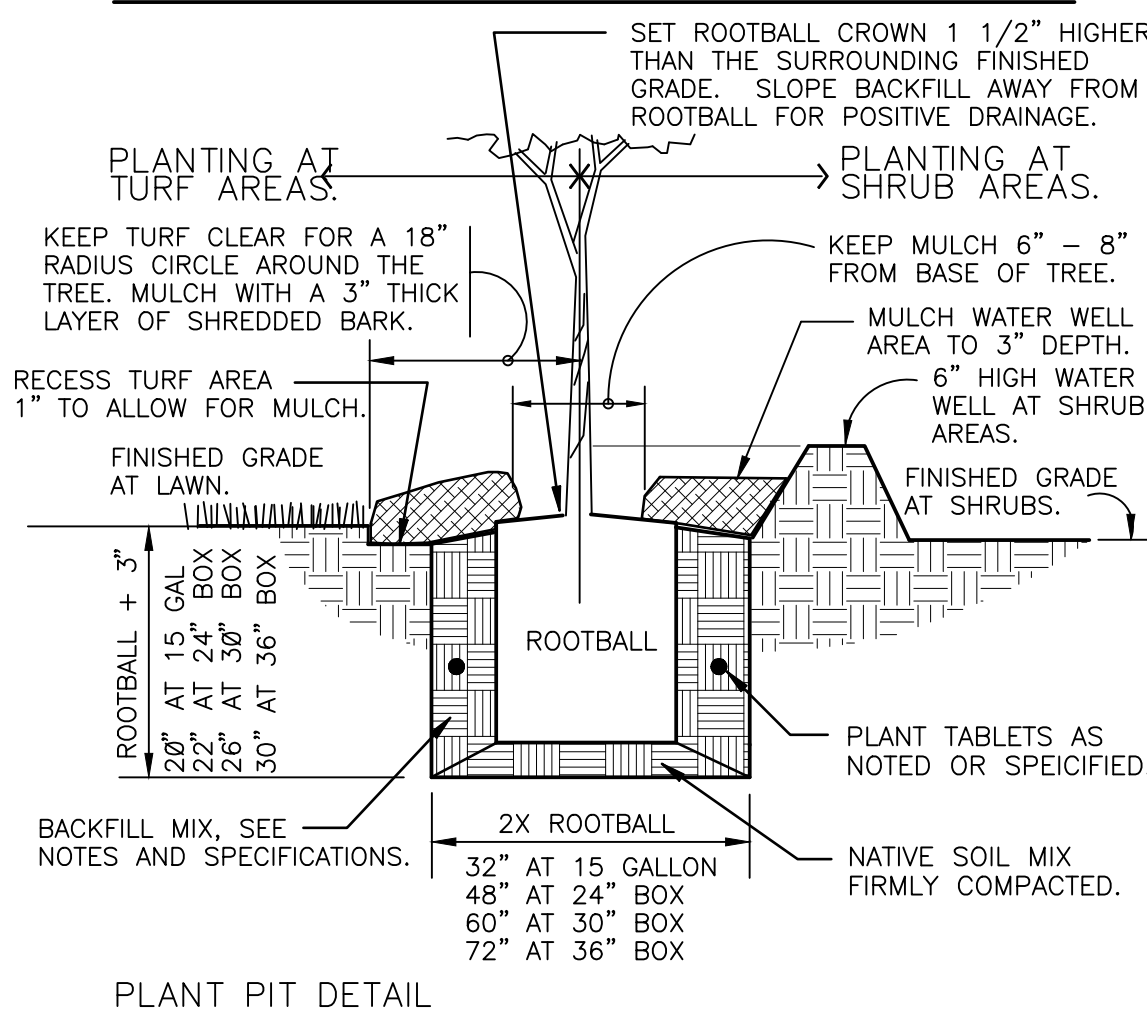
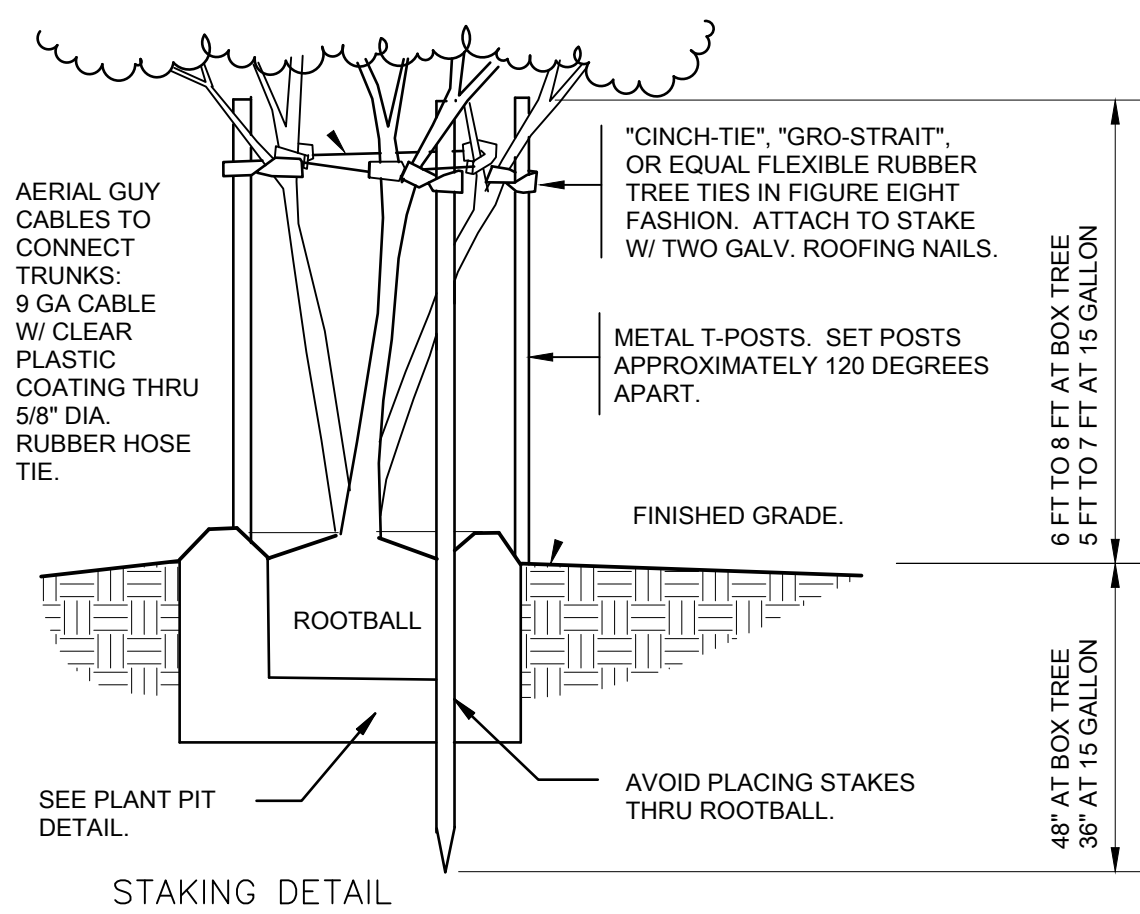
The owner shall be responsible for:

- 1) Regular maintenance of all required landscape areas and plant materials in a vigorous and healthy condition, free from diseases, pests, weeds, and litter. This maintenance shall include weeding, watering, fertilization, pruning, mowing, edging, mulching or other needed maintenance, in accordance with generally accepted horticultural practice.
- 2) The repair or replacement of required landscape structures (walls, fences, etc.) to a structurally sound condition.
- 3) The regular maintenance, repair, or replacement, where necessary, of any required screening or buffering.
- 4) All open space areas that are to be preserved as natural plant communities shall be trimmed, at least once a year, of all exotic vegetation, lawn grasses, trash, or other debris. Natural area should be mulched, pruned and otherwise maintained so that plants are vigorous.

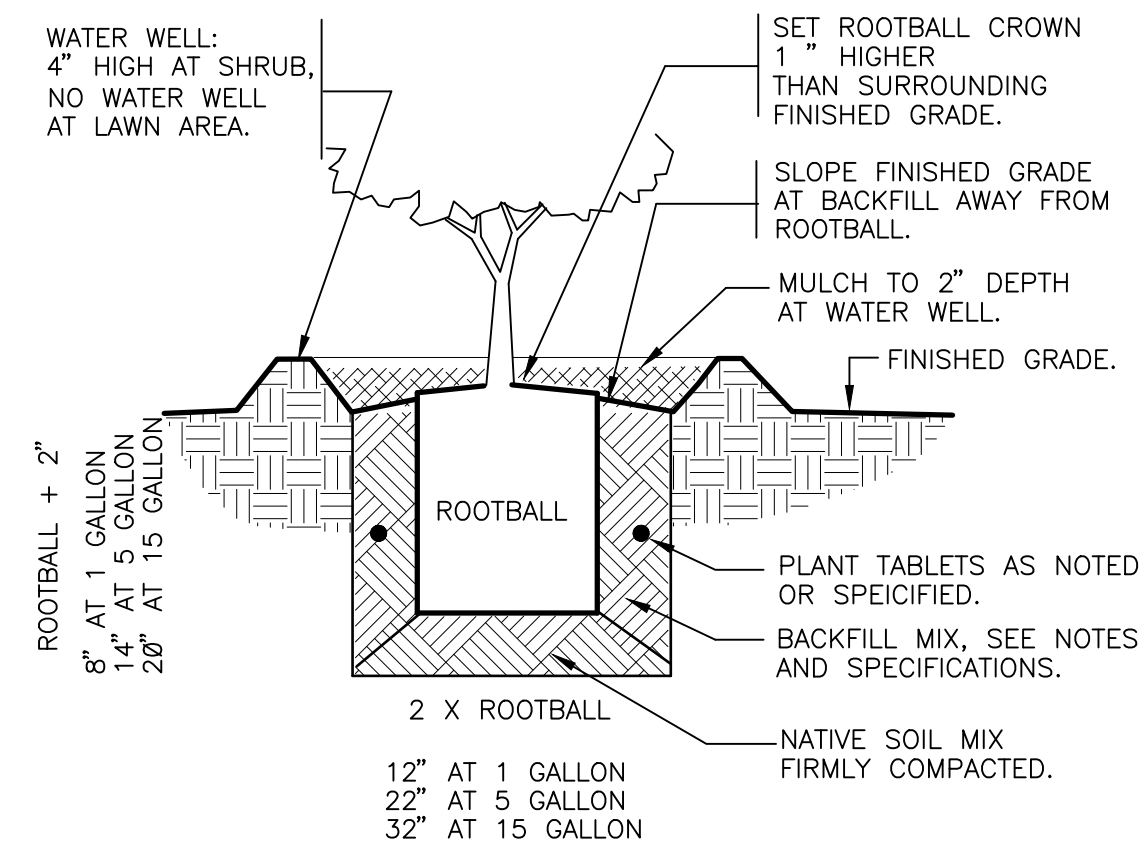
IRRIGATION SPECIFICATIONS

- 1) Irrigation contractor will provide pipes for sleeves and specify locations for placement of sleeves by general contractor prior to pouring concrete or laying asphalt.
- 2) Irrigation contractor will install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local governing authorities.
- 3) Find location of backflow preventer, and automatic controller location shall be approved by the owner's authorized representative.

- 4) 120 VAC electrical power source at controller location shall be provided by others. The irrigation contractor shall make the final connection from the electrical source to the controller.
- 5) All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- 6) The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with minimal overspray onto walks, streets, walls, etc.
- 7) Head location is the responsibility of the irrigation contractor, with the understanding that all landscape areas will receive adequate water to provide for vigorous growth of vegetation.
- 8) Irrigation contractor will replace or repair all items damaged by his work.
- 9) All work shall be installed in accordance with applicable codes and ordinances for the City of Rockwall, Texas and the National Electrical Code and all governing authorities.
- 10) The irrigation contractor is responsible for reporting any deficiency in water pressure that would affect the operation of the irrigation system.
- 11) The irrigation contractor shall be a Registered Licensed Irrigator in the State of Texas. Contractor must conform to all codes as stated in section 34 of the Texas Water Code and TNRCC.
- 12) All remote control valves, gate valves, quick couplers and control wire and computer cable pull pints shall be installed in approved valve boxes.
- 13) Irrigation Contractor shall procure all permits, licenses, and pay all charges and fees and give all necessary notices for the completion of work.
- 14) Contractor shall not disturb roots of existing trees. There shall be no machine trenching below the dripline of existing trees.
- 15) Extreme care shall be exercised in excavating and working near utilities. Contractor shall verify the location and condition of all utilities and be responsible for damage to any utilities.
- 16) Contractor shall clearly mark all exposed excavations, materials, and equipment. Cover or barricade trenches when the contractor is not on the site. Take all necessary precautions to protect and prevent injury to any persons on the site.
- 17) All automatic irrigation systems shall be equipped with a controller of dual or multiple programming. Controllers shall have multiple cycle start capacity and a flexible calendar program, including the capacity of being set to water every five days. All automatic irrigation systems shall be equipped with a rain sensor shutoff device.
- 18) Irrigation in Texas is regulated by the Texas Commission on Environmental Quality, www.tceq.texas.gov, (512) 239-1000


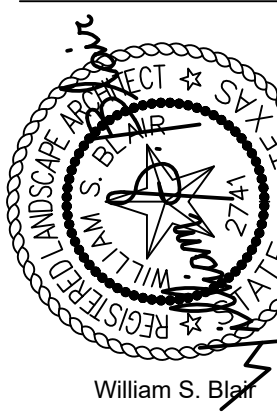


1 TREE PLANTING MULTI-STAKE
1" = 1'-0"



2 SHRUB PLANTING
1" = 1'-0"

Contractors:
email info@blairla.com with RFIs, submittals, & inspection scheduling
Schedule inspections at least 2 weeks in advance

Rev	Description	Date
Consultant Seal		
Company Name and Address		
William S. Blair (512) 522-8979 info@blairla.com www.blairla.com 100 Congress Ave. Ste 2000 Austin, TX 78701		
		
		
William S. Blair September 15, 2023		
Project Name and Address		
HteaO Rockwall N Gollad Dr. and Bordeaux Dr. Rockwall, Texas		
Sheet Title		
Landscape Details & Specifications		
Design By: Will Blair		
Checked By: xxxx		
Issue Date: 09/15/2023		
Project Number: Z3062-LP		
L2 OF 2		

will blair 09/15/2023 10:45 AM d:\ba dropbox\projects\hsteao, rockwall_9\kramer, byam zygluski, scott scarborough, sandrinhtseao, rockwallhsteao, rockwall.dwg

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 70 (PD-70) [ORDINANCE NO. 19-41] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A RESTAURANT WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN ON A 0.93-ACRE PORTION OF A LARGER 5.16-ACRE PARCEL OF LAND IDENTIFIED AS LOT 13, BLOCK A, STONE CREEK RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DESCRIBED IN EXHIBIT 'A' AND DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Clay Cristy of ClayMoore Engineering for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* for the purpose of constructing a restaurant with drive-through on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and being more specifically described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 70 (PD-70) [Ordinance No. 19-41] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. Planned Development District 70 (PD-70) [Ordinance No. 19-41] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant*

with Less Than 2,000 SF with Drive-Through or Drive-In in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.04, *General Retail (GR) District*, and Subsection 06.11, *North SH-205 Overlay (N. SH-205 OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 70 (PD-70) [Ordinance No. 19-41] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The development of the *Subject Property* shall generally conform to the Landscape Plan as depicted in *Exhibit 'C'* of this ordinance; however, additional landscaping shall be required around the dumpster enclosure, adjacent to N. Goliad Street [SH-205] -- especially in the areas where headlights will be visible from the drive-through lane --, and along the northern property line adjacent to the drive-through lane.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or

provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF NOVEMBER, 2023.**

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

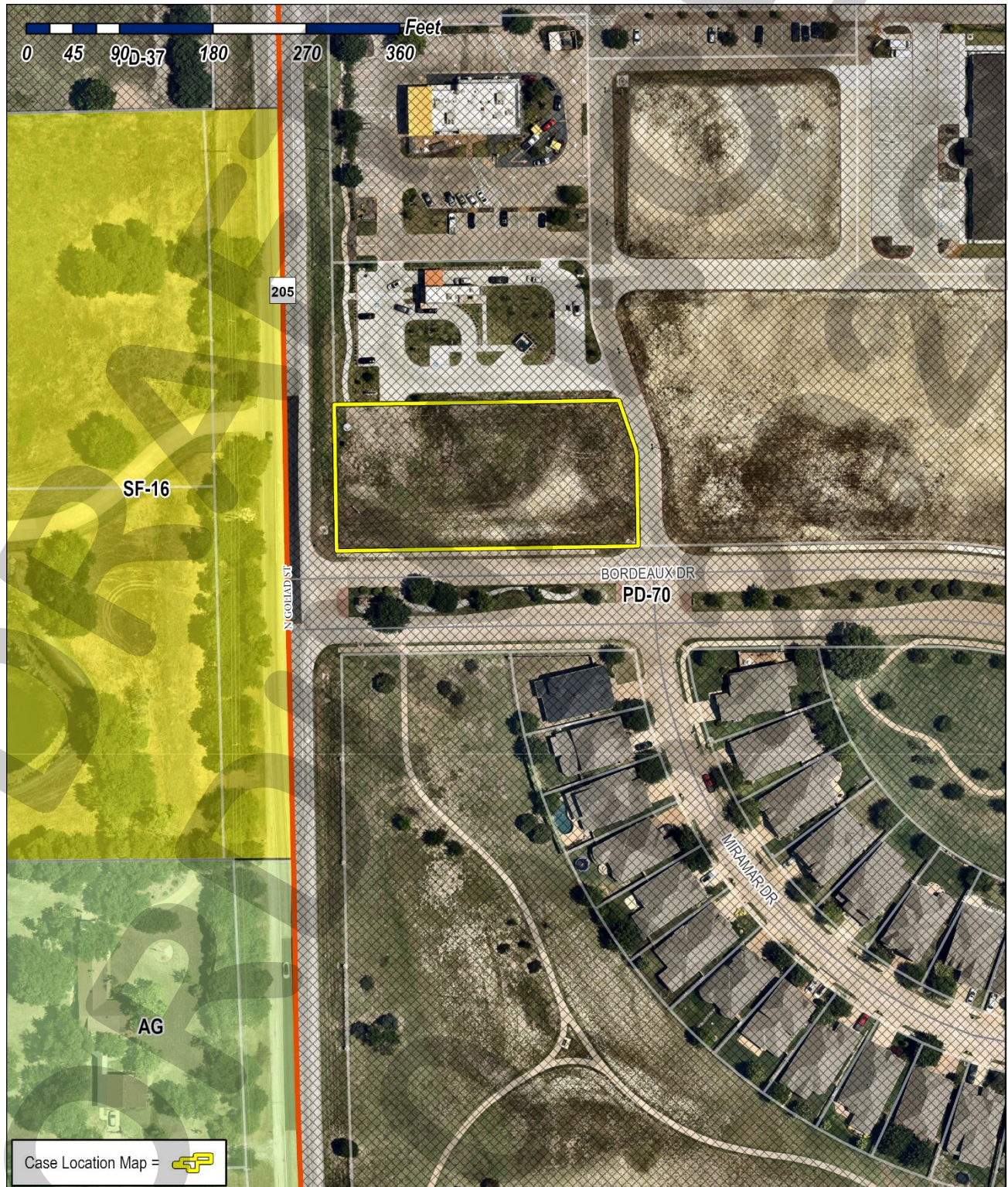
1st Reading: October 18, 2023

2nd Reading: November 6, 2023

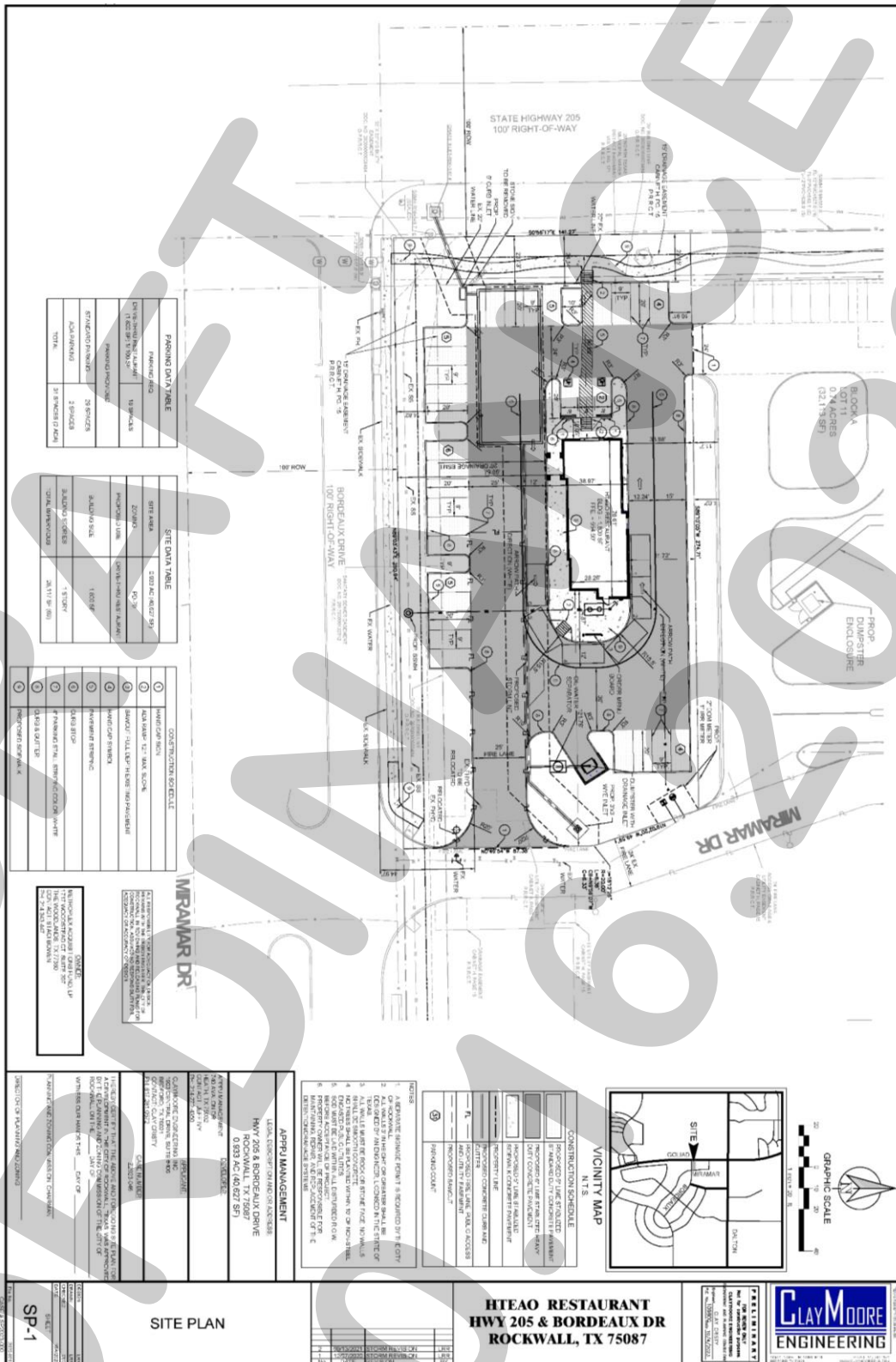
Exhibit 'A'
Location Map

Address: NEC of N. Goliad Street [SH-205] and Bordeaux Drive

Legal Description: Lot 13, Block A, Stone Creek Retail Addition



**Exhibit 'B':
Concept Plan**





November 7, 2023

TO: Clay Cristy
ClayMoore Engineering
1903 Central Drive, Suite 406
Bedford, TX 76021

CC: Staci Bowen
Metroplex Acquisition Fund, LP
1717 Woodstead Court, Suite 207
The Woodlands, TX 77380

FROM: Angelica Guevara
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2023-048; *Specific Use Permit (SUP) for Restaurant Less than 2,000 SF w/Drive Through (HTeaO)*

Mr. Cristy:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on November 6, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
 - (b) The development of the *Subject Property* shall generally conform to the Landscape Plan as depicted in *Exhibit 'C'* of this ordinance; however, additional landscaping shall be required around the dumpster enclosure, adjacent to N. Goliad Street [SH-205] -- *especially in the areas where headlights will be visible from the drive-through lane* --, and along the northern property line adjacent to the drive-through lane.

Planning and Zoning Commission

On October 10, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.

City Council

On October 16, 2023, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

On November 6, 2023, the City Council approved a motion to approve the SUP by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 23-62, S-319*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6438.

Sincerely,

Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 23-62

SPECIFIC USE PERMIT NO. S-319

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 70 (PD-70) [ORDINANCE NO. 19-41] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN* ON A 0.93-ACRE PORTION OF A LARGER 5.16-ACRE PARCEL OF LAND IDENTIFIED AS LOT 13, BLOCK A, STONE CREEK RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DESCRIBED IN *EXHIBIT 'A'* AND DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Clay Cristy of ClayMoore Engineering for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* for the purpose of constructing a restaurant with drive-through on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and being more specifically described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 70 (PD-70) [Ordinance No. 19-41] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. Planned Development District 70 (PD-70) [Ordinance No. 19-41] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant*

with Less Than 2,000 SF with Drive-Through or Drive-In in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.04, *General Retail (GR) District*, and Subsection 06.11, *North SH-205 Overlay (N. SH-205 OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 70 (PD-70) [Ordinance No. 19-41] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The development of the *Subject Property* shall generally conform to the Landscape Plan as depicted in *Exhibit 'C'* of this ordinance; however, additional landscaping shall be required around the dumpster enclosure, adjacent to N. Goliad Street [SH-205] -- especially in the areas where headlights will be visible from the drive-through lane --, and along the northern property line adjacent to the drive-through lane.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or

provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF NOVEMBER, 2023.**




Trace Johannesen, Mayor

ATTEST:


Kristy Teague, City Secretary

APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: October 18, 2023

2nd Reading: November 6, 2023

Exhibit 'A'
Location Map

Address: NEC of N. Goliad Street [SH-205] and Bordeaux Drive

Legal Description: Lot 13, Block A, Stone Creek Retail Addition

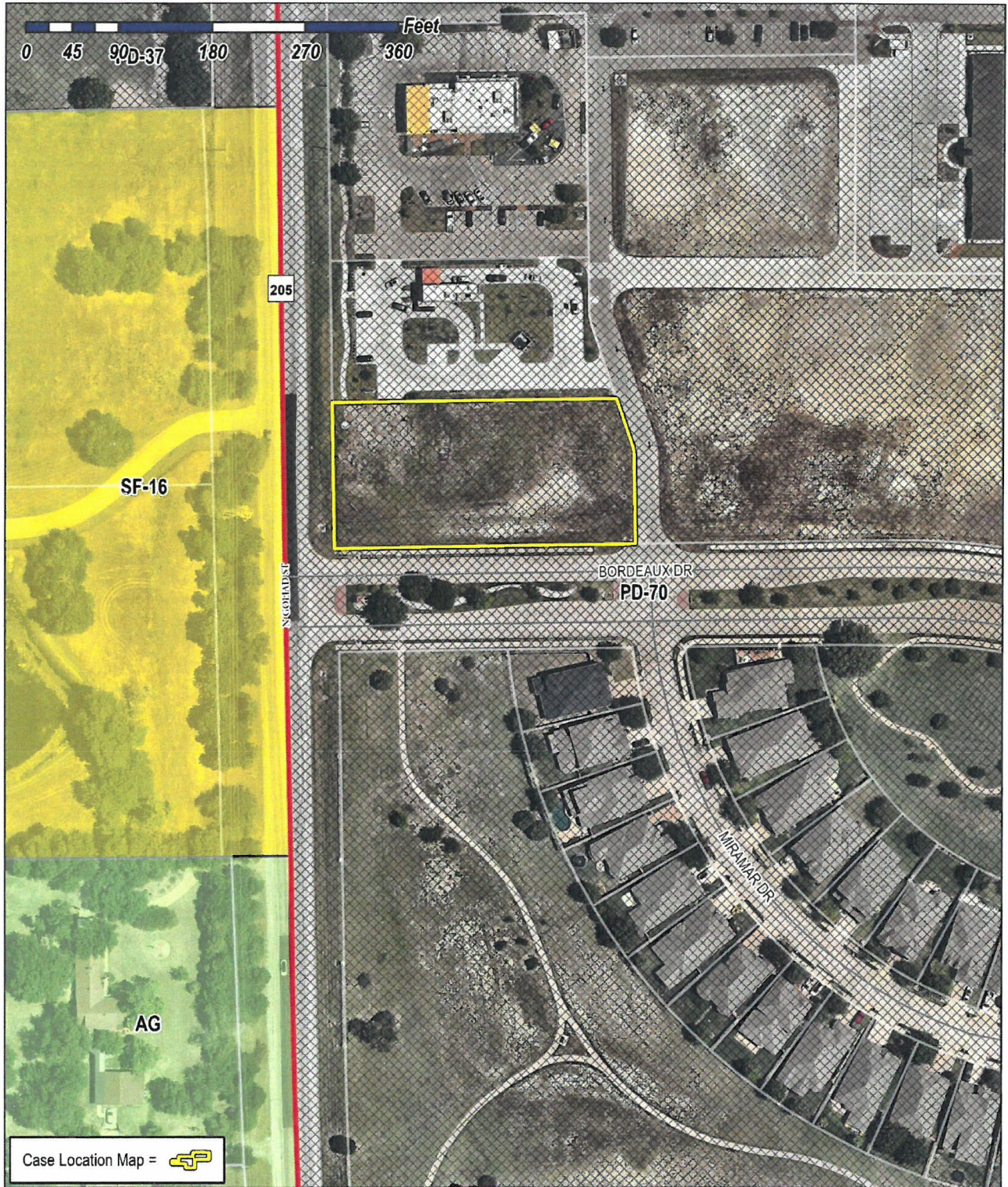


Exhibit 'C': Landscape Plan

