



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1325 Breezy Hill Ln, Rockwall, TX 75087  
 SUBDIVISION: Breezy Hill Addition LOT 1 BLOCK -  
 GENERAL LOCATION: end of Breezy Hill Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Ag. CURRENT USE: Ag.  
 PROPOSED ZONING: Ag./Residential PROPOSED USE: Ag./Residential  
 ACREAGE: 10 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: Kaylee + Taylor Henson  APPLICANT: \_\_\_\_\_  
 CONTACT PERSON: Taylor Henson CONTACT PERSON: \_\_\_\_\_  
 ADDRESS: 2710 Morning Mist Lane ADDRESS: \_\_\_\_\_  
 CITY, STATE & ZIP: Nevada, TX 75173 CITY, STATE & ZIP: \_\_\_\_\_  
 PHONE: 9034077848 PHONE: \_\_\_\_\_  
 E-MAIL: hensontaylor5@gmail.com E-MAIL: \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kaylee Henson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 350 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21st DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21st DAY OF July, 2023  
 OWNER'S SIGNATURE: Kaylee Henson  
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Trena L. Jackson

MY COMMISSION EXPIRES: 4/5/2024



## INDEX OF DRAWINGS:

PROJECT OVERVIEW	A-1
PHASE ONE SITE PLAN	A-2
FIRST FLOOR PLAN	A-3
SECOND FLOOR PLAN	A-4
FRONT & REAR EXTERIOR ELEVATIONS	A-5
SIDE EXTERIOR ELEVATIONS	A-6
ELECTRICAL PLANS	A-7
ROOF PLAN	A-8
FOUNDATION PLAN	A-9

## AREA CALCULATIONS:

1ST FLOOR HVAC	1,655 SQ. FT.
2ND FLOOR HVAC	1,095 SQ. FT.
<b>TOTAL HVAC</b>	<b>2,750 SQ. FT.</b>
FRONT COVERED PORCH	79 SQ. FT.
BACK COVERED PATIO	280 SQ. FT.
GARAGE & STORAGE	722 SQ. FT.
GARAGE COVERED PORCH	46 SQ. FT.
<b>TOTAL UNDER ROOF</b>	<b>3,877 SQ. FT.*</b>
<b>FOUNDATION FOOTPRINT</b>	<b>2,932 SQ. FT.**</b>

61'-1 1/2" X 75'-8"

4 BED, 3.5 BATH

\*TOTAL UNDER ROOF SQUARE FOOTAGE CALCULATES THE TOTAL LIVING AREA, EXCLUDING THE ROOMS' WALL THICKNESSES.

\*\*FOUNDATION FOOTPRINT SQUARE FOOTAGE CALCULATES THE ENTIRE STRUCTURE'S GROUND FLOOR AREA INCLUDING WALL THICKNESS, EXTERIOR MATERIAL LEDGES, FIREPLACES, AND ALL OTHER NON HVAC AREAS.

ALL DIMENSIONS SHOWN ARE TO THE EXTERIOR FRAMING LAYER.



## FRONT EXTERIOR PERSPECTIVE RENDERING

FOR ILLUSTRATION ONLY

## GENERAL NOTES

THE PURCHASER OF THESE PLANS IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND FOR ENSURING THAT THE PLAN IS CORRECTLY ADAPTED TO ACCOMMODATE LOCAL SITE CONDITIONS. THE PURCHASER CAN CONSULT WITH A LOCAL ARCHITECT OR ENGINEER REGARDING THESE MATTERS. BEFORE CONSTRUCTION BEGINS, THE PURCHASER SHOULD THOROUGHLY REVIEW THIS PLAN WITH THE CONTRACTOR, VERIFY ALL DIMENSIONS, AND REPORT TO BREMARIE DESIGNS LLC ANY ERRORS, OMISSIONS, OR QUESTIONS FOR CLARIFICATION. ALL EXTERIOR AND INTERIOR DIMENSIONS ARE TO THE FRAMING LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS, INCLUDING ROUGH OPENINGS.

THE CONTRACTOR IS RESPONSIBLE FOR A SITE SURVEY TO VERIFY HOME LOCATION AND SETBACKS PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE PURCHASER SHOULD VERIFY ALL STRUCTURAL ELEMENTS FOR THE PLAN AND SITE WITH A LOCAL ENGINEER. LARGE SPANS : LOAD BEARING BEAM/HEADER SIZE FOR SPANS IN EXCESS OF 20' TO BE SPECIFIED BY ENGINEER. THE EXACT SIZE, REINFORCEMENT, AND DEPTH OF ALL CONCRETE FOOTINGS AND FOUNDATIONS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES FOR CONSTRUCTION. THE BOTTOM OF ALL FOOTINGS SHOULD EXTEND BELOW THE FROST LINE. THE PURCHASER OF THESE PLANS UNDERSTANDS ALL RISKS ASSOCIATED WITH ADAPTING THE PLAN TO LOCAL SITES AFFECTED BY REGIONAL VARIATIONS IN CLIMATE, LOCAL SITE CONDITIONS, DESIGN NEEDS AND BUILDING CODES.

BREMARIE DESIGNS LLC MAY NOT BE HELD RESPONSIBLE FOR ADAPTING THIS PLAN TO LOCAL SITE CONDITIONS, DESIGN CHANGES, CONSTRUCTION MEANS, OR METHODS, COSTS, WORKMANSHIP, QUALITY OF MATERIALS, OR EQUIPMENT UTILIZED IN CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ASPECTS OF THESE PLANS AND TO ENSURE PLANS MEET ALL LOCAL GOVERNING CODES AND REQUIREMENTS. BREMARIE DESIGNS LLC ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS. THE PURCHASER IS GRANTED THE RIGHT TO BUILD ONLY ONE STRUCTURE FROM THIS PLAN (OR MODIFIED PLAN). THIS RIGHT EXTENDS TO THE ORIGINAL PURCHASER ONLY AND IS NOT TRANSFERABLE.

SHEET TITLE:  
**PROJECT OVERVIEW**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
 ROCKWALL, TEXAS  
 TAYLOR HENSON**

DATE:  
 3/10/2023

SCALE:  
 NO SCALE

SHEET:  
**A-1**



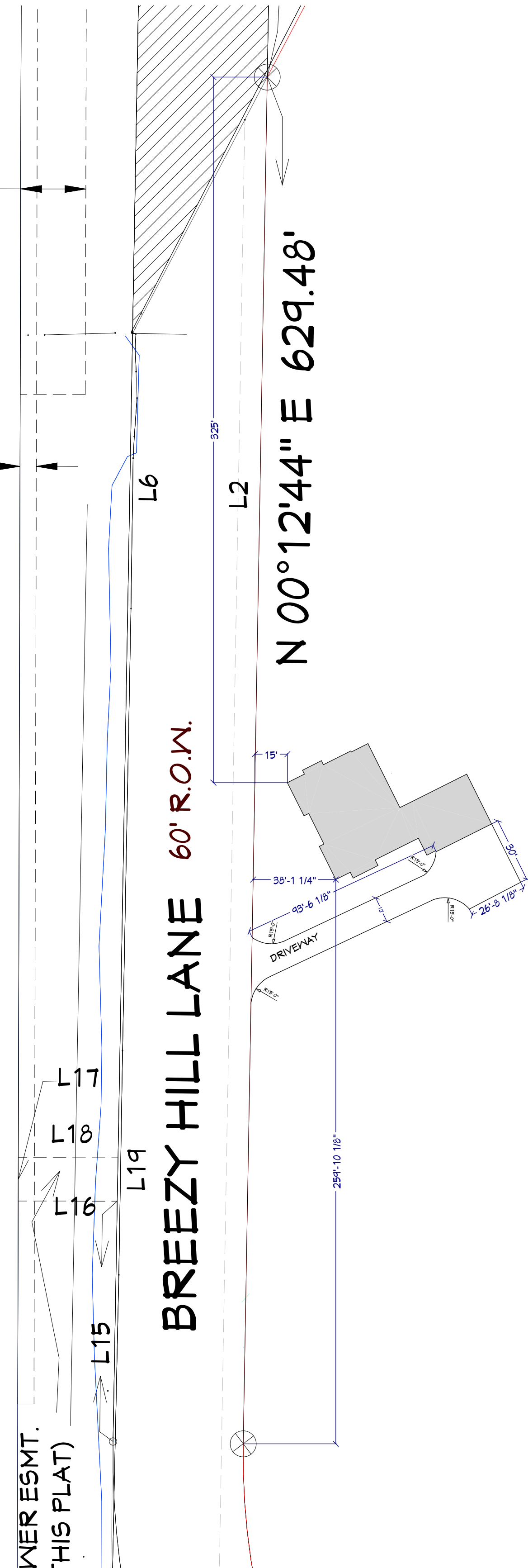
DRAINAGE &  
GRADING ESMT.  
CLERK NO.  
2020000014134

ONCOR ELECTRIC  
DELIVERY COMPANY ESMT.  
CLERK NO.  
20210000027943

BREEZY HILL 405 LTD.  
INST. NO. 2007-00375392  
O.P.R.R.C.T.

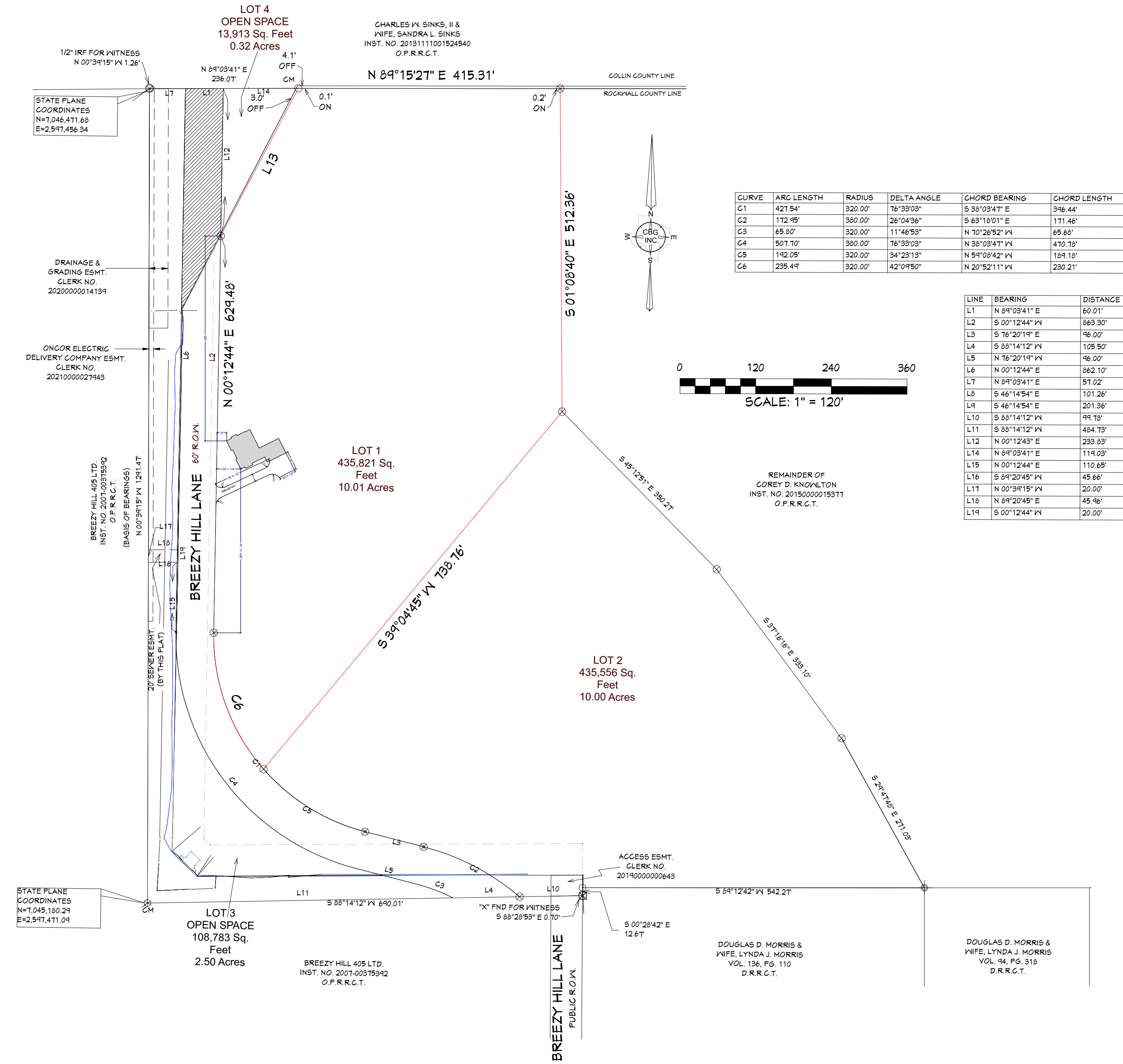
(BASIS OF BEARINGS)

N 00°39'15" W 1291.47'



SITE PLAN

SCALE: 1"=40'-0"



SITE PLAN

SCALE: 1"=120'-0"

SHEET TITLE:

PROJECT DESCRIPTION:  
BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON

DATE:  
3/10/2023

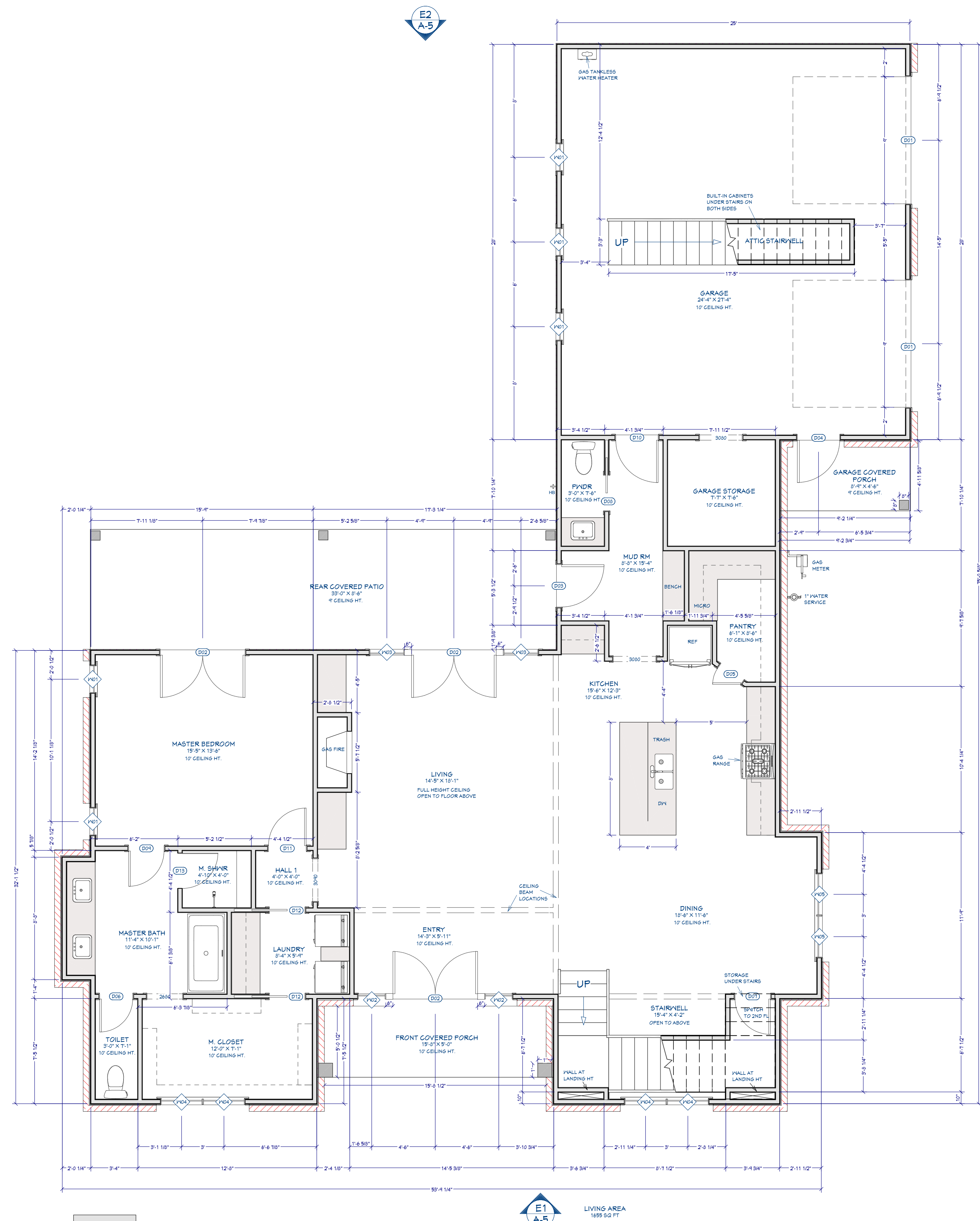
SCALE:  
VARIES

SHEET:  
A-2



DOOR SCHEDULE		NO.		DESCRIPTION		HEADER	
DEPTH	ELEVATION	NO.	QTY	NO.	DESCRIPTION	NO.	DESCRIPTION
D01	4080	2	1	4080	11'0"X8'	2X12X116" (2)	GARAGE GARAGE DOOR (4080)
D02	6080	3	1	6080 L/R EX	7'4"X8'	2X10X11' (2)	EXT. DOUBLE HINGED-GLASS PANEL
D03	3080	1	1	3080 L EX	3'3"X8'	2X6X41" (2)	EXT. HINGED-DOOR E02
D04	3080	1	1	3080 R EX	3'3"X8'	2X6X41" (2)	EXT. HINGED-DOOR E02
D05	2080	1	1	2080 L IN	25'13'10"X8' 1/2"	2X6X20' 13'10" (2)	HINGED-DOOR P04
D06	2480	1	1	2480 R IN	3'7"X8' 1/2"	2X6X33" (2)	HINGED-DOOR P04
D07	2880	1	1	2880 L IN	3'7"X8' 1/2"	2X6X33" (2)	HINGED-DOOR P04
D08	2880	1	1	2880 R	6'11'4"X8' 1/2"	2X6X41 1/4" (2)	POCKET-DOOR P04
D09	2880	1	1	2880 R IN	3'7"X8' 1/2"	2X6X33" (2)	HINGED-DOOR P04
D10	3080	1	1	3080 L IN	3'7"X8' 1/2"	2X6X41" (2)	HINGED-DOOR P04
D11	2880	1	1	2880 R IN	3'7"X8' 1/2"	2X6X33" (2)	HINGED-DOOR P04
D12	2880	2	1	2880 L	6'11'4"X8' 1/2"	2X6X41 1/4" (2)	POCKET-DOOR P04
D13	2880	1	1	2880 L	3'7"X8"		SHOWER-GLASS SLAB
D14	2880	1	2	2880 R	5'9'3"X2' 1/2"	2X6X33 3/8" (2)	POCKET-DOOR P04
D15	2880	2	2	2880 L IN	3'7"X2' 1/2"	2X6X33" (2)	HINGED-DOOR P04
D16	2880	1	2	2880 R	6'11'4"X2' 1/2"	2X6X41 1/4" (2)	POCKET-DOOR P04
D17	2880	6	2	2880 R IN	3'7"X2' 1/2"	2X6X33" (2)	HINGED-DOOR P04
D18	4080	3	2	4080 L/R IN	5'0"X2' 1/2"	2X6X33" (2)	DOUBLE HINGED-DOOR P04

WINDOW SCHEDULE		NO.		DESCRIPTION		HEADER	
DEPTH	ELEVATION	NO.	QTY	NO.	DESCRIPTION	NO.	DESCRIPTION
W01	2040FX	3	1	2040FX	25"X48"	2X6X28" (2)	FIXED GLASS
W02	2080FX	2	1	2080FX	25"X48"	2X6X28" (2)	FIXED GLASS
W03	2680FX	2	1	2680FX	31"X81"	2X6X34" (2)	FIXED GLASS
W04	3050FX	4	1	3050FX	37"X81"	2X6X40" (2)	FIXED GLASS
W05	3060FX	2	1	3060FX	37"X81"	2X6X40" (2)	FIXED GLASS
W06	3050DH	6	2	3050DH	37"X81"	2X6X40" (2)	DOUBLE HUNG
W07	3050FX	0	2	3050FX	37"X81"	2X6X40" (2)	FIXED GLASS



**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION

**SHEET TITLE:**  
**FIRST FLOOR PLAN**

**PROJECT DESCRIPTION:**  
**BREEZY HILL LANE ADDITION**  
**ROCKWALL, TEXAS**  
**TAYLOR HENSON**

**DATE:**  
3/10/2023

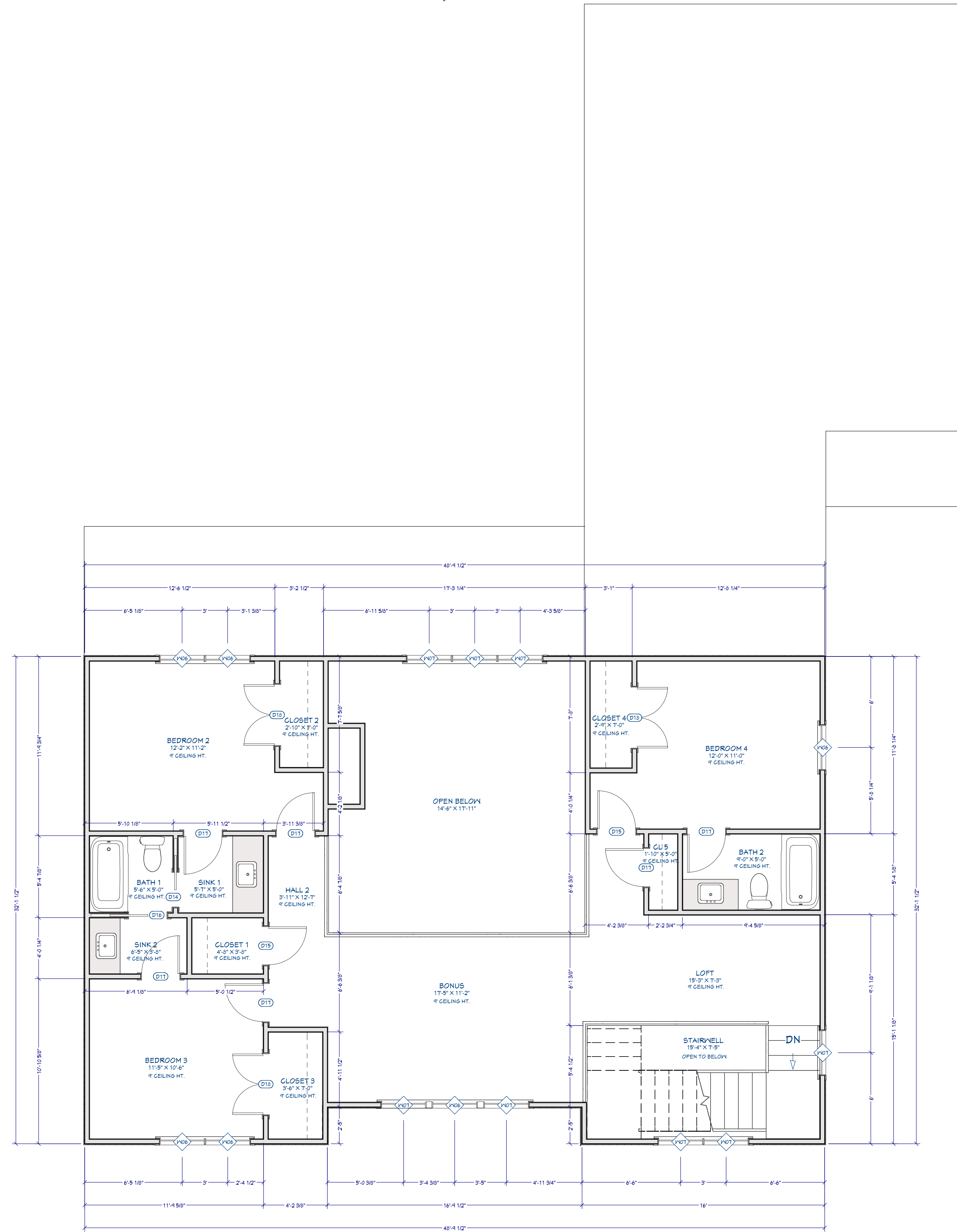
**SCALE:**  
1/4"=1'-0"

**SHEET:**  
**A-3**



DOOR SCHEDULE								
DEPTH/TYPE	ELEVATION	NUMBER	LABEL	QTY	FLOOR/TYPE	NO. DESCRIPTION	HEADER	
	D01	4080	2	1	4080	110"X96"	GARAGE-GARAGE DOOR CH200	2X12X16' (2)
	D02	6080	3	1	6080 L/R EX	74"X96"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X11' (2)
	D03	3080	1	1	3080 L EX	38"X96"	EXT. HINGED-DOOR E02	2X6X41' (2)
	D04	3080	1	1	3080 R EX	38"X96"	EXT. HINGED-DOOR E02	2X6X41' (2)
	D05	2080	1	1	2080 L IN	25 13/16"X96 1/2"	HINGED-DOOR P04	2X6X20 13/16" (2)
	D06	2480	1	1	2480 R IN	30"X96 1/2"	HINGED-DOOR P04	2X6X33' (2)
	D07	2880	1	1	2880 L IN	32"X96 1/2"	HINGED-DOOR P04	2X6X39' (2)
	D08	2880	1	1	2880 R	61 1/4"X96 1/2"	POCKET-DOOR P04	2X6X64 1/4" (2)
	D09	2880	1	1	2880 R IN	32"X96 1/2"	HINGED-DOOR P04	2X6X39' (2)
	D10	3080	1	1	3080 L IN	30"X96 1/2"	HINGED-DOOR P04	2X6X41' (2)
	D11	2880	1	1	2880 R IN	34"X96 1/2"	HINGED-DOOR P04	2X6X33' (2)
	D12	2880	2	1	2880 L	61 1/4"X96 1/2"	POCKET-DOOR P04	2X6X64 1/4" (2)
	D13	2880	1	1	2880 L	30"X96"	SHOWER-GLASS SLAB	
	D14	2860	1	2	2860 R	59 3/8"X82 1/2"	POCKET-DOOR P04	2X6X59 3/8" (2)
	D15	2860	2	2	2860 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)
	D16	2860	1	2	2860 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2X6X64 1/4" (2)
	D17	2860	6	2	2860 R IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)
	D18	4080	3	2	4080 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X39' (2)

WINDOW SCHEDULE								
DEPTH/TYPE	ELEVATION	NUMBER	LABEL	QTY	FLOOR/TYPE	NO. DESCRIPTION	HEADER	
	W01	2040FX	3	1	2040FX	28"X48"	FIXED GLASS	2X6X28' (2)
	W02	2080FX	2	1	2080FX	28"X48"	FIXED GLASS	2X6X28' (2)
	W03	2680FX	2	1	2680FX	31"X48"	FIXED GLASS	2X6X34' (2)
	W04	3050FX	4	1	3050FX	37"X61"	FIXED GLASS	2X6X40' (2)
	W05	3060FX	2	1	3060FX	37"X61"	FIXED GLASS	2X6X40' (2)
	W06	3050DH	6	2	3050DH	37"X61"	DOUBLE HUNG	2X6X40' (2)
	W07	3050FX	0	2	3050FX	37"X61"	FIXED GLASS	2X6X40' (2)



**SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"  
 LIVING AREA  
 1098 SQ FT

NO.	DATE	DESCRIPTION

**SHEET TITLE:**  
**SECOND FLOOR PLAN**

**PROJECT DESCRIPTION:**  
**BREEZY HILL LANE ADDITION**  
**ROCKWALL, TEXAS**  
**TAYLOR HENSON**

**DATE:**  
 3/10/2023

**SCALE:**  
 1/4"=1'-0"

**SHEET:**  
**A-4**



DOOR SCHEDULE									
SYMBOL	ELEVATION	NUMBER	QTY	FLOOR	SIZE	NO.	DESCRIPTION	HEADER	
	D01	4080	2	1	4080	110"X84"	GARAGE-GARAGE DOOR CH200	2X12X16' (2)	
	D02	6080	3	1	6080 L/R EX	74"X91"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X11' (2)	
	D03	3080	1	1	3080 L EX	38"X91"	EXT. HINGED-DOOR E02	2X6X41' (2)	
	D04	3080	1	1	3080 R EX	38"X91"	EXT. HINGED-DOOR E02	2X6X41' (2)	
	D05	2080	1	1	2080 L IN	25 13/16"X98 1/2"	HINGED-DOOR P04	2X6X26 13/16' (2)	
	D06	2480	1	1	2480 R IN	30"X98 1/2"	HINGED-DOOR P04	2X6X33' (2)	
	D07	2880	1	1	2880 L IN	32"X98 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D08	2880	1	1	2880 R	61 1/4"X98 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D09	2880	1	1	2880 R IN	32"X98 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D10	3080	1	1	3080 L IN	30"X98 1/2"	HINGED-DOOR P04	2X6X41' (2)	
	D11	2880	1	1	2880 R IN	34"X98 1/2"	HINGED-DOOR P04	2X6X37' (2)	
	D12	2880	2	1	2880 L	61 1/4"X98 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D13	2880	1	1	2880 L	50"X98"	SHOWER-GLASS SLAB		
	D14	2860	1	2	2860 R	59 3/8"X82 1/2"	POCKET-DOOR P04	2X6X59 3/8' (2)	
	D15	2860	2	2	2860 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D16	2860	1	2	2860 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D17	2860	6	2	2860 R IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D18	4080	3	2	4080 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X39' (2)	

WINDOW SCHEDULE									
SYMBOL	ELEVATION	NUMBER	QTY	FLOOR	SIZE	NO.	DESCRIPTION	HEADER	
	W01	2040FX	3	1	2040FX	28"X48"	FIXED GLASS	2X6X28' (2)	
	W02	2080FX	2	1	2080FX	28"X48"	FIXED GLASS	2X6X28' (2)	
	W03	2680FX	2	1	2680FX	31"X48"	FIXED GLASS	2X6X34' (2)	
	W04	3050FX	4	1	3050FX	37"X48"	FIXED GLASS	2X6X40' (2)	
	W05	3060FX	2	1	3060FX	37"X48"	FIXED GLASS	2X6X40' (2)	
	W06	3050DH	6	2	3050DH	37"X61"	DOUBLE HUNG	2X6X40' (2)	
	W07	3050FX	0	2	3050FX	37"X61"	FIXED GLASS	2X6X40' (2)	



**E1** FRONT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



**E2** REAR EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"





**E3** LEFT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



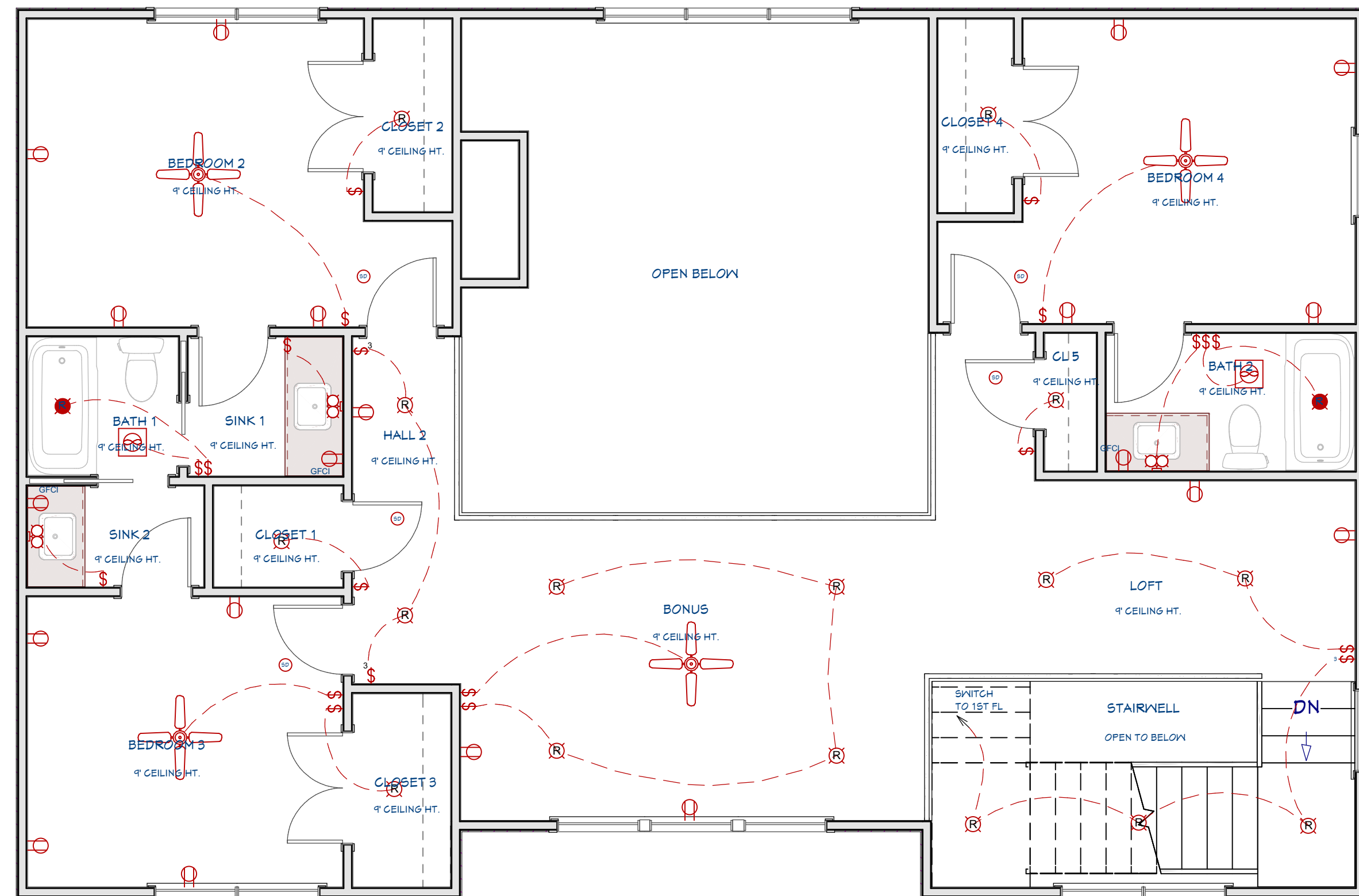
**E4** RIGHT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



### GENERAL ELECTRICAL NOTES:

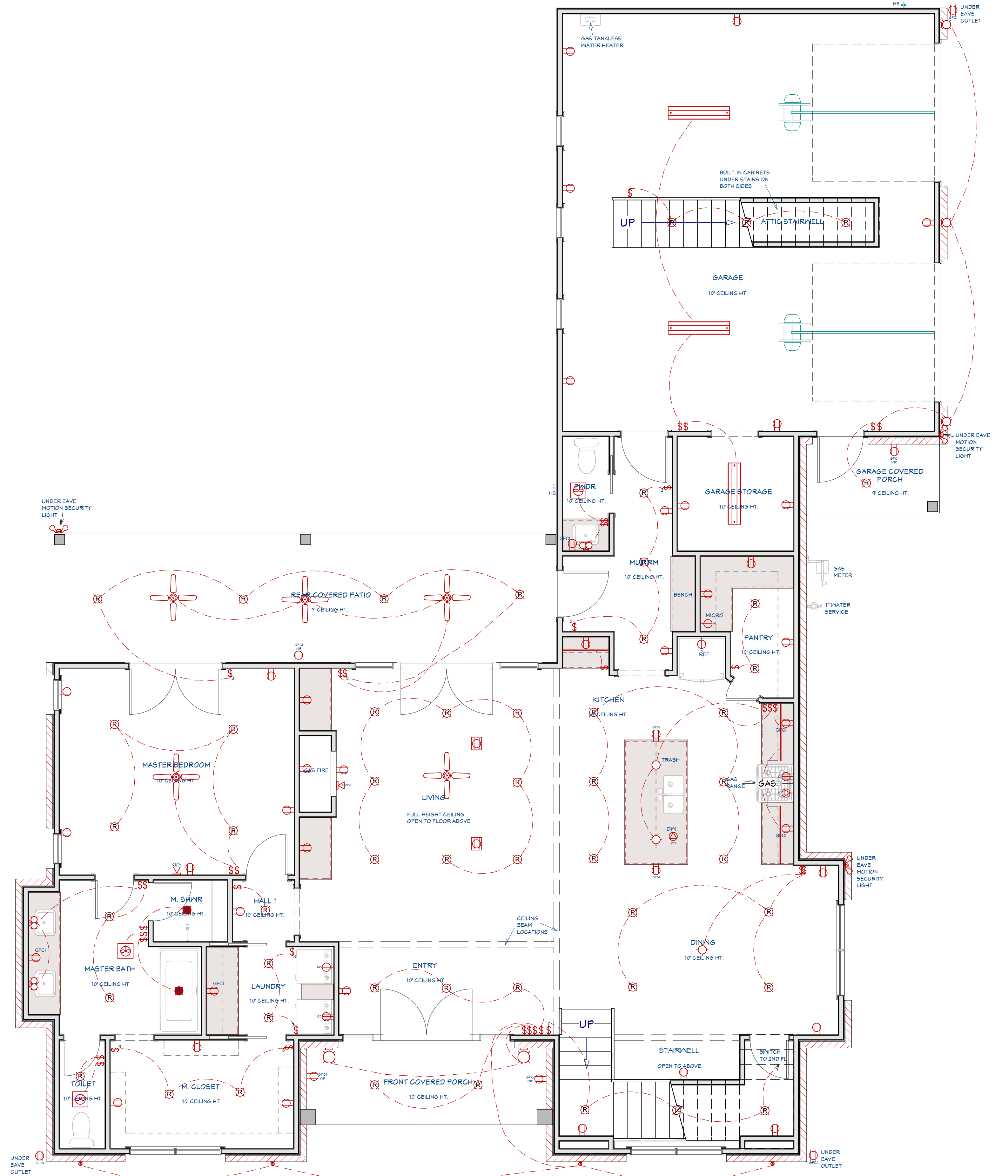
1. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST NATIONAL ELECTRICAL CODE REQUIREMENTS AND ANY OTHER LOCAL AUTHORITIES HAVING JURISDICTION.
2. THE SCHEMATIC ELECTRICAL LAYOUT ON THE FLOOR PLANS IS ONLY A "SUGGESTED" MINIMUM. FIXTURES TO BE SELECTED BY HOME OWNER. HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.
3. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
4. VERIFY LOCATION OF ANY REQUIRED FLOOR OUTLETS IN THE LIVING ROOM AREA.
5. VERIFY ALL OUTLET HEIGHTS ABOVE CABINETS WITH MILLWORK MANUFACTURER'S SHOP DRAWINGS.
6. VERIFY TYPE AND LOCATION OF HVAC UNIT(S) AND WATER HEATER(S). VERIFY ELECTRICAL REQUIREMENTS WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
7. SHOULD NATURAL GAS OR PROPANE BE REQUIRED, VERIFY LOCATIONS AND APPLIANCE REQUIREMENTS.
8. VERIFY GENERATOR REQUIREMENTS WITH OWNER.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
Ⓢ	3-WAY SWITCH	Ⓞ	OVEN
Ⓜ	ALICE WALL SCENE	Ⓟ	PENDANT
Ⓜ	CATS TV	Ⓡ	RECESSED DOWN LIGHT 6"
Ⓜ	CEILING FAN	Ⓡ	RECESSED VAPOR LIGHT
Ⓜ	CLOTHES DRYER	Ⓡ	REFRIGERATOR
Ⓜ	CLOTHES WASHER	—	ROPE LIGHT
Ⓜ	DISHWASHER	—	SHOP LIGHT (SHORT) (AS 14"x)
Ⓜ	DUPLEX	Ⓢ	SINGLE POLE
Ⓜ	DUPLEX FLOOR MOUNTED	Ⓢ	SMOKE DETECTOR 1"
Ⓜ	EXHAUST	Ⓢ	THREE WAY
Ⓜ	GFCI	Ⓡ	VANITY LIGHT
Ⓜ	GFCI W/P	Ⓡ	EXTERIOR UPLIGHT
Ⓜ	HOOD FAN VENT	Ⓡ	GFCI DUPLEX CEILING MOUNTED
Ⓜ	MICROWAVE	Ⓡ	MOTION SECURITY LIGHT



**ELECTRICAL PLAN SECOND FLOOR**

SCALE: 1/4"=1'-0"



**ELECTRICAL PLAN FIRST FLOOR**

SCALE: 1/4"=1'-0"



NO. DATE DESCRIPTION

SHEET TITLE:  
**ELECTRICAL PLANS**

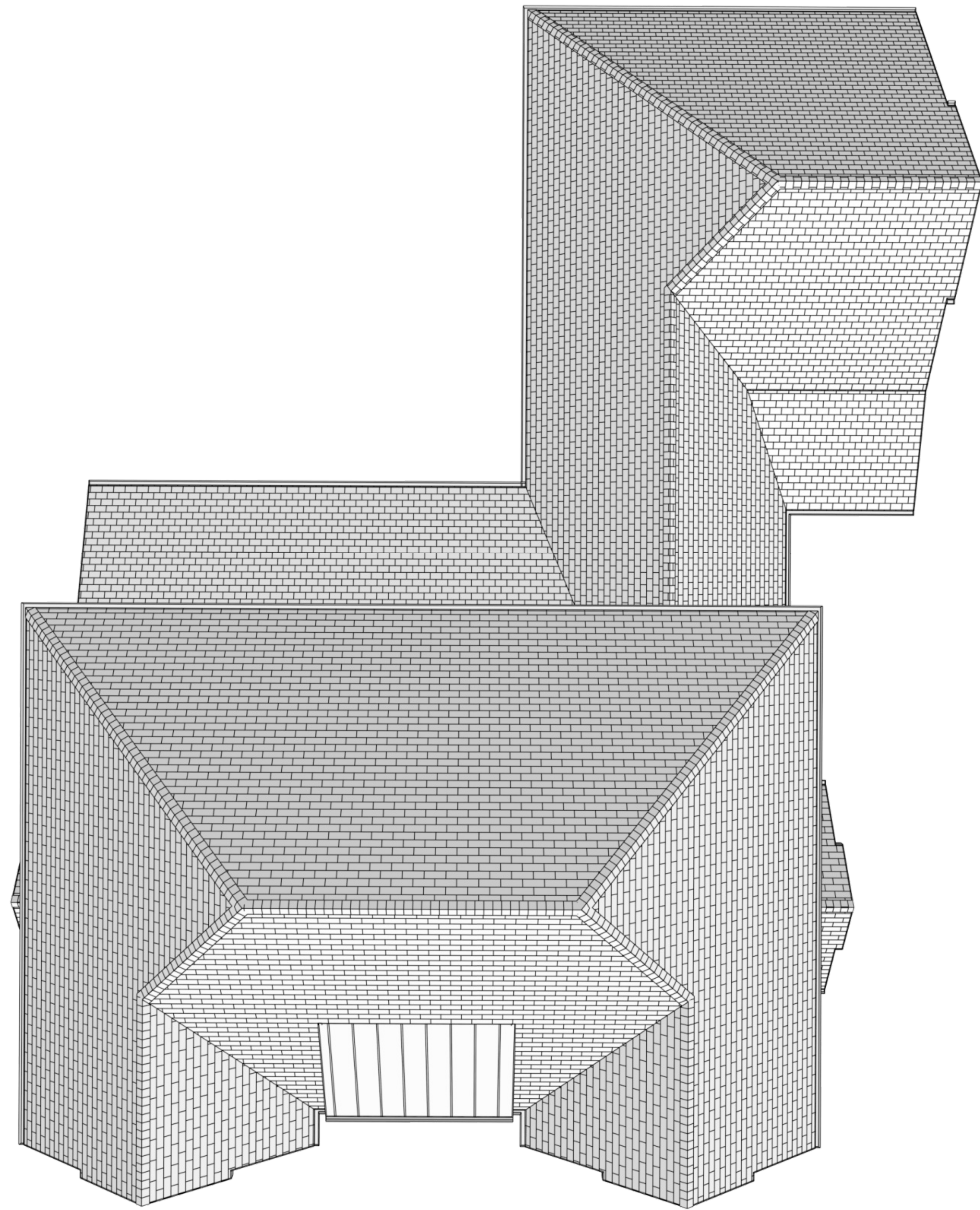
PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION**  
 ROCKWALL, TEXAS  
 TAYLOR HENSON

DATE:  
 3/10/2023

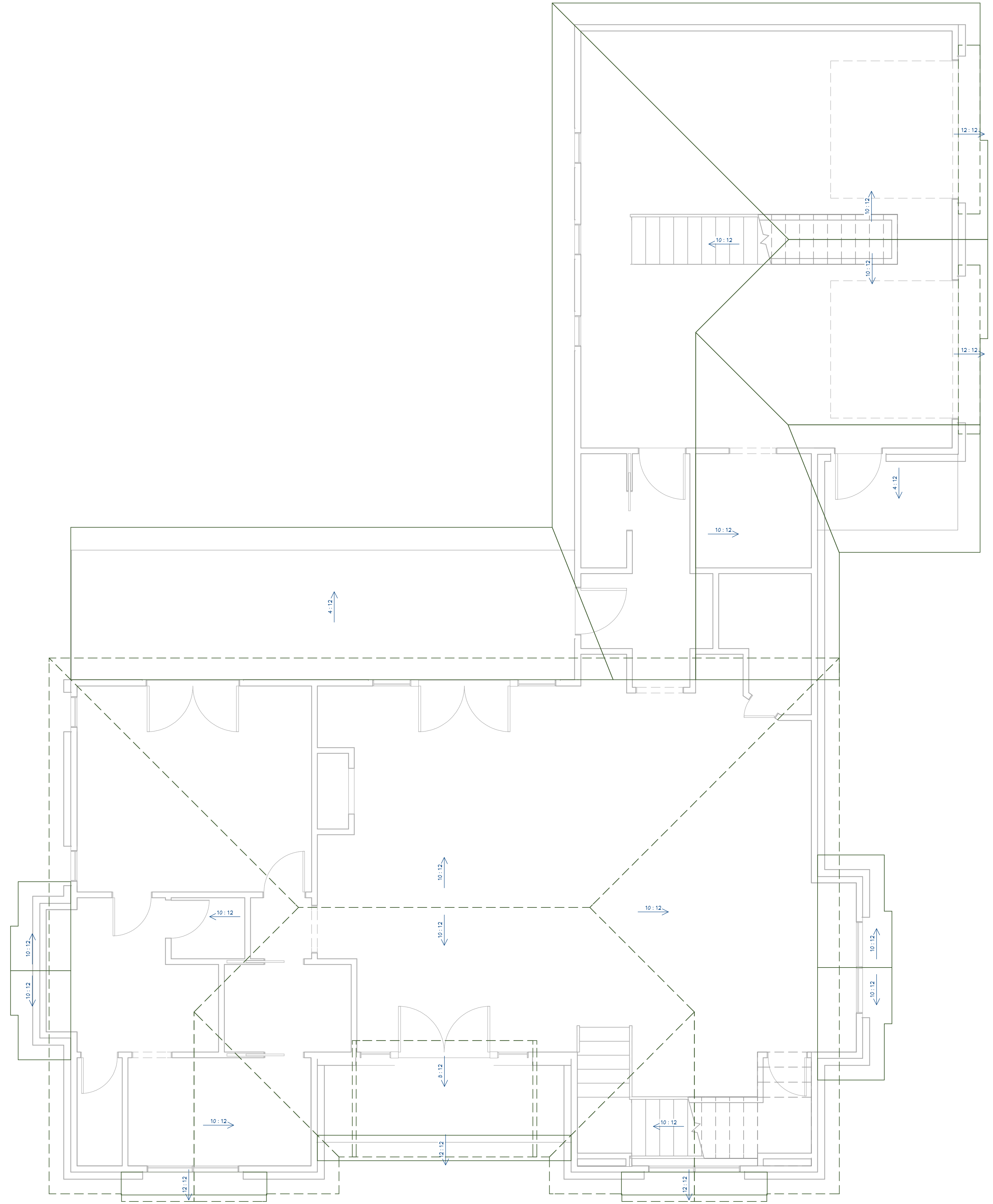
SCALE:  
 1/4"=1'-0"

SHEET:  
**A-7**



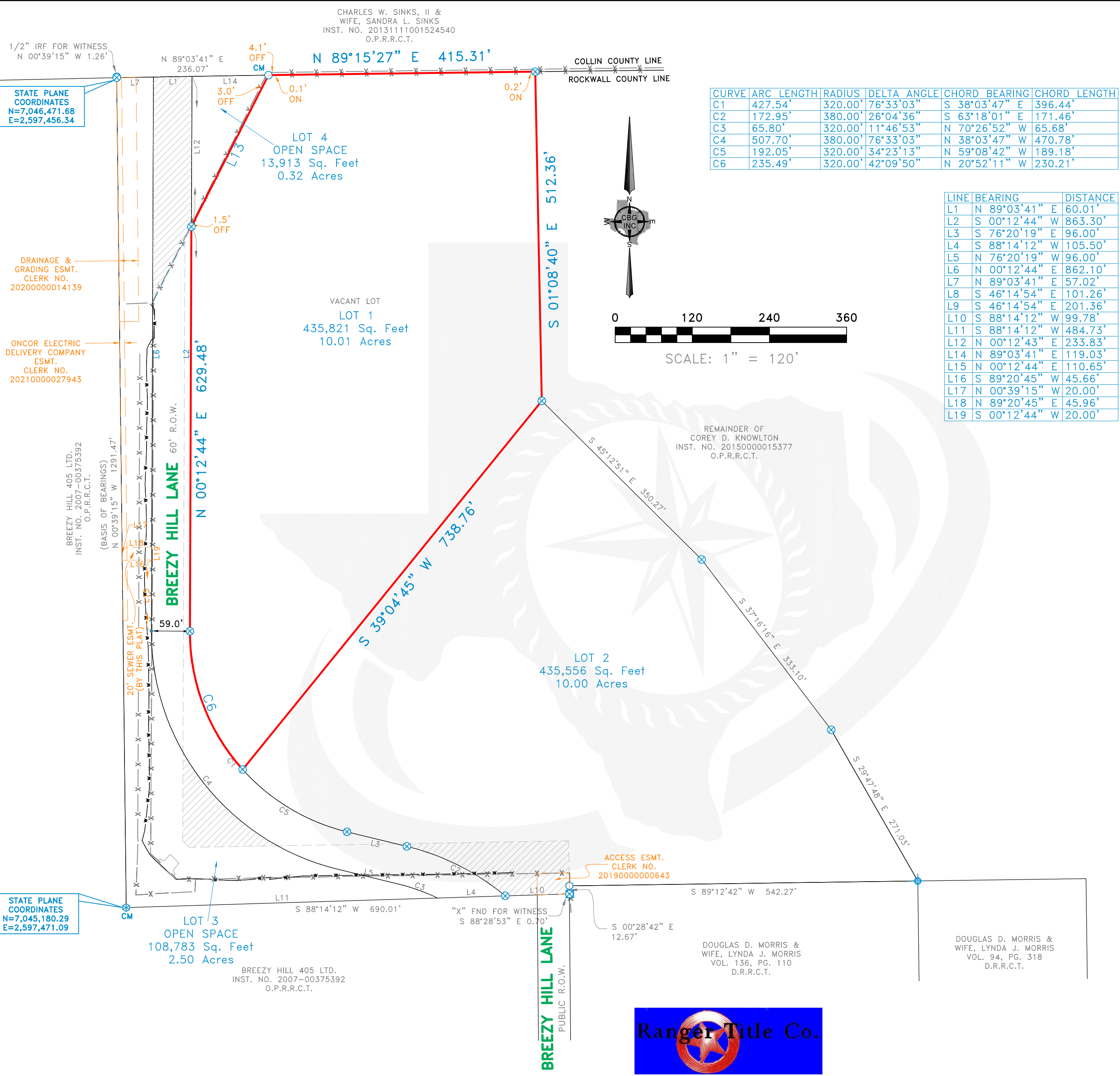


ROOF OVERVIEW PERSPECTIVE



**ROOF PLAN**  
SCALE: 1/4"=1'-0"





CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	427.54'	320.00'	76°33'03"	S 38°03'47" E	396.44'
C2	172.95'	380.00'	26°04'36"	S 63°18'01" E	171.46'
C3	65.80'	320.00'	11°46'53"	N 70°26'52" W	65.68'
C4	507.70'	380.00'	76°33'03"	N 38°03'47" W	470.78'
C5	192.05'	320.00'	34°23'13"	N 59°08'42" W	189.18'
C6	235.49'	320.00'	42°09'50"	N 20°52'11" W	230.21'

LINE	BEARING	DISTANCE
L1	N 89°03'41" E	60.01'
L2	S 00°12'44" W	863.30'
L3	S 76°20'19" E	96.00'
L4	S 88°14'12" W	105.50'
L5	N 76°20'19" W	96.00'
L6	N 00°12'44" E	862.10'
L7	N 89°03'41" E	57.02'
L8	S 46°14'54" E	101.26'
L9	S 46°14'54" E	201.36'
L10	S 88°14'12" W	99.78'
L11	S 88°14'12" W	484.73'
L12	N 00°12'43" E	233.83'
L14	N 89°03'41" E	119.03'
L15	N 00°12'44" E	110.65'
L16	S 89°20'45" W	45.66'
L17	N 00°39'15" W	20.00'
L18	N 89°20'45" E	45.96'
L19	S 00°12'44" W	20.00'

**Breezy Hill Lane (Lot 1)**

Lot 1, Breezy Hill Lane Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Clerk# 2020000009078, Plat Records, Rockwall County, Texas.

**SURVEYOR'S CERTIFICATE**

The undersigned Registered Professional Land Surveyor hereby certifies to Taylor Henson, Kaylee Henson, WFG National Title Insurance Company, and Ranger Title Company, in connection with the transaction described in G.F. No. R220291R that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries or the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Executed this 21st day of February, 2022

*Michael Churchwell*  
Registered Professional Land Surveyor



NOTE: According to the F.I.R.M. in Map No. 48397C0030L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

ACCEPTED BY: \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

NOTES:  
BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.  
2) PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN: VOLUME 1452, PAGE 222, CLERK#S: 2020000009078, 2020000004363  
3) EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY: VOLUME 46, PAGE 512

REVISIONS		
DATE	BY	NOTES

LEGEND	
○	CONTROLLING MONUMENT
○	1/2" IRON ROD FOUND
○	1/2" IRON ROD SET
○	1" IRON PIPE FOUND
□	FENCE POST CORNER
⊗	"X" FOUND / SET
⊗	5/8" ROD FOUND
▲	UNDERGROUND ELECTRIC
▲	OVERHEAD ELECTRIC
●	POWER POLE
⊕	POINT FOR CORNER
⊕	GRAVEL/ROCK ROAD OR DRIVE
PE	POOL EQUIPMENT
■	COLUMN
AC	AIR CONDITIONING
⊗	FIRE HYDRANT
—	OES - OES
—	OHP - OHP
—	ASPHALT PAVING
—	CHAIN LINK FENCE
—	WOOD FENCE
—	0.5" WIDE TYPICAL BARBED WIRE
—	IRON FENCE
—	PIPE FENCE
—	COVERED PORCH, DECK OR CARPORT
—	OVERHEAD ELECTRIC SERVICE
—	OVERHEAD POWER LINE
—	CONCRETE PAVING
—	DOUBLE SIDED WOOD FENCE

**CBG SURVEYING TEXAS LLC**  
1413 E. IH-30, Ste. 7  
Garland, TX 75043  
P 214.349.9485  
F 214.349.2216  
Firm No. 10168800  
www.cbgtxl.com

SCALE	DATE	JOB NO.	G.F. NO.	DRAWN
1" = 120'	02/21/2022	1513780-13	SEE CERT.	MARIA

**FINAL SURVEY**

LOT 1, BLOCK A, BREEZY HILL LANE ADDITION  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
BREEZY HILL LANE (LOT 1)







# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1325 Breezy Hill Ln, Rockwall, TX 75087  
 SUBDIVISION: Breezy Hill Addition LOT 1 BLOCK -  
 GENERAL LOCATION: end of Breezy Hill Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Ag. CURRENT USE: Ag.  
 PROPOSED ZONING: Ag./Residential PROPOSED USE: Ag./Residential  
 ACREAGE: 10 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: Kaylee + Taylor Henson  APPLICANT: \_\_\_\_\_  
 CONTACT PERSON: Taylor Henson CONTACT PERSON: \_\_\_\_\_  
 ADDRESS: 2710 Morning Mist Lane ADDRESS: \_\_\_\_\_  
 CITY, STATE & ZIP: Nevada, TX 75173 CITY, STATE & ZIP: \_\_\_\_\_  
 PHONE: 9034077848 PHONE: \_\_\_\_\_  
 E-MAIL: hensontaylor@gmail.com E-MAIL: \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kaylee Henson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 350 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21st DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

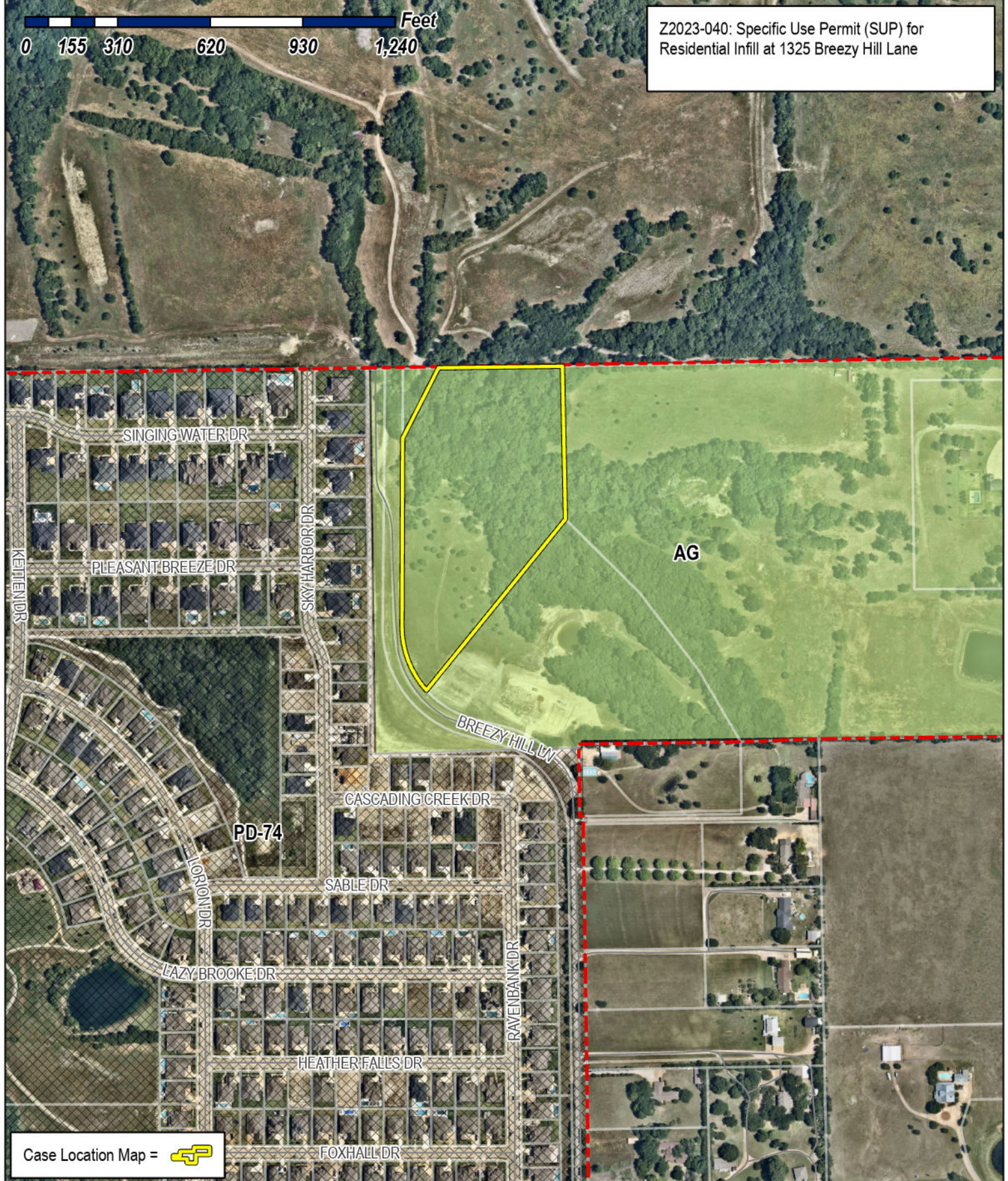
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21st DAY OF July, 2023  
 OWNER'S SIGNATURE: Kaylee Henson  
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Trena L. Jackson


Trena L. Jackson  
 Notary Public, State of Texas  
 Comm. Expires 04/05/2024  
 Notary ID 1193003-0  
 MY COMMISSION EXPIRES 4/5/2024





Z2023-040: Specific Use Permit (SUP) for Residential Infill at 1325 Breezy Hill Lane



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



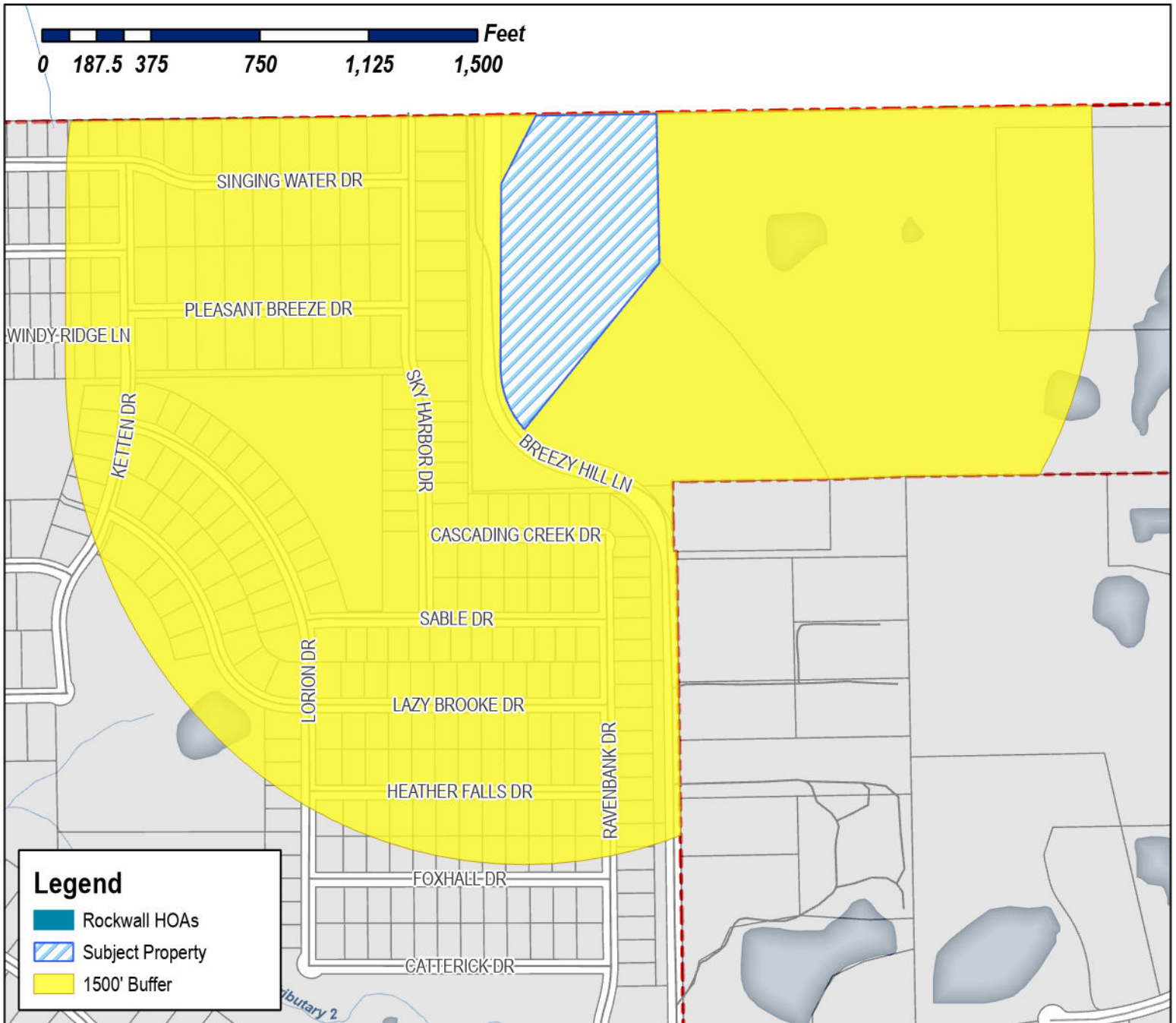




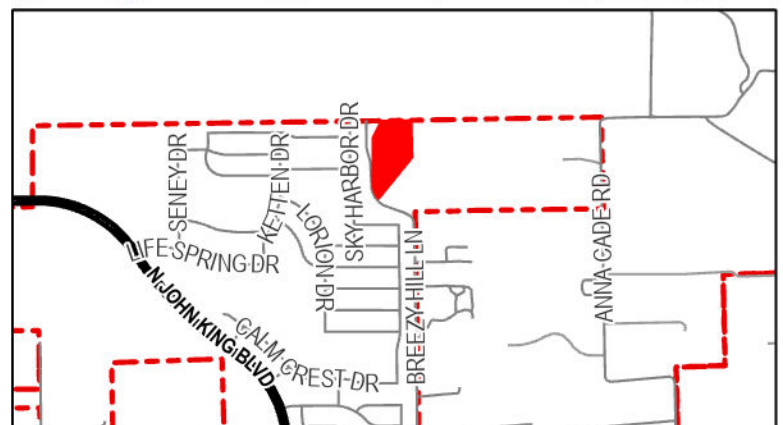
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-040  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 1325 Breezy Hill Lane



**Date Saved:** 8/14/2023  
 For Questions on this Case Call (972) 771-7745

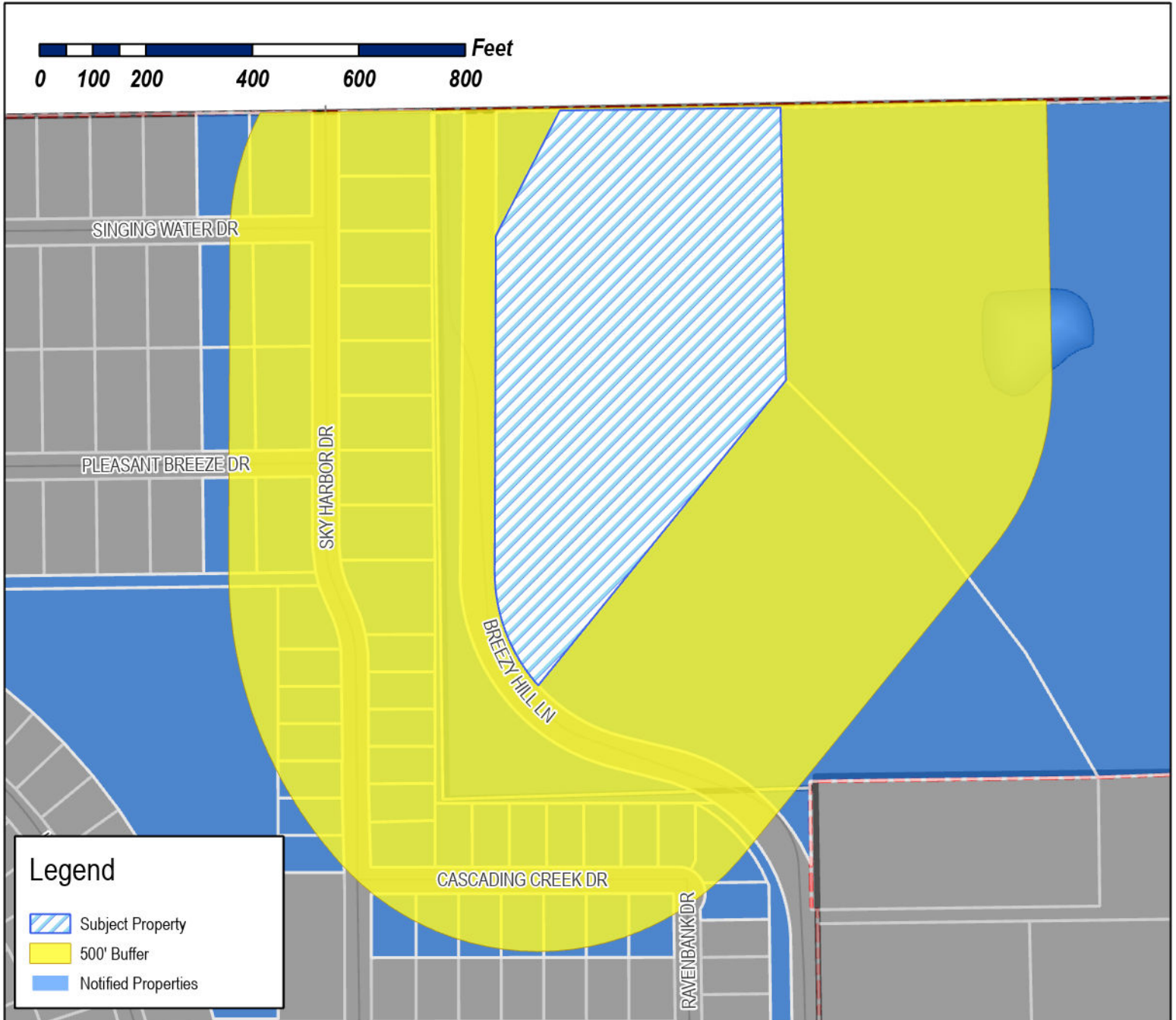




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-040  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 1325 Breezy Hill Lane

**Date Saved:** 8/14/2023  
 For Questions on this Case Call: (972) 771-7746





RESIDENT  
1001 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1005 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1006 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1009 CASCADING CREEK DR  
ROCKWALL, TX 75032

YOUSEF RITA A & OSAMA S SHENOUDA  
1010 CASCADING CREEK DR  
ROCKWALL, TX 75087

RESIDENT  
1013 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1014 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1017 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1018 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1020 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1021 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1024 CASCADING CREEK DR  
ROCKWALL, TX 75032

BREEZY HILL ESTATES HOMEOWNERS  
ASSOCIATION INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

BREEZY HILL ESTATES HOMEOWNERS  
ASSOCIATION INC  
1024 S GREENVILLE AVE SUITE 230  
ALLEN, TX 75002

RESIDENT  
1025 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1028 CASCADING CREEK DR  
ROCKWALL, TX 75032

KNOWLTON COREY D  
1460 ANNA CADE ROAD  
ROCKWALL, TX 75087

FISCHER DAVID SCOTT AND CHRISTINE  
1608 LAKE CREST LANE  
PLANO, TX 75023

RESIDENT  
205 BREEZY HILL DR  
ROCKWALL, TX 75032

RESIDENT  
205 ROCKHOUSE LN  
ROCKWALL, TX 75032

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
4505 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4506 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4511 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4514 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4516 RAVENBANK DR  
ROCKWALL, TX 75032

RESIDENT  
4521 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4525 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4528 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4529 SKY HARBOR DR  
ROCKWALL, TX 75032



RESIDENT  
4532 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4533 SKY HARBOR DR  
ROCKWALL, TX 75032

VALLABINENI RAJESH AND THRIVIDYA  
MADAPATI  
THRIVIDYA MADAPATI  
4536 SKY HARBOR DR  
ROCKWALL, TX 75087

RESIDENT  
4537 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4538 SKY HARBOR DR  
ROCKWALL, TX 75032

SANCHEZ ELENA  
4546 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

WALLER DAVID AND SORAYA  
4550 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

RESIDENT  
4602 RAVENBANK DR  
ROCKWALL, TX 75032

RESIDENT  
4602 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4606 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4610 SKY HARBOR DR  
ROCKWALL, TX 75032

ECHOLS BRITTNEY  
4614 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

RESIDENT  
4618 SKY HARBOR DR  
ROCKWALL, TX 75032

BRATBERG NEIL  
4622 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
5310 HARVEST HILL RD SUITE 162  
DALLAS, TX 75230

HENSON TAYLOR RAY AND KAYLEE RAYE  
7138 LAUREL RIDGE  
DALLAS, TX 75231

MCCORMACK JAMES ROSSI AND ELENA LOUISE  
731 PLEASANT BREEZE DRIVE  
ROCKWALL, TX 75087

GNANAYUTHAM JEREMY AND JESSIE  
732 PLEASANT BREEZE DRIVE  
ROCKWALL, TX 75087

GILLIGAN DEBORAH ANN AND TRAVIS EGUENE  
733 SINGING WATER DRIVE  
ROCKWALL, TX 75087

JACKS DALLAS CLAYTON AND MAGEN NICOLE  
734 SINGING WATER DRIVE  
ROCKWALL, TX 75087

RESIDENT  
735 PLEASANT BREEZE DR  
ROCKWALL, TX 75032

SIEVERT SHANNON AND CHRISTY  
736 PLEASANT BREEZE DR  
ROCKWALL, TX 75087

GARCIA KRIS A AND ANGELA M  
737 SINGING WATER DRIVE  
ROCKWALL, TX 75087

BAKER CHRISTOPHER AND RHYANA  
738 SINGING WATER DRIVE  
ROCKWALL, TX 75087

BH PHASE XI LTD  
8214 WESTCHESTER DRIVE SUITE 900  
DALLAS, TX 75225

SINKS CHARLES W  
8854 CR 2472  
ROYSE CITY, TX 75189

HEFNER SCOTT & CHERYL  
897 ANACONDA COURT  
CASTLE ROCKWA, CO 80108







DOOR SCHEDULE									
SYMBOL	ELEVATION	NUMBER	QTY	FLOOR	SIZE	NO.	DESCRIPTION	HEADER	
	D01	4080	2	1	4080	110"X96"	GARAGE-GARAGE DOOR CH200	2X12X16' (2)	
	D02	6080	3	1	6080 L/R EX	74"X96"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X11' (2)	
	D03	3080	1	1	3080 L EX	38"X96"	EXT. HINGED-DOOR E02	2X6X41' (2)	
	D04	3080	1	1	3080 R EX	38"X96"	EXT. HINGED-DOOR E02	2X6X41' (2)	
	D05	2080	1	1	2080 L IN	25 13/16"X96 1/2"	HINGED-DOOR P04	2X6X26 13/16' (2)	
	D06	2480	1	1	2480 R IN	30"X96 1/2"	HINGED-DOOR P04	2X6X33' (2)	
	D07	2880	1	1	2880 L IN	32"X96 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D08	2880	1	1	2880 R	61 1/4"X96 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D09	2880	1	1	2880 R IN	32"X96 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D10	3080	1	1	3080 L IN	30"X96 1/2"	HINGED-DOOR P04	2X6X41' (2)	
	D11	2880	1	1	2880 R IN	34"X96 1/2"	HINGED-DOOR P04	2X6X37' (2)	
	D12	2880	2	1	2880 L	61 1/4"X96 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D13	2880	1	1	2880 L	50"X96"	SHOWER-GLASS SLAB		
	D14	2860	1	2	2860 R	59 3/8"X82 1/2"	POCKET-DOOR P04	2X6X59 3/8' (2)	
	D15	2860	2	2	2860 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D16	2860	1	2	2860 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D17	2860	6	2	2860 R IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D18	4080	3	2	4080 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X39' (2)	

WINDOW SCHEDULE									
SYMBOL	ELEVATION	NUMBER	QTY	FLOOR	SIZE	NO.	DESCRIPTION	HEADER	
	W01	2040FX	3	1	2040FX	28"X48"	FIXED GLASS	2X6X28' (2)	
	W02	2080FX	2	1	2080FX	28"X48"	FIXED GLASS	2X6X28' (2)	
	W03	2680FX	2	1	2680FX	31"X48"	FIXED GLASS	2X6X34' (2)	
	W04	3050FX	4	1	3050FX	37"X48"	FIXED GLASS	2X6X40' (2)	
	W05	3060FX	2	1	3060FX	37"X48"	FIXED GLASS	2X6X40' (2)	
	W06	3050DH	6	2	3050DH	37"X61"	DOUBLE HUNG	2X6X40' (2)	
	W07	3050FX	0	2	3050FX	37"X61"	FIXED GLASS	2X6X40' (2)	



**E1** FRONT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



**E2** REAR EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"







## INDEX OF DRAWINGS:

PROJECT OVERVIEW	A-1
PHASE ONE SITE PLAN	A-2
FIRST FLOOR PLAN	A-3
SECOND FLOOR PLAN	A-4
FRONT & REAR EXTERIOR ELEVATIONS	A-5
SIDE EXTERIOR ELEVATIONS	A-6
ELECTRICAL PLANS	A-7
ROOF PLAN	A-8
FOUNDATION PLAN	A-9

## AREA CALCULATIONS:

1ST FLOOR HVAC	1,655 SQ. FT.
2ND FLOOR HVAC	1,095 SQ. FT.
<b>TOTAL HVAC</b>	<b>2,750 SQ. FT.</b>
FRONT COVERED PORCH	79 SQ. FT.
BACK COVERED PATIO	280 SQ. FT.
GARAGE & STORAGE	722 SQ. FT.
GARAGE COVERED PORCH	46 SQ. FT.
<b>TOTAL UNDER ROOF</b>	<b>3,877 SQ. FT.*</b>
<b>FOUNDATION FOOTPRINT</b>	<b>2,932 SQ. FT.**</b>

61'-1 1/2" X 75'-8"

4 BED, 3.5 BATH

\*TOTAL UNDER ROOF SQUARE FOOTAGE CALCULATES THE TOTAL LIVING AREA, EXCLUDING THE ROOMS' WALL THICKNESSES.

\*\*FOUNDATION FOOTPRINT SQUARE FOOTAGE CALCULATES THE ENTIRE STRUCTURE'S GROUND FLOOR AREA INCLUDING WALL THICKNESS, EXTERIOR MATERIAL LEDGES, FIREPLACES, AND ALL OTHER NON HVAC AREAS.

ALL DIMENSIONS SHOWN ARE TO THE EXTERIOR FRAMING LAYER.



## FRONT EXTERIOR PERSPECTIVE RENDERING

FOR ILLUSTRATION ONLY

## GENERAL NOTES

THE PURCHASER OF THESE PLANS IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND FOR ENSURING THAT THE PLAN IS CORRECTLY ADAPTED TO ACCOMMODATE LOCAL SITE CONDITIONS. THE PURCHASER CAN CONSULT WITH A LOCAL ARCHITECT OR ENGINEER REGARDING THESE MATTERS. BEFORE CONSTRUCTION BEGINS, THE PURCHASER SHOULD THOROUGHLY REVIEW THIS PLAN WITH THE CONTRACTOR, VERIFY ALL DIMENSIONS, AND REPORT TO BREMARIE DESIGNS LLC ANY ERRORS, OMISSIONS, OR QUESTIONS FOR CLARIFICATION. ALL EXTERIOR AND INTERIOR DIMENSIONS ARE TO THE FRAMING LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS, INCLUDING ROUGH OPENINGS.

THE CONTRACTOR IS RESPONSIBLE FOR A SITE SURVEY TO VERIFY HOME LOCATION AND SETBACKS PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE PURCHASER SHOULD VERIFY ALL STRUCTURAL ELEMENTS FOR THE PLAN AND SITE WITH A LOCAL ENGINEER. LARGE SPANS : LOAD BEARING BEAM/HEADER SIZE FOR SPANS IN EXCESS OF 20' TO BE SPECIFIED BY ENGINEER. THE EXACT SIZE, REINFORCEMENT, AND DEPTH OF ALL CONCRETE FOOTINGS AND FOUNDATIONS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES FOR CONSTRUCTION. THE BOTTOM OF ALL FOOTINGS SHOULD EXTEND BELOW THE FROST LINE. THE PURCHASER OF THESE PLANS UNDERSTANDS ALL RISKS ASSOCIATED WITH ADAPTING THE PLAN TO LOCAL SITES AFFECTED BY REGIONAL VARIATIONS IN CLIMATE, LOCAL SITE CONDITIONS, DESIGN NEEDS AND BUILDING CODES.

BREMARIE DESIGNS LLC MAY NOT BE HELD RESPONSIBLE FOR ADAPTING THIS PLAN TO LOCAL SITE CONDITIONS, DESIGN CHANGES, CONSTRUCTION MEANS, OR METHODS, COSTS, WORKMANSHIP, QUALITY OF MATERIALS, OR EQUIPMENT UTILIZED IN CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ASPECTS OF THESE PLANS AND TO ENSURE PLANS MEET ALL LOCAL GOVERNING CODES AND REQUIREMENTS. BREMARIE DESIGNS LLC ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS. THE PURCHASER IS GRANTED THE RIGHT TO BUILD ONLY ONE STRUCTURE FROM THIS PLAN (OR MODIFIED PLAN). THIS RIGHT EXTENDS TO THE ORIGINAL PURCHASER ONLY AND IS NOT TRANSFERABLE.

SHEET TITLE:  
**PROJECT OVERVIEW**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
 ROCKWALL, TEXAS  
 TAYLOR HENSON**

DATE:  
 3/10/2023

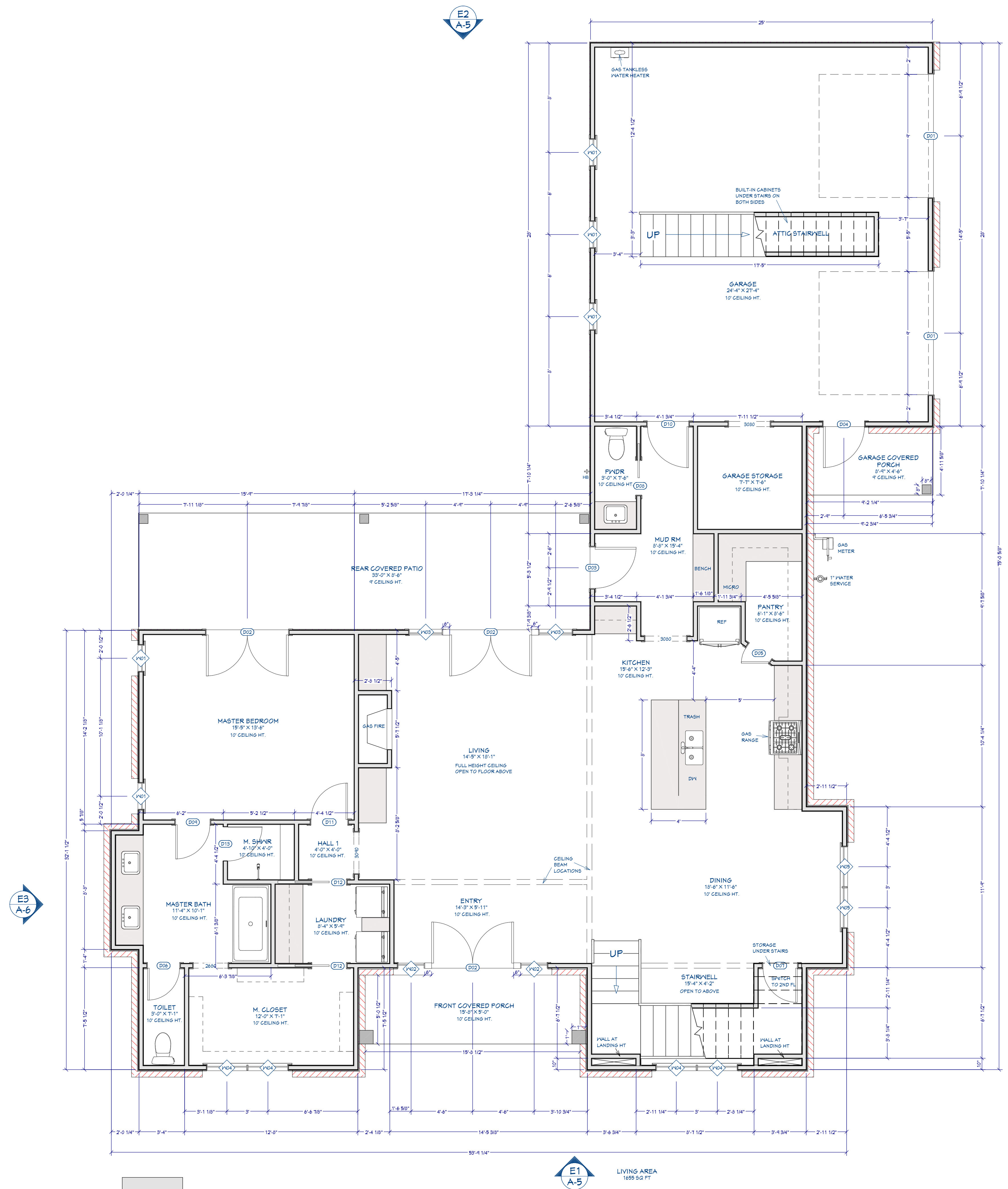
SCALE:  
 NO SCALE

SHEET:  
**A-1**



DOOR SCHEDULE		NO.		DESCRIPTION		HEADER			
DEPTH	ELEVATION	NO.	QTY	NO.	DESCRIPTION	NO.	DESCRIPTION		
30	12116"	D01	4080	2	1	4080	110"X84"	GARAGE-GARAGE DOOR (4080)	2X12X116" (2)
30	12116"	D02	6080	3	1	6080	LUR EX 74"X84"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X116" (2)
30	12116"	D03	3080	1	1	3080	L EX 38"X84"	EXT. HINGED-DOOR E02	2X6X41" (2)
30	12116"	D04	3080	1	1	3080	R EX 38"X84"	EXT. HINGED-DOOR E02	2X6X41" (2)
30	12116"	D05	2080	1	1	2080	L IN 25 13/16"X84 1/2"	HINGED-DOOR P04	2X6X20 13/16" (2)
30	12116"	D06	2480	1	1	2480	R IN 30"X84 1/2"	HINGED-DOOR P04	2X6X33" (2)
30	12116"	D07	2880	1	1	2880	L IN 32"X84 1/2"	HINGED-DOOR P04	2X6X39" (2)
30	12116"	D08	2880	1	1	2880	R 61 1/4"X84 1/2"	POCKET-DOOR P04	2X6X84 1/4" (2)
30	12116"	D09	2880	1	1	2880	R IN 32"X84 1/2"	HINGED-DOOR P04	2X6X39" (2)
30	12116"	D10	3080	1	1	3080	L IN 30"X84 1/2"	HINGED-DOOR P04	2X6X41" (2)
30	12116"	D11	2880	1	1	2880	R IN 34"X84 1/2"	HINGED-DOOR P04	2X6X37" (2)
30	12116"	D12	2880	2	1	2880	L 61 1/4"X84 1/2"	POCKET-DOOR P04	2X6X84 1/4" (2)
30	12116"	D13	2880	1	1	2880	L 30"X84"	SHOWER-GLASS SLAB	
30	12116"	D14	2360	1	2	2360	R 59 3/8"X82 1/2"	POCKET-DOOR P04	2X6X59 3/8" (2)
30	12116"	D15	2880	2	2	2880	L IN 32"X82 1/2"	HINGED-DOOR P04	2X6X39" (2)
30	12116"	D16	2880	1	2	2880	R 61 1/4"X82 1/2"	POCKET-DOOR P04	2X6X84 1/4" (2)
30	12116"	D17	2880	6	2	2880	R IN 32"X82 1/2"	HINGED-DOOR P04	2X6X39" (2)
30	12116"	D18	4080	3	2	4080	LUR IN 50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X83" (2)

WINDOW SCHEDULE		NO.		DESCRIPTION		HEADER			
DEPTH	ELEVATION	NO.	QTY	NO.	DESCRIPTION	NO.	DESCRIPTION		
30	12116"	W01	2040FX	3	1	2040FX	28"X48"	FIXED GLASS	2X6X28" (2)
30	12116"	W02	2080FX	2	1	2080FX	28"X48"	FIXED GLASS	2X6X28" (2)
30	12116"	W03	2680FX	2	1	2680FX	31"X84"	FIXED GLASS	2X6X34" (2)
30	12116"	W04	3050FX	4	1	3050FX	37"X81"	FIXED GLASS	2X6X40" (2)
30	12116"	W05	3060FX	2	1	3060FX	37"X81"	FIXED GLASS	2X6X40" (2)
30	12116"	W06	3050DH	6	2	3050DH	37"X81"	DOUBLE HUNG	2X6X40" (2)
30	12116"	W07	3050FX	0	2	3050FX	37"X81"	FIXED GLASS	2X6X40" (2)



**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION

**SHEET TITLE:**  
**FIRST FLOOR PLAN**

**PROJECT DESCRIPTION:**  
**BREEZY HILL LANE ADDITION**  
**ROCKWALL, TEXAS**  
**TAYLOR HENSON**

**DATE:**  
3/10/2023

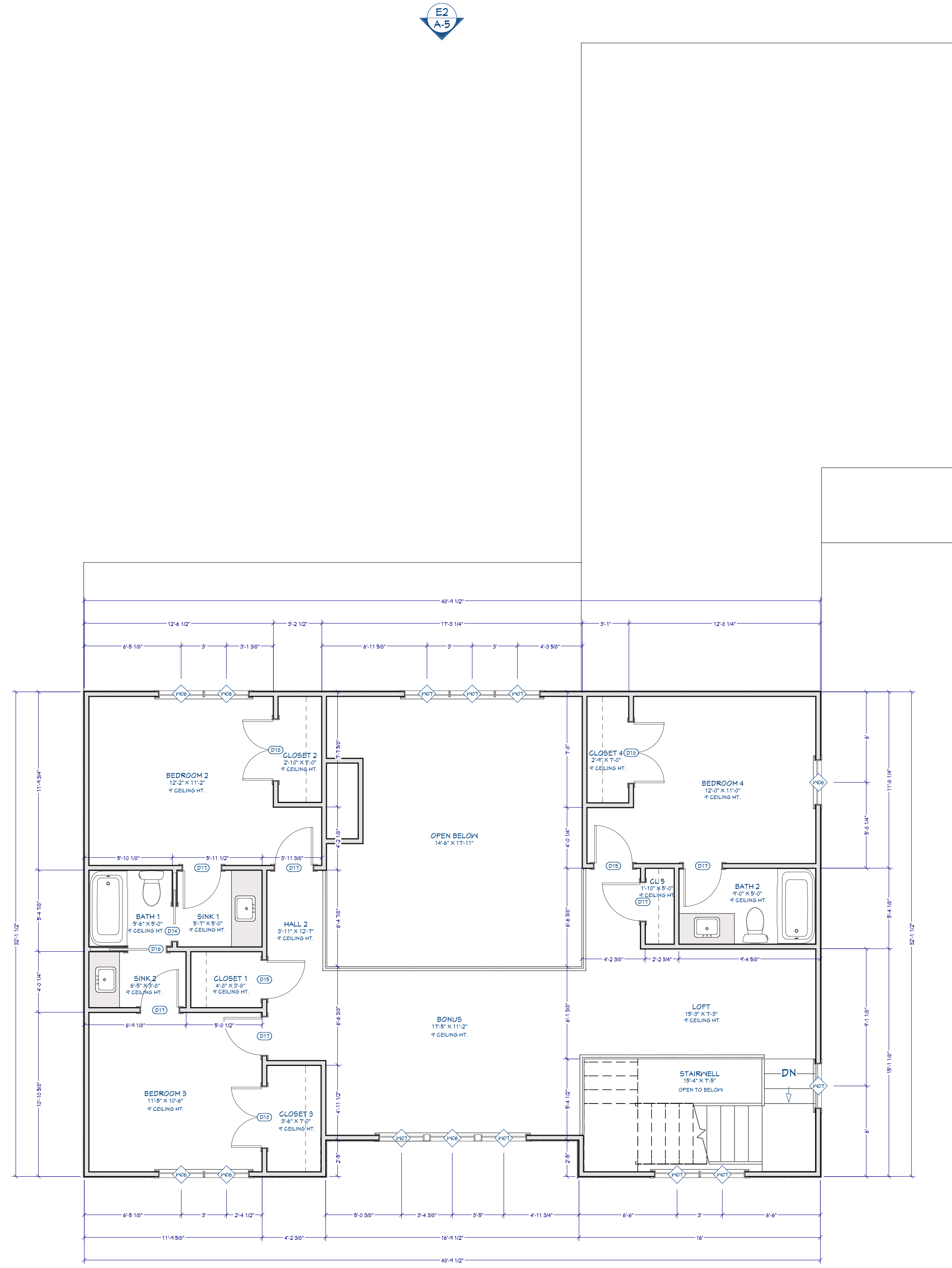
**SCALE:**  
1/4"=1'-0"

**SHEET:**  
**A-3**



DOOR SCHEDULE								
DEPTH/TYPE	ELEVATION	NUMBER	LABEL	QTY	FLOOR/TYPE	NO.	DESCRIPTION	HEADER
	D01	4080	2	1	4080	110"X96"	GARAGE-GARAGE DOOR CH200	2X12X16' (2)
	D02	6080	3	1	6080 L/R EX	74"X96"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X11' (2)
	D03	3080	1	1	3080 L EX	33"X96"	EXT. HINGED-DOOR E02	2X6X41' (2)
	D04	3080	1	1	3080 R EX	33"X96"	EXT. HINGED-DOOR E02	2X6X41' (2)
	D05	2080	1	1	2080 L IN	25 13/16"X96 1/2"	HINGED-DOOR P04	2X6X20 13/16' (2)
	D06	2480	1	1	2480 R IN	30"X96 1/2"	HINGED-DOOR P04	2X6X33' (2)
	D07	2880	1	1	2880 L IN	32"X96 1/2"	HINGED-DOOR P04	2X6X39' (2)
	D08	2880	1	1	2880 R	61 1/4"X96 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)
	D09	2880	1	1	2880 R IN	32"X96 1/2"	HINGED-DOOR P04	2X6X39' (2)
	D10	3080	1	1	3080 L IN	33"X96 1/2"	HINGED-DOOR P04	2X6X41' (2)
	D11	2880	1	1	2880 R IN	34"X96 1/2"	HINGED-DOOR P04	2X6X37' (2)
	D12	2880	2	1	2880 L	61 1/4"X96 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)
	D13	2880	1	1	2880 L	30"X96"	SHOWER-GLASS SLAB	
	D14	2860	1	2	2860 R	59 3/8"X82 1/2"	POCKET-DOOR P04	2X6X59 3/8' (2)
	D15	2860	2	2	2860 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)
	D16	2860	1	2	2860 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)
	D17	2860	6	2	2860 R IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)
	D18	4080	3	2	4080 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X39' (2)

WINDOW SCHEDULE								
DEPTH/TYPE	ELEVATION	NUMBER	LABEL	QTY	FLOOR/TYPE	NO.	DESCRIPTION	HEADER
	W01	2040FX	3	1	2040FX	28"X48"	FIXED GLASS	2X6X28' (2)
	W02	2080FX	2	1	2080FX	28"X48"	FIXED GLASS	2X6X28' (2)
	W03	2680FX	2	1	2680FX	31"X48"	FIXED GLASS	2X6X34' (2)
	W04	3050FX	4	1	3050FX	37"X61"	FIXED GLASS	2X6X40' (2)
	W05	3060FX	2	1	3060FX	37"X61"	FIXED GLASS	2X6X40' (2)
	W06	3050DH	6	2	3050DH	37"X61"	DOUBLE HUNG	2X6X40' (2)
	W07	3050FX	0	2	3050FX	37"X61"	FIXED GLASS	2X6X40' (2)



**SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"  
 LIVING AREA  
 1098 SQ FT

NO.	DATE	DESCRIPTION

**SHEET TITLE:**  
**SECOND FLOOR PLAN**

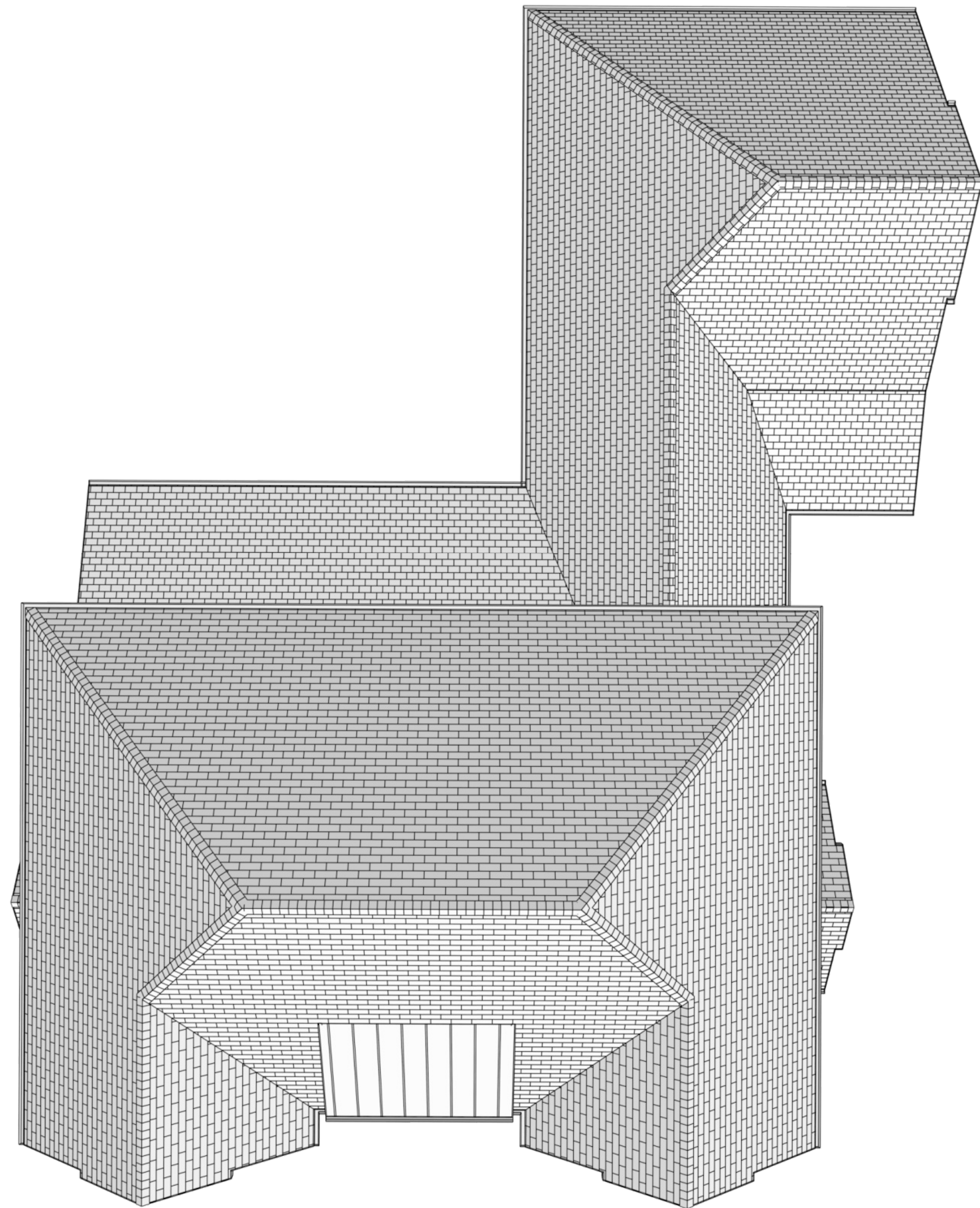
**PROJECT DESCRIPTION:**  
**BREEZY HILL LANE ADDITION**  
**ROCKWALL, TEXAS**  
**TAYLOR HENSON**

**DATE:**  
 3/10/2023

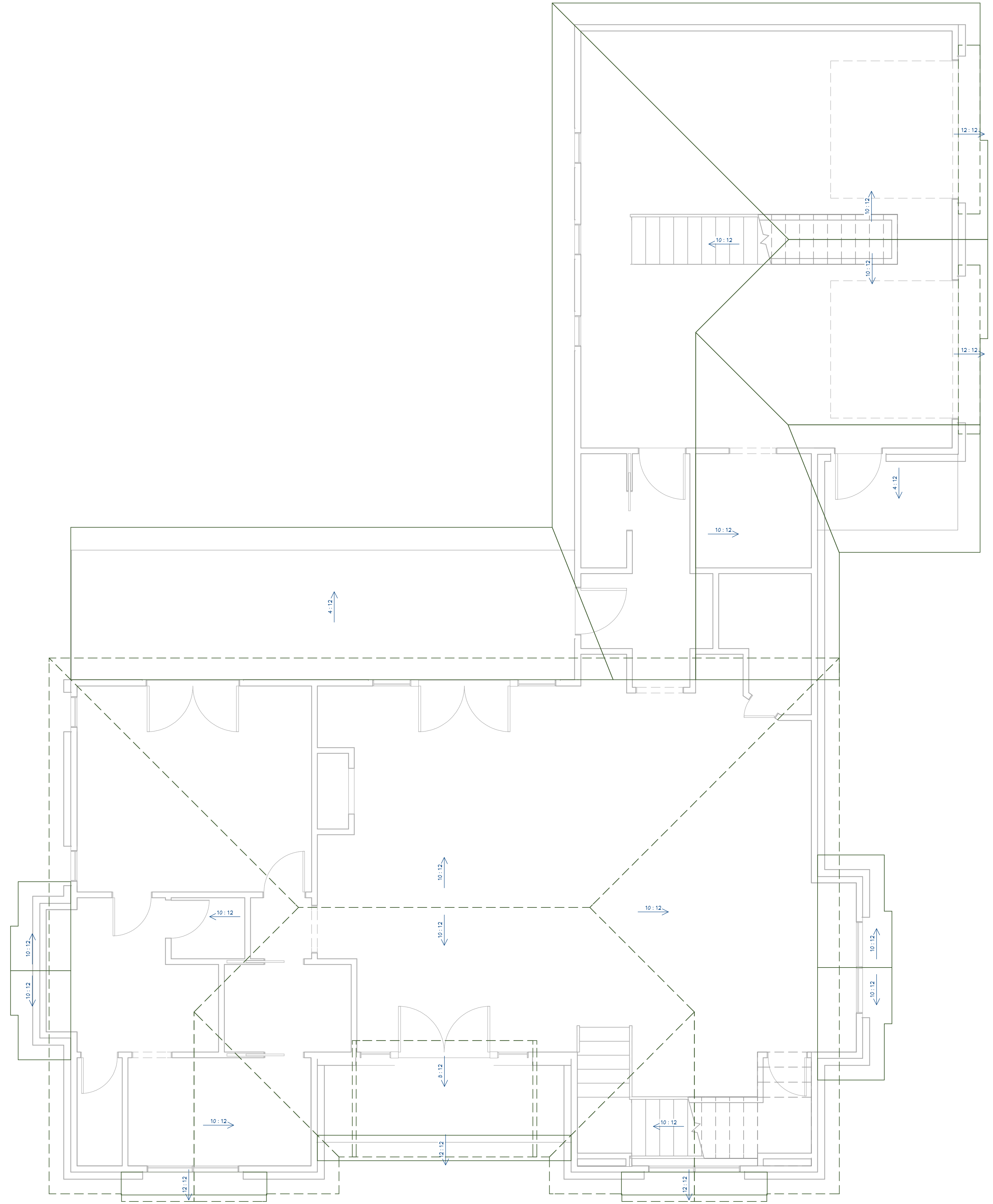
**SCALE:**  
 1/4"=1'-0"

**SHEET:**  
**A-4**



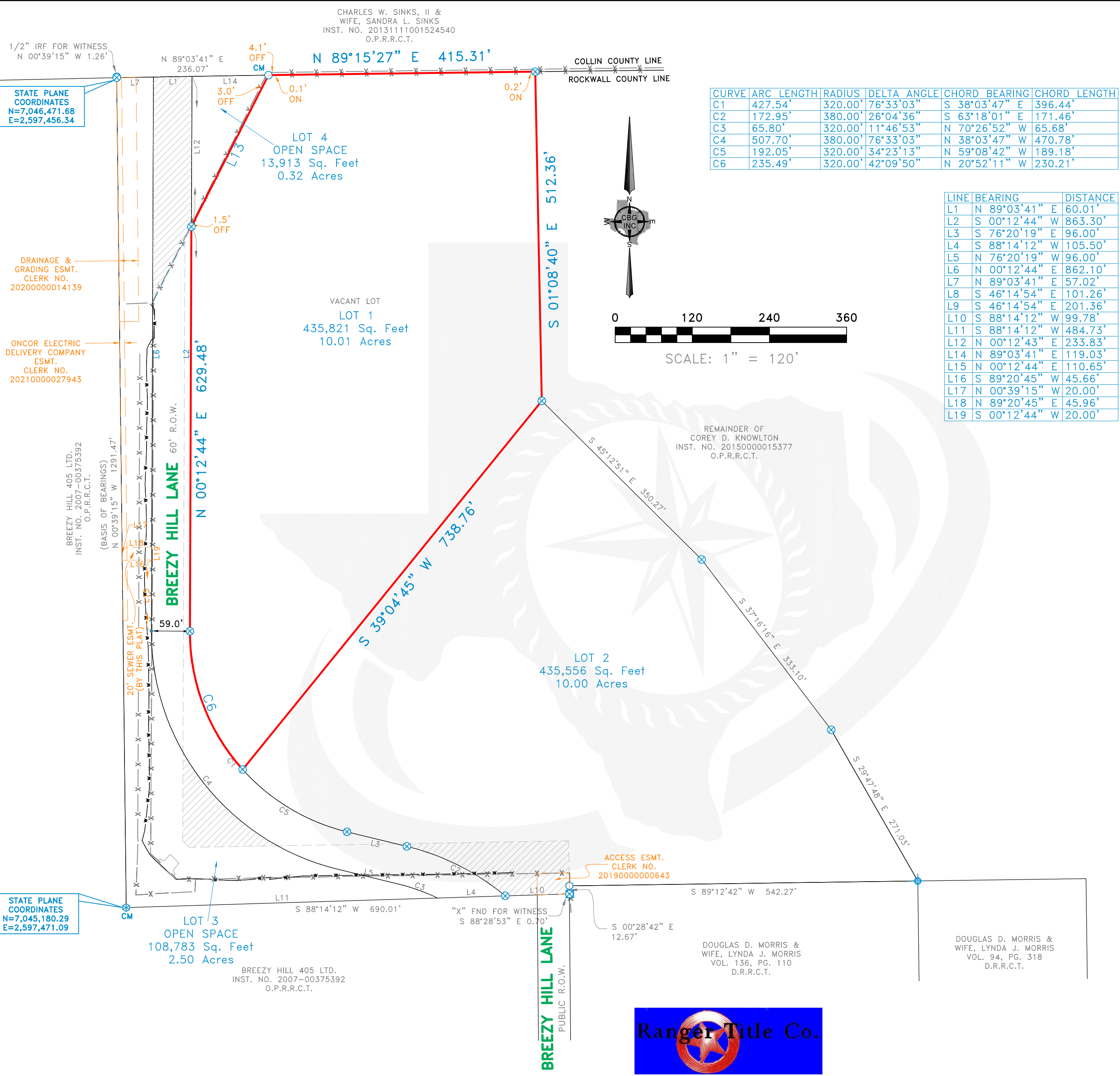


ROOF OVERVIEW PERSPECTIVE



**ROOF PLAN**  
SCALE: 1/4"=1'-0"





CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	427.54'	320.00'	76°33'03"	S 38°03'47" E	396.44'
C2	172.95'	380.00'	26°04'36"	S 63°18'01" E	171.46'
C3	65.80'	320.00'	11°46'53"	N 70°26'52" W	65.68'
C4	507.70'	380.00'	76°33'03"	N 38°03'47" W	470.78'
C5	192.05'	320.00'	34°23'13"	N 59°08'42" W	189.18'
C6	235.49'	320.00'	42°09'50"	N 20°52'11" W	230.21'

LINE	BEARING	DISTANCE
L1	N 89°03'41" E	60.01'
L2	S 00°12'44" W	863.30'
L3	S 76°20'19" E	96.00'
L4	S 88°14'12" W	105.50'
L5	N 76°20'19" W	96.00'
L6	N 00°12'44" E	862.10'
L7	N 89°03'41" E	57.02'
L8	S 46°14'54" E	101.26'
L9	S 46°14'54" E	201.36'
L10	S 88°14'12" W	99.78'
L11	S 88°14'12" W	484.73'
L12	N 00°12'43" E	233.83'
L14	N 89°03'41" E	119.03'
L15	N 00°12'44" E	110.65'
L16	S 89°20'45" W	45.66'
L17	N 00°39'15" W	20.00'
L18	N 89°20'45" E	45.96'
L19	S 00°12'44" W	20.00'

**Breezy Hill Lane (Lot 1)**

Lot 1, Breezy Hill Lane Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Clerk# 2020000009078, Plat Records, Rockwall County, Texas.

**SURVEYOR'S CERTIFICATE**

The undersigned Registered Professional Land Surveyor hereby certifies to Taylor Henson, Kaylee Henson, WFG National Title Insurance Company, and Ranger Title Company, in connection with the transaction described in G.F. No. R220291R that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the encroachments or protrusions on the ground.

Executed this 21st day of February, 2022

*Michael Churchwell*  
 Registered Professional Land Surveyor



NOTE: According to the F.I.R.M. in Map No. 48397C0030L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

ACCEPTED BY: \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

NOTES:  
 BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.  
 2) PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN: VOLUME 1452, PAGE 222, CLERK#: 2020000009078, 2020000004363  
 3) EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY: VOLUME 46, PAGE 512

REVISIONS		
DATE	BY	NOTES

LEGEND	
○ 1/2" IRON ROD FOUND	PE - POOL EQUIPMENT
⊗ 1/2" IRON ROD SET	■ COLUMN
○ 1" IRON PIPE FOUND	AC - AIR CONDITIONING
□ FENCE POST CORNER	⊕ FIRE HYDRANT
⊗ "X" FOUND / SET	▭ COVERED PORCH, DECK OR CARPORT
⊗ 5/8" ROD FOUND	— OES — OES OVERHEAD ELECTRIC SERVICE
▲ UNDERGROUND ELECTRIC	— OHP — OHP OVERHEAD POWER LINE
△ OVERHEAD ELECTRIC	▭ CONCRETE PAVING
● POWER POLE	⊕ POINT FOR CORNER
⊕	▭ DOUBLE SIDED WOOD FENCE
⊕	▭ GRAVEL/ROCK ROAD OR DRIVE

**CBG SURVEYING TEXAS LLC**  
 1413 E. IH-30, Ste. 7  
 Garland, TX 75043  
 P 214.349.9485  
 F 214.349.2216  
 Firm No. 10168800  
 www.cbgtxl.com

SCALE	DATE	JOB NO.	G.F. NO.	DRAWN
1" = 120'	02/21/2022	1513780-13	SEE CERT.	MARIA

**FINAL SURVEY**

LOT 1, BLOCK A, BREEZY HILL LANE ADDITION  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 BREEZY HILL LANE (LOT 1)



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: Z2023-040  
PROJECT NAME: SUP for Residential Infill at 1325 Breezy Hill Lane  
SITE ADDRESS/LOCATIONS: 1325 BREEZY HILL LN

CASE CAPTION: Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	08/23/2023	Approved w/ Comments

08/23/2023: Z2023-040; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 1325 Breezy Hill Lane  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (Z2023-040) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located adjacent to the Breezy Hill Subdivision, which consists of more than five (5) lots, has been in existence for more than ten (10) years, and is more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage will be a j-swing garage which is in conformance with the standards for a home in an Agricultural (AG) District.

M.7 Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that properties in an Agricultural (AG) District should have a minimum front setback of 40-feet. In this request, the proposed home has a front setback of 15-feet. This will need to be corrected on the site plan.



I.8 In this case, the proposed request appears to meet most of the requirements for Residential Infill Adjacent to an Established Subdivision, and the zoning requirements for a property in an Agricultural (AG) District with the exception of the setback requirements.

M.9 Please review the attached Draft Ordinance prior to the August 29, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than September 6, 2023.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on August 29, 2023.

I.11 The projected City Council meeting dates for this case will be September 18, 2023 [1st Reading] and October 2, 2023 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Need to show ex. water line and fire hydrant.

General Library Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Water and Wastewater Items:

- Show existing/proposed utility lines (Water, Sewer, etc.)

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Water Pro-Rata:

\$49,648.73 water pro-rata must be paid prior to building permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Needs Review

08/23/2023: AG Zoning requires a minimum 40' front setback from the front property line. If this is not met the applicant will need to apply for a setback variance with the Board of Adjustment prior to moving forward with the SUP.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------



---

POLICE	Chris Cleveland	08/21/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved
No Comments			

---









# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1325 Breezy Hill Ln, Rockwall, TX 75087  
 SUBDIVISION: Breezy Hill Addition LOT 1 BLOCK -  
 GENERAL LOCATION: end of Breezy Hill Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Ag. CURRENT USE: Ag.  
 PROPOSED ZONING: Ag./Residential PROPOSED USE: Ag./Residential  
 ACREAGE: 10 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: Kaylee + Taylor Henson  APPLICANT: \_\_\_\_\_  
 CONTACT PERSON: Taylor Henson CONTACT PERSON: \_\_\_\_\_  
 ADDRESS: 2710 Morning Mist Lane ADDRESS: \_\_\_\_\_  
 CITY, STATE & ZIP: Nevada, TX 75173 CITY, STATE & ZIP: \_\_\_\_\_  
 PHONE: 9034077848 PHONE: \_\_\_\_\_  
 E-MAIL: hensontaylor@gmail.com E-MAIL: \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kaylee Henson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 350 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21st DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

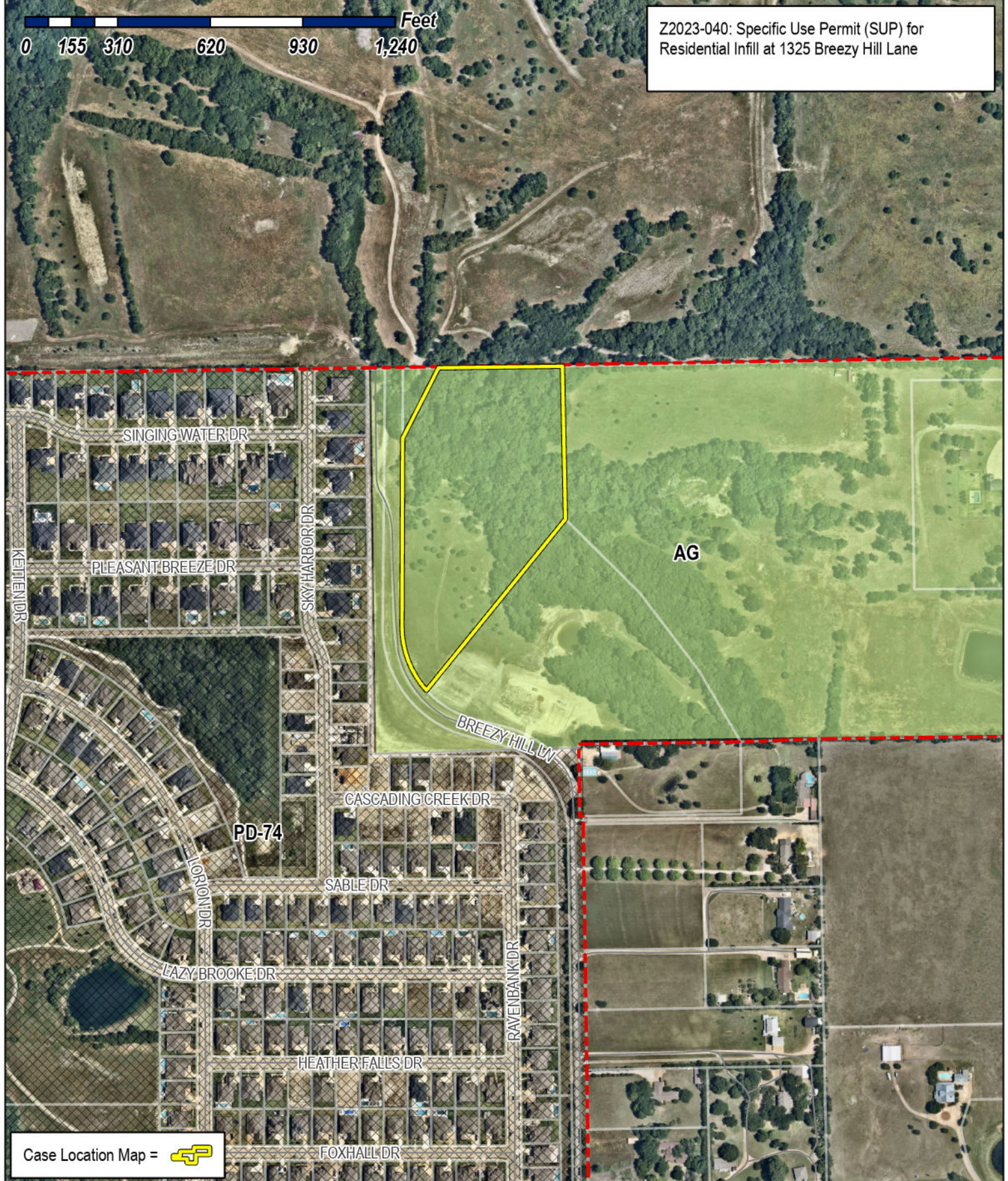
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21st DAY OF July, 2023  
 OWNER'S SIGNATURE: Kaylee Henson  
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Trena L. Jackson


Trena L. Jackson  
 Notary Public, State of Texas  
 Comm. Expires 04/05/2024  
 Notary ID 1193003-0  
 MY COMMISSION EXPIRES 4/5/2024





Z2023-040: Specific Use Permit (SUP) for Residential Infill at 1325 Breezy Hill Lane



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



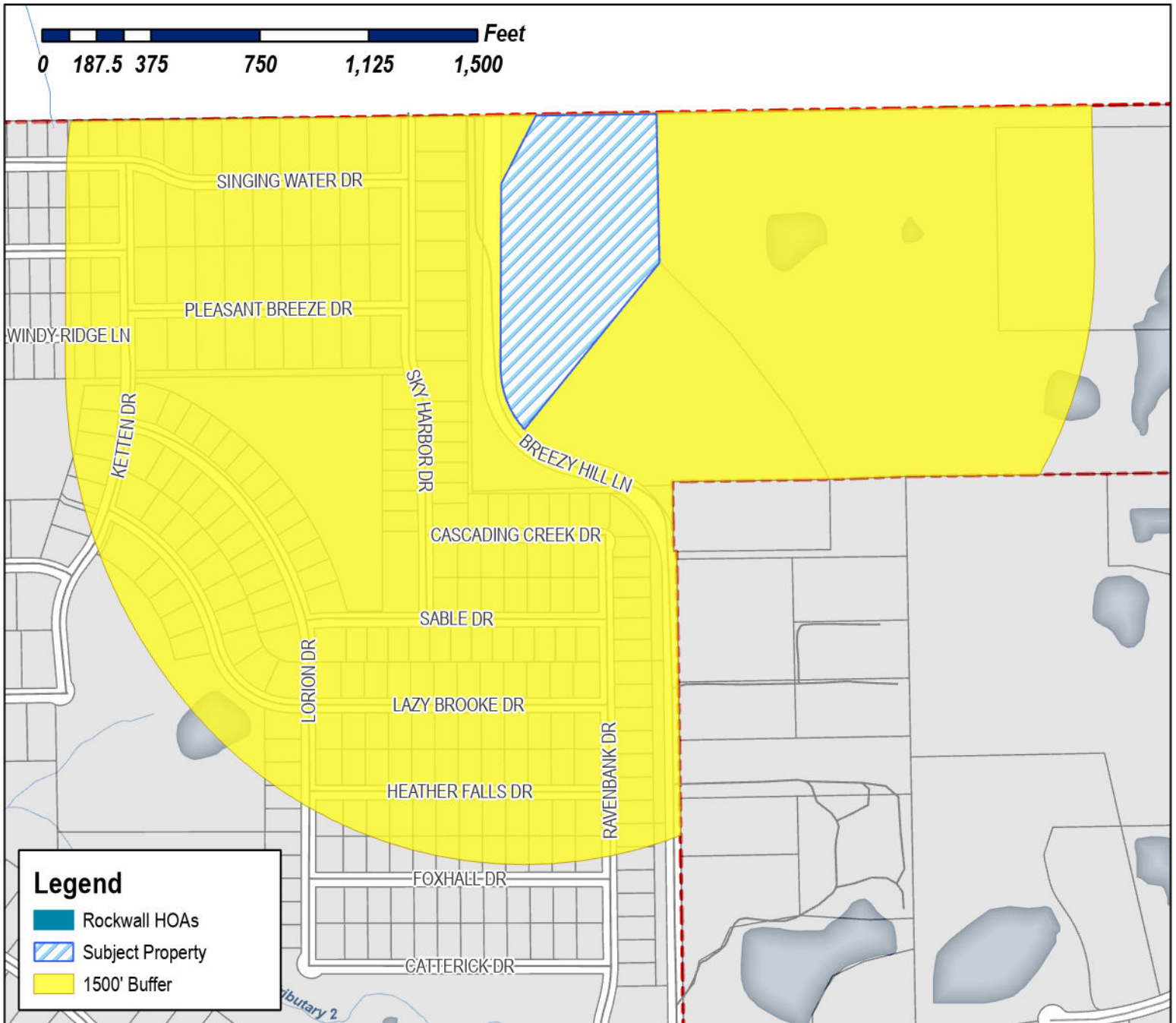




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-040  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 1325 Breezy Hill Lane



**Date Saved:** 8/14/2023

For Questions on this Case Call (972) 771-7745

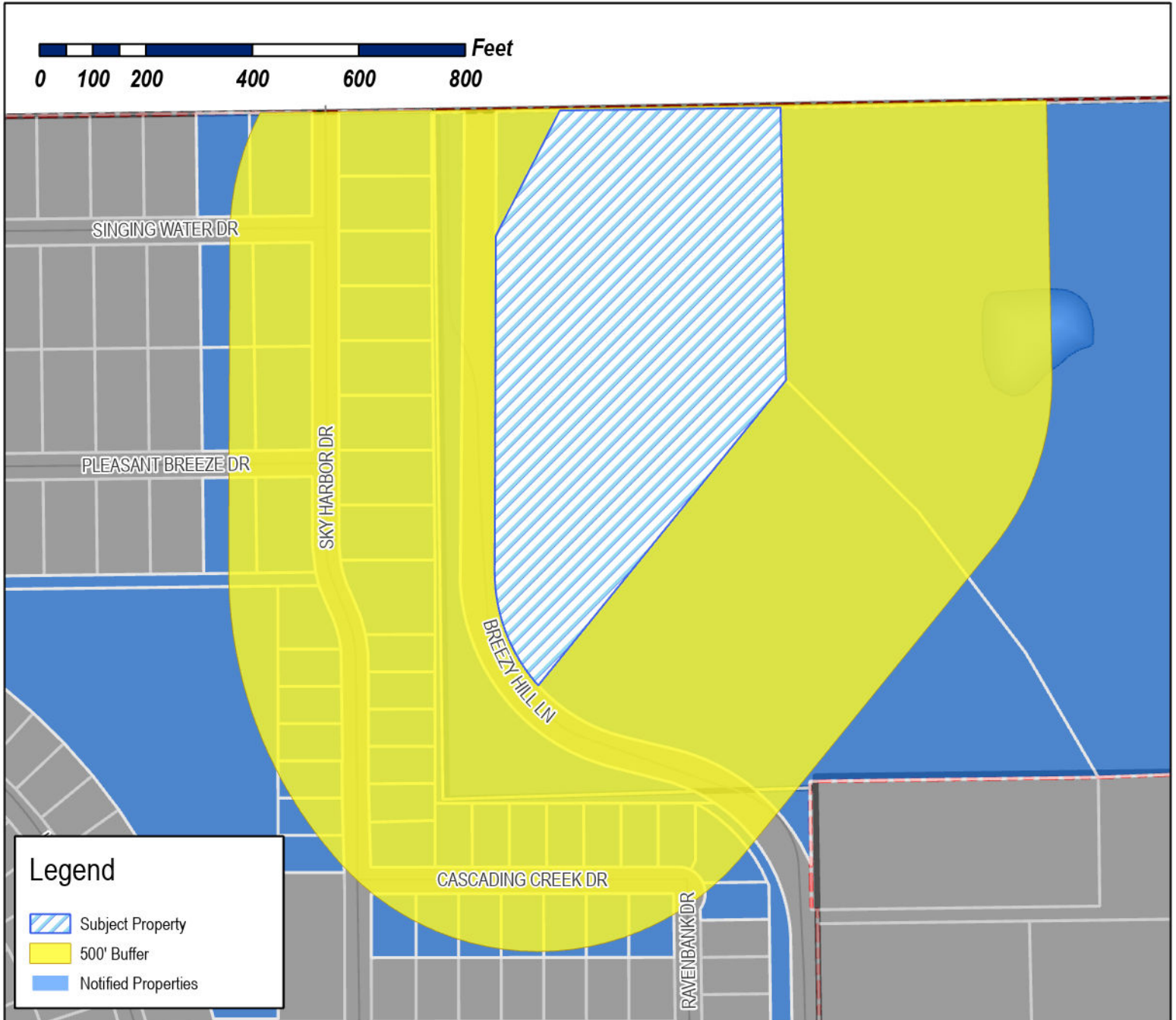




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-040  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 1325 Breezy Hill Lane

**Date Saved:** 8/14/2023  
 For Questions on this Case Call: (972) 771-7746





RESIDENT  
1001 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1005 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1006 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1009 CASCADING CREEK DR  
ROCKWALL, TX 75032

YOUSEF RITA A & OSAMA S SHENOUDA  
1010 CASCADING CREEK DR  
ROCKWALL, TX 75087

RESIDENT  
1013 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1014 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1017 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1018 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1020 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1021 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1024 CASCADING CREEK DR  
ROCKWALL, TX 75032

BREEZY HILL ESTATES HOMEOWNERS  
ASSOCIATION INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

BREEZY HILL ESTATES HOMEOWNERS  
ASSOCIATION INC  
1024 S GREENVILLE AVE SUITE 230  
ALLEN, TX 75002

RESIDENT  
1025 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1028 CASCADING CREEK DR  
ROCKWALL, TX 75032

KNOWLTON COREY D  
1460 ANNA CADE ROAD  
ROCKWALL, TX 75087

FISCHER DAVID SCOTT AND CHRISTINE  
1608 LAKE CREST LANE  
PLANO, TX 75023

RESIDENT  
205 BREEZY HILL DR  
ROCKWALL, TX 75032

RESIDENT  
205 ROCKHOUSE LN  
ROCKWALL, TX 75032

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
4505 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4506 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4511 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4514 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4516 RAVENBANK DR  
ROCKWALL, TX 75032

RESIDENT  
4521 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4525 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4528 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4529 SKY HARBOR DR  
ROCKWALL, TX 75032



RESIDENT  
4532 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4533 SKY HARBOR DR  
ROCKWALL, TX 75032

VALLABINENI RAJESH AND THRIVIDYA  
MADAPATI  
THRIVIDYA MADAPATI  
4536 SKY HARBOR DR  
ROCKWALL, TX 75087

RESIDENT  
4537 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4538 SKY HARBOR DR  
ROCKWALL, TX 75032

SANCHEZ ELENA  
4546 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

WALLER DAVID AND SORAYA  
4550 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

RESIDENT  
4602 RAVENBANK DR  
ROCKWALL, TX 75032

RESIDENT  
4602 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4606 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4610 SKY HARBOR DR  
ROCKWALL, TX 75032

ECHOLS BRITTNEY  
4614 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

RESIDENT  
4618 SKY HARBOR DR  
ROCKWALL, TX 75032

BRATBERG NEIL  
4622 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
5310 HARVEST HILL RD SUITE 162  
DALLAS, TX 75230

HENSON TAYLOR RAY AND KAYLEE RAYE  
7138 LAUREL RIDGE  
DALLAS, TX 75231

MCCORMACK JAMES ROSSI AND ELENA LOUISE  
731 PLEASANT BREEZE DRIVE  
ROCKWALL, TX 75087

GNANAYUTHAM JEREMY AND JESSIE  
732 PLEASANT BREEZE DRIVE  
ROCKWALL, TX 75087

GILLIGAN DEBORAH ANN AND TRAVIS EGUENE  
733 SINGING WATER DRIVE  
ROCKWALL, TX 75087

JACKS DALLAS CLAYTON AND MAGEN NICOLE  
734 SINGING WATER DRIVE  
ROCKWALL, TX 75087

RESIDENT  
735 PLEASANT BREEZE DR  
ROCKWALL, TX 75032

SIEVERT SHANNON AND CHRISTY  
736 PLEASANT BREEZE DR  
ROCKWALL, TX 75087

GARCIA KRIS A AND ANGELA M  
737 SINGING WATER DRIVE  
ROCKWALL, TX 75087

BAKER CHRISTOPHER AND RHYANA  
738 SINGING WATER DRIVE  
ROCKWALL, TX 75087

BH PHASE XI LTD  
8214 WESTCHESTER DRIVE SUITE 900  
DALLAS, TX 75225

SINKS CHARLES W  
8854 CR 2472  
ROYSE CITY, TX 75189

HEFNER SCOTT & CHERYL  
897 ANACONDA COURT  
CASTLE ROCKWA, CO 80108



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-040: SUP for Residential Infill**

*Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2023-040: SUP for Residential Infill**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for providing reasons for support or opposition]

Name: [Grey bar for name]

Address: [Grey bar for address]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



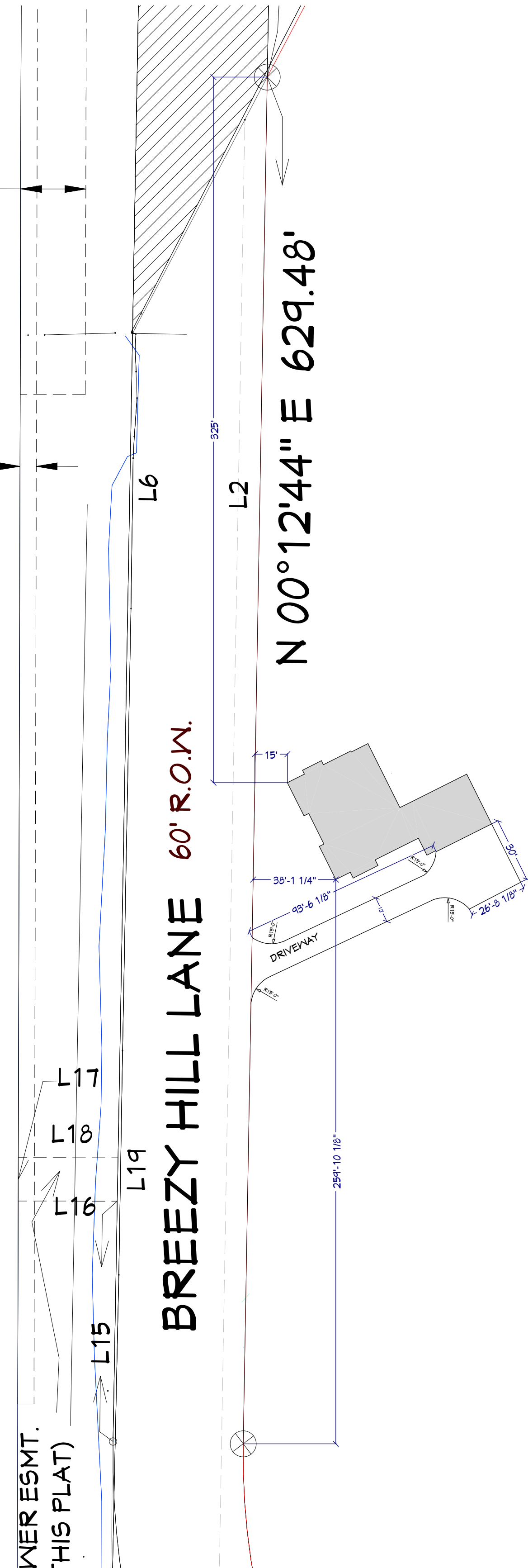
DRAINAGE &  
GRADING ESMT.  
CLERK NO.  
2020000014134

ONCOR ELECTRIC  
DELIVERY COMPANY ESMT.  
CLERK NO.  
20210000027943

BREEZY HILL 405 LTD.  
INST. NO. 2007-00375392  
O.P.R.R.C.T.

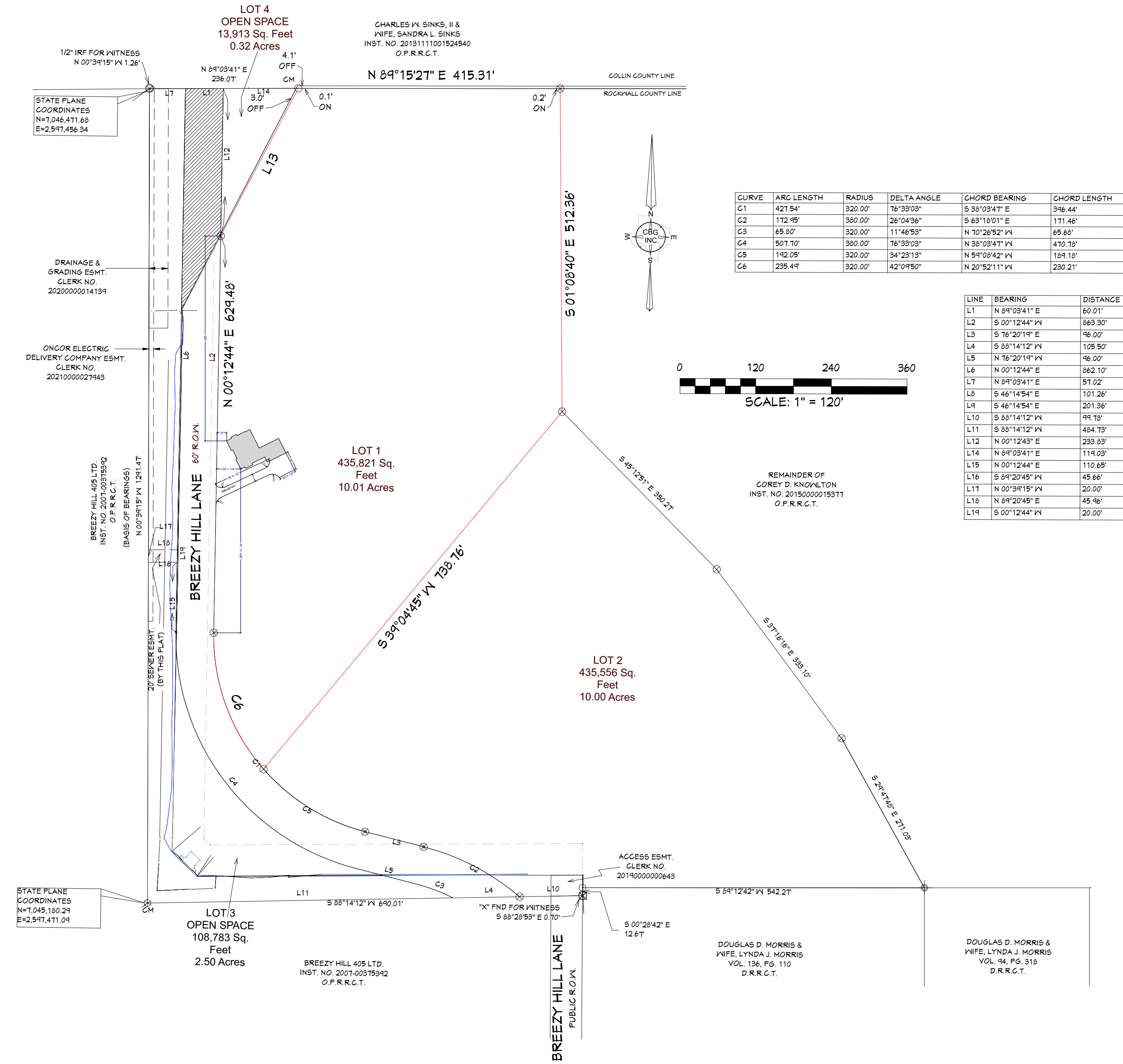
(BASIS OF BEARINGS)

N 00°39'15" W 1291.47'



SITE PLAN

SCALE: 1"=40'-0"



SITE PLAN

SCALE: 1"=120'-0"

SHEET TITLE:

PROJECT DESCRIPTION:  
BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON

DATE:  
3/10/2023

SCALE:  
VARIES

SHEET:  
A-2



DOOR SCHEDULE									
SYMBOL	ELEVATION	NUMBER	QTY	FLOOR	SIZE	NO.	DESCRIPTION	HEADER	
	D01	4080	2	1	4080	110"X96"	GARAGE-GARAGE DOOR CH200	2X12X16' (2)	
	D02	6080	3	1	6080 L/R EX	74"X96"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X11' (2)	
	D03	3080	1	1	3080 L EX	38"X96"	EXT. HINGED-DOOR E02	2X6X41' (2)	
	D04	3080	1	1	3080 R EX	38"X96"	EXT. HINGED-DOOR E02	2X6X41' (2)	
	D05	2080	1	1	2080 L IN	25 13/16"X96 1/2"	HINGED-DOOR P04	2X6X26 13/16' (2)	
	D06	2480	1	1	2480 R IN	30"X96 1/2"	HINGED-DOOR P04	2X6X33' (2)	
	D07	2880	1	1	2880 L IN	32"X96 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D08	2880	1	1	2880 R	61 1/4"X96 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D09	2880	1	1	2880 R IN	32"X96 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D10	3080	1	1	3080 L IN	30"X96 1/2"	HINGED-DOOR P04	2X6X41' (2)	
	D11	2880	1	1	2880 R IN	34"X96 1/2"	HINGED-DOOR P04	2X6X37' (2)	
	D12	2880	2	1	2880 L	61 1/4"X96 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D13	2880	1	1	2880 L	50"X96"	SHOWER-GLASS SLAB		
	D14	2860	1	2	2860 R	59 3/8"X82 1/2"	POCKET-DOOR P04	2X6X59 3/8' (2)	
	D15	2860	2	2	2860 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D16	2860	1	2	2860 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D17	2860	6	2	2860 R IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D18	4080	3	2	4080 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X39' (2)	

WINDOW SCHEDULE									
SYMBOL	ELEVATION	NUMBER	QTY	FLOOR	SIZE	NO.	DESCRIPTION	HEADER	
	W01	2040FX	3	1	2040FX	28"X48"	FIXED GLASS	2X6X28' (2)	
	W02	2080FX	2	1	2080FX	28"X48"	FIXED GLASS	2X6X28' (2)	
	W03	2680FX	2	1	2680FX	31"X48"	FIXED GLASS	2X6X34' (2)	
	W04	3050FX	4	1	3050FX	37"X48"	FIXED GLASS	2X6X40' (2)	
	W05	3060FX	2	1	3060FX	37"X48"	FIXED GLASS	2X6X40' (2)	
	W06	3050DH	6	2	3050DH	37"X61"	DOUBLE HUNG	2X6X40' (2)	
	W07	3050FX	0	2	3050FX	37"X61"	FIXED GLASS	2X6X40' (2)	



**E1** FRONT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



**E2** REAR EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

NO. DATE DESCRIPTION

SHEET TITLE:  
**FRONT & REAR EXTERIOR ELEVATIONS**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON**

DATE:  
3/10/2023

SCALE:  
1/4"=1'-0"

SHEET:  
**A-5**





**E3** LEFT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



**E4** RIGHT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



## INDEX OF DRAWINGS:

PROJECT OVERVIEW	A-1
PHASE ONE SITE PLAN	A-2
FIRST FLOOR PLAN	A-3
SECOND FLOOR PLAN	A-4
FRONT & REAR EXTERIOR ELEVATIONS	A-5
SIDE EXTERIOR ELEVATIONS	A-6
ELECTRICAL PLANS	A-7
ROOF PLAN	A-8
FOUNDATION PLAN	A-9

## AREA CALCULATIONS:

1ST FLOOR HVAC	1,655 SQ. FT.
2ND FLOOR HVAC	1,095 SQ. FT.
<b>TOTAL HVAC</b>	<b>2,750 SQ. FT.</b>
FRONT COVERED PORCH	79 SQ. FT.
BACK COVERED PATIO	280 SQ. FT.
GARAGE & STORAGE	722 SQ. FT.
GARAGE COVERED PORCH	46 SQ. FT.
<b>TOTAL UNDER ROOF</b>	<b>3,877 SQ. FT.*</b>
<b>FOUNDATION FOOTPRINT</b>	<b>2,932 SQ. FT.**</b>

61'-1 1/2" X 75'-8"

4 BED, 3.5 BATH

\*TOTAL UNDER ROOF SQUARE FOOTAGE CALCULATES THE TOTAL LIVING AREA, EXCLUDING THE ROOMS' WALL THICKNESSES.

\*\*FOUNDATION FOOTPRINT SQUARE FOOTAGE CALCULATES THE ENTIRE STRUCTURE'S GROUND FLOOR AREA INCLUDING WALL THICKNESS, EXTERIOR MATERIAL LEDGES, FIREPLACES, AND ALL OTHER NON HVAC AREAS.

ALL DIMENSIONS SHOWN ARE TO THE EXTERIOR FRAMING LAYER.



## FRONT EXTERIOR PERSPECTIVE RENDERING

FOR ILLUSTRATION ONLY

## GENERAL NOTES

THE PURCHASER OF THESE PLANS IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND FOR ENSURING THAT THE PLAN IS CORRECTLY ADAPTED TO ACCOMMODATE LOCAL SITE CONDITIONS. THE PURCHASER CAN CONSULT WITH A LOCAL ARCHITECT OR ENGINEER REGARDING THESE MATTERS. BEFORE CONSTRUCTION BEGINS, THE PURCHASER SHOULD THOROUGHLY REVIEW THIS PLAN WITH THE CONTRACTOR, VERIFY ALL DIMENSIONS, AND REPORT TO BREMARIE DESIGNS LLC ANY ERRORS, OMISSIONS, OR QUESTIONS FOR CLARIFICATION. ALL EXTERIOR AND INTERIOR DIMENSIONS ARE TO THE FRAMING LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS, INCLUDING ROUGH OPENINGS.

THE CONTRACTOR IS RESPONSIBLE FOR A SITE SURVEY TO VERIFY HOME LOCATION AND SETBACKS PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE PURCHASER SHOULD VERIFY ALL STRUCTURAL ELEMENTS FOR THE PLAN AND SITE WITH A LOCAL ENGINEER. LARGE SPANS : LOAD BEARING BEAM/HEADER SIZE FOR SPANS IN EXCESS OF 20' TO BE SPECIFIED BY ENGINEER. THE EXACT SIZE, REINFORCEMENT, AND DEPTH OF ALL CONCRETE FOOTINGS AND FOUNDATIONS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES FOR CONSTRUCTION. THE BOTTOM OF ALL FOOTINGS SHOULD EXTEND BELOW THE FROST LINE. THE PURCHASER OF THESE PLANS UNDERSTANDS ALL RISKS ASSOCIATED WITH ADAPTING THE PLAN TO LOCAL SITES AFFECTED BY REGIONAL VARIATIONS IN CLIMATE, LOCAL SITE CONDITIONS, DESIGN NEEDS AND BUILDING CODES.

BREMARIE DESIGNS LLC MAY NOT BE HELD RESPONSIBLE FOR ADAPTING THIS PLAN TO LOCAL SITE CONDITIONS, DESIGN CHANGES, CONSTRUCTION MEANS, OR METHODS, COSTS, WORKMANSHIP, QUALITY OF MATERIALS, OR EQUIPMENT UTILIZED IN CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ASPECTS OF THESE PLANS AND TO ENSURE PLANS MEET ALL LOCAL GOVERNING CODES AND REQUIREMENTS. BREMARIE DESIGNS LLC ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS. THE PURCHASER IS GRANTED THE RIGHT TO BUILD ONLY ONE STRUCTURE FROM THIS PLAN (OR MODIFIED PLAN). THIS RIGHT EXTENDS TO THE ORIGINAL PURCHASER ONLY AND IS NOT TRANSFERABLE.

SHEET TITLE:  
**PROJECT OVERVIEW**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
 ROCKWALL, TEXAS  
 TAYLOR HENSON**

DATE:  
 3/10/2023

SCALE:  
 NO SCALE

SHEET:  
**A-1**

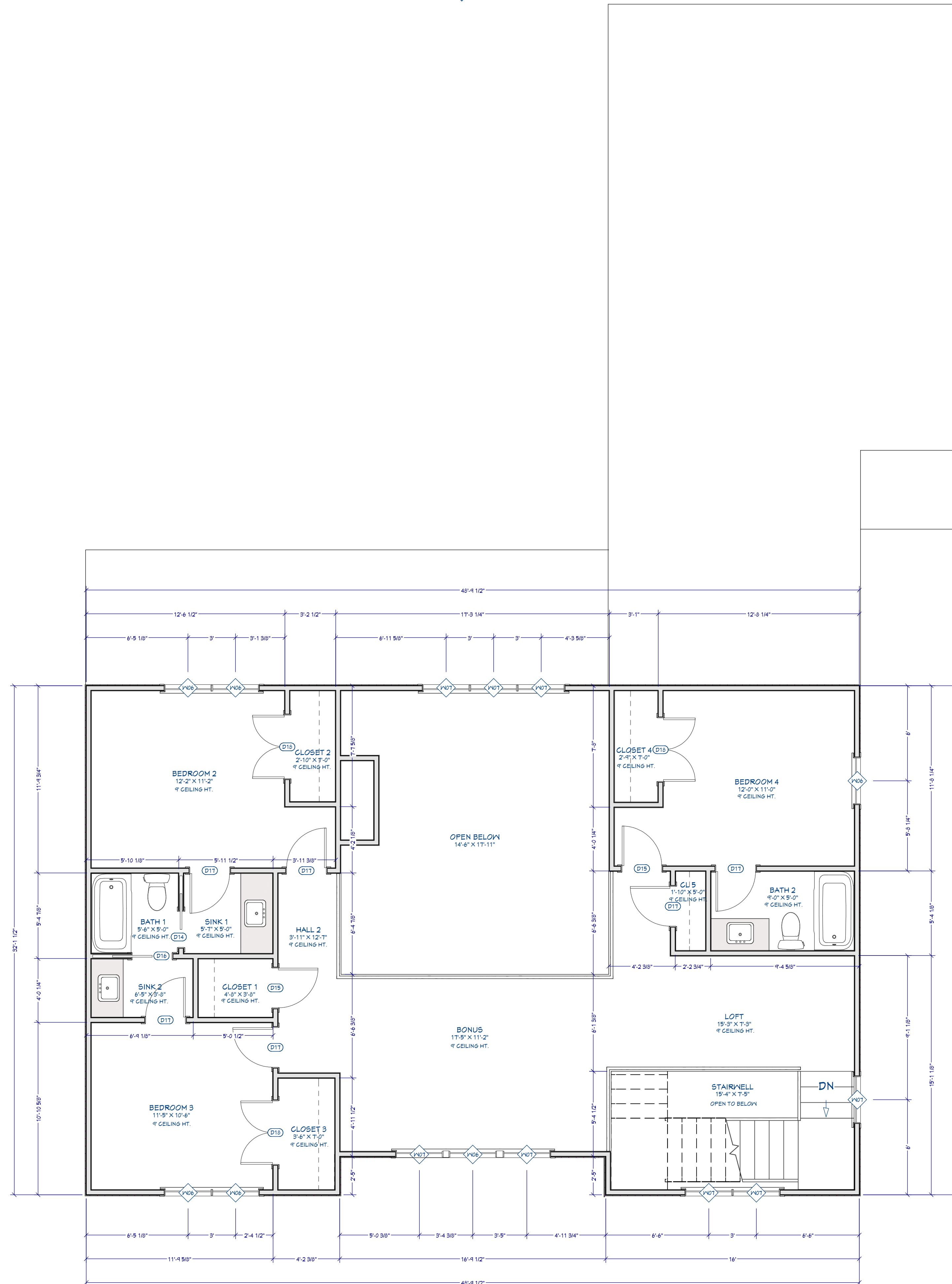






DOOR SCHEDULE							
SYMBOL	ELEVATION	NUMBER	TYPE	FLOOR	SIZE	DESCRIPTION	
	D01	4080	2	1	4080	110"X96"	GARAGE-GARAGE DOOR CH200
	D02	6080	3	1	6080 L/R EX	74"X96"	EXT. DOUBLE HINGED-GLASS PANEL
	D03	3080	1	1	3080 L EX	33"X96"	EXT. HINGED-DOOR E02
	D04	3080	1	1	3080 R EX	33"X96"	EXT. HINGED-DOOR E02
	D05	2080	1	1	2080 L IN	25 13/16"X96 1/2"	HINGED-DOOR P04
	D06	2480	1	1	2480 R IN	30"X96 1/2"	HINGED-DOOR P04
	D07	2880	1	1	2880 L IN	32"X96 1/2"	HINGED-DOOR P04
	D08	2880	1	1	2880 R	61 1/4"X96 1/2"	POCKET-DOOR P04
	D09	2880	1	1	2880 R IN	32"X96 1/2"	HINGED-DOOR P04
	D10	3080	1	1	3080 L IN	33"X96 1/2"	HINGED-DOOR P04
	D11	2880	1	1	2880 R IN	34"X96 1/2"	HINGED-DOOR P04
	D12	2880	2	1	2880 L	61 1/4"X96 1/2"	POCKET-DOOR P04
	D13	2880	1	1	2880 L	30"X96"	SHOWER-GLASS SLAB
	D14	2860	1	2	2860 R	55 3/8"X82 1/2"	POCKET-DOOR P04
	D15	2860	2	2	2860 L IN	32"X82 1/2"	HINGED-DOOR P04
	D16	2860	1	2	2860 R	61 1/4"X82 1/2"	POCKET-DOOR P04
	D17	2860	6	2	2860 R IN	32"X82 1/2"	HINGED-DOOR P04
	D18	4080	3	2	4080 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04

WINDOW SCHEDULE							
SYMBOL	ELEVATION	NUMBER	TYPE	FLOOR	SIZE	DESCRIPTION	
	W01	2040FX	3	1	2040FX	28"X48"	FIXED GLASS
	W02	2080FX	2	1	2080FX	28"X48"	FIXED GLASS
	W03	2680FX	2	1	2680FX	31"X48"	FIXED GLASS
	W04	3050FX	4	1	3050FX	37"X48"	FIXED GLASS
	W05	3060FX	2	1	3060FX	37"X48"	FIXED GLASS
	W06	3050DH	6	2	3050DH	37"X48"	DOUBLE HUNG
	W07	3050FX	0	2	3050FX	37"X48"	FIXED GLASS



**SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"  
 LIVING AREA  
 1098 SQ FT

NO.	DATE	DESCRIPTION

**SHEET TITLE:**  
**SECOND FLOOR PLAN**

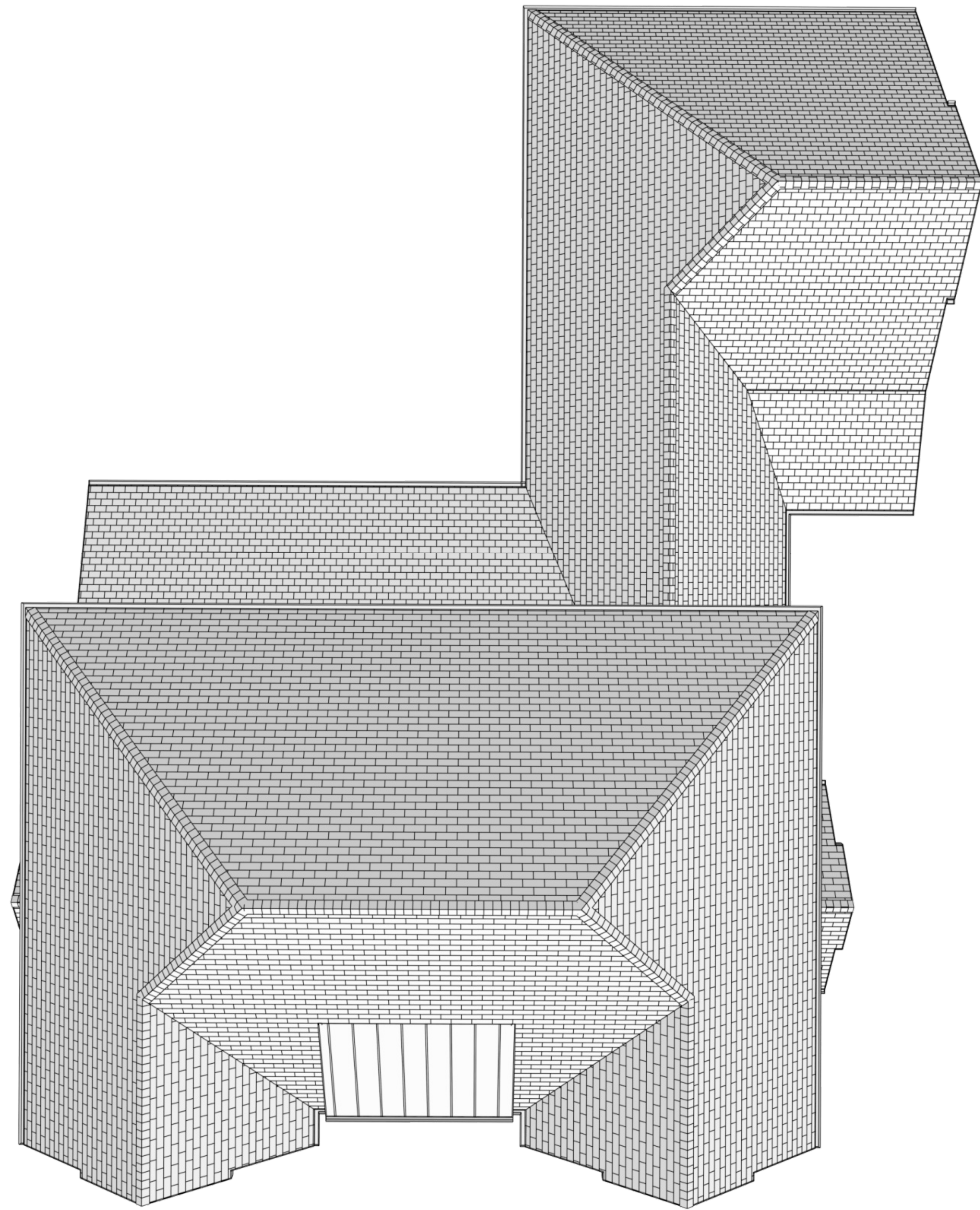
**PROJECT DESCRIPTION:**  
**BREEZY HILL LANE ADDITION**  
**ROCKWALL, TEXAS**  
**TAYLOR HENSON**

**DATE:**  
 3/10/2023

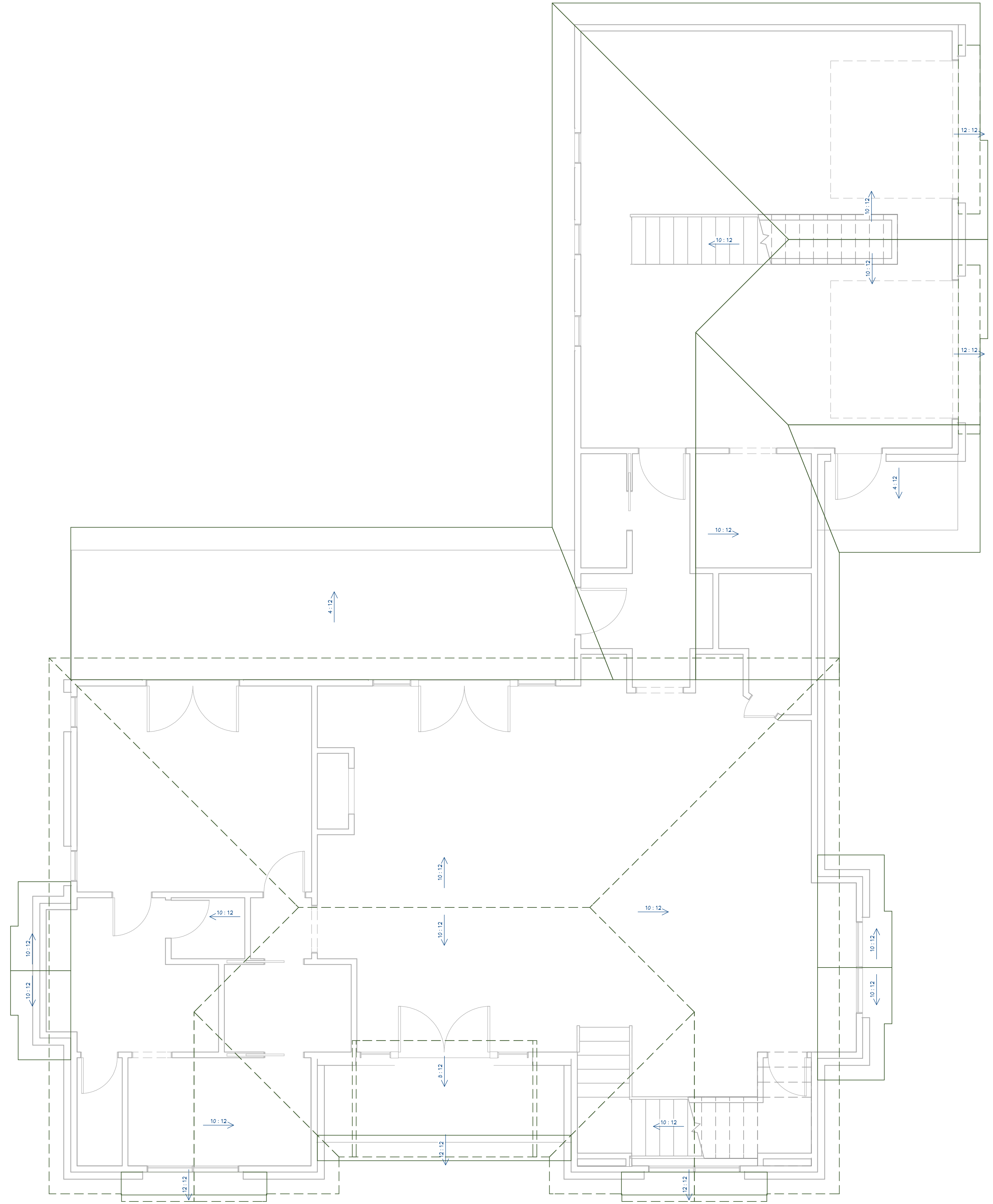
**SCALE:**  
 1/4"=1'-0"

**SHEET:**  
**A-4**



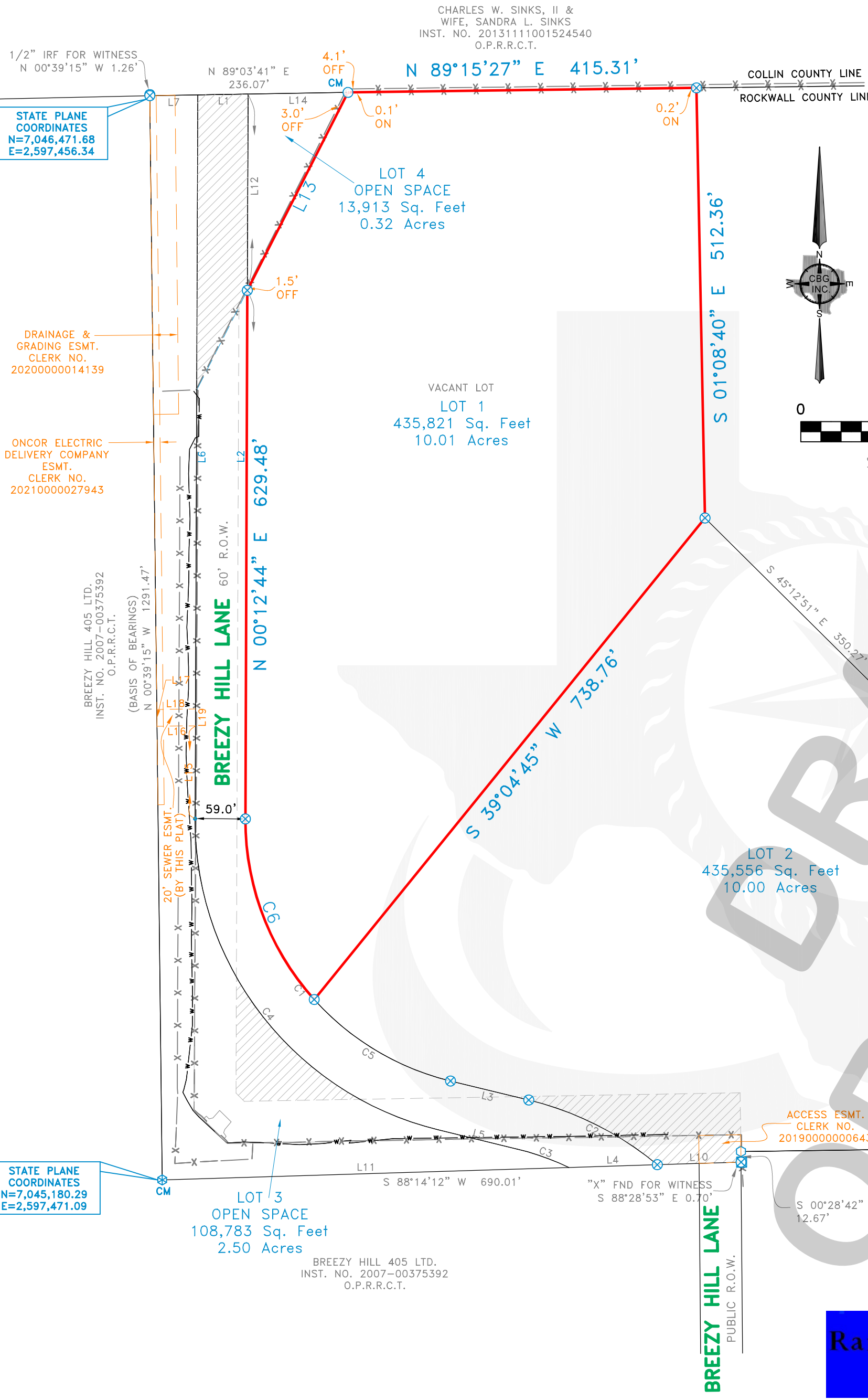


ROOF OVERVIEW PERSPECTIVE



**ROOF PLAN**  
SCALE: 1/4"=1'-0"





CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	427.54'	320.00'	76°33'03"	S 38°03'47" E	396.44'
C2	172.95'	380.00'	26°04'36"	S 63°18'01" E	171.46'
C3	65.80'	320.00'	11°46'53"	N 70°26'52" W	65.68'
C4	507.70'	380.00'	76°33'03"	N 38°03'47" W	470.78'
C5	192.05'	320.00'	34°23'13"	N 59°08'42" W	189.18'
C6	235.49'	320.00'	42°09'50"	N 20°52'11" W	230.21'

LINE	BEARING	DISTANCE
L1	N 89°03'41" E	60.01'
L2	S 00°12'44" W	863.30'
L3	S 76°20'19" E	96.00'
L4	S 88°14'12" W	105.50'
L5	N 76°20'19" W	96.00'
L6	N 00°12'44" E	862.10'
L7	N 89°03'41" E	57.02'
L8	S 46°14'54" E	101.26'
L9	S 46°14'54" E	201.36'
L10	S 88°14'12" W	99.78'
L11	S 88°14'12" W	484.73'
L12	N 00°12'43" E	233.83'
L14	N 89°03'41" E	119.03'
L15	N 00°12'44" E	110.65'
L16	S 89°20'45" W	45.66'
L17	N 00°39'15" W	20.00'
L18	N 89°20'45" E	45.96'
L19	N 00°12'44" W	20.00'

**Breezy Hill Lane (Lot 1)**

Lot 1, Breezy Hill Lane Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Clerk# 2020000009078, Plat Records, Rockwall County, Texas.

**SURVEYOR'S CERTIFICATE**

The undersigned Registered Professional Land Surveyor hereby certifies to Taylor Henson, Kaylee Henson, WFG National Title Insurance Company, and Ranger Title Company, in connection with the transaction described in G.F. No. R220291R that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries or the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Executed this 21st day of February, 2022

*Michael Churchwell*  
Registered Professional Land Surveyor



NOTE: According to the F.I.R.M. in Map No. 48397C0030L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

ACCEPTED BY: \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

NOTES:  
BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.  
2) PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN: VOLUME 1452, PAGE 222, CLERK#S: 2020000009078, 2020000004363  
3) EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY: VOLUME 46, PAGE 512

REVISIONS		
DATE	BY	NOTES

LEGEND	
CM	CONTROLLING MONUMENT
○	1/2" IRON ROD FOUND
⊗	1/2" IRON ROD SET
○	1" IRON PIPE FOUND
⊕	FENCE POST CORNER
⊗	"X" FOUND / SET
⊗	5/8" ROD FOUND
▲	UNDERGROUND ELECTRIC
△	OVERHEAD ELECTRIC
●	POWER POLE
⊕	POINT FOR CORNER
⊗	GRAVEL/ROCK ROAD OR DRIVE
PE	POOL EQUIPMENT
■	COLUMN
AC	AIR CONDITIONING
⊕	FIRE HYDRANT
—	OES - OES
—	OHP - OHP
—	ASPHALT PAVING
—	CHAIN LINK FENCE
—	WOOD FENCE
—	0.5' WIDE TYPICAL BARBED WIRE
—	IRON FENCE
—	PIPE FENCE
—	COVERED PORCH, DECK OR CARPORT
—	OVERHEAD ELECTRIC SERVICE
—	OVERHEAD POWER LINE
—	CONCRETE PAVING
—	DOUBLE SIDED WOOD FENCE

**CBG SURVEYING TEXAS LLC**  
1413 E. IH-30, Ste. 7  
Garland, TX 75043  
P 214.349.9485  
F 214.349.2216  
Firm No. 10168800  
www.cbgtlxc.com

SCALE	DATE	JOB NO.	G.F. NO.	DRAWN
1" = 120'	02/21/2022	1513780-13	SEE CERT.	MARIA

**FINAL SURVEY**

LOT 1, BLOCK A, BREEZY HILL LANE ADDITION  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
BREEZY HILL LANE (LOT 1)



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 10.00-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, BREEZY HILL LANE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kaylee and Taylor Henson for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 10.00-acre tract of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 02.01, *Agricultural (AG) District*, of Article 05, *District Development Standards*, of the Unified Development Code



(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>nd</sup> DAY OF OCTOBER, 2023.**



\_\_\_\_\_  
Trace Johannesen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: September 18, 2023

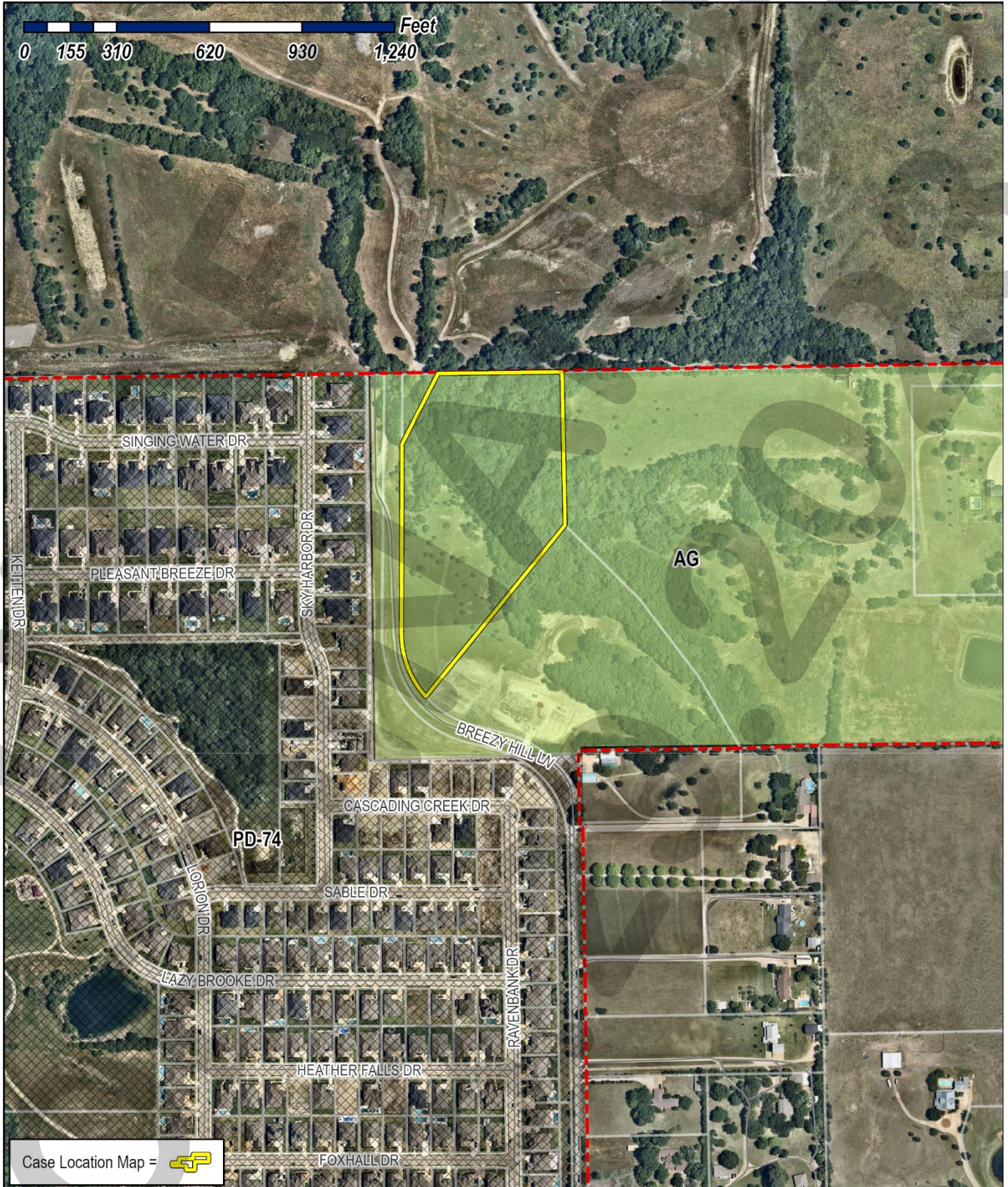
2<sup>nd</sup> Reading: October 2, 2023



**Exhibit 'A':**  
*Location Map*

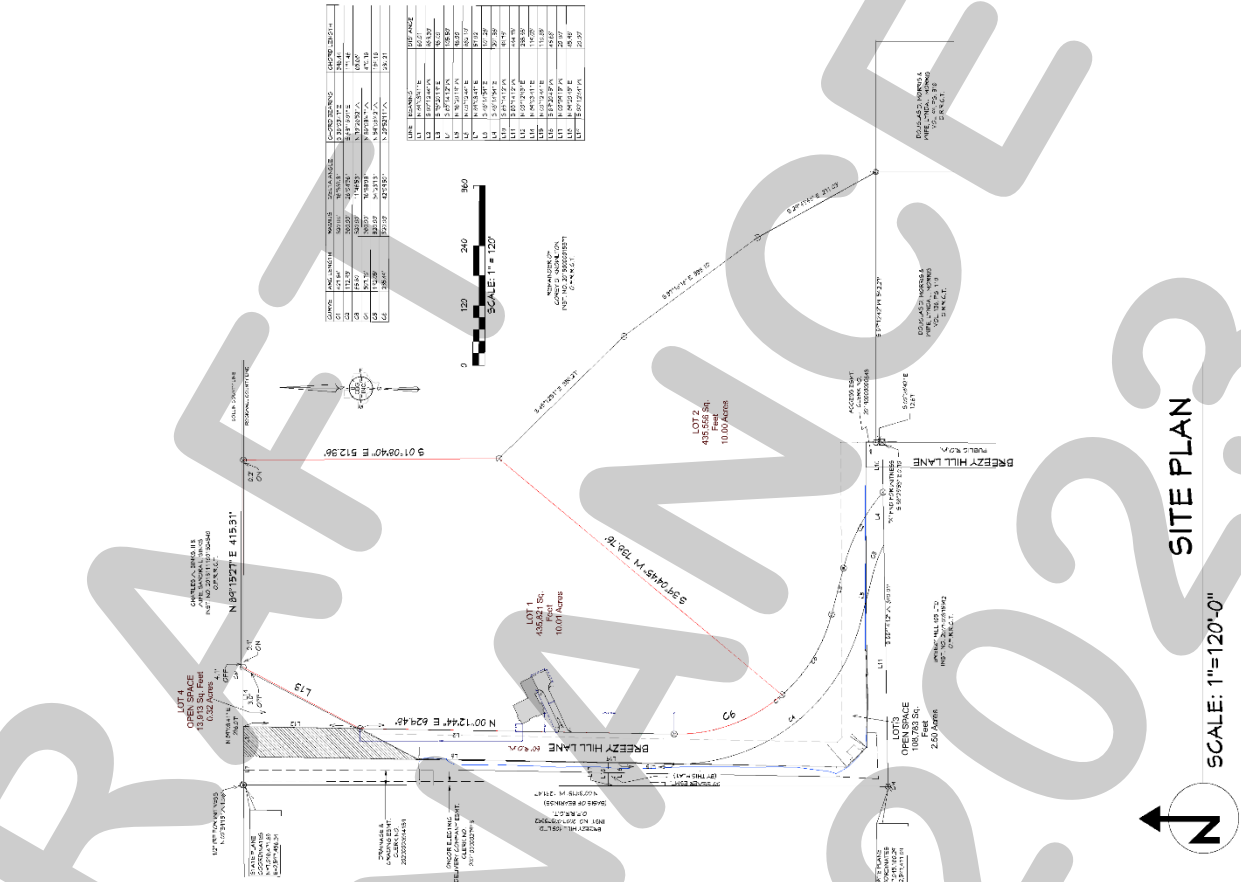
Address: 1325 Breezy Hill Lane

Legal Description: Lot 1, Block A, Breezy Hill Lane Addition

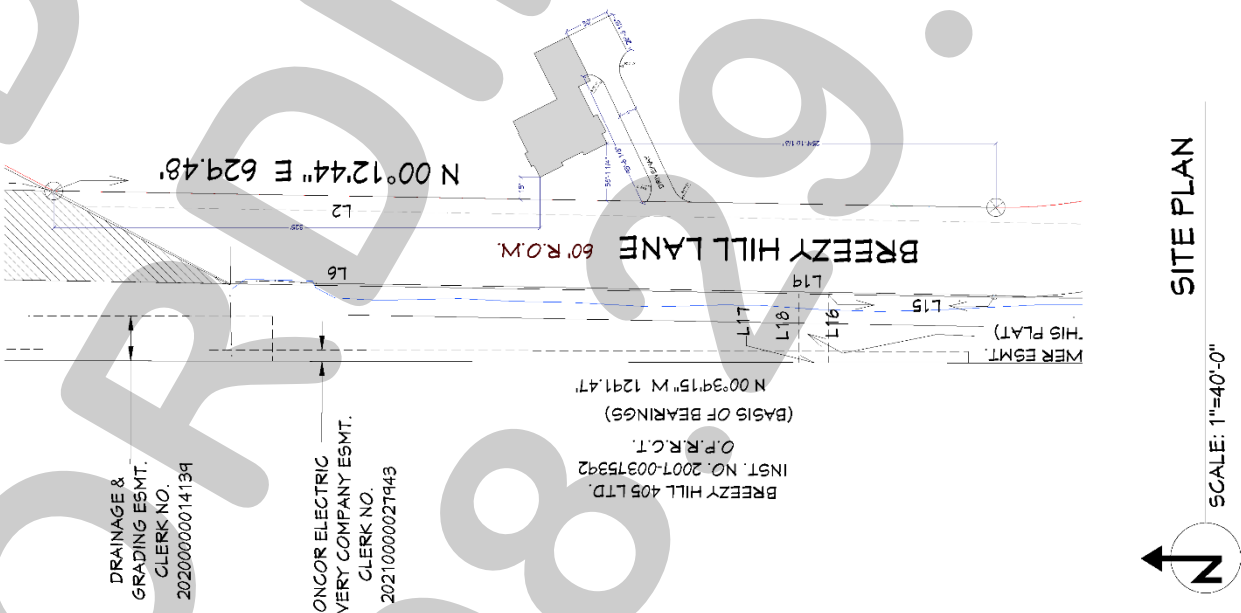




**Exhibit 'B':  
Residential Plot Plan**



LOT	ACRES	AREA	PERCENT
LOT 1	10.00	10.00	100.00
LOT 2	10.00	10.00	100.00
LOT 3	10.00	10.00	100.00



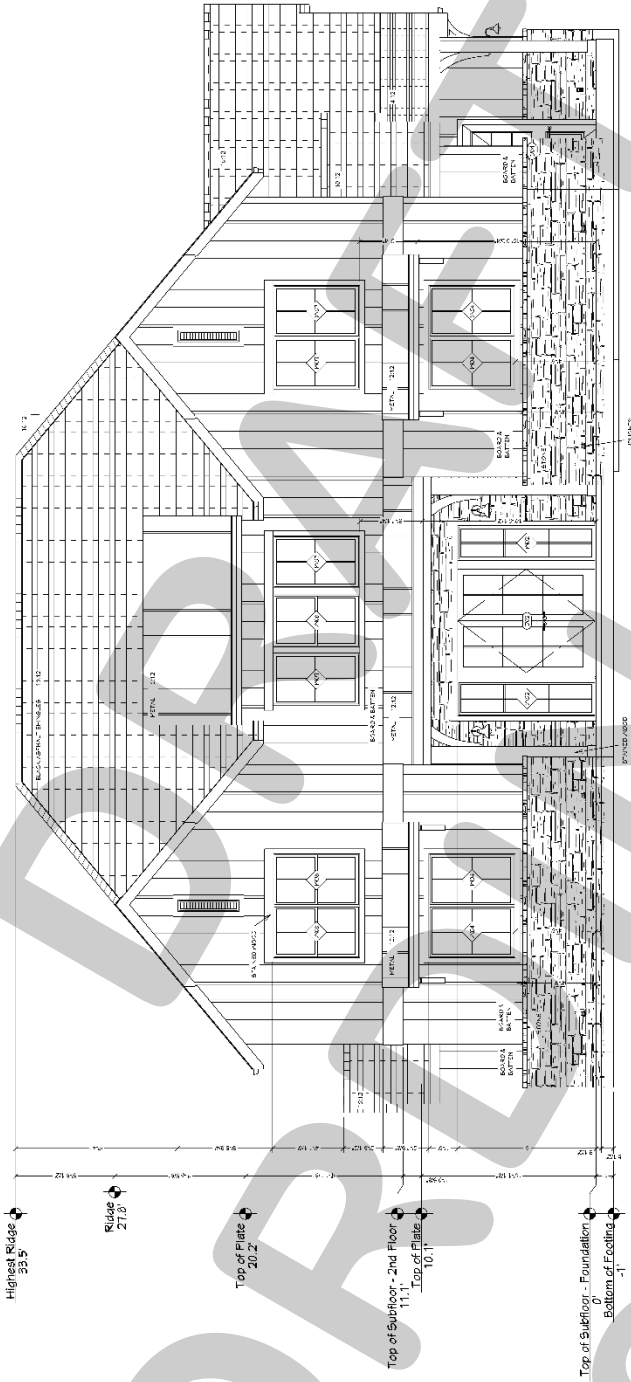
DRAINAGE &  
GRADING ESMT.  
CLERK NO.  
2020000014139

ONCOR ELECTRIC  
DELIVERY COMPANY ESMT.  
CLERK NO.  
20210000027943

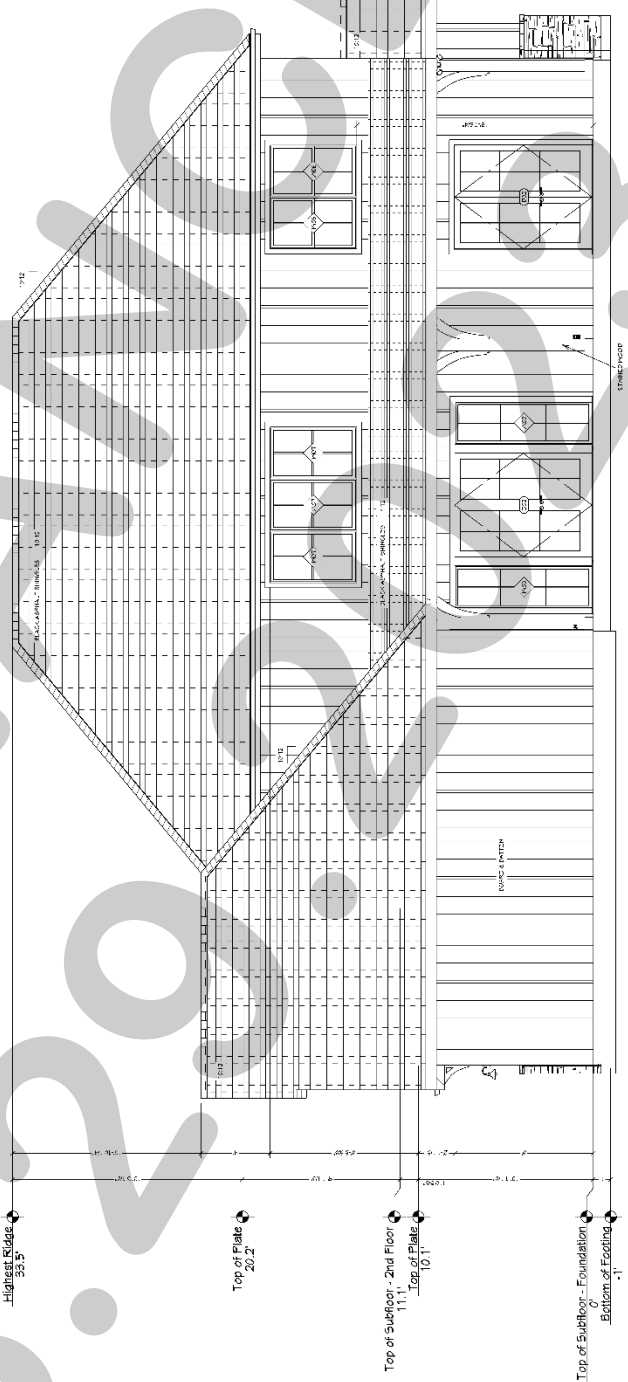
BREEZY HILL 405 LTD.  
INST. NO. 2007-00375392  
O.P.R.C.T.  
N 00°39'15" W 1291.47'  
(BASIS OF BEARINGS)



Exhibit 'C':  
Building Elevations



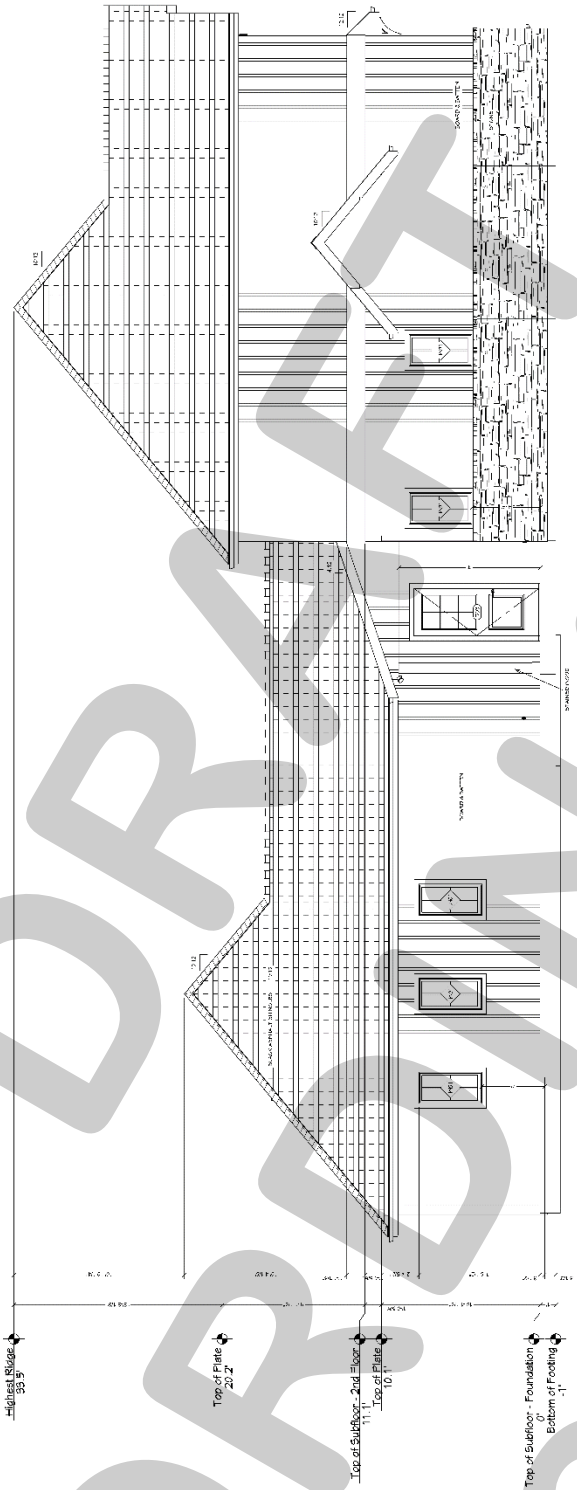
**E1** FRONT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



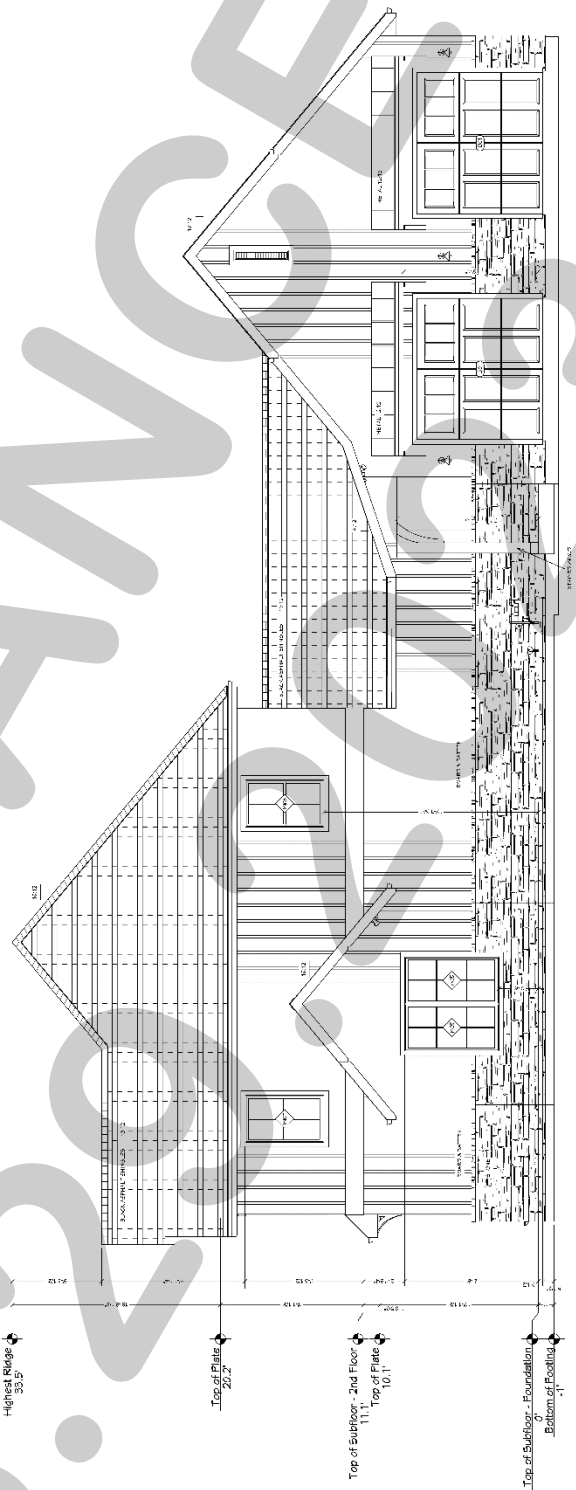
**E2** REAR EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



Exhibit 'C':  
Building Elevations



**E3** LEFT EXTERIOR ELEVATION  
SCALE: 1/8"=1'-0"



**E4** RIGHT EXTERIOR ELEVATION  
SCALE: 1/8"=1'-0"



**Exhibit 'C':**  
*Building Elevations*



**FRONT EXTERIOR PERSPECTIVE RENDERING**  
FOR ILLUSTRATION ONLY





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** September 12, 2023

**APPLICANT:** Kaylee and Taylor Henson

**CASE NUMBER:** Z2023-040; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision at 1325 Breezy Hill Lane*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on February 4, 2008 by *Ordinance No. 08-12 [Case No. A2004-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District and was a portion of a larger 90.00-acre tract of land (*i.e. Tract 33 of the J. Strickland Survey, Abstract No. 187*). On May 5, 2020, the subject property was established as Lot 1, Block A, Breezy Hill Lane Addition by *Case No. P2020-007*. The subject property has remained vacant since its annexation.

### PURPOSE

The applicants -- *Kaylee and Taylor Henson* -- are requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 1325 Breezy Hill Lane. The land uses adjacent to the subject property are as follows:

- North: Directly north of the subject property are the corporate limits of the City of Rockwall and the County Line between Rockwall and Collin Counties.
- South: Directly south of the subject property is a 10.00-acre parcel of land (*i.e. Lot 2, Block A, Breezy Hill Lane Addition*) zoned Agricultural (AG) District. Beyond this is Phase 11 of the Breezy Hill Subdivision, which consists of 78 residential lots and is zoned Planned Development District 74 (PD-74). South of this is Phase 5 of the Breezy Hill Subdivision, which consists of 81 residential lots zoned Planned Development District 74 (PD-74).
- East: Directly east of the subject property is a 50.29-acre tract of land (*i.e. Tract 33-02, of the J Strickland Survey, Abstract No. 187*) zoned Agricultural (AG) District. East of this is a 20.00-acre tract of land (*i.e. Tract 33-03, of the J. Strickland Survey, Abstract No. 187*) zoned Agricultural (AG) District. Beyond this is are the corporate limits of the City of Rockwall followed by several properties with single-family homes situated on them.
- West: Directly west of the subject property is Breezy Hill Lane, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is Phase 8 of the Breezy Hill Subdivision, which was established in 2019 and contains 61 residential lots on 27.840-acres.



**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The code goes on to say “(a)ll proposed residential infill housing that is located within an Established Subdivision or a lot or tract of land that is located within 500-feet of an Established Subdivision shall be required to apply for a Specific Use Permit.” In this case, the subject property shares a common boundary (*i.e. the western property line*) with the Breezy Hill Subdivision, which has been in existence since 2008, consists of more than five (5) lots, and is more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. The Agricultural (AG) District is considered to be a single-family zoning district per Article 05, *District Development Standards*, of the Unified Development Code (UDC). This property, being adjacent to an *Established Subdivision*, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” With this being said, there are three (3) vacant parcels of land that are in close proximity to the home. These lots are estate style lots (*i.e. larger lots*) as opposed to the more traditional style lots with single-family homes in Phase 8 of the Breezy Hill Subdivision. Based on this, staff has only provided the following summary of observations concerning the house on Breezy Hill Lane as proposed by the applicant:

<i>HOUSING DESIGN AND CHARACTERISTICS</i>	PROPOSED HOUSING
<i>BUILDING HEIGHT</i>	TWO (2) STORY THE FRONT ELEVATION OF THE HOME WILL FACE ONTO BREEZY HILL LANE.
<i>BUILDING ORIENTATION</i>	
<i>YEAR BUILT</i>	N/A
<i>BUILDING SF ON PROPERTY</i>	3,877 SF
<i>BUILDING ARCHITECTURE</i>	COMPARABLE ARCHITECTURE TO THE EXISTING HOMES
<i>BUILDING SETBACKS</i>	
<i>FRONT</i>	X> 40-FEET
<i>SIDE</i>	X> 10-FEET
<i>REAR</i>	X> 6-FEET
<i>BUILDING MATERIALS</i>	COMBINATION OF STONE AND PAINTED SHAKE
<i>PAINT AND COLOR</i>	WHITE
<i>ROOFS</i>	BLACK ASPHALT SHINGLES
<i>DRIVEWAYS</i>	THE GARAGE WILL BE A J-SWING GARAGE.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for a home in an Agricultural (AG) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Sky Harbor Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the adjacent subdivision. If the applicant’s Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size, height, and general architecture of the proposed structures.

**NOTIFICATIONS**

On August 22, 2023, staff mailed 57 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowners Associations (HOA’s) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised



the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices regarding the applicant's request.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a *single-family home* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance;
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1325 Breezy Hill Ln, Rockwall, TX 75087  
 SUBDIVISION: Breezy Hill Addition LOT 1 BLOCK -  
 GENERAL LOCATION: end of Breezy Hill Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Ag. CURRENT USE: Ag.  
 PROPOSED ZONING: Ag./Residential PROPOSED USE: Ag./Residential  
 ACREAGE: 10 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: Kaylee + Taylor Henson  APPLICANT: \_\_\_\_\_  
 CONTACT PERSON: Taylor Henson CONTACT PERSON: \_\_\_\_\_  
 ADDRESS: 2710 Morning Mist Lane ADDRESS: \_\_\_\_\_  
 CITY, STATE & ZIP: Nevada, TX 75173 CITY, STATE & ZIP: \_\_\_\_\_  
 PHONE: 9034077848 PHONE: \_\_\_\_\_  
 E-MAIL: hensontaylor@gmail.com E-MAIL: \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kaylee Henson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 350 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21st DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

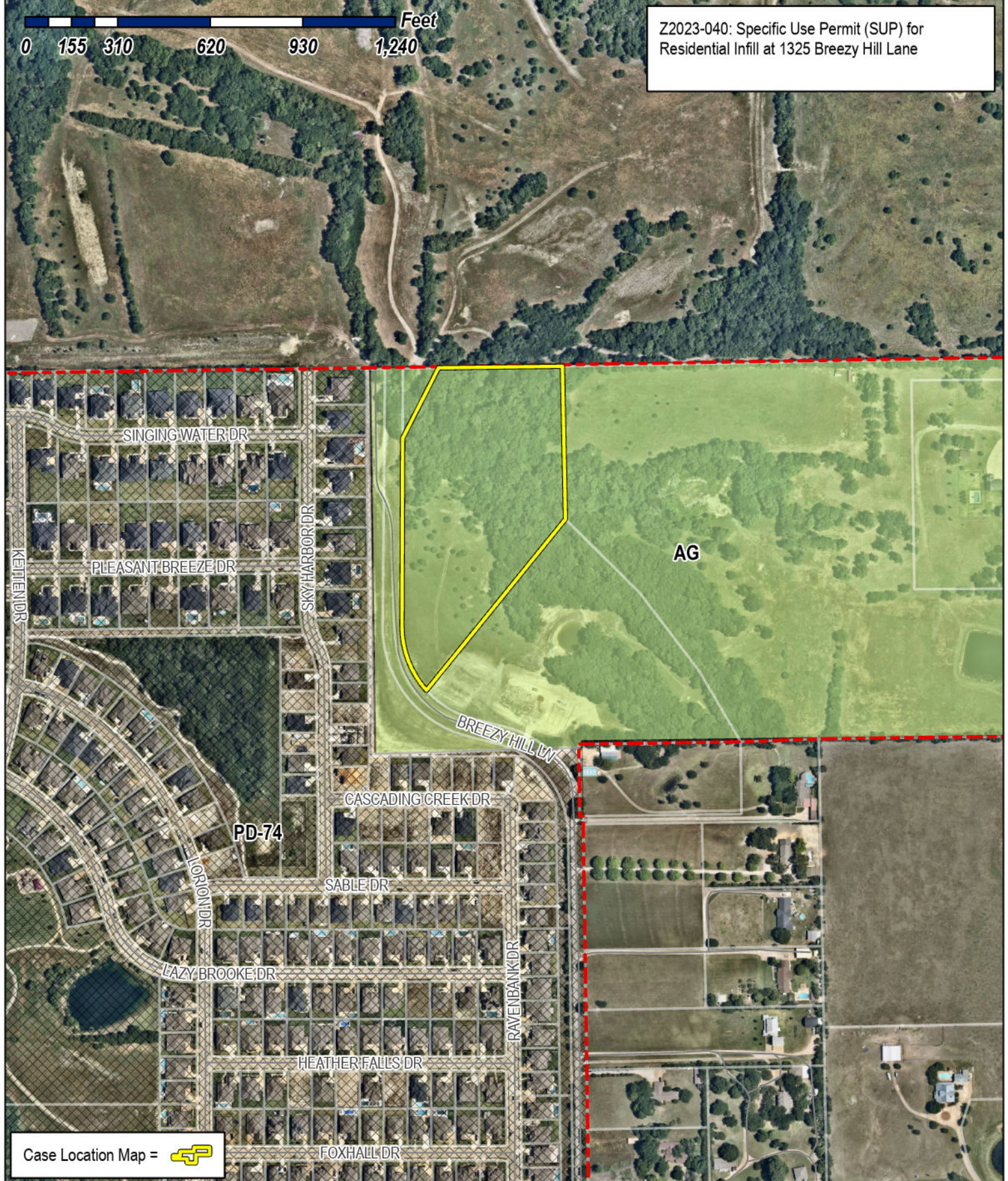
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21st DAY OF July, 2023  
 OWNER'S SIGNATURE: Kaylee Henson  
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Trena L. Jackson


Trena L. Jackson  
 Notary Public, State of Texas  
 Comm. Expires 04/05/2024  
 Notary ID 1193003-0  
 MY COMMISSION EXPIRES 4/5/2024





Z2023-040: Specific Use Permit (SUP) for Residential Infill at 1325 Breezy Hill Lane



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



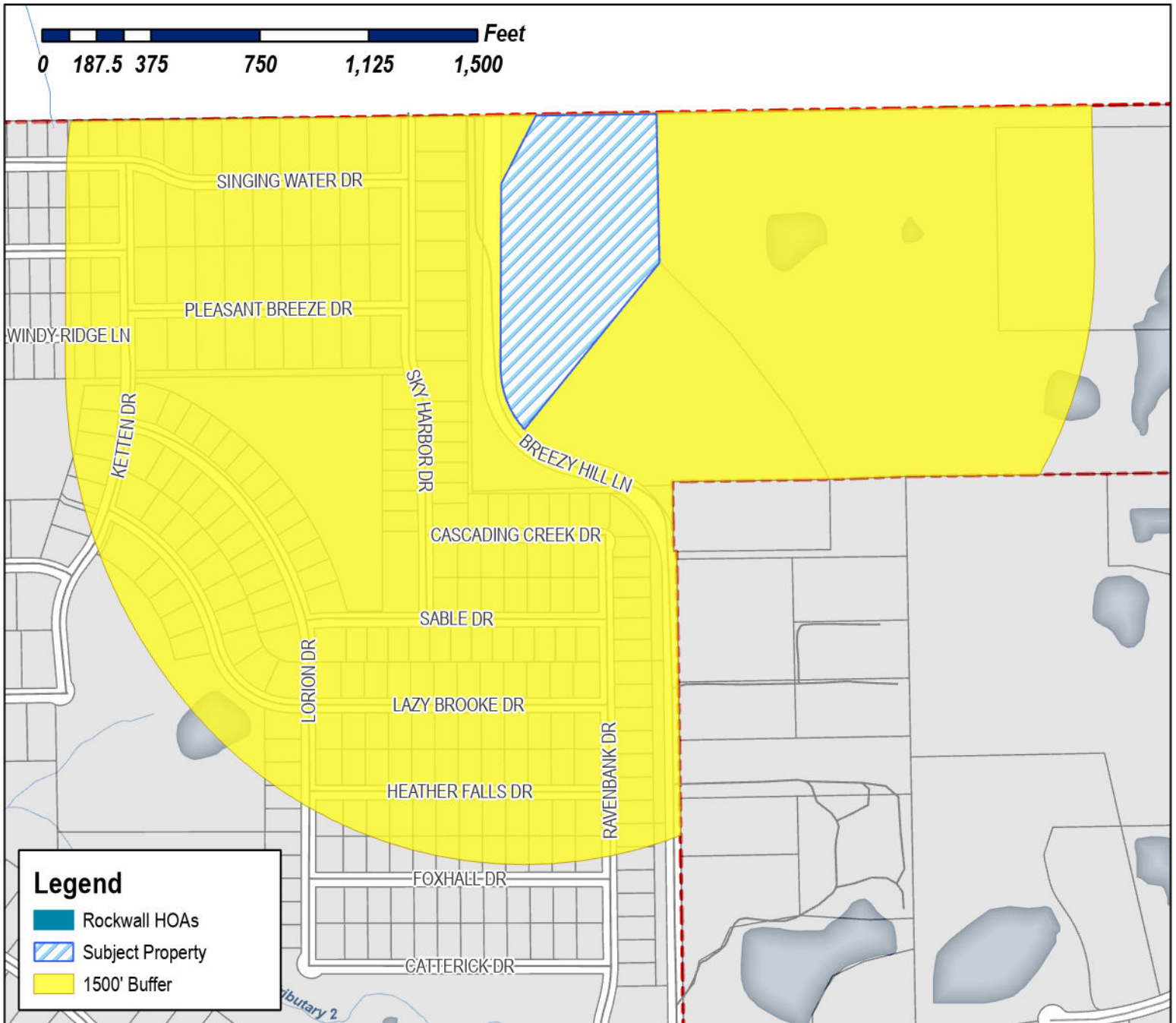




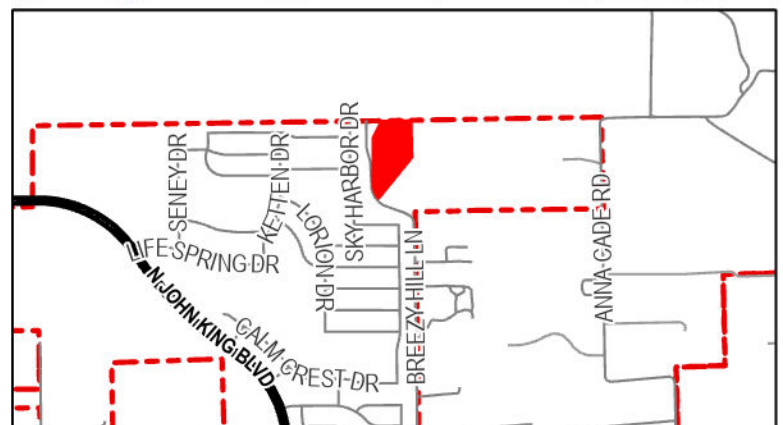
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-040  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 1325 Breezy Hill Lane



**Date Saved:** 8/14/2023  
 For Questions on this Case Call (972) 771-7745

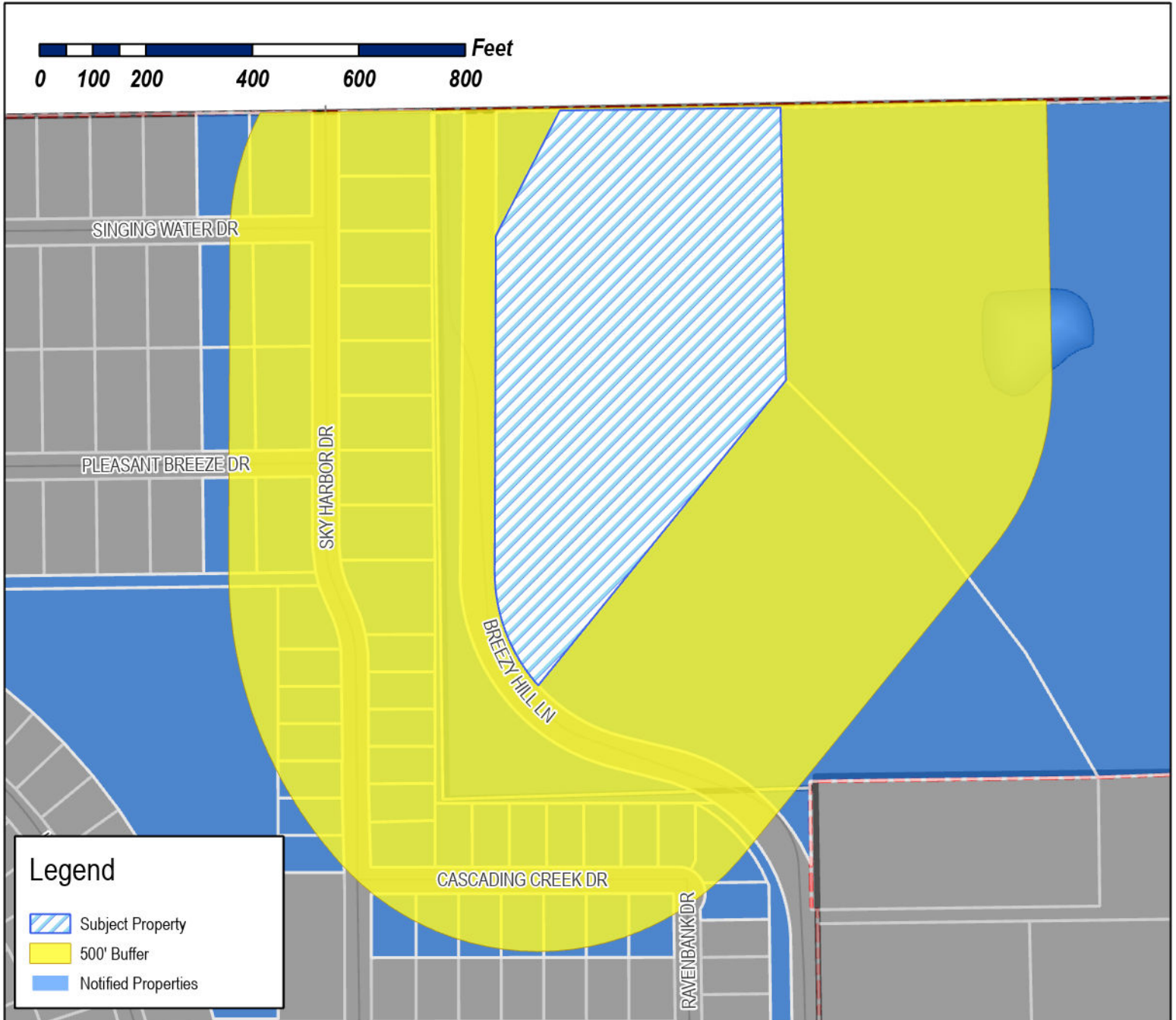




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-040  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 1325 Breezy Hill Lane

**Date Saved:** 8/14/2023  
 For Questions on this Case Call: (972) 771-7746





RESIDENT  
1001 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1005 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1006 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1009 CASCADING CREEK DR  
ROCKWALL, TX 75032

YOUSEF RITA A & OSAMA S SHENOUDA  
1010 CASCADING CREEK DR  
ROCKWALL, TX 75087

RESIDENT  
1013 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1014 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1017 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1018 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1020 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1021 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1024 CASCADING CREEK DR  
ROCKWALL, TX 75032

BREEZY HILL ESTATES HOMEOWNERS  
ASSOCIATION INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

BREEZY HILL ESTATES HOMEOWNERS  
ASSOCIATION INC  
1024 S GREENVILLE AVE SUITE 230  
ALLEN, TX 75002

RESIDENT  
1025 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1028 CASCADING CREEK DR  
ROCKWALL, TX 75032

KNOWLTON COREY D  
1460 ANNA CADE ROAD  
ROCKWALL, TX 75087

FISCHER DAVID SCOTT AND CHRISTINE  
1608 LAKE CREST LANE  
PLANO, TX 75023

RESIDENT  
205 BREEZY HILL DR  
ROCKWALL, TX 75032

RESIDENT  
205 ROCKHOUSE LN  
ROCKWALL, TX 75032

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
4505 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4506 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4511 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4514 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4516 RAVENBANK DR  
ROCKWALL, TX 75032

RESIDENT  
4521 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4525 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4528 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4529 SKY HARBOR DR  
ROCKWALL, TX 75032



RESIDENT  
4532 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4533 SKY HARBOR DR  
ROCKWALL, TX 75032

VALLABINENI RAJESH AND THRIVIDYA  
MADAPATI  
THRIVIDYA MADAPATI  
4536 SKY HARBOR DR  
ROCKWALL, TX 75087

RESIDENT  
4537 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4538 SKY HARBOR DR  
ROCKWALL, TX 75032

SANCHEZ ELENA  
4546 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

WALLER DAVID AND SORAYA  
4550 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

RESIDENT  
4602 RAVENBANK DR  
ROCKWALL, TX 75032

RESIDENT  
4602 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4606 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4610 SKY HARBOR DR  
ROCKWALL, TX 75032

ECHOLS BRITTNEY  
4614 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

RESIDENT  
4618 SKY HARBOR DR  
ROCKWALL, TX 75032

BRATBERG NEIL  
4622 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
5310 HARVEST HILL RD SUITE 162  
DALLAS, TX 75230

HENSON TAYLOR RAY AND KAYLEE RAYE  
7138 LAUREL RIDGE  
DALLAS, TX 75231

MCCORMACK JAMES ROSSI AND ELENA LOUISE  
731 PLEASANT BREEZE DRIVE  
ROCKWALL, TX 75087

GNANAYUTHAM JEREMY AND JESSIE  
732 PLEASANT BREEZE DRIVE  
ROCKWALL, TX 75087

GILLIGAN DEBORAH ANN AND TRAVIS EGUENE  
733 SINGING WATER DRIVE  
ROCKWALL, TX 75087

JACKS DALLAS CLAYTON AND MAGEN NICOLE  
734 SINGING WATER DRIVE  
ROCKWALL, TX 75087

RESIDENT  
735 PLEASANT BREEZE DR  
ROCKWALL, TX 75032

SIEVERT SHANNON AND CHRISTY  
736 PLEASANT BREEZE DR  
ROCKWALL, TX 75087

GARCIA KRIS A AND ANGELA M  
737 SINGING WATER DRIVE  
ROCKWALL, TX 75087

BAKER CHRISTOPHER AND RHYANA  
738 SINGING WATER DRIVE  
ROCKWALL, TX 75087

BH PHASE XI LTD  
8214 WESTCHESTER DRIVE SUITE 900  
DALLAS, TX 75225

SINKS CHARLES W  
8854 CR 2472  
ROYSE CITY, TX 75189

HEFNER SCOTT & CHERYL  
897 ANACONDA COURT  
CASTLE ROCKWA, CO 80108



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-040: SUP for Residential Infill**

*Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-040: SUP for Residential Infill**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for providing reasons for support or opposition]

Name: [Grey bar]  
Address: [Grey bar]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



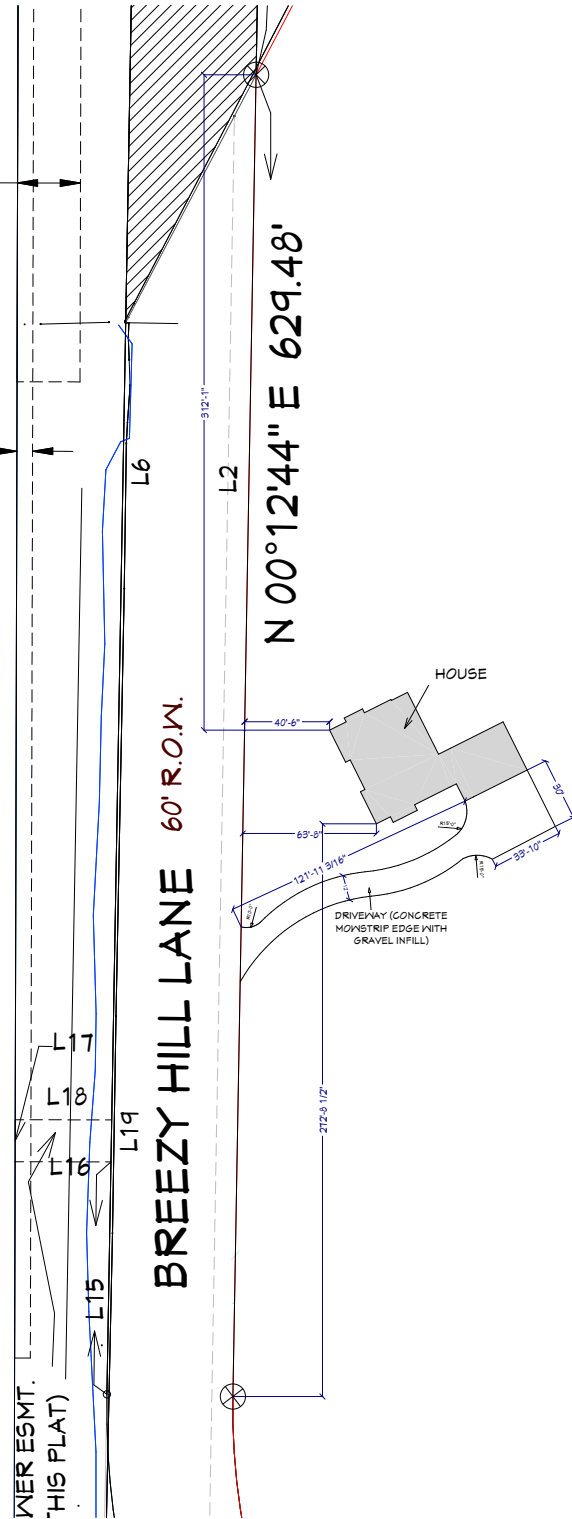
DRAINAGE & GRADING ESMT.  
CLERK NO.  
2020000014139

ONCOR ELECTRIC  
DELIVERY COMPANY ESMT.  
CLERK NO.  
20210000021943

BREEZY HILL 405 LTD.  
INST. NO. 2007-00375942  
O.P.R.C.T.

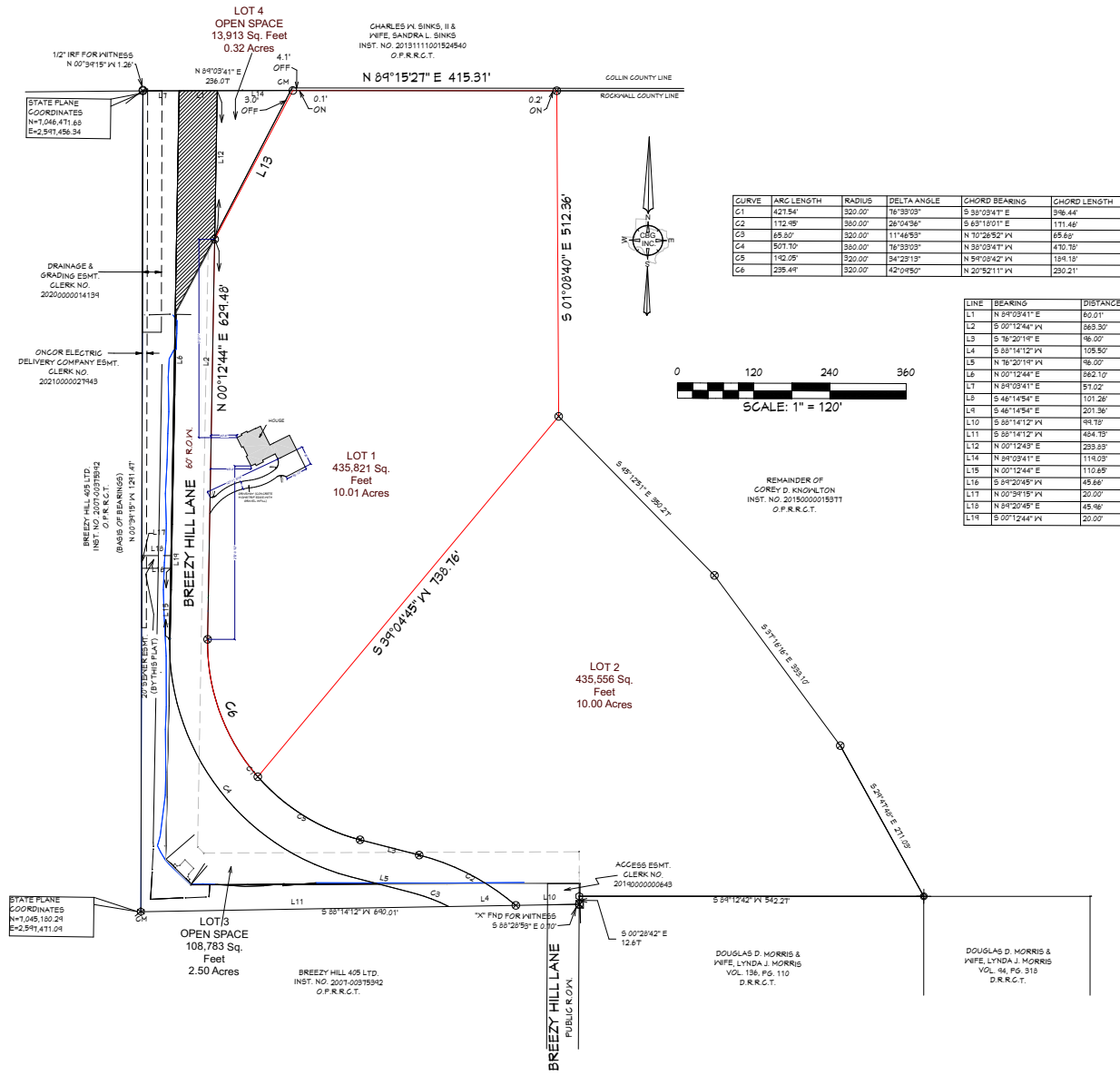
(BASIS OF BEARINGS)

N 00°39'15" W 12911.47'



SCALE: 1"=40'-0"

SITE PLAN



SCALE: 1"=120'-0"

SITE PLAN

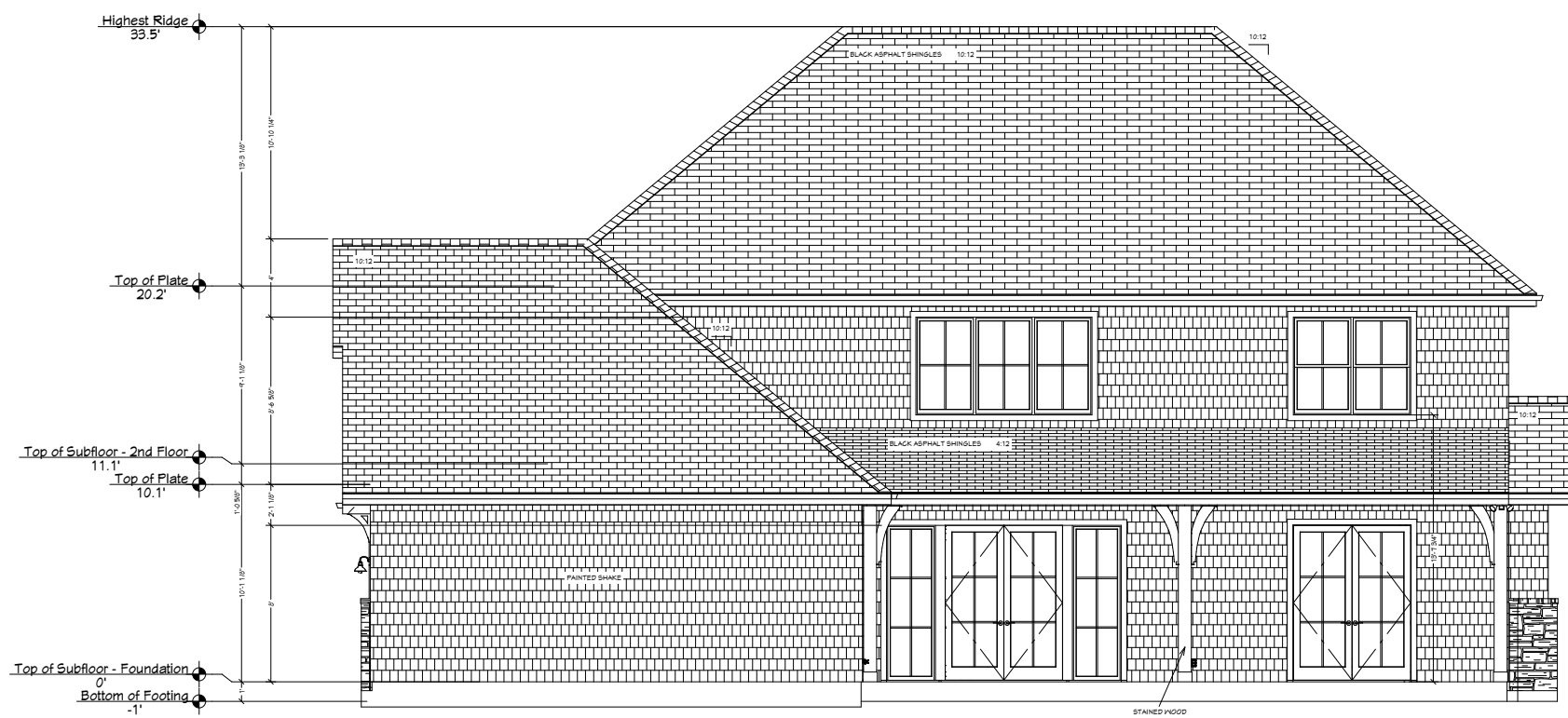


DOOR SCHEDULE	DOOR SCHEDULE						
EXT. ELEVATION	INT. ELEVATION						
NUMBER	NUMBER						
QTY	QTY						
DESCRIPTION	DESCRIPTION						
QTY	QTY						
DESCRIPTION	DESCRIPTION						
D01	1000	2	1	1000	117X96"	GARAGE-GARAGE DOOR (WOOD)	2X12X16' (2)
D02	8000	3	1	8000 L/R EX	74"X96"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X11' (2)
D03	3000	1	1	3000 L EX	36"X96"	EXT. HINGED-DOOR E02	2X8X41' (2)
D04	3000	1	1	3000 R EX	36"X96"	EXT. HINGED-DOOR E02	2X8X41' (2)
D05	2000	1	1	2000 L IN	25 13/16"X96 1/2"	HINGED DOOR P04	2X8X23 13/16' (2)
D06	2400	1	1	2400 R IN	30"X96 1/2"	HINGED DOOR P04	2X8X37' (2)
D07	2800	1	1	2800 L IN	32"X96 1/2"	HINGED DOOR P04	2X8X39' (2)
D08	2800	1	1	2800 R IN	32"X96 1/2"	HINGED DOOR P04	2X8X39' (2)
D09	2800	1	1	2800 R	61 1/4"X96 1/2"	POCKET DOOR P04	2X8X64 1/4' (2)
D10	2800	1	1	2800 R IN	32"X96 1/2"	HINGED DOOR P04	2X8X39' (2)
D11	2800	1	1	2800 R IN	34"X96 1/2"	HINGED DOOR P04	2X8X39' (2)
D12	2800	2	1	2800 L	61 1/4"X96 1/2"	POCKET DOOR P04	2X8X64 1/4' (2)
D13	2800	1	1	2800 L	30"X96"	SHOWER-GLASS SLAB	
D14	2360	1	2	2360 R	55 3/8"X92 1/2"	POCKET DOOR P04	2X8X50 3/8' (2)
D15	2860	2	2	2860 L IN	32"X92 1/2"	HINGED DOOR P04	2X8X39' (2)
D16	2860	1	2	2860 R	61 1/4"X92 1/2"	POCKET DOOR P04	2X8X64 1/4' (2)
D17	2860	8	2	2860 R IN	32"X92 1/2"	HINGED DOOR P04	2X8X39' (2)
D18	4060	3	2	4060 L/R IN	50"X92 1/2"	DOUBLE HINGED DOOR P04	2X8X39' (2)

WINDOW SCHEDULE	WINDOW SCHEDULE						
EXT. ELEVATION	INT. ELEVATION						
NUMBER	NUMBER						
QTY	QTY						
DESCRIPTION	DESCRIPTION						
QTY	QTY						
DESCRIPTION	DESCRIPTION						
W01	2040FX	3	1	2040FX	29"X44"	FIXED GLASS	2X8X20' (2)
W02	2050FX	2	1	2050FX	29"X44"	FIXED GLASS	2X8X20' (2)
W03	2630FX	2	1	2630FX	31"X44"	FIXED GLASS	2X8X34' (2)
W04	3050FX	4	1	3050FX	37"X41"	FIXED GLASS	2X8X40' (2)
W05	3050FX	2	1	3050FX	37"X41"	FIXED GLASS	2X8X40' (2)
W06	3050DH	6	2	3050DH	37"X41"	DOUBLE HUNG	2X8X40' (2)
W07	3050FX	3	2	3050FX	37"X41"	FIXED GLASS	2X8X40' (2)



**E1** FRONT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



**E2** REAR EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION

SHEET TITLE:  
**FRONT & REAR EXTERIOR ELEVATIONS**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON**

DATE:  
9/5/2023

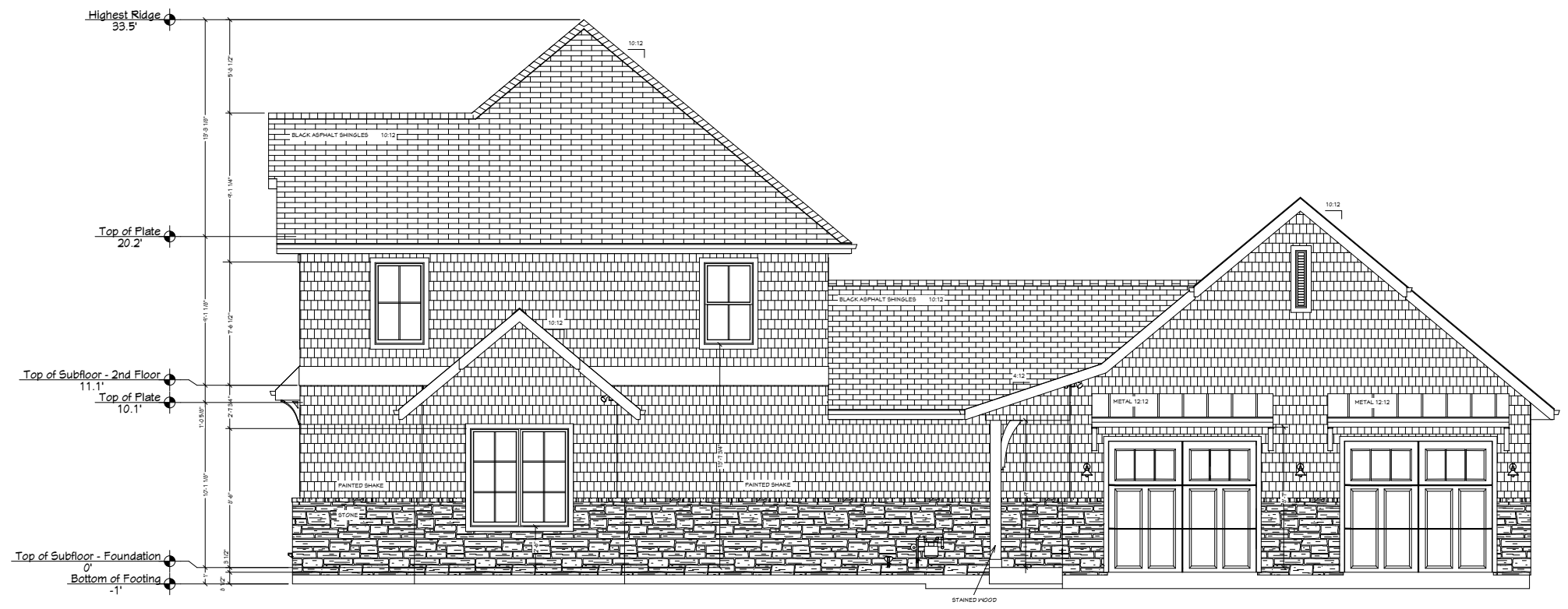
SCALE:  
1/4"=1'-0"

SHEET:  
**A-5**





**E3** LEFT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



**E4** RIGHT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION

SHEET TITLE:  
**SIDE EXTERIOR ELEVATIONS**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON**

DATE:  
9/5/2023

SCALE:  
1/4"=1'-0"

SHEET:  
**A-6**



**INDEX OF DRAWINGS:**

PROJECT OVERVIEW	A-1
PHASE ONE SITE PLAN	A-2
FIRST FLOOR PLAN	A-3
SECOND FLOOR PLAN	A-4
FRONT & REAR EXTERIOR ELEVATIONS	A-5
SIDE EXTERIOR ELEVATIONS	A-6
ELECTRICAL PLANS	A-7
ROOF PLAN	A-8
FOUNDATION PLAN	A-9

**AREA CALCULATIONS:**

1ST FLOOR HVAC	1,655 SQ. FT.
2ND FLOOR HVAC	1,045 SQ. FT.
<b>TOTAL HVAC</b>	<b>2,750 SQ. FT.</b>
FRONT COVERED PORCH	79 SQ. FT.
BACK COVERED PATIO	280 SQ. FT.
GARAGE & STORAGE	722 SQ. FT.
GARAGE COVERED PORCH	46 SQ. FT.
<b>TOTAL UNDER ROOF</b>	<b>3,877 SQ. FT.*</b>
<b>FOUNDATION FOOTPRINT</b>	<b>2,432 SQ. FT.**</b>

61'-1 1/2" X 75'-8"

4 BED, 3.5 BATH

\*TOTAL UNDER ROOF SQUARE FOOTAGE CALCULATES THE TOTAL LIVING AREA, EXCLUDING THE ROOMS' WALL THICKNESSES.

\*\*FOUNDATION FOOTPRINT SQUARE FOOTAGE CALCULATES THE ENTIRE STRUCTURE'S GROUND FLOOR AREA INCLUDING WALL THICKNESS, EXTERIOR MATERIAL LEDGES, FIREPLACES, AND ALL OTHER NON HVAC AREAS.

ALL DIMENSIONS SHOWN ARE TO THE EXTERIOR FRAMING LAYER.



**FRONT EXTERIOR PERSPECTIVE RENDERING**  
FOR ILLUSTRATION ONLY

**GENERAL NOTES**

THE PURCHASER OF THESE PLANS IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND FOR ENSURING THAT THE PLAN IS CORRECTLY ADAPTED TO ACCOMMODATE LOCAL SITE CONDITIONS. THE PURCHASER CAN CONSULT WITH A LOCAL ARCHITECT OR ENGINEER REGARDING THESE MATTERS. BEFORE CONSTRUCTION BEGINS, THE PURCHASER SHOULD THOROUGHLY REVIEW THIS PLAN WITH THE CONTRACTOR, VERIFY ALL DIMENSIONS, AND REPORT TO BREMARIE DESIGNS LLC ANY ERRORS, OMISSIONS, OR QUESTIONS FOR CLARIFICATION. ALL EXTERIOR AND INTERIOR DIMENSIONS ARE TO THE FRAMING LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS, INCLUDING ROUGH OPENINGS.

THE CONTRACTOR IS RESPONSIBLE FOR A SITE SURVEY TO VERIFY HOME LOCATION AND SETBACKS PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE PURCHASER SHOULD VERIFY ALL STRUCTURAL ELEMENTS FOR THE PLAN AND SITE WITH A LOCAL ENGINEER. LARGE SPANS : LOAD BEARING BEAM/HEADER SIZE FOR SPANS IN EXCESS OF 20' TO BE SPECIFIED BY ENGINEER. THE EXACT SIZE, REINFORCEMENT, AND DEPTH OF ALL CONCRETE FOOTINGS AND FOUNDATIONS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES FOR CONSTRUCTION. THE BOTTOM OF ALL FOOTINGS SHOULD EXTEND BELOW THE FROST LINE. THE PURCHASER OF THESE PLANS UNDERSTANDS ALL RISKS ASSOCIATED WITH ADAPTING THE PLAN TO LOCAL SITES AFFECTED BY REGIONAL VARIATIONS IN CLIMATE, LOCAL SITE CONDITIONS, DESIGN NEEDS AND BUILDING CODES.

BREMARIE DESIGNS LLC MAY NOT BE HELD RESPONSIBLE FOR ADAPTING THIS PLAN TO LOCAL SITE CONDITIONS, DESIGN CHANGES, CONSTRUCTION MEANS, OR METHODS, COSTS, WORKMANSHIP, QUALITY OF MATERIALS, OR EQUIPMENT UTILIZED IN CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ASPECTS OF THESE PLANS AND TO ENSURE PLANS MEET ALL LOCAL GOVERNING CODES AND REQUIREMENTS. BREMARIE DESIGNS LLC ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS. THE PURCHASER IS GRANTED THE RIGHT TO BUILD ONLY ONE STRUCTURE FROM THIS PLAN (OR MODIFIED PLAN). THIS RIGHT EXTENDS TO THE ORIGINAL PURCHASER ONLY AND IS NOT TRANSFERABLE.



NO. DATE DESCRIPTION

SHEET TITLE:  
**PROJECT OVERVIEW**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON**

DATE:  
9/5/2023

SCALE:  
NO SCALE

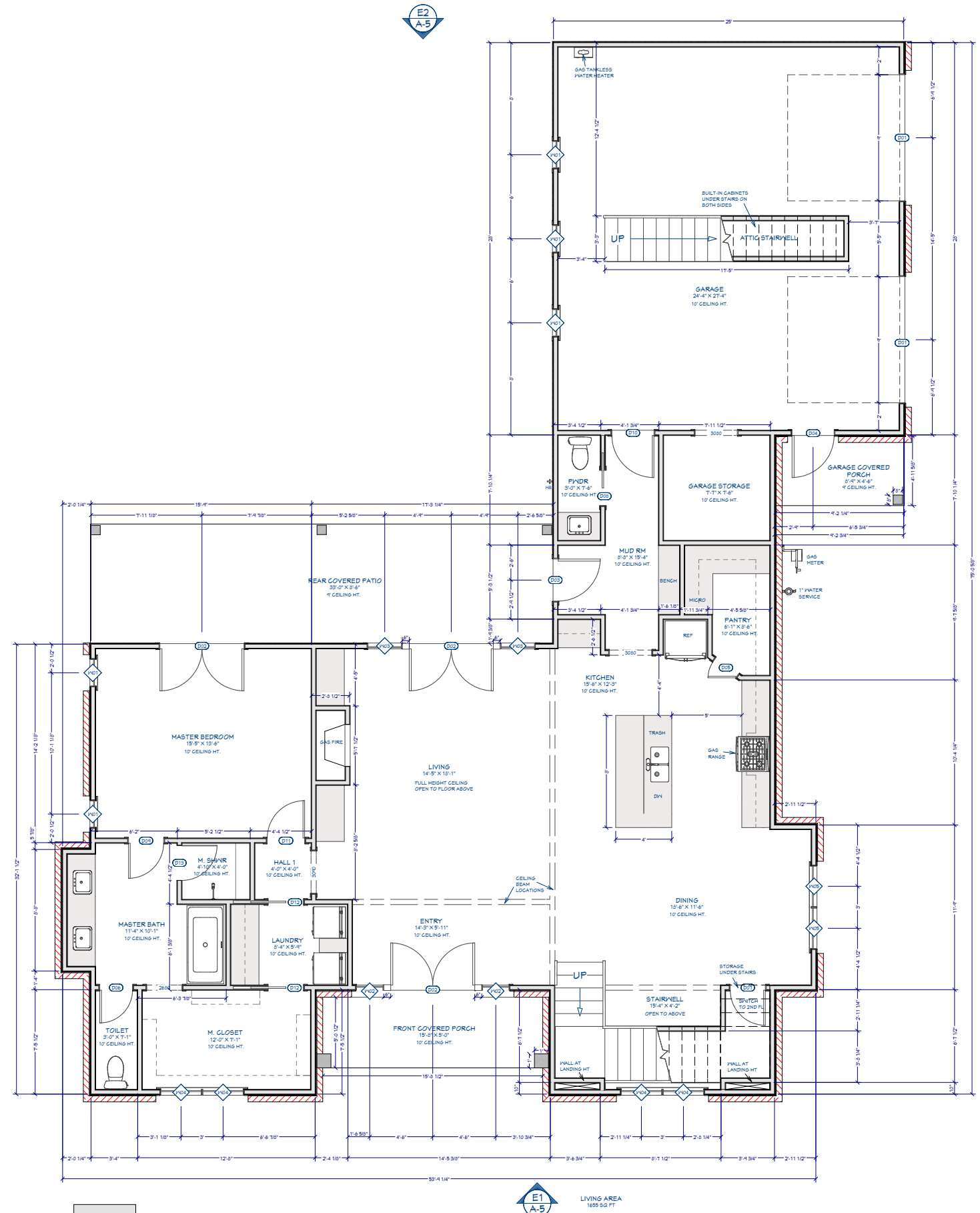
SHEET:  
**A-1**

3122 N. Hwy 81/05  
Longview, TX 75605  
936.213.3545  
BremarieDesigns.com



DOOR SCHEDULE	NO.	SYMBOL	DESCRIPTION	QTY
D01	1	[Symbol]	SARAGE-GARAGE DOOR (WOOD)	1
D02	1	[Symbol]	EXT. DOUBLE HINGED-GLASS PANEL	1
D03	1	[Symbol]	EXT. HINGED-DOOR E02	1
D04	1	[Symbol]	EXT. HINGED-DOOR E02	1
D05	1	[Symbol]	HINGED DOOR P04	1
D06	1	[Symbol]	HINGED DOOR P04	1
D07	1	[Symbol]	HINGED DOOR P04	1
D08	1	[Symbol]	POCKET DOOR P04	1
D09	1	[Symbol]	HINGED DOOR P04	1
D10	1	[Symbol]	HINGED DOOR P04	1
D11	1	[Symbol]	HINGED DOOR P04	1
D12	1	[Symbol]	POCKET DOOR P04	1
D13	1	[Symbol]	SHOWER-GLASS SLAB	1
D14	1	[Symbol]	POCKET DOOR P04	1
D15	1	[Symbol]	HINGED DOOR P04	1
D16	1	[Symbol]	POCKET DOOR P04	1
D17	1	[Symbol]	HINGED DOOR P04	1
D18	1	[Symbol]	DOUBLE HINGED DOOR P04	1

WINDOW SCHEDULE	NO.	SYMBOL	DESCRIPTION	QTY
W01	1	[Symbol]	FIXED GLASS	1
W02	1	[Symbol]	FIXED GLASS	1
W03	1	[Symbol]	FIXED GLASS	1
W04	1	[Symbol]	FIXED GLASS	1
W05	1	[Symbol]	FIXED GLASS	1
W06	1	[Symbol]	DOUBLE HUNG	1
W07	1	[Symbol]	FIXED GLASS	1



**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**BREMARIE DESIGNS LLC**  
DRAFTING • 3D RENDERING • INTERIOR DESIGN  
903.213.3545  
BreMarieDesigns.com

3122 N. Hwy. 8105  
Longview, TX 75605

NO. DATE DESCRIPTION

**SHEET TITLE:**  
**FIRST FLOOR PLAN**

**PROJECT DESCRIPTION:**  
**BREEZY HILL LANE ADDITION**  
**ROCKWALL, TEXAS**  
**TAYLOR HENSON**

DATE:  
9/5/2023

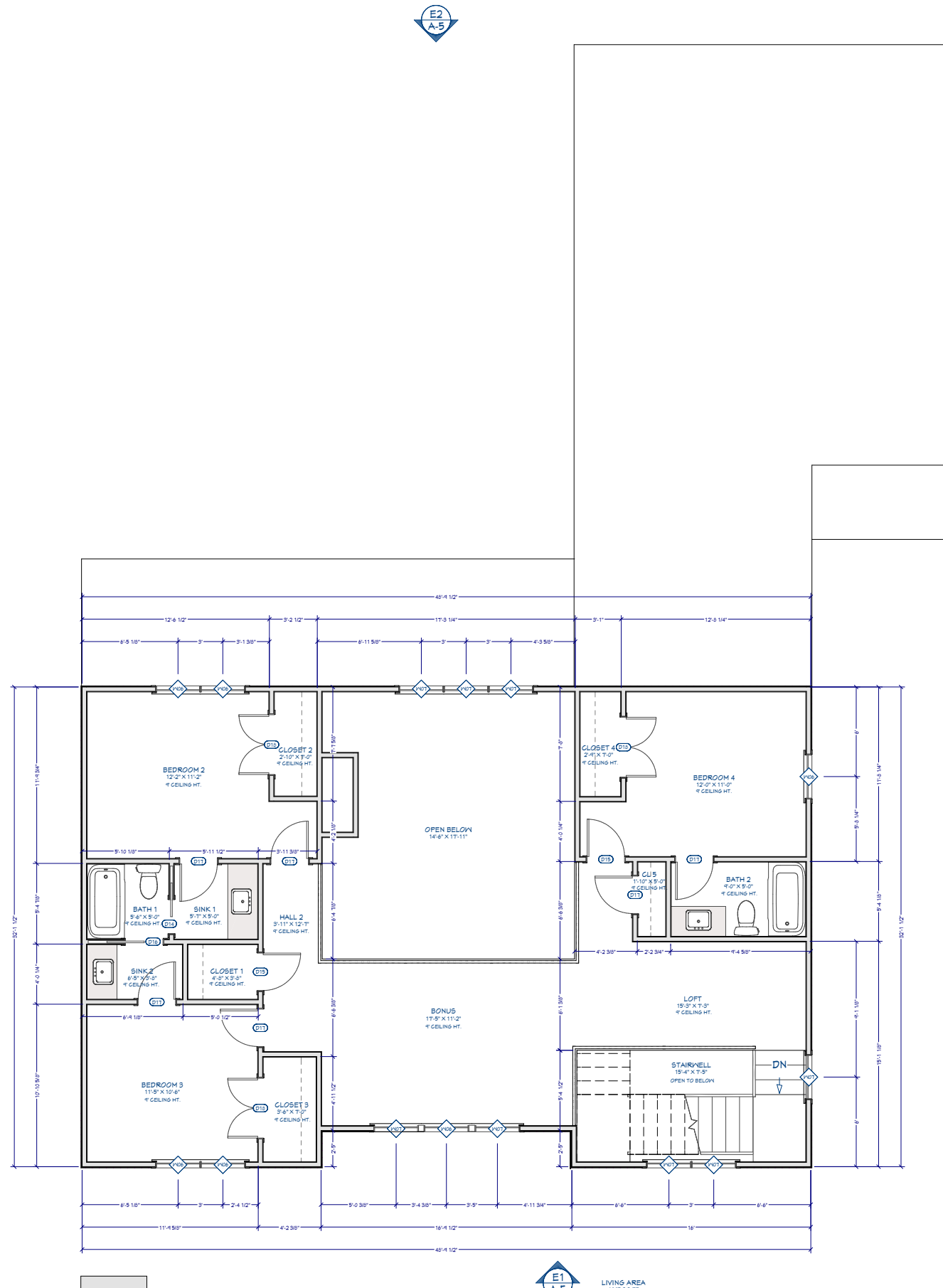
SCALE:  
1/4"=1'-0"

SHEET:  
**A-3**



DOOR SCHEDULE						
DOOR ELEVATION	NUMBER	TYPE	SIZE	DESCRIPTION	QUANTITY	REMARKS
D01	4000	2	1	4000	117X90"	GARAGE-GARAGE DOOR (WOOD)
D02	8000	3	1	8000 L/R EX	74"X90"	EXT. DOUBLE HINGED-GLASS PANEL
D03	3000	1	1	3000 L EX	30"X90"	EXT. HINGED-DOOR E02
D04	3000	1	1	3000 R EX	30"X90"	EXT. HINGED-DOOR E02
D05	2000	1	1	2000 L IN	25 13/16"X90 1/2"	HINGED DOOR P04
D06	2400	1	1	2400 R IN	30"X90 1/2"	HINGED DOOR P04
D07	2800	1	1	2800 L IN	32"X90 1/2"	HINGED DOOR P04
D08	2800	1	1	2800 R IN	32"X90 1/2"	HINGED DOOR P04
D09	2800	1	1	2800 R	61 1/4"X90 1/2"	POCKET DOOR P04
D10	2800	1	1	2800 R IN	32"X90 1/2"	HINGED DOOR P04
D11	2800	1	1	2800 R IN	34"X90 1/2"	HINGED DOOR P04
D12	2800	2	1	2800 L	61 1/4"X90 1/2"	POCKET DOOR P04
D13	2800	1	1	2800 L	30"X90"	SHOWER-GLASS SLAB
D14	2360	1	2	2360 R	55 3/8"X32 1/2"	POCKET DOOR P04
D15	2860	2	2	2860 L IN	32"X32 1/2"	HINGED DOOR P04
D16	2860	1	2	2860 R	61 1/4"X32 1/2"	POCKET DOOR P04
D17	2860	6	2	2860 R IN	32"X32 1/2"	HINGED DOOR P04
D18	4060	3	2	4060 L/R IN	30"X32 1/2"	DOUBLE HINGED DOOR P04

WINDOW SCHEDULE						
WINDOW ELEVATION	NUMBER	TYPE	SIZE	DESCRIPTION	QUANTITY	REMARKS
W01	2040FX	3	1	2040FX	29"X44"	FIXED GLASS
W02	2030FX	2	1	2030FX	29"X44"	FIXED GLASS
W03	2630FX	2	1	2630FX	31"X44"	FIXED GLASS
W04	3030FX	4	1	3030FX	37"X41"	FIXED GLASS
W05	3060FX	2	1	3060FX	37"X39"	FIXED GLASS
W06	3050DH	6	2	3050DH	37"X41"	DOUBLE HUNG
W07	3050FX	3	2	3050FX	37"X41"	FIXED GLASS



**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

E1-A-5  
LIVING AREA  
1095 SQ. FT.

NO.	DATE	DESCRIPTION

SHEET TITLE:  
**SECOND FLOOR PLAN**

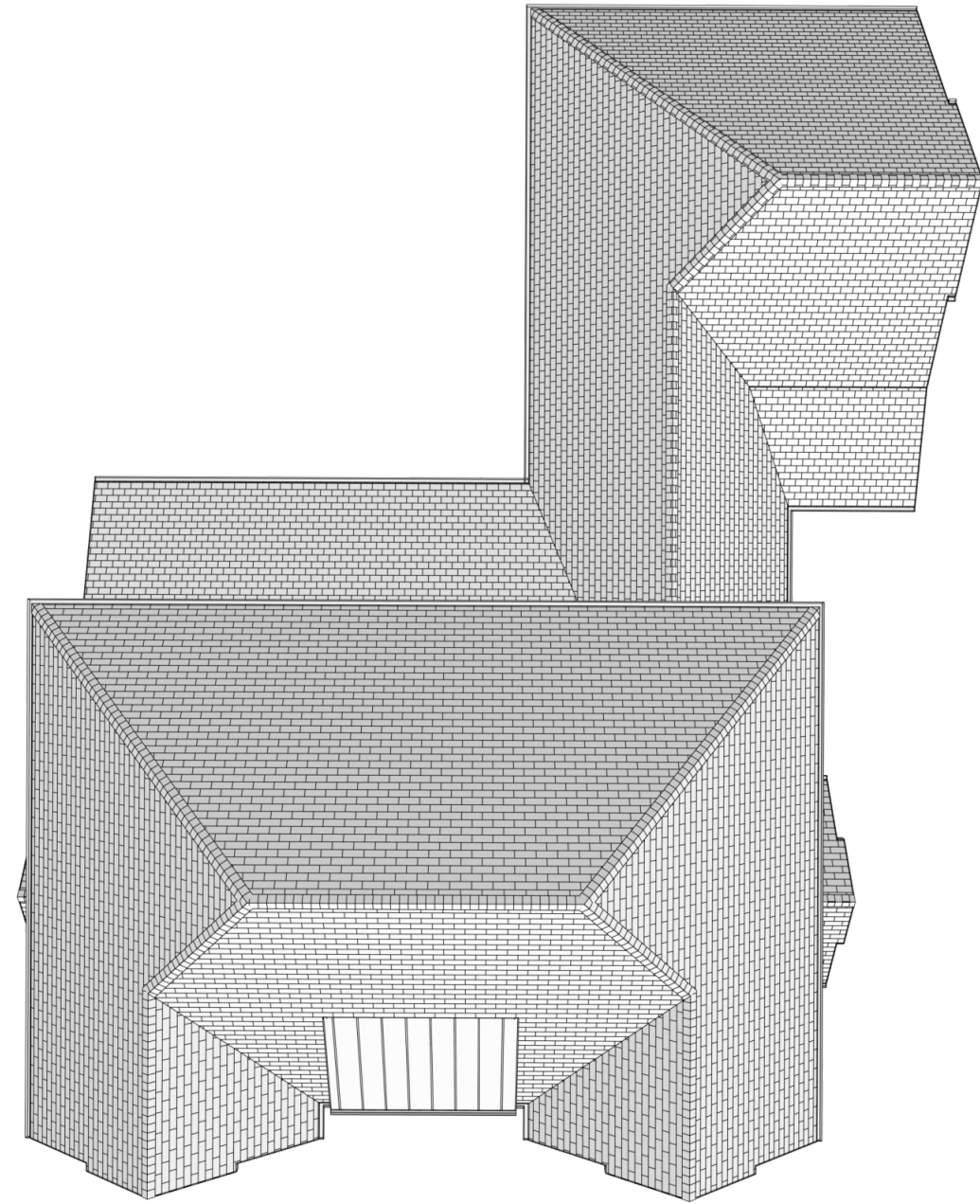
PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION**  
ROCKWALL, TEXAS  
TAYLOR HENSON

DATE:  
9/5/2023

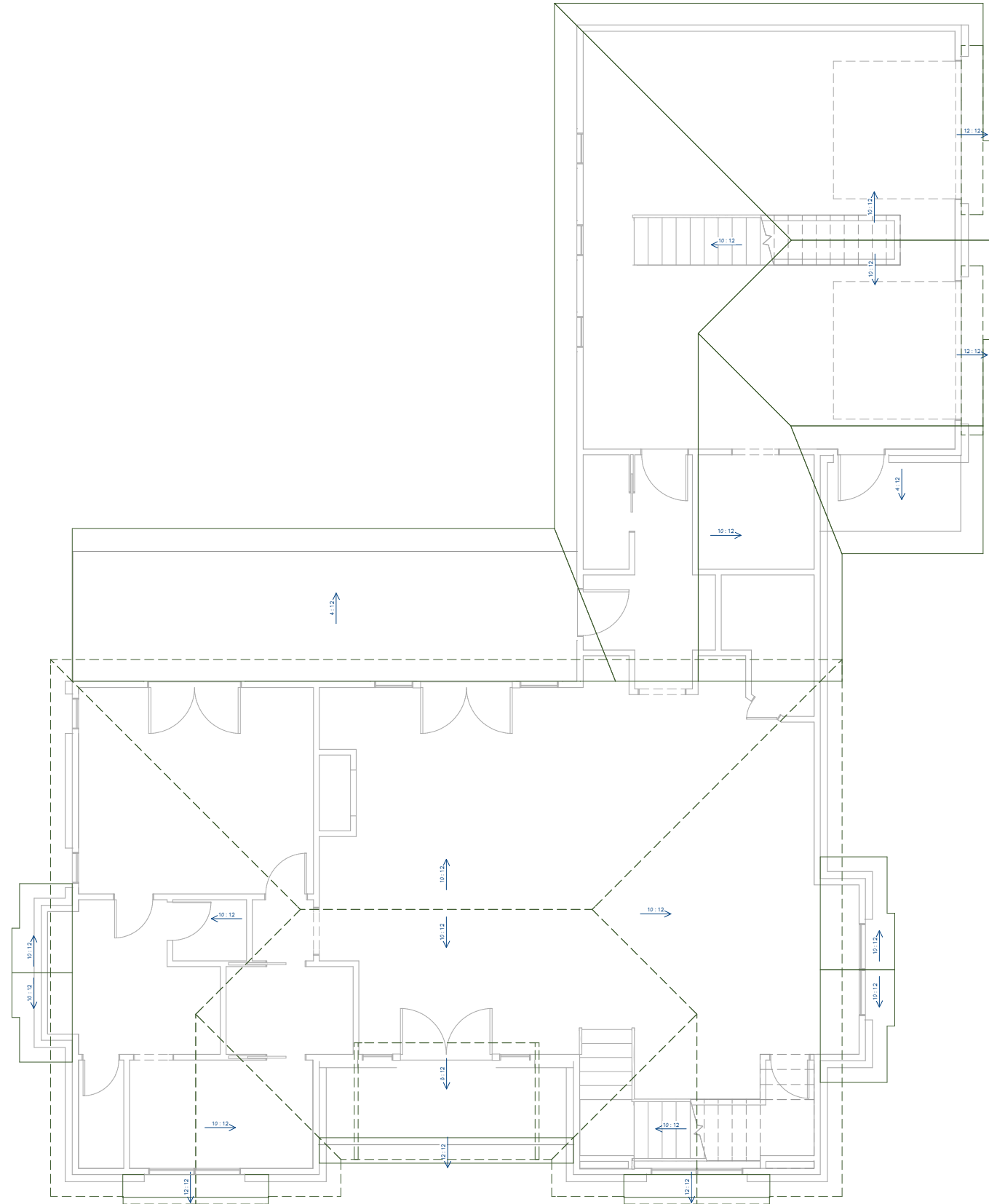
SCALE:  
1/4"=1'-0"

SHEET:  
**A-4**





ROOF OVERVIEW PERSPECTIVE



**ROOF PLAN**  
SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION
-----	------	-------------

SHEET TITLE:  
**ROOF PLAN**

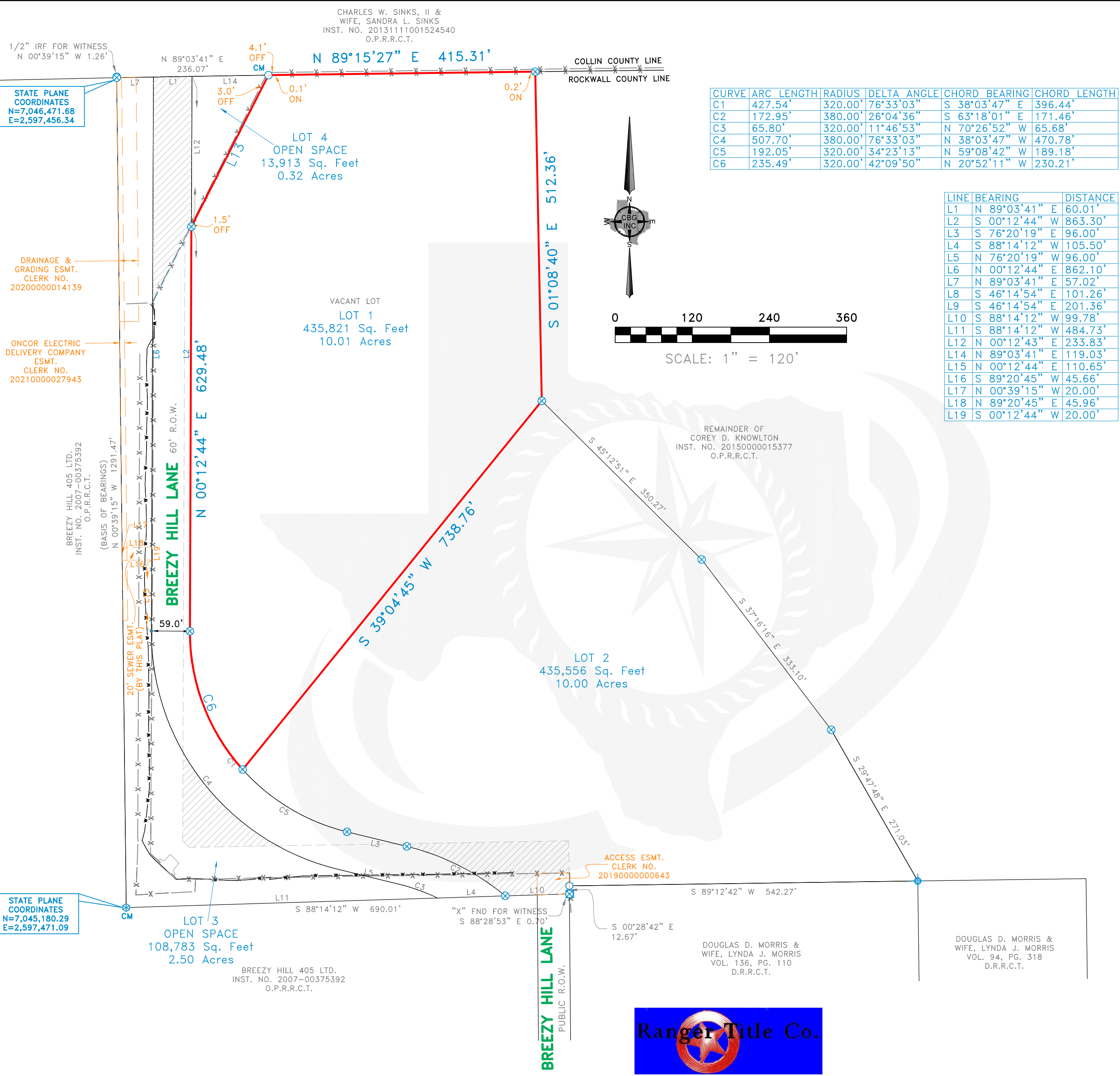
PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION**  
ROCKWALL, TEXAS  
TAYLOR HENSON

DATE:  
9/5/2023

SCALE:  
1/4"=1'-0"

SHEET:  
**A-8**





CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	427.54'	320.00'	76°33'03"	S 38°03'47" E	396.44'
C2	172.95'	380.00'	26°04'36"	S 63°18'01" E	171.46'
C3	65.80'	320.00'	11°46'53"	N 70°26'52" W	65.68'
C4	507.70'	380.00'	76°33'03"	N 38°03'47" W	470.78'
C5	192.05'	320.00'	34°23'13"	N 59°08'42" W	189.18'
C6	235.49'	320.00'	42°09'50"	N 20°52'11" W	230.21'

LINE	BEARING	DISTANCE
L1	N 89°03'41" E	60.01'
L2	S 00°12'44" W	863.30'
L3	S 76°20'19" E	96.00'
L4	S 88°14'12" W	105.50'
L5	N 76°20'19" W	96.00'
L6	N 00°12'44" E	862.10'
L7	N 89°03'41" E	57.02'
L8	S 46°14'54" E	101.26'
L9	S 46°14'54" E	201.36'
L10	S 88°14'12" W	99.78'
L11	S 88°14'12" W	484.73'
L12	N 00°12'43" E	233.83'
L14	N 89°03'41" E	119.03'
L15	N 00°12'44" E	110.65'
L16	S 89°20'45" W	45.66'
L17	N 00°39'15" W	20.00'
L18	N 89°20'45" E	45.96'
L19	S 00°12'44" W	20.00'

**Breezy Hill Lane (Lot 1)**

Lot 1, Breezy Hill Lane Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Clerk# 2020000009078, Plat Records, Rockwall County, Texas.

**SURVEYOR'S CERTIFICATE**

The undersigned Registered Professional Land Surveyor hereby certifies to Taylor Henson, Kaylee Henson, WFG National Title Insurance Company, and Ranger Title Company, in connection with the transaction described in G.F. No. R220291R that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries or the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Executed this 21st day of February, 2022

*Michael Churchwell*  
 Registered Professional Land Surveyor



NOTE: According to the F.I.R.M. in Map No. 48397C0030L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

ACCEPTED BY: \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

NOTES:  
 BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.  
 2) PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN: VOLUME 1452, PAGE 222, CLERK#S: 2020000009078, 2020000004363  
 3) EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY: VOLUME 46, PAGE 512

REVISIONS		
DATE	BY	NOTES

LEGEND	
○	CONTROLLING MONUMENT
○	1/2" IRON ROD FOUND
○	1/2" IRON ROD SET
○	1" IRON PIPE FOUND
□	FENCE POST CORNER
⊗	"X" FOUND / SET
⊗	5/8" ROD FOUND
▲	UNDERGROUND ELECTRIC
△	OVERHEAD ELECTRIC
●	POWER POLE
⊕	POINT FOR CORNER
⊕	GRAVEL/ROCK ROAD OR DRIVE
PE	POOL EQUIPMENT
■	COLUMN
AC	AIR CONDITIONING
⊕	FIRE HYDRANT
—	OES - OES
—	OHP - OHP
—	POINT FOR CORNER
—	CONCRETE PAVING
—	DOUBLE SIDED WOOD FENCE
—	ASPHALT PAVING
—	CHAIN LINK FENCE
—	WOOD FENCE
—	0.5" WIDE TYPICAL BARBED WIRE
—	IRON FENCE
—	PIPE FENCE
—	COVERED PORCH, DECK OR CARPORT
—	OVERHEAD ELECTRIC SERVICE
—	OVERHEAD POWER LINE

**CBG**  
 SURVEYING TEXAS LLC  
 1413 E. IH-30, Ste. 7  
 Garland, TX 75043  
 P 214.349.9485  
 F 214.349.2216  
 Firm No. 10168800  
 www.cbgtxl.com

SCALE	DATE	JOB NO.	G.F. NO.	DRAWN
1" = 120'	02/21/2022	1513780-13	SEE CERT.	MARIA

**FINAL SURVEY**

LOT 1, BLOCK A, BREEZY HILL LANE ADDITION

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

BREEZY HILL LANE (LOT 1)





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
1325 Breezy Hill Lane	Vacant	N/A	N/A	N/A	N/A
1460 Anna Cade Road	Single-Family Home	2017	13,158	N/A	Stone and Siding
0000 Breezy Hill Lane	Vacant	N/A	N/A	N/A	N/A
4618 Sky Harbor Drive	Single-Family Home	2021	5,886	N/A	Brick and Stone
4614 Sky Harbor Drive	Single-Family Home	2021	5,726	N/A	Brick and Stone
4610 Sky Harbor Drive	Single-Family Home	2021	5,487	N/A	Brick and Stone
4606 Sky Harbor Drive	Single-Family Home	2021	5,550	N/A	Brick and Stone
4602 Sky Harbor Drive	Single-Family Home	2021	4,830	N/A	Brick and Stone
4550 Sky Harbor Drive	Single-Family Home	2021	5,036	N/A	Brick
4546 Sky Harbor Drive	Single-Family Home	2021	5,242	N/A	Brick
4538 Sky Harbor Drive	Single-Family Home	2021	4,822	N/A	Brick and Siding
AVERAGES:		2021	6,193	#DIV/0!	





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



1325 Breezy Hill Lane



1460 Anna Cade





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



0000 Breezy Hill Lane



4618 Sky Harbor Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



4614 Sky Harbor Drive



4610 Sky Harbor Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



4606 Sky Harbor Drive



4602 Sky Harbor Drive





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



4550 Sky Harbor Drive



4546 Sky Harbor Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



4538 Sky Harbor Drive



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 10.00-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, BREEZY HILL LANE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kaylee and Taylor Henson for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 10.00-acre tract of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 02.01, *Agricultural (AG) District*, of Article 05, *District Development Standards*, of the Unified Development Code



(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>nd</sup> DAY OF OCTOBER, 2023.**



\_\_\_\_\_  
Trace Johannesen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: September 18, 2023

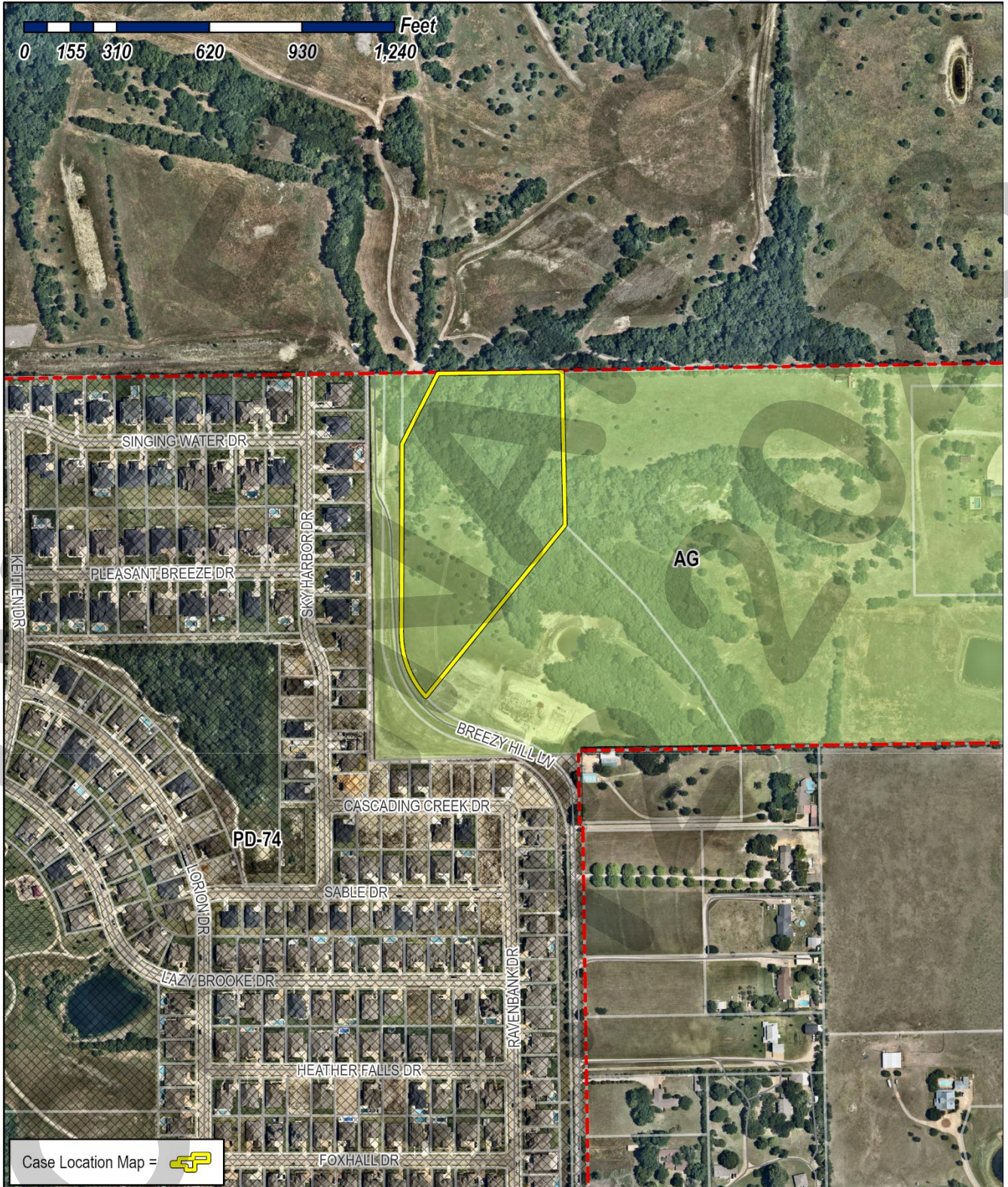
2<sup>nd</sup> Reading: October 2, 2023



**Exhibit 'A':**  
*Location Map*

Address: 1325 Breezy Hill Lane

Legal Description: Lot 1, Block A, Breezy Hill Lane Addition





**Exhibit 'B':  
Residential Plot Plan**

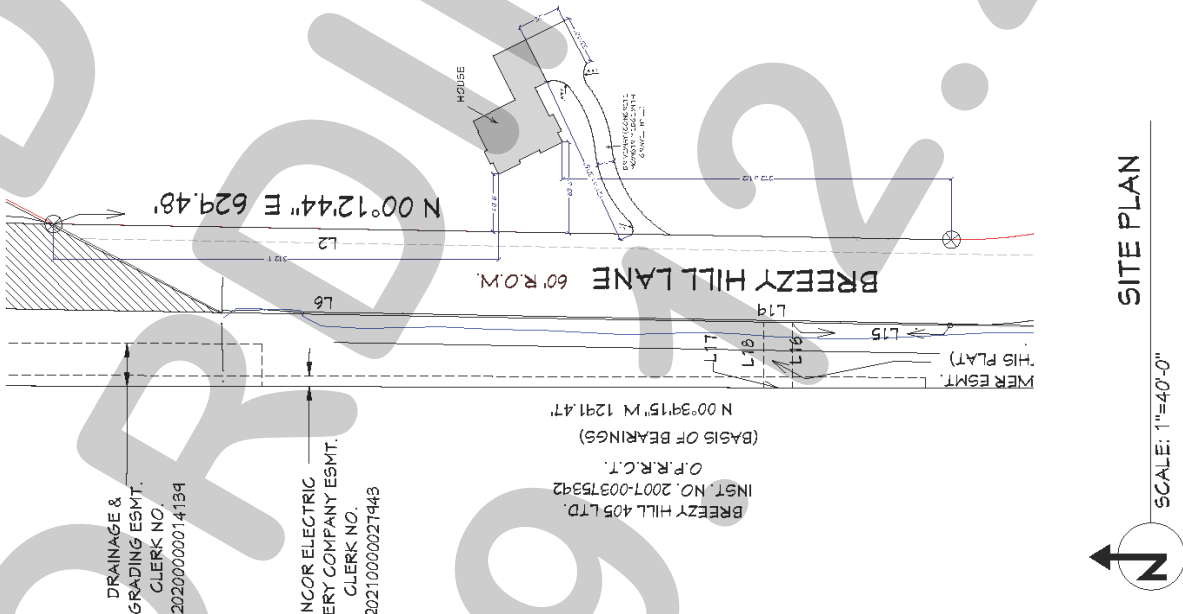
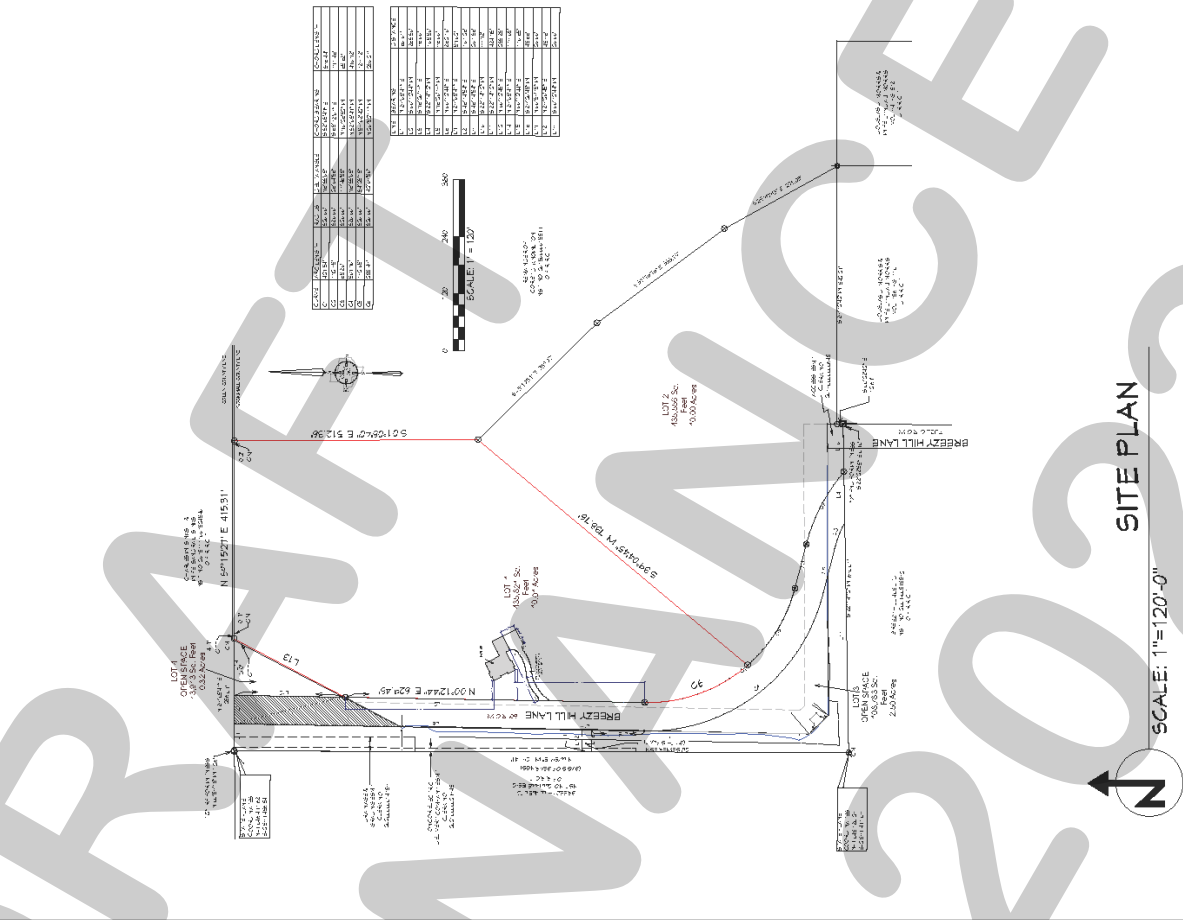
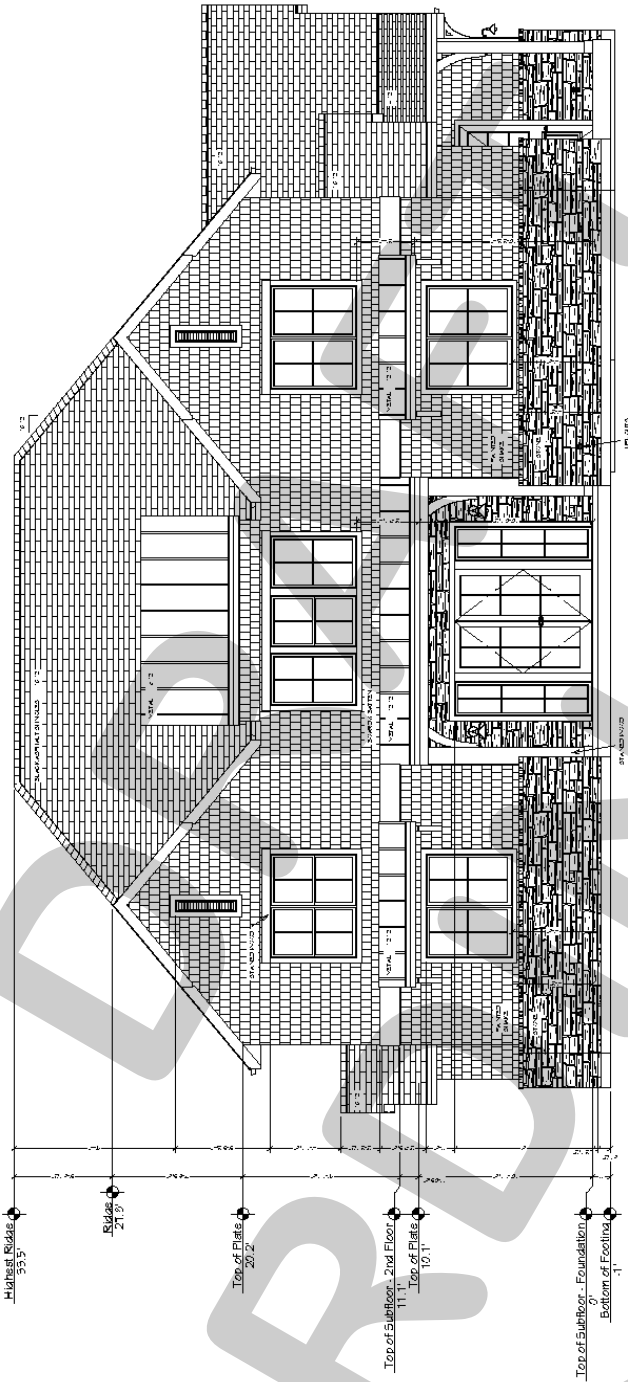


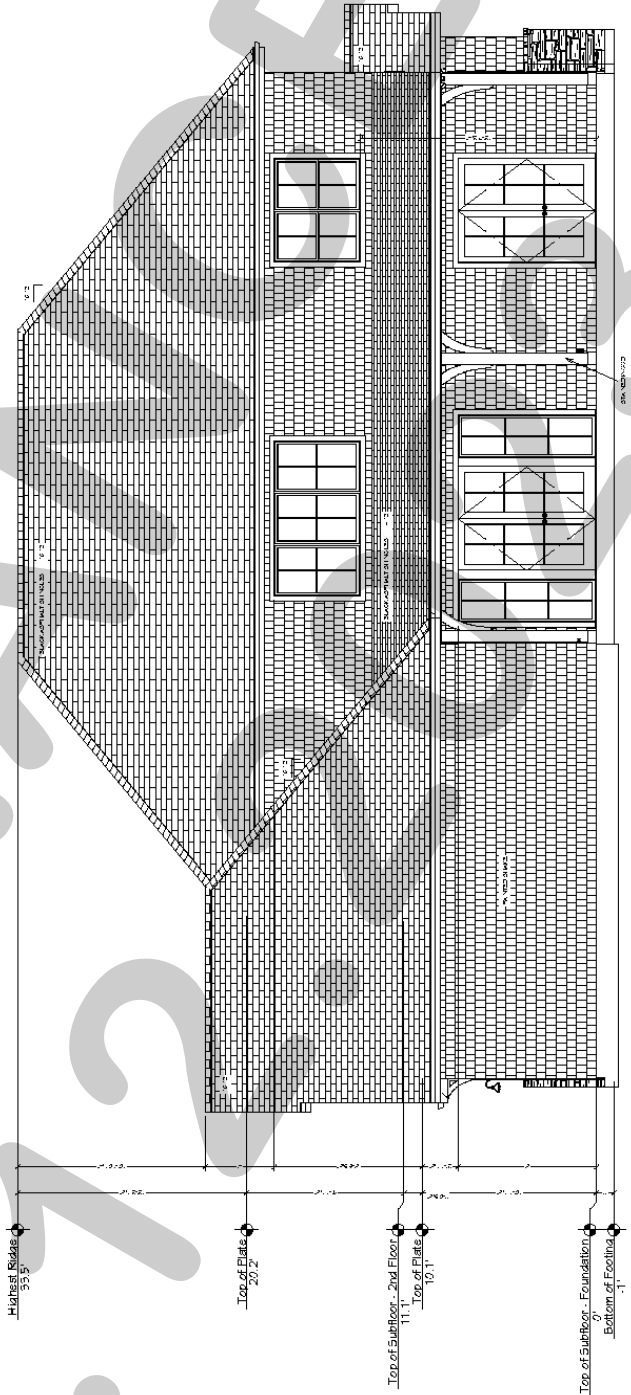


Exhibit 'C':  
Building Elevations



FRONT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

E1

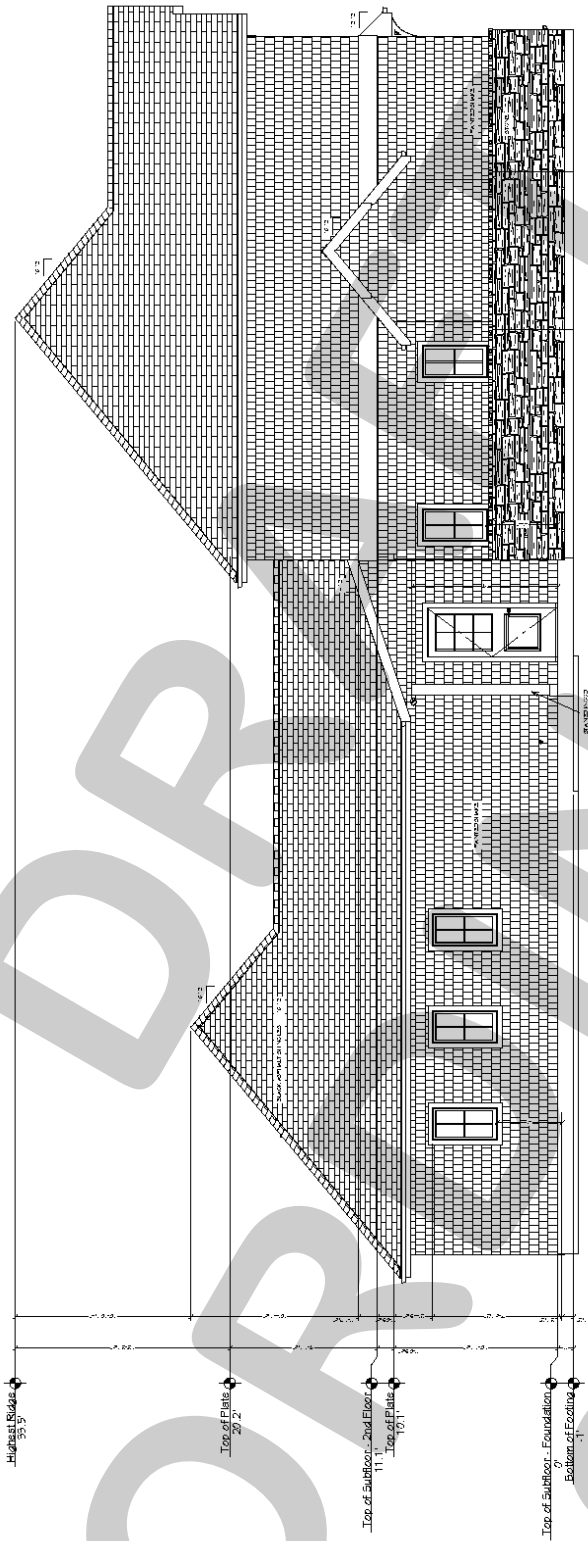


REAR EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

E2

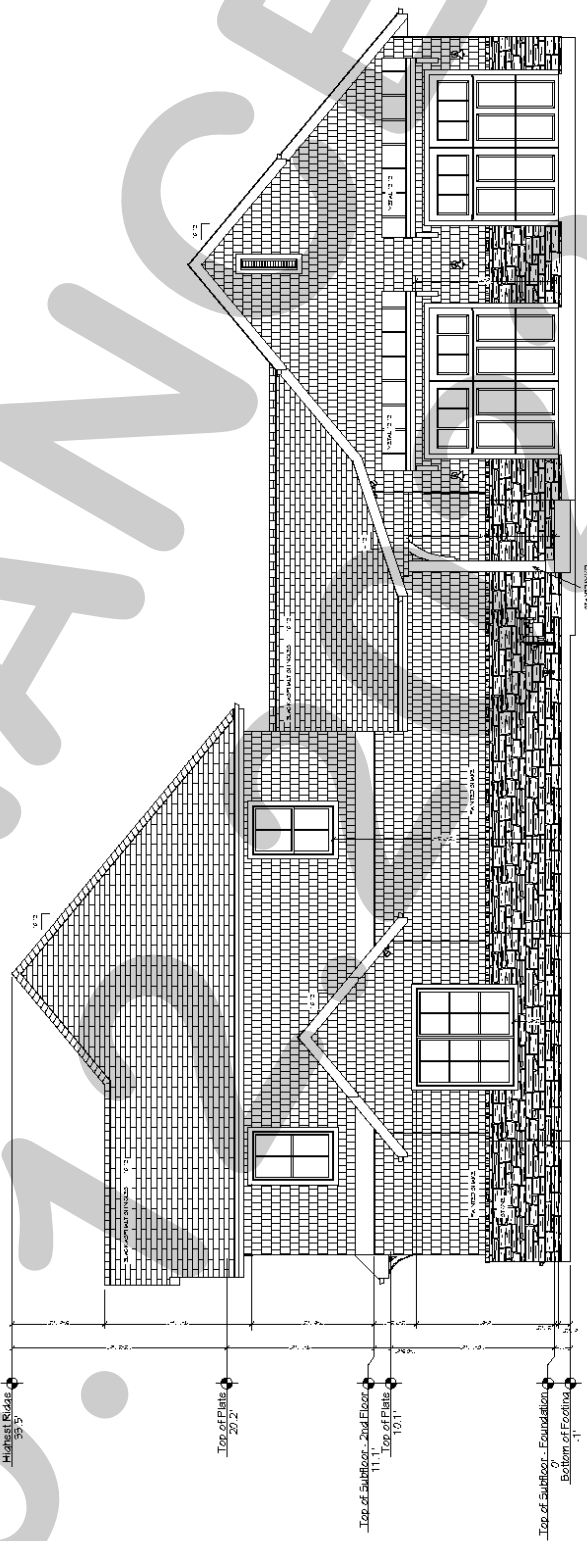


Exhibit 'C':  
Building Elevations



LEFT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

E3



RIGHT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

E4



**Exhibit 'C':**  
*Building Elevations*







# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** September 18, 2023  
**APPLICANT:** Kaylee and Taylor Henson  
**CASE NUMBER:** Z2023-040; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision at 1325 Breezy Hill Lane*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on February 4, 2008 by *Ordinance No. 08-12 [Case No. A2004-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District and was a portion of a larger 90.00-acre tract of land (*i.e. Tract 33 of the J. Strickland Survey, Abstract No. 187*). On May 5, 2020, the subject property was established as Lot 1, Block A, Breezy Hill Lane Addition by *Case No. P2020-007*. The subject property has remained vacant since its annexation.

### PURPOSE

The applicants -- *Kaylee and Taylor Henson* -- are requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 1325 Breezy Hill Lane. The land uses adjacent to the subject property are as follows:

- North: Directly north of the subject property are the corporate limits of the City of Rockwall and the County Line between Rockwall and Collin Counties.
- South: Directly south of the subject property is a 10.00-acre parcel of land (*i.e. Lot 2, Block A, Breezy Hill Lane Addition*) zoned Agricultural (AG) District. Beyond this is Phase 11 of the Breezy Hill Subdivision, which consists of 78 residential lots and is zoned Planned Development District 74 (PD-74). South of this is Phase 5 of the Breezy Hill Subdivision, which consists of 81 residential lots zoned Planned Development District 74 (PD-74).
- East: Directly east of the subject property is a 50.29-acre tract of land (*i.e. Tract 33-02, of the J Strickland Survey, Abstract No. 187*) zoned Agricultural (AG) District. East of this is a 20.00-acre tract of land (*i.e. Tract 33-03, of the J. Strickland Survey, Abstract No. 187*) zoned Agricultural (AG) District. Beyond this is are the corporate limits of the City of Rockwall followed by several properties with single-family homes situated on them.
- West: Directly west of the subject property is Breezy Hill Lane, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is Phase 8 of the Breezy Hill Subdivision, which was established in 2019 and contains 61 residential lots on 27.840-acres.



**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The code goes on to say “(a)ll proposed residential infill housing that is located within an Established Subdivision or a lot or tract of land that is located within 500-feet of an Established Subdivision shall be required to apply for a Specific Use Permit.” In this case, the subject property shares a common boundary (*i.e. the western property line*) with the Breezy Hill Subdivision, which has been in existence since 2008, consists of more than five (5) lots, and is more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. The Agricultural (AG) District is considered to be a single-family zoning district per Article 05, *District Development Standards*, of the Unified Development Code (UDC). This property, being adjacent to an *Established Subdivision*, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” With this being said, there are three (3) vacant parcels of land that are in close proximity to the home. These lots are estate style lots (*i.e. larger lots*) as opposed to the more traditional style lots with single-family homes in Phase 8 of the Breezy Hill Subdivision. Based on this, staff has only provided the following summary of observations concerning the house on Breezy Hill Lane as proposed by the applicant:

<i>HOUSING DESIGN AND CHARACTERISTICS</i>	PROPOSED HOUSING
<i>BUILDING HEIGHT</i>	TWO (2) STORY THE FRONT ELEVATION OF THE HOME WILL FACE ONTO BREEZY HILL LANE.
<i>BUILDING ORIENTATION</i>	
<i>YEAR BUILT</i>	N/A
<i>BUILDING SF ON PROPERTY</i>	3,877 SF
<i>BUILDING ARCHITECTURE</i>	COMPARABLE ARCHITECTURE TO THE EXISTING HOMES
<i>BUILDING SETBACKS</i>	
<i>FRONT</i>	X> 40-FEET
<i>SIDE</i>	X> 10-FEET
<i>REAR</i>	X> 6-FEET
<i>BUILDING MATERIALS</i>	COMBINATION OF STONE AND PAINTED SHAKE
<i>PAINT AND COLOR</i>	WHITE
<i>ROOFS</i>	BLACK ASPHALT SHINGLES
<i>DRIVEWAYS</i>	THE GARAGE WILL BE A J-SWING GARAGE.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for a home in an Agricultural (AG) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Sky Harbor Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the adjacent subdivision. If the applicant’s Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size, height, and general architecture of the proposed structures.

**NOTIFICATIONS**

On August 22, 2023, staff mailed 57 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowners Associations (HOA’s) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised



the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received one (1) notice and one (1) response to the Online Specific Use Permit Online Form in opposition to the applicant's request.

### **CONDITIONS OF APPROVAL**

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a *single-family home* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance;
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On September 12, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0, with Vice-Chairman Womble absent.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1325 Breezy Hill Ln, Rockwall, TX 75087  
 SUBDIVISION Breezy Hill Addition LOT 1 BLOCK -  
 GENERAL LOCATION end of Breezy Hill Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Ag. CURRENT USE Ag.  
 PROPOSED ZONING Ag./Residential PROPOSED USE Ag./Residential  
 ACREAGE 10 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kaylee + Taylor Henson  APPLICANT \_\_\_\_\_  
 CONTACT PERSON Taylor Henson CONTACT PERSON \_\_\_\_\_  
 ADDRESS 2710 Morning Mist Lane ADDRESS \_\_\_\_\_  
 CITY, STATE & ZIP Nevada, TX 75173 CITY, STATE & ZIP \_\_\_\_\_  
 PHONE 9034077848 PHONE \_\_\_\_\_  
 E-MAIL hensontaylor@gmail.com E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kaylee Henson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 350 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21st DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

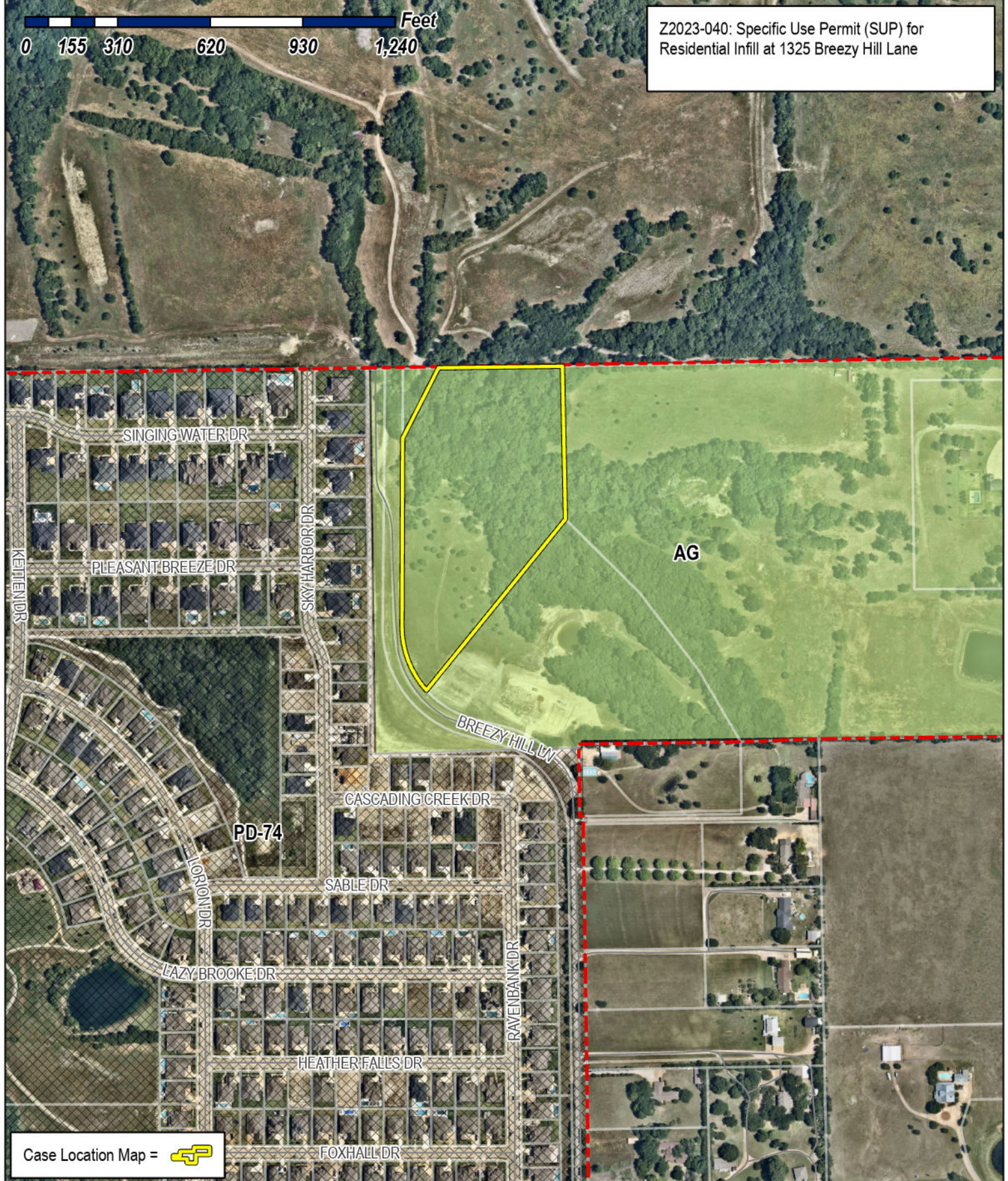
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21st DAY OF July, 2023  
 OWNER'S SIGNATURE Kaylee Henson  
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Trena L. Jackson


MY COMMISSION EXPIRES 4/5/2024





Z2023-040: Specific Use Permit (SUP) for Residential Infill at 1325 Breezy Hill Lane



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



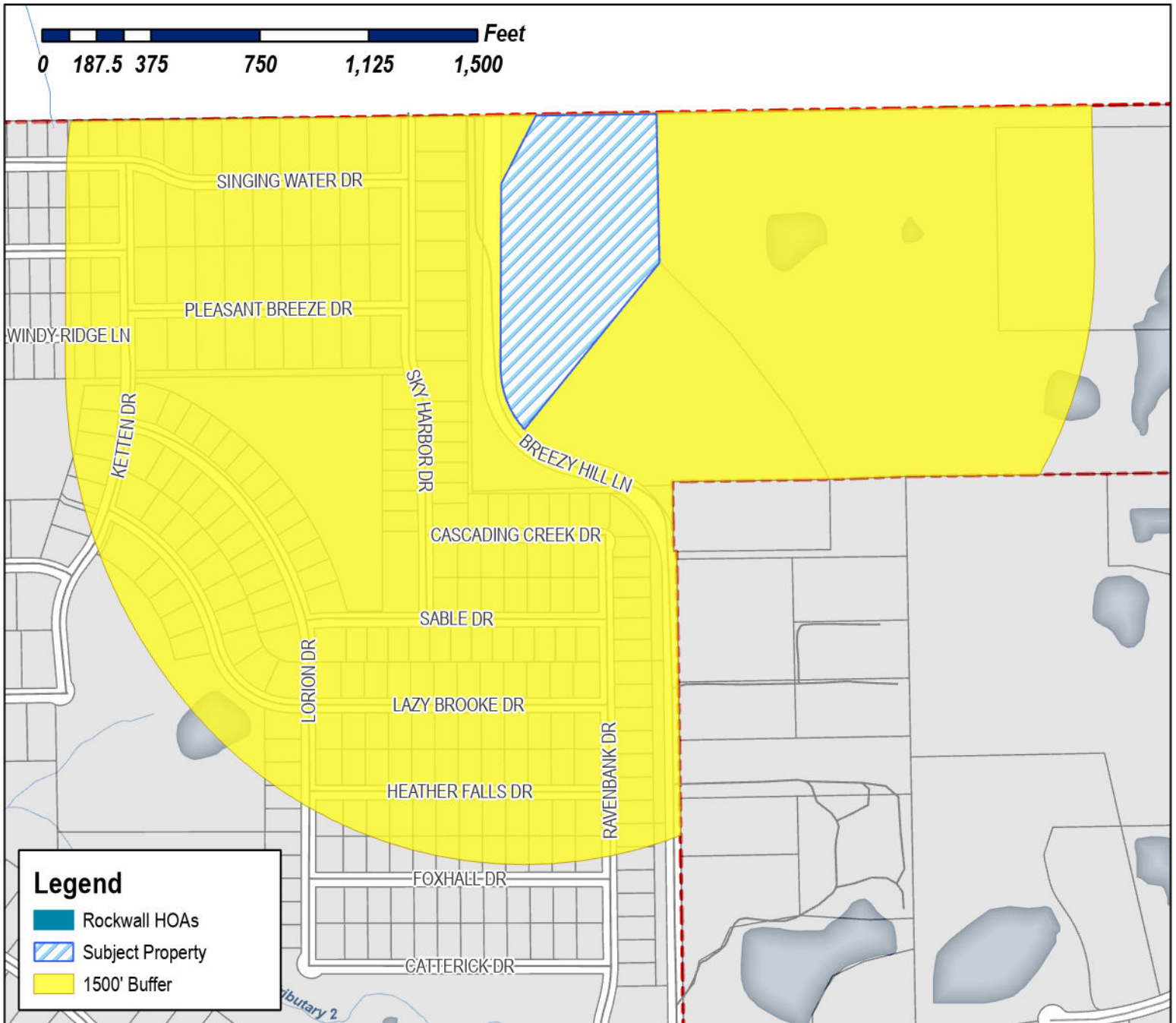




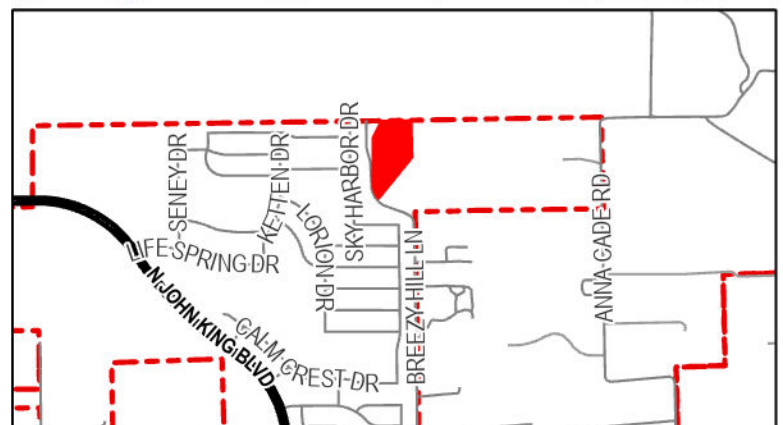
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-040  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 1325 Breezy Hill Lane



**Date Saved:** 8/14/2023

For Questions on this Case Call (972) 771-7745

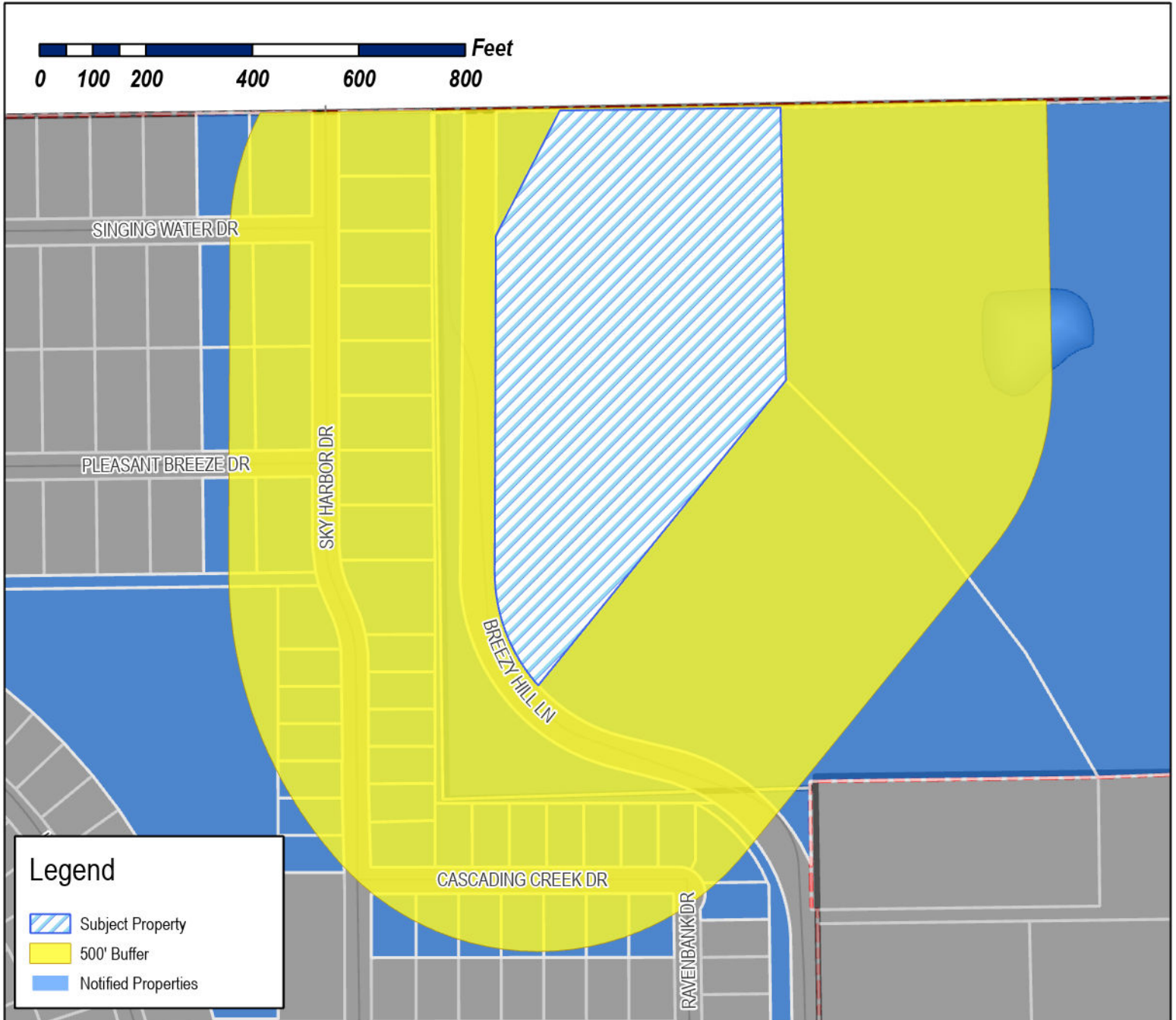




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-040  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 1325 Breezy Hill Lane

**Date Saved:** 8/14/2023  
 For Questions on this Case Call: (972) 771-7746





RESIDENT  
1001 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1005 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1006 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1009 CASCADING CREEK DR  
ROCKWALL, TX 75032

YOUSEF RITA A & OSAMA S SHENOUDA  
1010 CASCADING CREEK DR  
ROCKWALL, TX 75087

RESIDENT  
1013 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1014 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1017 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1018 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1020 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1021 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1024 CASCADING CREEK DR  
ROCKWALL, TX 75032

BREEZY HILL ESTATES HOMEOWNERS  
ASSOCIATION INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

BREEZY HILL ESTATES HOMEOWNERS  
ASSOCIATION INC  
1024 S GREENVILLE AVE SUITE 230  
ALLEN, TX 75002

RESIDENT  
1025 CASCADING CREEK DR  
ROCKWALL, TX 75032

RESIDENT  
1028 CASCADING CREEK DR  
ROCKWALL, TX 75032

KNOWLTON COREY D  
1460 ANNA CADE ROAD  
ROCKWALL, TX 75087

FISCHER DAVID SCOTT AND CHRISTINE  
1608 LAKE CREST LANE  
PLANO, TX 75023

RESIDENT  
205 BREEZY HILL DR  
ROCKWALL, TX 75032

RESIDENT  
205 ROCKHOUSE LN  
ROCKWALL, TX 75032

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
4505 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4506 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4511 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4514 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4516 RAVENBANK DR  
ROCKWALL, TX 75032

RESIDENT  
4521 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4525 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4528 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4529 SKY HARBOR DR  
ROCKWALL, TX 75032



RESIDENT  
4532 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4533 SKY HARBOR DR  
ROCKWALL, TX 75032

VALLABINENI RAJESH AND THRIVIDYA  
MADAPATI  
THRIVIDYA MADAPATI  
4536 SKY HARBOR DR  
ROCKWALL, TX 75087

RESIDENT  
4537 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4538 SKY HARBOR DR  
ROCKWALL, TX 75032

SANCHEZ ELENA  
4546 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

WALLER DAVID AND SORAYA  
4550 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

RESIDENT  
4602 RAVENBANK DR  
ROCKWALL, TX 75032

RESIDENT  
4602 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4606 SKY HARBOR DR  
ROCKWALL, TX 75032

RESIDENT  
4610 SKY HARBOR DR  
ROCKWALL, TX 75032

ECHOLS BRITTNEY  
4614 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

RESIDENT  
4618 SKY HARBOR DR  
ROCKWALL, TX 75032

BRATBERG NEIL  
4622 SKY HARBOR DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
5310 HARVEST HILL RD SUITE 162  
DALLAS, TX 75230

HENSON TAYLOR RAY AND KAYLEE RAYE  
7138 LAUREL RIDGE  
DALLAS, TX 75231

MCCORMACK JAMES ROSSI AND ELENA LOUISE  
731 PLEASANT BREEZE DRIVE  
ROCKWALL, TX 75087

GNANAYUTHAM JEREMY AND JESSIE  
732 PLEASANT BREEZE DRIVE  
ROCKWALL, TX 75087

GILLIGAN DEBORAH ANN AND TRAVIS EGUENE  
733 SINGING WATER DRIVE  
ROCKWALL, TX 75087

JACKS DALLAS CLAYTON AND MAGEN NICOLE  
734 SINGING WATER DRIVE  
ROCKWALL, TX 75087

RESIDENT  
735 PLEASANT BREEZE DR  
ROCKWALL, TX 75032

SIEVERT SHANNON AND CHRISTY  
736 PLEASANT BREEZE DR  
ROCKWALL, TX 75087

GARCIA KRIS A AND ANGELA M  
737 SINGING WATER DRIVE  
ROCKWALL, TX 75087

BAKER CHRISTOPHER AND RHYANA  
738 SINGING WATER DRIVE  
ROCKWALL, TX 75087

BH PHASE XI LTD  
8214 WESTCHESTER DRIVE SUITE 900  
DALLAS, TX 75225

SINKS CHARLES W  
8854 CR 2472  
ROYSE CITY, TX 75189

HEFNER SCOTT & CHERYL  
897 ANACONDA COURT  
CASTLE ROCKWA, CO 80108



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-040: SUP for Residential Infill**

*Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2023-040: SUP for Residential Infill**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for providing reasons for support or opposition]

Name: [Grey bar for name]

Address: [Grey bar for address]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-040: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-040: SUP for Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

*Loss of green space! Diminished property values. Contributes to Urban sprawl.*

Name: *Neil Brodberg*

Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Unknown ene of Breezy Hill Ln

Please place a check mark on the appropriate line below: \*

I am in favor of the request

I am in opposition to the request

Please provide any additional information concerning your support or opposition to the request

Need more info

## Respondent Information

Please provide your information.

## First Name \*

Dan



Last Name \*

Marley

Address \*

[Redacted]

City \*

[Redacted]

State \*

[Redacted]

Zip Code \*

[Redacted]

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other \_\_\_\_\_



How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

I received a property owner notification in the mail.

I read about the request on the City's website.

I saw a zoning sign on the property.

I read about the request in the Rockwall Herald Banner.

My neighbors told me about the request.

Other: \_\_\_\_\_

This content is neither created nor endorsed by Google.

Google Forms



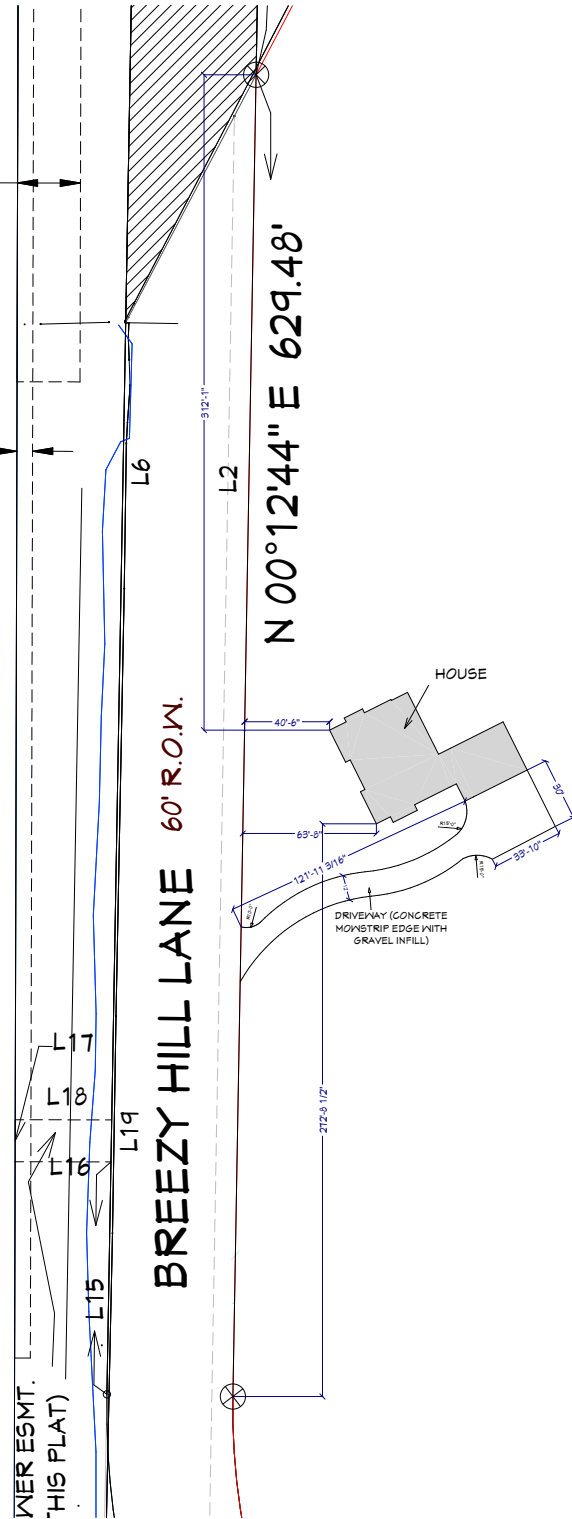
DRAINAGE & GRADING ESMT.  
CLERK NO.  
2020000014139

ONCOR ELECTRIC  
DELIVERY COMPANY ESMT.  
CLERK NO.  
20210000021943

BREEZY HILL 405 LTD.  
INST. NO. 2007-00375392  
O.P.R.C.T.

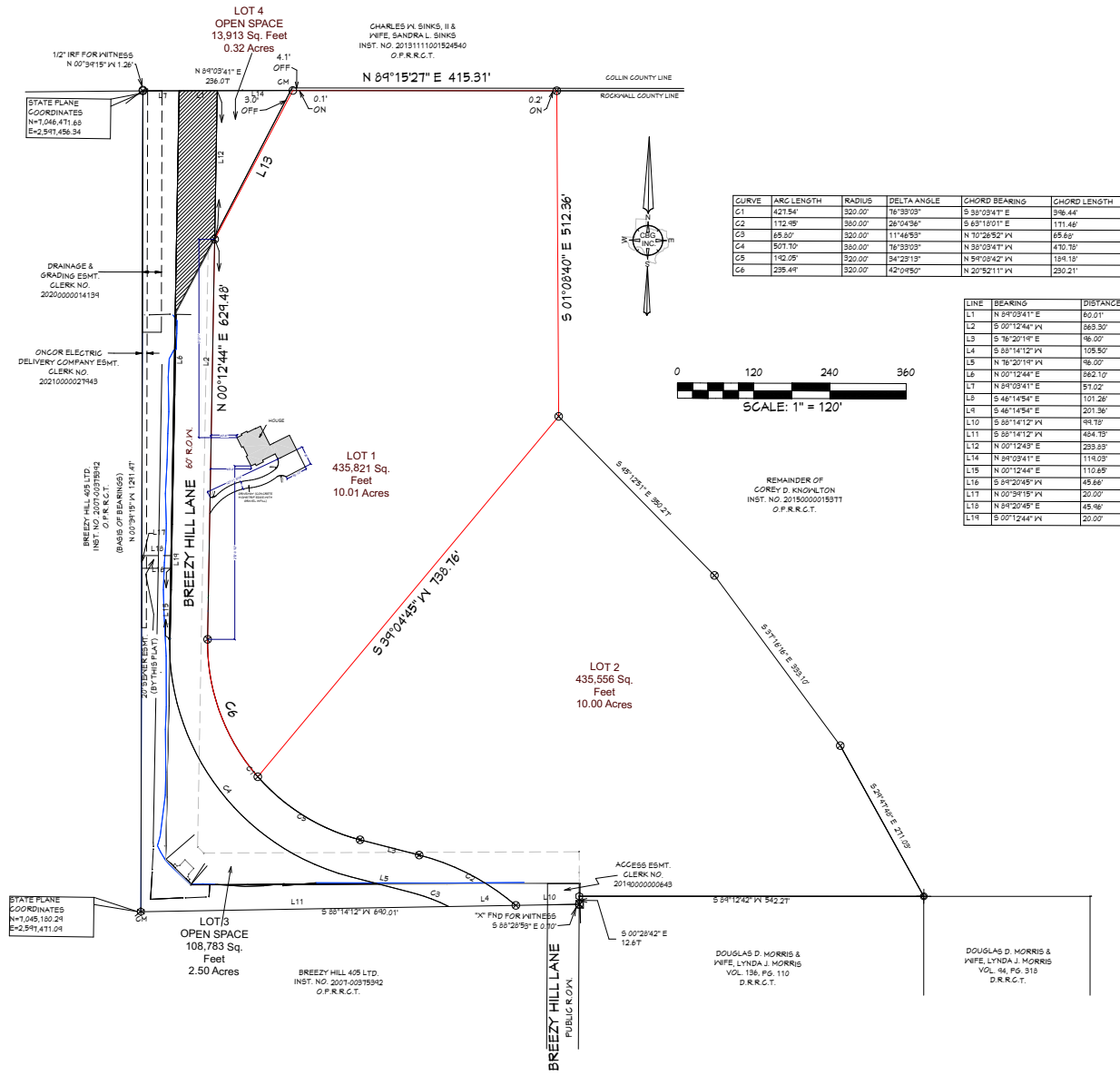
(BASIS OF BEARINGS)

N 00°39'15" W 12911.47'



SCALE: 1"=40'-0"

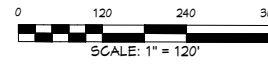
SITE PLAN



SCALE: 1"=120'-0"

SITE PLAN

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	421.54'	320.00'	76°39'03"	S 53°03'41" E	396.44'
C2	112.48'	360.00'	26°04'36"	S 63°18'01" E	171.46'
C3	69.60'	320.00'	11°46'53"	N 10°26'52" W	69.60'
C4	301.70'	360.00'	76°33'03"	N 31°02'47" W	473.70'
C5	140.09'	320.00'	34°23'13"	N 51°02'42" W	134.12'
C6	238.44'	320.00'	42°04'50"	N 20°32'11" W	250.21'



LINE	BEARING	DISTANCE
L1	N 24°05'41" E	60.01'
L2	S 01°12'44" W	363.30'
L3	S 76°32'16" E	96.00'
L4	S 53°14'12" W	108.50'
L5	N 76°20'19" W	96.00'
L6	N 00°12'44" E	362.10'
L7	N 31°02'47" E	571.02'
L8	S 46°14'54" E	101.26'
L9	S 46°14'54" E	201.36'
L10	S 53°14'12" W	96.75'
L11	S 53°14'12" W	464.75'
L12	N 00°12'44" E	233.50'
L13	N 00°12'44" E	114.03'
L14	N 00°12'44" E	110.65'
L15	N 00°12'44" E	45.66'
L16	S 24°23'45" W	20.00'
L17	N 24°23'45" E	45.96'
L18	S 00°12'44" W	20.00'
L19	S 00°12'44" W	20.00'

NO.	DATE	DESCRIPTION

SHEET TITLE:  
**SITE PLAN**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON**

DATE:  
9/5/2023

SCALE:  
VARIES

SHEET:  
**A-2**

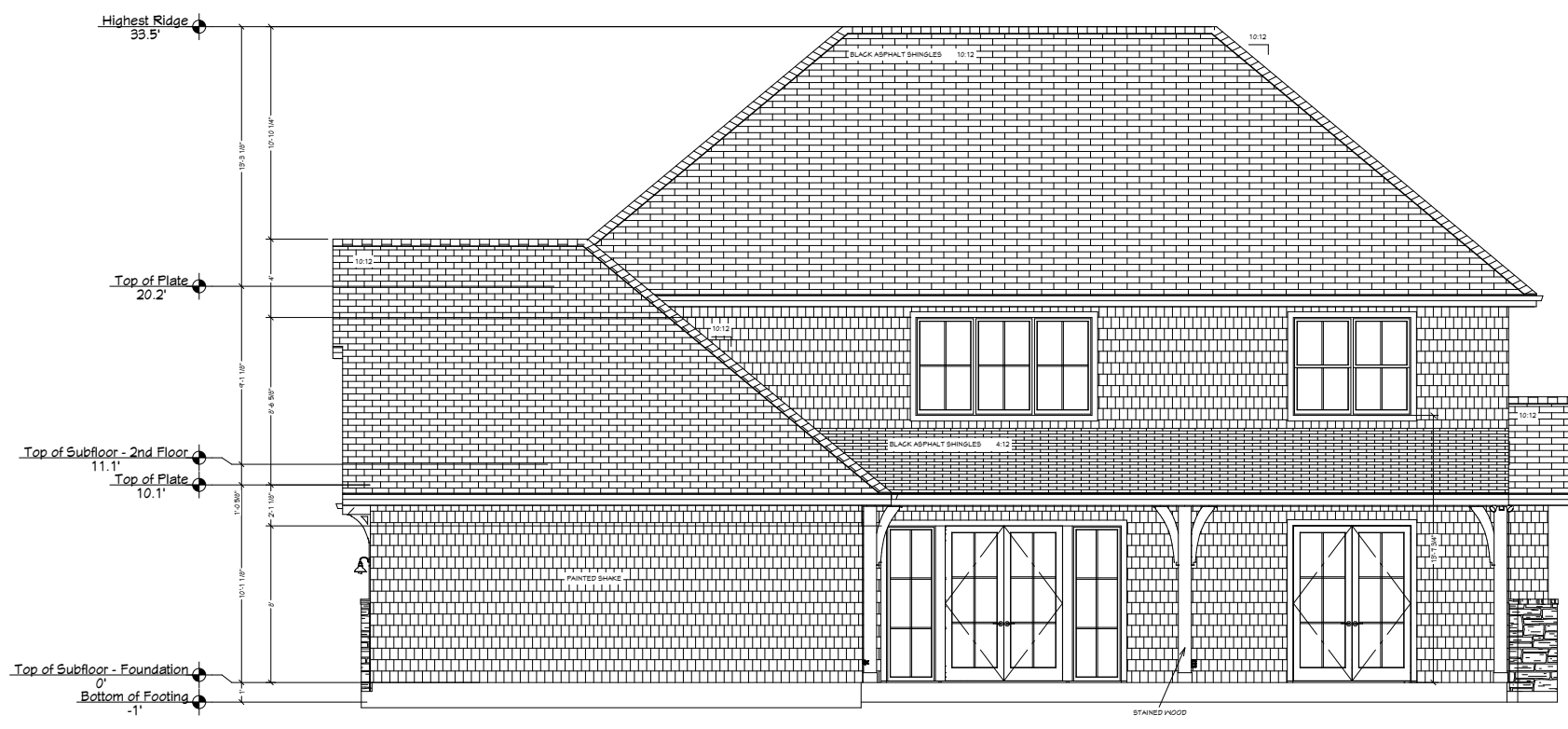


DOOR SCHEDULE	DOOR SCHEDULE						
EXT. ELEVATION	INT. ELEVATION						
NUMBER	NUMBER						
QTY	QTY						
DESCRIPTION	DESCRIPTION						
QTY	QTY						
DESCRIPTION	DESCRIPTION						
D01	1000	2	1	1000	117X98"	GARAGE-GARAGE DOOR (WOOD)	2X12X16' (2)
D02	8000	3	1	8000 L/R EX	74"X98"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X11' (2)
D03	3000	1	1	3000 L EX	38"X98"	EXT. HINGED-DOOR E02	2X8X41' (2)
D04	3000	1	1	3000 R EX	38"X98"	EXT. HINGED-DOOR E02	2X8X41' (2)
D05	2000	1	1	2000 L IN	25 13/16"X98 1/2"	HINGED DOOR P04	2X8X23 13/16' (2)
D06	2400	1	1	2400 R IN	30"X98 1/2"	HINGED DOOR P04	2X8X37' (2)
D07	2600	1	1	2600 L IN	32"X98 1/2"	HINGED DOOR P04	2X8X39' (2)
D08	2600	1	1	2600 R IN	32"X98 1/2"	HINGED DOOR P04	2X8X39' (2)
D09	2800	1	1	2800 R	61 1/4"X98 1/2"	POCKET DOOR P04	2X8X64 1/4' (2)
D10	2800	1	1	2800 R IN	32"X98 1/2"	HINGED DOOR P04	2X8X39' (2)
D11	3000	1	1	3000 L IN	38"X98 1/2"	HINGED DOOR P04	2X8X41' (2)
D12	2600	2	1	2600 L	61 1/4"X98 1/2"	POCKET DOOR P04	2X8X64 1/4' (2)
D13	2600	1	1	2600 L	30"X98"	SHOWER-GLASS SLAB	
D14	2360	1	2	2360 R	55 3/8"X92 1/2"	POCKET DOOR P04	2X8X50 3/8' (2)
D15	2660	2	2	2660 L IN	32"X92 1/2"	HINGED DOOR P04	2X8X39' (2)
D16	2660	1	2	2660 R	61 1/4"X92 1/2"	POCKET DOOR P04	2X8X64 1/4' (2)
D17	2660	6	2	2660 R IN	32"X92 1/2"	HINGED DOOR P04	2X8X39' (2)
D18	4060	3	2	4060 L/R IN	50"X92 1/2"	DOUBLE HINGED DOOR P04	2X8X39' (2)

WINDOW SCHEDULE	WINDOW SCHEDULE						
EXT. ELEVATION	INT. ELEVATION						
NUMBER	NUMBER						
QTY	QTY						
DESCRIPTION	DESCRIPTION						
QTY	QTY						
DESCRIPTION	DESCRIPTION						
W01	2040FX	3	1	2040FX	29"X48"	FIXED GLASS	2X8X29' (2)
W02	2050FX	2	1	2050FX	29"X48"	FIXED GLASS	2X8X29' (2)
W03	2630FX	2	1	2630FX	31"X61"	FIXED GLASS	2X8X34' (2)
W04	3050FX	4	1	3050FX	37"X61"	FIXED GLASS	2X8X40' (2)
W05	3050FX	2	1	3050FX	37"X61"	FIXED GLASS	2X8X40' (2)
W06	3050DH	6	2	3050DH	37"X61"	DOUBLE HUNG	2X8X40' (2)
W07	3050FX	3	2	3050FX	37"X61"	FIXED GLASS	2X8X40' (2)



**E1** FRONT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



**E2** REAR EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION

SHEET TITLE:  
**FRONT & REAR EXTERIOR ELEVATIONS**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON**

DATE:  
9/5/2023

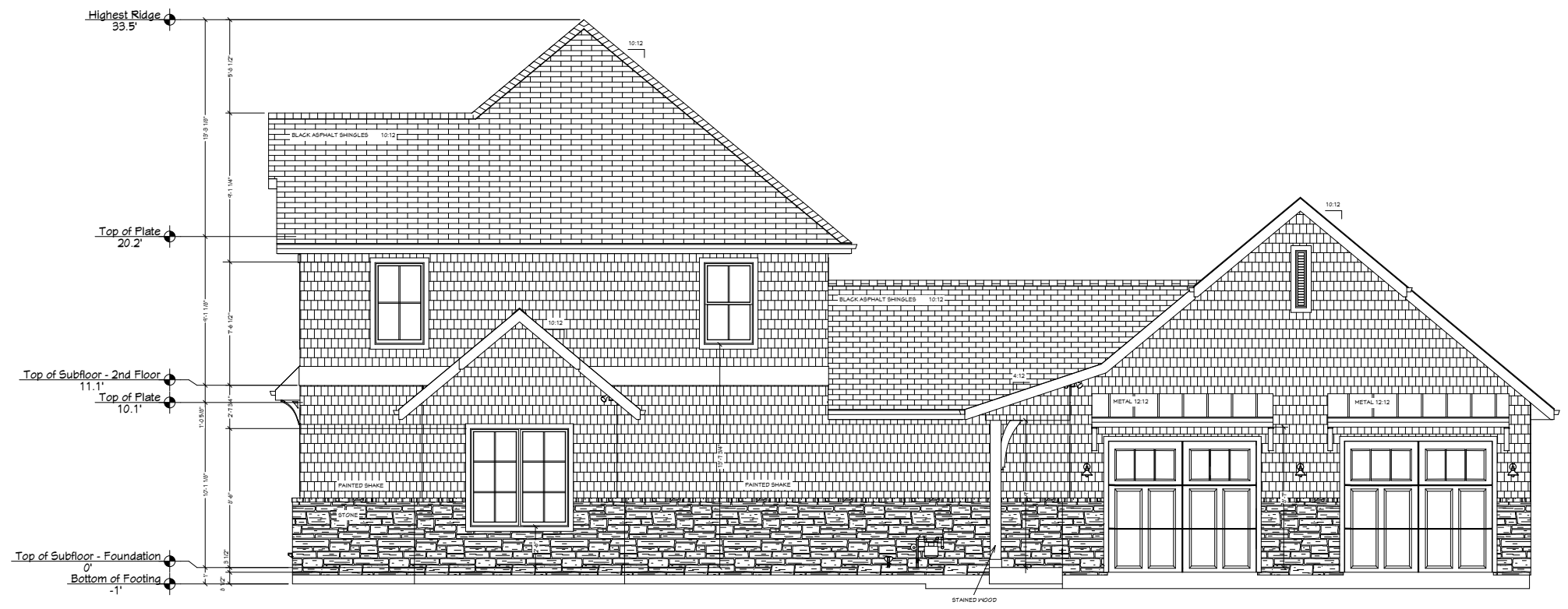
SCALE:  
1/4"=1'-0"

SHEET:  
**A-5**





**E3** LEFT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



**E4** RIGHT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION

SHEET TITLE:  
**SIDE EXTERIOR ELEVATIONS**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON**

DATE:  
9/5/2023

SCALE:  
1/4"=1'-0"

SHEET:  
**A-6**



**INDEX OF DRAWINGS:**

PROJECT OVERVIEW	A-1
PHASE ONE SITE PLAN	A-2
FIRST FLOOR PLAN	A-3
SECOND FLOOR PLAN	A-4
FRONT & REAR EXTERIOR ELEVATIONS	A-5
SIDE EXTERIOR ELEVATIONS	A-6
ELECTRICAL PLANS	A-7
ROOF PLAN	A-8
FOUNDATION PLAN	A-9

**AREA CALCULATIONS:**

1ST FLOOR HVAC	1,655 SQ. FT.
2ND FLOOR HVAC	1,045 SQ. FT.
<b>TOTAL HVAC</b>	<b>2,750 SQ. FT.</b>
FRONT COVERED PORCH	79 SQ. FT.
BACK COVERED PATIO	280 SQ. FT.
GARAGE & STORAGE	722 SQ. FT.
GARAGE COVERED PORCH	46 SQ. FT.
<b>TOTAL UNDER ROOF</b>	<b>3,877 SQ. FT.*</b>
<b>FOUNDATION FOOTPRINT</b>	<b>2,432 SQ. FT.**</b>

61'-1 1/2" X 75'-8"

4 BED, 3.5 BATH

\*TOTAL UNDER ROOF SQUARE FOOTAGE CALCULATES THE TOTAL LIVING AREA, EXCLUDING THE ROOMS' WALL THICKNESSES.

\*\*FOUNDATION FOOTPRINT SQUARE FOOTAGE CALCULATES THE ENTIRE STRUCTURE'S GROUND FLOOR AREA INCLUDING WALL THICKNESS, EXTERIOR MATERIAL LEDGES, FIREPLACES, AND ALL OTHER NON HVAC AREAS.

ALL DIMENSIONS SHOWN ARE TO THE EXTERIOR FRAMING LAYER.



**FRONT EXTERIOR PERSPECTIVE RENDERING**  
FOR ILLUSTRATION ONLY

**GENERAL NOTES**

THE PURCHASER OF THESE PLANS IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND FOR ENSURING THAT THE PLAN IS CORRECTLY ADAPTED TO ACCOMMODATE LOCAL SITE CONDITIONS. THE PURCHASER CAN CONSULT WITH A LOCAL ARCHITECT OR ENGINEER REGARDING THESE MATTERS. BEFORE CONSTRUCTION BEGINS, THE PURCHASER SHOULD THOROUGHLY REVIEW THIS PLAN WITH THE CONTRACTOR, VERIFY ALL DIMENSIONS, AND REPORT TO BREMARIE DESIGNS LLC ANY ERRORS, OMISSIONS, OR QUESTIONS FOR CLARIFICATION. ALL EXTERIOR AND INTERIOR DIMENSIONS ARE TO THE FRAMING LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS, INCLUDING ROUGH OPENINGS.

THE CONTRACTOR IS RESPONSIBLE FOR A SITE SURVEY TO VERIFY HOME LOCATION AND SETBACKS PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE PURCHASER SHOULD VERIFY ALL STRUCTURAL ELEMENTS FOR THE PLAN AND SITE WITH A LOCAL ENGINEER. LARGE SPANS : LOAD BEARING BEAM/HEADER SIZE FOR SPANS IN EXCESS OF 20' TO BE SPECIFIED BY ENGINEER. THE EXACT SIZE, REINFORCEMENT, AND DEPTH OF ALL CONCRETE FOOTINGS AND FOUNDATIONS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES FOR CONSTRUCTION. THE BOTTOM OF ALL FOOTINGS SHOULD EXTEND BELOW THE FROST LINE. THE PURCHASER OF THESE PLANS UNDERSTANDS ALL RISKS ASSOCIATED WITH ADAPTING THE PLAN TO LOCAL SITES AFFECTED BY REGIONAL VARIATIONS IN CLIMATE, LOCAL SITE CONDITIONS, DESIGN NEEDS AND BUILDING CODES.

BREMARIE DESIGNS LLC MAY NOT BE HELD RESPONSIBLE FOR ADAPTING THIS PLAN TO LOCAL SITE CONDITIONS, DESIGN CHANGES, CONSTRUCTION MEANS, OR METHODS, COSTS, WORKMANSHIP, QUALITY OF MATERIALS, OR EQUIPMENT UTILIZED IN CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ASPECTS OF THESE PLANS AND TO ENSURE PLANS MEET ALL LOCAL GOVERNING CODES AND REQUIREMENTS. BREMARIE DESIGNS LLC ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS. THE PURCHASER IS GRANTED THE RIGHT TO BUILD ONLY ONE STRUCTURE FROM THIS PLAN (OR MODIFIED PLAN). THIS RIGHT EXTENDS TO THE ORIGINAL PURCHASER ONLY AND IS NOT TRANSFERABLE.



NO. DATE DESCRIPTION

SHEET TITLE:  
**PROJECT OVERVIEW**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON**

DATE:  
9/5/2023

SCALE:  
NO SCALE

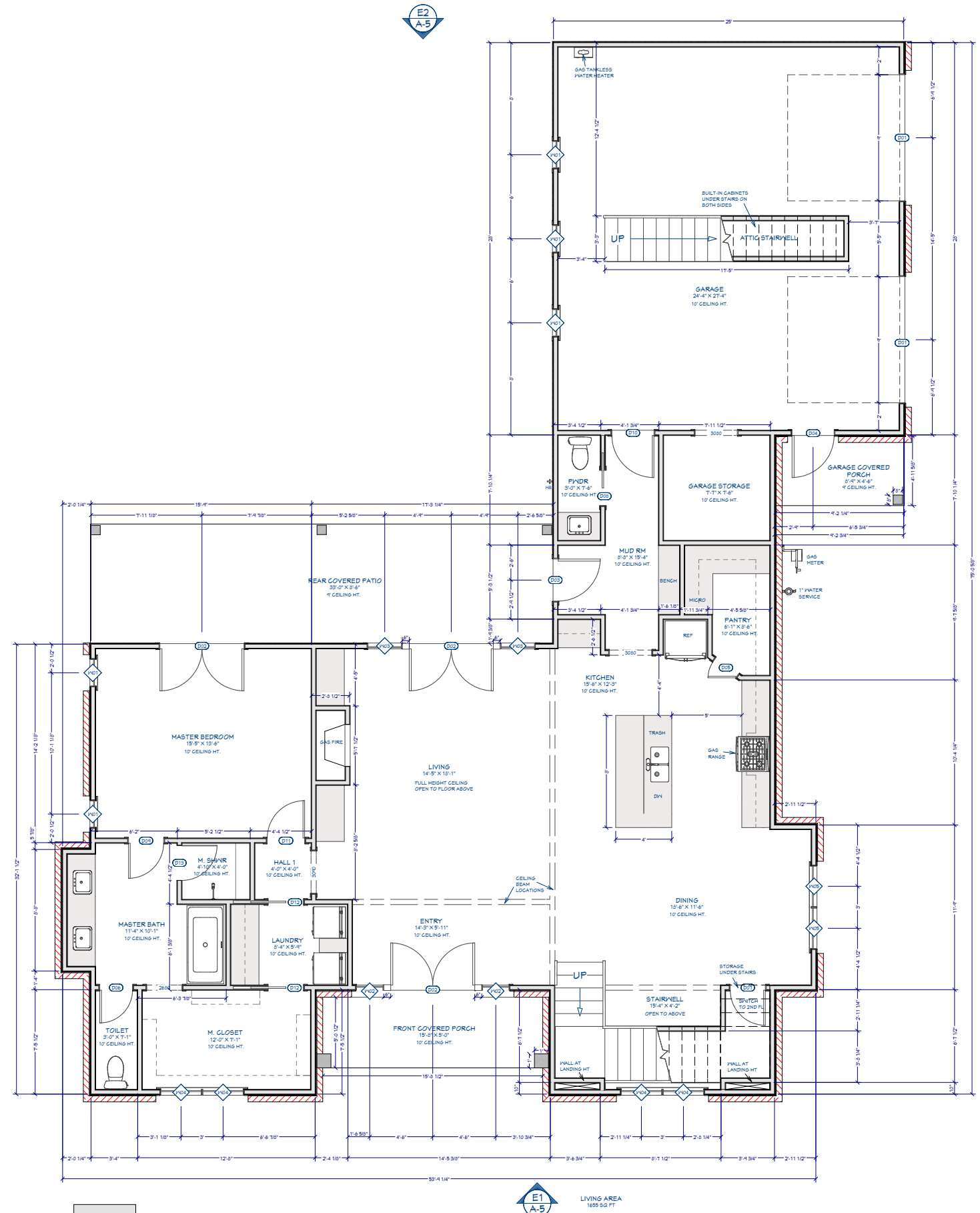
SHEET:  
**A-1**

3122 N. Hwy #1126  
Longview, TX 75605  
936.213.3545  
BremerieDesigns.com



DOOR SCHEDULE	DOOR SCHEDULE								
NO.	EXT. ELEVATION	NUMBER	TYPE	SIZE	NO.	EXT. ELEVATION	NUMBER	TYPE	SIZE
D01	1000	2	1	4000	1107X9FT	SARAGE-GARAGE DOOR (WOOD)	2X12X16' (2)		
D02	8000	3	1	8000 L/R EX	14'X9FT	EXT. DOUBLE HINGED-GLASS PANEL	2X10X11' (2)		
D03	3000	1	1	3000 L EX	30'X9FT	EXT. HINGED-DOOR E02	2X8X4' (2)		
D04	3000	1	1	3000 R EX	30'X9FT	EXT. HINGED-DOOR E02	2X8X4' (2)		
D05	2000	1	1	2000 L IN	25 13/16'X9 1/2'	HINGED DOOR P04	2X8X2 13/16' (2)		
D06	2400	1	1	2400 R IN	30'X9 1/2'	HINGED DOOR P04	2X8X3' (2)		
D07	2800	1	1	2800 L IN	32'X9 1/2'	HINGED DOOR P04	2X8X3' (2)		
D08	2800	1	1	2800 R	61 1/4'X9 1/2'	POCKET DOOR P04	2X8X64 1/4' (2)		
D09	2800	1	1	2800 R IN	32'X9 1/2'	HINGED DOOR P04	2X8X3' (2)		
D10	3000	1	1	3000 L IN	30'X9 1/2'	HINGED DOOR P04	2X8X4' (2)		
D11	2800	1	1	2800 R IN	34'X9 1/2'	HINGED DOOR P04	2X8X3' (2)		
D12	2800	2	1	2800 L	61 1/4'X9 1/2'	POCKET DOOR P04	2X8X64 1/4' (2)		
D13	2800	1	1	2800 L	30'X9FT	SHOWER-GLASS SLAB			
D14	2360	1	2	2360 R	55 3/8'X32 1/2'	POCKET DOOR P04	2X8X50 3/8' (2)		
D15	2860	2	2	2860 L IN	32'X32 1/2'	HINGED DOOR P04	2X8X3' (2)		
D16	2860	1	2	2860 R	61 1/4'X32 1/2'	POCKET DOOR P04	2X8X64 1/4' (2)		
D17	2860	6	2	2860 R IN	32'X32 1/2'	HINGED DOOR P04	2X8X3' (2)		
D18	4060	3	2	4060 L/R IN	30'X32 1/2'	DOUBLE HINGED DOOR P04	2X8X3' (2)		

WINDOW SCHEDULE									
NO.	EXT. ELEVATION	NUMBER	TYPE	SIZE	NO.	EXT. ELEVATION	NUMBER	TYPE	SIZE
W01	2040FX	3	1	2040FX	29'X44'	FIXED GLASS	2X8X21' (2)		
W02	2030FX	2	1	2030FX	29'X44'	FIXED GLASS	2X8X21' (2)		
W03	2630FX	2	1	2630FX	31'X44'	FIXED GLASS	2X8X34' (2)		
W04	3030FX	4	1	3030FX	37'X41'	FIXED GLASS	2X8X47' (2)		
W05	3030FX	2	1	3030FX	37'X39'	FIXED GLASS	2X8X47' (2)		
W06	3030DH	6	2	3030DH	37'X41'	DOUBLE HUNG	2X8X47' (2)		
W07	3030FX	3	2	3030FX	37'X41'	FIXED GLASS	2X8X47' (2)		



**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**BREMARIE DESIGNS LLC**  
DRAFTING • 3D RENDERING • INTERIOR DESIGN

3122 N. Hwy 8105  
Longview, TX 75605  
932.213.3545  
BreMarieDesigns.com

NO. DATE DESCRIPTION

**SHEET TITLE:**  
FIRST FLOOR PLAN

**PROJECT DESCRIPTION:**  
BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON

DATE:  
9/5/2023

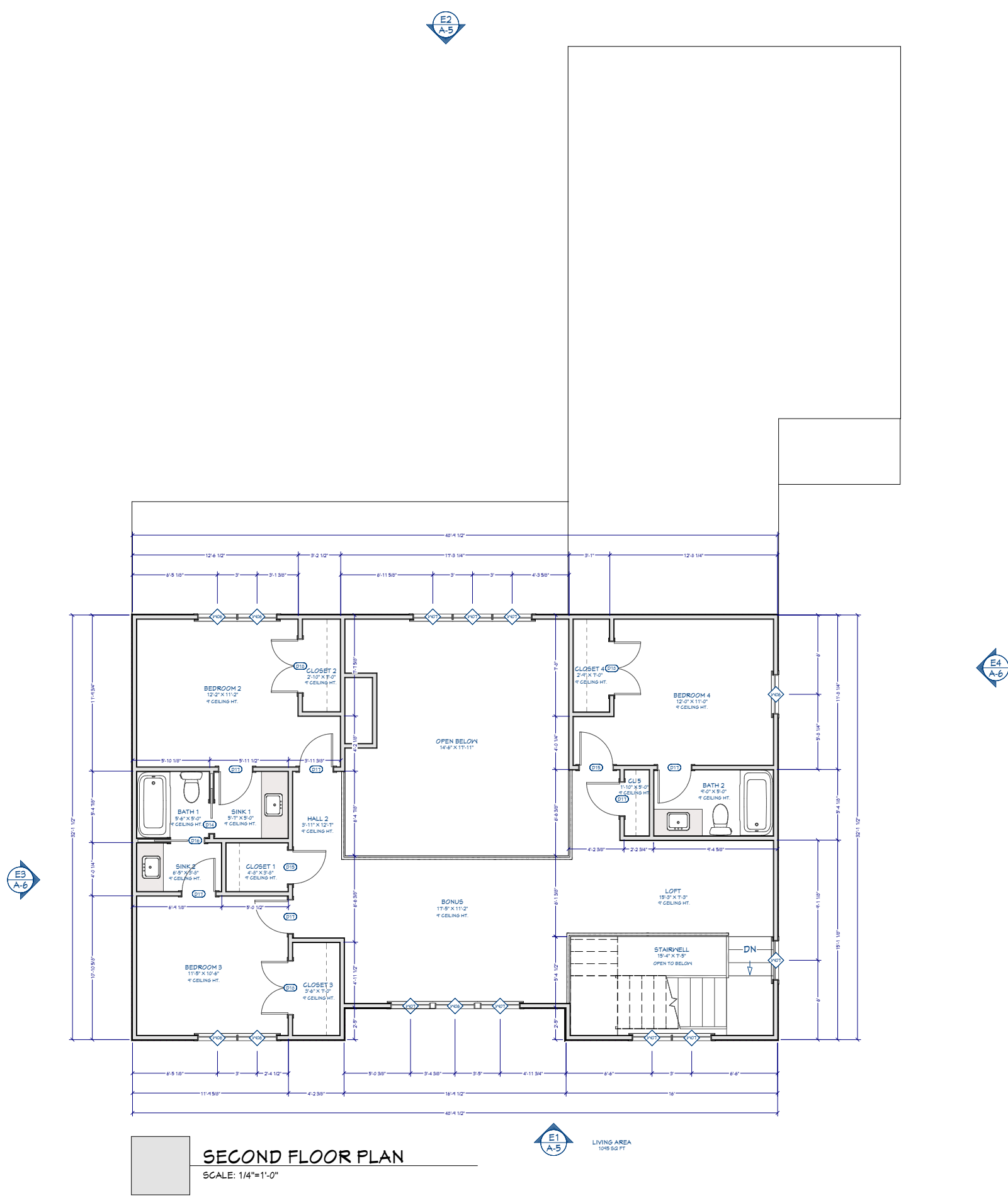
SCALE:  
1/4"=1'-0"

SHEET:  
**A-3**



DOOR SCHEDULE						
DOOR ELEVATION	NUMBER	TYPE	SIZE	DESCRIPTION	QUANTITY	REMARKS
D01	4000	2	1	107X94"	1	GARAGE-GARAGE DOOR (WOOD)
D02	8000	3	1	8000 L/R EX	1	EXT. DOUBLE HINGED-GLASS PANEL
D03	3000	1	1	3000 L EX	1	EXT. HINGED-DOOR E02
D04	3000	1	1	3000 R EX	1	EXT. HINGED-DOOR E02
D05	2000	1	1	2000 L IN	1	HINGED DOOR P04
D06	2400	1	1	2400 R IN	1	HINGED DOOR P04
D07	2800	1	1	2800 L IN	1	HINGED DOOR P04
D08	2800	1	1	2800 R IN	1	HINGED DOOR P04
D09	2800	1	1	2800 R	1	POCKET DOOR P04
D10	2800	1	1	2800 R IN	1	HINGED DOOR P04
D11	2800	1	1	2800 R IN	1	HINGED DOOR P04
D12	2800	2	1	2800 L	1	POCKET DOOR P04
D13	2800	1	1	2800 L	1	SHOWER-GLASS SLAB
D14	2860	1	2	2860 R	1	POCKET DOOR P04
D15	2860	2	2	2860 L IN	1	HINGED DOOR P04
D16	2860	1	2	2860 R	1	POCKET DOOR P04
D17	2860	8	2	2860 R IN	1	HINGED DOOR P04
D18	4000	3	2	4000 L/R IN	1	DOUBLE HINGED DOOR P04

WINDOW SCHEDULE						
WINDOW ELEVATION	NUMBER	TYPE	SIZE	DESCRIPTION	QUANTITY	REMARKS
W01	2040FX	3	1	2040FX 29'X44"	1	FIXED GLASS
W02	2030FX	2	1	2030FX 29'X44"	1	FIXED GLASS
W03	2630FX	2	1	2630FX 37'X44"	1	FIXED GLASS
W04	3050FX	4	1	3050FX 37'X41"	1	FIXED GLASS
W05	3060FX	2	1	3060FX 37'X39"	1	FIXED GLASS
W06	3050DH	6	2	3050DH 37'X41"	1	DOUBLE HUNG
W07	3050FX	3	2	3050FX 37'X41"	1	FIXED GLASS



**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**E1-A-5**  
LIVING AREA  
1095 SQ. FT.

**BREMARIE DESIGNS LLC**  
DRAFTING - 3D MODELING - INTERIOR DESIGN  
903.213.3545  
BreMarieDesigns.com

3122 N. Hwy. 8105  
Longview, TX 75605

REGISTERED INTERIOR DESIGNER  
STATE OF TEXAS  
12714  
BreMarie M. Taylor  
Issued: September 8, 2023

NO. DATE DESCRIPTION

**SHEET TITLE:**  
**SECOND FLOOR PLAN**

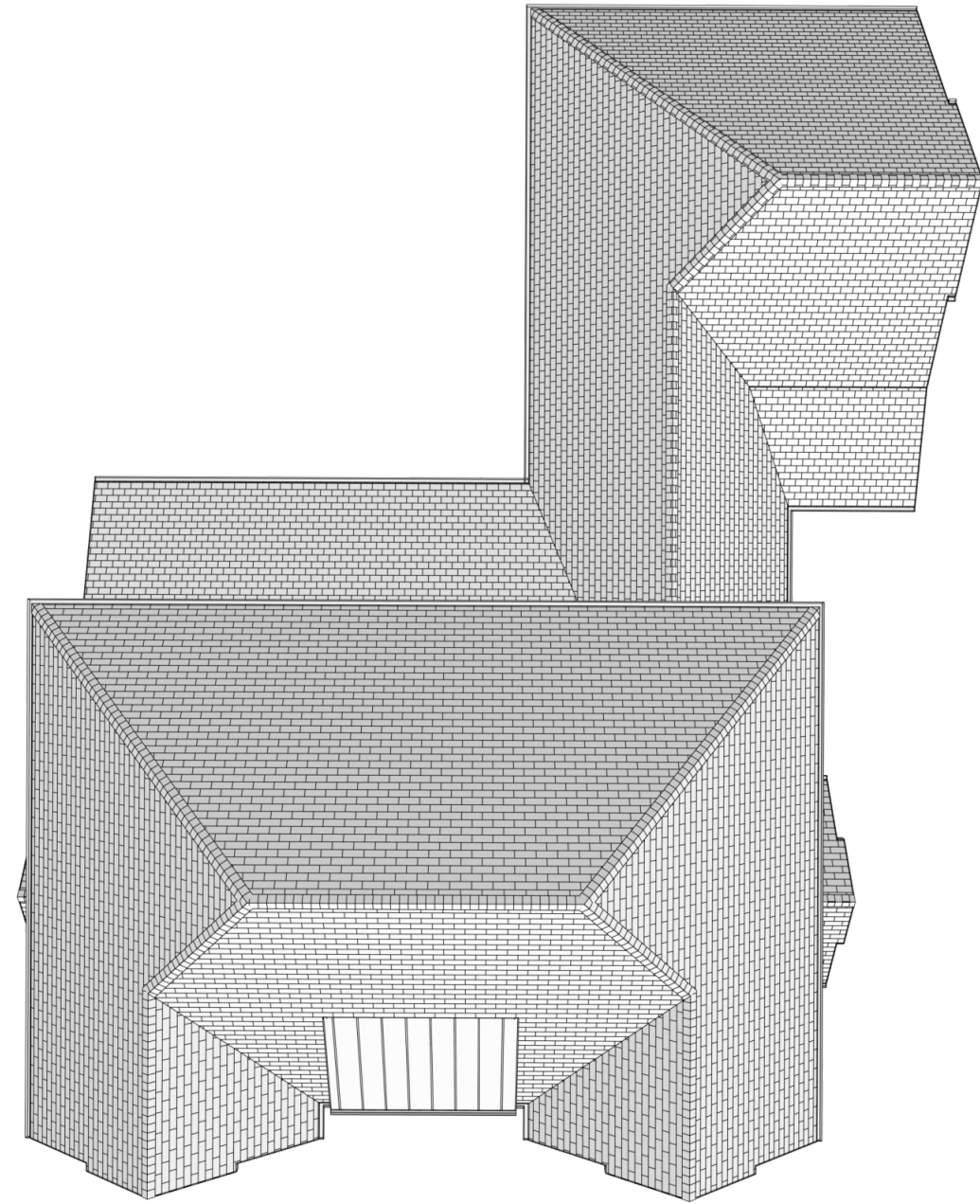
**PROJECT DESCRIPTION:**  
**BREEZY HILL LANE ADDITION**  
**ROCKWALL, TEXAS**  
**TAYLOR HENSON**

DATE:  
9/5/2023

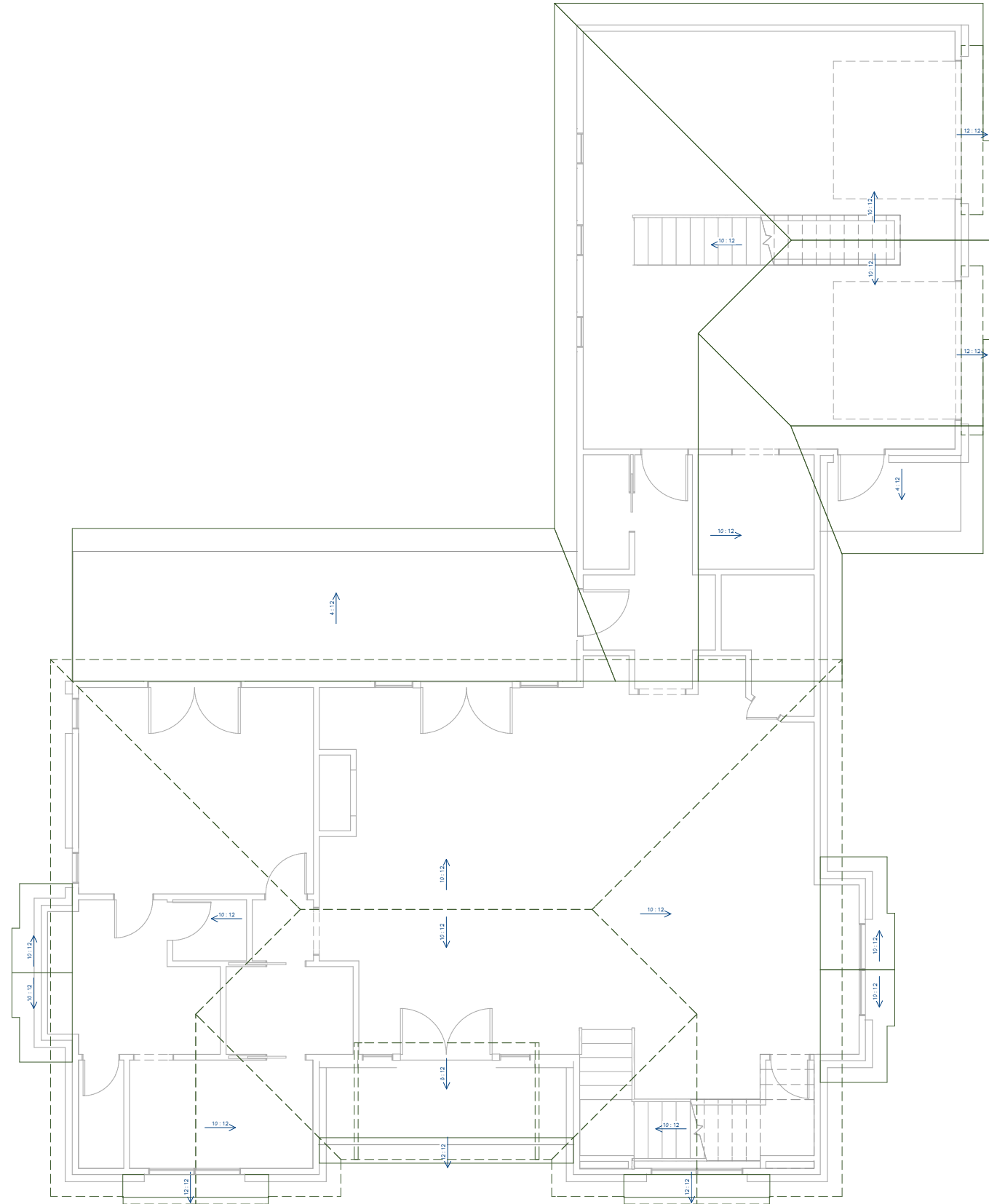
SCALE:  
1/4"=1'-0"

SHEET:  
**A-4**





ROOF OVERVIEW PERSPECTIVE



ROOF PLAN  
SCALE: 1/4"=1'-0"



NO.	DATE	DESCRIPTION
-----	------	-------------

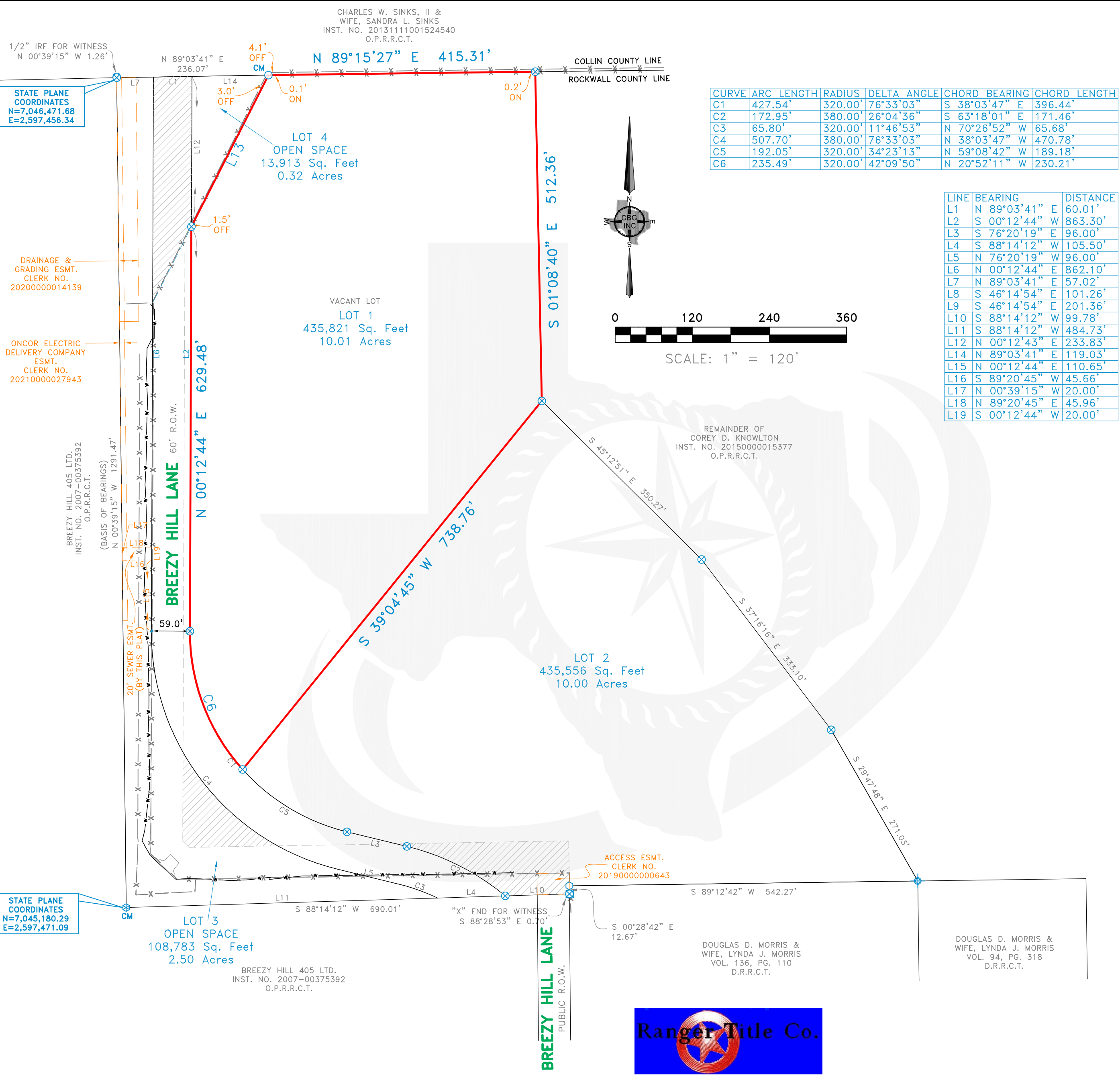
SHEET TITLE:  
**ROOF PLAN**

PROJECT DESCRIPTION:  
**BREEZY HILL LANE ADDITION  
ROCKWALL, TEXAS  
TAYLOR HENSON**

DATE:  
9/5/2023

SCALE:  
1/4"=1'-0"

SHEET:  
**A-8**



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	427.54'	320.00'	76°33'03"	S 38°03'47" E	396.44'
C2	172.95'	380.00'	26°04'36"	S 63°18'01" E	171.46'
C3	65.80'	320.00'	11°46'53"	N 70°26'52" W	65.68'
C4	507.70'	380.00'	76°33'03"	N 38°03'47" W	470.78'
C5	192.05'	320.00'	34°23'13"	N 59°08'42" W	189.18'
C6	235.49'	320.00'	42°09'50"	N 20°52'11" W	230.21'

LINE	BEARING	DISTANCE
L1	N 89°03'41" E	60.01'
L2	S 00°12'44" W	863.30'
L3	S 76°20'19" E	96.00'
L4	S 88°14'12" W	105.50'
L5	N 76°20'19" W	96.00'
L6	N 00°12'44" E	862.10'
L7	N 89°03'41" E	57.02'
L8	S 46°14'54" E	101.26'
L9	S 46°14'54" E	201.36'
L10	S 88°14'12" W	99.78'
L11	S 88°14'12" W	484.73'
L12	N 00°12'43" E	233.83'
L14	N 89°03'41" E	119.03'
L15	N 00°12'44" E	110.65'
L16	S 89°20'45" W	45.66'
L17	N 00°39'15" W	20.00'
L18	N 89°20'45" E	45.96'
L19	S 00°12'44" W	20.00'

**Breezy Hill Lane (Lot 1)**

Lot 1, Breezy Hill Lane Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Clerk# 2020000009078, Plat Records, Rockwall County, Texas.

**SURVEYOR'S CERTIFICATE**

The undersigned Registered Professional Land Surveyor hereby certifies to Taylor Henson, Kaylee Henson, WFG National Title Insurance Company, and Ranger Title Company, in connection with the transaction described in G.F. No. R220291R that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the encroachments or protrusions on the ground.

Executed this 21st day of February, 2022

*Michael Churchwell*  
 Registered Professional Land Surveyor



NOTE: According to the F.I.R.M. in Map No. 48397C0030L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

ACCEPTED BY: \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

NOTES:  
 BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.  
 2) PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN: VOLUME 1452, PAGE 222, CLERK#S: 2020000009078, 2020000004363  
 3) EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY: VOLUME 46, PAGE 512

REVISIONS		
DATE	BY	NOTES

LEGEND	
○	CONTROLLING MONUMENT
⊗	1/2" IRON ROD FOUND
⊙	1/2" IRON ROD SET
⊚	1" IRON PIPE FOUND
⊠	FENCE POST CORNER
⊞	"X" FOUND / SET
⊟	5/8" ROD FOUND
⊡	UNDERGROUND ELECTRIC
⊢	OVERHEAD ELECTRIC
⊣	POWER POLE
⊤	POINT FOR CORNER
⊥	GRAVEL/ROCK ROAD OR DRIVE
■	POOL EQUIPMENT
■	COLUMN
⊠	AIR CONDITIONING
⊞	FIRE HYDRANT
⊟	COVERED PORCH, DECK OR CARPORT
⊡	OVERHEAD ELECTRIC SERVICE
⊢	OVERHEAD POWER LINE
⊣	CONCRETE PAVING
⊤	DOUBLE SIDED WOOD FENCE
⊥	ASPHALT PAVING
⊠	CHAIN LINK FENCE
⊞	WOOD FENCE
⊟	0.5" WIDE TYPICAL BARBED WIRE
⊡	IRON FENCE
⊢	PIPE FENCE

**CBG SURVEYING TEXAS LLC**  
 1413 E. IH-30, Ste. 7  
 Garland, TX 75043  
 P 214.349.9485  
 F 214.349.2216  
 Firm No. 10168800  
 www.cbgtxl.com

SCALE	DATE	JOB NO.	G.F. NO.	DRAWN
1" = 120'	02/21/2022	1513780-13	SEE CERT.	MARIA

**FINAL SURVEY**

LOT 1, BLOCK A, BREEZY HILL LANE ADDITION  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 BREEZY HILL LANE (LOT 1)





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
1325 Breezy Hill Lane	Vacant	N/A	N/A	N/A	N/A
1460 Anna Cade Road	Single-Family Home	2017	13,158	N/A	Stone and Siding
0000 Breezy Hill Lane	Vacant	N/A	N/A	N/A	N/A
4618 Sky Harbor Drive	Single-Family Home	2021	5,886	N/A	Brick and Stone
4614 Sky Harbor Drive	Single-Family Home	2021	5,726	N/A	Brick and Stone
4610 Sky Harbor Drive	Single-Family Home	2021	5,487	N/A	Brick and Stone
4606 Sky Harbor Drive	Single-Family Home	2021	5,550	N/A	Brick and Stone
4602 Sky Harbor Drive	Single-Family Home	2021	4,830	N/A	Brick and Stone
4550 Sky Harbor Drive	Single-Family Home	2021	5,036	N/A	Brick
4546 Sky Harbor Drive	Single-Family Home	2021	5,242	N/A	Brick
4538 Sky Harbor Drive	Single-Family Home	2021	4,822	N/A	Brick and Siding
AVERAGES:		2021	6,193	#DIV/0!	



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



1325 Breezy Hill Lane



1460 Anna Cade





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



0000 Breezy Hill Lane



4618 Sky Harbor Drive



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



4614 Sky Harbor Drive



4610 Sky Harbor Drive





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



4606 Sky Harbor Drive



4602 Sky Harbor Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



4550 Sky Harbor Drive



4546 Sky Harbor Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



4538 Sky Harbor Drive

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 10.00-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, BREEZY HILL LANE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kaylee and Taylor Henson for the approval of a *Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision* on a 10.00-acre tract of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 02.01, *Agricultural (AG) District*, of Article 05, *District Development Standards*, of the Unified Development Code



(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>nd</sup> DAY OF OCTOBER, 2023.**

\_\_\_\_\_  
Trace Johannesen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: September 18, 2023

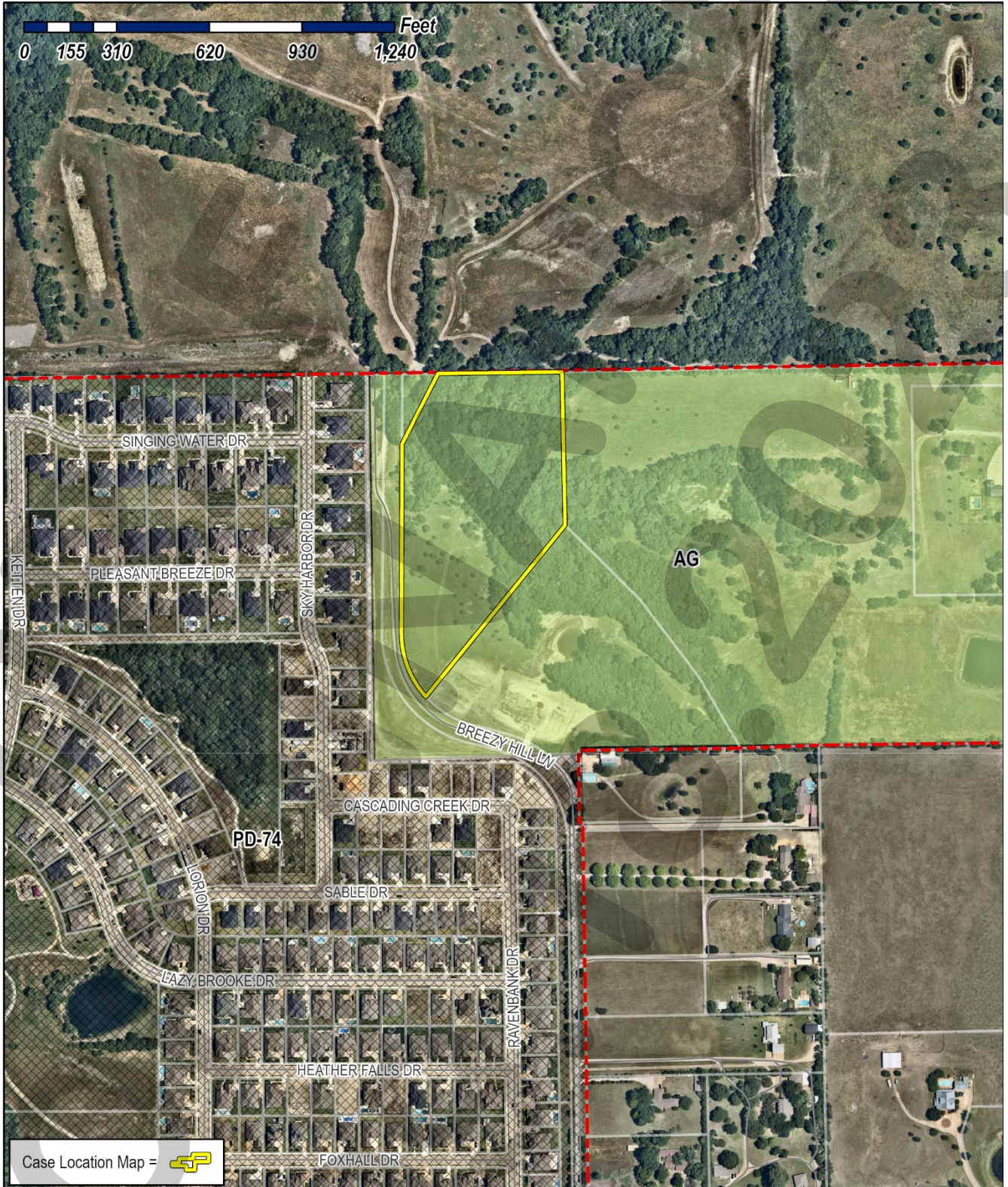
2<sup>nd</sup> Reading: October 2, 2023



**Exhibit 'A':**  
*Location Map*

Address: 1325 Breezy Hill Lane

Legal Description: Lot 1, Block A, Breezy Hill Lane Addition





**Exhibit 'B':  
Residential Plot Plan**

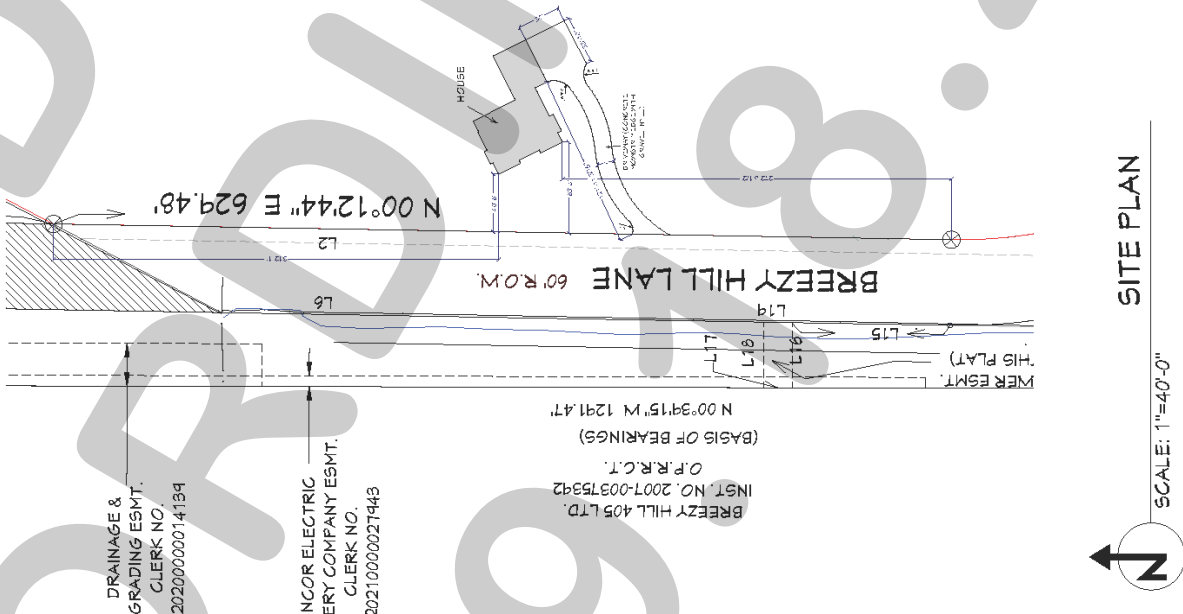
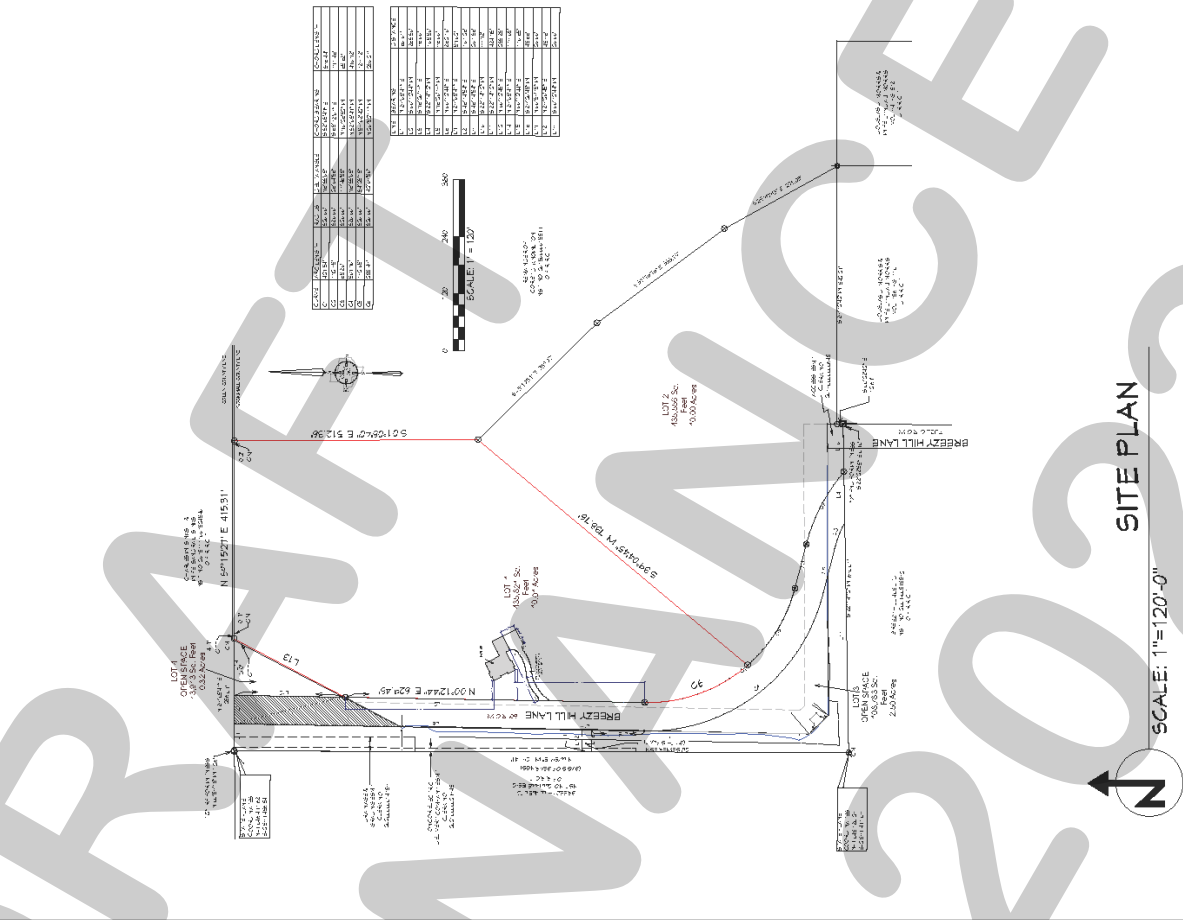
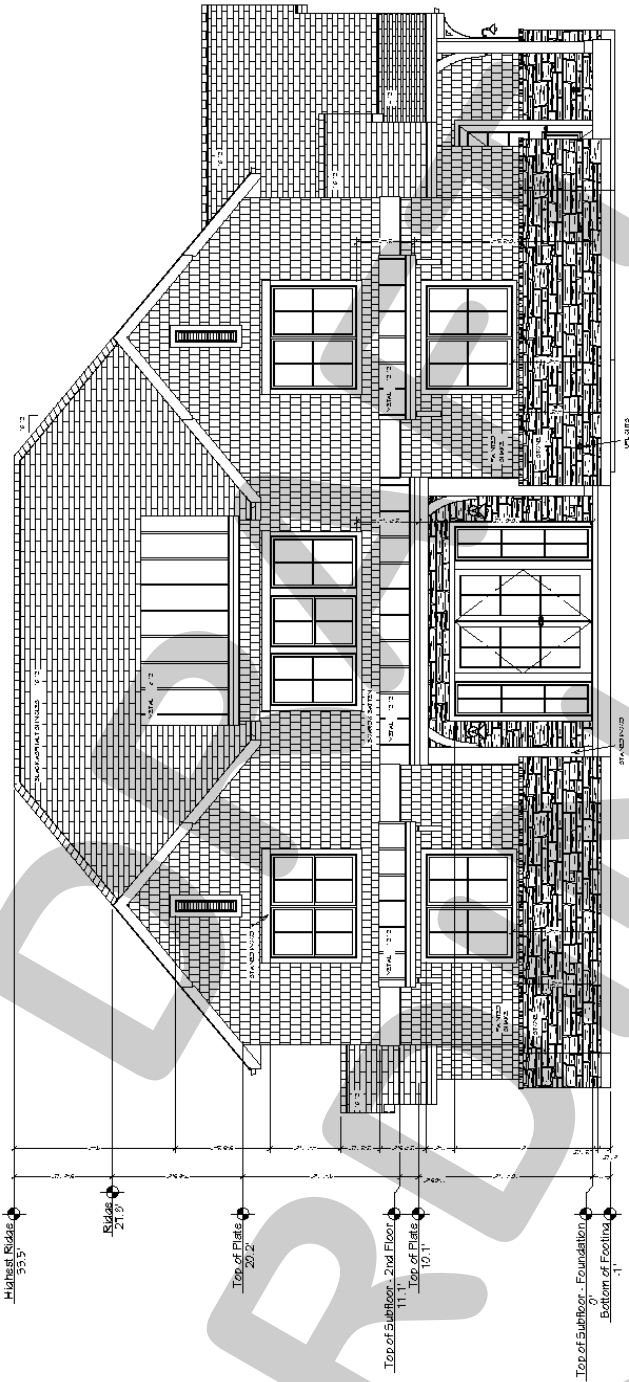


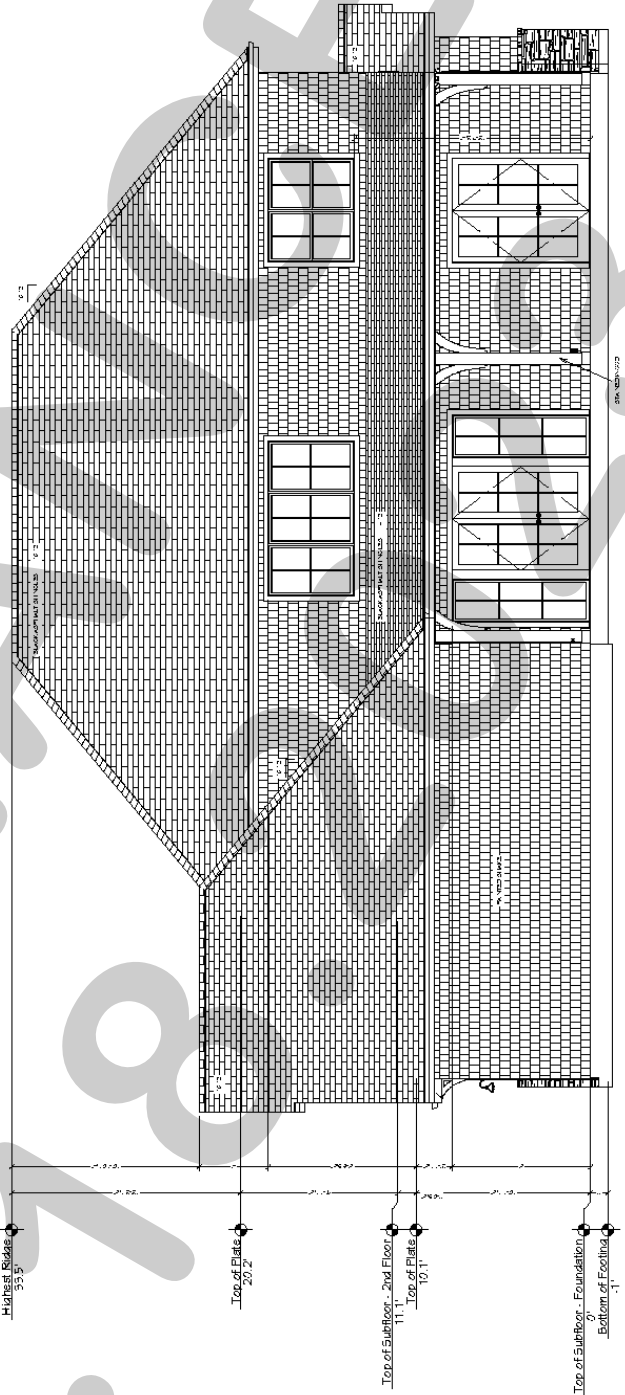


Exhibit 'C':  
Building Elevations



FRONT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

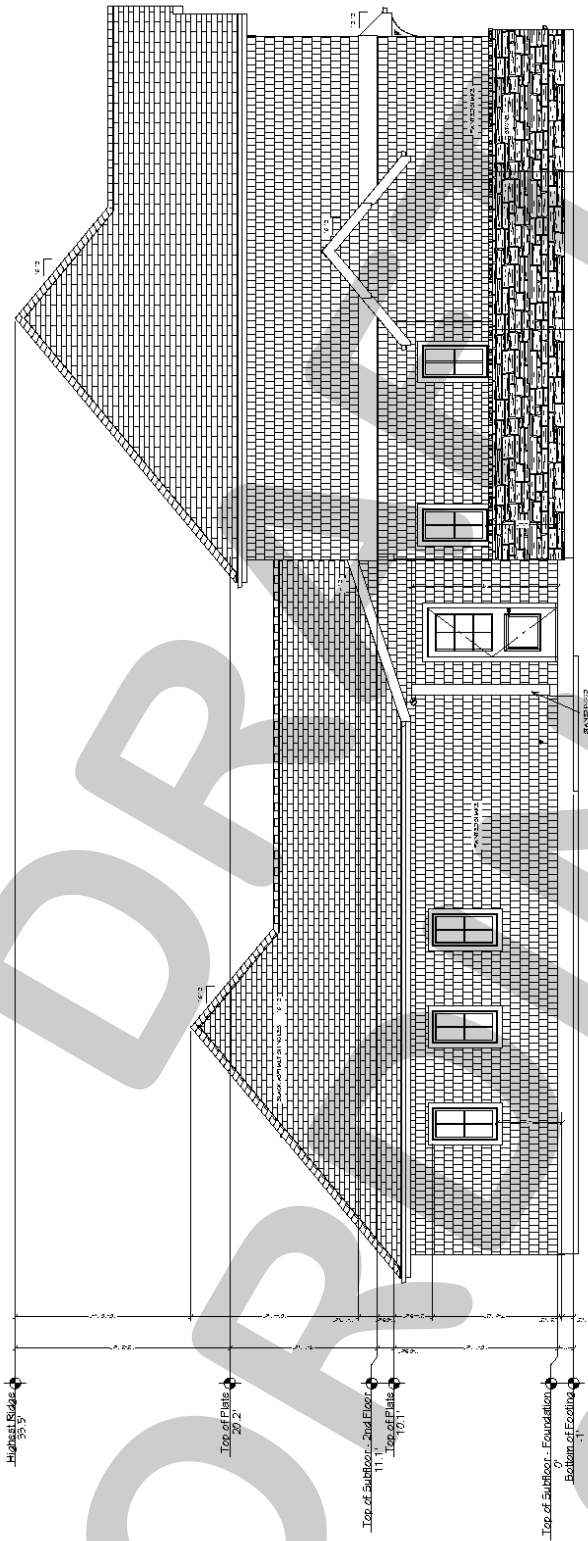
E1



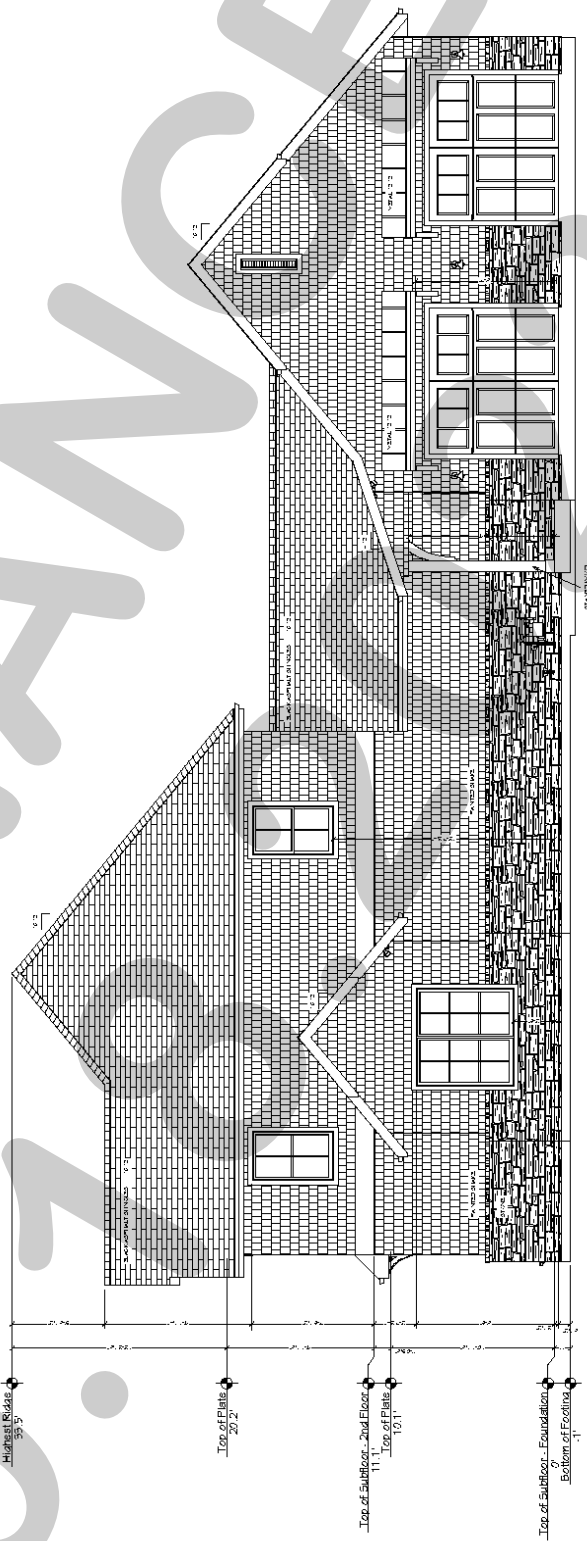
REAR EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

E2

**Exhibit 'C':**  
*Building Elevations*



**E3** LEFT EXTERIOR ELEVATION  
 SCALE: 1/4"=1'-0"



**E4** RIGHT EXTERIOR ELEVATION  
 SCALE: 1/4"=1'-0"



**Exhibit 'C':**  
*Building Elevations*





October 18, 2023

TO: Kaylee and Taylor Henson  
2710 Morning Mist Lane  
Nevada, TX 75173

FROM: Angelica Guevara  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2023-040; *Specific Use Permit (SUP) For Residential Infill in an Established Subdivision*

Mr. and Mrs. Henson:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on October 2, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On September 12, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0, with Vice-Chairman Womble absent.

City Council

On September 18, 2023, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

On October 2, 2023, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 23-55, S-315*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6438.

Sincerely,

Angelica Guevara, *Planning Technician*  
City of Rockwall Planning and Zoning Department



CITY OF ROCKWALL

ORDINANCE NO. 23-55

SPECIFIC USE PERMIT NO. S-315

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 10.00-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, BREEZY HILL LANE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kaylee and Taylor Henson for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 10.00-acre tract of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 02.01, *Agricultural (AG) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

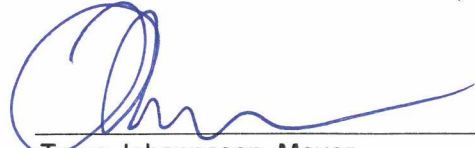
**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.



PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>nd</sup> DAY OF OCTOBER, 2023.

  
\_\_\_\_\_  
Trace Johannesen, Mayor

ATTEST:

  
\_\_\_\_\_  
Kristy Teague, City Secretary



APPROVED AS TO FORM:

  
\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: September 18, 2023

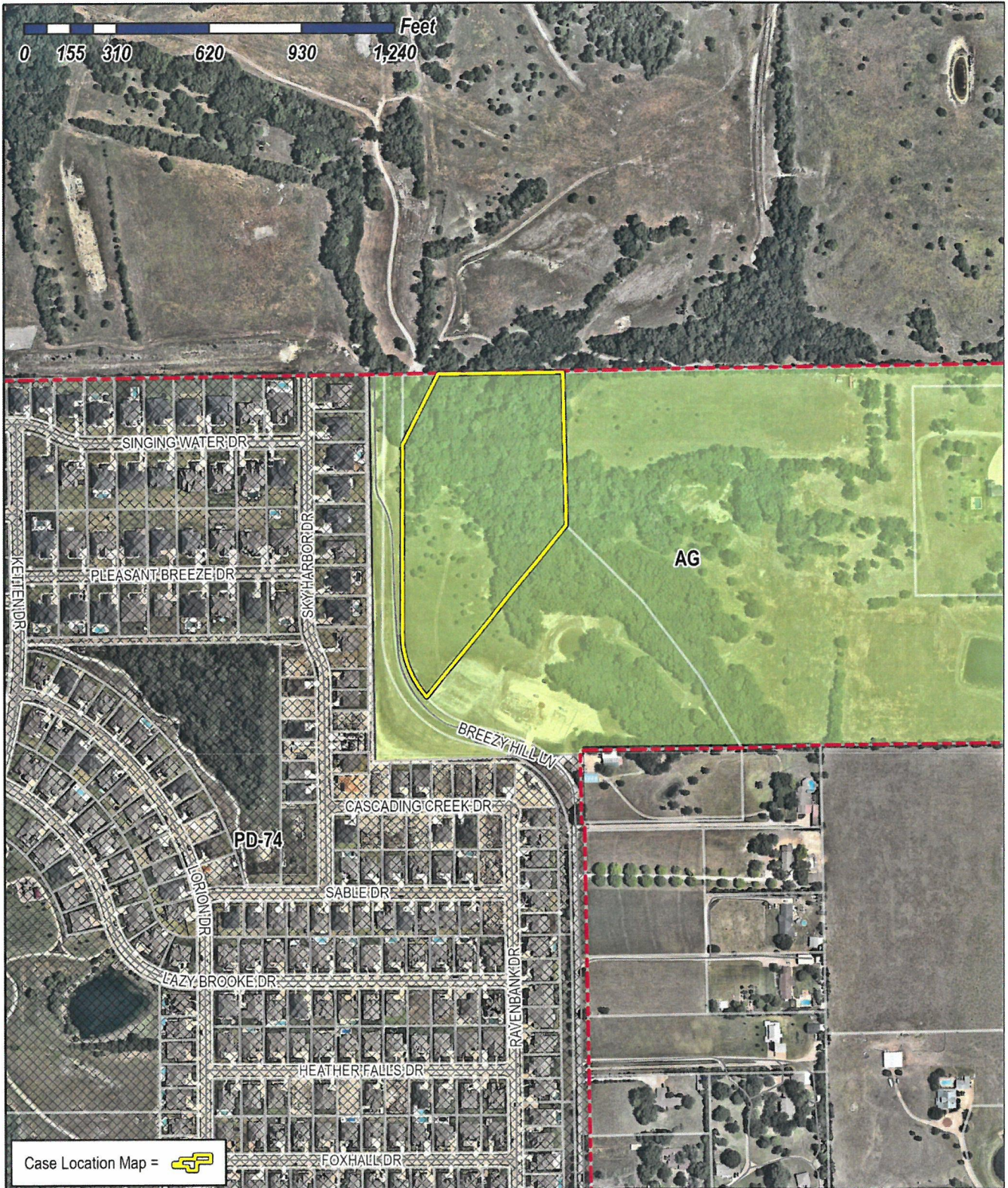
2<sup>nd</sup> Reading: October 2, 2023



**Exhibit 'A':  
Location Map**

Address: 1325 Breezy Hill Lane

Legal Description: Lot 1, Block A, Breezy Hill Lane Addition





**Exhibit 'B':  
Residential Plot Plan**

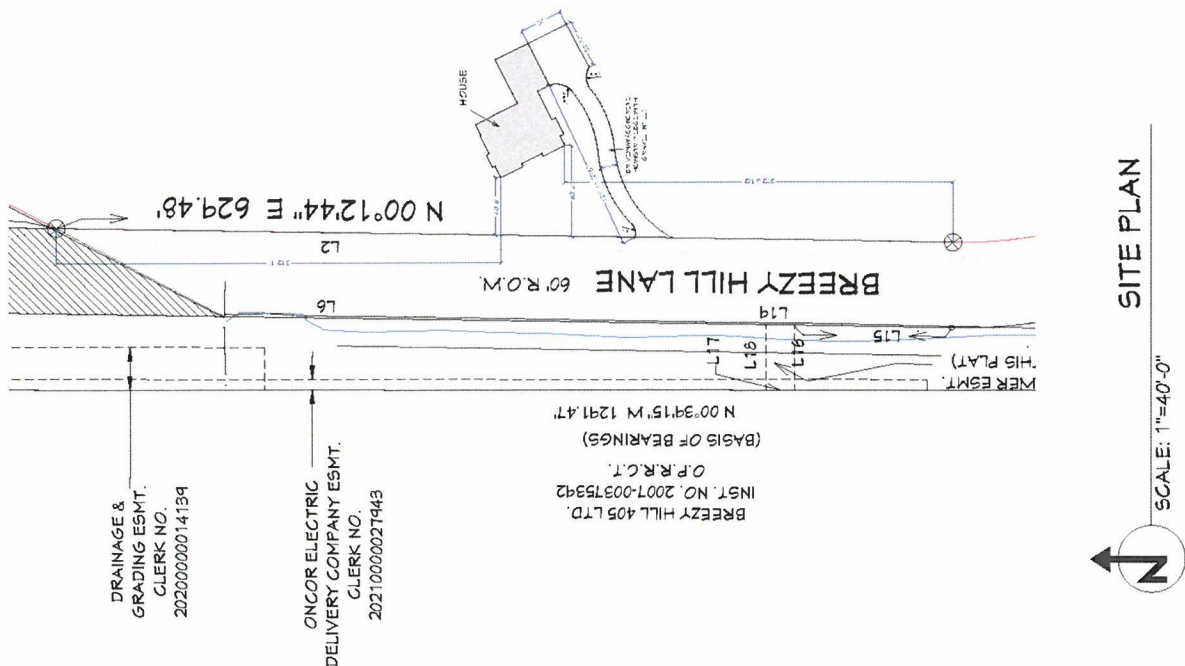
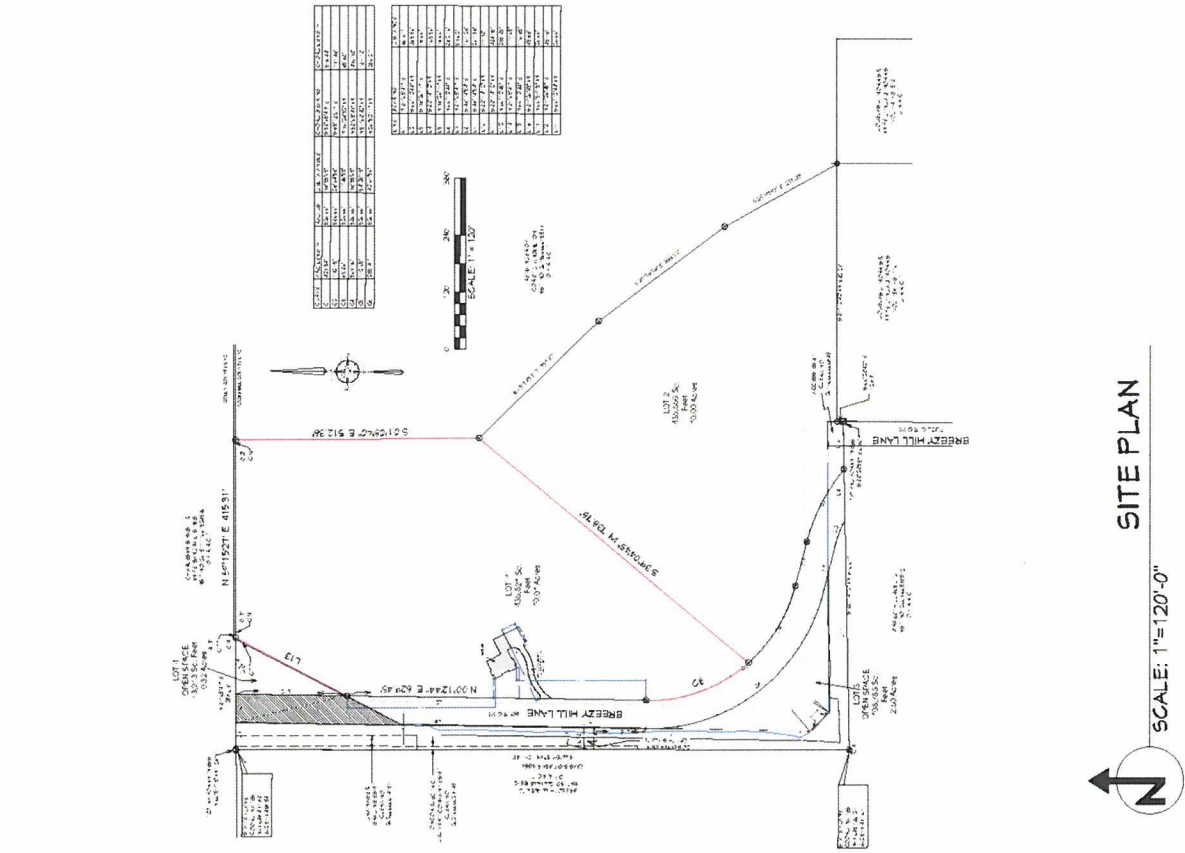
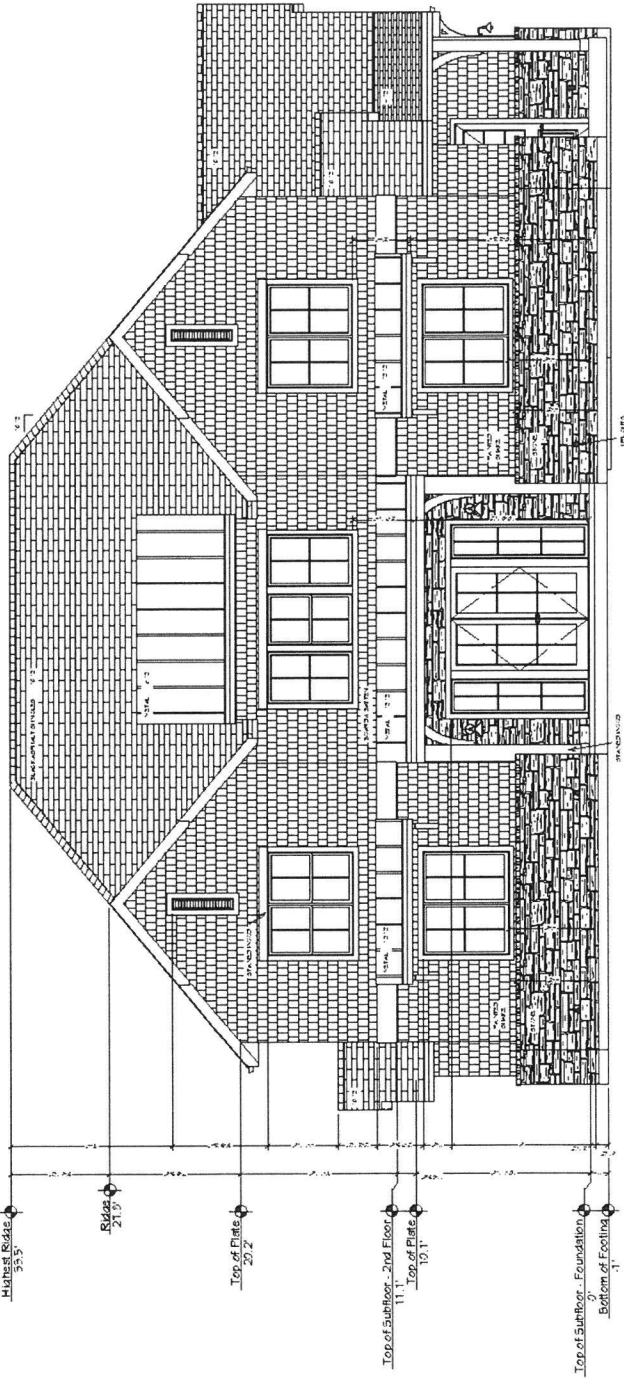
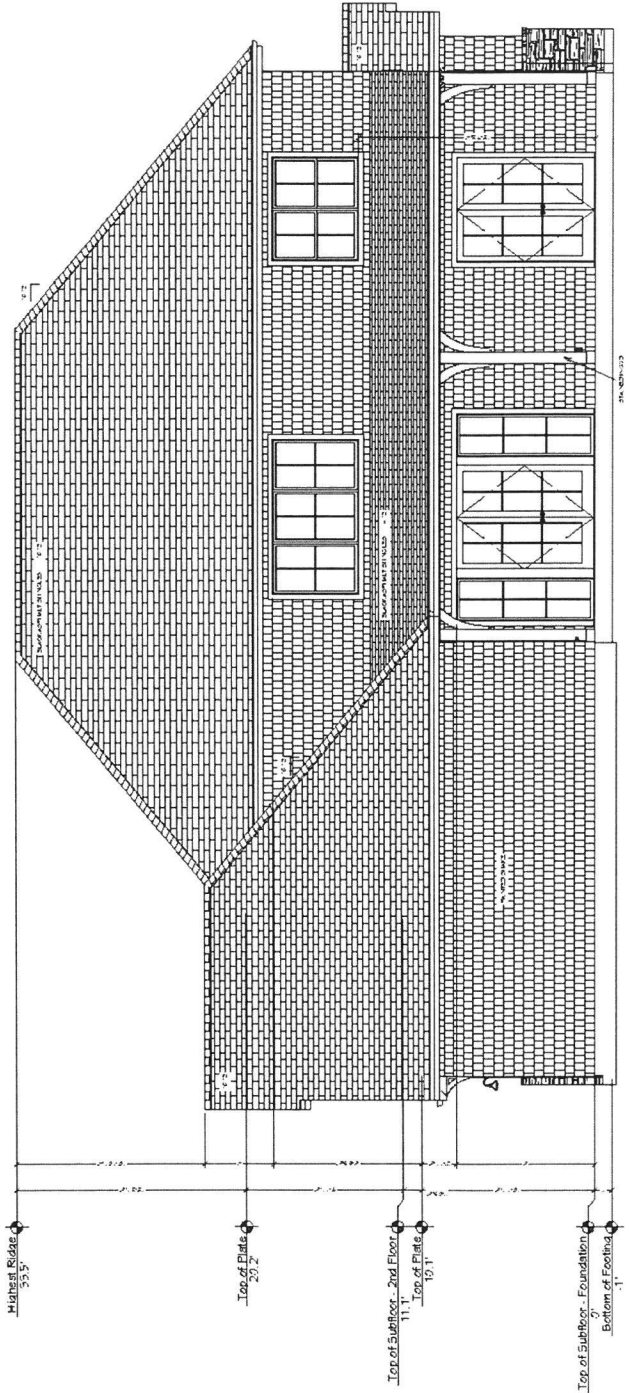


Exhibit 'C':  
Building Elevations



**E1**  
FRONT EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



**E2**  
REAR EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"