



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

#### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 1400 Ridge Rd, Rockwall TX, 75087

Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

General Location \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning \_\_\_\_\_ Current Use \_\_\_\_\_

Proposed Zoning \_\_\_\_\_ Proposed Use \_\_\_\_\_

Acreage \_\_\_\_\_ Lots [Current] \_\_\_\_\_ Lots [Proposed] \_\_\_\_\_

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>Rafael Hidalgo</u>	<input type="checkbox"/> Applicant	<u>NEXCOURT, INC</u>
Contact Person		Contact Person	<u>JEFF WOLF</u>
Address	<u>1400 Ridge Rd Rockwall TX 75087</u>	Address	<u>1127 S. AIRPORT CIRCLE</u>
City, State & Zip		City, State & Zip	<u>EULESS, TX 76040</u>
Phone	<u>419 966 9281</u>	Phone	<u>682-556-2187</u>
E-Mail	<u>aaeweaver93@gmail.com</u>	E-Mail	<u>jeff.wolf@nexcourt.com</u>

## NOTARY VERIFICATION [REQUIRED]

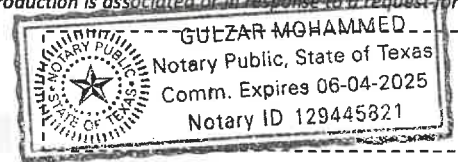
Before me, the undersigned authority, on this day personally appeared RAFAEL BLAZ HIDALGO [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 14<sup>th</sup> day of SEP, 2023. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

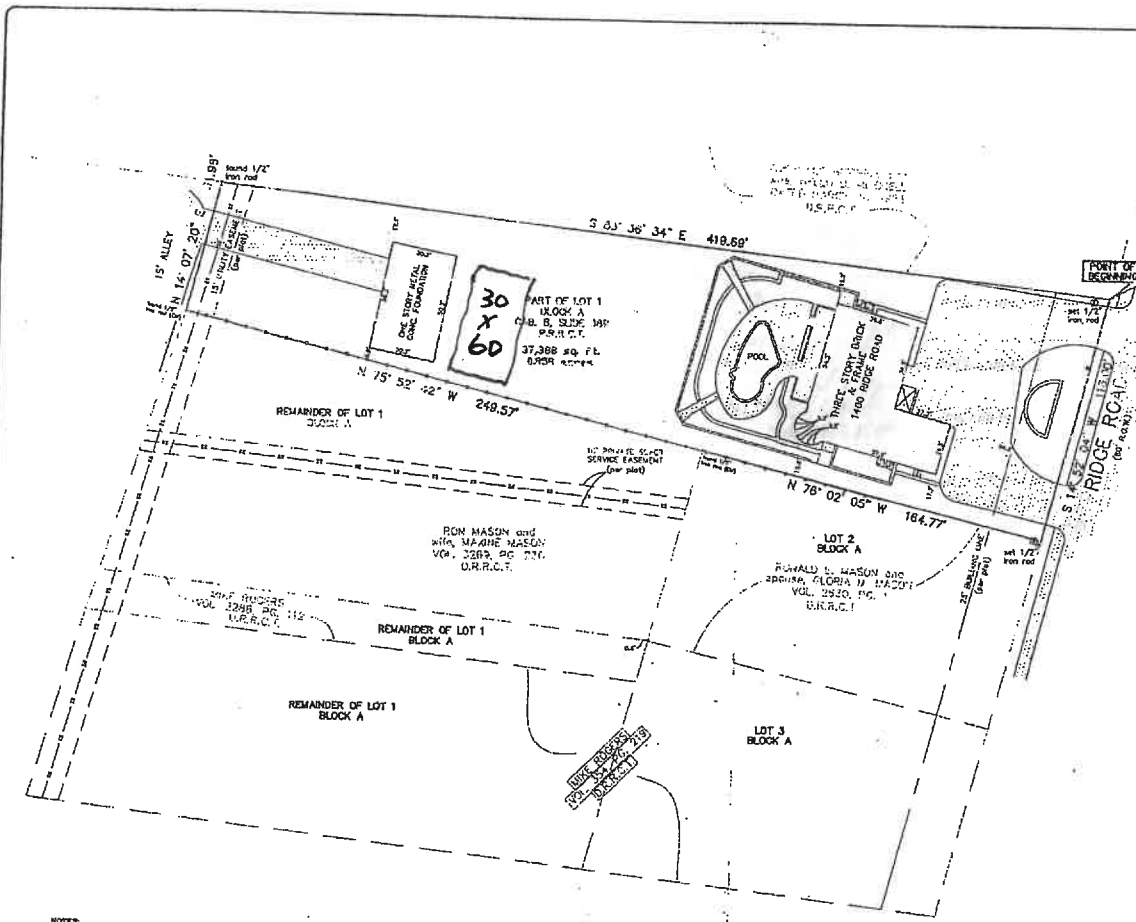
Given under my hand and seal of office on this the 14<sup>th</sup> day of SEP, 2023.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires 06/04/2025



**PROPERTY DESCRIPTION**  
 BEING a 0.836 of an acre tract situated in the Daniel Atkins Survey, Abstract No. 1, in Rockwall County, Texas, and being a part of Lot 1, Block A of Carroll Estates, as Addition to the City of Rockwall, Rockwall County, Texas, according to the revised plat thereof recorded in Slide B, Page 289, Map Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod set for corner, said corner being the Northwest corner of said Lot 1 and being the Southeast corner of a tract of land conveyed to Owen Lee Mitchell and wife, Helen D. Mitchell by deed dated March 20, 1934, Deed Records, Rockwall County, Texas and also lying in the West right-of-way line of Ridge Road (an 80 foot right-of-way);

THENCE South 14 degrees 02 minutes 04 seconds West along the common line of said Lot 1 and West right-of-way line of said Ridge Road, a distance of 118.90 feet to a 1/2 inch iron rod set for corner, said corner being the most Easterly Southeast corner of said Lot 1, the Northeast corner of Lot 2 of said Block A and also lying in the West right-of-way line of said Ridge Road, same also being the Northeast corner of a tract of land conveyed to Donald E. Mason and spouse, Clara M. Mason by deed recorded in Volume 2830, Page 1, Deed Records, Rockwall County, Texas;

THENCE North 78 degrees 03 minutes 05 seconds West along the most Easterly South line of said Lot 1, same being the common line of said Lot 2 and said Mason tract, a distance of 161.77 feet to a 1/2 inch iron rod found for corner, said corner being an old corner of said Lot 1, the Northwest corner of said Lot 2 and said Mason tract and also being the Northwest corner of a tract of land conveyed to Ron Mason and wife, Maxine Mason by deed recorded in Volume 3228, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 73 degrees 52 minutes 42 seconds West along the North line of said Mason tract (Vol. 2838, Pg. 250), a distance of 249.57 feet to a 1/2 inch iron rod found for corner, said corner being the Northwest corner of said Mason tract (Vol. 2838, Pg. 250), the East line of said Lot 1 and also lying in the East line of a 15 foot alley right-of-way;

THENCE North 14 degrees 07 minutes 20 seconds East along the common line of said Lot 1 and said alley right-of-way, a distance of 41.86 feet to a 1/2 inch iron rod found for corner, said corner being the Northwest corner of said Lot 1, the Northeast corner of said alley right-of-way and also lying in the North line of said Mitchell tract;

THENCE South 63 degrees 25 minutes 30 seconds East along the common line of said Lot 1 and said Mitchell tract, a distance of 418.88 feet to the POINT OF BEGINNING and containing 37,288 square feet or 0.836 of an acre of land.

THIS IS TO DECLARE that on this date a survey was made on the ground under my direction and supervision of the above described tract of land.

There are no visible monuments, visible evidence of easements or right-of-way, or prohibitions except as shown, and that this data the easements, right-of-way or other locatable matters of record of which the undersigned has knowledge or has been advised are as shown or noted hereon.

The subject property does not appear to be within the limits of a 100-year flood hazard zone according to the Map published by the Federal Emergency Management Agency, and has a Zone "X" Rating as shown by Map No. 48115G0000 J, dated AUGUST 22, 2001. This statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This Survey is not to be used for construction purposes and is for the exclusive use of Rockwall County Abstract A Title Company only and this survey is made pursuant to that one certain title commitment under the CF number 800010312, provided by the title company named herein.

**NOTES**  
 CM - CONTROLLING MONUMENT.  
 SURVEY PROPERTY IS NOT ATTACHED BY THE FOLLOWING:  
 1st - EASEMENT TO T.F. & L. CO. RECORDED IN VOLUME 33, PAGE 440, B.R.R.C.T.  
 2nd - EASEMENT TO CITY OF ROCKWALL RECORDED IN VOLUME 04, PAGE 060, B.R.R.C.T.  
 ALL SET IRON RODS HAVE A PLASTIC CAP STAMPED "PRECISE LAND SURV."  
 THE BEARINGS FOR THIS SURVEY ARE BASED ON ELEV MEASURED IN GROUND B, SLIDE 389, P.I.R.C.T. (THE MOST SOUTHWEST EAST LINE OF LOT 1)

COPYRIGHT © PRECISE LAND SURVEYING, INC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS SURVEY WITHOUT THE ORIGINAL SIGNATURE OF BLOCK OR ARE NOT VALID.

DAVID A. SMITH SURVEYING, INC.  
 A DIVISION OF  
 PRECISE LAND SURVEYING, INC.  
 2111 W. WYOMING  
 FORT WORTH, TEXAS 76102  
 (817) 342-1111  
 FAX (817) 342-1112  
 WWW.PRECISELANDSURV.COM

**LEGEND**

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# DEVELOPMENT APPLICATION

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Planning and Zoning Department  
385 S. Goliad Street  
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STAFF USE ONLY  
PLANNING & ZONING CASE NO.

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CITY ENGINEER:

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Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

General Location \_\_\_\_\_

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Current Zoning \_\_\_\_\_ Current Use \_\_\_\_\_

Proposed Zoning \_\_\_\_\_ Proposed Use \_\_\_\_\_

Acreage \_\_\_\_\_ Lots [Current] \_\_\_\_\_ Lots [Proposed] \_\_\_\_\_

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>Rafael Hidalgo</u>	<input type="checkbox"/> Applicant	<u>NEXCOURT, INC</u>
Contact Person		Contact Person	<u>JEFF WOLF</u>
Address	<u>1400 Ridge Rd Rockwall TX 75087</u>	Address	<u>1127 S. AIRPORT CIRCLE</u>
City, State & Zip		City, State & Zip	<u>EVLESS, TX 76040</u>
Phone	<u>419 966 9281</u>	Phone	<u>682-556-2187</u>
E-Mail	<u>aaeweaver93@gmail.com</u>	E-Mail	<u>jeff.wolf@nexcourt.com</u>

## NOTARY VERIFICATION [REQUIRED]

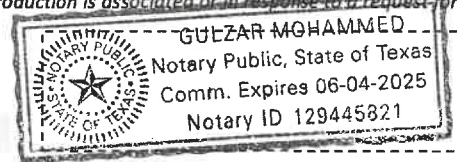
Before me, the undersigned authority, on this day personally appeared RAFAEL BLAZ HIDALGO [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 14<sup>th</sup> day of SEP, 2023. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14<sup>th</sup> day of SEP, 2023.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires 06/04/2025



Z2023-047: Specific Use Permit (SUP) for 1400 Ridge Road

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

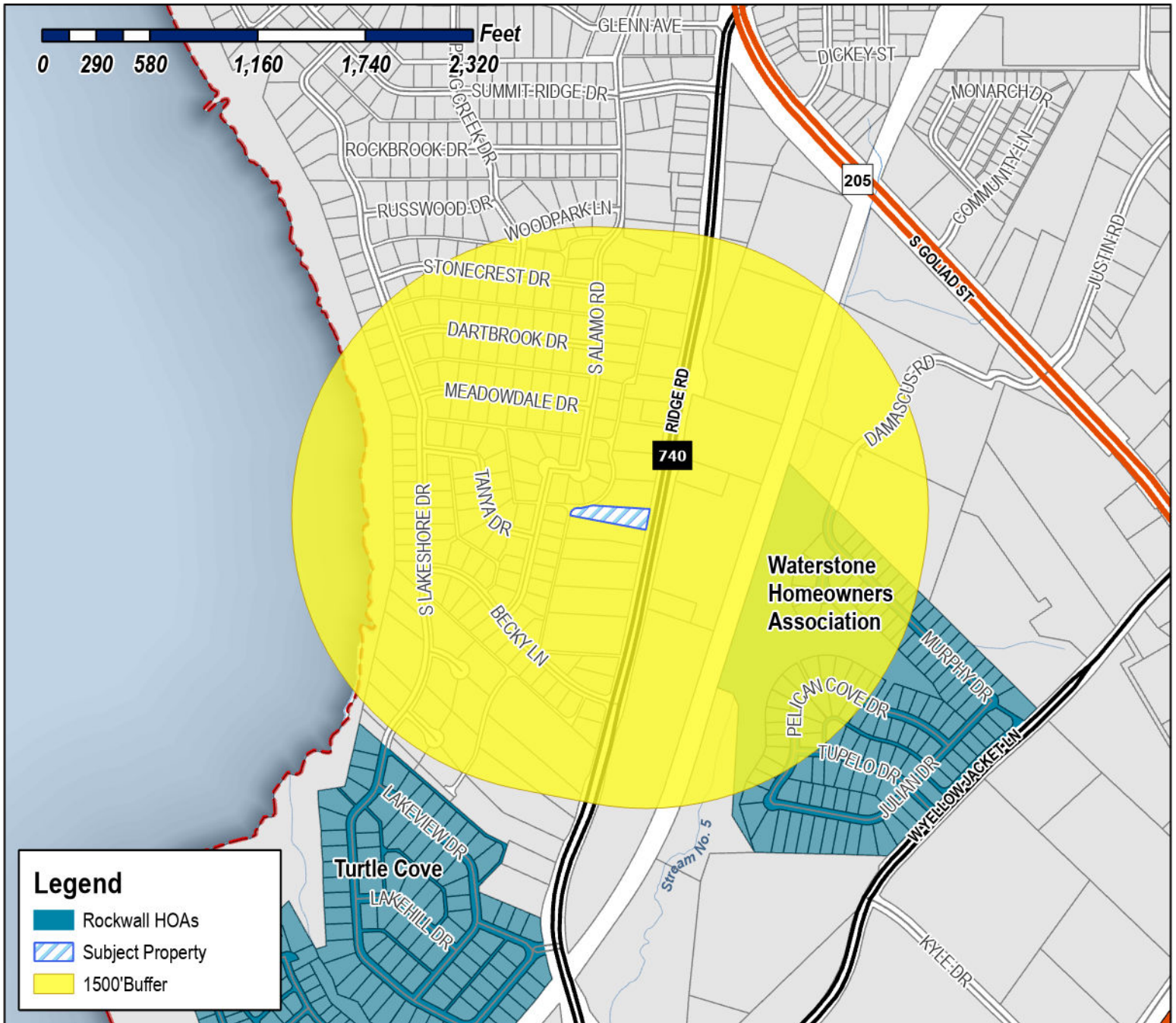




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**Case Number:** Z2023-047  
**Case Name:** SUP for 1400 Ridge Road  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10)  
**Case Address:** 1400 Ridge Road

**Date Saved:** 9/15/2023  
 For Questions on this Case Call (972) 771-7745

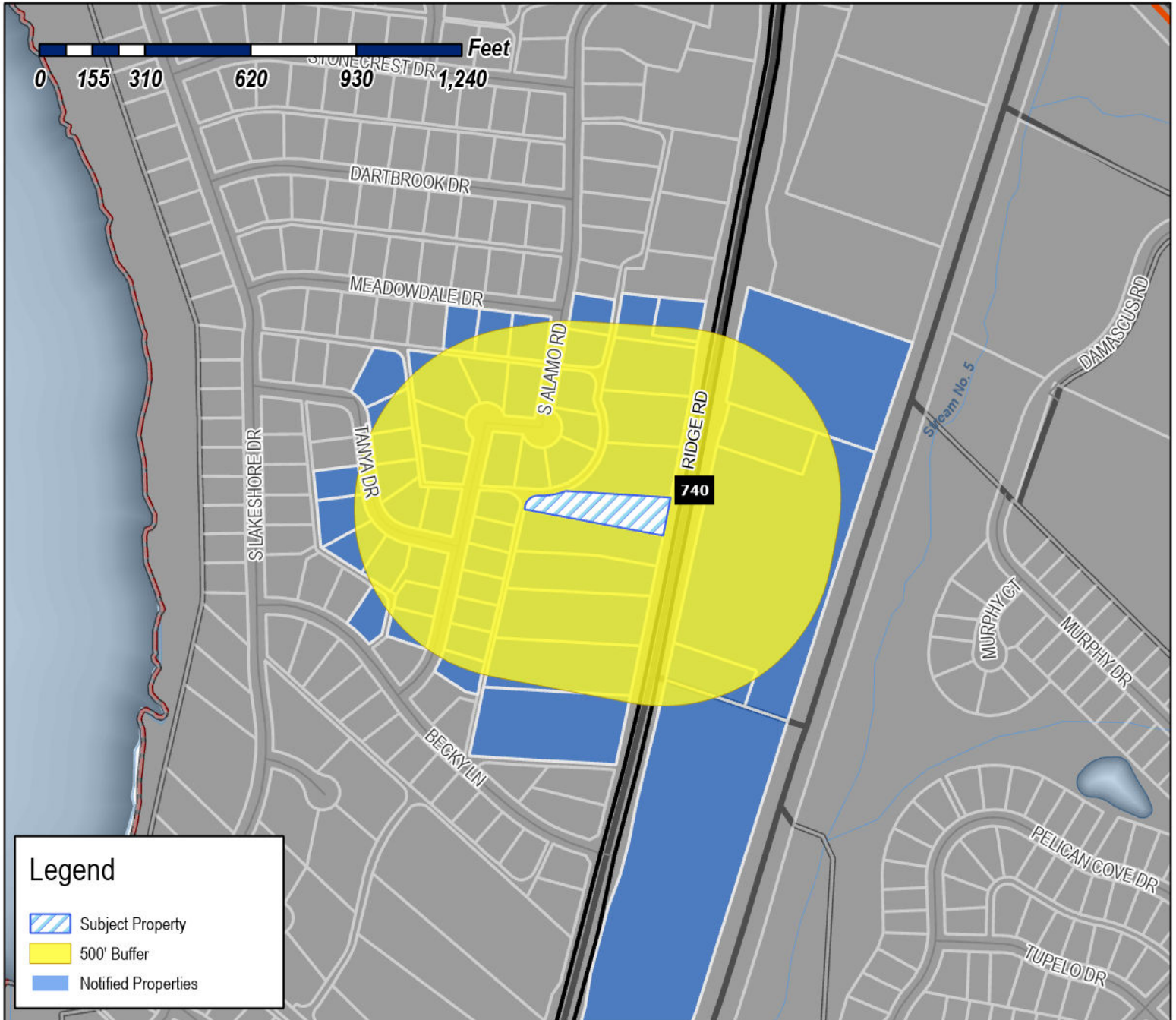




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**Legend**

- Subject Property
- 500' Buffer
- Notified Properties

**Case Number:** Z2023-047  
**Case Name:** SUP for 1400 Ridge Road  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10)  
**Case Address:** 1400 Ridge Road

**Date Saved:** 9/15/2023  
 For Questions on this Case Call: (972) 771-7746



HFS MANAGEMENT INC  
C/O HANNA SAHLIYEH  
122 W JOHN CARPENTER FWY STE 400  
IRVING, TX 75039

RESIDENT  
1301 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1306 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1308 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1309 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1309 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1312 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1316 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1400 RIDGE RD  
ROCKWALL, TX 75087

MASON RONALD E & GLORIA M  
1402 RIDGE RD  
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST  
MICHAEL WAYNE ROGERS AND RELLA  
VILLASANA ROGERS, TRUSTEES  
1404 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1405 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1406 RIDGE RD  
ROCKWALL, TX 75087

NORMAN LINDA  
1406-B RIDGE RD  
ROCKWALL, TX 75087

PADILLA OSCAR GAMALIEL AND MELISSA  
AZUSENA  
1408 RIDGE ROAD  
ROCKWALL, TX 75087

ARCINIEGA MARK K  
1423 S ALAMO ROAD  
ROCKWALL, TX 75087

PINNELL LIVING TRUST  
CHARLES CRAIG PINNELL AND CATHY JENELL  
PINNELL  
1425 S ALAMO RD  
ROCKWALL, TX 75087

HAIRE HELENA GAIL  
1425 SAW RD  
CHINA GROVE, NC 28023

RESIDENT  
1505 S ALAMO RD  
ROCKWALL, TX 75087

GREEN KRIS  
1507 S ALAMO RD  
ROCKWALL, TX 75087

HERBST LONNIE & AMY  
1509 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1510 S ALAMO RD  
ROCKWALL, TX 75087

BARRETT HOWARD & MARVALEE  
1511 S ALAMO RD  
ROCKWALL, TX 75087

SCROGGS JUSTIN D  
1512 S ALAMO RD  
ROCKWALL, TX 75087

BALLI DAVID OMAR AND EMILY FARRIS  
1514 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1515 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1516 S ALAMO RD  
ROCKWALL, TX 75087

GREEN TARA D AND  
JULIA R MCKINNEY  
1518 SOUTH ALAMO ROAD  
ROCKWALL, TX 75087

WEDDLE TRUST  
JOHN C WEDDLE AND PAULETTE S WEDDLE  
TRUSTEES  
1601 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1603 S ALAMO RD  
ROCKWALL, TX 75087



RESIDENT  
1605 ALAMO RD  
ROCKWALL, TX 75087

BATTEN NANCY L  
1606 S ALAMO RD  
ROCKWALL, TX 75087

MASON PATRICK AND JANEL R  
1607 ALAMO RD  
ROCKWALL, TX 75087

PITTO OSHRI  
1608 SOUTH ALAMO ROAD  
ROCKWALL, TX 75087

WEBB BILLY AND PEGGY  
1609 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1610 ALAMO ST  
ROCKWALL, TX 75087

CHILDS WILLIAM C & SHERYL L  
1611 S ALAMO RD  
ROCKWALL, TX 75087

MORGAN PAUL RICHARD  
1613 S ALAMO ROAD  
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC  
16600 DALLAS PARKWAY SUITE 300  
DALLAS, TX 75248

T ROCKWALL PHASE 2 LLC  
16600 DALLAS PKWY SUITE 300  
DALLAS, TX 75248

VANCE JASON L & DASHA  
202 TANYA DR  
ROCKWALL, TX 75087

RESIDENT  
203 TANYA DR  
ROCKWALL, TX 75087

HERRIN MARVIN ET UX  
203 MEADOWDALE DR  
ROCKWALL, TX 75087

RICHARDSON RANDAL & BARBARA  
204 TANYA DR  
ROCKWALL, TX 75087

DICKSON JUDITH TAYLOR & KENNETH D  
205 MEADOWDALE DR  
ROCKWALL, TX 75087

BARNETT DEYSI  
205 TANYA DR  
ROCKWALL, TX 75087

KELLEY STEPHAN BRANT & VIVIANA ELIZABETH  
206 TANYA DRIVE  
ROCKWALL, TX 75087

OEHLER GREGORY M & KATHRYN A  
207 TANYA DR  
ROCKWALL, TX 75087

PERRY RICHARD L  
208 TANYA DR  
ROCKWALL, TX 75087

BOUNDS JOY  
209 TANYA DR  
ROCKWALL, TX 75087

FLOYD DOROTHY RHEA  
210 TANYA DR  
ROCKWALL, TX 75087

BREWER GLENDA O  
212 TANYA DR  
ROCKWALL, TX 75087

BOBST DANIEL W AND JENNIFER L  
2701 SUNSET RIDGE SUITE 610  
ROCKWALL, TX 75032

KAPRANTZAS VICTORIA J  
2748 MIRA VISTA LN  
ROCKWALL, TX 75032

PHILIP ALWIN  
279 ASHWOOD LN  
SUNNYVALE, TX 75182

PHILIP ALWIN  
279 ASHWOOD LN  
SUNNYVALE, TX 75182

VILLA PEDRO E  
302 BECKY LN  
ROCKWALL, TX 75087

PEOPLES J P & B W JR  
302 S GOLIAD SST  
ROCKWALL, TX 75087

PEOPLES J PHILIP AND  
BILLY W PEOPLES JR  
311 HIGHLAND DRIVE  
ROCKWALL, TX 75087

RPSC ROCKWALL PROPERTIES LLC  
3201 E PRESIDENT GEORGE BUSH HIGHWAY  
SUITE 101  
RICHARDSON, TX 75082

ROCKWALL COMMONS LLC  
341 VERACLIFF CT  
OVIEDO, FL 32765

BURNS LORRAINE MARIETTI  
403 W WASHINGTON ST  
ROCKWALL, TX 75087

OPENDOOR PROPERTY TRUST I  
410 N SCOTTSDALE RD STE 1600  
TEMPE, AZ 85281

WADE KENNETH AND DEBBIE  
4760 SECRET COVE  
ROCKWALL, TX 75032

LONGRUN HOLDINGS LLC SERIES B  
5941 GLENDOWER LANE  
PLANO, TX 75093

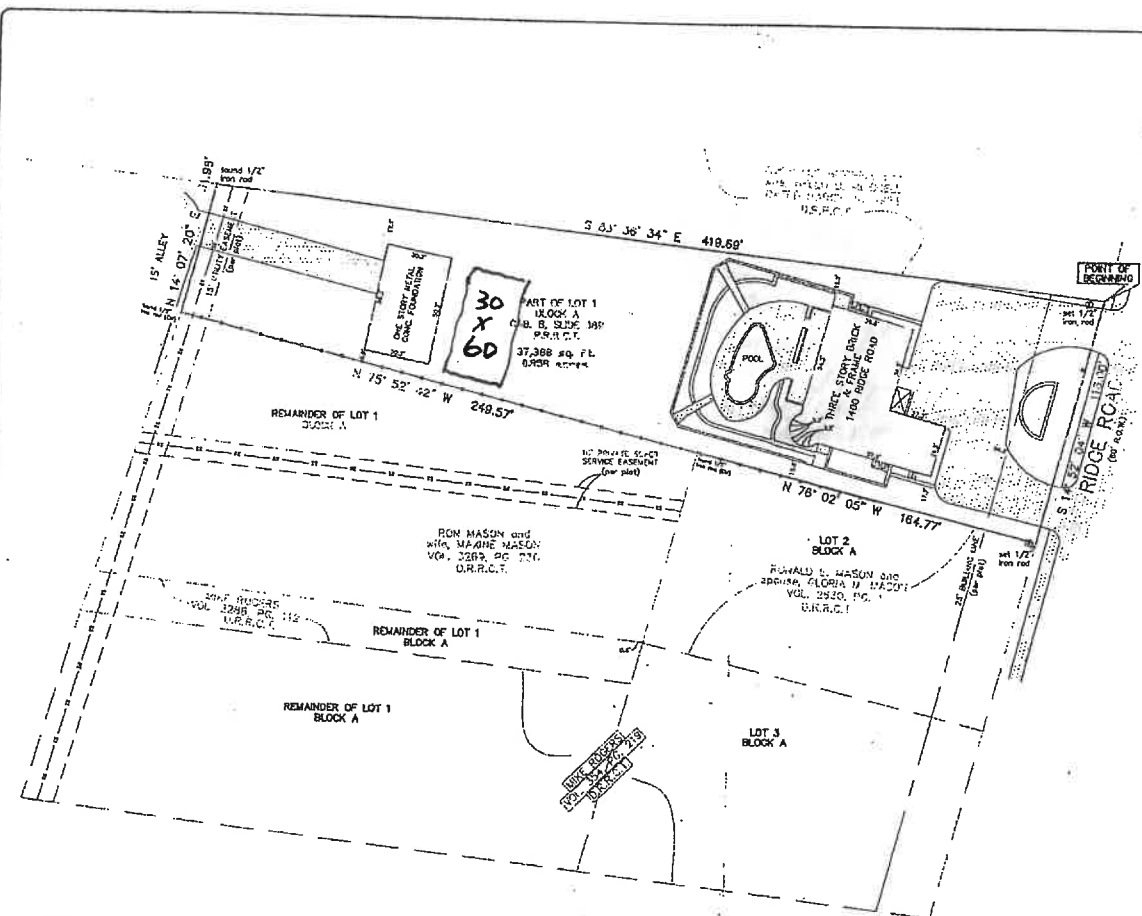
TURCIOS MILTON NOE AND  
JUAN RAMON TURCIOS  
7227 HILLSHIRE LANE  
SACHSE, TX 75048

LYLE WILLIAM M JR & ERICA  
9605 ARDEN DR  
ROCKWALL, TX 75087

CRUSE ROBERT B JR AND MARGARET A  
P. O. BOX 2468  
ROCKWALL, TX 75087

SLAUGHTER RICHARD E JR  
PO BOX 1717  
ROCKWALL, TX 75087

BURKE CASEY JOE AND ANDREA GAYDEN  
PO BOX 2514  
ROCKWALL, TX 75087



**PROPERTY DESCRIPTION**

BEING a 0.836 of an acre tract situated in the Daniel Atkins Survey, Abstract No. 1, in Rockwall County, Texas, and being a part of Lot 1, Block A of Carroll Estates, as Addition to the City of Rockwall, Rockwall County, Texas, according to the revised Plat thereof recorded in Title B, Page 289, Map Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod set for corner, said corner being the Northwest corner of said Lot 1 and being the Southeast corner of a tract of land conveyed to Owen Lee Mitchell and wife, Helen D. Mitchell by deed dated March 20, 1954, Deed Records, Rockwall County, Texas and also lying in the West right-of-way line of Ridge Road (an 80 foot right-of-way);

THENCE South 14 degrees 02 minutes 04 seconds West along the common line of said Lot 1 and West right-of-way line of said Ridge Road, a distance of 118.90 feet to a 1/2 inch iron rod set for corner, said corner being the most Easterly Southeast corner of said Lot 1, the Northeast corner of Lot 2 of said Block A and also lying in the West right-of-way line of said Ridge Road, same also being the Northeast corner of a tract of land conveyed to Edward E. Mason and spouse, Clara M. Mason by deed recorded in Volume 2830, Page 1, Deed Records, Rockwall County, Texas;

THENCE North 78 degrees 02 minutes 05 seconds West along the most Easterly South line of said Lot 1, same being the common line of said Lot 2 and said Mason tract, a distance of 161.77 feet to a 1/2 inch iron rod found for corner, said corner being an old corner of said Lot 1, the Northwest corner of said Lot 2 and said Mason tract and also being the Northwest corner of a tract of land conveyed to Ron Mason and wife, Maxine Mason by deed recorded in Volume 3228, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 73 degrees 52 minutes 42 seconds West along the North line of said Mason tract (Vol. 3228, Pg. 250), a distance of 249.57 feet to a 1/2 inch iron rod found for corner, said corner being the Northwest corner of said Mason tract (Vol. 3228, Pg. 250), the East line of said Lot 1 and also lying in the East line of a 15 foot alley right-of-way;

THENCE North 14 degrees 07 minutes 20 seconds East along the common line of said Lot 1 and said alley right-of-way, a distance of 41.88 feet to a 1/2 inch iron rod found for corner, said corner being the Northwest corner of said Lot 1, the Northeast corner of said alley right-of-way and also lying in the South line of said Mitchell tract;

THENCE South 63 degrees 35 minutes 30 seconds East along the common line of said Lot 1 and said Mitchell tract, a distance of 418.88 feet to the POINT OF BEGINNING and containing 37,288 square feet or 0.836 of an acre of land.

THIS IS TO DECLARE that on this date a survey was made on the ground under my direction and supervision of the above described tract of land.

There are no visible monuments, visible evidence of easements or right-of-way, or prohibitions except as shown, and that this data the easements, right-of-way or other locatable matters of record of which the undersigned has knowledge or has been advised are as shown or noted hereon.

The subject property does not appear to be within the limits of a 100-year flood hazard zone according to the Map published by the Federal Emergency Management Agency, and has a Zone "X" Rating as shown by Map No. 48113G0000 J, dated AUGUST 22, 2001. This statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This Survey is not to be used for construction purposes and is for the exclusive use of Rockwall County Abstract A Title Company only and this survey is made pursuant to that one certain title commitment under the CF number 800010318, provided by the title company named herein.

**NOTES**

CM - CONTROLLING MONUMENT.

SURVEY PROPERTY IS NOT ATTACHED BY THE FOLLOWING:  
 1st - EASEMENT TO T.F. & L. CO. RECORDED IN VOLUME 33, PAGE 440, B.R.R.C.T.  
 2nd - EASEMENT TO CITY OF ROCKWALL RECORDED IN VOLUME 04, PAGE 660, R.R.R.C.T.

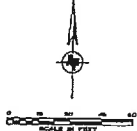
ALL SET BACK ROOFS HAVE A PLASTIC CAP STAMPED "PRECISE LAND SURV."  
 THE BEARINGS FOR THIS SURVEY ARE BASED ON ELEV MEASURED IN CARROLL B, SLIDE 389, P.L.R.C.T. (THE MOST SOUTHWEST EAST LINE OF LOT 1)

COPYRIGHT © PRECISE LAND SURVEYING, INC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS SURVEY WITHOUT THE ORIGINAL SIGNATURE OF BLOCK OR ARE NOT VALID.

DAVID A. SMITH SURVEYING, INC.  
 A DIVISION OF  
 PRECISE LAND SURVEYING, INC.  
 2111 W. WILSON  
 FORT WORTH, TEXAS 76102  
 (817) 338-1111  
 FAX (817) 338-1112  
 WWW.PRECISELANDSURVEYING.COM

**LEGEND**

—	1" PER FOOT	—	CONCRETE FOUNDATION	○	IRON ROD
—	2" PER FOOT	—	CONCRETE WALL	○	WOOD POST
—	4" PER FOOT	—	CONCRETE SLAB	○	WOOD NAIL
—	6" PER FOOT	—	CONCRETE CURB	○	WOOD SCREW
—	8" PER FOOT	—	CONCRETE CHIMNEY	○	WOOD SHIP LUG
—	10" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	12" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	14" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	16" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	18" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	20" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	22" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	24" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	26" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	28" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	30" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	32" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	34" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	36" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	38" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	40" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	42" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	44" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	46" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	48" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	50" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	52" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	54" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	56" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	58" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE
—	60" PER FOOT	—	CONCRETE DRIVE	○	WOOD WEDGE



**BOUNDARY SURVEY**  
 1400 RIDGE ROAD  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS  
 0.832 OF AN ACRE  
 DANIEL ATKINS SURVEY,  
 ABSTRACT A, MAP 1



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** October 10, 2023  
**APPLICANT:** Jeff Wolf; Nexcourt, Inc  
**CASE NUMBER:** Z2023-047; *Specific Use Permit (SUP) for Tennis Court (Pickleball Court)*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a *Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

### **BACKGROUND**

Based on the City's annexation ordinances the subject property was annexed on July 6, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the to the City's *Historic Zoning Maps*, the subject property was zoned Single Family 2 (SF-2) District as of January 3, 1972. Between January 3, 1972 and May 16, 1983, this zoning designation was changed to a Single-Family 10 (SF-10) District. According to the Rockwall Central Appraisal District, currently situated on the subject property is a 3,927 SF single-family home built in 1986 and a 1,500 SF detached garage built in 1985.

### **PURPOSE**

The applicant -- *Jeff Wolf of Nexcourt, Inc* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a *Pickleball Court*.

### **ADJACENT LAND USES AND ACCESS**

The subject property is addressed as 1400 Ridge Road. The land uses adjacent to the subject property are as follows:

**North:** Directly north of the subject property are two (2) vacant lots (*i.e. lots 1 & 2, Block B, Eagle Point Estates*), which are zoned Single-Family 10 (SF-10) District. Beyond this is a 0.81-acre tract of land (*i.e. Tract 27 of the D. Atkins Survey, Abstract No. 1*) developed with a single-family home that is zoned Single-Family 10 (SF-10) District.

**South:** Directly south of the subject property are five (5) lots (*i.e. 1402, 1404, 1406A, 1406B, 1408, 1410, and 1412 Ridge Road*), zoned Single-Family 10 (SF-10) District with single-family homes situated on them. Beyond this is Becky Lane, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the *OURHometown Vision 2040 Comprehensive Plan*.

**East:** Directly east of the subject property is Ridge Road, which is classified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the *OURHometown Vision 2040 Comprehensive Plan*. Beyond this is a 6.6458-acre parcel of land (*i.e. Lot 4, Block A, Rockwall Commons*), zoned Planned Development District 1 (PD-1) for Multi-Family 15 (MF-15) District and General Retail (GR) District land uses.

**West:** Directly west of the subject property is the Lake Ray Hubbard Estates Subdivision, which was established in 1973, consists of 65 single-family residential lots, and is zoned Single-Family 7 (SF-7) District. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard.

## **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted an application and concept plan proposing to construct a 30-foot by 60-foot (or 1,800 SF) *Tennis Court (Pickleball Court)* on the subject property. The proposed structure will be situated on a concrete pad. The applicant has also indicated that there will be one (1) 17-foot pole with one (1) NextGen III LED Shoebox Lights mounted to it which will include shields and face towards the existing home on the subject property.

## **CONFORMANCE WITH THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines a *Tennis Court (Pickleball Court)* as “(a) surface designed and constructed for playing the game of tennis along with all fencing, nets and related appurtenances but excluding lighting for night play in residential areas except as may be otherwise permitted.” According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Tennis Court (Pickleball Court)* requires a Specific Use Permit (SUP) in a Single-Family 10 (SF-10) District.

According to Section 10-491, *Exterior Grounds*, Article XII, *Property Maintenance Code*, of the Municipal Code of Ordinances, “(e) exterior lights placed or erected on private property shall be directed down and shall be of an indirect, diffused, or shielded type luminaries and so installed as not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or a public nuisance.” The applicant has indicated that there will be lighting installed with the proposed *Tennis Court (Pickleball Court)* and has provided a photometric plan that shows general conformance to the property maintenance code.

## **STAFF ANALYSIS**

In this case, the applicant has stated that the proposed *Private Tennis Court (Pickleball Court)* is primarily intended to be used as a basketball court; however, since this structure will incorporate a pickleball court and lighting, the SUP for a *Private Tennis Court (Pickleball Court)* comes is required. Additionally, the SUP for a *Private Tennis Court (Pickleball Court)* allows for operational conditions including lighting standards. The applicant has indicated that there will be lighting installed with the proposed *Tennis Court (Pickleball Court)* and has provided a photometric plan that shows conformance to the property maintenance code, as mentioned earlier. Staff has provided an operational condition that requires the exterior lights to not exceed a maximum height of 17-feet and be placed or erected in a manner that is directed down and incorporate a shielded type of luminaire. In addition, the light shall be installed so as to not produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance. With this being said, the Specific Use Permit (SUP) allows the Planning and Zoning Commission and City Council the ability review the full context of a request and grants them the discretion to approve or deny the request on a *case-by-case* basis.

When reviewing the location of the proposed structure, it does not appear to have a negative effect on the adjacent properties; however, when reviewing a *Private Tennis Court (Pickleball Court)*, other aspects of the request need to be reviewed such as nuisances like noise and lighting. In this case, pickleball can be a loud sport and with the addition of lighting, it can spill over to adjacent properties creating a potential nuisance. With this being said, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On September 22, 2023, staff mailed 70 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone Homeowner's Association (HOA), which was the only Homeowner's Association (HOA) or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 20 responses from property owners and occupants *within* the 500-foot notification area indicating they were in opposition of the applicant's request.

**NOTE:** According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(p)roperty owners adjacent to and within a radius of 200-feet of a property for which a zoning change or Specific Use Permit (SUP) is being considered have the right to file a written protest against the

request. The land area of this 200-foot radius includes public right-of-way, open space and parkland. Whenever such written protest is signed by the owners of 20% or more of the area of the lots or land included in the request, or of the lots or land immediately adjoining the same and within the above mentioned 200-foot radius ... such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval.” In accordance with this section of the Unified Development Code (UDC), staff has prepared a *For/Against Map* for the property owner notifications received within 200-feet of the subject property. Currently, the opposition to the applicant’s request equates to 27.1% of the total land area within 200-feet of the subject property. This means that this case will require a supermajority vote of the City Council for approval.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) for a *Pickleball Court*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The *Private Tennis Court (Pickleball Court)* shall maintain conformance to the approved site plan depicted in Exhibits ‘A’ of this ordinance.
  - (b) Exterior lights placed or erected on the Private Tennis Court (Pickleball Court) shall not exceed a maximum height of 17-feet and be directed down. In addition, the lights shall be of the shielded type luminaries and installed so as to not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

#### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 1400 Ridge Rd, Rockwall TX, 75087

Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

General Location \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning \_\_\_\_\_ Current Use \_\_\_\_\_

Proposed Zoning \_\_\_\_\_ Proposed Use \_\_\_\_\_

Acreage \_\_\_\_\_ Lots [Current] \_\_\_\_\_ Lots [Proposed] \_\_\_\_\_

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>Rafael Hidalgo</u>	<input type="checkbox"/> Applicant	<u>NEXCOURT, INC</u>
Contact Person		Contact Person	<u>JEFF WOLF</u>
Address	<u>1400 Ridge Rd Rockwall TX 75087</u>	Address	<u>1127 S. AIRPORT CIRCLE</u>
City, State & Zip		City, State & Zip	<u>EULESS, TX 76040</u>
Phone	<u>419 966 9281</u>	Phone	<u>682-556-2187</u>
E-Mail	<u>aaeweaver93@gmail.com</u>	E-Mail	<u>jeff.wolf@nexcourt.com</u>

## NOTARY VERIFICATION [REQUIRED]

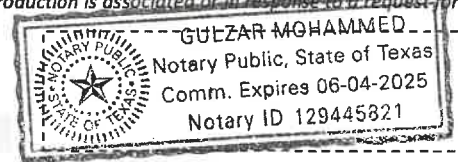
Before me, the undersigned authority, on this day personally appeared RAFAEL BLAZO HIDALGO [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 14<sup>th</sup> day of SEP, 2023. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14<sup>th</sup> day of SEP, 2023.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires 06/04/2025



Z2023-047: Specific Use Permit (SUP) for 1400 Ridge Road

0 30 60 120 180 240 Feet

S ALAMO RD

SF-10

RIDGE RD  
740

PD-1

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



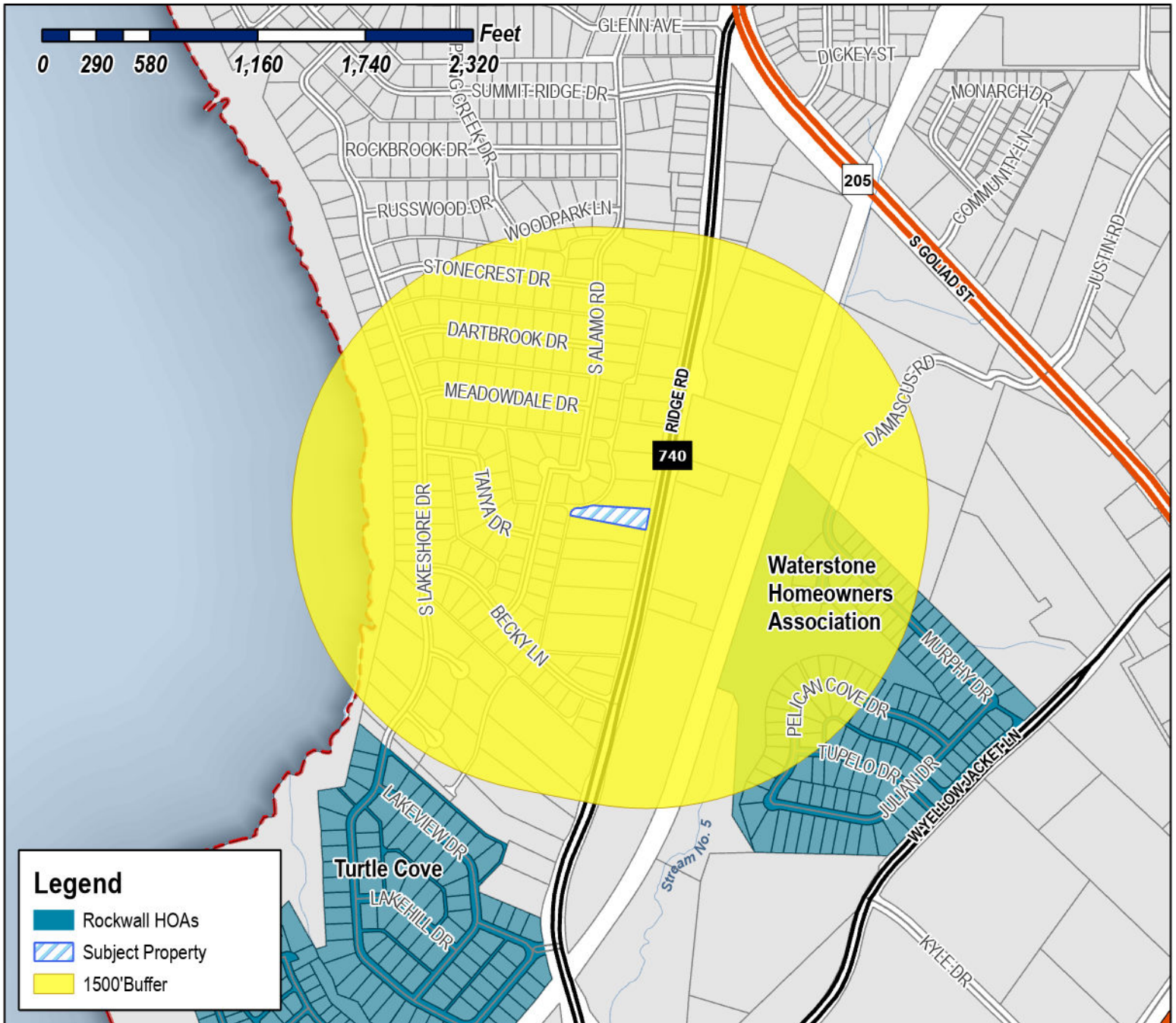




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**Case Number:** Z2023-047  
**Case Name:** SUP for 1400 Ridge Road  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10)  
**Case Address:** 1400 Ridge Road

**Date Saved:** 9/15/2023  
 For Questions on this Case Call (972) 771-7745



## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Friday, September 22, 2023 10:32 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-047]  
**Attachments:** Public Notice (P&Z) (09.18.2023).pdf; HOA Map (09.19.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *September 22, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 16, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-047: SUP for Private Tennis Court**

Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a *Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

Thank You,

***Melanie Zavala***

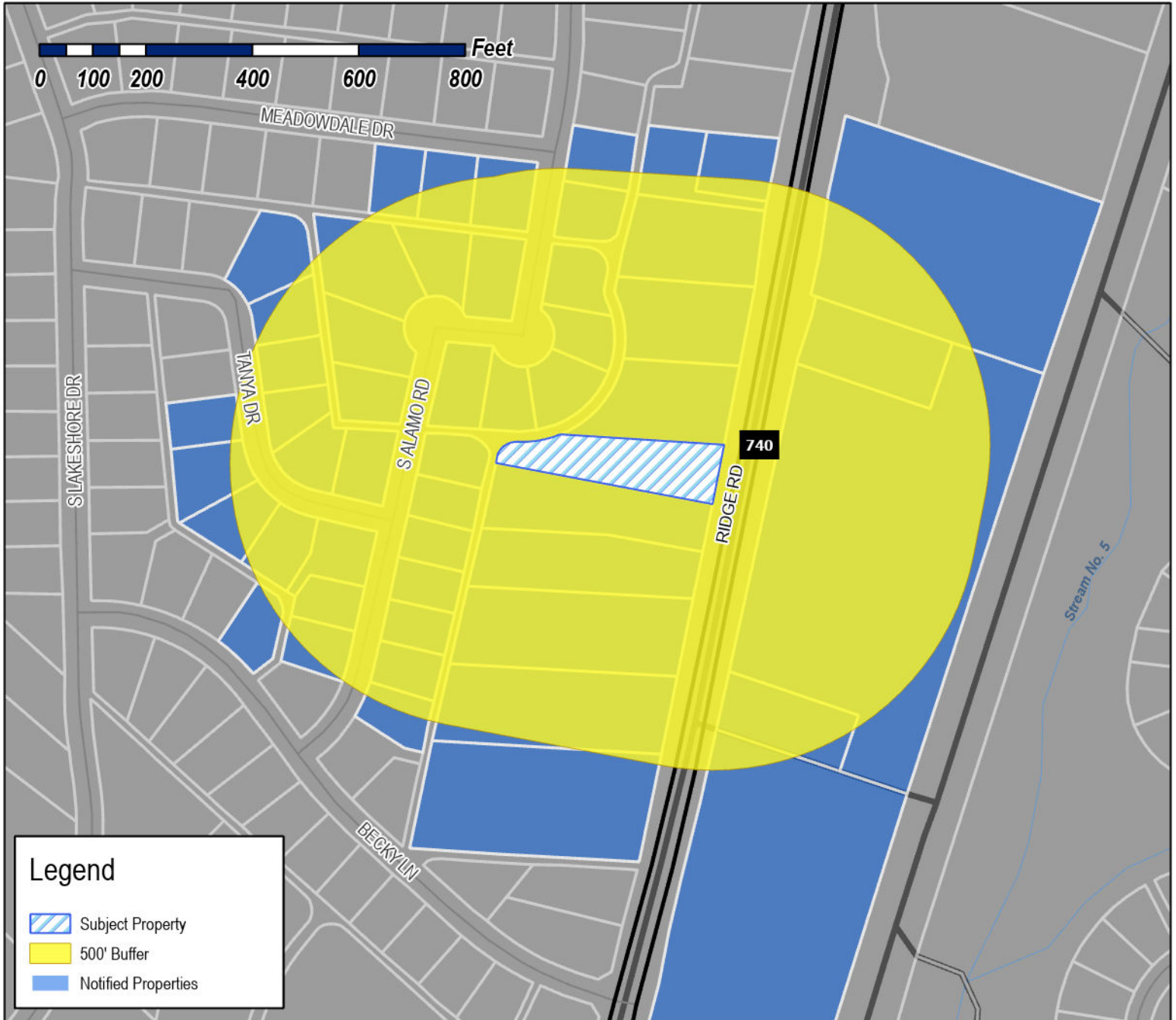
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

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**Case Number:** Z2023-047  
**Case Name:** SUP for Private Tennis Court  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 1400 Ridge Road



**Date Saved:** 9/15/2023

For Questions on this Case Call: (972) 771-7746

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-047: SUP for Private Tennis Court**

*Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 16, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-047: SUP for Private Tennis Court**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Empty form area for reasons]

Name: [Input field]  
Address: [Input field]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

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**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

LIGHTS + NOISE  
TOO CLOSE TO OTHER HOUSES  
RENTAL PROPERTY - NO ONE TO SUPERVISE OR COMPLAIN TO.

Name: **BILLY WEBB**  
Address: **1609 S. ALAMO RD. 75087**

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The lights from a private court will disturb the neighbors & cause excess noise. This property is being turned into a large Airbnb & the private court will be used by people who have nothing vested in the community.

Name: Carly S Farrelly

Address: 1505 S Lakeshore Dr Rockwall, TX

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

\* Short term rental overboks the neighborhood + nothing between this property + the houses below; \* traffic; \* alleyway as a thoroughfare; \* NOISE; \* close proximity of party barn to residential homes; \* potential disruptive behavior; \* pickle ball court - the game is loud; the property is able to hold more than the 16 guests as advertised - major parking issues.

Name:

Charles + Cathy Pinnell *cpinnell* *cpinnell*

Address:

1425 South Alamo Rd. Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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# PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-047: SUP for Private Tennis Court**

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385 S. Goliad Street  
Rockwall, TX 75087

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Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*We don't want this — lights, noise, etc.*

Name: *Colby Purcell + Ron Purcell*  
Address: *211 Tanya Dr. Rockwall*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-047

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

1) P&Z Development document does not indicate if tall court lighting is to be installed; which would interfere with neighboring properties at night. 2) SUP is marked "Private" tennis court: P&Z needs to prove and publish that this is not a short term rental. Activities at Outdoor facilities at short-term rentals interfere at night with neighboring properties and degrade residential property values.

## Respondent Information

Please provide your information.

## First Name \*

Greg

Last Name \*

Oehler

Address \*

207 Tanya Drive

City \*

Rockwall

State \*

Tx

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.



## Ross, Bethany

---

**From:** Dosha Vance <[REDACTED]>  
**Sent:** Wednesday, September 27, 2023 9:44 AM  
**To:** Ross, Bethany  
**Subject:** Z2023-047: SUP for Private Tennis Court

Hello Ms. Ross,

This email is to serve as our objection to the tennis/pickle ball court SUP application.

We oppose this permit due to noise and light pollution this would bring to the immediate neighbors, including ourselves.

Thank you for your time,

Jason & Dosha Vance  
[REDACTED]

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

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# PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

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**Bethany Ross**  
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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

- NOISE POLLUTION TO IMMEDIATE NEIGHBORS, INCLUDING US
- LIGHT POLLUTION FROM OVERHEAD COURT LIGHTS
- LACK OF SUPERVISION OF TOURNAMENTS / PARTIES

Name: JASON + DOSHA VANCE

Address: 202 TANYA DR ROCKWALL TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

NOISE FROM COURT & SURROUNDING AREA  
PROXIMITY TO OTHER HOMES, INCLUDING MINE  
NO SUPERVISION (RENTAL PROPERTY)  
PLEASE NO LIGHTS!

Name:

JOHN + PAULETTE WEDDLE

Address:

1601 S. ALAMO RD.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Primarily because of the potential noise factor in a residential, single-family neighborhoods. It is my understanding that Rockwall has no noise restrictions other than the number of decibels. That means that with lights blaring (almost regulated, to my knowledge), tennis or pickleball could be played into the wee hours of the night as long as under decibel limit. There is not even a fence around the property in question to deflect some of the noise and/or bright lights.

Name: long as under decibel limit. There is not even a fence around the property in

Address: question to deflect some of the noise and/or bright lights.

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Judy Jackson

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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**Z2023-047: SUP for Private Tennis Court**

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**Bethany Ross**

Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP  
Director of Planning & Zoning

USE THIS QR CODE  
TO GO DIRECTLY  
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*Our quiet family neighborhood does not need this "variance home business." The lights, noise, 16+ guest house activity does not foster family living. The safety and security of our neighborhood will be compromised,*

Name: *Joy & Wilson D. Murphy*  
Address: *209 Tanya Dr., Rockwall, TX 75087*

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*Please Vote NO! Keep our neighborhood safe.*



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**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*We are opposed to the Specific Use Permit, as Pickleball Courts create noise and unwanted activity in the area. We are aware that this is an amenity to the property being an Air B&B, which we also oppose, due to the fact that it invites traffic, noise, and other unwanted activity in our neighborhood.*

Name: *Kris & Cori Green*  
Address: *1507 S. Alamo Rd.*

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**Case No. Z2023-047: SUP for Private Tennis Court****Please place a check mark on the appropriate line below:** I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.

1. Lightings of the court spilling over into the neighborhood -

2. Excessive sounds from the court -

3. Close proximity of the court to our houses -

4. No regulations for hours of use in a ~~residential~~ residential zone -

Name:

Lynise &amp; Amy Herbst

Address:

1500 S. Alamo Rd., Rockwall, TX 75087.

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### Case No. Z2023-047: SUP for Private Tennis Court

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I am in favor of the request for the reasons listed below.

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The proposed court is basically right in my backyard. Too close!! so the noise will be a problem for us and our neighbors, as well as the lighting. My hope is that you will consider if you would want it in your yard - You could be next. This has always been a family neighborhood and we would like to keep it that way. Thank you!

Name: Madison & Erica Lyle  
Address: 1403 S. Alamo Rd, Rockwall, Tx 75087

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Name: *Madison & Erica Lyle*  
Address: *1403 S. Alamo Rd, Rockwall, Tx 75087*

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### Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.

If the house in question is wanting to build a Pickle Ball court and turn the house into a B+B or an Air B+B We are firmly against it. Our area has already voted against the adjoining property being Re-Zoned for Business making a profit. It would bring in undesirable Party People. Dallas doesn't like it.

Name: Marvin + Phyllis Herrin

Address: 203 Meadowdale Drive

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September 22,2023

Mr. Derek Deckard, Chairman and Members  
Planning & Zoning Commission  
c/o Mr. Ryan Miller, AICP, Director of Planning  
385 South Goliad  
Rockwall, Texas

**RE: 1400 Ridge Road, Rockwall, Texas**

Dear Mr. Deckard, Commission Members and Mr. Miller:

My husband and I will be out of town and unable to attend the Oct 10th meeting and the November 16th City Council meeting therefore we are sending this letter with our concerns. Our home is located at 1404 Ridge Rd., and we are one residential property away from **1400 Ridge Rd.** We were recently contacted by a neighbor concerning this property and two issues. The first issue is the construction of a pickle ball court at 1400 Ridge Rd. and the second issue (same property) becoming a short-term rental (similar to an Airbnb or Bed and Breakfast).

I realize the purpose of this meeting is to focus on the construction of the pickle ball court; however, we cannot fail to mention the potential future use in order to make a realistic judgement on the current issue before the commission. The short-term rental property will have a dramatic impact on how the pickle ball court will be operated. This court will not be used like a single family-owned residential property, it will be used commercially as a business asset. There will be an onslaught of strangers, people we know nothing about - basically tourists. Our concerns are as follows:

- The court will increase noise in our neighborhood as pickle ball is a much louder sport than tennis. This is going to destroy the serenity of our property and our neighbors.
- The footprint for the pickle ball court is adjacent to a large garage (barn type) building on the property. Both the garage and court could possibly be used for a live entertainment area. There are no guarantees once constructed that it will be used as a pickle ball court.
- The construction will be an eye sore.
- Lighting for the court will be invasive for a residential area.
- The value of our home and our neighbor's home will be at risk. No one wants to live next to a pickle ball court and possibly a party house.

Who is going to oversee its use once the construction is complete? The answer is no one. Once the structure is complete there will be no accountability. If the owner did not obtain the required permit prior to construction, then the track record for responsible ownership is not starting off well!

Per an earlier discussion with Mr. Ryan Miller, he stated that Rockwall does not have any ordinances or restrictions in place for short term rentals in Rockwall. But you do have the designation "Bed and Breakfast" which is either not permitted or limited by a Specific Use Permit in residential areas. In fact, the abbreviation for Airbnb stands for air mattress bed and breakfast. With all the bad publicity about short term rentals in Dallas, the real question is do we want this in Rockwall for our neighborhoods?

Our neighborhood has well maintained properties, we have paid property taxes and some of us have paid business taxes for decades. Please consider the detrimental effect this pickle ball court and the short-term rental is bringing to our homes in this neighborhood. The renters that rent this 5000 plus square foot home are going to have the finances to not be concerned about losing a huge deposit due to damages to this house or property and they certainly are not going to be concerned about how this impacts our neighborhood. I guarantee you this will turn into a party house and ruin our neighborhood.

Sincerely,

Mr. and Mrs. Michael and Rella Rogers

September 22,2023

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Planning & Zoning Commission  
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1404 RIDGE RD.  
ROCKWALL, TX. 75087

# PUBLIC NOTICE



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### Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Loud noise, bright lights, neighborhood disruption, neighborhood safety, there will be absolutely no accountability from the city after this pickle ball court is built (SEE ATTACHED LETTER)

Name: Mike & Rella Rogers

Address: 1404 Ridge Rd, Rockwall TX 75087

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- Lighting for the court will be invasive for a residential area.
- The value of our home and our neighbor's home will be at risk. No one wants to live next to a pickle ball court and possibly a party house.

Who is going to oversee its use once the construction is complete? The answer is no one. Once the structure is complete there will be no accountability. If the owner did not obtain the required permit prior to construction, then the track record for responsible ownership is not starting off well!

Per an earlier discussion with Mr. Ryan Miller, he stated that Rockwall does not have any ordinances or restrictions in place for short term rentals in Rockwall. But you do have the designation "Bed and Breakfast" which is either not permitted or limited by a Specific Use Permit in residential areas. In fact, the abbreviation for Airbnb stands for air mattress bed and breakfast. With all the bad publicity about short term rentals in Dallas, the real question is do we want this in Rockwall for our neighborhoods?

Our neighborhood has well maintained properties, we have paid property taxes and some of us have paid business taxes for decades. Please consider the detrimental effect this pickle ball court and the short-term rental is bringing to our homes in this neighborhood. The renters that rent this 5000 plus square foot home are going to have the finances to not be concerned about losing a huge deposit due to damages to this house or property and they certainly are not going to be concerned about how this impacts our neighborhood. I guarantee you this will turn into a party house and ruin our neighborhood.

Sincerely,


Mr. and Mrs. Michael and Rella Rogers  
1404 Ridge Road  
Rockwall, Texas 75087

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The extremely bright lights the courts will require - the loud noises & voices that will accompany this venue, not to mention the music, etc. - This is a single family, quiet neighborhood & that's why we are here & not a commercial area.

Name:

Richard & Karen Perry

Address:

208 Junya Drive

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-047: SUP for Private Tennis Court**

*Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 16, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: RICHARD SLAUGHTER  
Address: 1515 S ALAMO RD

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Director of Planning & Zoning



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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

No Control + Monitoring of Property - No owner onsite  
Noise level  
location to other houses in the neighborhood  
Traffic

Name: Tara Green + Julia McKinney  
Address: 1519 S. Alamo Rd Rockwall, TX 75087

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

*Vivi i Steve Kelley  
206 Tanya Drive  
Rockwall, TX. 75087*

- 1.) Lighting at the facility will disturb local residents during night time.
- 2.) Noise at late hours will disturb nearby residents and encourage unruly guests
- 3.) Low proposed per-unit/per-person rent will encourage unruly/disrespectful guests and potential drug and gang activity.

Name: *4.) Safety Issue: tennis balls hit out of the facility pose a personal*

Address: *and property hazard to nearby properties and persons.*

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Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

NOISANCE CAUSED BY TALK, BRIGHT LIGHTS AT NIGHT  
NOISE DISTURBANCE IN GENERAL BUT ESPECIALLY AT NIGHT  
NO CONTROL / GOVERNANCE OR USE OF FACILITIES  
INCREASED AUTO + FOOT TRAFFIC, UNKNOWN

Name: WILLIAM C CHILDS

Address: 1611 S ALAMO, ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

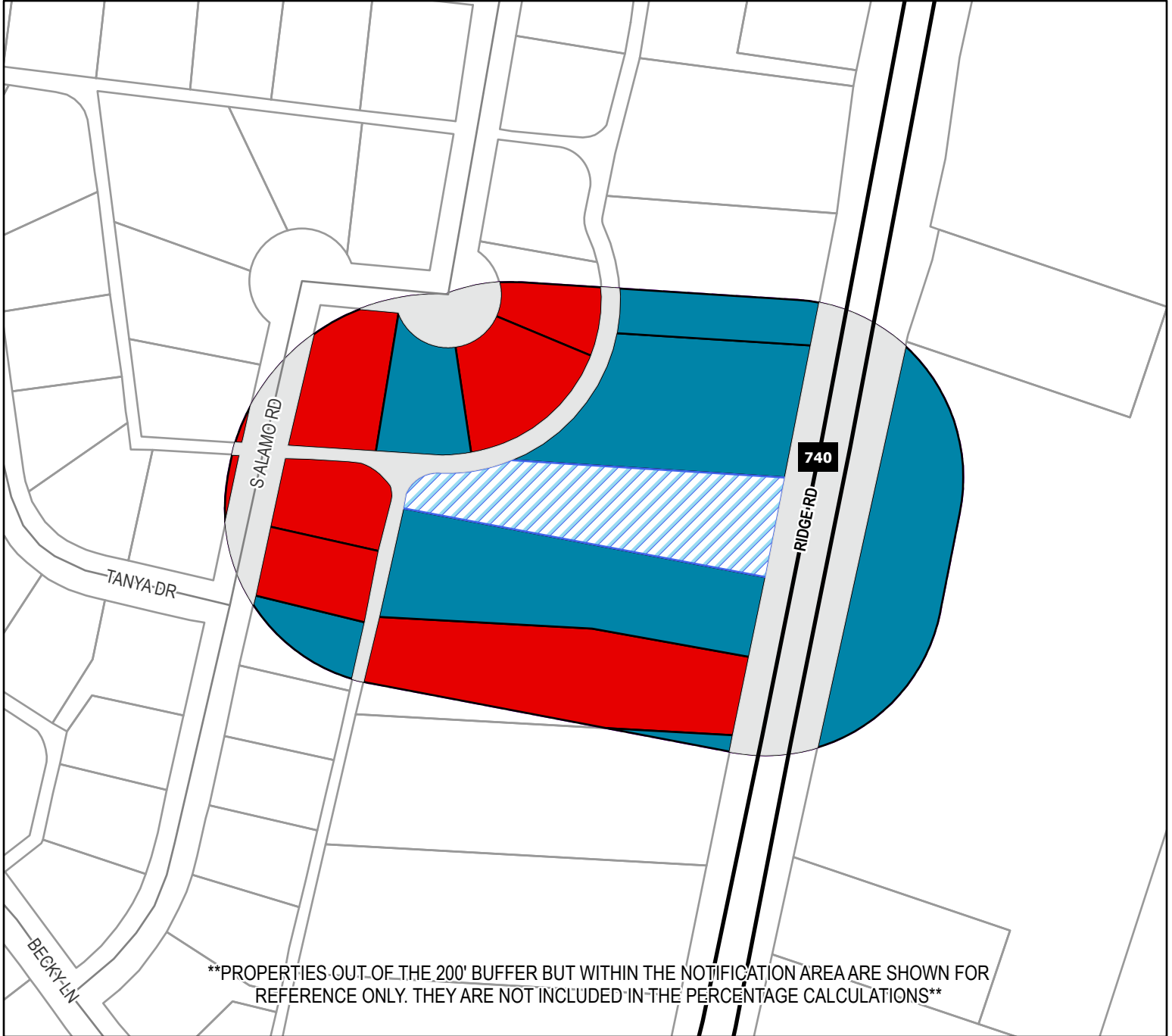
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# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Z2023-047 SUP for Pickleball Courts at 1400 Ridge Road

-  Subject Property
-  AGAINST (2.21 Acres) 27.1%
-  NO RESPONSE (4.12 Acres) 50.3 %
-  ROW (1.85 Acres) 22.6%
-  FOR (0 Acres) 0%



**Date Created: 10/3/2023**

For Questions on this Case Call (972) 771-7745

HFS MANAGEMENT INC  
C/O HANNA SAHLIYEH  
122 W JOHN CARPENTER FWY STE 400  
IRVING, TX 75039

RESIDENT  
1301 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1306 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1308 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1309 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1309 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1312 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1316 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1400 RIDGE RD  
ROCKWALL, TX 75087

MASON RONALD E & GLORIA M  
1402 RIDGE RD  
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST  
MICHAEL WAYNE ROGERS AND RELLA  
VILLASANA ROGERS, TRUSTEES  
1404 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1405 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1406 RIDGE RD  
ROCKWALL, TX 75087

NORMAN LINDA  
1406-B RIDGE RD  
ROCKWALL, TX 75087

PADILLA OSCAR GAMALIEL AND MELISSA  
AZUSENA  
1408 RIDGE ROAD  
ROCKWALL, TX 75087

ARCINIEGA MARK K  
1423 S ALAMO ROAD  
ROCKWALL, TX 75087

PINNELL LIVING TRUST  
CHARLES CRAIG PINNELL AND CATHY JENELL  
PINNELL  
1425 S ALAMO RD  
ROCKWALL, TX 75087

HAIRE HELENA GAIL  
1425 SAW RD  
CHINA GROVE, NC 28023

RESIDENT  
1505 S ALAMO RD  
ROCKWALL, TX 75087

GREEN KRIS  
1507 S ALAMO RD  
ROCKWALL, TX 75087

HERBST LONNIE & AMY  
1509 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1510 S ALAMO RD  
ROCKWALL, TX 75087

BARRETT HOWARD & MARVALEE  
1511 S ALAMO RD  
ROCKWALL, TX 75087

SCROGGS JUSTIN D  
1512 S ALAMO RD  
ROCKWALL, TX 75087

BALLI DAVID OMAR AND EMILY FARRIS  
1514 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1515 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1516 S ALAMO RD  
ROCKWALL, TX 75087

GREEN TARA D AND  
JULIA R MCKINNEY  
1518 SOUTH ALAMO ROAD  
ROCKWALL, TX 75087

WEDDLE TRUST  
JOHN C WEDDLE AND PAULETTE S WEDDLE  
TRUSTEES  
1601 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1603 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1605 ALAMO RD  
ROCKWALL, TX 75087

BATTEN NANCY L  
1606 S ALAMO RD  
ROCKWALL, TX 75087

MASON PATRICK AND JANEL R  
1607 ALAMO RD  
ROCKWALL, TX 75087

PITTO OSHRI  
1608 SOUTH ALAMO ROAD  
ROCKWALL, TX 75087

WEBB BILLY AND PEGGY  
1609 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1610 ALAMO ST  
ROCKWALL, TX 75087

CHILDS WILLIAM C & SHERYL L  
1611 S ALAMO RD  
ROCKWALL, TX 75087

MORGAN PAUL RICHARD  
1613 S ALAMO ROAD  
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC  
16600 DALLAS PARKWAY SUITE 300  
DALLAS, TX 75248

T ROCKWALL PHASE 2 LLC  
16600 DALLAS PKWY SUITE 300  
DALLAS, TX 75248

VANCE JASON L & DASHA  
202 TANYA DR  
ROCKWALL, TX 75087

RESIDENT  
203 TANYA DR  
ROCKWALL, TX 75087

HERRIN MARVIN ET UX  
203 MEADOWDALE DR  
ROCKWALL, TX 75087

RICHARDSON RANDAL & BARBARA  
204 TANYA DR  
ROCKWALL, TX 75087

DICKSON JUDITH TAYLOR & KENNETH D  
205 MEADOWDALE DR  
ROCKWALL, TX 75087

BARNETT DEYSI  
205 TANYA DR  
ROCKWALL, TX 75087

KELLEY STEPHAN BRANT & VIVIANA ELIZABETH  
206 TANYA DRIVE  
ROCKWALL, TX 75087

OEHLER GREGORY M & KATHRYN A  
207 TANYA DR  
ROCKWALL, TX 75087

PERRY RICHARD L  
208 TANYA DR  
ROCKWALL, TX 75087

BOUNDS JOY  
209 TANYA DR  
ROCKWALL, TX 75087

FLOYD DOROTHY RHEA  
210 TANYA DR  
ROCKWALL, TX 75087

BREWER GLENDA O  
212 TANYA DR  
ROCKWALL, TX 75087

BOBST DANIEL W AND JENNIFER L  
2701 SUNSET RIDGE SUITE 610  
ROCKWALL, TX 75032

KAPRANTZAS VICTORIA J  
2748 MIRA VISTA LN  
ROCKWALL, TX 75032

PHILIP ALWIN  
279 ASHWOOD LN  
SUNNYVALE, TX 75182

PHILIP ALWIN  
279 ASHWOOD LN  
SUNNYVALE, TX 75182

VILLA PEDRO E  
302 BECKY LN  
ROCKWALL, TX 75087

PEOPLES J P & B W JR  
302 S GOLIAD SST  
ROCKWALL, TX 75087

PEOPLES J PHILIP AND  
BILLY W PEOPLES JR  
311 HIGHLAND DRIVE  
ROCKWALL, TX 75087

RPSC ROCKWALL PROPERTIES LLC  
3201 E PRESIDENT GEORGE BUSH HIGHWAY  
SUITE 101  
RICHARDSON, TX 75082

ROCKWALL COMMONS LLC  
341 VERACLIFF CT  
OVIEDO, FL 32765

BURNS LORRAINE MARIETTI  
403 W WASHINGTON ST  
ROCKWALL, TX 75087

OPENDOOR PROPERTY TRUST I  
410 N SCOTTSDALE RD STE 1600  
TEMPE, AZ 85281

WADE KENNETH AND DEBBIE  
4760 SECRET COVE  
ROCKWALL, TX 75032

LONGRUN HOLDINGS LLC SERIES B  
5941 GLENDOWER LANE  
PLANO, TX 75093

TURCIOS MILTON NOE AND  
JUAN RAMON TURCIOS  
7227 HILLSHIRE LANE  
SACHSE, TX 75048

LYLE WILLIAM M JR & ERICA  
9605 ARDEN DR  
ROCKWALL, TX 75087

CRUSE ROBERT B JR AND MARGARET A  
P. O. BOX 2468  
ROCKWALL, TX 75087

SLAUGHTER RICHARD E JR  
PO BOX 1717  
ROCKWALL, TX 75087

BURKE CASEY JOE AND ANDREA GAYDEN  
PO BOX 2514  
ROCKWALL, TX 75087





The Top Rated NextGen Series Gets Better! The NextGen III Series has 140+ Lumens per Watt, bigger VP driver and is DLC 5.1 Premium Rated! New pop open Compartment for fast access and optional easy twist in Motion Sensor that can be programmed by a remote.

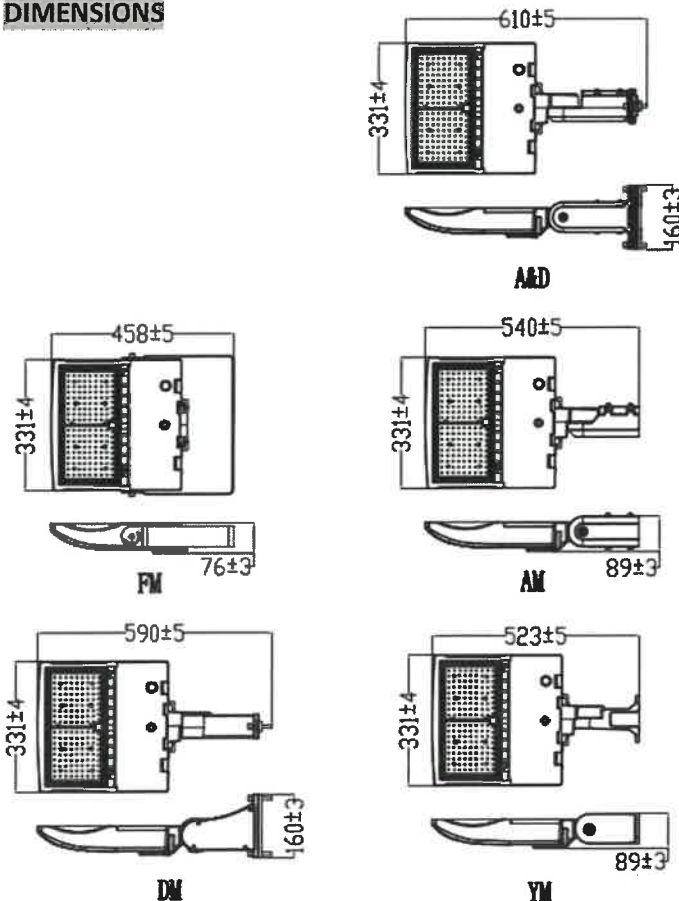


P/N: RGL-NEXTGEN3-150JT3A1-abcdef

Note:

- AST= Rugged Grade Lighting
- NEXTGEN 3= Product series, LED Shoebox Light
- 150= Rating Power
- J= LED manufacturer, Bridgelux
- T3= Diffuser light angle type, TYPE III
- A1= Version number
- "a" can be any two letters to represent lamp colors;
- "b" can be "AM", "DM", "YM", "A&D" or "FM" to represent Mounting Means;
- "c" can be "DMS1", "DMS2", "DPS1", "DPS2", "DP" for DC Sensor type or blank for no sensor provided;
- "d" can be "10SP" or "20SP" for Surge-Protective Device type provided or blank for no Surge-Protective Device provided;
- "e" can be any numbers to represent CCT;
- "f" can be "3RP", "3NP", "5RP", "5NP", "7RP" or "7NP" for Photocontrol type provided or blank for no Photocontrol provided.

**DIMENSIONS**



**ADVANTAGE**

- UL cUL DLC-V5.1(Premium) certificate.
- Bridgelux Chip, high CRI.
- Input voltage 120-277VAC.
- Output constant current level can be adjusted through output cable with 0-10V.
- No UV or IR in the beam.
- Easy to install and operate.
- Energy saving, long lifespan.
- Light is soft and uniform, safe to eyes.
- Instant start, NO flickering, NO humming.
- Green and eco-friendly without mercury.

**APPLICATION**

- Outdoor basketball court, tennis court.
- Badminton court, the football field.
- The school playground, stadium.
- Community leisure entertainment plaza, road lamp etc.



**SPECIFICATIONS**

<b>OPTICAL</b>	Input Power (Tolerance : ±10%)	150W					
	Color Temperature	3000K	3500K	4000K	4500K	5000K	5700K
	Lumen (Tolerance : -10%)	19500L	20250LM	21000L	21000LM	21000LM	20250LM
	Efficacy (Tolerance : -3%)	130LM/	135LM/W	140LM/	140LM/	140LM/	135LM/
	CRI	>70					
	Color Consistency	<6 Steps (or <6 SDCM)					
	BUG	B3-U0-G4					
	Distribution Pattern	Type III					
Beam Angle (50%) (Tolerance :	155*120 Degree						
<b>ELECTRICAL</b>	Input Voltage and Frequency	120-277Vac,50/60Hz					
	PF (Tolerance : -3%)	≥0.9					
	THD (Tolerance : +5%)	≤20%					
	Flicker Percent	<5%					
	Driver Brand	Rugged Grade Lighting					
	Driver Model	Sosen VP Driver with controls and 10KV surge					
	Driver Surge protection	L/N-PE: 10kV, L-N:6kV					
	Dimming	0-10V dimming standard					
	Optional Accessory	Photocontrol, Surge-protective Device, Motion Sensor					
<b>MATERIALS</b>	LED Brand	Bridgelux					
	LED Type	SMD3030 – 100,000+ hour LEDs					
	LED QTY	189PCS					
	Housing	Die-cast aluminum					
	Housing Color	Brown, Black, or Customized					
	EPA	1.32ft <sup>2</sup>					
	Waterproof Rating	WET (IP65)					
<b>OTHERS</b>	Operating Temperature	Without Motion Sensor: -40°C TO 50°C; With Motion Sensor: -35°C TO					
	Storage Temperature	-40°C TO 80°C					
	Operating Humidity	20% - 90% RH					
	Storage Humidity	10% - 95% RH					
	Warranty	7 years warranty with unlimited operating hours					



Product ID: PLLKEJALNR33



## RGL-NEXTGEN3-150JT3A1-abc[10SP;20SP]50f

Manufacturer: RuggedGrade

### PRODUCT OVERVIEW

<b>Model Number</b>	RGL-NEXTGEN3-150JT3A1-abc[10SP;20SP]50f
<b>Product ID</b>	PLLKEJALNR33
<b>QPL</b>	Solid State Lighting
<b>Manufacturer</b>	RuggedGrade
<b>Brand Name</b>	RuggedGrade
<b>Primary Use</b>	Outdoor Pole/Arm-Mounted Area and Roadway Luminaires
<b>DLC Family Code</b>	EMWAFI
<b>Listing Status</b>	Listed
<b>Date Qualified</b>	2021-08-17

### PRODUCT INFORMATION

<b>Qualified Product List</b>	Solid State Lighting
<b>Technical Requirements Version ①</b>	5.1
<b>Product ID ①</b>	PLLKEJALNR33
<b>Manufacturer ①</b>	RuggedGrade
<b>Brand</b>	RuggedGrade
<b>Model Number</b>	RGL-NEXTGEN3-150JT3A1-abc[10SP;20SP]50f
<b>Parent ①</b>	No
<b>Classification ①</b>	Premium

### PRODUCT CATEGORIZATION [VIEW DETAILS](#)

### PRODUCT CAPABILITIES [VIEW DETAILS](#)

### REPORTED PHOTOMETRIC PERFORMANCE

<b>Reported Backlight (TM-15 BUG) ①</b>	3
<b>Reported Uplight (TM-15 BUG) ①</b>	0
<b>Reported Glare (TM-15 BUG) ①</b>	4
<b>Reported Light Output ①</b>	20707.4 lm
<b>Reported Efficacy (AC) ①</b>	138.39 lm/W
<b>Reported CCT ①</b>	5000 K
<b>Reported CRI (Ra) ①</b>	70

## LIGHT DISTRIBUTION TESTING PARAMETERS

### Luminaire Property

Luminaire Manufacturer:  
 Luminaire Category:  
 Lamp Catalog:  
 Number of Lamps:  
 Luminous Length (mm):  
 Luminous Height (mm):  
 Current: 1.245 A  
 Power Factor: 0.998

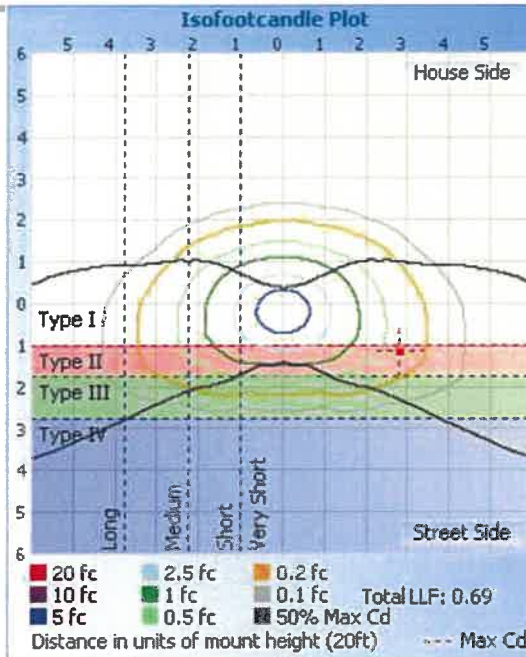
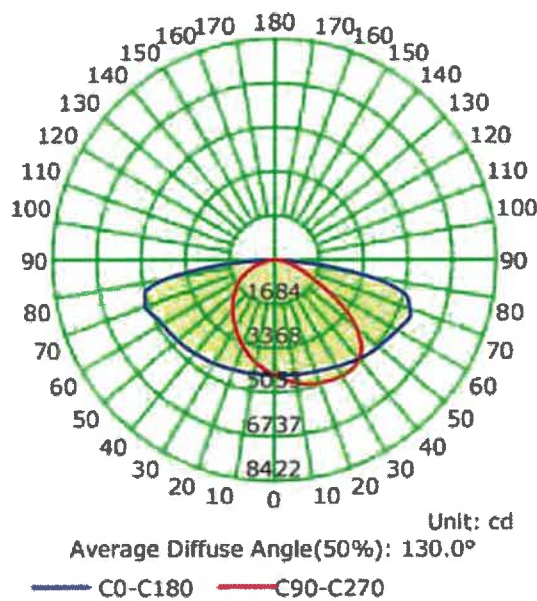
Luminaire Description:  
 Lamp Description:  
 Lumens per Lamp:  
 Luminous Width (mm):  
 Voltage: 120.0 V  
 Power: 149.28 W

### Photometric Results

IES Classification: Type IV  
 Total Rated Lamp Lumens: 19746.7 lm  
 Efficiency: 100%  
 Upward Ratio: 0%  
 C0r0 Intensity: 4393.15 cd  
 Pos of Max. Intensity: H22.5 V69

Longitudinal Classification: Medium  
 Measurement Flux: 19746.7 lm  
 Downward Ratio: 100%  
 Luminaire Efficacy Rating (LER): 132.33  
 Max. Intensity: 6737.67 cd

Luminous Intensity Distribution Curve





**NOTICE FOR USER**

- Please turn off power before install or change assembly parts.
- The input voltage and lamps should be matched, after connecting the power line, Please make sure the wiring section is insulated.
- Non-professionals, must not install and disassemble the lamps.

**TROUBLE SHOOTINGS**

Issue	Check points
Light Flickers	Check all wiring for disconnections, shorts and burnt wiring and connections. Confirm steady input voltage to the light fixture, fluctuating input voltage will harm the LED driver and can lead to premature failure. Lights with photocells can have photocell tag from ambient light or light reflecting back at the sensor. Simply cover the photocell completely and see if flickering continues while the photocell is covered. Call Tech Support for help if none of the above solves the issue.
Light does not work at all.	Check all wiring for disconnections, shorts and burnt wiring and connections. Confirm steady input voltage to the light fixture, fluctuating input voltage will harm the LED driver and can lead to premature failure. If input voltage is not in the voltage range of the fixture, you will need to find the source of your input voltage issue. Call Tech Support for help if none of the above solves the issue.

For more technical information, install questions, troubleshooting help or warranty claims, we have a dedicated US Tech and Customer Support Team to help solve any issues you have and can be reached by email or phone. If you need help with any of our products, we are here for you so that you are never in the dark!



**BETTER LIGHTS.  
BETTER SUPPORT.**

**DL** CERTIFIED

**UL** LISTED

LEGENDARY RUGGEDGRADE QUALITY  
LEGENDARY USA SUPPORT

US based phone and online customer support

**7 YEAR WARRANTY**

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *PRIVATE TENNIS COURT* ON A 0.7940-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK B, EAGLE POINT ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for *Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Private Tennis Court* in a Single Family 10 (SF-10) District as stipulated by, *Article 04, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Private Tennis* court on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The *Private Tennis Court (Pickleball Court)* shall maintain conformance to the approved site plan depicted in *Exhibits 'A'* of this ordinance.
- (2) Exterior lights placed or erected on the *Private Tennis Court (Pickleball Court)* shall not exceed a maximum height of 17-feet and be directed down. In addition, the lights shall be of the shielded type luminaries and installed so as to not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the property owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> DAY OF NOVEMBER, 2023.

\_\_\_\_\_  
Trace Johannessen, Mayor

ATTEST:

\_\_\_\_\_  
Kristy Teague, City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: October 16, 2023

2<sup>nd</sup> Reading: November 6, 2023





# Weekly menu

MON RON & MAXINE MASON

214-772-9610

TUE KACY & ANDREA BURKE

214-914-7174

WED RELLA & MIKE ROGERS

972-467-1015

THUR MADISON & ERICA LYLE

M - 972-965-9065

E - 972-965-9064

FRI

SAT

SUN

Rockwall, Texas

Z2023 - 047

Opposition to Special Use Permit (SUP) for Tennis and/or Pickle Ball Court

Resident Names:

<u>John G. Felder</u>	<u>1601 S. ALAMO RD.</u>
<u>Paulette Weddle</u>	<u>1601 S. ALAMO RD.</u>
<u>Mike Rogers</u>	<u>1404 RIDGE RD. (BY PROXY)</u>
<u>Rella Rogers</u>	<u>1404 RIDGE RD. (BY PROXY)</u>
<u>Madison Lyle</u>	<u>1603 S. ALAMO RD. (BY PROXY)</u>
<u>Erica Lyle</u>	<u>1603 S. ALAMO RD. (BY PROXY)</u>
<u>Coxley Pinnell</u>	<u>1425 S. Alamo Rd</u>
<u>Charles Pinnell</u>	<u>1425 South Alamo Road</u>
<u>Dosha Vance</u>	<u>202 Tanya Dr</u>
<u>Jason Vance</u>	<u>202 Tanya Dr</u>
<u>Emily Daughter</u>	<u>1515 S. Alamo Rd.</u>
<u>Rubén A. J. J.</u>	<u>1515 S ALAMO Rd</u>
<u>Billy Webb</u>	<u>1609 S ALAMO RD.</u>
<u>Diana Aunkle</u>	<u>1609 S. ALAMO RD.</u>
<u>Kim Green</u>	<u>1507 S. Alamo Rd.</u>
<u>Tam Green</u>	<u>1518 S. Alamo Rd.</u>
<u>Julie McKinney</u>	<u>1518 S Alamo Rd.</u>
<u>Cori Green</u>	<u>1507 S. Alamo Rd.</u>
<u>Angie Herbst</u>	<u>1509 So. Alamo Rd</u>
<u>Joe J. Herbst</u>	<u>1509 S. Alamo Rd.</u>

\* SIGNATURES BY PROXY EITHER HAVE TEXTS OR EMAILS  
SENDING THEIR SIGNATURES. AVAILABLE UPON REQUEST.





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** October 10, 2023  
**APPLICANT:** Jeff Wolf; Nexcourt, Inc  
**CASE NUMBER:** Z2023-047; *Specific Use Permit (SUP) for Tennis Court (Pickleball Court)*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a *Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

### **BACKGROUND**

Based on the City's annexation ordinances the subject property was annexed on July 6, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the to the City's *Historic Zoning Maps*, the subject property was zoned Single Family 2 (SF-2) District as of January 3, 1972. Between January 3, 1972 and May 16, 1983, this zoning designation was changed to a Single-Family 10 (SF-10) District. According to the Rockwall Central Appraisal District, currently situated on the subject property is a 3,927 SF single-family home built in 1986 and a 1,500 SF detached garage built in 1985.

### **PURPOSE**

The applicant -- *Jeff Wolf of Nexcourt, Inc* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a *Pickleball Court*.

### **ADJACENT LAND USES AND ACCESS**

The subject property is addressed as 1400 Ridge Road. The land uses adjacent to the subject property are as follows:

**North:** Directly north of the subject property are two (2) vacant lots (*i.e. lots 1 & 2, Block B, Eagle Point Estates*), which are zoned Single-Family 10 (SF-10) District. Beyond this is a 0.81-acre tract of land (*i.e. Tract 27 of the D. Atkins Survey, Abstract No. 1*) developed with a single-family home that is zoned Single-Family 10 (SF-10) District.

**South:** Directly south of the subject property are five (5) lots (*i.e. 1402, 1404, 1406A, 1406B, 1408, 1410, and 1412 Ridge Road*), zoned Single-Family 10 (SF-10) District with single-family homes situated on them. Beyond this is Becky Lane, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the *OURHometown Vision 2040 Comprehensive Plan*.

**East:** Directly east of the subject property is Ridge Road, which is classified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the *OURHometown Vision 2040 Comprehensive Plan*. Beyond this is a 6.6458-acre parcel of land (*i.e. Lot 4, Block A, Rockwall Commons*), zoned Planned Development District 1 (PD-1) for Multi-Family 15 (MF-15) District and General Retail (GR) District land uses.

**West:** Directly west of the subject property is the Lake Ray Hubbard Estates Subdivision, which was established in 1973, consists of 65 single-family residential lots, and is zoned Single-Family 7 (SF-7) District. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard.

## **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted an application and concept plan proposing to construct a 30-foot by 60-foot (or 1,800 SF) *Tennis Court (Pickleball Court)* on the subject property. The proposed structure will be situated on a concrete pad. The applicant has also indicated that there will be one (1) 17-foot pole with one (1) NextGen III LED Shoebox Lights mounted to it which will include shields and face towards the existing home on the subject property.

## **CONFORMANCE WITH THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines a *Tennis Court (Pickleball Court)* as “(a) surface designed and constructed for playing the game of tennis along with all fencing, nets and related appurtenances but excluding lighting for night play in residential areas except as may be otherwise permitted.” According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Tennis Court (Pickleball Court)* requires a Specific Use Permit (SUP) in a Single-Family 10 (SF-10) District.

According to Section 10-491, *Exterior Grounds*, Article XII, *Property Maintenance Code*, of the Municipal Code of Ordinances, “(e) exterior lights placed or erected on private property shall be directed down and shall be of an indirect, diffused, or shielded type luminaries and so installed as not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or a public nuisance.” The applicant has indicated that there will be lighting installed with the proposed *Tennis Court (Pickleball Court)* and has provided a photometric plan that shows general conformance to the property maintenance code.

## **STAFF ANALYSIS**

In this case, the applicant has stated that the proposed *Private Tennis Court (Pickleball Court)* is primarily intended to be used as a basketball court; however, since this structure will incorporate a pickleball court and lighting, the SUP for a *Private Tennis Court (Pickleball Court)* comes is required. Additionally, the SUP for a *Private Tennis Court (Pickleball Court)* allows for operational conditions including lighting standards. The applicant has indicated that there will be lighting installed with the proposed *Tennis Court (Pickleball Court)* and has provided a photometric plan that shows conformance to the property maintenance code, as mentioned earlier. Staff has provided an operational condition that requires the exterior lights to not exceed a maximum height of 17-feet and be placed or erected in a manner that is directed down and incorporate a shielded type of luminaire. In addition, the light shall be installed so as to not produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance. With this being said, the Specific Use Permit (SUP) allows the Planning and Zoning Commission and City Council the ability review the full context of a request and grants them the discretion to approve or deny the request on a *case-by-case* basis.

When reviewing the location of the proposed structure, it does not appear to have a negative effect on the adjacent properties; however, when reviewing a *Private Tennis Court (Pickleball Court)*, other aspects of the request need to be reviewed such as nuisances like noise and lighting. In this case, pickleball can be a loud sport and with the addition of lighting, it can spill over to adjacent properties creating a potential nuisance. With this being said, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On September 22, 2023, staff mailed 70 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone Homeowner's Association (HOA), which was the only Homeowner's Association (HOA) or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 20 responses from property owners and occupants *within* the 500-foot notification area indicating they were in opposition of the applicant's request.

**NOTE:** According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(p)roperty owners adjacent to and within a radius of 200-feet of a property for which a zoning change or Specific Use Permit (SUP) is being considered have the right to file a written protest against the

request. The land area of this 200-foot radius includes public right-of-way, open space and parkland. Whenever such written protest is signed by the owners of 20% or more of the area of the lots or land included in the request, or of the lots or land immediately adjoining the same and within the above mentioned 200-foot radius ... such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval.” In accordance with this section of the Unified Development Code (UDC), staff has prepared a *For/Against Map* for the property owner notifications received within 200-feet of the subject property. Currently, the opposition to the applicant’s request equates to 27.1% of the total land area within 200-feet of the subject property. This means that this case will require a supermajority vote of the City Council for approval.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) for a *Pickleball Court*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The *Private Tennis Court (Pickleball Court)* shall maintain conformance to the approved site plan depicted in Exhibits ‘A’ of this ordinance.
  - (b) Exterior lights placed or erected on the Private Tennis Court (Pickleball Court) shall not exceed a maximum height of 17-feet and be directed down. In addition, the lights shall be of the shielded type luminaries and installed so as to not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

#### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 1400 Ridge Rd, Rockwall TX, 75087

Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

General Location \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning \_\_\_\_\_ Current Use \_\_\_\_\_

Proposed Zoning \_\_\_\_\_ Proposed Use \_\_\_\_\_

Acreage \_\_\_\_\_ Lots [Current] \_\_\_\_\_ Lots [Proposed] \_\_\_\_\_

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>Rafael Hidalgo</u>	<input type="checkbox"/> Applicant	<u>NEXCOURT, INC</u>
Contact Person		Contact Person	<u>JEFF WOLF</u>
Address	<u>1400 Ridge Rd Rockwall TX 75087</u>	Address	<u>1127 S. AIRPORT CIRCLE</u>
City, State & Zip		City, State & Zip	<u>EULESS, TX 76040</u>
Phone	<u>419 966 9281</u>	Phone	<u>682-556-2187</u>
E-Mail	<u>aaeweaver93@gmail.com</u>	E-Mail	<u>jeff.wolf@nexcourt.com</u>

## NOTARY VERIFICATION [REQUIRED]

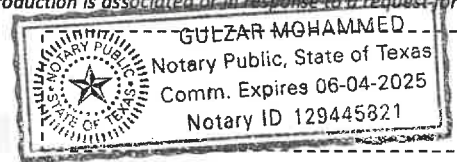
Before me, the undersigned authority, on this day personally appeared RAFAEL BLAZ HIDALGO [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 14<sup>th</sup> day of SEP, 2023. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14<sup>th</sup> day of SEP, 2023.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires 06/04/2025





Z2023-047: Specific Use Permit (SUP) for 1400 Ridge Road

0 30 60 120 180 240 Feet

S ALAMO RD

SF-10

RIDGE RD  
740

PD-1

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

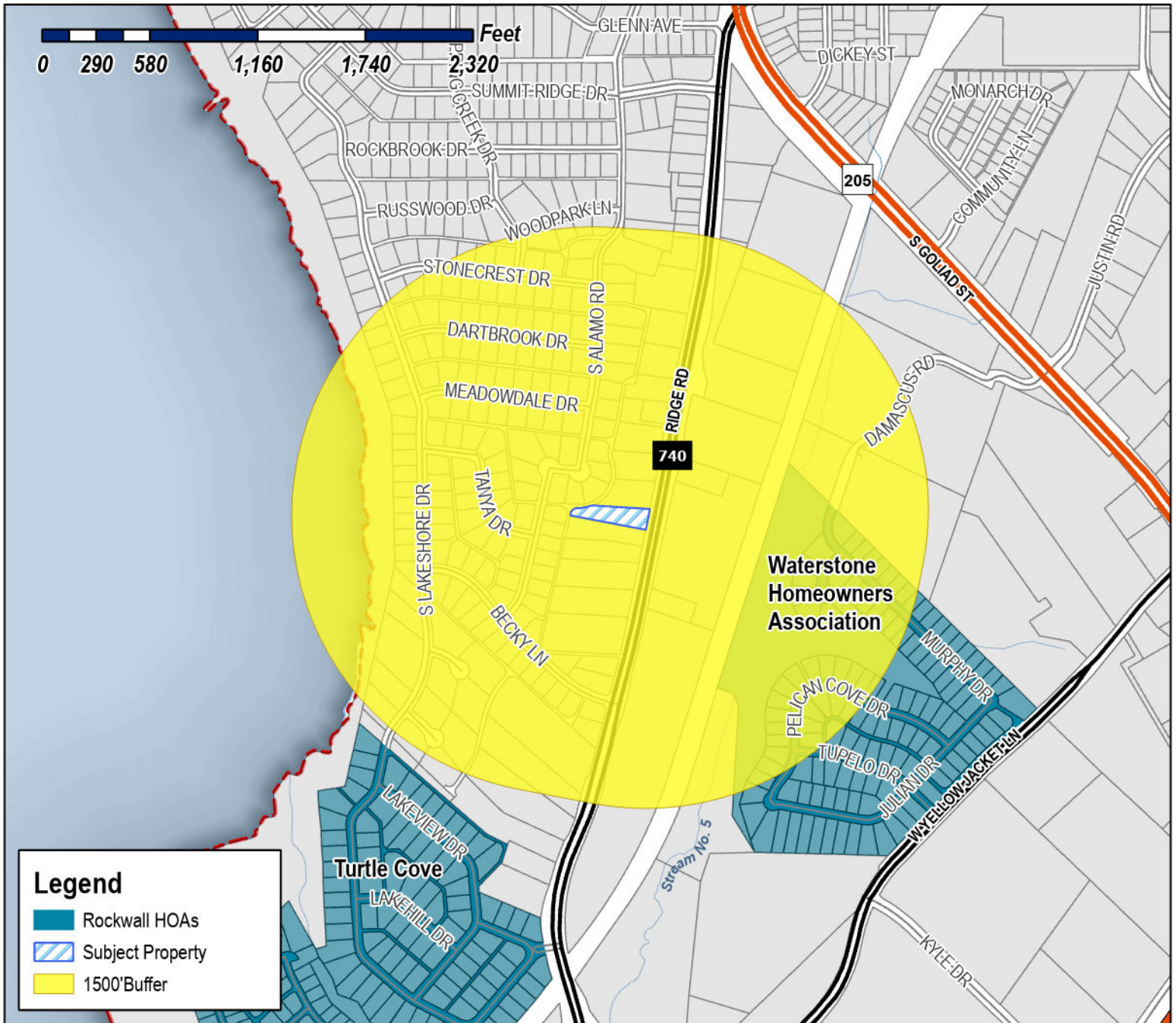




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2023-047  
**Case Name:** SUP for 1400 Ridge Road  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10)  
**Case Address:** 1400 Ridge Road

**Date Saved:** 9/15/2023  
 For Questions on this Case Call (972) 771-7745



## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Friday, September 22, 2023 10:32 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-047]  
**Attachments:** Public Notice (P&Z) (09.18.2023).pdf; HOA Map (09.19.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *September 22, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 16, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-047: SUP for Private Tennis Court**

Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a *Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

Thank You,

***Melanie Zavala***

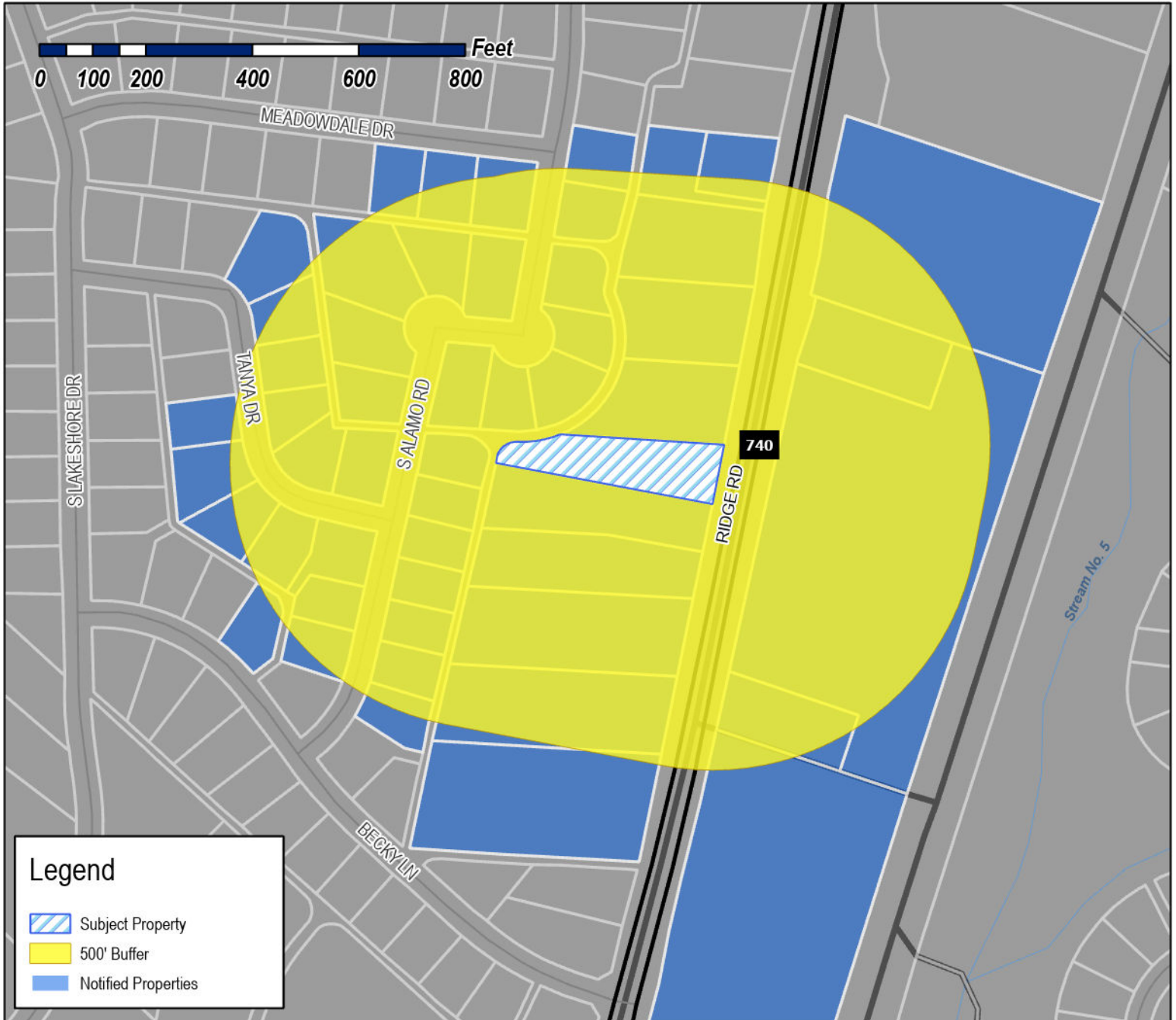
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-047  
**Case Name:** SUP for Private Tennis Court  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 1400 Ridge Road



**Date Saved:** 9/15/2023

For Questions on this Case Call: (972) 771-7746

HFS MANAGEMENT INC  
C/O HANNA SAHLIYEH  
122 W JOHN CARPENTER FWY STE 400  
IRVING, TX 75039

RESIDENT  
1301 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1306 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1308 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1309 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1309 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1312 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1316 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1400 RIDGE RD  
ROCKWALL, TX 75087

MASON RONALD E & GLORIA M  
1402 RIDGE RD  
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST  
MICHAEL WAYNE ROGERS AND RELLA  
VILLASANA ROGERS, TRUSTEES  
1404 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1405 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1406 RIDGE RD  
ROCKWALL, TX 75087

NORMAN LINDA  
1406-B RIDGE RD  
ROCKWALL, TX 75087

PADILLA OSCAR GAMALIEL AND MELISSA  
AZUSENA  
1408 RIDGE ROAD  
ROCKWALL, TX 75087

ARCINIEGA MARK K  
1423 S ALAMO ROAD  
ROCKWALL, TX 75087

PINNELL LIVING TRUST  
CHARLES CRAIG PINNELL AND CATHY JENELL  
PINNELL  
1425 S ALAMO RD  
ROCKWALL, TX 75087

HAIRE HELENA GAIL  
1425 SAW RD  
CHINA GROVE, NC 28023

RESIDENT  
1505 S ALAMO RD  
ROCKWALL, TX 75087

GREEN KRIS  
1507 S ALAMO RD  
ROCKWALL, TX 75087

HERBST LONNIE & AMY  
1509 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1510 S ALAMO RD  
ROCKWALL, TX 75087

BARRETT HOWARD & MARVALEE  
1511 S ALAMO RD  
ROCKWALL, TX 75087

SCROGGS JUSTIN D  
1512 S ALAMO RD  
ROCKWALL, TX 75087

BALLI DAVID OMAR AND EMILY FARRIS  
1514 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1515 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1516 S ALAMO RD  
ROCKWALL, TX 75087

GREEN TARA D AND  
JULIA R MCKINNEY  
1518 SOUTH ALAMO ROAD  
ROCKWALL, TX 75087

WEDDLE TRUST  
JOHN C WEDDLE AND PAULETTE S WEDDLE  
TRUSTEES  
1601 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1603 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1605 ALAMO RD  
ROCKWALL, TX 75087

BATTEN NANCY L  
1606 S ALAMO RD  
ROCKWALL, TX 75087

MASON PATRICK AND JANEL R  
1607 ALAMO RD  
ROCKWALL, TX 75087

PITTO OSHRI  
1608 SOUTH ALAMO ROAD  
ROCKWALL, TX 75087

WEBB BILLY AND PEGGY  
1609 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1610 ALAMO ST  
ROCKWALL, TX 75087

CHILDS WILLIAM C & SHERYL L  
1611 S ALAMO RD  
ROCKWALL, TX 75087

MORGAN PAUL RICHARD  
1613 S ALAMO ROAD  
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC  
16600 DALLAS PARKWAY SUITE 300  
DALLAS, TX 75248

T ROCKWALL PHASE 2 LLC  
16600 DALLAS PKWY SUITE 300  
DALLAS, TX 75248

VANCE JASON L & DASHA  
202 TANYA DR  
ROCKWALL, TX 75087

RESIDENT  
203 TANYA DR  
ROCKWALL, TX 75087

HERRIN MARVIN ET UX  
203 MEADOWDALE DR  
ROCKWALL, TX 75087

RICHARDSON RANDAL & BARBARA  
204 TANYA DR  
ROCKWALL, TX 75087

DICKSON JUDITH TAYLOR & KENNETH D  
205 MEADOWDALE DR  
ROCKWALL, TX 75087

BARNETT DEYSI  
205 TANYA DR  
ROCKWALL, TX 75087

KELLEY STEPHAN BRANT & VIVIANA ELIZABETH  
206 TANYA DRIVE  
ROCKWALL, TX 75087

OEHLER GREGORY M & KATHRYN A  
207 TANYA DR  
ROCKWALL, TX 75087

PERRY RICHARD L  
208 TANYA DR  
ROCKWALL, TX 75087

BOUNDS JOY  
209 TANYA DR  
ROCKWALL, TX 75087

FLOYD DOROTHY RHEA  
210 TANYA DR  
ROCKWALL, TX 75087

BREWER GLENDA O  
212 TANYA DR  
ROCKWALL, TX 75087

BOBST DANIEL W AND JENNIFER L  
2701 SUNSET RIDGE SUITE 610  
ROCKWALL, TX 75032

KAPRANTZAS VICTORIA J  
2748 MIRA VISTA LN  
ROCKWALL, TX 75032

PHILIP ALWIN  
279 ASHWOOD LN  
SUNNYVALE, TX 75182

PHILIP ALWIN  
279 ASHWOOD LN  
SUNNYVALE, TX 75182

VILLA PEDRO E  
302 BECKY LN  
ROCKWALL, TX 75087

PEOPLES J P & B W JR  
302 S GOLIAD SST  
ROCKWALL, TX 75087

PEOPLES J PHILIP AND  
BILLY W PEOPLES JR  
311 HIGHLAND DRIVE  
ROCKWALL, TX 75087

RPSC ROCKWALL PROPERTIES LLC  
3201 E PRESIDENT GEORGE BUSH HIGHWAY  
SUITE 101  
RICHARDSON, TX 75082

ROCKWALL COMMONS LLC  
341 VERACLIFF CT  
OVIEDO, FL 32765

BURNS LORRAINE MARIETTI  
403 W WASHINGTON ST  
ROCKWALL, TX 75087

OPENDOOR PROPERTY TRUST I  
410 N SCOTTSDALE RD STE 1600  
TEMPE, AZ 85281

WADE KENNETH AND DEBBIE  
4760 SECRET COVE  
ROCKWALL, TX 75032

LONGRUN HOLDINGS LLC SERIES B  
5941 GLENDOWER LANE  
PLANO, TX 75093

TURCIOS MILTON NOE AND  
JUAN RAMON TURCIOS  
7227 HILLSHIRE LANE  
SACHSE, TX 75048

LYLE WILLIAM M JR & ERICA  
9605 ARDEN DR  
ROCKWALL, TX 75087

CRUSE ROBERT B JR AND MARGARET A  
P. O. BOX 2468  
ROCKWALL, TX 75087

SLAUGHTER RICHARD E JR  
PO BOX 1717  
ROCKWALL, TX 75087

BURKE CASEY JOE AND ANDREA GAYDEN  
PO BOX 2514  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-047: SUP for Private Tennis Court**

*Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.*

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-047: SUP for Private Tennis Court**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



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Please place a check mark on the appropriate line below:

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- I am opposed to the request for the reasons listed below.

LIGHTS + NOISE  
TOO CLOSE TO OTHER HOUSES  
RENTAL PROPERTY - NO ONE TO SUPERVISE OR COMPLAIN TO.

Name: **BILLY WEBB**  
Address: **1609 S. ALAMO RD. 75087**

Tex. Loc. Gov. Code. Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The lights from a private court will disturb the neighbors & cause excess noise. This property is being turned into a large Airbnb & the private court will be used by people who have nothing vested in the community.

Name: Carly S Farrelly

Address: 1505 S Lakeshore Dr Rockwall, TX

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

\* Short term rental overboks the neighborhood + nothing between this property + the houses below; \* traffic; \* alleyway as a thoroughfare; \* NOISE; \* close proximity of party barn to residential homes; \* potential disruptive behavior; \* pickle ball court - the game is loud; the property is able to hold more than the 16 guests as advertised - major parking issues.

Name:

Charles + Cathy Pinnell *cpinnell* *cpinnell*

Address:

1425 South Alamo Rd. Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

*We don't want this — lights, noise, etc.*

Name: *Colby Purcell + Ron Purcell*

Address: *211 Tanya Dr. Rockwall*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-047

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

1) P&Z Development document does not indicate if tall court lighting is to be installed; which would interfere with neighboring properties at night. 2) SUP is marked "Private" tennis court: P&Z needs to prove and publish that this is not a short term rental. Activities at Outdoor facilities at short-term rentals interfere at night with neighboring properties and degrade residential property values.

## Respondent Information

Please provide your information.

## First Name \*

Greg

Last Name \*

Oehler

Address \*

207 Tanya Drive

City \*

Rockwall

State \*

Tx

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms

## Ross, Bethany

---

**From:** Dosha Vance <[REDACTED]>  
**Sent:** Wednesday, September 27, 2023 9:44 AM  
**To:** Ross, Bethany  
**Subject:** Z2023-047: SUP for Private Tennis Court

Hello Ms. Ross,

This email is to serve as our objection to the tennis/pickle ball court SUP application.

We oppose this permit due to noise and light pollution this would bring to the immediate neighbors, including ourselves.

Thank you for your time,

Jason & Dosha Vance  
[REDACTED]

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

- NOISE POLLUTION TO IMMEDIATE NEIGHBORS, INCLUDING US
- LIGHT POLLUTION FROM OVERHEAD COURT LIGHTS
- LACK OF SUPERVISION OF TOURNAMENTS / PARTIES

Name: JASON + DOSHA VANCE  
Address: 202 TANYA DR ROCKWALL TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

NOISE FROM COURT & SURROUNDING AREA  
PROXIMITY TO OTHER HOMES, INCLUDING MINE  
NO SUPERVISION (RENTAL PROPERTY)  
PLEASE NO LIGHTS!

Name:

JOHN + PAULETTE WEDDLE

Address:

1601 S. ALAMO RD.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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**Case No. Z2023-047: SUP for Private Tennis Court**

**Please place a check mark on the appropriate line below:**

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Primarily because of the potential noise factor in a residential, single-family neighborhoods. It is my understanding that Rockwall has no noise restrictions other than the number of decibels. That means that with lights blaring (almost regulated, to my knowledge), tennis or pickleball could be played into the wee hours of the night as long as under decibel limit. There is not even a fence around the property in question to deflect some of the noise and/or bright lights.

Name: long as under decibel limit. There is not even a fence around the property in

Address: question to deflect some of the noise and/or bright lights.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Judy Jackson

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-047: SUP for Private Tennis Court**

Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

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**Bethany Ross**

Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP  
Director of Planning & Zoning

USE THIS QR CODE  
TO GO DIRECTLY  
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

*Our quiet family neighborhood does not need this "various home business." The lights, noise, 16+ guest house activity does not foster family living. The safety and security of our neighborhood will be compromised,*

Name: *Joy & Wilson D. Murphy*

Address: *209 TANYA DR., ROCKWALL, TX. 75087*

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*Please Vote NO! Keep our neighborhood safe.*

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**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*We are opposed to the Specific Use Permit, as Pickleball Courts create noise and unwanted activity in the area. We are aware that this is an amenity to the property being an Air B&B, which we also oppose, due to the fact that it invites traffic, noise, and other unwanted activity in our neighborhood.*

Name: *Kris & Cori Green*  
Address: *1507 S. Alamo Rd.*

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**Case No. Z2023-047: SUP for Private Tennis Court****Please place a check mark on the appropriate line below:** I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.

1. Lightings of the court spilling over into the neighborhood -
2. Excessive sounds from the court -
3. Close proximity of the court to our houses -
4. No regulations for hours of use in a ~~residential~~ residential zone -

Name:

Lynise &amp; Amy Herbst

Address:

1500 S. Alamo Rd., Rockwall, TX 75087.

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**Case No. Z2023-047: SUP for Private Tennis Court**

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I am in favor of the request for the reasons listed below.

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*The proposed court is basically right in my backyard. Too close!! so the noise will be a problem for us and our neighbors, as well as the lighting. My hope is that you will consider if you would want it in your yard - You could be next. This has always been a family neighborhood and we would like to keep it that way. Thank you!*

Name: *Madison & Erica Lyle*  
Address: *1403 S. Alamo Rd, Rockwall, Tx 75087*

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Name: Madison & Erica Lyle  
Address: 1403 S. Alamo Rd, Rockwall, Tx 75087

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### Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

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 I am opposed to the request for the reasons listed below.

If the house in question is wanting to build a Pickle Ball court and turn the house into a B+B or an Air B+B We are firmly against it. Our area has already voted against the adjoining property being Re-Zoned for Business making a profit. It would bring in undesirable Party People. Dallas doesn't like it.

Name: Marvin + Phyllis Herrin

Address: 203 Meadowdale Drive

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September 22,2023

Mr. Derek Deckard, Chairman and Members  
Planning & Zoning Commission  
c/o Mr. Ryan Miller, AICP, Director of Planning  
385 South Goliad  
Rockwall, Texas

**RE: 1400 Ridge Road, Rockwall, Texas**

Dear Mr. Deckard, Commission Members and Mr. Miller:

My husband and I will be out of town and unable to attend the Oct 10th meeting and the November 16th City Council meeting therefore we are sending this letter with our concerns. Our home is located at 1404 Ridge Rd., and we are one residential property away from **1400 Ridge Rd.** We were recently contacted by a neighbor concerning this property and two issues. The first issue is the construction of a pickle ball court at 1400 Ridge Rd. and the second issue (same property) becoming a short-term rental (similar to an Airbnb or Bed and Breakfast).

I realize the purpose of this meeting is to focus on the construction of the pickle ball court; however, we cannot fail to mention the potential future use in order to make a realistic judgement on the current issue before the commission. The short-term rental property will have a dramatic impact on how the pickle ball court will be operated. This court will not be used like a single family-owned residential property, it will be used commercially as a business asset. There will be an onslaught of strangers, people we know nothing about - basically tourists. Our concerns are as follows:

- The court will increase noise in our neighborhood as pickle ball is a much louder sport than tennis. This is going to destroy the serenity of our property and our neighbors.
- The footprint for the pickle ball court is adjacent to a large garage (barn type) building on the property. Both the garage and court could possibly be used for a live entertainment area. There are no guarantees once constructed that it will be used as a pickle ball court.
- The construction will be an eye sore.
- Lighting for the court will be invasive for a residential area.
- The value of our home and our neighbor's home will be at risk. No one wants to live next to a pickle ball court and possibly a party house.

Who is going to oversee its use once the construction is complete? The answer is no one. Once the structure is complete there will be no accountability. If the owner did not obtain the required permit prior to construction, then the track record for responsible ownership is not starting off well!

Per an earlier discussion with Mr. Ryan Miller, he stated that Rockwall does not have any ordinances or restrictions in place for short term rentals in Rockwall. But you do have the designation "Bed and Breakfast" which is either not permitted or limited by a Specific Use Permit in residential areas. In fact, the abbreviation for Airbnb stands for air mattress bed and breakfast. With all the bad publicity about short term rentals in Dallas, the real question is do we want this in Rockwall for our neighborhoods?

Our neighborhood has well maintained properties, we have paid property taxes and some of us have paid business taxes for decades. Please consider the detrimental effect this pickle ball court and the short-term rental is bringing to our homes in this neighborhood. The renters that rent this 5000 plus square foot home are going to have the finances to not be concerned about losing a huge deposit due to damages to this house or property and they certainly are not going to be concerned about how this impacts our neighborhood. I guarantee you this will turn into a party house and ruin our neighborhood.

Sincerely,

Mr. and Mrs. Michael and Rella Rogers

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1404 RIDGE RD.  
ROCKWALL, TX. 75087

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### Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Loud noise, bright lights, neighborhood disruption, neighborhood safety, there will be absolutely no accountability from the city after this pickle ball court is built (SEE ATTACHED LETTER)

Name: Mike & Rella Rogers

Address: 1404 Ridge Rd, Rockwall TX 75087

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Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The extremely bright lights the courts will require - the loud noises & voices that will accompany this venue, not to mention the music, etc. - This is a single family, quiet neighborhood & that's why we are here & not a commercial area.

Name:

Richard & Karen Perry

Address:

208 Junya Drive

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-047: SUP for Private Tennis Court**

*Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 16, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for opposition.

Name: RICHARD SLAUGHTER  
Address: 1515 S ALAMO RD

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

No Control + Monitoring of Property - No owner onsite  
Noise level  
location to other houses in the neighborhood  
Traffic

Name: Tara Green + Julia McKinney  
Address: 1519 S. Alamo Rd Rockwall, TX 75087

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

*Vivi i Steve Kelley  
206 Tanya Drive  
Rockwall, TX. 75087*

- 1.) Lighting at the facility will disturb local residents during night time.
- 2.) Noise at late hours will disturb nearby residents and encourage unruly guests
- 3.) Low proposed per-unit/per-person rent will encourage unruly/disrespectful guests and potential drug and gang activity.

Name: *4.) Safety Issue: tennis balls hit out of the facility pose a personal*

Address: *and property hazard to nearby properties and persons.*

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Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

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I am opposed to the request for the reasons listed below.

NOISANCE CAUSED BY TALK, BRIGHT LIGHTS AT NIGHT  
NOISE DISTURBANCE IN GENERAL BUT ESPECIALLY AT NIGHT  
NO CONTROL / GOVERNANCE OR USE OF FACILITIES  
INCREASED AUTO + FOOT TRAFFIC, UNKNOWN

Name: **WILLIAM C CHILDS**

Address: **1611 S ALAMO, ROCKWALL, TX 75087**

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# Weekly menu

MON RON & MAXINE MASON

214-772-9610

TUE KACY & ANDREA BURKE

214-914-7174

WED RELLA & MIKE ROGERS

972-467-1015

THUR MADISON & ERICA LYLE

M - 972-965-9065

E - 972-965-9064

FRI

SAT

SUN

Rockwall, Texas

Z2023 - 047

Opposition to Special Use Permit (SUP) for Tennis and/or Pickle Ball Court

Resident Names:

<u>John G. Felder</u>	<u>1601 S. ALAMO RD.</u>
<u>Paulette Weddle</u>	<u>1601 S. ALAMO RD.</u>
<u>Mike Rogers</u>	<u>1404 RIDGE RD. (BY PROXY)</u>
<u>Rella Rogers</u>	<u>1404 RIDGE RD. (BY PROXY)</u>
<u>Madison Lyle</u>	<u>1603 S. ALAMO RD. (BY PROXY)</u>
<u>Erica Lyle</u>	<u>1603 S. ALAMO RD. (BY PROXY)</u>
<u>Coxley Pinnell</u>	<u>1425 S. Alamo Rd</u>
<u>Charles Pinnell</u>	<u>1425 South Alamo Road</u>
<u>Dosha Vance</u>	<u>202 Tanya Dr</u>
<u>Jason Vance</u>	<u>202 Tanya Dr</u>
<u>Emily Daughtee</u>	<u>1515 S. Alamo Rd.</u>
<u>Rubén A. Alvarado</u>	<u>1515 S ALAMO Rd</u>
<u>Billy Webb</u>	<u>1609 S ALAMO RD.</u>
<u>Diana Aunkhler</u>	<u>1609 S. ALAMO RD.</u>
<u>Kyle Green</u>	<u>1507 S. Alamo Rd.</u>
<u>Tam Green</u>	<u>1518 S. Alamo Rd.</u>
<u>Julie McKinney</u>	<u>1518 S Alamo Rd.</u>
<u>Cori Green</u>	<u>1507 S. Alamo Rd.</u>
<u>Angie Herbst</u>	<u>1509 So. Alamo Rd</u>
<u>Joe J. Herbst</u>	<u>1509 S. Alamo Rd.</u>

\* SIGNATURES BY PROXY EITHER HAVE TEXTS OR EMAILS  
SENDING THEIR SIGNATURES. AVAILABLE UPON REQUEST.



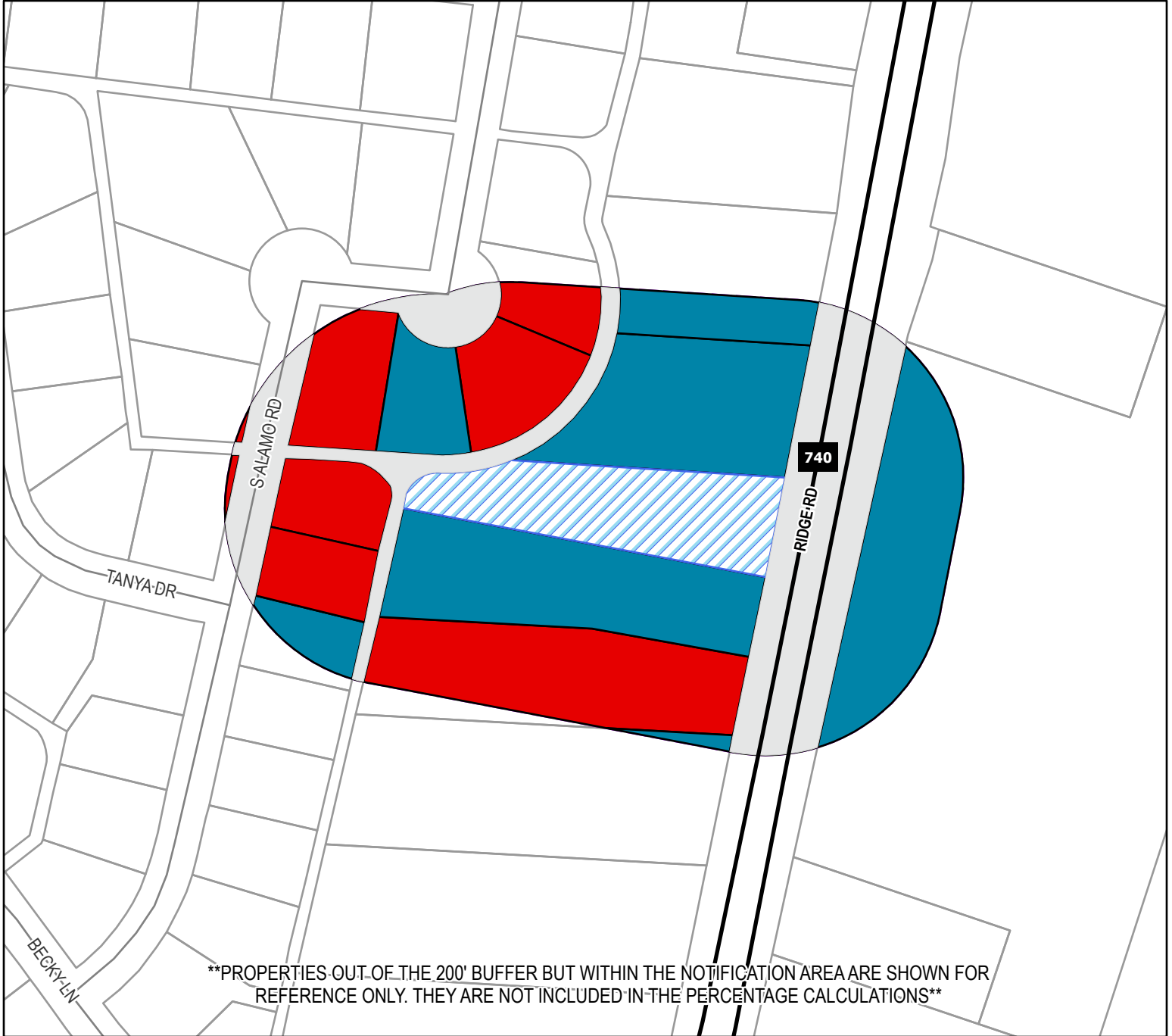









# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



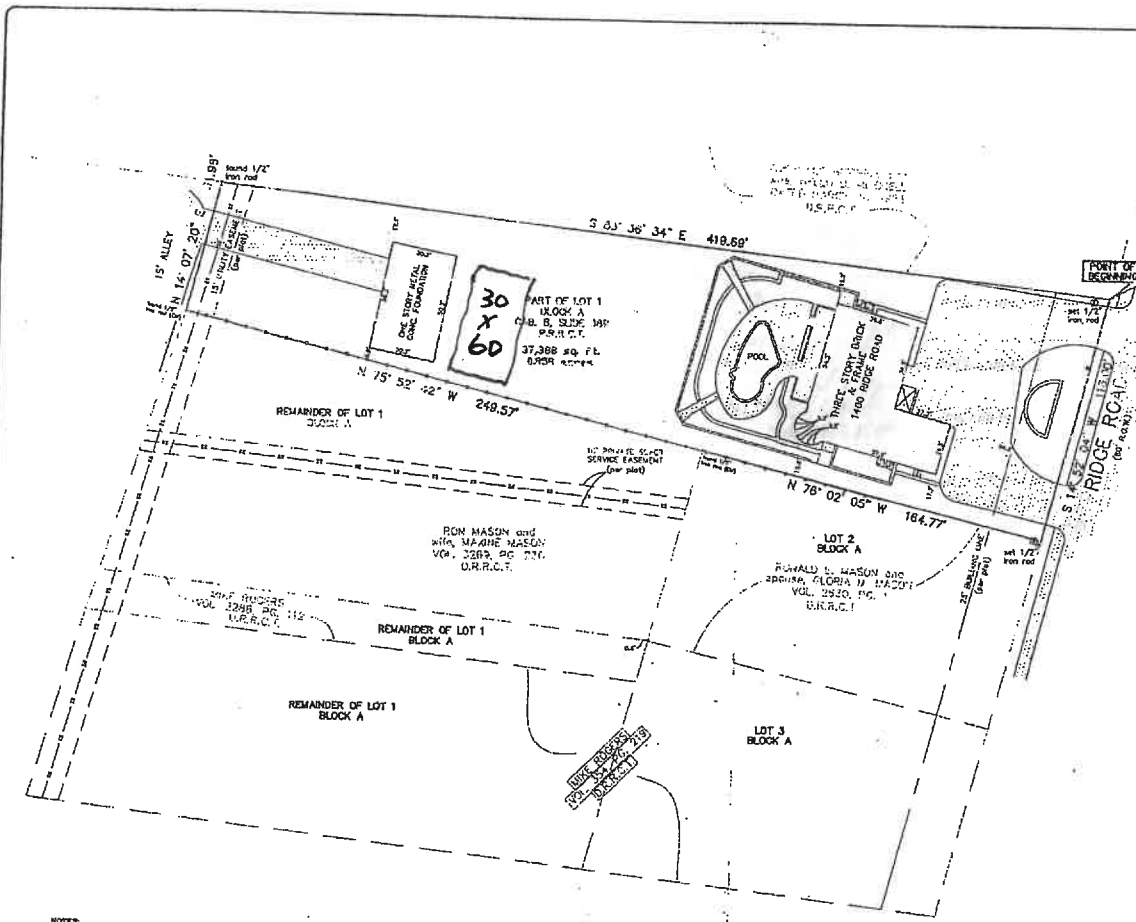
Z2023-047 SUP for Pickleball Courts at 1400 Ridge Road

-  Subject Property
-  AGAINST (2.21 Acres) 27.1%
-  NO RESPONSE (4.12 Acres) 50.3 %
-  ROW (1.85 Acres) 22.6%
-  FOR (0 Acres) 0%



**Date Created: 10/3/2023**

For Questions on this Case Call (972) 771-7745



**PROPERTY DESCRIPTION**  
 BEING a 0.836 of an acre tract situated in the Daniel Atkins Survey, Abstract No. 1, in Rockwall County, Texas, and being a part of Lot 1, Block A of Carroll Estates, as addition to the City of Rockwall, Rockwall County, Texas, according to the revised plat, recorded in Slide B, Page 289, Map Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod set for corner, said corner being the Northwest corner of said Lot 1 and being the Southeast corner of a tract of land conveyed to Owen Lee Mitchell and wife, Helen D. Mitchell by deed dated March 20, 1934, Deed Records, Rockwall County, Texas and also lying in the West right-of-way line of Ridge Road (an 80 foot right-of-way):

THENCE South 14 degrees 02 minutes 04 seconds West along the common line of said Lot 1 and West right-of-way line of said Ridge Road, a distance of 118.90 feet to a 1/2 inch iron rod set for corner, said corner being the most Easterly Southeast corner of said Lot 1, the Northeast corner of Lot 2 of said Block A and also lying in the West right-of-way line of said Ridge Road, same also being the Northeast corner of a tract of land conveyed to Donald E. Mason and spouse, Glavin M. Mason by deed recorded in Volume 2830, Page 1, Deed Records, Rockwall County, Texas;

THENCE North 78 degrees 03 minutes 05 seconds West along the most Easterly South line of said Lot 1, same being the common line of said Lot 2 and said Mason tract, a distance of 161.77 feet to a 1/2 inch iron rod found for corner, said corner being an old corner of said Lot 1, the Northwest corner of said Lot 2 and said Mason tract and also being the Northwest corner of a tract of land conveyed to Ron Mason and wife, Maxine Mason by deed recorded in Volume 3228, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 73 degrees 52 minutes 42 seconds West along the North line of said Mason tract (Vol. 2838, Pg. 250), a distance of 249.57 feet to a 1/2 inch iron rod found for corner, said corner being the Northwest corner of said Mason tract (Vol. 2838, Pg. 250), the East line of said Lot 1 and also lying in the East line of a 15 foot alley right-of-way;

THENCE North 14 degrees 07 minutes 20 seconds East along the common line of said Lot 1 and said alley right-of-way, a distance of 41.88 feet to a 1/2 inch iron rod found for corner, said corner being the Northwest corner of said Lot 1, the Northeast corner of said alley right-of-way and also lying in the North line of said Mitchell tract;

THENCE South 63 degrees 25 minutes 30 seconds East along the common line of said Lot 1 and said Mitchell tract, a distance of 418.88 feet to the POINT OF BEGINNING and containing 37,288 square feet or 0.836 of an acre of land.

THIS IS TO DECLARE that on this date a survey was made on the ground under my direction and supervision of the above described tract of land.  
 There are no visible monuments, visible evidence of easements or right-of-way, or prohibitions except as shown, and that this data the easements, right-of-way or other locatable matters of record of which the undersigned has knowledge or has been advised are as shown or noted hereon.  
 The subject property does not appear to be within the limits of a 100-year flood hazard zone according to the Map published by the Federal Emergency Management Agency, and has a Zone "X" Rating as shown by Map No. 48115G0000 J, dated AUGUST 22, 2001. This statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This Survey is not to be used for construction purposes and is for the exclusive use of Rockwall County Abstract A Title Company only and this survey is made pursuant to that one certain title commitment under the CF number 800010312, provided by the title company named herein.

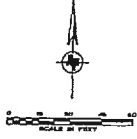
**NOTES**  
 CM - CONTROLLING MONUMENT.  
 SURVEY PROPERTY IS NOT ATTACHED BY THE FOLLOWING:  
 1st - EASEMENT TO T.F. & L. CO. RECORDED IN VOLUME 33, PAGE 440, B.R.R.C.T.  
 2nd - EASEMENT TO CITY OF ROCKWALL RECORDED IN VOLUME 04, PAGE 660, B.R.R.C.T.  
 ALL SET BACK ROOFS HAVE A PLASTIC CAP STAMPED "PRECISE LAND SURV."  
 THE BEARINGS FOR THIS SURVEY ARE BASED ON ELEV MEASURED IN GROUND B, SLIDE 389, P.I.R.C.T. (THE MOST SOUTHWEST EAST LINE OF LOT 1)

COPYRIGHT © PRECISE LAND SURVEYING, INC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS SURVEY WITHOUT THE ORIGINAL SIGNATURE OF BLOCK OR ARE NOT VALID.

DAVID A. SMITH SURVEYING, INC.  
 A DIVISION OF  
 PRECISE LAND SURVEYING, INC.  
 2111 W. WYOMING  
 FORT WORTH, TEXAS 76102  
 (817) 342-1111  
 FAX (817) 342-1112  
 WWW.PRECISELANDSURVEYING.COM

**LEGEND**

—	1" = 100' SCALE	⊙	CONCRETE CURB
---	2" = 100' SCALE	⊙	CONCRETE CURB
---	3" = 100' SCALE	⊙	CONCRETE CURB
---	4" = 100' SCALE	⊙	CONCRETE CURB
---	5" = 100' SCALE	⊙	CONCRETE CURB
---	6" = 100' SCALE	⊙	CONCRETE CURB
---	7" = 100' SCALE	⊙	CONCRETE CURB
---	8" = 100' SCALE	⊙	CONCRETE CURB
---	9" = 100' SCALE	⊙	CONCRETE CURB
---	10" = 100' SCALE	⊙	CONCRETE CURB
---	11" = 100' SCALE	⊙	CONCRETE CURB
---	12" = 100' SCALE	⊙	CONCRETE CURB
---	13" = 100' SCALE	⊙	CONCRETE CURB
---	14" = 100' SCALE	⊙	CONCRETE CURB
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---	24" = 100' SCALE	⊙	CONCRETE CURB
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---	26" = 100' SCALE	⊙	CONCRETE CURB
---	27" = 100' SCALE	⊙	CONCRETE CURB
---	28" = 100' SCALE	⊙	CONCRETE CURB
---	29" = 100' SCALE	⊙	CONCRETE CURB
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---	40" = 100' SCALE	⊙	CONCRETE CURB
---	41" = 100' SCALE	⊙	CONCRETE CURB
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---	47" = 100' SCALE	⊙	CONCRETE CURB
---	48" = 100' SCALE	⊙	CONCRETE CURB
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---	56" = 100' SCALE	⊙	CONCRETE CURB
---	57" = 100' SCALE	⊙	CONCRETE CURB
---	58" = 100' SCALE	⊙	CONCRETE CURB
---	59" = 100' SCALE	⊙	CONCRETE CURB
---	60" = 100' SCALE	⊙	CONCRETE CURB



**BOUNDARY SURVEY**  
 1400 RIDGE ROAD  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS  
 0.832 OF AN ACRE  
 DANIEL ATKINS SURVEY,  
 ABSTRACT NO. 1



The Top Rated NextGen Series Gets Better! The NextGen III Series has 140+ Lumens per Watt, bigger VP driver and is DLC 5.1 Premium Rated! New pop open Compartment for fast access and optional easy twist in Motion Sensor that can be programmed by a remote.



P/N: RGL-NEXTGEN3-150JT3A1-abcdef

Note:

AST= Rugged Grade Lighting

NEXTGEN 3= Product series, LED Shoebox Light

150= Rating Power

J= LED manufacturer, Bridgelux

T3= Diffuser light angle type, TYPE III

A1= Version number

"a" can be any two letters to represent lamp colors;

"b" can be "AM", "DM", "YM", "A&D" or "FM" to represent Mounting Means;

"c" can be "DMS1", "DMS2", "DPS1", "DPS2", "DP" for DC Sensor type or blank for no sensor provided;

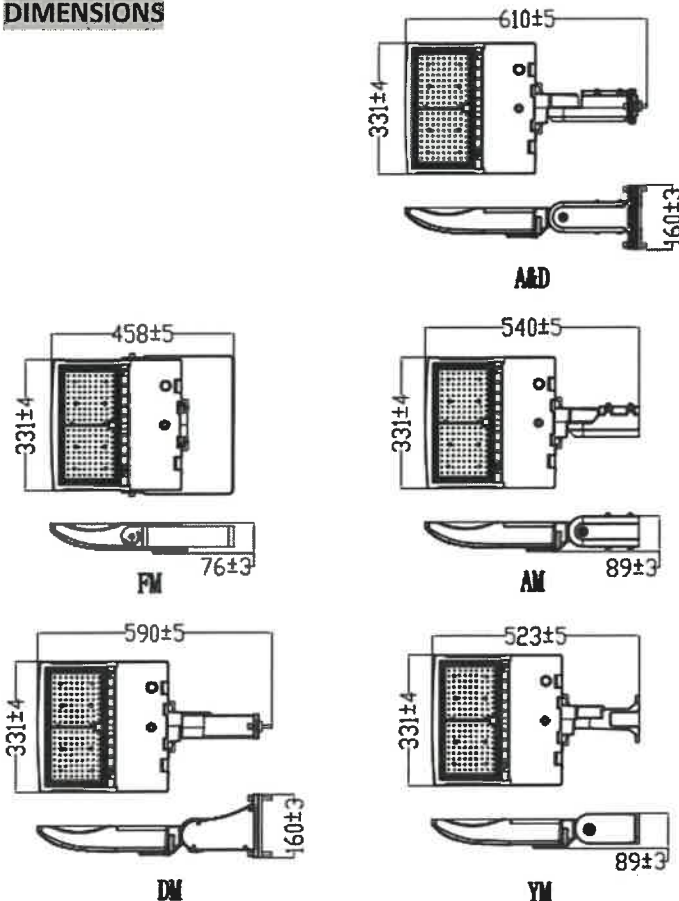
"d" can be "10SP" or "20SP" for Surge-Protective Device type provided or blank for no Surge-Protective Device provided;

"e" can be any numbers to represent CCT;

"f" can be "3RP", "3NP", "5RP", "5NP", "7RP" or "7NP"

for Photocontrol type provided or blank for no Photocontrol provided.

### DIMENSIONS



### ADVANTAGE

- UL cUL DLC-V5.1(Premium) certificate.
- Bridgelux Chip, high CRI.
- Input voltage 120-277VAC.
- Output constant current level can be adjusted through output cable with 0-10V.
- No UV or IR in the beam.
- Easy to install and operate.
- Energy saving, long lifespan.
- Light is soft and uniform, safe to eyes.
- Instant start, NO flickering, NO humming.
- Green and eco-friendly without mercury.

### APPLICATION

- Outdoor basketball court, tennis court.
- Badminton court, the football field.
- The school playground, stadium.
- Community leisure entertainment plaza, road lamp etc.

**SPECIFICATIONS**

<b>OPTICAL</b>	Input Power (Tolerance : ±10%)	150W					
	Color Temperature	3000K	3500K	4000K	4500K	5000K	5700K
	Lumen (Tolerance : -10%)	19500L	20250LM	21000L	21000LM	21000LM	20250LM
	Efficacy (Tolerance : -3%)	130LM/	135LM/W	140LM/	140LM/	140LM/	135LM/
	CRI	>70					
	Color Consistency	<6 Steps (or <6 SDCM)					
	BUG	B3-U0-G4					
	Distribution Pattern	Type III					
Beam Angle (50%) (Tolerance :	155*120 Degree						
<b>ELECTRICAL</b>	Input Voltage and Frequency	120-277Vac,50/60Hz					
	PF (Tolerance : -3%)	≥0.9					
	THD (Tolerance : +5%)	≤20%					
	Flicker Percent	<5%					
	Driver Brand	Rugged Grade Lighting					
	Driver Model	Sosen VP Driver with controls and 10KV surge					
	Driver Surge protection	L/N-PE: 10kV, L-N:6kV					
	Dimming	0-10V dimming standard					
	Optional Accessory	Photocontrol, Surge-protective Device, Motion Sensor					
<b>MATERIALS</b>	LED Brand	Bridgelux					
	LED Type	SMD3030 – 100,000+ hour LEDs					
	LED QTY	189PCS					
	Housing	Die-cast aluminum					
	Housing Color	Brown, Black, or Customized					
	EPA	1.32ft <sup>2</sup>					
	Waterproof Rating	WET (IP65)					
<b>OTHERS</b>	Operating Temperature	Without Motion Sensor: -40°C TO 50°C; With Motion Sensor: -35°C TO					
	Storage Temperature	-40°C TO 80°C					
	Operating Humidity	20% - 90% RH					
	Storage Humidity	10% - 95% RH					
	Warranty	7 years warranty with unlimited operating hours					



Product ID: PLLKEJALNR33



## RGL-NEXTGEN3-150JT3A1-abc[10SP;20SP]50f

Manufacturer: RuggedGrade

### PRODUCT OVERVIEW

<b>Model Number</b>	RGL-NEXTGEN3-150JT3A1-abc[10SP;20SP]50f
<b>Product ID</b>	PLLKEJALNR33
<b>QPL</b>	Solid State Lighting
<b>Manufacturer</b>	RuggedGrade
<b>Brand Name</b>	RuggedGrade
<b>Primary Use</b>	Outdoor Pole/Arm-Mounted Area and Roadway Luminaires
<b>DLC Family Code</b>	EMWAFI
<b>Listing Status</b>	Listed
<b>Date Qualified</b>	2021-08-17

### PRODUCT INFORMATION

<b>Qualified Product List</b>	Solid State Lighting
<b>Technical Requirements Version ①</b>	5.1
<b>Product ID ①</b>	PLLKEJALNR33
<b>Manufacturer ①</b>	RuggedGrade
<b>Brand</b>	RuggedGrade
<b>Model Number</b>	RGL-NEXTGEN3-150JT3A1-abc[10SP;20SP]50f
<b>Parent ①</b>	No
<b>Classification ①</b>	Premium

### PRODUCT CATEGORIZATION [VIEW DETAILS](#)

### PRODUCT CAPABILITIES [VIEW DETAILS](#)

### REPORTED PHOTOMETRIC PERFORMANCE

<b>Reported Backlight (TM-15 BUG) ①</b>	3
<b>Reported Uplight (TM-15 BUG) ①</b>	0
<b>Reported Glare (TM-15 BUG) ①</b>	4
<b>Reported Light Output ①</b>	20707.4 lm
<b>Reported Efficacy (AC) ①</b>	138.39 lm/W
<b>Reported CCT ①</b>	5000 K
<b>Reported CRI (Ra) ①</b>	70

## LIGHT DISTRIBUTION TESTING PARAMETERS

### Luminaire Property

Luminaire Manufacturer:  
 Luminaire Category:  
 Lamp Catalog:  
 Number of Lamps:  
 Luminous Length (mm):  
 Luminous Height (mm):  
 Current: 1.245 A  
 Power Factor: 0.998

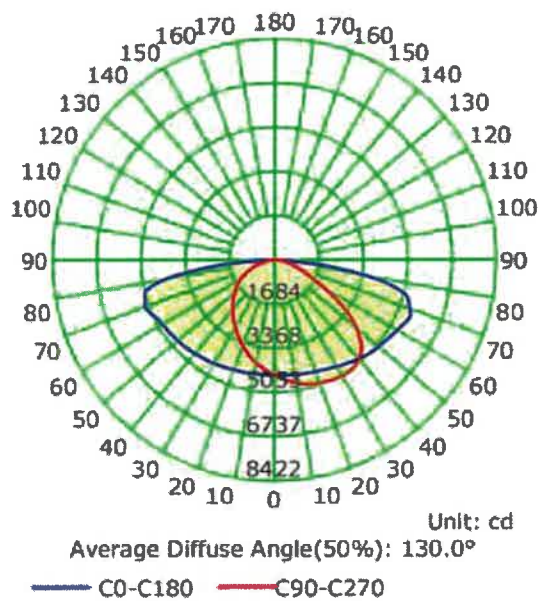
Luminaire Description:  
 Lamp Description:  
 Lumens per Lamp:  
 Luminous Width (mm):  
 Voltage: 120.0 V  
 Power: 149.28 W

### Photometric Results

IES Classification: Type IV  
 Total Rated Lamp Lumens: 19746.7 lm  
 Efficiency: 100%  
 Upward Ratio: 0%  
 C0r0 Intensity: 4393.15 cd  
 Pos of Max. Intensity: H22.5 V69

Longitudinal Classification: Medium  
 Measurement Flux: 19746.7 lm  
 Downward Ratio: 100%  
 Luminaire Efficacy Rating (LER): 132.33  
 Max. Intensity: 6737.67 cd

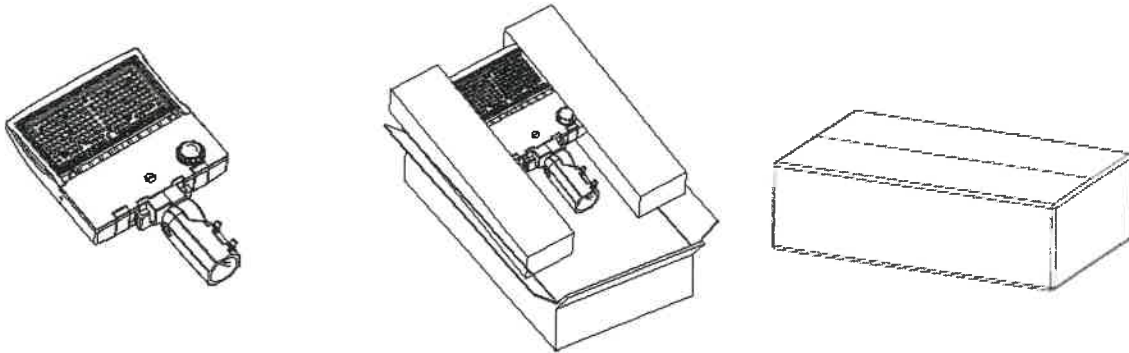
Luminous Intensity Distribution Curve



**PACKAGE**

Bracket Type	Carton Size	Qty / Carton	Net Weight / Carton	Gross Weight / Carton
AM	690*380*155MM	1 PC	5.97 KG	6.72KG
DM	690*380*155MM	1 PC	6.43KG	7.18KG
YM	690*380*155MM	1 PC	5.87KG	6.62KG
A&D	690*380*155MM	1 PC	6.83KG	7.58KG
FM	645*405*155MM	1 PC	5.49 KG	6.19KG

Tolerance of Carton Size: ±15 MM, Tolerance of Weight: ±10%.





**NOTICE FOR USER**

- Please turn off power before install or change assembly parts.
- The input voltage and lamps should be matched, after connecting the power line, Please make sure the wiring section is insulated.
- Non-professionals, must not install and disassemble the lamps.

**TROUBLE SHOOTINGS**

Issue	Check points
Light Flickers	Check all wiring for disconnections, shorts and burnt wiring and connections. Confirm steady input voltage to the light fixture, fluctuating input voltage will harm the LED driver and can lead to premature failure. Lights with photocells can have photocell tag from ambient light or light reflecting back at the sensor. Simply cover the photocell completely and see if flickering continues while the photocell is covered. Call Tech Support for help if none of the above solves the issue.
Light does not work at all.	Check all wiring for disconnections, shorts and burnt wiring and connections. Confirm steady input voltage to the light fixture, fluctuating input voltage will harm the LED driver and can lead to premature failure. If input voltage is not in the voltage range of the fixture, you will need to find the source of your input voltage issue. Call Tech Support for help if none of the above solves the issue.

For more technical information, install questions, troubleshooting help or warranty claims, we have a dedicated US Tech and Customer Support Team to help solve any issues you have and can be reached by email or phone. If you need help with any of our products, we are here for you so that you are never in the dark!



**BETTER LIGHTS.  
BETTER SUPPORT.**

**DL** CERTIFIED

**UL** LISTED

LEGENDARY RUGGEDGRADE QUALITY  
LEGENDARY USA SUPPORT

US based phone and online customer support

**7 YEAR WARRANTY**

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *PRIVATE TENNIS COURT* ON A 0.7940-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK B, EAGLE POINT ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a *Specific Use Permit (SUP)* for *Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Private Tennis Court* in a Single Family 10 (SF-10) District as stipulated by, *Article 04, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] on the *Subject Property*; and

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Private Tennis* court on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The *Private Tennis Court (Pickleball Court)* shall maintain conformance to the approved site plan depicted in *Exhibits 'A'* of this ordinance.
- (2) Exterior lights placed or erected on the *Private Tennis Court (Pickleball Court)* shall not exceed a maximum height of 17-feet and be directed down. In addition, the lights shall be of the shielded type luminaries and installed so as to not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the property owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> DAY OF NOVEMBER, 2023.

\_\_\_\_\_  
Trace Johannessen, Mayor

ATTEST:

\_\_\_\_\_  
Kristy Teague, City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: October 16, 2023

2<sup>nd</sup> Reading: November 6, 2023





# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council  
**DATE:** October 16, 2023  
**APPLICANT:** Jeff Wolf; Nexcourt, Inc  
**CASE NUMBER:** Z2023-047; *Specific Use Permit (SUP) for Tennis Court (Pickleball Court)*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a *Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

### BACKGROUND

Based on the City's annexation ordinances the subject property was annexed on July 6, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the to the City's *Historic Zoning Maps*, the subject property was zoned Single Family 2 (SF-2) District as of January 3, 1972. Between January 3, 1972 and May 16, 1983, this zoning designation was changed to a Single-Family 10 (SF-10) District. According to the Rockwall Central Appraisal District, currently situated on the subject property is a 3,927 SF single-family home built in 1986 and a 1,500 SF detached garage built in 1985.

### PURPOSE

The applicant -- *Jeff Wolf of Nexcourt, Inc* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a *Pickleball Court*.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1400 Ridge Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) vacant lots (*i.e. lots 1 & 2, Block B, Eagle Point Estates*), which are zoned Single-Family 10 (SF-10) District. Beyond this is a 0.81-acre tract of land (*i.e. Tract 27 of the D. Atkins Survey, Abstract No. 1*) developed with a single-family home that is zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are five (5) lots (*i.e. 1402, 1404, 1406A, 1406B, 1408, 1410, and 1412 Ridge Road*), zoned Single-Family 10 (SF-10) District with single-family homes situated on them. Beyond this is Becky Lane, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the *OURHometown Vision 2040 Comprehensive Plan*.

East: Directly east of the subject property is Ridge Road, which is classified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the *OURHometown Vision 2040 Comprehensive Plan*. Beyond this is a 6.6458-acre parcel of land (*i.e. Lot 4, Block A, Rockwall Commons*), zoned Planned Development District 1 (PD-1) for Multi-Family 15 (MF-15) District and General Retail (GR) District land uses.

West: Directly west of the subject property is the Lake Ray Hubbard Estates Subdivision, which was established in 1973, consists of 65 single-family residential lots, and is zoned Single-Family 7 (SF-7) District. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard.

## **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted an application and concept plan proposing to construct a 30-foot by 60-foot (or 1,800 SF) *Tennis Court (Pickleball Court)* on the subject property. The proposed structure will be situated on a concrete pad. The applicant has also indicated that there will be one (1) 17-foot pole with one (1) NextGen III LED Shoebox Lights mounted to it which will include shields and face towards the existing home on the subject property.

## **CONFORMANCE WITH THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines a *Tennis Court (Pickleball Court)* as “(a) surface designed and constructed for playing the game of tennis along with all fencing, nets and related appurtenances but excluding lighting for night play in residential areas except as may be otherwise permitted.” According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Tennis Court (Pickleball Court)* requires a Specific Use Permit (SUP) in a Single-Family 10 (SF-10) District.

According to Section 10-491, *Exterior Grounds*, Article XII, *Property Maintenance Code*, of the Municipal Code of Ordinances, “(e) exterior lights placed or erected on private property shall be directed down and shall be of an indirect, diffused, or shielded type luminaries and so installed as not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or a public nuisance.” The applicant has indicated that there will be lighting installed with the proposed *Tennis Court (Pickleball Court)* and has provided a photometric plan that shows general conformance to the property maintenance code.

## **STAFF ANALYSIS**

In this case, the applicant has stated that the proposed *Private Tennis Court (Pickleball Court)* is primarily intended to be used as a basketball court; however, since this structure will incorporate a pickleball court and lighting, the SUP for a *Private Tennis Court (Pickleball Court)* comes is required. Additionally, the SUP for a *Private Tennis Court (Pickleball Court)* allows for operational conditions including lighting standards. The applicant has indicated that there will be lighting installed with the proposed *Tennis Court (Pickleball Court)* and has provided a photometric plan that shows conformance to the property maintenance code, as mentioned earlier. Staff has provided an operational condition that requires the exterior lights to not exceed a maximum height of 17-feet and be placed or erected in a manner that is directed down and incorporate a shielded type of luminaire. In addition, the light shall be installed so as to not produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance. With this being said, the Specific Use Permit (SUP) allows the Planning and Zoning Commission and City Council the ability review the full context of a request and grants them the discretion to approve or deny the request on a *case-by-case* basis.

When reviewing the location of the proposed structure, it does not appear to have a negative effect on the adjacent properties; however, when reviewing a *Private Tennis Court (Pickleball Court)*, other aspects of the request need to be reviewed such as nuisances like noise and lighting. In this case, pickleball can be a loud sport and with the addition of lighting, it can spill over to adjacent properties creating a potential nuisance. With this being said, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On September 22, 2023, staff mailed 70 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone Homeowner's Association (HOA), which was the only Homeowner's Association (HOA) or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 22 responses from property owners and occupants *within* the 500-foot notification area indicating they were in opposition of the applicant's request.

**NOTE:** According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(p)roperty owners adjacent to and within a radius of 200-feet of a property for which a zoning change or Specific Use Permit (SUP) is being considered have the right to file a written protest against the

request. The land area of this 200-foot radius includes public right-of-way, open space and parkland. Whenever such written protest is signed by the owners of 20% or more of the area of the lots or land included in the request, or of the lots or land immediately adjoining the same and within the above mentioned 200-foot radius ... such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval.” In accordance with this section of the Unified Development Code (UDC), staff has prepared a *For/Against Map* for the property owner notifications received within 200-feet of the subject property. Currently, the opposition to the applicant’s request equates to 27.1% of the total land area within 200-feet of the subject property. This means that this case will require a supermajority vote of the City Council for approval.

**CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant’s request for a Specific Use Permit (SUP) for a *Pickleball Court*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The *Private Tennis Court (Pickleball Court)* shall maintain conformance to the approved site plan depicted in Exhibits ‘A’ of this ordinance.
  - (b) Exterior lights placed or erected on the Private Tennis Court (Pickleball Court) shall not exceed a maximum height of 17-feet and be directed down. In addition, the lights shall be of the shielded type luminaries and installed so as to not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On October 10, 2023, the Planning and Zoning Commission approved a motion to recommend denial of the SUP by a vote of 7-0.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

#### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 1400 Ridge Rd, Rockwall TX, 75087

Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

General Location \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning \_\_\_\_\_ Current Use \_\_\_\_\_

Proposed Zoning \_\_\_\_\_ Proposed Use \_\_\_\_\_

Acreage \_\_\_\_\_ Lots [Current] \_\_\_\_\_ Lots [Proposed] \_\_\_\_\_

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>Rafael Hidalgo</u>	<input type="checkbox"/> Applicant	<u>NEXCOURT, INC</u>
Contact Person		Contact Person	<u>JEFF WOLF</u>
Address	<u>1400 Ridge Rd Rockwall TX 75087</u>	Address	<u>1127 S. AIRPORT CIRCLE</u>
City, State & Zip		City, State & Zip	<u>EVLESS, TX 76040</u>
Phone	<u>419 966 9281</u>	Phone	<u>682-556-2187</u>
E-Mail	<u>aaeweaver93@gmail.com</u>	E-Mail	<u>jeff.wolf@nexcourt.com</u>

## NOTARY VERIFICATION [REQUIRED]

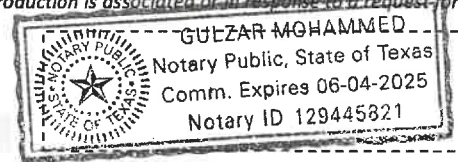
Before me, the undersigned authority, on this day personally appeared RAFAEL BLAZ HIDALGO [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 14<sup>th</sup> day of SEP, 2023. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14<sup>th</sup> day of SEP, 2023.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires 06/04/2025



Z2023-047: Specific Use Permit (SUP) for 1400 Ridge Road

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

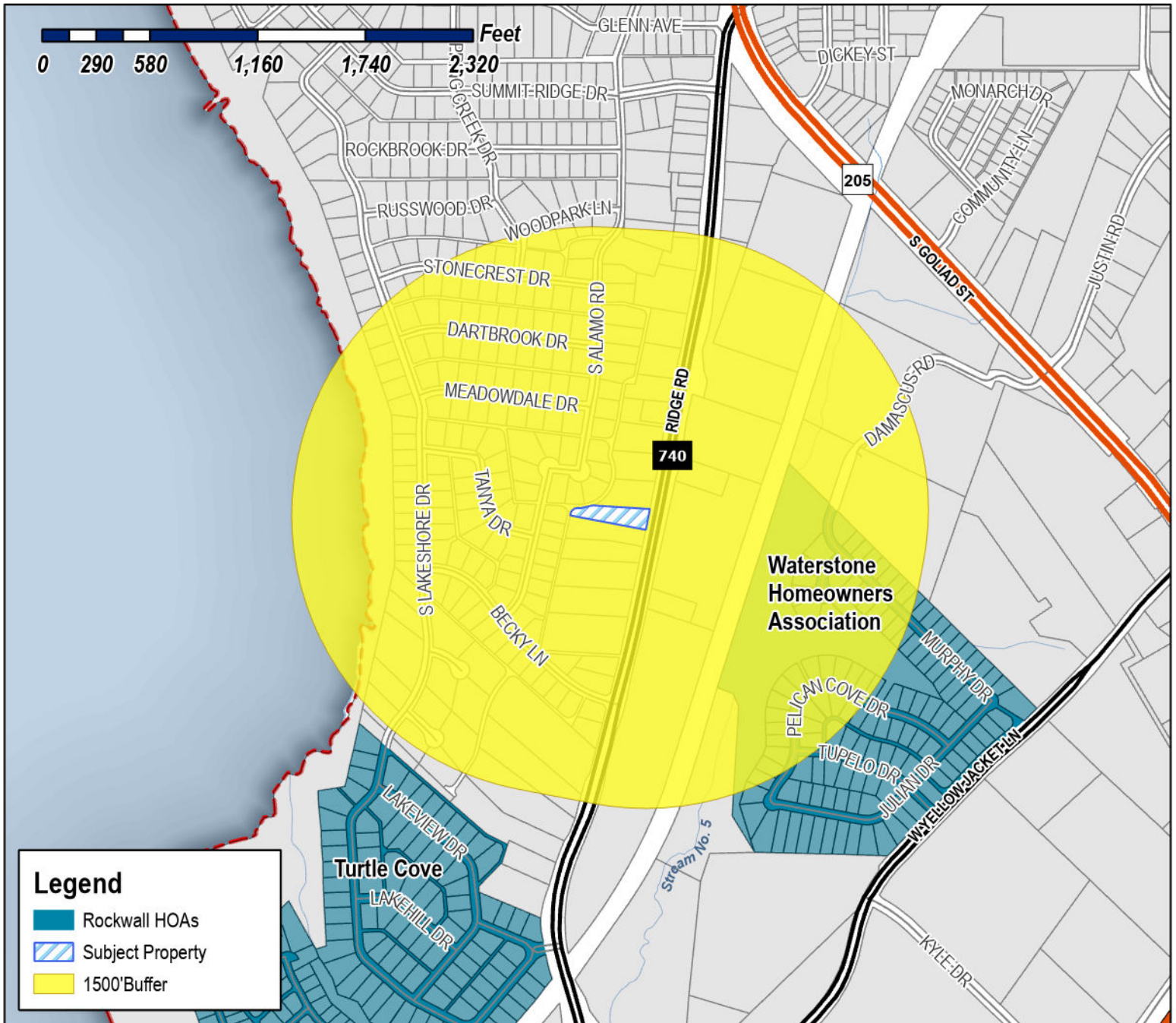




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-047  
**Case Name:** SUP for 1400 Ridge Road  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10)  
**Case Address:** 1400 Ridge Road

**Date Saved:** 9/15/2023  
 For Questions on this Case Call (972) 771-7745



## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Friday, September 22, 2023 10:32 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-047]  
**Attachments:** Public Notice (P&Z) (09.18.2023).pdf; HOA Map (09.19.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *September 22, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 16, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-047: SUP for Private Tennis Court**

Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a *Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

Thank You,

***Melanie Zavala***

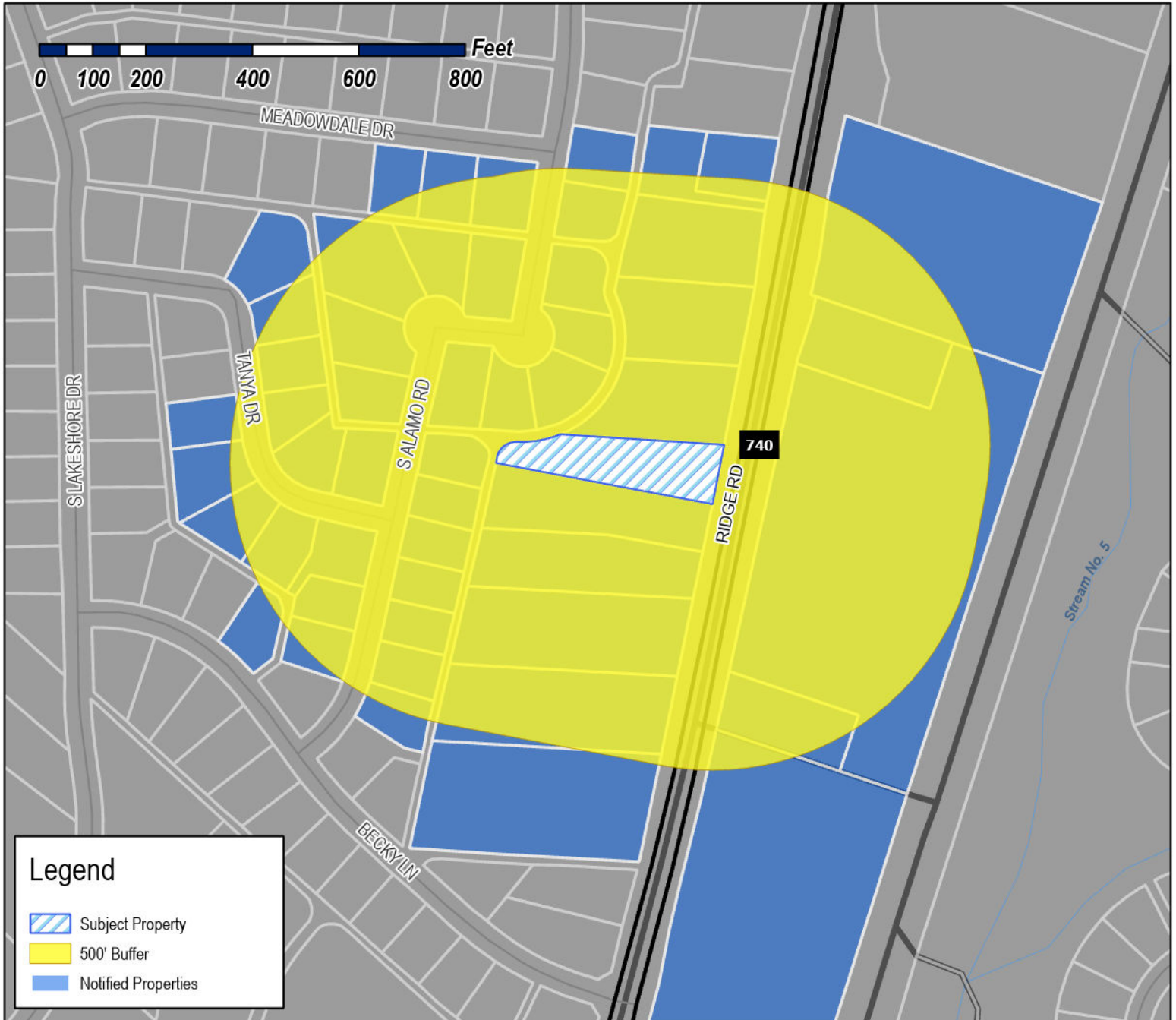
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2023-047  
**Case Name:** SUP for Private Tennis Court  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 1400 Ridge Road



**Date Saved:** 9/15/2023

For Questions on this Case Call: (972) 771-7746

HFS MANAGEMENT INC  
C/O HANNA SAHLIYEH  
122 W JOHN CARPENTER FWY STE 400  
IRVING, TX 75039

RESIDENT  
1301 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1306 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1308 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1309 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1309 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1312 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1316 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1400 RIDGE RD  
ROCKWALL, TX 75087

MASON RONALD E & GLORIA M  
1402 RIDGE RD  
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST  
MICHAEL WAYNE ROGERS AND RELLA  
VILLASANA ROGERS, TRUSTEES  
1404 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1405 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1406 RIDGE RD  
ROCKWALL, TX 75087

NORMAN LINDA  
1406-B RIDGE RD  
ROCKWALL, TX 75087

PADILLA OSCAR GAMALIEL AND MELISSA  
AZUSENA  
1408 RIDGE ROAD  
ROCKWALL, TX 75087

ARCINIEGA MARK K  
1423 S ALAMO ROAD  
ROCKWALL, TX 75087

PINNELL LIVING TRUST  
CHARLES CRAIG PINNELL AND CATHY JENELL  
PINNELL  
1425 S ALAMO RD  
ROCKWALL, TX 75087

HAIRE HELENA GAIL  
1425 SAW RD  
CHINA GROVE, NC 28023

RESIDENT  
1505 S ALAMO RD  
ROCKWALL, TX 75087

GREEN KRIS  
1507 S ALAMO RD  
ROCKWALL, TX 75087

HERBST LONNIE & AMY  
1509 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1510 S ALAMO RD  
ROCKWALL, TX 75087

BARRETT HOWARD & MARVALEE  
1511 S ALAMO RD  
ROCKWALL, TX 75087

SCROGGS JUSTIN D  
1512 S ALAMO RD  
ROCKWALL, TX 75087

BALLI DAVID OMAR AND EMILY FARRIS  
1514 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1515 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1516 S ALAMO RD  
ROCKWALL, TX 75087

GREEN TARA D AND  
JULIA R MCKINNEY  
1518 SOUTH ALAMO ROAD  
ROCKWALL, TX 75087

WEDDLE TRUST  
JOHN C WEDDLE AND PAULETTE S WEDDLE  
TRUSTEES  
1601 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1603 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1605 ALAMO RD  
ROCKWALL, TX 75087

BATTEN NANCY L  
1606 S ALAMO RD  
ROCKWALL, TX 75087

MASON PATRICK AND JANEL R  
1607 ALAMO RD  
ROCKWALL, TX 75087

PITTO OSHRI  
1608 SOUTH ALAMO ROAD  
ROCKWALL, TX 75087

WEBB BILLY AND PEGGY  
1609 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
1610 ALAMO ST  
ROCKWALL, TX 75087

CHILDS WILLIAM C & SHERYL L  
1611 S ALAMO RD  
ROCKWALL, TX 75087

MORGAN PAUL RICHARD  
1613 S ALAMO ROAD  
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC  
16600 DALLAS PARKWAY SUITE 300  
DALLAS, TX 75248

T ROCKWALL PHASE 2 LLC  
16600 DALLAS PKWY SUITE 300  
DALLAS, TX 75248

VANCE JASON L & DASHA  
202 TANYA DR  
ROCKWALL, TX 75087

RESIDENT  
203 TANYA DR  
ROCKWALL, TX 75087

HERRIN MARVIN ET UX  
203 MEADOWDALE DR  
ROCKWALL, TX 75087

RICHARDSON RANDAL & BARBARA  
204 TANYA DR  
ROCKWALL, TX 75087

DICKSON JUDITH TAYLOR & KENNETH D  
205 MEADOWDALE DR  
ROCKWALL, TX 75087

BARNETT DEYSI  
205 TANYA DR  
ROCKWALL, TX 75087

KELLEY STEPHAN BRANT & VIVIANA ELIZABETH  
206 TANYA DRIVE  
ROCKWALL, TX 75087

OEHLER GREGORY M & KATHRYN A  
207 TANYA DR  
ROCKWALL, TX 75087

PERRY RICHARD L  
208 TANYA DR  
ROCKWALL, TX 75087

BOUNDS JOY  
209 TANYA DR  
ROCKWALL, TX 75087

FLOYD DOROTHY RHEA  
210 TANYA DR  
ROCKWALL, TX 75087

BREWER GLENDA O  
212 TANYA DR  
ROCKWALL, TX 75087

BOBST DANIEL W AND JENNIFER L  
2701 SUNSET RIDGE SUITE 610  
ROCKWALL, TX 75032

KAPRANTZAS VICTORIA J  
2748 MIRA VISTA LN  
ROCKWALL, TX 75032

PHILIP ALWIN  
279 ASHWOOD LN  
SUNNYVALE, TX 75182

PHILIP ALWIN  
279 ASHWOOD LN  
SUNNYVALE, TX 75182

VILLA PEDRO E  
302 BECKY LN  
ROCKWALL, TX 75087

PEOPLES J P & B W JR  
302 S GOLIAD SST  
ROCKWALL, TX 75087

PEOPLES J PHILIP AND  
BILLY W PEOPLES JR  
311 HIGHLAND DRIVE  
ROCKWALL, TX 75087

RPSC ROCKWALL PROPERTIES LLC  
3201 E PRESIDENT GEORGE BUSH HIGHWAY  
SUITE 101  
RICHARDSON, TX 75082

ROCKWALL COMMONS LLC  
341 VERACLIFF CT  
OVIEDO, FL 32765

BURNS LORRAINE MARIETTI  
403 W WASHINGTON ST  
ROCKWALL, TX 75087

OPENDOOR PROPERTY TRUST I  
410 N SCOTTSDALE RD STE 1600  
TEMPE, AZ 85281

WADE KENNETH AND DEBBIE  
4760 SECRET COVE  
ROCKWALL, TX 75032

LONGRUN HOLDINGS LLC SERIES B  
5941 GLENDOWER LANE  
PLANO, TX 75093

TURCIOS MILTON NOE AND  
JUAN RAMON TURCIOS  
7227 HILLSHIRE LANE  
SACHSE, TX 75048

LYLE WILLIAM M JR & ERICA  
9605 ARDEN DR  
ROCKWALL, TX 75087

CRUSE ROBERT B JR AND MARGARET A  
P. O. BOX 2468  
ROCKWALL, TX 75087

SLAUGHTER RICHARD E JR  
PO BOX 1717  
ROCKWALL, TX 75087

BURKE CASEY JOE AND ANDREA GAYDEN  
PO BOX 2514  
ROCKWALL, TX 75087



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-047: SUP for Private Tennis Court**

*Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 16, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



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**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

LIGHTS + NOISE  
TOO CLOSE TO OTHER HOUSES  
RENTAL PROPERTY - NO ONE TO SUPERVISE OR COMPLAIN TO.

Name: **BILLY WEBB**  
Address: **1609 S. ALAMO RD. 75087**

Tex. Loc. Gov. Code. Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The lights from a private court will disturb the neighbors & cause excess noise. This property is being turned into a large Airbnb & the private court will be used by people who have nothing vested in the community.

Name: Carly S Farrelly

Address: 1505 S Lakeshore Dr Rockwall, TX

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

\* Short term rental overboks the neighborhood + nothing between this property + the houses below; \* traffic; \* alleyway as a thoroughfare; \* NOISE; \* close proximity of party barn to residential homes; \* potential disruptive behavior; \* pickle ball court - the game is loud; the property is able to hold more than the 16 guests as advertised - major parking issues.

Name:

Charles + Cathy Pinnell *cpinnell* *cpinnell*

Address:

1425 South Alamo Rd. Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PHONE: (972) 771-7745  
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Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*We don't want this — lights, noise, etc.*

Name: *Colby Purcell + Ron Purcell*  
Address: *211 Tanya Dr. Rockwall*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-047

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

The property in question is already being used primarily as a SHORT TERM RENTAL unit. For my wife and I, the frustration is for two reasons.

1) As homeowners we made a conscious decision to move to this specific area of Rockwall. The neighborhood is very established with beautiful homes, amazing trees and long time residents. The homeowners here have long maintained their properties for the betterment of the neighborhood. From the upkeep of the front yards, the various renovations of the interiors and the refreshing of the exterior of many of the homes, this area as a whole has always sought to be better. Many of the original residents have changed over the years but the pride of ownership has always been consistent.

In our specific instance, we wanted to be part of THAT. We wanted to contribute and continue to be part of what makes this neighborhood amazing. The city of Rockwall is filled with so many of these great micro-communities. It is what has made Rockwall such a sought after part of the metroplex.

The owner of this property did not move here and take possession of that home with the same sense of purpose. It is not trying to add tennis courts to make this neighborhood better. They do not want to add the "party barn" to make the neighborhood better. Everything that are trying to do is made from a business perspective.

I'm a local business owner, and that brings me to my second issue.

2) We chose Rockwall to begin and have since, continued to base our business here in Rockwall. We obviously started a business to build a life for ourselves. However, we recognize that owning a business in any community has additional obligations. We have sought in Rockwall (and other communities where we do trade) to become an active part of the community and to maintain as well as make the city a whole, better.

We've done so by supporting local churches and local schools. We actively participate in causes that make our city better by way of sponsorship for local events and fundraising activities for charitable organizations. We strive to help residents sometimes on a micro level, with causes that may only be important to them, specifically.

We're a for profit business. We also realize that the entire community of Rockwall is why we have had our success. With that perspective is the why. We will continue to do our part to always make Rockwall better.

This home is being used as a business with the proposed courts and the rumored future "party barn" acting as enhancements. There's no underlying desire to make this neighborhood better. There's no desire to make our community better. And I'm pretty certain no one there is asking "... how could we give back?....".

There's definitely a space in Rockwall for those activities. Allowing them to happen in the middle of ANY neighborhood benefits literally no one other than that single homeowner.

That doesn't feel right.

---

**Respondent Information**

Please provide your information.

**First Name \***

david

**Last Name \***

balli

**Address \***

1514 S. Alamo

**City \***

rockwall

**State \***

texas

**Zip Code \***

75087



Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-047

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

1) P&Z Development document does not indicate if tall court lighting is to be installed; which would interfere with neighboring properties at night. 2) SUP is marked "Private" tennis court: P&Z needs to prove and publish that this is not a short term rental. Activities at Outdoor facilities at short-term rentals interfere at night with neighboring properties and degrade residential property values.

## Respondent Information

Please provide your information.

## First Name \*

Greg

Last Name \*

Oehler

Address \*

207 Tanya Drive

City \*

Rockwall

State \*

Tx

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
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- Other: .....

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- My neighbors told me about the request.
- Other: .....

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Google Forms

## Ross, Bethany

---

**From:** Dosha Vance <[REDACTED]>  
**Sent:** Wednesday, September 27, 2023 9:44 AM  
**To:** Ross, Bethany  
**Subject:** Z2023-047: SUP for Private Tennis Court

Hello Ms. Ross,

This email is to serve as our objection to the tennis/pickle ball court SUP application.

We oppose this permit due to noise and light pollution this would bring to the immediate neighbors, including ourselves.

Thank you for your time,

Jason & Dosha Vance  
[REDACTED]

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

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# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Z2023-047: SUP for Private Tennis Court

Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



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Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

- NOISE POLLUTION TO IMMEDIATE NEIGHBORS, INCLUDING US
- LIGHT POLLUTION FROM OVERHEAD COURT LIGHTS
- LACK OF SUPERVISION OF TOURNAMENTS / PARTIES

Name: JASON + DOSHA VANCE

Address: 202 TANYA DR ROCKWALL TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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NOISE FROM COURT & SURROUNDING AREA  
PROXIMITY TO OTHER HOMES, INCLUDING MINE  
NO SUPERVISION (RENTAL PROPERTY)  
PLEASE NO LIGHTS!

Name:

JOHN + PAULETTE WEDDLE

Address:

1601 S. ALAMO RD.

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I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Primarily because of the potential noise factor in a residential, single-family neighborhoods. It is my understanding that Rockwall has no noise restrictions other than the number of decibels. That means that with lights blaring (almost regulated, to my knowledge), tennis or pickleball could be played into the wee hours of the night as long as under decibel limit. There is not even a fence around the property in question to deflect some of the noise and/or bright lights.

Name: long as under decibel limit. There is not even a fence around the property in

Address: question to deflect some of the noise and/or bright lights.

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Judy Jackson



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Director of Planning & Zoning



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**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

It is my understanding that this is not a single family home, it is an air BnB. There is no information given about nighttime lighting. I am deeply concerned about disruption to the quality of life of my neighbors close to this property.

Name: Kathryn Oehler  
Address: 207 Tanya Dr. Rockwall, TX 75087

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TO THE WEBSITE



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**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*Our quiet family neighborhood does not need this "variance home business." The lights, noise, 16+ guest house activity does not foster family living. The safety and security of our neighborhood will be compromised,*

Name: *Joy & Wilson D. Murphy*  
Address: *209 Tanya Dr., Rockwall, TX 75087*

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*Please Vote NO! Keep our neighborhood safe.*

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**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*We are opposed to the Specific Use Permit, as Pickleball Courts create noise and unwanted activity in the area. We are aware that this is an amenity to the property being an Air B&B, which we also oppose, due to the fact that it invites traffic, noise, and other unwanted activity in our neighborhood.*

Name: *Kris & Cori Green*  
Address: *1507 S. Alamo Rd.*

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**Case No. Z2023-047: SUP for Private Tennis Court****Please place a check mark on the appropriate line below:** I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.

1. Lightings of the court spilling over into the neighborhood -
2. Excessive sounds from the court -
3. Close proximity of the court to our houses -
4. No regulations for hours of use in a ~~residential~~ residential zone -

Name:

Lynise &amp; Amy Herbst

Address:

1500 S. Alamo Rd., Rockwall, TX 75087.

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**Case No. Z2023-047: SUP for Private Tennis Court**

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I am opposed to the request for the reasons listed below.

The proposed court is basically right in my backyard. Too close!! so the noise will be a problem for us and our neighbors, as well as the lighting. My hope is that you will consider if you would want it in your yard - You could be next. This has always been a family neighborhood and we would like to keep it that way. Thank you!

Name: Madison & Erica Lyle  
Address: 1403 S. Alamo Rd, Rockwall, Tx 75087

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- I am opposed to the request for the reasons listed below.

*We do not need a Party house in Rockwall proper!*

Name: *Margaret Cruise*  
Address: *1510 S. Harrow*

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**Case No. Z2023-047: SUP for Private Tennis Court**

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- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

If the house in question is wanting to build a Pickle Ball court and turn the house into a B+B or an Air B+B We are firmly against it. Our area has already voted against the adjoining property being Re-Zoned for Business making a profit. It would bring in undesirable Party People. Dallas doesn't like it.

Name: Marvin + Phyllis Herrin

Address: 203 Meadowdale Drive

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September 22,2023

Mr. Derek Deckard, Chairman and Members  
Planning & Zoning Commission  
c/o Mr. Ryan Miller, AICP, Director of Planning  
385 South Goliad  
Rockwall, Texas

**RE: 1400 Ridge Road, Rockwall, Texas**

Dear Mr. Deckard, Commission Members and Mr. Miller:

My husband and I will be out of town and unable to attend the Oct 10th meeting and the November 16th City Council meeting therefore we are sending this letter with our concerns. Our home is located at 1404 Ridge Rd., and we are one residential property away from **1400 Ridge Rd.** We were recently contacted by a neighbor concerning this property and two issues. The first issue is the construction of a pickle ball court at 1400 Ridge Rd. and the second issue (same property) becoming a short-term rental (similar to an Airbnb or Bed and Breakfast).

I realize the purpose of this meeting is to focus on the construction of the pickle ball court; however, we cannot fail to mention the potential future use in order to make a realistic judgement on the current issue before the commission. The short-term rental property will have a dramatic impact on how the pickle ball court will be operated. This court will not be used like a single family-owned residential property, it will be used commercially as a business asset. There will be an onslaught of strangers, people we know nothing about - basically tourists. Our concerns are as follows:

- The court will increase noise in our neighborhood as pickle ball is a much louder sport than tennis. This is going to destroy the serenity of our property and our neighbors.
- The footprint for the pickle ball court is adjacent to a large garage (barn type) building on the property. Both the garage and court could possibly be used for a live entertainment area. There are no guarantees once constructed that it will be used as a pickle ball court.
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Who is going to oversee its use once the construction is complete? The answer is no one. Once the structure is complete there will be no accountability. If the owner did not obtain the required permit prior to construction, then the track record for responsible ownership is not starting off well!

Per an earlier discussion with Mr. Ryan Miller, he stated that Rockwall does not have any ordinances or restrictions in place for short term rentals in Rockwall. But you do have the designation "Bed and Breakfast" which is either not permitted or limited by a Specific Use Permit in residential areas. In fact, the abbreviation for Airbnb stands for air mattress bed and breakfast. With all the bad publicity about short term rentals in Dallas, the real question is do we want this in Rockwall for our neighborhoods?

Our neighborhood has well maintained properties, we have paid property taxes and some of us have paid business taxes for decades. Please consider the detrimental effect this pickle ball court and the short-term rental is bringing to our homes in this neighborhood. The renters that rent this 5000 plus square foot home are going to have the finances to not be concerned about losing a huge deposit due to damages to this house or property and they certainly are not going to be concerned about how this impacts our neighborhood. I guarantee you this will turn into a party house and ruin our neighborhood.

Sincerely,

Mr. and Mrs. Michael and Rella Rogers

September 22,2023

Mr. Derek Deckard, Chairman and Members  
Planning & Zoning Commission  
c/o Mr. Ryan Miller, AICP, Director of Planning  
385 South Goliad  
Rockwall, Texas

**RE: 1400 Ridge Road, Rockwall, Texas**

Dear Mr. Deckard, Commission Members and Mr. Miller:

My husband and I will be out of town and unable to attend the Oct 10th meeting and the November 16th City Council meeting therefore we are sending this letter with our concerns. Our home is located at 1404 Ridge Rd., and we are one residential property away from **1400 Ridge Rd.** We were recently contacted by a neighbor concerning this property and two issues. The first issue is the construction of a pickle ball court at 1400 Ridge Rd. and the second issue (same property) becoming a short-term rental (similar to an Airbnb or Bed and Breakfast).

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Sincerely,

Mr. and Mrs. Michael and Rella Rogers

1404 RIDGE RD.  
ROCKWALL, TX. 75087

# PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

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### Z2023-047: SUP for Private Tennis Court

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Loud noise, bright lights, neighborhood disruption, neighborhood safety, there will be absolutely no accountability from the city after this pickle ball court is built (SEE ATTACHED LETTER)

Name: Mike & Rella Rogers

Address: 1404 Ridge Rd, Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Planning & Zoning Commission  
c/o Mr. Ryan Miller, AICP, Director of Planning  
385 South Goliad  
Rockwall, Texas

**RE: 1400 Ridge Road, Rockwall, Texas**

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Sincerely,


Mr. and Mrs. Michael and Rella Rogers  
1404 Ridge Road  
Rockwall, Texas 75087



Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The extremely bright lights the courts will require - the loud noises & voices that will accompany this venue, not to mention the music, etc. - This is a single family, quiet neighborhood & that's why we are here & not a commercial area.

Name:

Richard & Karen Perry

Address:

208 Junya Drive

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# PUBLIC NOTICE



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PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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**Z2023-047: SUP for Private Tennis Court**

*Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.*

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**Ryan Miller, AICP**  
Director of Planning & Zoning



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----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-047: SUP for Private Tennis Court**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for opposition.

Name: RICHARD SLAUGHTER  
Address: 1515 S ALAMO RD

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Case No. Z2023-047: SUP for Private Tennis Court

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I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

No Control + Monitoring of Property - No owner onsite  
Noise level  
location to other houses in the neighborhood  
Traffic

Name: Tara Green + Julia McKinney  
Address: 1519 S. Alamo Rd Rockwall, TX 75087

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Case No. Z2023-047: SUP for Private Tennis Court

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I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

*Vivi i Steve Kelley  
206 Tanya Drive  
Rockwall, TX. 75087*

- 1.) Lighting at the facility will disturb local residents during night time.
- 2.) Noise at late hours will disturb nearby residents and encourage unruly guests
- 3.) Low proposed per-unit/per-person rent will encourage unruly/disrespectful guests and potential drug and gang activity.

Name: 4.) Safety Issue: tennis balls hit out of the facility pose a personal

Address: and property hazard to nearby properties and persons.

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Case No. Z2023-047: SUP for Private Tennis Court

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I am opposed to the request for the reasons listed below.

NOISANCE CAUSED BY TALK, BRIGHT LIGHTS AT NIGHT  
NOISE DISTURBANCE IN GENERAL BUT ESPECIALLY AT NIGHT  
NO CONTROL / GOVERNANCE OR USE OF FACILITIES  
INCREASED AUTO + FOOT TRAFFIC, UNKNOWN

Name: WILLIAM C CHILDS

Address: 1611 S ALAMO, ROCKWALL, TX 75087

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# Weekly menu

MON RON & MAXINE MASON

214-772-9610

TUE KACY & ANDREA BURKE

214-914-7174

WED RELLA & MIKE ROGERS

972-467-1015

THUR MADISON & ERICA LYLE

M - 972-965-9065

E - 972-965-9064

FRI

SAT

SUN

Rockwall, Texas

Z2023 - 047

Opposition to Special Use Permit (SUP) for Tennis and/or Pickle Ball Court

Resident Names:

<u>John G. Felder</u>	<u>1601 S. ALAMO RD.</u>
<u>Paulette Weddle</u>	<u>1601 S. ALAMO RD.</u>
<u>Mike Rogers</u>	<u>1404 RIDGE RD. (BY PROXY)</u>
<u>Rella Rogers</u>	<u>1404 RIDGE RD. (BY PROXY)</u>
<u>Madison Lyle</u>	<u>1603 S. ALAMO RD. (BY PROXY)</u>
<u>Erica Lyle</u>	<u>1603 S. ALAMO RD. (BY PROXY)</u>
<u>Coxley Pinnell</u>	<u>1425 S. Alamo Rd</u>
<u>Charles Pinnell</u>	<u>1425 South Alamo Road</u>
<u>Dosha Vance</u>	<u>202 Tanya Dr</u>
<u>Jason Vance</u>	<u>202 Tanya Dr</u>
<u>Emily Daughter</u>	<u>1515 S. Alamo Rd.</u>
<u>Rubén A. J. J.</u>	<u>1515 S ALAMO Rd</u>
<u>Billy Webb</u>	<u>1609 S ALAMO RD.</u>
<u>Diana Aunkle</u>	<u>1609 S. ALAMO RD.</u>
<u>Kimberly</u>	<u>1507 S. Alamo Rd.</u>
<u>Tam Green</u>	<u>1518 S. Alamo Rd.</u>
<u>Julie McKinney</u>	<u>1518 S Alamo Rd.</u>
<u>Cori Green</u>	<u>1507 S. Alamo Rd.</u>
<u>Angie Herbst</u>	<u>1509 So. Alamo Rd</u>
<u>Joe J. Herbst</u>	<u>1509 S. Alamo Rd.</u>

\* SIGNATURES BY PROXY EITHER HAVE TEXTS OR EMAILS  
SENDING THEIR SIGNATURES. AVAILABLE UPON REQUEST.



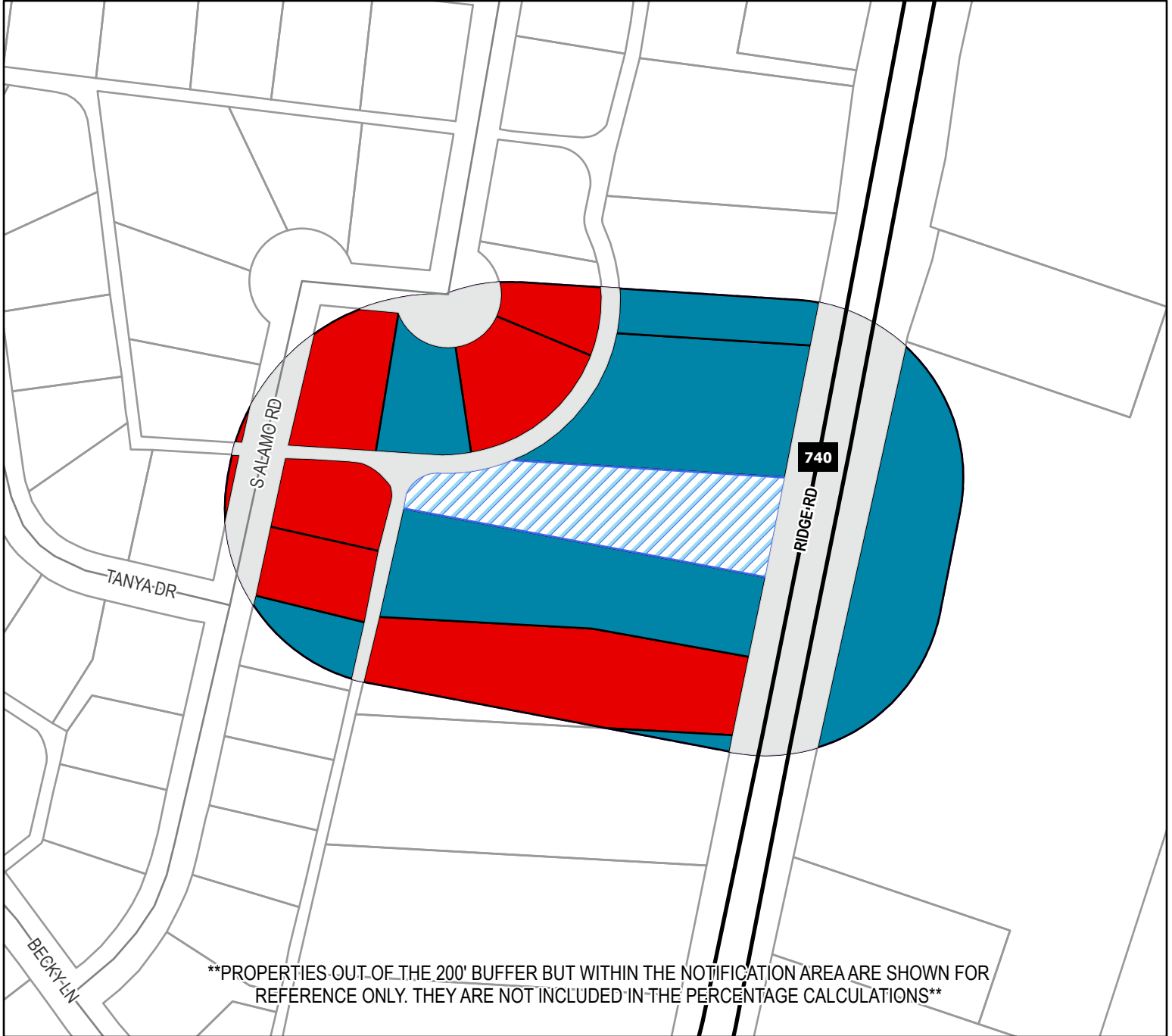









# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Z2023-047 SUP for Pickleball Courts at 1400 Ridge Road

-  Subject Property
-  AGAINST (2.21 Acres) 27.1%
-  NO RESPONSE (4.12 Acres) 50.3 %
-  ROW (1.85 Acres) 22.6%
-  FOR (0 Acres) 0%



**Date Created: 10/3/2023**

For Questions on this Case Call (972) 771-7745





The Top Rated NextGen Series Gets Better! The NextGen III Series has 140+ Lumens per Watt, bigger VP driver and is DLC 5.1 Premium Rated! New pop open Compartment for fast access and optional easy twist in Motion Sensor that can be programmed by a remote.



P/N: RGL-NEXTGEN3-150JT3A1-abcdef

Note:

AST= Rugged Grade Lighting

NEXTGEN 3= Product series, LED Shoebox Light

150= Rating Power

J= LED manufacturer, Bridgelux

T3= Diffuser light angle type, TYPE III

A1= Version number

"a" can be any two letters to represent lamp colors;

"b" can be "AM", "DM", "YM", "A&D" or "FM" to represent Mounting Means;

"c" can be "DMS1", "DMS2", "DPS1", "DPS2", "DP" for DC Sensor type or blank for no sensor provided;

"d" can be "10SP" or "20SP" for Surge-Protective Device type provided or blank for no Surge-Protective Device provided;

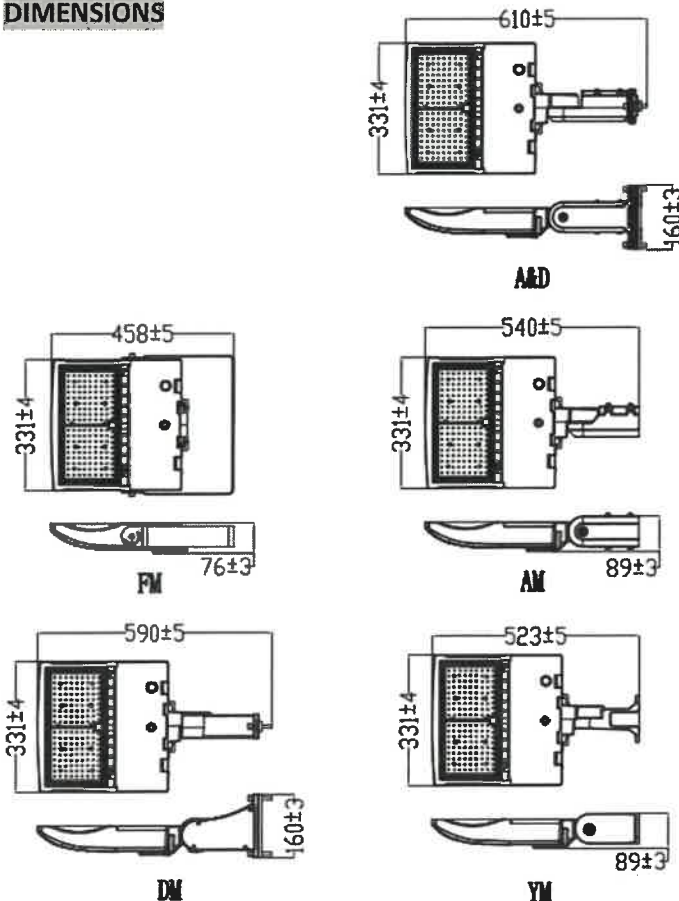
"e" can be any numbers to represent CCT;

"f" can be "3RP", "3NP", "5RP", "5NP", "7RP" or "7NP"

for Photocontrol type provided or blank for no

Photocontrol provided.

### DIMENSIONS



### ADVANTAGE

- UL cUL DLC-V5.1(Premium) certificate.
- Bridgelux Chip, high CRI.
- Input voltage 120-277VAC.
- Output constant current level can be adjusted through output cable with 0-10V.
- No UV or IR in the beam.
- Easy to install and operate.
- Energy saving, long lifespan.
- Light is soft and uniform, safe to eyes.
- Instant start, NO flickering, NO humming.
- Green and eco-friendly without mercury.

### APPLICATION

- Outdoor basketball court, tennis court.
- Badminton court, the football field.
- The school playground, stadium.
- Community leisure entertainment plaza, road lamp etc.

## SPECIFICATIONS

<b>OPTICAL</b>	Input Power (Tolerance : ±10%)	150W					
	Color Temperature	3000K	3500K	4000K	4500K	5000K	5700K
	Lumen (Tolerance : -10%)	19500L	20250LM	21000L	21000LM	21000LM	20250LM
	Efficacy (Tolerance : -3%)	130LM/	135LM/W	140LM/	140LM/	140LM/	135LM/
	CRI	>70					
	Color Consistency	<6 Steps (or <6 SDCM)					
	BUG	B3-U0-G4					
	Distribution Pattern	Type III					
Beam Angle (50%) (Tolerance :	155*120 Degree						
<b>ELECTRICAL</b>	Input Voltage and Frequency	120-277Vac,50/60Hz					
	PF (Tolerance : -3%)	≥0.9					
	THD (Tolerance : +5%)	≤20%					
	Flicker Percent	<5%					
	Driver Brand	Rugged Grade Lighting					
	Driver Model	Sosen VP Driver with controls and 10KV surge					
	Driver Surge protection	L/N-PE: 10kV, L-N:6kV					
	Dimming	0-10V dimming standard					
	Optional Accessory	Photocontrol, Surge-protective Device, Motion Sensor					
<b>MATERIALS</b>	LED Brand	Bridgelux					
	LED Type	SMD3030 – 100,000+ hour LEDs					
	LED QTY	189PCS					
	Housing	Die-cast aluminum					
	Housing Color	Brown, Black, or Customized					
	EPA	1.32ft <sup>2</sup>					
	Waterproof Rating	WET (IP65)					
<b>OTHERS</b>	Operating Temperature	Without Motion Sensor: -40°C TO 50°C; With Motion Sensor: -35°C TO					
	Storage Temperature	-40°C TO 80°C					
	Operating Humidity	20% - 90% RH					
	Storage Humidity	10% - 95% RH					
	Warranty	7 years warranty with unlimited operating hours					



Product ID: PLLKEJALNR33



## RGL-NEXTGEN3-150JT3A1-abc[10SP;20SP]50f

Manufacturer: RuggedGrade

### PRODUCT OVERVIEW

<b>Model Number</b>	RGL-NEXTGEN3-150JT3A1-abc[10SP;20SP]50f
<b>Product ID</b>	PLLKEJALNR33
<b>QPL</b>	Solid State Lighting
<b>Manufacturer</b>	RuggedGrade
<b>Brand Name</b>	RuggedGrade
<b>Primary Use</b>	Outdoor Pole/Arm-Mounted Area and Roadway Luminaires
<b>DLC Family Code</b>	EMWAFI
<b>Listing Status</b>	Listed
<b>Date Qualified</b>	2021-08-17

### PRODUCT INFORMATION

<b>Qualified Product List</b>	Solid State Lighting
<b>Technical Requirements Version</b> ⓘ	5.1
<b>Product ID</b> ⓘ	PLLKEJALNR33
<b>Manufacturer</b> ⓘ	RuggedGrade
<b>Brand</b>	RuggedGrade
<b>Model Number</b>	RGL-NEXTGEN3-150JT3A1-abc[10SP;20SP]50f
<b>Parent</b> ⓘ	No
<b>Classification</b> ⓘ	Premium

### PRODUCT CATEGORIZATION [VIEW DETAILS](#)

### PRODUCT CAPABILITIES [VIEW DETAILS](#)

### REPORTED PHOTOMETRIC PERFORMANCE

<b>Reported Backlight (TM-15 BUG)</b> ⓘ	3
<b>Reported Uplight (TM-15 BUG)</b> ⓘ	0
<b>Reported Glare (TM-15 BUG)</b> ⓘ	4
<b>Reported Light Output</b> ⓘ	20707.4 lm
<b>Reported Efficacy (AC)</b> ⓘ	138.39 lm/W
<b>Reported CCT</b> ⓘ	5000 K
<b>Reported CRI (Ra)</b> ⓘ	70

## LIGHT DISTRIBUTION TESTING PARAMETERS

### Luminaire Property

Luminaire Manufacturer:  
 Luminaire Category:  
 Lamp Catalog:  
 Number of Lamps:  
 Luminous Length (mm):  
 Luminous Height (mm):  
 Current: 1.245 A  
 Power Factor: 0.998

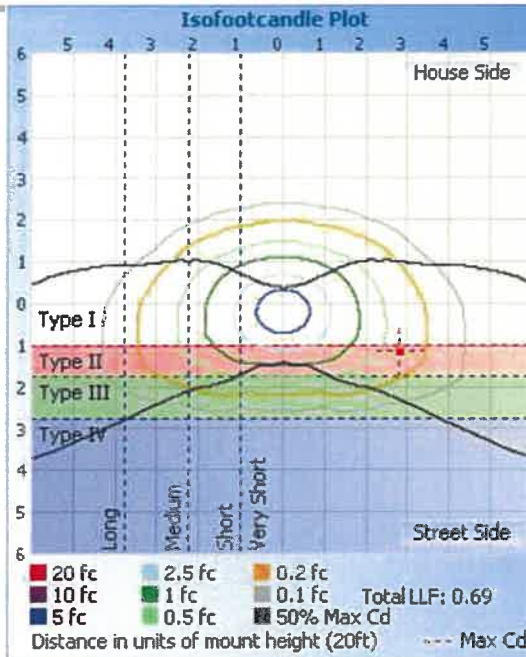
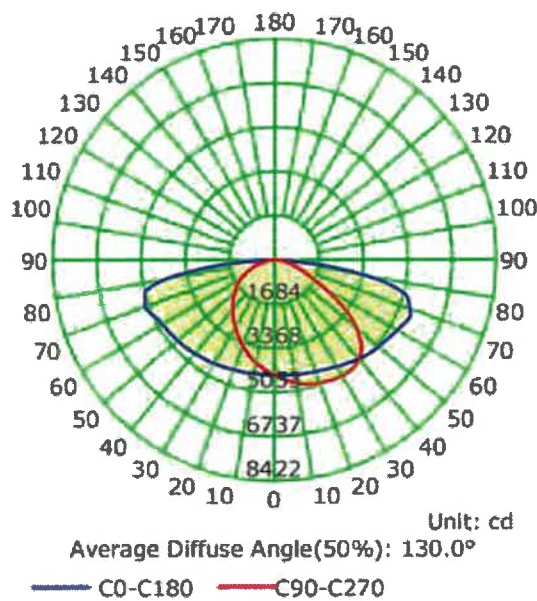
Luminaire Description:  
 Lamp Description:  
 Lumens per Lamp:  
 Luminous Width (mm):  
 Voltage: 120.0 V  
 Power: 149.28 W

### Photometric Results

IES Classification: Type IV  
 Total Rated Lamp Lumens: 19746.7 lm  
 Efficiency: 100%  
 Upward Ratio: 0%  
 C0r0 Intensity: 4393.15 cd  
 Pos of Max. Intensity: H22.5 V69

Longitudinal Classification: Medium  
 Measurement Flux: 19746.7 lm  
 Downward Ratio: 100%  
 Luminaire Efficacy Rating (LER): 132.33  
 Max. Intensity: 6737.67 cd

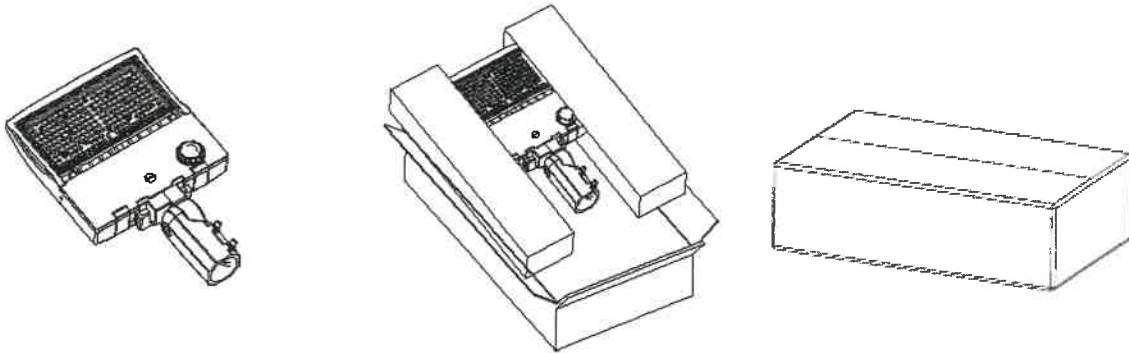
Luminous Intensity Distribution Curve



**PACKAGE**

Bracket Type	Carton Size	Qty / Carton	Net Weight / Carton	Gross Weight / Carton
AM	690*380*155MM	1 PC	5.97 KG	6.72KG
DM	690*380*155MM	1 PC	6.43KG	7.18KG
YM	690*380*155MM	1 PC	5.87KG	6.62KG
A&D	690*380*155MM	1 PC	6.83KG	7.58KG
FM	645*405*155MM	1 PC	5.49 KG	6.19KG

Tolerance of Carton Size: ±15 MM, Tolerance of Weight: ±10%.



**NOTICE FOR USER**

- Please turn off power before install or change assembly parts.
- The input voltage and lamps should be matched, after connecting the power line, Please make sure the wiring section is insulated.
- Non-professionals, must not install and disassemble the lamps.

**TROUBLE SHOOTINGS**

Issue	Check points
Light Flickers	Check all wiring for disconnections, shorts and burnt wiring and connections. Confirm steady input voltage to the light fixture, fluctuating input voltage will harm the LED driver and can lead to premature failure. Lights with photocells can have photocell tag from ambient light or light reflecting back at the sensor. Simply cover the photocell completely and see if flickering continues while the photocell is covered. Call Tech Support for help if none of the above solves the issue.
Light does not work at all.	Check all wiring for disconnections, shorts and burnt wiring and connections. Confirm steady input voltage to the light fixture, fluctuating input voltage will harm the LED driver and can lead to premature failure. If input voltage is not in the voltage range of the fixture, you will need to find the source of your input voltage issue. Call Tech Support for help if none of the above solves the issue.

For more technical information, install questions, troubleshooting help or warranty claims, we have a dedicated US Tech and Customer Support Team to help solve any issues you have and can be reached by email or phone. If you need help with any of our products, we are here for you so that you are never in the dark!



**BETTER LIGHTS.  
BETTER SUPPORT.**

**DL CERTIFIED** **UL LISTED**

**LEGENDARY RUGGEDGRADE QUALITY**  
LEGENDARY USA SUPPORT

**US based phone and online customer support**

**7 YEAR WARRANTY**



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *PRIVATE TENNIS COURT* ON A 0.7940-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK B, EAGLE POINT ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for *Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Private Tennis Court* in a Single Family 10 (SF-10) District as stipulated by, *Article 04, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Private Tennis* court on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The *Private Tennis Court (Pickleball Court)* shall maintain conformance to the approved site plan depicted in *Exhibits 'A'* of this ordinance.
- (2) Exterior lights placed or erected on the *Private Tennis Court (Pickleball Court)* shall not exceed a maximum height of 17-feet and be directed down. In addition, the lights shall be of the shielded type luminaries and installed so as to not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the property owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> DAY OF NOVEMBER, 2023.

\_\_\_\_\_  
Trace Johannessen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: October 16, 2023

2<sup>nd</sup> Reading: November 6, 2023





October 17, 2023

TO: Rafael Hildalgo  
1400 Ridge Road  
Rockwall, TX 75087

CC: Jeff Wolf  
1127 S. Airport Circle  
Euless, TX 76040

FROM: Bethany Ross  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2023-047; SUP for a Pickleball Court at 1400 Ridge Road

Rafael:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was denied by the City Council on October 16, 2023. The following is a record of all voting records:

Planning and Zoning Commission

On October 10, 2023, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit by a vote of 7-0.

City Council

On October 16, 2023, the City Council approved a motion to deny the Specific Use Permit with prejudice by a vote of 7-0.

According to Subsection 02.05, *City Council Action*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he City Council may deny a request for a zoning change, Specific Use Permit (SUP), or text amendment with or without prejudice. If a request or amendment is denied with prejudice, a new application may not be submitted for the same lot or tract of land -- or any portion thereof -- for a period of one (1) year unless the request is for a more restrictive or less intense land use than the previously denied request ... If a request or amendment is denied without prejudice, no restrictions on resubmitting an application shall apply (i.e. an application for the same request may be filed at the applicant's discretion). A failure to indicate a denial is with or without prejudice in making a motion to deny a request or amendment shall be considered a denial with prejudice." Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 772-6488.

Sincerely,

A handwritten signature in black ink that reads "Bethany Ross". The signature is written in a cursive, flowing style.

Bethany Ross, Planner  
City of Rockwall Planning and Zoning Department