



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

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- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Mims Rd, TX**

SUBDIVISION **A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50**

LOT

BLOCK

GENERAL LOCATION **Southeast of Intersection Mims Road & National Dr**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Agricultural**

CURRENT USE **Agricultural**

PROPOSED ZONING **Planned Development District**

PROPOSED USE **Single Family**

ACREAGE **140.5 Acres**

LOTS [CURRENT] **2**

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Vicmar I Ltd & (76195)**

APPLICANT **Michael Joyce Properties**

CONTACT PERSON

CONTACT PERSON **Meredith Joyce**

ADDRESS **105 Kaufman St**

ADDRESS **767 Justin Road**

CITY, STATE & ZIP **Rockwall, Tx 75087**

CITY, STATE & ZIP **Rockwall, Tx 75087**

PHONE

PHONE **512-694-6394**

E-MAIL

E-MAIL **meredith@michaeljoyceproperties.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Virginia W. Petersen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2,307.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF January, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF January, 2023

OWNER'S SIGNATURE

Virginia W. Petersen

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary K. Tobin

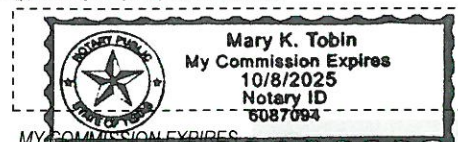


Exhibit 'D':
Density and Development Standards

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, the following uses are permitted on the *Subject Property*:
- (a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permit *by-right* or by Specific Use Permit (SUP) for the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

- (2) Residential Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	11%
B	72' x 120'	8,400 SF	98	34%
C	62' x 120'	7,200 SF	105	36%
D	52' x 120'	6,000 SF	57	19%
<i>Maximum Permitted Units:</i>			292	100.00%

- (3) Variation in Residential Lot Composition. The allocation of single-family residential lot types may deviate from that in Subsection (2), *Residential Lot Composition and Layout*, provided that the maximum allowed total dwelling units does not exceed 292 units
- (4) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:
- (a) Residential. Except as modified by this Planned Development District ordinance, residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 2.266 dwelling units per gross acre of land; however, in no case should the proposed development exceed 292 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see <i>Concept Plan</i>) ►	A	B	C	D
Minimum Lot Width ⁽¹⁾	82'	72'	62'	52'
Minimum Lot Depth	120'	120'	120'	120'
Minimum Lot Area (SF)	9,000	8,400	7,200	6,000

**Exhibit 'D':
Density and Development Standards**

<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	15'	15'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500	2,200	2,000	1,700
<i>Maximum Lot Coverage</i>	65%	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: *J-Swing or Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

(5) *Building Standards for Residential.* All residential development shall adhere to the following building standards:

- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 80% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitious fiberboard in excess of 80% of the masonry requirement on a case-by-case basis.

Examples of Cementitious Fiberboard



Exhibit 'D':
Density and Development Standards

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. A total of 19.59% or 57 of 292 of all garages may be oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining 80.31% or 235 of all garages shall be oriented in a *J-Swing (or Traditional Swing)* configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (*i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent*), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 1*.

... Continued on Next Page

Figure 1. Examples of Enhanced Wood Garage Door

Exhibit 'D':
Density and Development Standards



- (6) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see *Figures 3 & 4* below).

Table 3: Anti-Monotony Matrix

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	82' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	62' x 120'	(1), (2), (3), (4)
D	52' x 120'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-549 or Wylie Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.

Exhibit 'D':
Density and Development Standards

- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



- (7) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
 - (c) Wrought Iron/Tubular Steel. Lot lines located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wood fence shall be installed on these lots where there is a shared property line with another lot and along the front returns of these lots

Exhibit 'D':
Density and Development Standards

where there is a shared property line with another lot. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
 - (f) Fence in Easements. No fencing shall be constructed in or across City of Rockwall's easements.
- (8) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (Eastern). A minimum of a 50-foot landscape buffer shall be provided along existing commercial property along the Eastern property line. and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 50-foot landscape buffer.
 - (2) Landscape Buffer and Sidewalks (Southern Boundary). A minimum of a 50-foot landscape buffer shall be provided along the southern boundary for the residential property and shall remain native. The native tree line shall remain undisturbed and serve as the vegetation screening along this boundary.
 - (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees

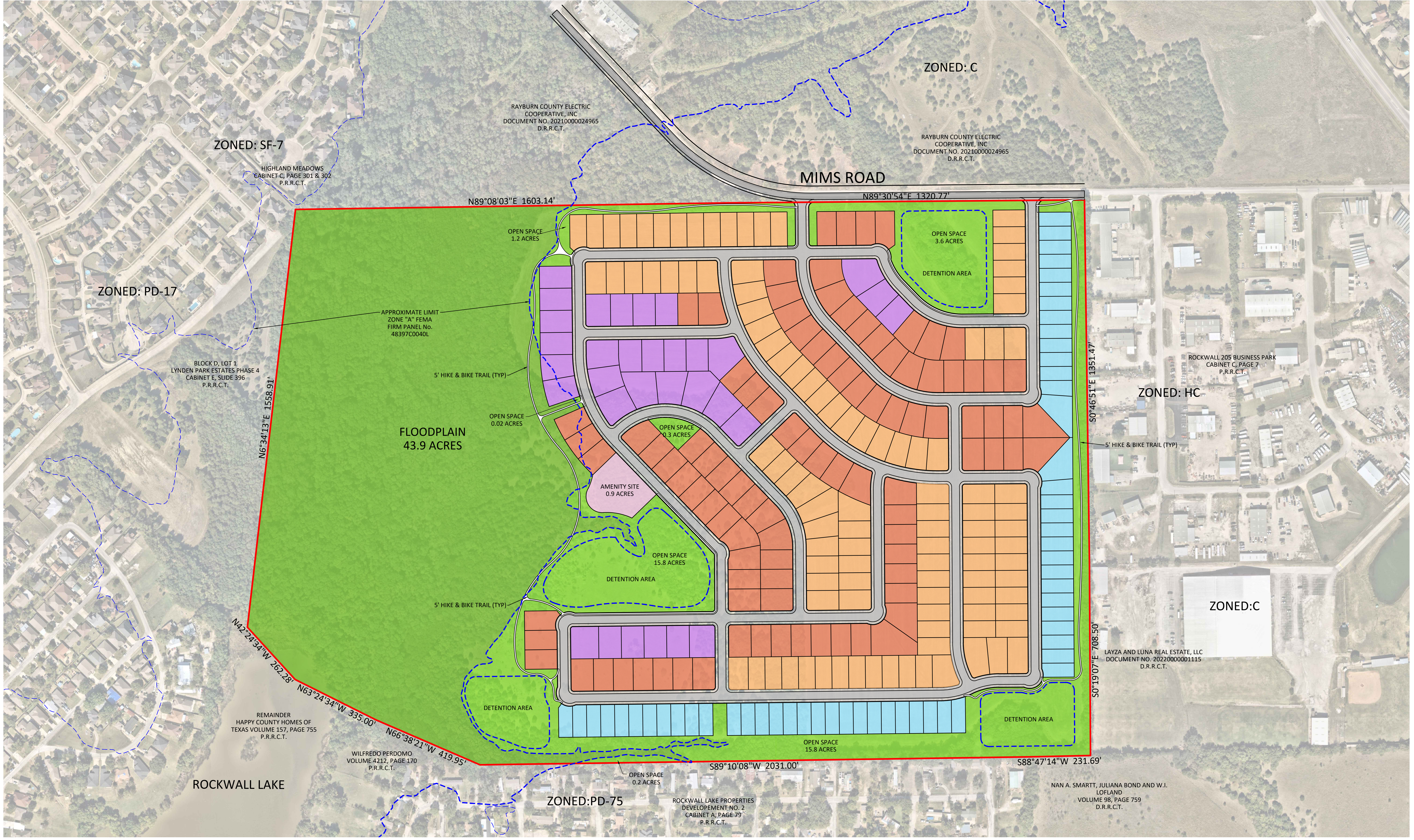
Exhibit 'D':
Density and Development Standards

shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

- (d) *Residential Lot Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (9) *Street*. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (10) *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (11) *Sidewalks*. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (12) *Buried Utilities*. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (13) *Open Space/Public Park*. The development shall consist of a minimum of 20% open space (*or a minimum of 28.1-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (14) *Trails*. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance, and shall provide connectivity throughout the development .

Exhibit 'D':
Density and Development Standards

- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



ALL LOTS LESS THAN 12,000 SF ARE LOCATED WITHIN 800 FT OF A PUBLIC OR PRIVATE OPEN SPACE.



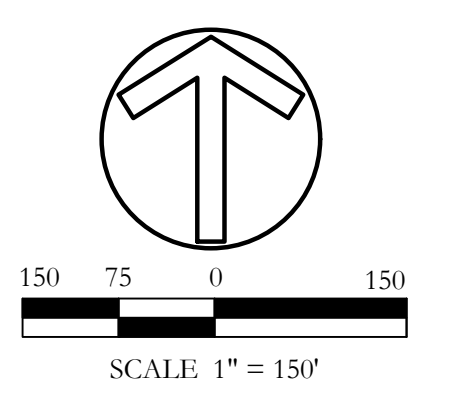
LOT NAME	A	B	C	D
LOT COUNT	32	98	105	57
MINIMUM LOT AREA (SF)	9,840	8,640	7,440	6,240
MINIMUM LOT WIDTH (FT)	82	72	62	52
MINIMUM LOT DEPTH (FT)	120	120	120	120
FRONT BUILDING SETBACK (FT)	20	20	20	20
REAR BUILDING SETBACK (FT)	20	20	20	20
SIDE BUILDING SETBACK INTERIOR (FT)	6	6	6	6
SIDE BUILDING SETBACK CORNER (FT)	15	15	15	15
MAXIMUM BUILDING HEIGHT	35 FEET/ 2.5 STORIES			
MAXIMUM LOT COVERAGE (%)	45%	45%	65%	65%
TYPICAL PAD SIZE*	70'X80'	60'X80'	50'X80'	42'X80'

*MEASURED AT FRONT BUILDING SETBACK

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LAND USE	AREA (AC)	PERCENT OF TOTAL
RESIDENTIAL	57.9	41.2%
PERIMETER ROAD ROW	5.5	3.9%
OPEN SPACE		
Private Open Space	21.1	15.0%
Amenity Center	0.9	0.6%
Floodplain	43.9	31.2%
OPEN SPACE TOTAL	65.9	46.9%
TOTAL ACREAGE	140.5	100.0%

Open Space Required (20%) = 140.5 x 20% = 28.1 acres
 Open Space Provided (Including 1/2 of floodplain) = 43.95



ZONING CASE # Z/2023-XXX



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

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CITY ENGINEER: _____

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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50

LOT

BLOCK

GENERAL LOCATION Southeast of Intersection Mims Road & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural

CURRENT USE Agricultural

PROPOSED ZONING Planned Development District

PROPOSED USE Single Family

ACREAGE 140.5 Acres

LOTS [CURRENT] 2

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

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OWNER Vicmar I Ltd & (76195)

APPLICANT Michael Joyce Properties

CONTACT PERSON

CONTACT PERSON Meredith Joyce

ADDRESS 105 Kaufman St

ADDRESS 767 Justin Road

CITY, STATE & ZIP Rockwall, Tx 75087

CITY, STATE & ZIP Rockwall, Tx 75087

PHONE

PHONE 512-694-6394

E-MAIL

E-MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Virginia W. Petersen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2,307.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF January, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

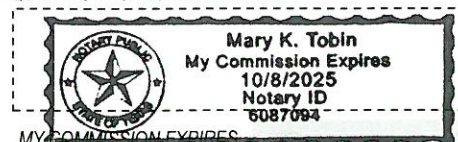
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF January, 2023

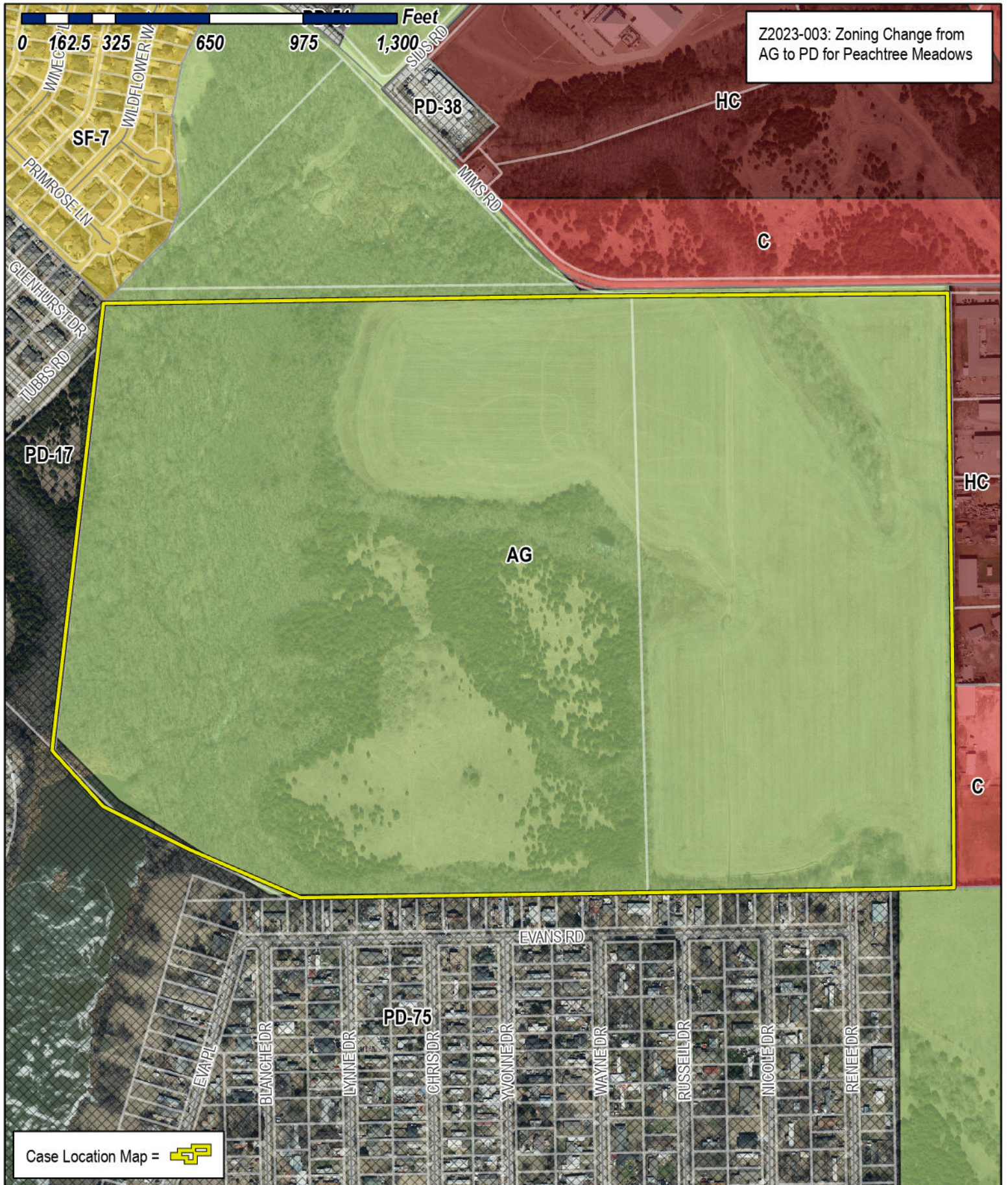
OWNER'S SIGNATURE

Virginia W. Petersen

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary K. Tobin





Z2023-003: Zoning Change from AG to PD for Peachtree Meadows

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

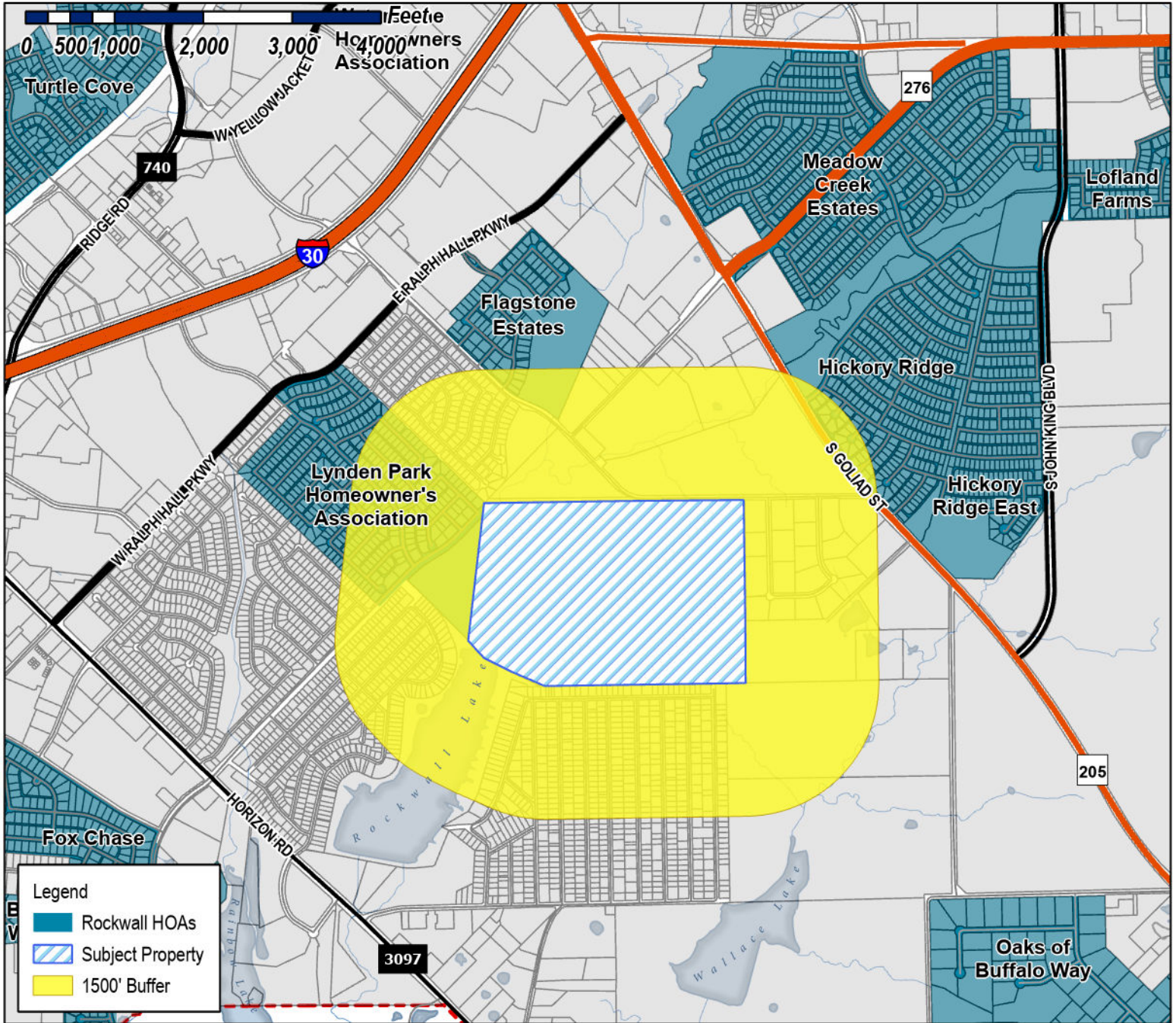




City of Rockwall

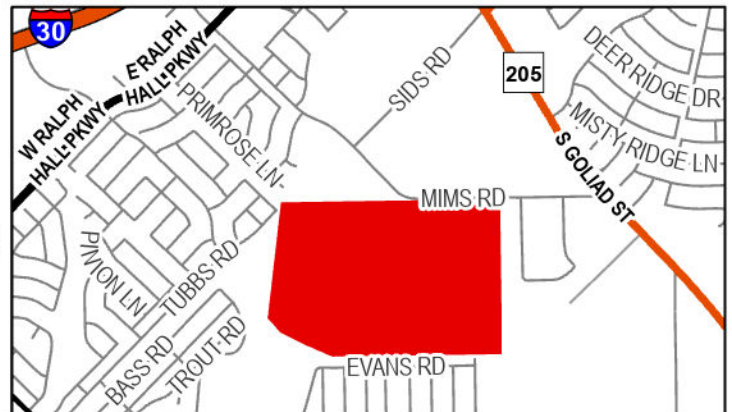
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-003
Case Name: Zoning Change from AG to PD for Peachtree Meadows
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SW of Mims Road and S Goliad Street

Date Saved: 1/20/2023
 For Questions on this Case Call (972) 771-7745

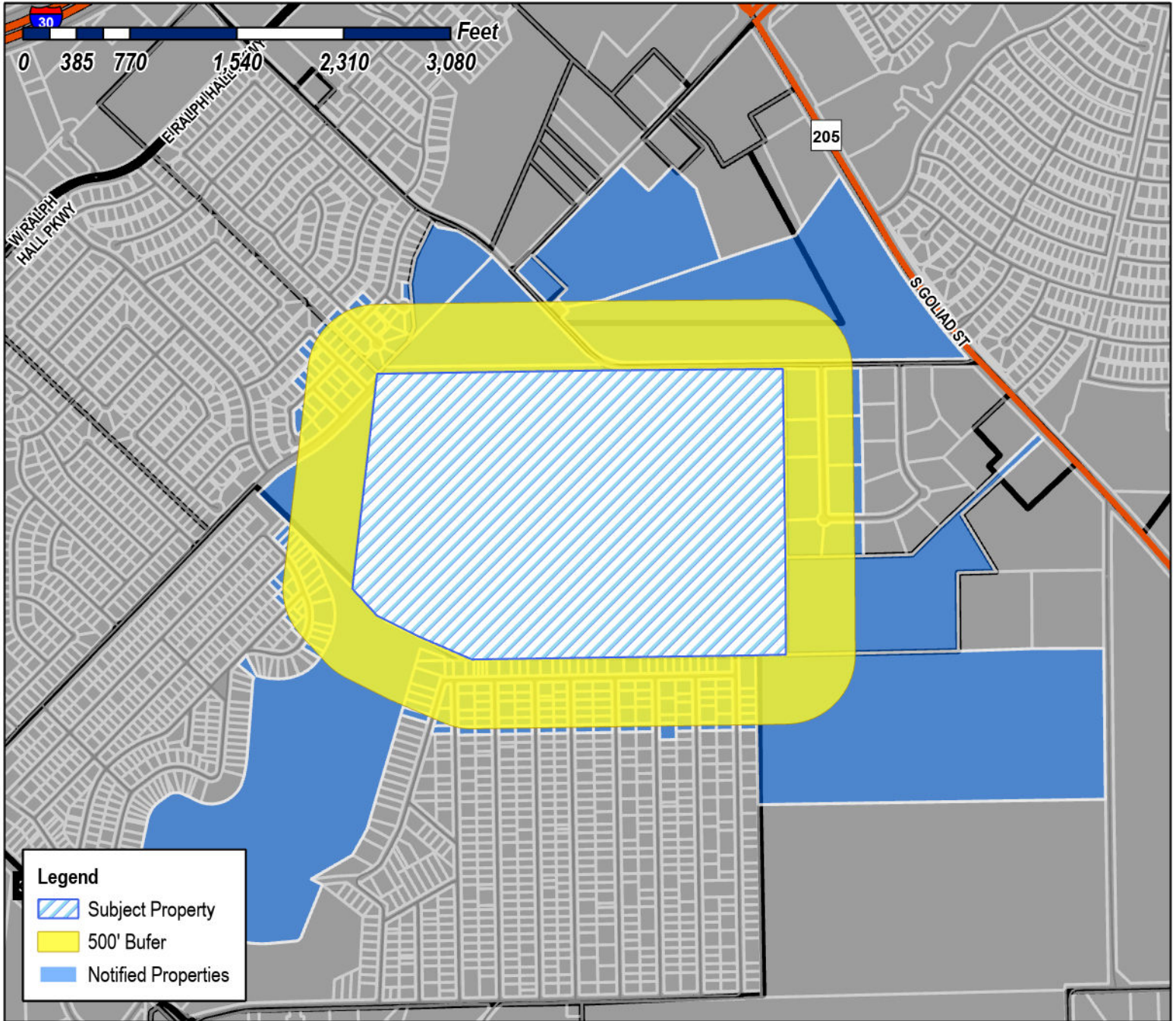




City of Rockwall

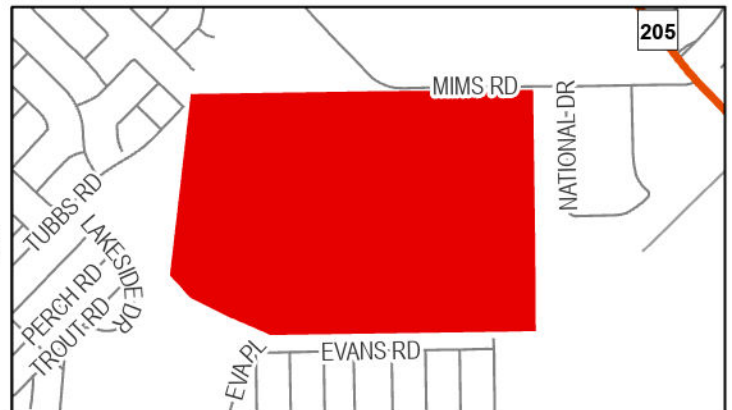
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Address: SW of Mims Road and S Goliad Street

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 For Questions on this Case Call (972) 771-7745



OCCUPANT
599 TROUT RD
ROCKWALL, TX 75032

FRANKS SHERI DENISE
401 FOREST TRCE
ROCKWALL, TX 75087

OCCUPANT
609 TROUT RD
ROCKWALL, TX 75032

JANG TO LIVING TRUST
WILLIAM JANG AND STEFANIE TO- TRUSTEES
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LAKEWOOD, CA 90715

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ROCKWALL, TX 75032

OCCUPANT
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ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
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388 EVANS RD
ROCKWALL, TX 75032

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400 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
498 EVANS RD
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

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522 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
557 RENEE DR
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

OCCUPANT
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ANA MARIA GRANDOS
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933 LAKESIDE DR
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ROCKWALL, TX 75032

OCCUPANT
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ROCKWALL, TX 75032

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

OCCUPANT
496 NICOLE DR
ROCKWALL, TX 75032

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C/O LAKE POINTE CHURCH
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ROCKWALL, TX 75087

OCCUPANT
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ROCKWALL, TX 75032

TELL MARK ALLEN
M/R
, TX

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ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE DR
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS
552 RUSSELL DR
ROCKWALL, TX 75032

OBRIEN ELLEN K
537 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
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513 RUSSELL DR
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OCCUPANT
534 YVONNE DR
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
517 LYNNE DR
ROCKWALL, TX 75032

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OCCUPANT
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PATRICIA CARREON DE CONTRERAS
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ROCKWALL, TX 75032

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525 WAYNE DR
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OCCUPANT
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ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
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CAMPBELL, TX 75422

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MCLENDON CHISHOLM, TX 75032

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594 EVA
ROCKWALL, TX 75032

ALVARES FLORINA GUTIERREZ &
ENRIQUE RENE ORTIZ GARCIA
594 EVA PL
ROCKWALL, TX 75032

OCCUPANT
602 EVA
ROCKWALL, TX 75032

QUEVEDO LUIS & FELIZA
3326 BURNING TREE LN
GARLAND, TX 75042

DEJESUS SANTOS
616 EVA
ROCKWALL, TX 75032

OCCUPANT
582 EVA
ROCKWALL, TX 75032

GARCIA HUGO IVAN DEL AND
JUANA GUZMAN
582 EVA PLACE
ROCKWALL, TX 75032

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620 TROUT RD
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ROCKWALL, TX 75032

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PARKER, TX 75002

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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479 CHRIS DR
ROCKWALL, TX 75032

GUEVARA MARIA
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ROCKWALL, TX 75032

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MARTINEZ-AGUILAR
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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489 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

OCCUPANT
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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6924 VALMONT STREET UNIT #9
TUJUNGA, CA 91042

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DALLAS, TX 75248

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C/O BERNABE COLUNGA
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CORPORATION
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

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526 NICOLE DR
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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OCCUPANT
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ROCKWALL, TX 75032

OCCUPANT
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ROCKWALL, TX 75032

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MARIBEL GALLARDO
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ROCKWALL, TX 75032

OCCUPANT
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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LANCASTER, TX 75134

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ROCKWALL, TX 75032

OCCUPANT
491 YVONNE DR
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANDRES M
715 PRIMROSE LN
ROCKWALL, TX 75032

LEBLANC BRIAN AND AARON SALAZAR
709 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
3129 WILDFLOWER WAY
ROCKWALL, TX 75032

PROGRESS DALLAS LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

PRICE TIMOTHY F & DIANA M
3137 WILDFLOWER WAY
ROCKWALL, TX 75032

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496 CHRIS DR
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3078 S FM 551
ROYSE CITY, TX 75189

ALONSO ELEASAR & BENITO GAMEZ
482 WAYNE DR
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR
ROCKWALL, TX 75032

MOORE VIVIAN
811 LAKESIDE DR
ROCKWALL, TX 75032

RIDDLE LINDA K
715 BLUEBELL CT
ROCKWALL, TX 75032

GEORGE POLLY A & BENJAMIN E
709 BLUEBELL CT
ROCKWALL, TX 75032

BRIDGMAN SHAWN AND RENEE
728 PRIMROSE LN
ROCKWALL, TX 75032

DIBA ABBAS & RAZIEHALSADAT YAHYAZADEH
MASHHADI
152 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
714 GLENHURST DR
ROCKWALL, TX 75032

DO DAVID KIM
2206 OAK GROVE CIR
GARLAND, TX 75040

ORAVSKY JAMES S & GINGER L
746 BRAEWICK DR
ROCKWALL, TX 75032

WINTERS KEVIN R & STELIANA V
745 GLENHURST DR
ROCKWALL, TX 75032

PIERCE SYLVIA JO
152 HAVEN RIDGE DR
ROCKWALL, TX 75032

BROWN GREGORY J II AND BARBARA J
112 WESTON CT
ROCKWALL, TX 75032

REYES GALIA OLAZABAL & FRANK ALVAREZ
MOYA
945 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
957 LAKESIDE DR
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8250 COLQUITT ROAD
TERRELL, TX 75160

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CHANDRIKA KONDUR
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532 BLANCHE DR
ROCKWALL, TX 75032

ARROYO REYES
499 RUSSELL DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
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AGUILAR ROSALINA
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

OCCUPANT
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OCCUPANT
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FARRAR SECURITY SYSTEMS INC
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ROCKWALL, TX 75087

OCCUPANT
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D & A REAL ESTATE PARTNERS LTD
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ROCKWALL, TX 75087

EISENSTEIN JENNIPHER D AND MICHAEL J
157 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
708 GLENHURST DR
ROCKWALL, TX 75032

CHEN CHAI
825 HARLAN CT
MURPHY, TX 75094

OCCUPANT
118 NATIONAL DR
ROCKWALL, TX 75032

SCOTTFREE INVESTMENTS LP
519 E INTERSTATE 30 #511
ROCKWALL, TX 75087

OCCUPANT
496 NATIONAL DR
ROCKWALL, TX 75032

BIG BUCK PROPERTIES LLC
PO BOX 2107
ROCKWALL, TX 75087

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ROCKWALL, TX 75032

OCCUPANT
727 PRIMROSE LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

HARRIS CHAD & MISTY PIERCE
721 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
156 WESTON CT
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT
23974 PARK SORRENTO Suite 300
CALABASAS, CA 91302

ALLMANN CHRISSEY J
126 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
134 WESTON CT
ROCKWALL, TX 75032

RONALD J AND EILEEN P BOTT LIVING TRUST
RONALD J BOTT AND EILEEN P BOTT-
COTRUSTEES
12172 GAY RIO DRIVE
LAKESIDE, CA 92040

STANCIOIU MARIAN & OANA
138 WESTON CT
ROCKWALL, TX 75032

SCARNATI TAMMY AND JAMES T JR
156 HAVEN RIDGE DR
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449 NATIONAL DR
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BUSH BLAKE & LARRY
740 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
718 BLUEBELL CT
ROCKWALL, TX 75032

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GROVE, OK 74344

BEASLEY MOLLIE & MEAGAN NUGENT
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ROCKWALL, TX 75032

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SCOTTFREE INVESTMENT LP
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HEFFLER MICHAEL A
744 PRIMROSE LN
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HOLLAND JON E
747 PRIMROSE LN
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ROCKWALL, TX 75032

STEWART EMILY D AND BRYON STEWART JR
738 GLENHURST DR
ROCKWALL, TX 75032

SOAITA MARIUS & DANIELA M
732 GLENHURST DR
ROCKWALL, TX 75032

TATEVOSIAN BARKEV S & GUENDOLI
726 GLENHURST DR
ROCKWALL, TX 75032

OCCUPANT
720 GLENHURST DR
ROCKWALL, TX 75032

RENDON NOEL & CHRISTIE
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MANSFIELD, TX 76063

BYERS MARY E TRESPACES- AND JAMES
MICHAEL
745 BRAEWICK DR
ROCKWALL, TX 75032

ROTEN STEVEN NEIL
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ROCKWALL, TX 75032

OCCUPANT
145 WESTON CT
ROCKWALL, TX 75032

CSH PROPERTY ONE LLC
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

LOFGREN STEVE G
149 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
153 WESTON CT
ROCKWALL, TX 75032

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

PEACOCK JAY C & ROBYN M
148 WESTON CT
ROCKWALL, TX 75032

RODRIGUEZ FLORENCIO GOMEZ
630 EVA
ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
150 EVANS RD
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
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ROCKWALL, TX 75087

OCCUPANT
160 EVANS RD
ROCKWALL, TX 75032

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PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS RD
ROCKWALL, TX 75032

BALDERAS GREGORY
310 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
302 EVANS RD
ROCKWALL, TX 75032

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GALENA PARK, TX 77547

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD
ROCKWALL, TX 75032

RAMIRES RAUL
358 EVANS RD
ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

GARCIA JUAN
519 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
515 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD
ROCKWALL, TX 75032

PERALES OSCAR F AND DIANA A
106 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
114 EVANS RD
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
LOFLAND CIR
ROCKWALL, TX 75032

SMARTT LOFLAND & BOND
1 CARMARTHEN CT
DALLAS, TX 75225

OCCUPANT
2922 S HWY205
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC
6310 LEMMON AVE STE 202
DALLAS, TX 75209

OCCUPANT
791 LAKESIDE DR
ROCKWALL, TX 75032

KUBIS CINDY
281 N LARAMIE CIR
PILOT POINT, TX 76258

RODRIGUEZ ROMAN
220 EVANS RD
ROCKWALL, TX 75032

BAKER LATONIA
840 LAKESIDE DR
ROCKWALL, TX 75032

TUAZON LINCOLN AND DIVINA
848 LAKESIDE DR
ROCKWALL, TX 75032

PETREY MELODIE A
806 LAKESIDE DR
ROCKWALL, TX 75032

DEL ROSARIO VICTOR & LETICIA
813 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
905 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

OCCUPANT
891 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
855 LAKESIDE DR
ROCKWALL, TX 75032

TURNER DANNY AND NANCY
829 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
877 LAKESDIE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
610 ARCADIA WAY
ROCKWALL, TX 75087

BOLEN LORNA L &
ROSALIO O SANCHEZ
861 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
869 LAKESIDE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
610 ARCADIA WAY
ROCKWALL, TX 75087

TURNER DANNY
829 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75087

OCCUPANT
900 SIDS RD
ROCKWALL, TX 75032

SLAUGHTER RICHARD E JR
PO BOX 1717
ROCKWALL, TX 75087

RAMIREZ MARIO
908 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
EVANS RD
ROCKWALL, TX 75032

GANUS HUGH
524 SESAME DR
MESQUITE, TX 75149

OCCUPANT
140 EVANS RD
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
950 SIDS RD
ROCKWALL, TX 75032

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75087

HERREROS BERTOLDO
196 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
170 EVANS RD
ROCKWALL, TX 75032

DIAZ JOSE LUIS &
MARICELA ARREDONDO
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
510 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ CARLOS FRANSISCO CARMONA
532 BLANCHE DRIVE
ROCKWALL, TX 75032

OCCUPANT
125 NATIONAL DR
ROCKWALL, TX 75032

RACK HOLDINGS LLC- 125 NATIONAL SERIES
3021 RIDGE ROAD SUITE A-131
ROCKWALL, TX 75032

BOWERS TAMMY GAIL
630 TROUT RD
ROCKWALL, TX 75032

Exhibit 'D':
Density and Development Standards

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, the following uses are permitted on the *Subject Property*:
- (a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permit *by-right* or by Specific Use Permit (SUP) for the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

- (2) Residential Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units (%)</i>
A	82' x 120'	9,000 SF	32	11%
B	72' x 120'	8,400 SF	98	34%
C	62' x 120'	7,200 SF	105	36%
D	52' x 120'	6,000 SF	57	19%
<i>Maximum Permitted Units:</i>			292	100.00%

- (3) Variation in Residential Lot Composition. The allocation of single-family residential lot types may deviate from that in Subsection (2), *Residential Lot Composition and Layout*, provided that the maximum allowed total dwelling units does not exceed 292 units
- (4) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:
- (a) Residential. Except as modified by this Planned Development District ordinance, residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 2.266 dwelling units per gross acre of land; however, in no case should the proposed development exceed 292 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

<i>Lot Type (see Concept Plan) ►</i>	A	B	C	D
<i>Minimum Lot Width ⁽¹⁾</i>	82'	72"	62'	52'
<i>Minimum Lot Depth</i>	120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>	9,000	8,400	7,200	6,000

**Exhibit 'D':
Density and Development Standards**

<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	15'	15'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500	2,200	2,000	1,700
<i>Maximum Lot Coverage</i>	65%	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: *J-Swing or Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

(5) *Building Standards for Residential.* All residential development shall adhere to the following building standards:

- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 80% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitious fiberboard in excess of 80% of the masonry requirement on a case-by-case basis.

Examples of Cementitious Fiberboard



Exhibit 'D':
Density and Development Standards

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. A total of 19.59% or 57 of 292 of all garages may be oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining 80.31% or 235 of all garages shall be oriented in a *J-Swing (or Traditional Swing)* configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (*i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent*), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 1*.

... Continued on Next Page

Figure 1. Examples of Enhanced Wood Garage Door

Exhibit 'D':
Density and Development Standards



- (6) *Anti-Monotony Restrictions*. The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (*for spacing requirements see Figures 3 & 4 below*).

Table 3: Anti-Monotony Matrix

<u><i>Lot Type</i></u>	<u><i>Minimum Lot Size</i></u>	<u><i>Elevation Features</i></u>
A	82' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	62' x 120'	(1), (2), (3), (4)
D	52' x 120'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-549 or Wylie Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.

Exhibit 'D':
Density and Development Standards

- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



- (7) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
 - (c) Wrought Iron/Tubular Steel. Lot lines located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wood fence shall be installed on these lots where there is a shared property line with another lot and along the front returns of these lots

Exhibit 'D':
Density and Development Standards

where there is a shared property line with another lot. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
 - (f) Fence in Easements. No fencing shall be constructed in or across City of Rockwall's easements.
- (8) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (Eastern). A minimum of a 50-foot landscape buffer shall be provided along existing commercial property along the Eastern property line. and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 50-foot landscape buffer.
 - (2) Landscape Buffer and Sidewalks (Southern Boundary). A minimum of a 50-foot landscape buffer shall be provided along the southern boundary for the residential property and shall remain native. The native tree line shall remain undisturbed and serve as the vegetation screening along this boundary.
 - (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees

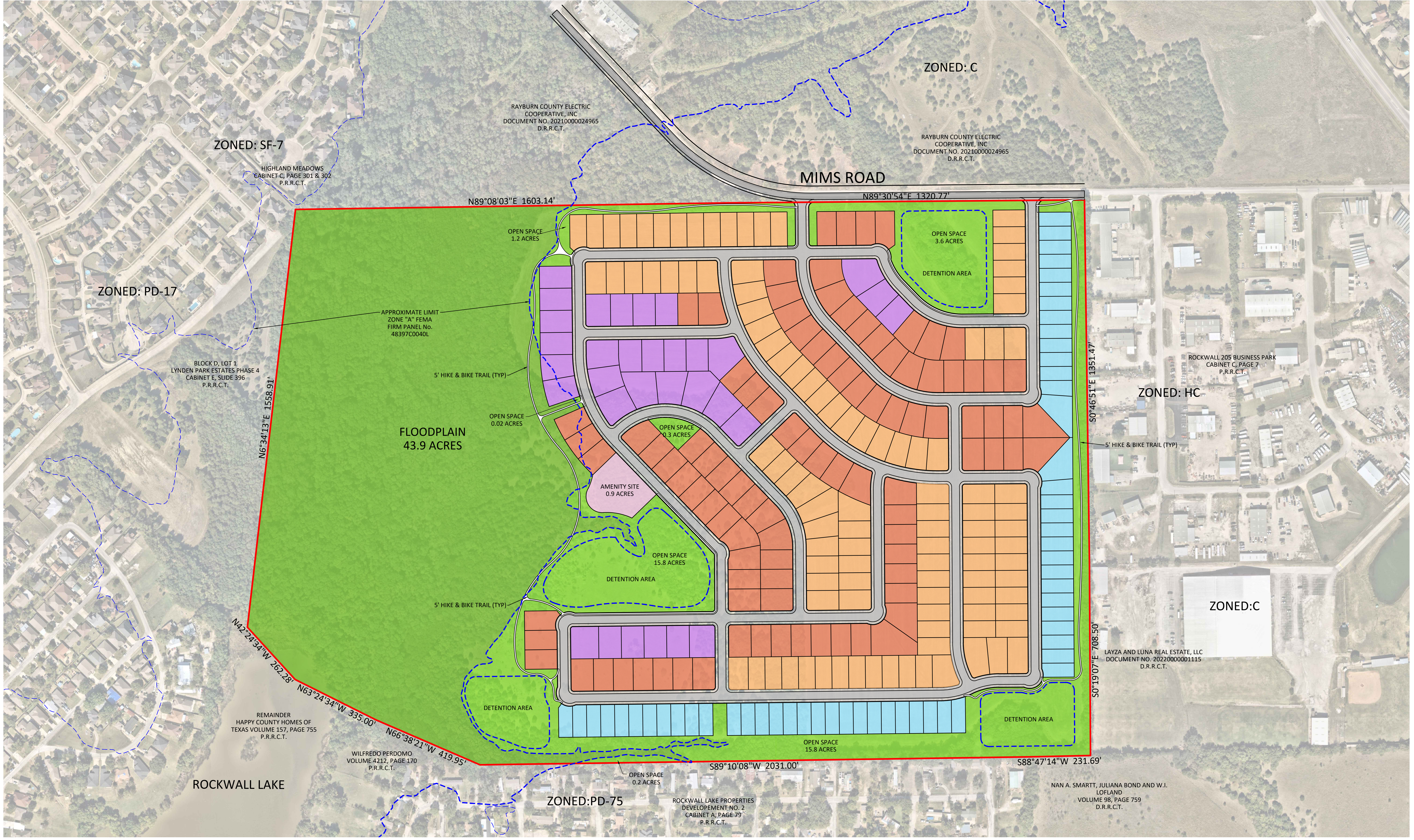
Exhibit 'D':
Density and Development Standards

shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

- (d) *Residential Lot Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (9) *Street*. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (10) *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (11) *Sidewalks*. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (12) *Buried Utilities*. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (13) *Open Space/Public Park*. The development shall consist of a minimum of 20% open space (*or a minimum of 28.1-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (14) *Trails*. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance, and shall provide connectivity throughout the development .

Exhibit 'D':
Density and Development Standards

- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



ALL LOTS LESS THAN 12,000 SF ARE LOCATED WITHIN 800 FT OF A PUBLIC OR PRIVATE OPEN SPACE.



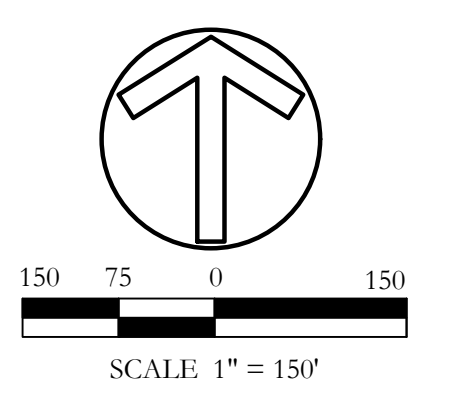
LOT NAME	A	B	C	D
LOT COUNT	32	98	105	57
MINIMUM LOT AREA (SF)	9,840	8,640	7,440	6,240
MINIMUM LOT WIDTH (FT)	82	72	62	52
MINIMUM LOT DEPTH (FT)	120	120	120	120
FRONT BUILDING SETBACK (FT)	20	20	20	20
REAR BUILDING SETBACK (FT)	20	20	20	20
SIDE BUILDING SETBACK INTERIOR (FT)	6	6	6	6
SIDE BUILDING SETBACK CORNER (FT)	15	15	15	15
MAXIMUM BUILDING HEIGHT	35 FEET/ 2.5 STORIES			
MAXIMUM LOT COVERAGE (%)	45%	45%	65%	65%
TYPICAL PAD SIZE*	70'X80'	60'X80'	50'X80'	42'X80'

*MEASURED AT FRONT BUILDING SETBACK

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LAND USE	AREA (AC)	PERCENT OF TOTAL
RESIDENTIAL	57.9	41.2%
PERIMETER ROAD ROW	5.5	3.9%
OPEN SPACE		
Private Open Space	21.1	15.0%
Amenity Center	0.9	0.6%
Floodplain	43.9	31.2%
OPEN SPACE TOTAL	65.9	46.9%
TOTAL ACREAGE	140.5	100.0%

Open Space Required (20%) = 140.5 x 20% = 28.1 acres
 Open Space Provided (Including 1/2 of floodplain) = 43.95



ZONING CASE # Z/2023-XXX

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 1/26/2023

PROJECT NUMBER: Z2023-003
PROJECT NAME: Zoning Change from AG to PD for Peachtree Meadows
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	01/26/2023	Approved w/ Comments

01/26/2023: Z2023-003; Zoning Change (AG to PD) for the Peachtree Meadows
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive.
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
- M.3 For reference, include the case number (Z2023-003) in the lower right-hand corner of all pages on future submittals.
- M.4 Please provide a legal description and survey of the property prior to February 7, 2023. Failure to submit this legal description and survey will result in the automatic denial of the application in accordance with Chapter 38, Subdivisions, of the Municipal Code of Ordinances on the grounds of the submittal being incomplete.
- I.5 According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the Southwest Residential District, and according to the Future Land Use Map contained within this document the subject property is designated for Medium Density Residential land uses.
- I.6 The Medium Density Residential land use category is defined in the Comprehensive Plan as being "...residential subdivisions that are greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre." The proposed density for the subdivision is 2.08 dwelling units per gross acre (i.e. 292 lots/140.50-acres = 2.0782918 or 2.08 dwelling units per gross acre). Based on this -- from a density standpoint -- the proposed zoning request conforms to the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan.
- I.7 The OURHometown Vision 2040 Comprehensive Plan stipulates various goals for residential developments. The following aspects of the applicant's proposal either do not conform to or could better conform to the stated goals of the City's plan, and could be revised -- per staff's recommendations -- to bring the project closer to conformance with the plan:

- (1) CH. 3; Goal #3 | Policy #2 (Page 3-2). Look for opportunities to preserve the Texas Blackland Prairie, which is an important historic, natural feature within the City.
- (2) CH. 8; Section 2.02; Goal #2 | Policy #2 (Page 8-2). Open space should be preserved and utilized in a manner that will contribute significantly to the surrounding development and the City as a whole.

Staff Response: This is one (1) of two (2) properties in the City that have been identified as having Texas Blackland Prairie situated on them. Based on the Parkland Dedication

Ordinance cash-in-lieu of land fees for a property in District 14 would equate to \$298.37 per lot or that land dedication be made in a proportionate share to the number of units being created (which in this case would equate to 1.168-acres); however, the ordinance goes on to state that parkland dedication of six (6) acres can be considered in lieu of the required cash-in-lieu of land fees. In this case, any dedication of Texas Blackland Prairie could help the request better conform to the policies and goals of the Comprehensive Plan and would satisfy the cash-in-lieu of land fees; however, this is not a requirement of this zoning case.

(3) CH. 8; Section 2.02; Goal #1 | Policy #5 (Page 8-2). Residential developments should be designed so that smaller residential lots/units are located in the closest proximity to a park and/or open space. This will maximize the value of these lots/units, and allow the open spaces to off-set smaller lot/unit sizes.

(4) CH. 8; Section 2.02; Goal #1 | Policy #6 (Page 8-2). The residential development process should include consideration for the way in which residential and non-residential lots are laid out, and adjacency and accessibility to parks and open spaces should be optimized.

Staff Response: In this case, the smaller lots are being used to transition between the smaller lots to the south of the subject property and the industrial land uses on the west side of the property. This appears to make sense in this case, and staff agrees that these lots are better served in this capacity.

(5) CH. 8; Section 2.02; Goal #4 | Policy #2 (Page 8-3). Use berms and buffers to transition land uses as opposed to walls. This creates a natural transition in which trails can be incorporated to connect residential areas with non-residential areas.

Staff Response: Staff has put requirements in the Planned Development District ordinance that will require 50-foot landscape buffers with berms and three (3) tiered landscaping adjacent to the southern and western property lines; however, staff has also included changes to the fence requirements that will allow wood fences adjacent to these areas to better assist with screening the existing adjacent land uses (see Planning Markups).

(6) CH. 8; Section 2.03; Goal #1 | Policy #2 (Page 8-3). To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, the house on the property should face onto the park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff Response: The lot layouts could be adjusted to have more single-loaded streets fronting onto the floodplain situated on the westside of the subject property. This would help the plan better conform to the Comprehensive Plan.

(7) CH. 8; Section 2.03; Goal #1 | Policy #5 (Page 8-3). Design neighborhoods utilizing the Housing Tree Model.

Staff Response: Please consider locating the larger Type 'A' lot product adjacent to the northern property line. The remaining Type 'C' lot products in these areas could be relocated to where the

(8) CH. 8; Section 2.03; Goal #3 | Policy #2 (Page 8-4). Require rear-entry garages and alleyways on all lots that have a lot width of 55-feet or less; however, alleyways should be prohibited on all lots greater than 55-feet. These lots should incorporate J-Swing or Recessed Front Entry garages.

(9) CH. 8; Section 2.03; Goal #3 | Policy #3 (Page 8-4). In cases where flat front entry garages (i.e. even with the front façade of the primary structure) are requested as part of a development no greater than 20% should be incorporated into the development. In addition, flat front entry garages should have a minimum of a 25- foot front yard building setback to allow vehicles to be parked in the driveway without overhanging public right-of-way. This type of garage may not be appropriate for all developments and should be generally discouraged.

Staff Response: The proposed Type 'D' lot product is less than 55-feet, and according to the Comprehensive Plan should incorporate alleyways; however, the applicant is also request that 19.59% or 57 lots be allowed Front Entry with a five (5) foot recess. Based on this staff has included language in the Planned Development District that would relegate all Front Entry garage configurations to the Type 'D' lots.

I.8 Based on the submitted Concept Plan the proposed Planned Development District does not conform to the following requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's Standards of Design and Construction Manual:

(1) Alleyways. The Engineering Department's Standards of Design and Construction Manual stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." (Page 14; Section 2.11 of the Standards of Design and Construction Manual)

Staff Response: This will be listed as a waiver in staff's case memo.

(2) Street Connectivity. The Engineering Department's Standards of Design and Construction Manual stipulates that "(t)he system of streets designed for the development, except in unusual cases, must connect with streets already dedicated in adjacent developments."

Staff Response: Currently, Renee Drive on the southside of the subject property is stubbed for access to the Subject Property; however, the proposed concept plan does not connect to this street. Staff recommends that the applicant connect to this street. As an alternative the applicant could provide emergency access only via a 24-foot concrete access drive that utilizes bollards, but this will be a discretionary waiver that has to be granted by the City Council pending a recommendation from the Planning and Zoning Commission.

(3) Open Space. According to Article 10, Planned Development Regulations, of the Unified Development Code (UDC), ". In a residential Planned Development (PD) Districts, all lots less than 12,000 SF shall be located within 800-feet of a neighborhood-oriented park or open space (i.e. private or public). All open space areas shall be landscaped and serve as a visual amenity and/or gathering place for socializing with neighbors."

Staff Response: Please provide an exhibit showing conformance to this requirement.

I.9 Based on the submitted density and dimensional requirements, staff made the following changes in the proposed Planned Development District ordinance:

- (1) The minimum housing size was changed from 1,700 SF & 2,000 SF for the Type 'C' & 'D' lots to 2,200 SF. The minimum housing size for homes in a Single-Family 10 (SF-10) District is 2,200 SF.
- (2) Changed the minimum side yard setback adjacent to a street from 15-feet to 20-feet. The current Unified Development Code (UDC) treats all street frontages as front yards.
- (3) Changed the front yard setback for Type 'D' lots to 25-feet. Since the Type 'D' lots will be the lot product that incorporates the front entry garages this would be in conformance with the policies and guidelines contained in the Comprehensive Plan.
- (4) Changed the Hardie Board requirement from 80.00% to 20.00%; however, staff did provide an administrative approval on a case-by-case basis to request up to 80.00% where the Hardie Board or cementitious product is integral to the architectural design of the home.
- (5) Changed the anti-monotony standards to include changes in garage orientation as one (1) of the three (3) changes necessary to constitute a change in elevation.
- (6) Changed the wrought iron fence requirements back to Lots from Property Lines. Considering the allowance to have entirely wood fencing adjacent to the southern and eastern boundaries of the subject property, this requirement does not affect very many lots and there is no rationale to make the change for 29 of the 292 lots.
- (7) Increased and defined the size of shrub necessary to provide screening for wrought iron fencing from five (5) gallons to seven (7) gallons.
- (8) Provided for increased landscape areas adjacent to the eastern most entry. These are necessary to screen the wood fences from Mims Road. These will need to be delineated on the concept plan (see Planning Department's Markups).
- (9) Included requirements for lot trees. This can be used to off-set the future tree mitigation balance.
- (10) Included a tree preservation easement adjacent to the southern property line. This is in lieu of the proposed landscape buffer. This will need to be delineated on the concept plan (see Planning Department's Markups).

M.10 Please see the Planning Department's markups and make the necessary changes to the concept plan to address the above mentioned changes.

M.11 Please review the attached draft ordinance prior to the January 31, 2023 Planning & Zoning Commission meeting, and provide staff with your markups by February 7, 2023.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the February 14, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on January 31, 2023.

I.13 The projected City Council meeting dates for this case will be February 21, 2023 (1st Reading) and March 6, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	01/26/2023	Approved w/ Comments

01/26/2023: The following comments are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures (fencing, gates, signage, etc.) allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- No vertical walls allowed in detention easements.

Drainage Items:

- Detention is required. Stormwater cannot increase off the property. Detention and flood study are required.
- Must show erosion hazard setback easement.
- Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- Manning's C-value is per zoning type cannot use Open Space or Detention Area as C=0.35 only flood plain can have a C factor of 0.35
- Flood Study is required. Review fees apply. See the City Standards of Design for flood study requirements.
- Must get a Wetlands/WOTUS study for all ponds, creeks, and wetland areas.
- Detention ponds and storm system must outfall maximum 60 degrees with flow line of creeks/channels. May not discharge at any point of floodplain, must be at an existing flow line.
- LOMR will be required.
- Drainage from the east must be collected in a separate HOA owned and maintained lot. Must be platted as a drainage easement.

Water and Wastewater Items:

- Must loop min 8" water line on site.
- \$401.89/acre sewer pro-rata
- Must install water lines per master plans. Master plan calls for a 12-inch water main along east property line.
- 20-inch water to be installed in Mims along frontage but a 20' wide water line easement along a portion of Mims will suffice unless infrastructure study requires the 20-inch.
- Must install sanitary sewer main lines per master plans. Master plan calls for a 30-inch sanitary sewer main along west property line. A 50' easement must be dedicated.
- Off-site sanitary sewer improvements may be required.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must compete an Infrastructure study to determine the off-site Master Plan water and wastewater improvements needed.

Roadway Paving Items:

- All streets to be concrete. 50' ROW, 29' back-to-back paving minimum. Streets must be curb and gutter style. No asphalt or rock streets. Parabolic crown cross section not allowed. Roll over curb not allowed.
- Must install alleys at the back of the lots.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- City is revising Master Thoroughfare Plan. Mims will be a collector street, 60' ROW and 41' B-B. ROW dedication will be required, and 24' of pavement at minimum must be placed including storm system.
- Sidewalk to be built along Mims
- Traffic Impact Analysis required

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	01/25/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	01/24/2023	Approved w/ Comments

01/24/2023: The use of Mims Road as Fire apparatus access shall be reviewed as part of future submittals. Road improvements will be required.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	01/23/2023	Approved

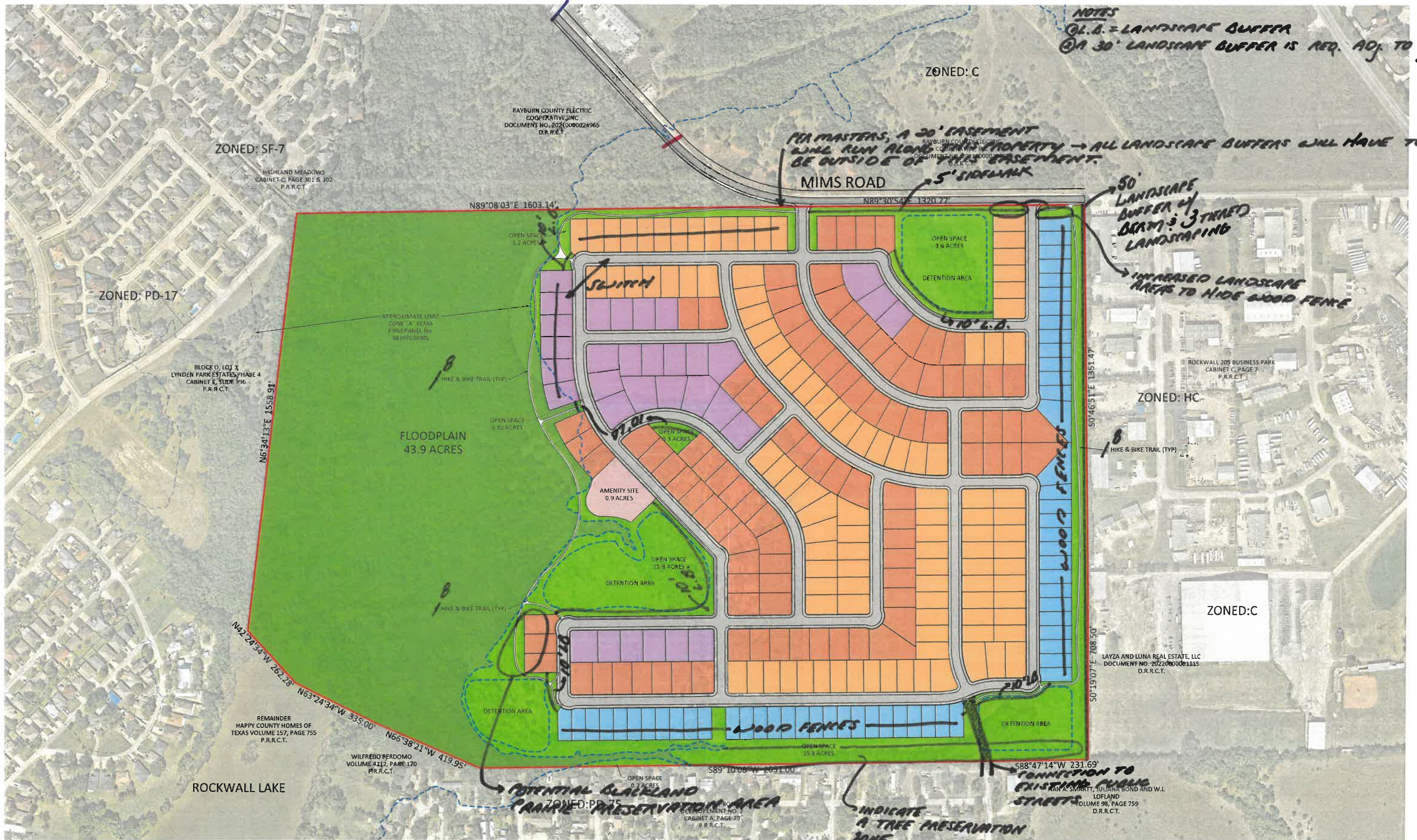
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	01/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	01/23/2023	Approved

No Comments



NOTES
 @L.B. = LANDSCAPE BUFFER
 @A 30' LANDSCAPE BUFFER IS REQ. ADJ. TO MIMS ROAD.

FOR MASTERS, A 30' EASEMENT LINE RUN ALONG THIS PROPERTY → ALL LANDSCAPE BUFFERS WILL HAVE TO BE OUTSIDE OF THIS EASEMENT.

5' SIDEWALK
 50' LANDSCAPE BUFFER OF 3' TREE PRESERVATION
 → INCREASED LANDSCAPE AREA TO HIDE WOOD FENCE

INDICATE A TREE PRESERVATION ZONE

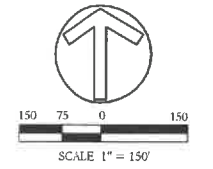
CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LOT NAME	A	B	C	D
LOT COUNT	32	98	105	57
MINIMUM LOT AREA (SF)	9,840	8,640	7,440	6,240
MINIMUM LOT WIDTH (FT)	82	72	62	52
MINIMUM LOT DEPTH (FT)	120	120	120	120
FRONT BUILDING SETBACK (FT)	20	20	20	20
REAR BUILDING SETBACK (FT)	20	20	20	20
SIDE BUILDING SETBACK INTERIOR (FT)	6	6	6	6
SIDE BUILDING SETBACK CORNER (FT)	15	15	15	15
MAXIMUM BUILDING HEIGHT	35 FEET / 2.5 STORIES			
MAXIMUM LOT COVERAGE (%)	45%	45%	65%	65%
TYPICAL PAD SIZE*	70'X80'	60'X80'	50'X80'	42'X80'

*MEASURED AT FRONT BUILDING SETBACK

LAND USE	AREA (AC)	PERCENT OF TOTAL
RESIDENTIAL	57.9	41.2%
PERIMETER ROAD ROW	5.5	3.9%
OPEN SPACE		
Private Open Space	21.1	15.0%
Amenity Center	0.9	0.6%
Floodplain	43.9	31.2%
OPEN SPACE TOTAL	65.9	46.9%
TOTAL ACREAGE	140.5	100.0%

Open Space Required (20%) = 140.5 x 20% = 28.1 acres
 Open Space Provided (Including 1/2 of floodplain) = 43.95



ZONING CASE # Z2023-XXX

ALL LOTS LESS THAN 12,000 SF ARE LOCATED WITHIN 800 FT OF A PUBLIC OR PRIVATE OPEN SPACE.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures (fencing, gates, signage, etc.) allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- No vertical walls allowed in detention easements.

Drainage Items:

- Detention is required. Stormwater cannot increase off the property. Detention and flood study are required.
- Must show erosion hazard setback easement.
- Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- Manning's C-value is per zoning type cannot use Open Space or Detention Area as C=0.35 only flood plain can have a C factor of 0.35
- Flood Study is required. Review fees apply. See the City Standards of Design for flood study requirements.
- Must get a Wetlands/WOTUS study for all ponds, creeks, and wetland areas.
- Detention ponds and storm system must outfall maximum 60 degrees with flow line of creeks/channels. May not discharge at any point of floodplain, must be at an existing flow line.
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Water and Wastewater Items:

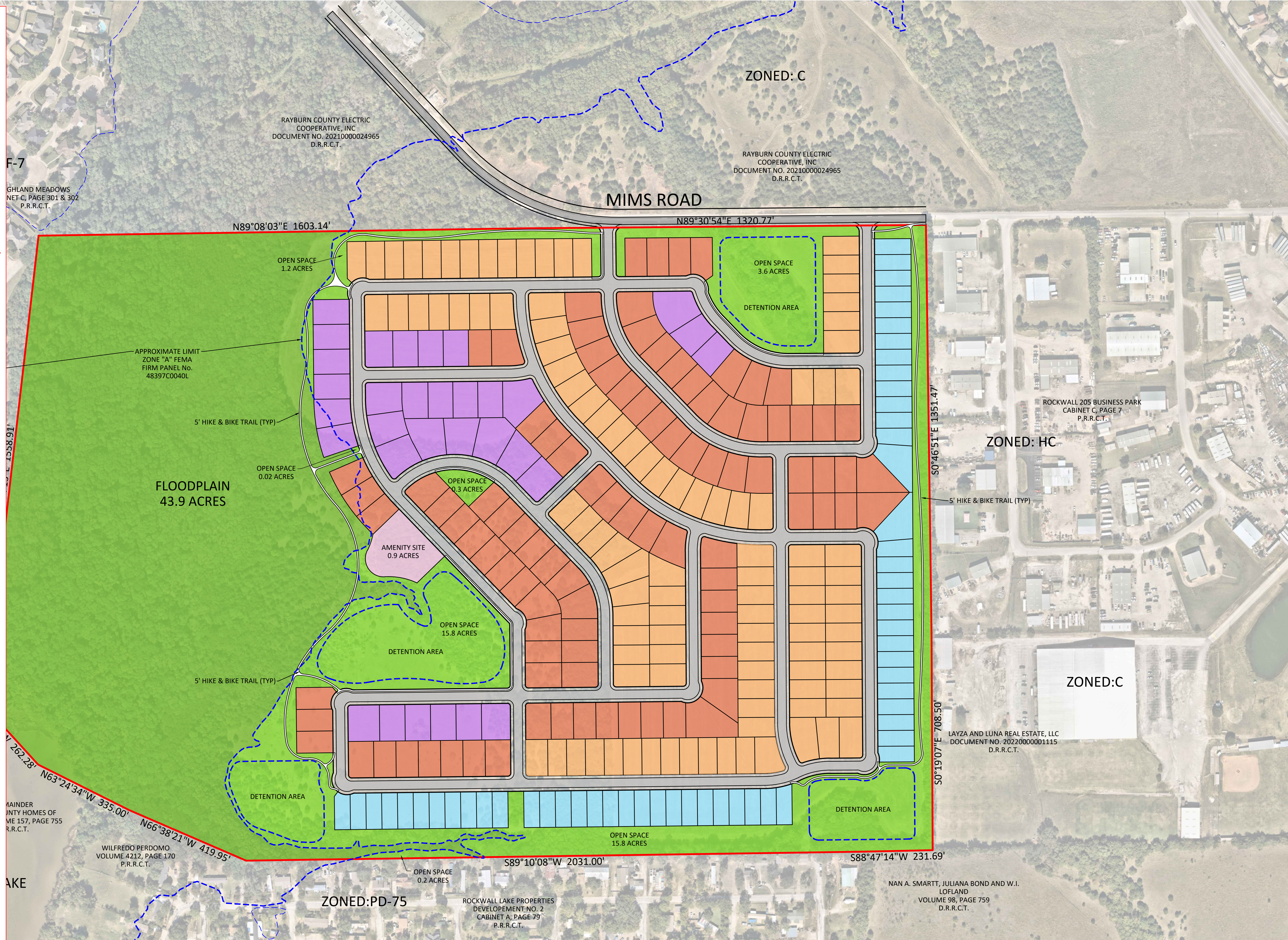
- Must loop min 8" water line on site.
- \$401.89/acre sewer pro-rata
- Must install water lines per master plans. Master plan calls for a 12-inch water main along east property line.
- 20-inch water to be installed in Mims along frontage but a 20' wide water line easement along a portion of Mims will suffice unless infrastructure study requires the 20-inch.
- Must install sanitary sewer main lines per master plans. Master plan calls for a 30-inch sanitary sewer main along west property line. A 50' easement must be dedicated.
- Off-site sanitary sewer improvements may be required.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must compete an Infrastructure study to determine the off-site Master Plan water and wastewater improvements needed.

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- Sidewalk to be built along Mims
- Traffic Impact Analysis required

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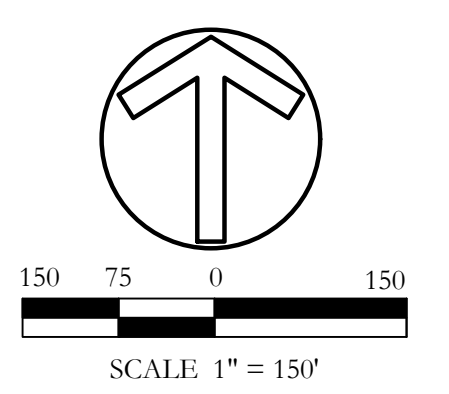
	A	B	C	D
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	35 FEET/ 2.5 STORIES			
	45%	45%	65%	65%
	70'X80'	60'X80'	50'X80'	42'X80'

*MEASURED AT FRONT BUILDING SETBACK

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

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TOTAL ACREAGE	140.5	100.0%

Open Space Required (20%) = 140.5 x 20% = 28.1 acres
 Open Space Provided (Including 1/2 of floodplain) = 43.95



ZONING CASE # Z2023-XXX



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50

LOT

BLOCK

GENERAL LOCATION Southeast of Intersection Mims Road & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural

CURRENT USE Agricultural

PROPOSED ZONING Planned Development District

PROPOSED USE Single Family

ACREAGE 140.5 Acres

LOTS [CURRENT]

2

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Vicmar I Ltd & (76195)

APPLICANT Michael Joyce Properties

CONTACT PERSON

CONTACT PERSON Meredith Joyce

ADDRESS 105 Kaufman St

ADDRESS 767 Justin Road

CITY, STATE & ZIP Rockwall, Tx 75087

CITY, STATE & ZIP Rockwall, Tx 75087

PHONE

PHONE 512-694-6394

E-MAIL

E-MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Virginia W. Petersen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2,307.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF January, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

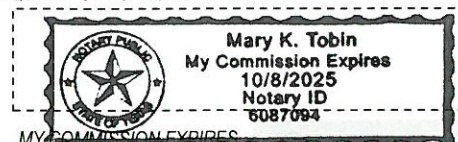
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF January, 2023

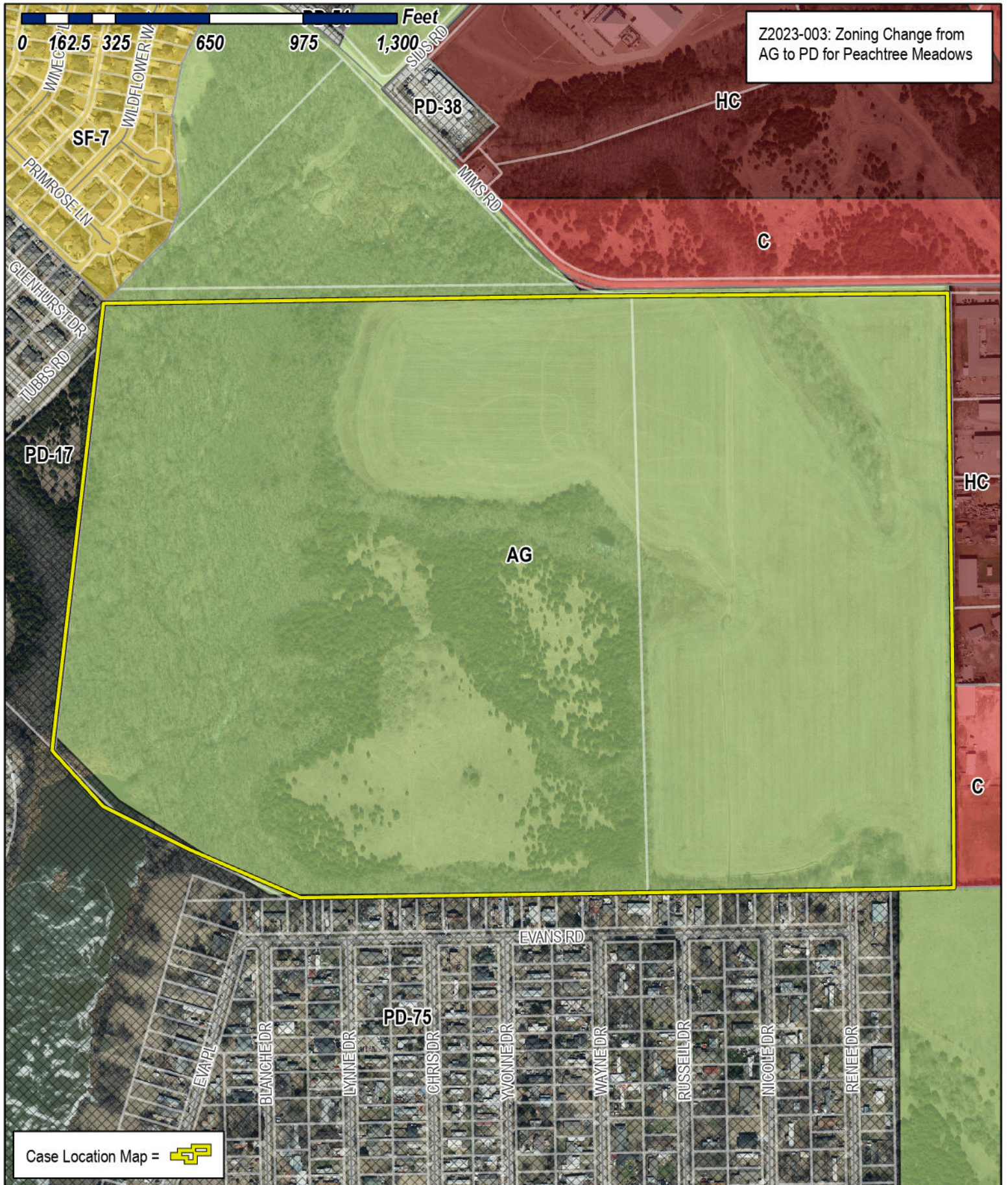
OWNER'S SIGNATURE

Virginia W. Petersen

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary K. Tobin





Z2023-003: Zoning Change from AG to PD for Peachtree Meadows

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

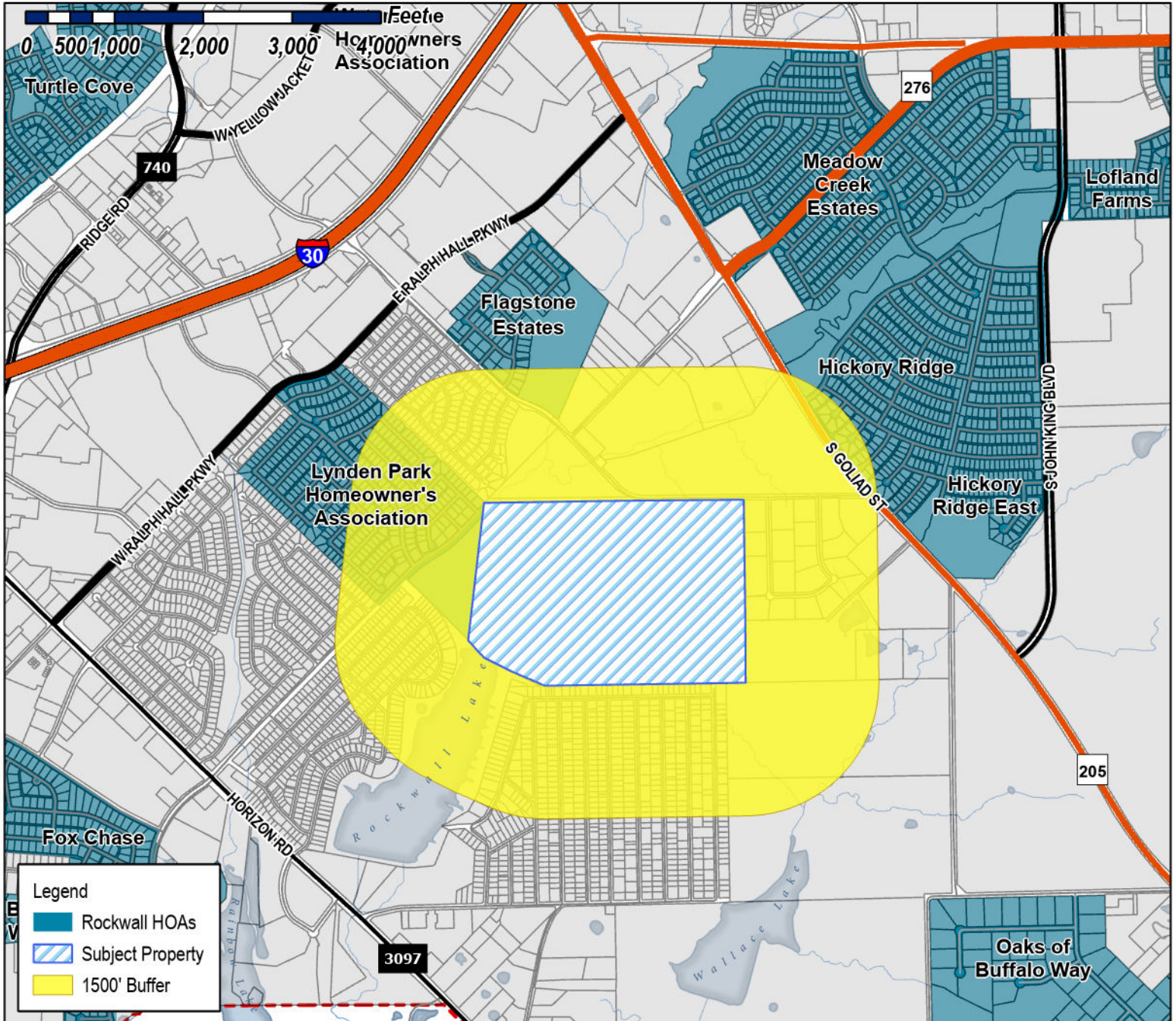




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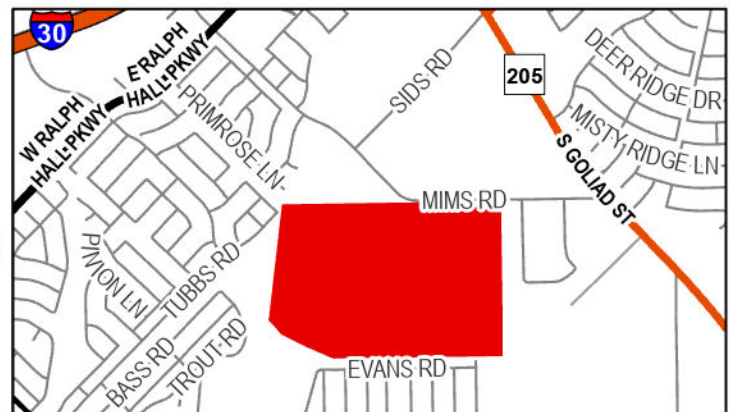
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Case Number: Z2023-003
Case Name: Zoning Change from AG to PD for Peachtree Meadows
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SW of Mims Road and S Goliad Street

Date Saved: 1/20/2023

For Questions on this Case Call (972) 771-7745



From: [Chapin, Sarah](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#)
Subject: Neighborhood Notification Program [Z2023-003]
Date: Thursday, January 26, 2023 12:24:12 PM
Attachments: [HOA Map \(01.20.2023\).pdf](#)
[Public Notice Z2023-003.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [January 27, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 14, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 21, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-003: Zoning Change for AG to a PD for SF-10 District Land Uses

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a [Zoning Change](#) from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

Thank you,

Sarah Chapin

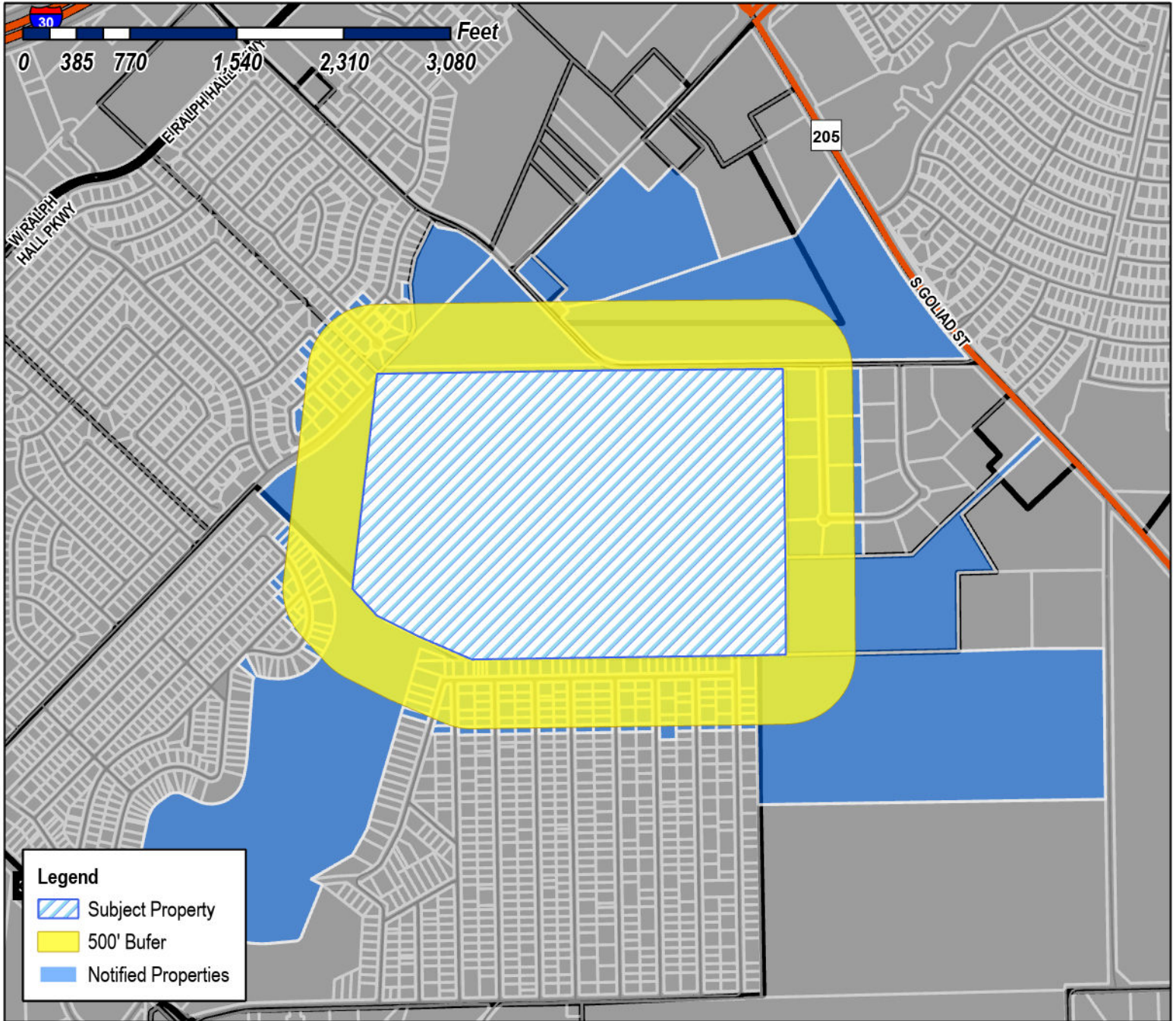
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568



City of Rockwall

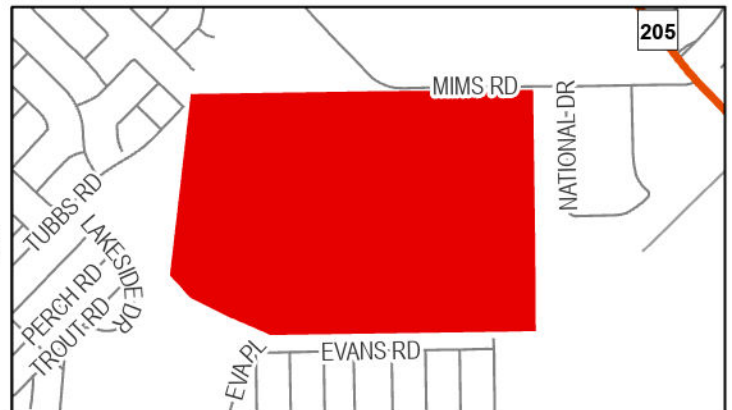
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Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2023-003
Case Name: Zoning Change from AG to PD for Peachtree Meadows
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SW of Mims Road and S Goliad Street

Date Saved: 1/20/2023
 For Questions on this Case Call (972) 771-7745



OCCUPANT
599 TROUT RD
ROCKWALL, TX 75032

FRANKS SHERI DENISE
401 FOREST TRCE
ROCKWALL, TX 75087

OCCUPANT
609 TROUT RD
ROCKWALL, TX 75032

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WILLIAM JANG AND STEFANIE TO- TRUSTEES
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LAKEWOOD, CA 90715

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ROCKWALL, TX 75032

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522 EVANS RD
ROCKWALL, TX 75032

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GUEVARA CRUZ & LIZ
522 EVANS DR
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OCCUPANT
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ANA MARIA GRANDOS
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ROCKWALL, TX 75032

CERVANTES HECTOR AND
ERIKA MOLINA
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

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ROCKWALL, TX 75032

TELL MARK ALLEN
M/R
, TX

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548 WAYNE DR
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH
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ROCKWALL, TX 75032

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552 RUSSELL DR
ROCKWALL, TX 75032

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GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

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505 EVANS RD
ROCKWALL, TX 75032

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513 RUSSELL DR
ROCKWALL, TX 75032

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461 YVONNE DR
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525 WAYNE DR
ROCKWALL, TX 75032

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499 WAYNE DR
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR
ROCKWALL, TX 75032

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612 TROUT RD
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CAMPBELL, TX 75422

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OCCUPANT
594 EVA
ROCKWALL, TX 75032

ALVARES FLORINA GUTIERREZ &
ENRIQUE RENE ORTIZ GARCIA
594 EVA PL
ROCKWALL, TX 75032

OCCUPANT
602 EVA
ROCKWALL, TX 75032

QUEVEDO LUIS & FELIZA
3326 BURNING TREE LN
GARLAND, TX 75042

DEJESUS SANTOS
616 EVA
ROCKWALL, TX 75032

OCCUPANT
582 EVA
ROCKWALL, TX 75032

GARCIA HUGO IVAN DEL AND
JUANA GUZMAN
582 EVA PLACE
ROCKWALL, TX 75032

FAVIAN IGNACIO
620 TROUT RD
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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494 LYNNE DR
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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479 CHRIS DR
ROCKWALL, TX 75032

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482 YVONNE DR
ROCKWALL, TX 75032

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441 LYNNE DRIVE
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR
ROCKWALL, TX 75032

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494 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
489 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
466 RENEE DR
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

OCCUPANT
412 EVANS RD
ROCKWALL, TX 75032

KOURINIAN MIKAEL
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TUJUNGA, CA 91042

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OCCUPANT
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MARIBEL GALLARDO
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OCCUPANT
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ROCKWALL, TX 75032

MOORE VIVIAN
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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728 PRIMROSE LN
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ROCKWALL, TX 75032

WINTERS KEVIN R & STELIANA V
745 GLENHURST DR
ROCKWALL, TX 75032

PIERCE SYLVIA JO
152 HAVEN RIDGE DR
ROCKWALL, TX 75032

BROWN GREGORY J II AND BARBARA J
112 WESTON CT
ROCKWALL, TX 75032

REYES GALIA OLAZABAL & FRANK ALVAREZ
MOYA
945 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
957 LAKESIDE DR
ROCKWALL, TX 75032

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8250 COLQUITT ROAD
TERRELL, TX 75160

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CHANDRIKA KONDUR
801 LAKESIDE DR
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CARMONA-SANCHEZ CARLOS FRANCISCO
532 BLANCHE DR
ROCKWALL, TX 75032

ARROYO REYES
499 RUSSELL DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

AGUILAR ROSALINA
507 BLANCHE DR
ROCKWALL, TX 75032

FLORES JAIME W & MARLENE CASTRO
520 LYNNE DR
ROCKWALL, TX 75032

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OCCUPANT
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PEOPLES MIKE
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OCCUPANT
433 NATIONAL DR
ROCKWALL, TX 75032

FARRAR SECURITY SYSTEMS INC
PO BOX 2199
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OCCUPANT
627 NATIONAL DR
ROCKWALL, TX 75032

D & A REAL ESTATE PARTNERS LTD
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ROCKWALL, TX 75087

EISENSTEIN JENNIPHER D AND MICHAEL J
157 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
708 GLENHURST DR
ROCKWALL, TX 75032

CHEN CHAI
825 HARLAN CT
MURPHY, TX 75094

OCCUPANT
118 NATIONAL DR
ROCKWALL, TX 75032

SCOTTFREE INVESTMENTS LP
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ROCKWALL, TX 75087

OCCUPANT
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OCCUPANT
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ROCKWALL, TX 75032

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309 ROOKERY CT
MARCO ISLAND, FL 34145

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126 WESTON CT
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RONALD J BOTT AND EILEEN P BOTT-
COTRUSTEES
12172 GAY RIO DRIVE
LAKESIDE, CA 92040

STANCIOIU MARIAN & OANA
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SCARNATI TAMMY AND JAMES T JR
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ROCKWALL, TX 75032

OCCUPANT
449 NATIONAL DR
ROCKWALL, TX 75032

FRAUSTO MICKEY & LISA L
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ROCKWALL, TX 75032

BUSH BLAKE & LARRY
740 PRIMROSE LN
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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GROVE, OK 74344

BEASLEY MOLLIE & MEAGAN NUGENT
727 BLUEBELL CT
ROCKWALL, TX 75032

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HEFFLER MICHAEL A
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ROCKWALL, TX 75032

HOLLAND JON E
747 PRIMROSE LN
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ROCKWALL, TX 75032

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738 GLENHURST DR
ROCKWALL, TX 75032

SOAITA MARIUS & DANIELA M
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ROCKWALL, TX 75032

TATEVOSIAN BARKEV S & GUENDOLI
726 GLENHURST DR
ROCKWALL, TX 75032

OCCUPANT
720 GLENHURST DR
ROCKWALL, TX 75032

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MANSFIELD, TX 76063

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ROCKWALL, TX 75032

ROTEN STEVEN NEIL
141 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
145 WESTON CT
ROCKWALL, TX 75032

CSH PROPERTY ONE LLC
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

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149 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
153 WESTON CT
ROCKWALL, TX 75032

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SCOTTSDALE, AZ 85258

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ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
150 EVANS RD
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
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OCCUPANT
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848 SMITH ACRES DR
ROYSE CITY, TX 75189

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS RD
ROCKWALL, TX 75032

BALDERAS GREGORY
310 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
302 EVANS RD
ROCKWALL, TX 75032

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GALENA PARK, TX 77547

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RAMIRES RAUL
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ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

GARCIA JUAN
519 BLANCHE DR
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OCCUPANT
515 RENEE DR
ROCKWALL, TX 75032

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QUINLAN, TX 75474

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376 EVANS RD
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PERALES OSCAR F AND DIANA A
106 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
114 EVANS RD
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
MIMS RD
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VICMAR I LTD &
E LOFLAND
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OCCUPANT
LOFLAND CIR
ROCKWALL, TX 75032

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1 CARMARTHEN CT
DALLAS, TX 75225

OCCUPANT
2922 S HWY205
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC
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RODRIGUEZ ROMAN
220 EVANS RD
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BAKER LATONIA
840 LAKESIDE DR
ROCKWALL, TX 75032

TUAZON LINCOLN AND DIVINA
848 LAKESIDE DR
ROCKWALL, TX 75032

PETREY MELODIE A
806 LAKESIDE DR
ROCKWALL, TX 75032

DEL ROSARIO VICTOR & LETICIA
813 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
905 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

OCCUPANT
891 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
855 LAKESIDE DR
ROCKWALL, TX 75032

TURNER DANNY AND NANCY
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ROCKWALL, TX 75032

OCCUPANT
877 LAKESDIE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
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BOLEN LORNA L &
ROSALIO O SANCHEZ
861 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
869 LAKESIDE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
610 ARCADIA WAY
ROCKWALL, TX 75087

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OCCUPANT
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OCCUPANT
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MARICELA ARREDONDO
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ROCKWALL, TX 75032

OCCUPANT
510 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ CARLOS FRANSISCO CARMONA
532 BLANCHE DRIVE
ROCKWALL, TX 75032

OCCUPANT
125 NATIONAL DR
ROCKWALL, TX 75032

RACK HOLDINGS LLC- 125 NATIONAL SERIES
3021 RIDGE ROAD SUITE A-131
ROCKWALL, TX 75032

BOWERS TAMMY GAIL
630 TROUT RD
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Exhibit 'D':
Density and Development Standards

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, the following uses are permitted on the *Subject Property*:
- (a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permit *by-right* or by Specific Use Permit (SUP) for the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

- (2) Residential Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units (%)</i>
A	82' x 120'	9,000 SF	32	11%
B	72' x 120'	8,400 SF	98	34%
C	62' x 120'	7,200 SF	105	36%
D	52' x 120'	6,000 SF	57	19%
<i>Maximum Permitted Units:</i>			292	100.00%

- (3) Variation in Residential Lot Composition. The allocation of single-family residential lot types may deviate from that in Subsection (2), *Residential Lot Composition and Layout*, provided that the maximum allowed total dwelling units does not exceed 292 units
- (4) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:
- (a) Residential. Except as modified by this Planned Development District ordinance, residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 2.266 dwelling units per gross acre of land; however, in no case should the proposed development exceed 292 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

<i>Lot Type (see Concept Plan) ►</i>	A	B	C	D
<i>Minimum Lot Width ⁽¹⁾</i>	82'	72"	62'	52'
<i>Minimum Lot Depth</i>	120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>	9,000	8,400	7,200	6,000

**Exhibit 'D':
Density and Development Standards**

<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	15'	15'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500	2,200	2,000	1,700
<i>Maximum Lot Coverage</i>	65%	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: *J-Swing or Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

(5) *Building Standards for Residential.* All residential development shall adhere to the following building standards:

- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 80% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitious fiberboard in excess of 80% of the masonry requirement on a case-by-case basis.

Examples of Cementitious Fiberboard



Exhibit 'D':
Density and Development Standards

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. A total of 19.59% or 57 of 292 of all garages may be oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining 80.31% or 235 of all garages shall be oriented in a *J-Swing (or Traditional Swing)* configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (*i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent*), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 1*.

... Continued on Next Page

Figure 1. Examples of Enhanced Wood Garage Door

Exhibit 'D':
Density and Development Standards



- (6) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see *Figures 3 & 4* below).

Table 3: Anti-Monotony Matrix

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	82' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	62' x 120'	(1), (2), (3), (4)
D	52' x 120'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-549 or Wylie Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.

Exhibit 'D':
Density and Development Standards

- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



- (7) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
 - (c) Wrought Iron/Tubular Steel. Lot lines located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wood fence shall be installed on these lots where there is a shared property line with another lot and along the front returns of these lots

Exhibit 'D':
Density and Development Standards

where there is a shared property line with another lot. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
 - (f) Fence in Easements. No fencing shall be constructed in or across City of Rockwall's easements.
- (8) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (Eastern). A minimum of a 50-foot landscape buffer shall be provided along existing commercial property along the Eastern property line. and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 50-foot landscape buffer.
 - (2) Landscape Buffer and Sidewalks (Southern Boundary). A minimum of a 50-foot landscape buffer shall be provided along the southern boundary for the residential property and shall remain native. The native tree line shall remain undisturbed and serve as the vegetation screening along this boundary.
 - (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees

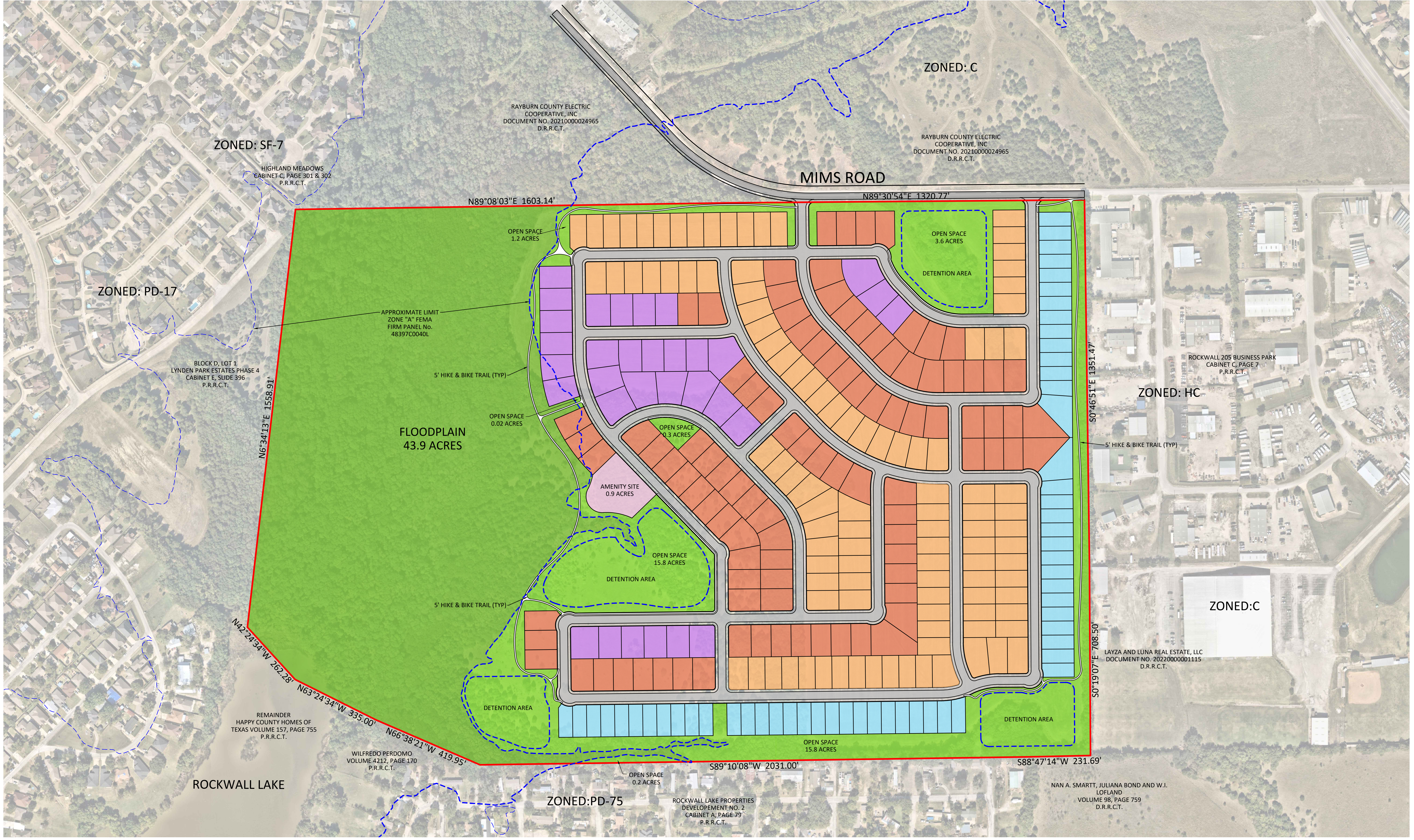
Exhibit 'D':
Density and Development Standards

shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

- (d) *Residential Lot Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (9) *Street*. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (10) *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (11) *Sidewalks*. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (12) *Buried Utilities*. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (13) *Open Space/Public Park*. The development shall consist of a minimum of 20% open space (*or a minimum of 28.1-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (14) *Trails*. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance, and shall provide connectivity throughout the development .

Exhibit 'D':
Density and Development Standards

- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



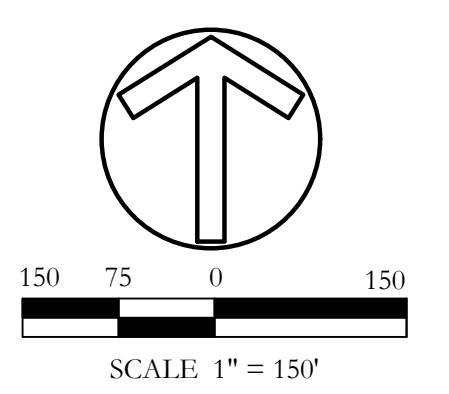
LOT NAME	A	B	C	D
LOT COUNT	32	98	105	57
MINIMUM LOT AREA (SF)	9,840	8,640	7,440	6,240
MINIMUM LOT WIDTH (FT)	82	72	62	52
MINIMUM LOT DEPTH (FT)	120	120	120	120
FRONT BUILDING SETBACK (FT)	20	20	20	20
REAR BUILDING SETBACK (FT)	20	20	20	20
SIDE BUILDING SETBACK INTERIOR (FT)	6	6	6	6
SIDE BUILDING SETBACK CORNER (FT)	15	15	15	15
MAXIMUM BUILDING HEIGHT	35 FEET/ 2.5 STORIES			
MAXIMUM LOT COVERAGE (%)	45%	45%	65%	65%
TYPICAL PAD SIZE*	70'X80'	60'X80'	50'X80'	42'X80'

*MEASURED AT FRONT BUILDING SETBACK

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LAND USE	AREA (AC)	PERCENT OF TOTAL
RESIDENTIAL	57.9	41.2%
PERIMETER ROAD ROW	5.5	3.9%
OPEN SPACE		
Private Open Space	21.1	15.0%
Amenity Center	0.9	0.6%
Floodplain	43.9	31.2%
OPEN SPACE TOTAL	65.9	46.9%
TOTAL ACREAGE	140.5	100.0%

Open Space Required (20%) = 140.5 x 20% = 28.1 acres
 Open Space Provided (Including 1/2 of floodplain) = 43.95



ZONING CASE # Z/2023-XXX

CITY OF ROCKWALL

ORDINANCE NO. **23-XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT **XX** (PD-**XX**) FOR SINGLE FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 140.50-ACRE TRACT OF LAND IDENTIFIED AS TRACT 5 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128 AND TRACT 3 OF THE G. WELLS SURVEY, ABSTRACT NO. 219, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District land uses, on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto

and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property* -- prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* of this ordinance -- shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development on the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) *Master Parks and Open Space Plan*
 - (2) *Master Plat*
 - (3) *Preliminary Plat*
 - (4) *PD Site Plan*
 - (5) *Final Plat*
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF MARCH, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A':
Legal Description

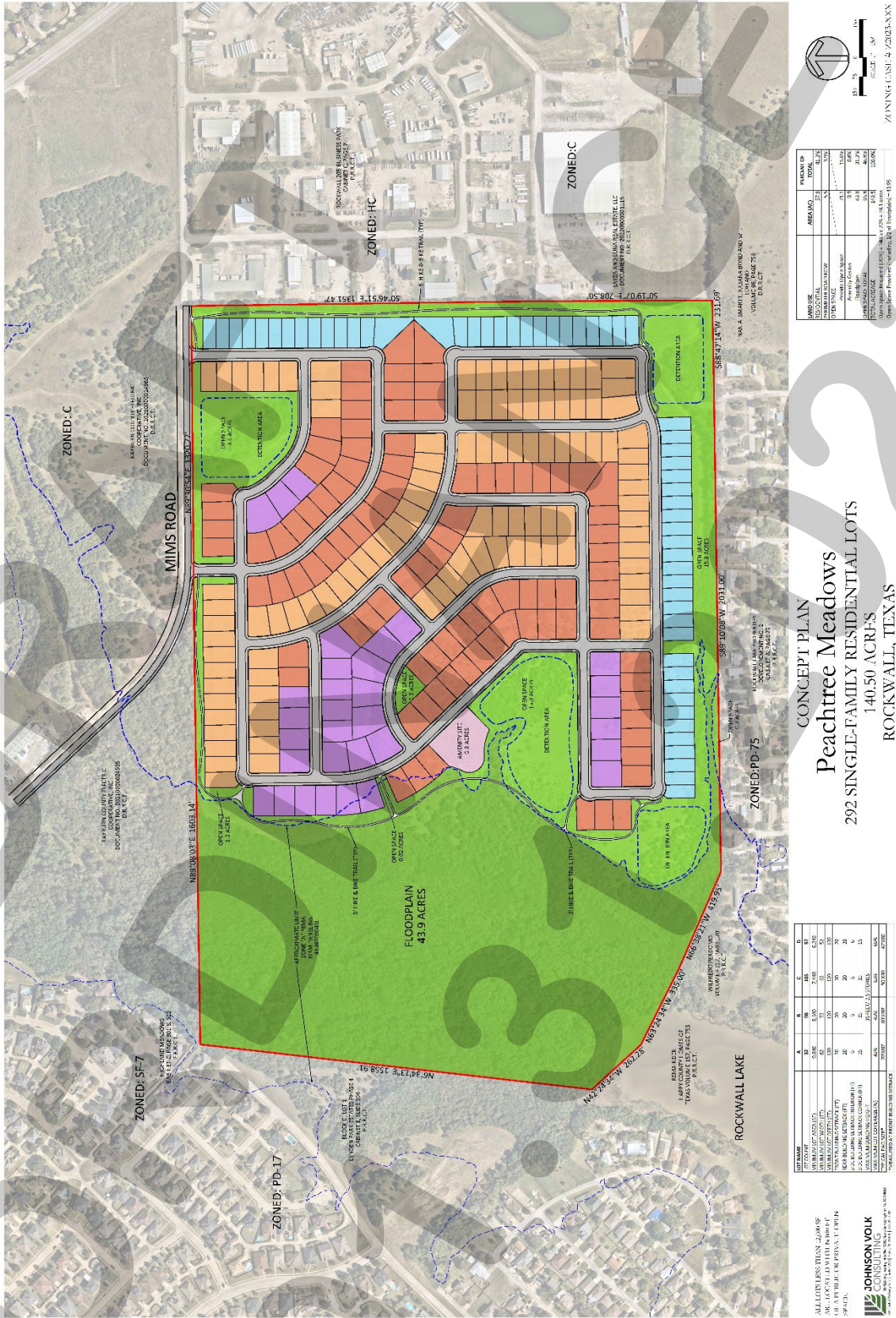
LEGAL DESCRIPTION

DRAFT
ORDINANCE
01.31.2023

SURVEY

DRAFT
ORDINANCE
01.31.2023

**Exhibit 'C':
Concept Plan**



LAND USE	AREA (AC)	PERCENT OF TOTAL
RESIDENTIAL SINGLE-FAMILY	100.00	70.43%
OPEN SPACE	43.90	31.07%
TOTAL	143.90	100.00%

LOT TYPE	NUMBER OF LOTS	AREA (AC)	PERCENT OF TOTAL
Single-Family Residential	100	100.00	70.43%
Open Space	1	43.90	31.07%
TOTAL	101	143.90	100.00%

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LOT NUMBER	A	B	C	D
101	5.00	5.00	7.00	6.00
102	10.00	10.00	10.00	10.00
103	10.00	10.00	10.00	10.00
104	10.00	10.00	10.00	10.00
105	10.00	10.00	10.00	10.00
106	10.00	10.00	10.00	10.00
107	10.00	10.00	10.00	10.00
108	10.00	10.00	10.00	10.00
109	10.00	10.00	10.00	10.00
110	10.00	10.00	10.00	10.00
111	10.00	10.00	10.00	10.00
112	10.00	10.00	10.00	10.00
113	10.00	10.00	10.00	10.00
114	10.00	10.00	10.00	10.00
115	10.00	10.00	10.00	10.00
116	10.00	10.00	10.00	10.00
117	10.00	10.00	10.00	10.00
118	10.00	10.00	10.00	10.00
119	10.00	10.00	10.00	10.00
120	10.00	10.00	10.00	10.00
121	10.00	10.00	10.00	10.00
122	10.00	10.00	10.00	10.00
123	10.00	10.00	10.00	10.00
124	10.00	10.00	10.00	10.00
125	10.00	10.00	10.00	10.00
126	10.00	10.00	10.00	10.00
127	10.00	10.00	10.00	10.00
128	10.00	10.00	10.00	10.00
129	10.00	10.00	10.00	10.00
130	10.00	10.00	10.00	10.00
131	10.00	10.00	10.00	10.00
132	10.00	10.00	10.00	10.00
133	10.00	10.00	10.00	10.00
134	10.00	10.00	10.00	10.00
135	10.00	10.00	10.00	10.00
136	10.00	10.00	10.00	10.00
137	10.00	10.00	10.00	10.00
138	10.00	10.00	10.00	10.00
139	10.00	10.00	10.00	10.00
140	10.00	10.00	10.00	10.00
141	10.00	10.00	10.00	10.00
142	10.00	10.00	10.00	10.00
143	10.00	10.00	10.00	10.00
144	10.00	10.00	10.00	10.00
145	10.00	10.00	10.00	10.00
146	10.00	10.00	10.00	10.00
147	10.00	10.00	10.00	10.00
148	10.00	10.00	10.00	10.00
149	10.00	10.00	10.00	10.00
150	10.00	10.00	10.00	10.00
151	10.00	10.00	10.00	10.00
152	10.00	10.00	10.00	10.00
153	10.00	10.00	10.00	10.00
154	10.00	10.00	10.00	10.00
155	10.00	10.00	10.00	10.00
156	10.00	10.00	10.00	10.00
157	10.00	10.00	10.00	10.00
158	10.00	10.00	10.00	10.00
159	10.00	10.00	10.00	10.00
160	10.00	10.00	10.00	10.00
161	10.00	10.00	10.00	10.00
162	10.00	10.00	10.00	10.00
163	10.00	10.00	10.00	10.00
164	10.00	10.00	10.00	10.00
165	10.00	10.00	10.00	10.00
166	10.00	10.00	10.00	10.00
167	10.00	10.00	10.00	10.00
168	10.00	10.00	10.00	10.00
169	10.00	10.00	10.00	10.00
170	10.00	10.00	10.00	10.00
171	10.00	10.00	10.00	10.00
172	10.00	10.00	10.00	10.00
173	10.00	10.00	10.00	10.00
174	10.00	10.00	10.00	10.00
175	10.00	10.00	10.00	10.00
176	10.00	10.00	10.00	10.00
177	10.00	10.00	10.00	10.00
178	10.00	10.00	10.00	10.00
179	10.00	10.00	10.00	10.00
180	10.00	10.00	10.00	10.00
181	10.00	10.00	10.00	10.00
182	10.00	10.00	10.00	10.00
183	10.00	10.00	10.00	10.00
184	10.00	10.00	10.00	10.00
185	10.00	10.00	10.00	10.00
186	10.00	10.00	10.00	10.00
187	10.00	10.00	10.00	10.00
188	10.00	10.00	10.00	10.00
189	10.00	10.00	10.00	10.00
190	10.00	10.00	10.00	10.00
191	10.00	10.00	10.00	10.00
192	10.00	10.00	10.00	10.00
193	10.00	10.00	10.00	10.00
194	10.00	10.00	10.00	10.00
195	10.00	10.00	10.00	10.00
196	10.00	10.00	10.00	10.00
197	10.00	10.00	10.00	10.00
198	10.00	10.00	10.00	10.00
199	10.00	10.00	10.00	10.00
200	10.00	10.00	10.00	10.00

**Exhibit 'D':
Density and Development Standards**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.08 dwelling units per gross acre of land; however, in no case should the proposed development exceed 292 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	A	B	C	D
<i>Minimum Lot Width</i> ⁽¹⁾	82'	72'	62'	52'
<i>Minimum Lot Depth</i>	120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>	9,000 SF	8,400 SF	7,200 SF	6,000 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'	25'
<i>Minimum Side Yard Setback</i>	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	20'	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i> ⁽⁷⁾	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500 SF	2,200 SF	2,200 SF	2,200 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

Exhibit 'D':
Density and Development Standards

(4) **Building Standards.** All development shall adhere to the following building standards:

- (a) **Masonry Requirement.** The minimum masonry requirement for the exterior façade of all buildings shall be 90.00% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see *examples below*) shall be considered masonry and may be used on 20.00% of the total exterior façade of the home; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard for architectural purposes (*as seen below in Figures 1 & 2*) in excess of 80.00% total exterior façade of the home on a *case-by-case* basis.

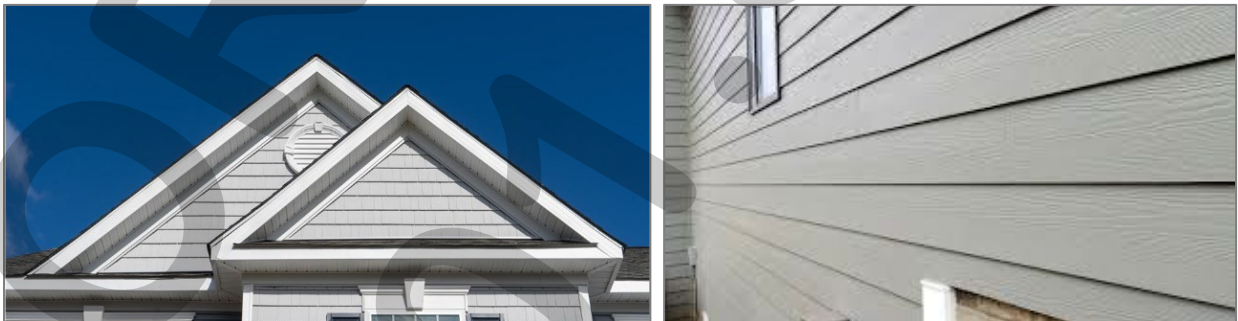
FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



**Exhibit 'D':
Density and Development Standards**

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. All of the Type 'D' lots (*being a total of 19.59% or 57 of the 292 lots*) may have garages that are oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining Type 'A', 'B' & 'C' lots (*being 80.31% or 235 lots*) shall have garages that are oriented in a *J-Swing (or Traditional Swing)* configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (*i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent*), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 4*.

Figure 4. Examples of Enhanced Wood Garage Door



- (5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (*for spacing requirements see Figures 5 & 6 below*).

Table 3: Anti-Monotony Matrix

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	82' x 120'	(1), (2), (3), (4), (5)
B	72' x 120'	(1), (2), (3), (4), (5)
C	62' x 120'	(1), (2), (3), (4), (5)
D	52' x 120'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

Exhibit 'D':
Density and Development Standards

- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces and Mims Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:
 - (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
 - (5) Garage Orientation
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 5: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 6: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



Exhibit 'D':
Density and Development Standards

- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
 - (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence; however, all *Type 'D'* lots (*i.e. the lots directly adjacent to the eastern and southern boundaries of the Subject Property*) shall be permitted to have wood fences in accordance with the requirements of this ordinance regardless of adjacency. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 - (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
 - (f) Fence in Easements. No fencing shall be constructed in or across the City of Rockwall's easements.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of mature shrubs (*i.e. a minimum of seven [7] gallons in size*) adjacent to the wrought iron/tubular steel fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).

Exhibit 'D':
Density and Development Standards

- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (1) Landscape Buffer and Sidewalks (Mims Road). A minimum of a 30-foot landscape buffer shall be provided along Mims Road (*outside of and beyond the required 20-foot utility easement required to be provided adjacent to this roadway*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer. In addition, two (2) increased landscape areas shall be provided, adjacent to the lots that side to Mims Road. The purpose of these areas is to screen the permitted wood fencing that will be adjacent to Mims Road. These increased landscape areas shall incorporate accent trees and large shrubs and will be reviewed for compliance to the stated intent at the time of *PD Site Plan*.
- (2) Landscape Buffer (Adjacent to Western Property Boundary). A minimum of a 50-landscape buffer shall be provided along the *Type 'D'* lots adjacent to the non-residential properties along the western property boundary, and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.
- (3) Tree Preservation Easement (Adjacent to the Southern Property Boundary). A minimum of a 50-foot tree preservation easement shall be provided along the southern property boundary as depicted in *Exhibit 'C'* of this ordinance. This area shall be established to preserve the existing natural tree line and vegetation, which shall remain undisturbed and serve as screening between the proposed development and the property adjacent to this southern property line.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines that are less than ten (10) inches and ten (10) feet from public water, sanitary sewer and storm lines that are greater than ten (10) inches. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).

Exhibit 'D':
Density and Development Standards

- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Streets. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space/Public Park. The development shall consist of a minimum of 20% open space (*or a minimum of 28.10-acres -- as calculated using the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (13) Amenity Site. An amenity site shall generally be located in the same area as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity center shall be approved with the *PD Site Plan*.
- (14) Trails. A minimum of an eight (8) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.

Exhibit 'D':
Density and Development Standards

- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

DRAFT
ORDINANCE
01.31.2023



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 14, 2023
APPLICANT: Ryan Joyce; *Michael Joyce Properties*
CASE NUMBER: Z2023-003; *Zoning Change (AG to PD) for the Peachtree Meadows Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on December 20, 1999 through the adoption of *Ordinance No. 99-33*. At the time of annexation, the subject property was zoned Agricultural (AG) District. This designation has not changed and the subject property has remained vacant since annexation.

PURPOSE

On January 20, 2023 the applicant -- *Ryan Joyce of Michael Joyce Properties* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 292-lot single-family, residential subdivision that will consist of four (4) lot sizes (*i.e. [A] 32, 82' x 120' lots; [B] 98, 72' x 120' lots; [C] 105, 62' x 120' lots; and [D] 57, 52' x 120' lots*).

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Mims Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 58.72-acre tract of land (*i.e. Tract 3 of the W. H. Barnes Survey, Abstract No. 26*) that is zoned Heavy Commercial (HC) District.

South: Directly south of the subject property is Phase 2 of the Lake Rockwall Estates Subdivision, which consists of 156.18-acres and was established on June 15, 1956. This subdivision is zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

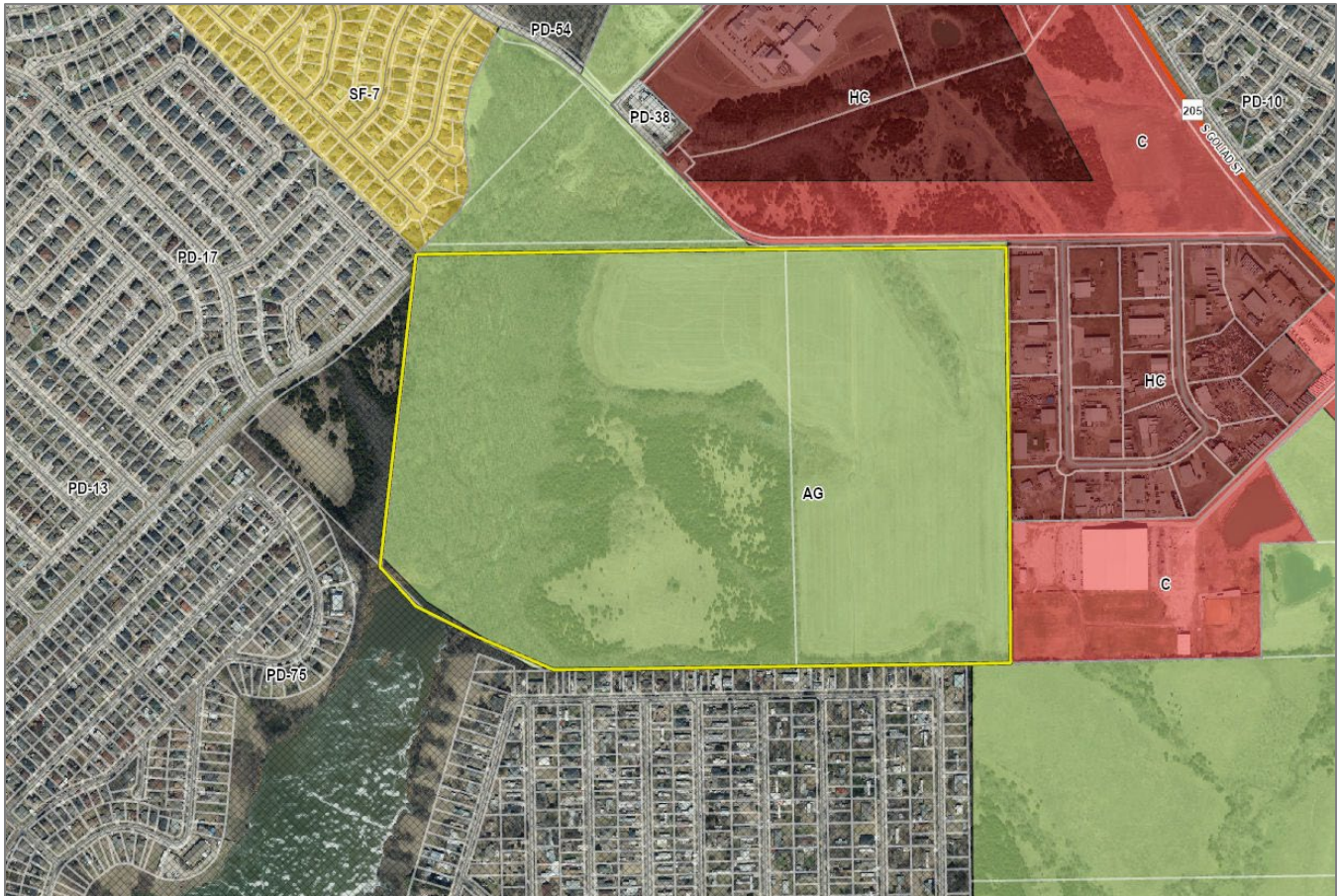
East: Directly east of the subject property are multiple parcels of land with industrial land uses that are zoned Heavy Commercial (HC) District. Also, east of the subject property is a 23.27-acre tract of land (*i.e. Tract 2-28 of the J. R. Johnson Survey, Abstract No. 128*) that currently has a *Recreation Facility (i.e. the RISE)* situated on it. This property is zoned Commercial (C) District. Beyond these land uses is S. Goliad Street [*SH-205*], which is identified as a P6D

(i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Phase 4 of the Lynden Park Estates Subdivision, which consists of 84 single-family residential lots on 34.90-acres. This phase of the Lynden Park Estates Subdivision was established on January 5, 2004. Beyond this is Phase 3 of the Lynden Park Estates Subdivision, which consists of 71 single-family residential lots on 18.13-acres. This phase of the Lynden Park Estates Subdivision was established on December 28, 2001. Both of these phases of the subdivision are zoned Planned Development District 17 (PD-17) for single-detached residential land uses.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 140.50-acre subject property will consist of 292 residential lots. These lots will consist of four (4) lot types: [1] 32, Type 'A' lots that are a minimum of 82' x 120' (or 9,000 SF), [2] 98, Type 'B' lots that are a minimum of 72' x 120' (or 8,400 SF), [3] 105, Type 'C' lots that are a minimum of 62' x 120' (or 7,200 SF), and [4] 57, Type 'D' lots that are a minimum of 52' x 120' (or 6,000 SF). This translates to a gross density of 2.08 dwelling units per gross acre (i.e. 292 lots/140.50-acres = 2.078 dwelling units per gross acre). The minimum dwelling unit size (i.e. air-condition space) will range from 2,000 SF to 2,500 SF. With regard to the proposed housing product, staff has incorporated anti-monotony and masonry standards into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 90% masonry materials be used on the exterior façade, and be subject to the City's upgraded anti-monotony standards; however, the Planned Development District ordinance will also incorporate provisions that allow up to 80% cementitious fiberboard utilized in a horizontal lap-siding, board-and-batten siding, or decorative pattern to allow a variation of materials throughout the subdivision; however, the approval of the ability to use over 20% cementitious materials will be an administrative approval from the Director

of Planning and Zoning. The following are some of the examples provided by the applicant showing horizontal lap-siding, *board-and-batten* siding, or decorative patterns that are contained within the Planned Development District ordinance:

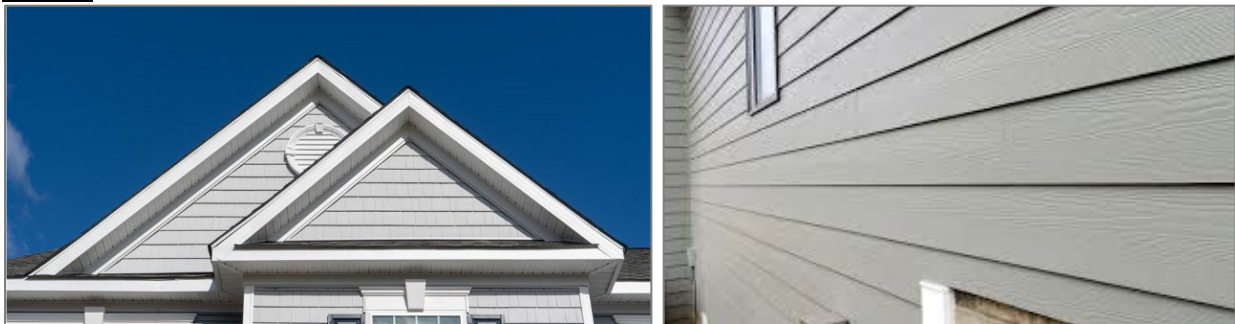
FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



Looking at the garage orientation proposed for the development, the applicant is requesting to allow all of the *Type 'D'* lots (*i.e. the 52' x 120' lots*) or a total of 19.59% of the 292 lots (*equating to a total of 57 lots*) to be orientated toward the street in a *Front Entry* garage configuration; however, the applicant is proposing to require an additional five (5) foot setback from the front façade of the home for *Front Entry* garage configurations, which will create a 25-foot separation from the garage to the front property line. The applicant has stated that this is necessary due to the inability to provide a *J-Swing* or *Traditional Swing* garage orientation on a 52' x 120' lot. In addition, the applicant has stated that setting the garage back 20-feet behind the front façade of the home would shrink the building pad, and is making the request for *Front Entry* garages based on this rationale. The remaining garage doors will be oriented in a *J-Swing* (*or a Traditional Swing*) configuration or *Recessed Entry* configuration (*i.e. where the garage door is situated a minimum of 20-feet behind the front façade*). In addition, the applicant is proposing to incorporate upgraded finishes on all garage doors that include: [1] coach lighting, [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways that are constructed with ornamental stamped concrete brick pavers, stained finish, or salt finished. The following are some of the examples of the upgrades required in the Planned Development District ordinance:

FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS



CARRIAGE HARDWARE



CEDAR CLADDING



ORNAMENTAL PAVING

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 10 (SF-10) District unless otherwise specified in the Planned Development District ordinance. The

following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	A	B	C	D
<i>Minimum Lot Width (1)</i>	82'	72'	62'	52'
<i>Minimum Lot Depth</i>	120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>	9,000 SF	8,400 SF	7,200 SF	6,000 SF
<i>Minimum Front Yard Setback (2), (5) & (6)</i>	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street) (2) & (5)</i>	20'	20'	20'	20'
<i>Minimum Length of Driveway Pavement (7)</i>	20'	20'	20'	20'
<i>Maximum Height (3)</i>	35'	35'	35'	35'
<i>Minimum Rear Yard Setback (4)</i>	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500 SF	2,200 SF	2,200 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%	65%

General Notes:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- 4: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

The proposed concept plan shows that the development will consist of a total of 65.90-acres of open space that includes a 0.90-acre amenity site, 21.10-acres of private open space, and 43.90-acres of floodplain. This translates to an open space percentage of 31.28% (*i.e.* 21.10-acres of private open space + 0.90-acre amenity site + [43.90-acres of floodplain/2]/140.50-acres gross = 43.95-acres or 31.2811%). In addition, the applicant has incorporated a trail system on the concept plan that shows an eight (8) foot trail will be provided throughout the proposed subdivision. These trails will also provide access into the *Recreational Facility (i.e. the RISE)*, which is situated east of the proposed subdivision.

INFRASTRUCTURE

Based on the applicant’s concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) **Roadways.** According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan Mims Road is required to be a M4D (*i.e. major collector, four [4] lane divided roadway*), which requires a 65-foot right-of-way with a 45-foot *back-to-back* concrete street; however, the new unadopted Master Thoroughfare Plan shows this road being decreased to a *Minor Collector*, which requires a 60-foot right-of-way with a 41-foot *back-to-back* concrete street. Based on this, the applicant will be required to dedicate a minimum of 30-feet of right-of-way from the centerline of Mims

Road and construct a minimum of a 24-foot concrete road section along the entire adjacency of the subject property. In addition, the applicant will be required to construct a minimum of a five (5) foot sidewalk along Mims Road. Staff is also requiring a Traffic Impact Analysis (TIA) to be submitted with this request.

- (2) Water. The applicant will be required to construct a minimum of an eight (8) inch waterline -- *that will be looped through the subject property* --, and a 12-inch waterline along the eastern property line from the northern property line to the southern property line. The applicant will also need to dedicate a 20-foot wide waterline easement along a portion of Mims Road in accordance with the Master Water Plan contained in the OURHometown Vision 2040 Comprehensive Plan. An *Infrastructure Study* will be required to determine if the applicant will be required to construct the 20-inch waterline that is required within this easement, and any additional offsite water improvements that will be necessary to adequately serve the development.
- (3) Wastewater. The applicant will be required to dedicate a 50-foot wastewater easement along the western property line in accordance with the Master Wastewater Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This easement will be used to locate a *future* 30-inch wastewater line. In addition, the applicant will also be required to pay a \$401.89 per acre pro-rata fee for previous wastewater improvements that benefit the subject property. An *Infrastructure Study* will be required to determine if any offsite wastewater improvements will be necessary to adequately serve the development.
- (4) Drainage. Detention will be required and sized per the required detention study, which will be required to utilize the *Unit Hydrograph Method*. The applicant will also be required to perform a *Flood Study* and a *Wetlands and Waters of the United States (WOTUS) Study* for the existing ponds, creeks, and floodplain on the subject property. The applicant will also be required to get a Letter of Map Revision (LOMR) from the Federal Emergency Management Agency (FEMA).

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department's *Standards of Design and Construction Manual* stipulate that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 16; Section 2.11 of the *Standards of Design and Construction Manual*]
- (2) Garage Configuration. Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a *J-Swing [or traditional swing]* garage where the garage door is perpendicular to the street."

Applicant's Response to (1) & (2): In lieu of providing the required alleyways, the applicant is proposing to provide 80.31% *J-Swing (or Traditional Swing)* or *Recessed Front Entry* garages (*i.e. where the garage is setback a minimum of 20-feet behind the front façade of the home*) and 19.59% *Front Entry* garages with a five (5) foot recess of the garage door from the front façade of the single-family home. This will create a minimum of 25-feet from the front property line and the garage. As a compensatory measure the applicant is proposing to provide additional architectural elements into all garage configurations: [A] divided garage bay doors (*i.e. for two [2] car garages two [2] individual entrances and for three [3] car garages a standard two [2] bay garage door with a single bay garage door adjacent*), [B] carriage style hardware and lighting, [C] decorative wood doors or wood overlays on insulated metal doors, and [D] driveways constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished.

- (3) Relation to Adjoining Streets. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(t)he system of streets designed for the development, except in unusual cases, must connect with streets already dedicated in adjacent developments." [Page 115; Section 2.09 of the *Standards of Design and Construction Manual*]

Applicant's Response to (3): Currently, the right-of-way for Renee Drive abuts the southern property line of the subject property; however, the applicant's concept plan does not show the proposed street network connecting to this public right-of-way. Based on this, staff requested that the subdivision connect to and extend Renee Drive through the proposed subdivision. The applicant has stated that they would like to keep this development separate from the existing subdivision to the south of the subject property (i.e. *Phase 2 of the Lake Rockwall Estates Subdivision*). As a compensatory measure the applicant has proposed extending a 24-foot emergency access lane -- which will have removal bollards at either end -- to [1] provide emergency access and [2] to provide pedestrian connectivity between the two (2) residential developments. Since this is a requirement of the Engineering Department's *Standards of Design and Construction Manual*, this aspect of this request will require discretionary approval from the City Council.

- (4) Fences for New Subdivisions. According to Subsection 08.03, *Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(t)ransparent fencing is required adjacent to all perimeter roadways (i.e. *along the perimeter of the subdivision*), abutting open spaces, greenbelts, and parks."

Applicant's Response to (4): The applicant is requesting to allow wood *board-on-board* fencing for all of the *Type 'D'* lots (i.e. *the 52' x 120' lots*). These lots are located along the southern and eastern boundaries of the subject property; however, all of the lots back to open space. The applicant has stated that the wood fences are being requested to screen the adjacent land uses along these boundaries (i.e. *Phase 2 of the Rockwall Estates Subdivision and the industrial properties adjacent to National Drive*). As a compensatory measure the applicant has proposed to incorporate a 30-foot tree preservation easement along the southern property boundary, which will preserve several large clusters of trees on the subject property. In addition, -- *and in accordance with the Unified Development Code (UDC)* -- staff has included requirements in the Planned Development District ordinance that will require a 50-foot landscape buffer, berm, and two (2) staggered rows of cedar trees along the eastern boundary of the subject property. The purpose of this requirement is to further provide screening of the non-residential land uses from the proposed residential land uses.

- (5) Open Space. According to Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC), "(i)n a residential Planned Development (PD) District, all lots less than 12,000 SF shall be located within 800-feet of a neighborhood-oriented park or open space (i.e. *private or public*). All open space areas shall be landscaped and serve as a visual amenity and/or gathering place for socializing with neighbors."

Applicant's Response to (5): The applicant has failed to submit an exhibit showing conformance with this requirement or address this comment. Based on this, staff has included a conditional of approval for this case requiring that all lots less than 12,000 SF be located within 800-feet of a public or private open space.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Southwest Residential District* and is designated for *Medium Density Residential* land uses. The plan defines *Medium Density Residential* land uses as "... residential subdivisions that are greater than two (2) and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ...". In this case, the applicant is proposing a total density of 2.08 dwelling units per acre. The proposed density is more characteristic of the *Low Density Residential* land use designation, which is defined as "... residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ...". In addition, the applicant is proposing to incorporate an eight (8) foot trail system, a 0.90-acre amenity site, and 31.28% open space (*which exceeds the required open space by 11.28%*). Based on this, the applicant's request is in substantial conformance with the *Medium Density Residential* designation indicated for the subject property.

With regard to the policies and goals for residential development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these policies and goals (e.g. *minimum of six [6] side yard setbacks on all lot types, etc.*); however, staff did identify the following non-conformities on the original concept plan. Based on these non-conformities, staff provided the below recommendations to the applicant. These recommendations are followed by the applicant's response to each recommendation.

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

- (1) CH. 8; Section 2.02; Goal #4 | Policy #2 (Page 8-3). Use berms and buffers to transition land uses as opposed to walls. This creates a natural transition in which trails can be incorporated to connect residential areas with non-residential areas.

Staff Response: Staff recommended to the applicant that a 50-foot landscape buffer with berms and three (3) tiered landscaping be incorporated adjacent to the southern and eastern property lines. The applicant has agreed to put a 50-foot landscape buffer along the eastern property line incorporating a berm and two (2) staggered rows of cedar trees. In addition, the applicant has agreed to put a 30-foot landscape buffer adjacent to the southern property line with a tree preservation easement to preserve the existing tree line. This appears to meet the intent of the Comprehensive Plan.

- (2) CH. 8; Section 2.03; Goal #1 | Policy #2 (Page 8-3). To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, the house on the property should face onto the park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff Response: Staff recommended that the applicant consider adjusting the lot layout to incorporate more single-loaded streets fronting onto the floodplain situated on the westside of the subject property to better conform to this requirement. The applicant has not changed the plan in accordance with staff's recommendation.

- (3) CH. 8; Section 2.03; Goal #1 | Policy #5 (Page 8-3). Design neighborhoods utilizing the *Housing Tree Model*.

Staff Response: Staff recommended that the applicant consider relocating the larger Type 'A' lot product -- currently adjacent to the floodplain -- to northern property line adjacent to Mims Road. The remaining Type 'C' lot product located in this area can be relocated adjacent to the floodplain. This will better adhere to the *Housing Tree Model*. The applicant has not made the requested changes.

- (4) CH. 08 | Section 02.03 | Goal 03; Policy 2: Require rear-entry garages and alleyways on all lots that have a lot width of 55-feet or less; however, alleyways should be prohibited on all lots greater than 55-feet. These lots should incorporate *J-Swing* or *Recessed Front Entry* garages.

Staff Response: The applicant is proposing to incorporate a 52' x 120' lot product (i.e. Type 'D' lots) that will incorporate a *Front Entry* garage. With this being said, these lots back up to existing non-residential properties and existing residential properties, and the use of alleyways may not be the most appropriate garage configuration in these areas. Based on this, staff is of the opinion that the applicant's plan conforms with the intent of this requirement; however, this does remain a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

- (5) CH. 08 | Sec. 02.03 | Goal 03; Policy 3: In cases where *Flat Front Entry* garages (i.e. even with the front façade of the primary structure) are requested as part of a development no greater than 20% should be incorporated into the development. In addition, *Flat Front Entry* garages should have a minimum of a 25-foot front yard building setback to allow vehicles to be parked in the driveway without overhanging public right-of-way. This type of garage may not be appropriate for all developments and should be generally discouraged.

Staff Response: If a *Front Entry* garage configuration with a recess of five (5) feet is being requested it should be limited to 20% and relegated to only the Type 'D' lot product (i.e. the 52' x 120' lots). The applicant is requesting that 19.59% or all of the Type 'D' lots (i.e. the 52' x 120' lots) incorporate Front Entry garage orientations; however, they are proposing a five (5) foot off-set between the front façade of the home and the garage, which will create a 25-foot building setback for the garage.

In addition to these recommendations, staff also suggested that the applicant consider preserving some of the *Blackland Prairie* as open space in accordance with the Comprehensive Plan; however, this is not currently depicted in their current concept plan. Taking all of this into account, the applicant's concept plan and proposed density and development standards appear to conform with the majority of the OURHometown Vision 2040 Comprehensive Plan; however, there are areas of non-conformance, and - as with all zoning cases -- this request remains a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On January 27, 2023, staff mailed 288 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lynden Park, Flagstone Estates, and Hickory Ridge Homeowner's Associations (HOA's), which are the only Neighborhood Organizations or Homeowners Associations (HOA's) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) One (1) property owner notification from one (1) property owner within the 500-foot notification buffer in opposition to the applicant's request.
- (2) Two (2) property owner notifications in favor that did not indicate a name or address. In addition, the returned envelop did not have a return address. Based on this, these notices cannot be counted for this case because staff cannot verify the ownership.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) All residential lots, less than 12,000 SF in size, are required to be located within 800-feet of a public or private open space. At the time of *Master Plat*, the applicant will be required to provide an exhibit showing conformance to this requirement.
- (3) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50

LOT

BLOCK

GENERAL LOCATION Southeast of Intersection Mims Road & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural

CURRENT USE Agricultural

PROPOSED ZONING Planned Development District

PROPOSED USE Single Family

ACREAGE 140.5 Acres

LOTS [CURRENT]

2

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Vicmar I Ltd & (76195)

APPLICANT Michael Joyce Properties

CONTACT PERSON

CONTACT PERSON Meredith Joyce

ADDRESS 105 Kaufman St

ADDRESS 767 Justin Road

CITY, STATE & ZIP Rockwall, Tx 75087

CITY, STATE & ZIP Rockwall, Tx 75087

PHONE

PHONE 512-694-6394

E-MAIL

E-MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Virginia W. Petersen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2,307.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF January, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

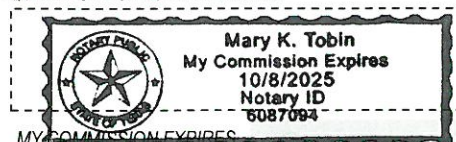
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF January, 2023

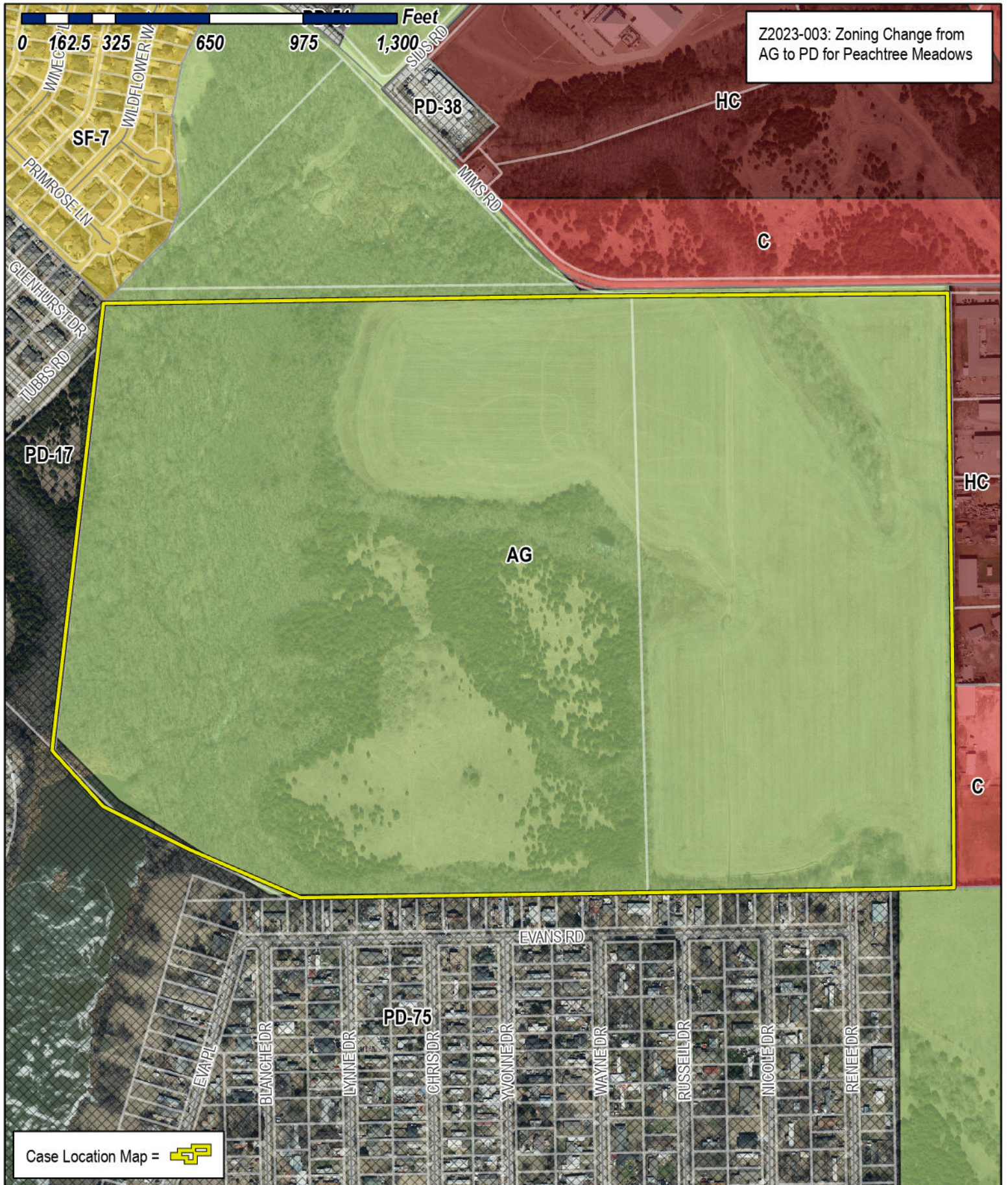
OWNER'S SIGNATURE

Virginia W. Petersen

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary K. Tobin





Z2023-003: Zoning Change from AG to PD for Peachtree Meadows

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

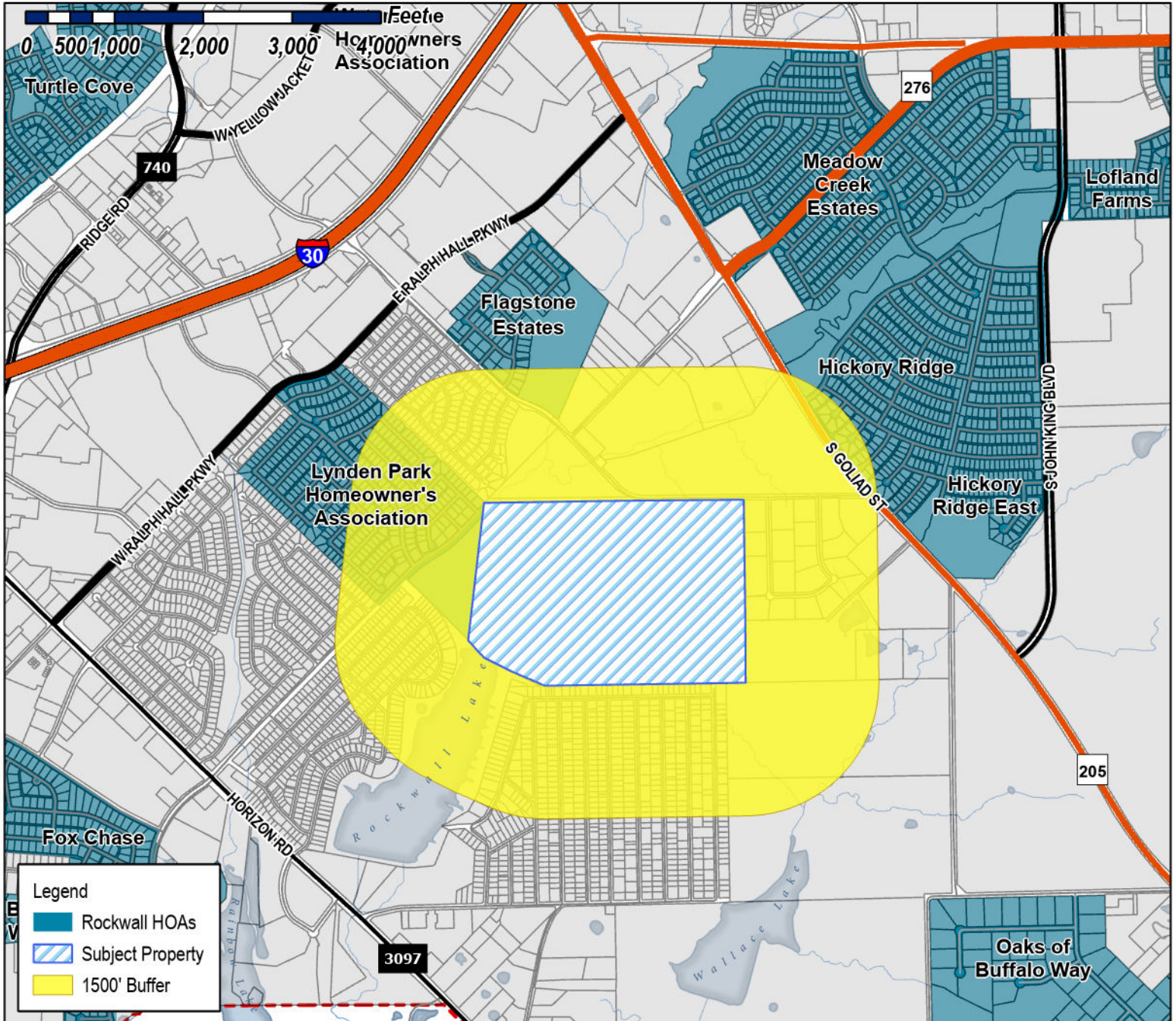




City of Rockwall

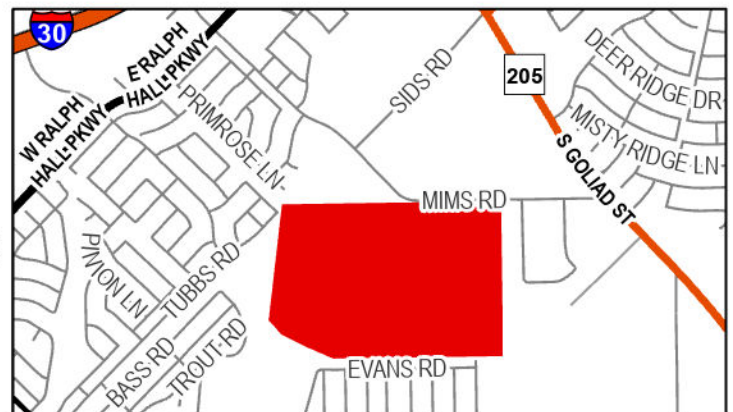
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2023-003
Case Name: Zoning Change from AG to PD for Peachtree Meadows
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SW of Mims Road and S Goliad Street

Date Saved: 1/20/2023
 For Questions on this Case Call (972) 771-7745



From: [Chapin, Sarah](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#)
Subject: Neighborhood Notification Program [Z2023-003]
Date: Thursday, January 26, 2023 12:24:12 PM
Attachments: [HOA Map \(01.20.2023\).pdf](#)
[Public Notice Z2023-003.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [January 27, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 14, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 21, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-003: Zoning Change for AG to a PD for SF-10 District Land Uses

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a [Zoning Change](#) from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

Thank you,

Sarah Chapin

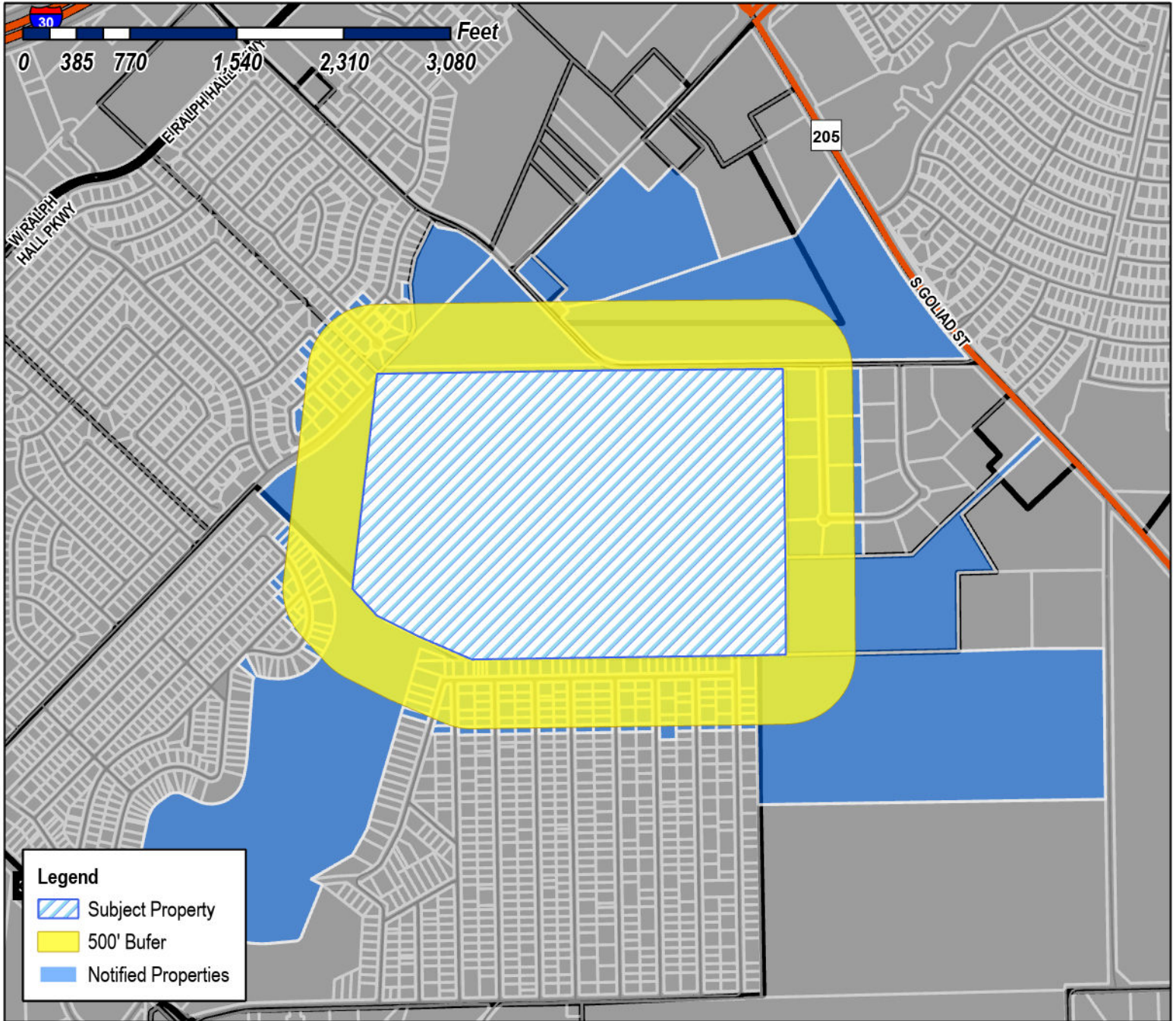
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568



City of Rockwall

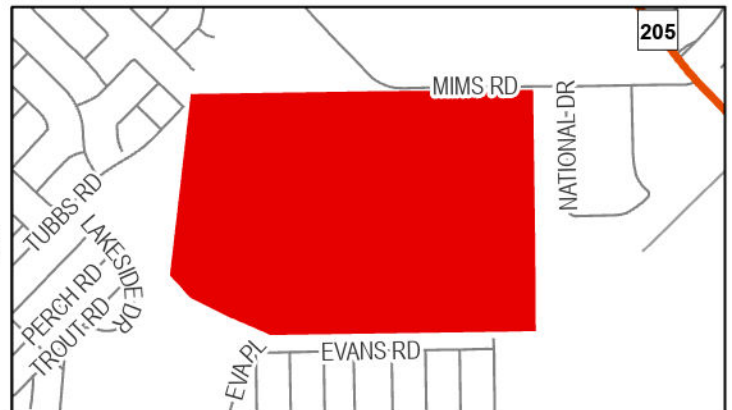
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-003
Case Name: Zoning Change from AG to PD for Peachtree Meadows
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SW of Mims Road and S Goliad Street

Date Saved: 1/20/2023
 For Questions on this Case Call (972) 771-7745



OCCUPANT
599 TROUT RD
ROCKWALL, TX 75032

FRANKS SHERI DENISE
401 FOREST TRCE
ROCKWALL, TX 75087

OCCUPANT
609 TROUT RD
ROCKWALL, TX 75032

JANG TO LIVING TRUST
WILLIAM JANG AND STEFANIE TO- TRUSTEES
11515 205TH STREET
LAKEWOOD, CA 90715

HERNANDEZ BENJAMIN
509 YVONNE DR
ROCKWALL, TX 75032

MARTINEZ DAVID
516 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
485 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
532 LYNNE DR
ROCKWALL, TX 75032

ANAYA JUAN C & RAUL
439 PERCH RD
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
513 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

VASQUEZ JAVIER AND LILIANA
524 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
521 YVONNE DR
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

GONZALEZ NORMA PATRICIA SOLIS
388 EVANS RD
ROCKWALL, TX 75032

MENDOZA FIDEL & ALEJANDRINA
400 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
498 EVANS RD
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
557 RENEE DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

OCCUPANT
917 LAKESIDE DR
ROCKWALL, TX 75032

LORENZO JOSE LUIS &
ANA MARIA GRANDOS
8937 WHISHERS RD
QUINLAN, TX 75474

GUTIERREZ NELSON ANTONIO
933 LAKESIDE DR
ROCKWALL, TX 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
548 NICOLE DR
ROCKWALL, TX 75032

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

OCCUPANT
496 NICOLE DR
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

OCCUPANT
485 RUSSELL DR
ROCKWALL, TX 75032

TELL MARK ALLEN
M/R
, TX

DELGADO JUAN E & MARIA L
541 YVONNE DR
ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE DR
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS
552 RUSSELL DR
ROCKWALL, TX 75032

OBRIEN ELLEN K
537 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

VALDEZ EUSEBIO
505 EVANS RD
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA
513 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
534 YVONNE DR
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
517 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
513 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

OCCUPANT
488 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ DANIEL CONTRERAS AND
PATRICIA CARREON DE CONTRERAS
488 BLANCHE DRIVE
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ
525 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
499 WAYNE DR
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
612 TROUT RD
ROCKWALL, TX 75032

PHAM DAN Q
5158 COUNTY ROAD 3115
CAMPBELL, TX 75422

OCCUPANT
508 RENEE DR
ROCKWALL, TX 75032

VALDEZ JOSE G
1311 PRATO AVE
MCLENDON CHISHOLM, TX 75032

OCCUPANT
594 EVA
ROCKWALL, TX 75032

ALVARES FLORINA GUTIERREZ &
ENRIQUE RENE ORTIZ GARCIA
594 EVA PL
ROCKWALL, TX 75032

OCCUPANT
602 EVA
ROCKWALL, TX 75032

QUEVEDO LUIS & FELIZA
3326 BURNING TREE LN
GARLAND, TX 75042

DEJESUS SANTOS
616 EVA
ROCKWALL, TX 75032

OCCUPANT
582 EVA
ROCKWALL, TX 75032

GARCIA HUGO IVAN DEL AND
JUANA GUZMAN
582 EVA PLACE
ROCKWALL, TX 75032

FAVIAN IGNACIO
620 TROUT RD
ROCKWALL, TX 75032

JONES JAMES & MARY
721 BLUEBELL CT
ROCKWALL, TX 75032

OCCUPANT
481 BLANCHE DR
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
4100 ANDYS LANE
PARKER, TX 75002

DIAZ JOSE LUIS & MARICELA
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
491 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR
ROCKWALL, TX 75032

GUEVARA MARIA
482 YVONNE DR
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS
MARTINEZ-AGUILAR
485 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
488 WAYNE DR
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
441 LYNNE DRIVE
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND FANIA GARCIA
494 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
489 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
466 RENEE DR
ROCKWALL, TX 75032

FLORES ALEJANDRO
1070 N BEN PAYNE RD
ROCKWALL, TX 75087

MAYHALL DANIEL J
463 RENEE DR
ROCKWALL, TX 75032

SUAREZ ERIKA & ALFREDO ESTRADA
497 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
498 LYNNE DR
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

DIAZ MARIA L FLORES
503 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
514 YVONNE DR
ROCKWALL, TX 75032

BLACK TORO CUSTOM HOMES LLC
1210 CREEK VALLEY
MESQUITE, TX 75181

GAMEZ PETRA K MARTINEZ
406 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
412 EVANS RD
ROCKWALL, TX 75032

KOURINIAN MIKAEL
6924 VALMONT STREET UNIT #9
TUJUNGA, CA 91042

OCCUPANT
418 EVANS RD
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING LLC
7331 WESTER WAY
DALLAS, TX 75248

OCCUPANT
452 EVANS RD
ROCKWALL, TX 75032

COLUNGA MARIA CRISTINA
C/O BERNABE COLUNGA
807 N JOSEPHINE ST
ROYSE CITY, TX 75189

OCCUPANT
464 EVANS RD
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

OCCUPANT
486 EVANS RD
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

RETANA JUAN & YENY RUBIO
535 CHRIS DR
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

CERVANTES-OSORNIO HECTOR AND ERIKA J
MOLINA-OLVERA
526 NICOLE DR
ROCKWALL, TX 75032

DIAZ MANUEL & ROSARIO
528 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
518 RUSSELL DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA
523 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
503 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
538 LYNNE DR
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DRIVE
ROCKWALL, TX 75032

OCCUPANT
541 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
528 CHRIS DR
ROCKWALL, TX 75032

SILVA BERTHA
1041 E FM 552
ROCKWALL, TX 75087

OCCUPANT
531 YVONNE DR
ROCKWALL, TX 75032

SAFRA PROPERTIES INC
PO BOX 69
ROCKWALL, TX 75087

STRICKLAND TARA
536 WAYNE DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
535 NICOLE DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

OCCUPANT
520 RENEE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
505 EVANS
ROCKWALL, TX 75032

OCCUPANT
535 BLANCHE DR
ROCKWALL, TX 75032

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
551 LYNNE DR
ROCKWALL, TX 75032

THELWELL LINDA
1013 BLACKBERRY TRL
LANCASTER, TX 75134

RODRIGUEZ ROMAN
540 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
544 YVONNE DR
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT
GARLAND, TX 75043

RAMIREZ GABRIELA & JOSE MENDOZA JR
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ROCKWALL, TX 75032

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514 NICOLE
ROCKWALL, TX 75032

OCCUPANT
491 YVONNE DR
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANDRES M
715 PRIMROSE LN
ROCKWALL, TX 75032

LEBLANC BRIAN AND AARON SALAZAR
709 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
3129 WILDFLOWER WAY
ROCKWALL, TX 75032

PROGRESS DALLAS LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

PRICE TIMOTHY F & DIANA M
3137 WILDFLOWER WAY
ROCKWALL, TX 75032

OCCUPANT
496 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

ALONSO ELEASAR & BENITO GAMEZ
482 WAYNE DR
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR
ROCKWALL, TX 75032

MOORE VIVIAN
811 LAKESIDE DR
ROCKWALL, TX 75032

RIDDLE LINDA K
715 BLUEBELL CT
ROCKWALL, TX 75032

GEORGE POLLY A & BENJAMIN E
709 BLUEBELL CT
ROCKWALL, TX 75032

BRIDGMAN SHAWN AND RENEE
728 PRIMROSE LN
ROCKWALL, TX 75032

DIBA ABBAS & RAZIEHALSADAT YAHYAZADEH
MASHHADI
152 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
714 GLENHURST DR
ROCKWALL, TX 75032

DO DAVID KIM
2206 OAK GROVE CIR
GARLAND, TX 75040

ORAVSKY JAMES S & GINGER L
746 BRAEWICK DR
ROCKWALL, TX 75032

WINTERS KEVIN R & STELIANA V
745 GLENHURST DR
ROCKWALL, TX 75032

PIERCE SYLVIA JO
152 HAVEN RIDGE DR
ROCKWALL, TX 75032

BROWN GREGORY J II AND BARBARA J
112 WESTON CT
ROCKWALL, TX 75032

REYES GALIA OLAZABAL & FRANK ALVAREZ
MOYA
945 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
957 LAKESIDE DR
ROCKWALL, TX 75032

RAMIREZ MARTIN AND ALMA DELIA
8250 COLQUITT ROAD
TERRELL, TX 75160

MUPPALA VENKATANARAYANA AND
CHANDRIKA KONDUR
801 LAKESIDE DR
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS FRANCISCO
532 BLANCHE DR
ROCKWALL, TX 75032

ARROYO REYES
499 RUSSELL DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

AGUILAR ROSALINA
507 BLANCHE DR
ROCKWALL, TX 75032

FLORES JAIME W & MARLENE CASTRO
520 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
506 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

VELASQUEZ LORENA
501 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
495 NATIONAL DR
ROCKWALL, TX 75032

PEOPLES MIKE
PO BOX 41
ROCKWALL, TX 75087

OCCUPANT
433 NATIONAL DR
ROCKWALL, TX 75032

FARRAR SECURITY SYSTEMS INC
PO BOX 2199
ROCKWALL, TX 75087

OCCUPANT
627 NATIONAL DR
ROCKWALL, TX 75032

D & A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

EISENSTEIN JENNIPHER D AND MICHAEL J
157 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
708 GLENHURST DR
ROCKWALL, TX 75032

CHEN CHAI
825 HARLAN CT
MURPHY, TX 75094

OCCUPANT
118 NATIONAL DR
ROCKWALL, TX 75032

SCOTTFREE INVESTMENTS LP
519 E INTERSTATE 30 #511
ROCKWALL, TX 75087

OCCUPANT
496 NATIONAL DR
ROCKWALL, TX 75032

BIG BUCK PROPERTIES LLC
PO BOX 2107
ROCKWALL, TX 75087

SITTER KAREEN RUTH
743 PRIMROSE LN
ROCKWALL, TX 75032

TIPPING DORA MARIA
735 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
727 PRIMROSE LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

HARRIS CHAD & MISTY PIERCE
721 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
156 WESTON CT
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT
23974 PARK SORRENTO Suite 300
CALABASAS, CA 91302

ALLMANN CHRISSEY J
126 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
134 WESTON CT
ROCKWALL, TX 75032

RONALD J AND EILEEN P BOTT LIVING TRUST
RONALD J BOTT AND EILEEN P BOTT-
COTRUSTEES
12172 GAY RIO DRIVE
LAKESIDE, CA 92040

STANCIOIU MARIAN & OANA
138 WESTON CT
ROCKWALL, TX 75032

SCARNATI TAMMY AND JAMES T JR
156 HAVEN RIDGE DR
ROCKWALL, TX 75032

OCCUPANT
449 NATIONAL DR
ROCKWALL, TX 75032

FRAUSTO MICKEY & LISA L
PO BOX 928
ROYSE CITY, TX 75189

GULICK ANNA C
734 PRIMROSE LN
ROCKWALL, TX 75032

BUSH BLAKE & LARRY
740 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
718 BLUEBELL CT
ROCKWALL, TX 75032

GREGORY COREY ALAN
25881 SOUTH 655 RD
GROVE, OK 74344

BEASLEY MOLLIE & MEAGAN NUGENT
727 BLUEBELL CT
ROCKWALL, TX 75032

OCCUPANT
626 NATIONAL DR
ROCKWALL, TX 75032

SCOTTFREE INVESTMENT LP
519 E INTERSTATE 30 #511
ROCKWALL, TX 75087

HEFFLER MICHAEL A
744 PRIMROSE LN
ROCKWALL, TX 75032

HOLLAND JON E
747 PRIMROSE LN
ROCKWALL, TX 75032

CZARNOPYS BENJAMIN J & ROBIN K
746 GLENHURST DR
ROCKWALL, TX 75032

STEWART EMILY D AND BRYON STEWART JR
738 GLENHURST DR
ROCKWALL, TX 75032

SOAITA MARIUS & DANIELA M
732 GLENHURST DR
ROCKWALL, TX 75032

TATEVOSIAN BARKEV S & GUENDOLI
726 GLENHURST DR
ROCKWALL, TX 75032

OCCUPANT
720 GLENHURST DR
ROCKWALL, TX 75032

RENDON NOEL & CHRISTIE
607 W BROAD ST
MANSFIELD, TX 76063

BYERS MARY E TRESPACES- AND JAMES
MICHAEL
745 BRAEWICK DR
ROCKWALL, TX 75032

ROTEN STEVEN NEIL
141 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
145 WESTON CT
ROCKWALL, TX 75032

CSH PROPERTY ONE LLC
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

LOFGREN STEVE G
149 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
153 WESTON CT
ROCKWALL, TX 75032

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

PEACOCK JAY C & ROBYN M
148 WESTON CT
ROCKWALL, TX 75032

RODRIGUEZ FLORENCIO GOMEZ
630 EVA
ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
150 EVANS RD
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
160 EVANS RD
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT
GARLAND, TX 75043

MEJIA RAMIRO
244 EVANS ST
ROCKWALL, TX 75032

OCCUPANT
266 EVANS RD
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA
848 SMITH ACRES DR
ROYSE CITY, TX 75189

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS RD
ROCKWALL, TX 75032

BALDERAS GREGORY
310 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
302 EVANS RD
ROCKWALL, TX 75032

VAZQUEZ MARCOS PEREZ
1806 13TH STREET
GALENA PARK, TX 77547

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD
ROCKWALL, TX 75032

RAMIRES RAUL
358 EVANS RD
ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

GARCIA JUAN
519 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
515 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD
ROCKWALL, TX 75032

PERALES OSCAR F AND DIANA A
106 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
114 EVANS RD
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
LOFLAND CIR
ROCKWALL, TX 75032

SMARTT LOFLAND & BOND
1 CARMARTHEN CT
DALLAS, TX 75225

OCCUPANT
2922 S HWY205
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC
6310 LEMMON AVE STE 202
DALLAS, TX 75209

OCCUPANT
791 LAKESIDE DR
ROCKWALL, TX 75032

KUBIS CINDY
281 N LARAMIE CIR
PILOT POINT, TX 76258

RODRIGUEZ ROMAN
220 EVANS RD
ROCKWALL, TX 75032

BAKER LATONIA
840 LAKESIDE DR
ROCKWALL, TX 75032

TUAZON LINCOLN AND DIVINA
848 LAKESIDE DR
ROCKWALL, TX 75032

PETREY MELODIE A
806 LAKESIDE DR
ROCKWALL, TX 75032

DEL ROSARIO VICTOR & LETICIA
813 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
905 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

OCCUPANT
891 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
855 LAKESIDE DR
ROCKWALL, TX 75032

TURNER DANNY AND NANCY
829 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
877 LAKESDIE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
610 ARCADIA WAY
ROCKWALL, TX 75087

BOLEN LORNA L &
ROSALIO O SANCHEZ
861 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
869 LAKESIDE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
610 ARCADIA WAY
ROCKWALL, TX 75087

TURNER DANNY
829 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75087

OCCUPANT
900 SIDS RD
ROCKWALL, TX 75032

SLAUGHTER RICHARD E JR
PO BOX 1717
ROCKWALL, TX 75087

RAMIREZ MARIO
908 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
EVANS RD
ROCKWALL, TX 75032

GANUS HUGH
524 SESAME DR
MESQUITE, TX 75149

OCCUPANT
140 EVANS RD
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
950 SIDS RD
ROCKWALL, TX 75032

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75087

HERREROS BERTOLDO
196 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
170 EVANS RD
ROCKWALL, TX 75032

DIAZ JOSE LUIS &
MARICELA ARREDONDO
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
510 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ CARLOS FRANSISCO CARMONA
532 BLANCHE DRIVE
ROCKWALL, TX 75032

OCCUPANT
125 NATIONAL DR
ROCKWALL, TX 75032

RACK HOLDINGS LLC- 125 NATIONAL SERIES
3021 RIDGE ROAD SUITE A-131
ROCKWALL, TX 75032

BOWERS TAMMY GAIL
630 TROUT RD
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We specifically bought our home because it is on a greenbelt!
We enjoy our privacy. Rezoning this area will result in the
wildlife having to find a new area to relocate to for their
home and we do not want to impact the wildlife here!

Name: Ben + Robin Czarnopys

Address: 746 Glenhurst Dr

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area for comments]

Name:

[Redacted area for name]

Address:

[Redacted area for address]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name:

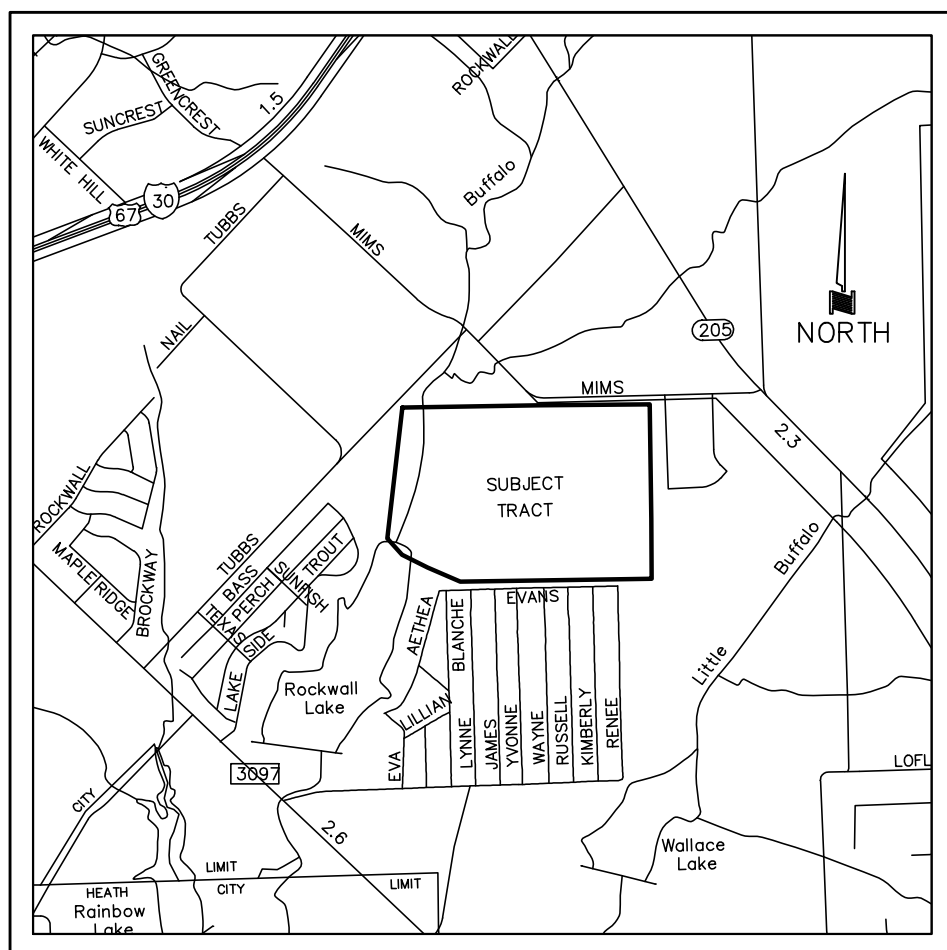
[Redacted name field]

Address:

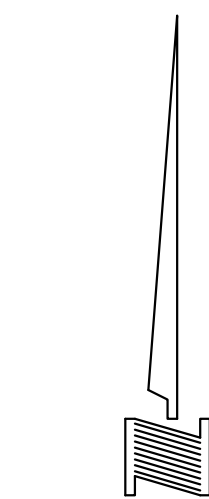
[Redacted address field]

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



LOCATION MAP
NOT TO SCALE



GRAPHIC SCALE

(IN FEET)
1 inch = ft.

NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983. ALL DIMENSIONS SHOWN ARE GROUND DISTANCES. TO OBTAIN A GRID DISTANCE, MULTIPLY THE GROUND DISTANCE BY THE PROJECT COMBINED FACTOR (PCF) OF 0.9998800144.

2. ACCORDING TO MAP NO. 48397-0040L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, DATED SEPTEMBER 26, 2008, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN, ZONE "A"; DEFINED AS SPECIAL FLOOD HAZARD AREA INUNDATED BY THE 100-YEAR FLOOD WITH NO BASE ELEVATIONS DETERMINED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

3. THE LOCATION OF THE FLOOD ZONE LINES SHOWN HEREON, WERE DETERMINED BY SCALING FROM SAID FEMA MAP. THE ACTUAL LOCATION AS DETERMINED BY ELEVATION CONTOURS MAY DIFFER. SURVEYOR ASSUMES NO LIABILITY AS TO THE ACCURACY OF THE LOCATION OF THE FLOOD ZONE LIMITS..

4. SURVEYOR ADDRESSED ONLY THOSE ITEMS LISTED IN OLD REPUBLIC TITLE INSURANCE COMPANY'S COMMITMENT FOR TITLE INSURANCE, G.F. NO. 2254424-ATDA, EFFECTIVE DATE DECEMBER 7, 2022. NO FURTHER RESEARCH WAS PERFORMED BY SURVEYOR.

5. VISIBLE IMPROVEMENTS/UTILITIES WERE LOCATED WITH THIS SURVEY, NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED FOR THIS SURVEY.

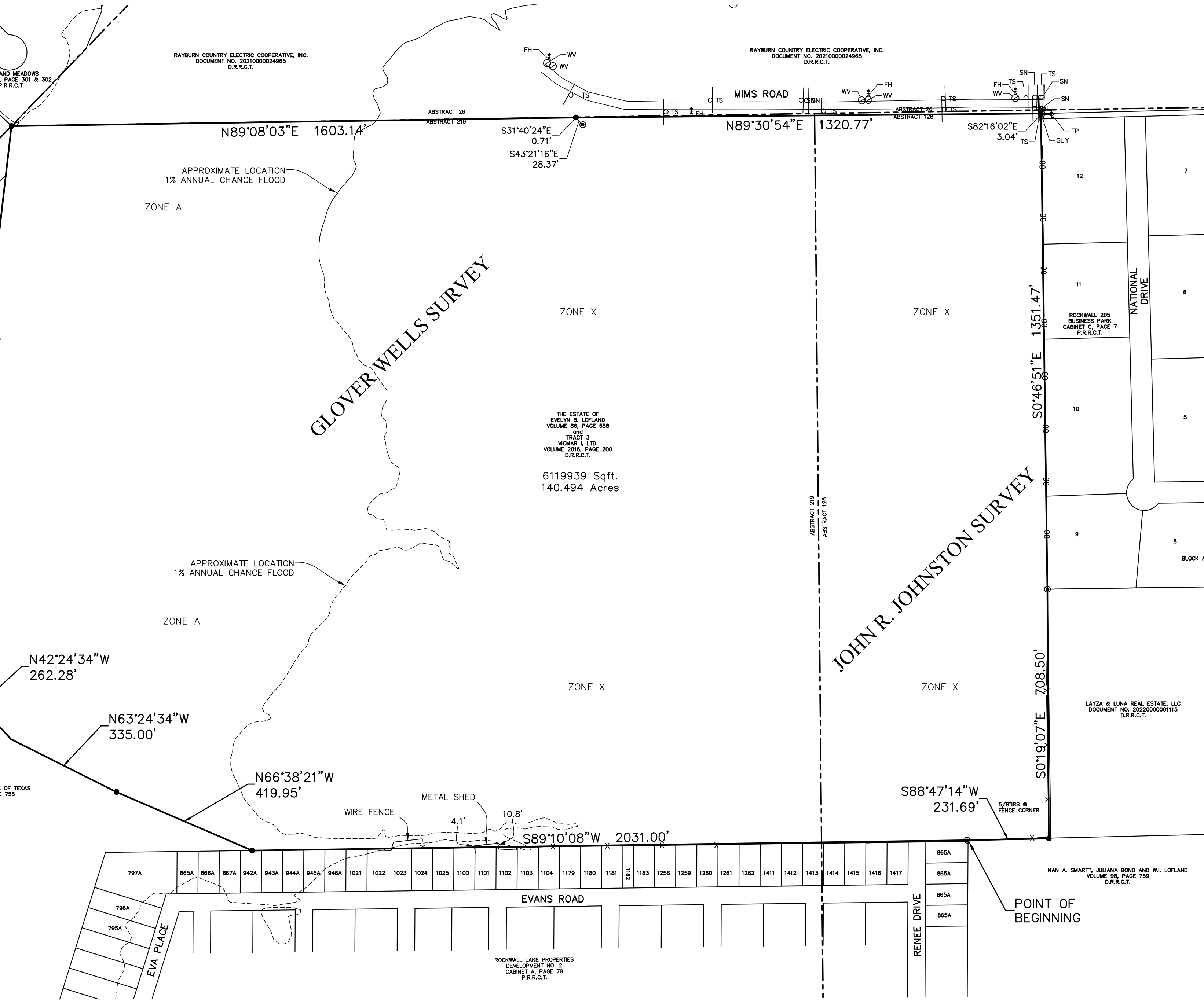
6. FENCES SHOWN HEREON ARE GRAPHIC ONLY AND MAY MEANDER BETWEEN MEASURED LOCATIONS.

7. THE ACREAGE TOTALS AS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THIS SURVEY. THEY DO NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.

8. THIS SURVEY DOES NOT PROVIDE ANY DETERMINATION CONCERNING WETLANDS, FAULT LINES, TOXIC WASTE OR ANY OTHER ENVIRONMENTAL ISSUES. SUCH MATTERS SHOULD BE DIRECTED BY THE CLIENT OR PROSPECTIVE PURCHASER TO AN EXPERT CONSULTANT.

9. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR THE PARTIES CERTIFIED TO HEREON AND REMAINS THE PROPERTY OF THE SURVEYOR. THE UNAUTHORIZED USE OR REUSE OF THIS SURVEY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SURVEYOR IS NOT PERMITTED. THE USE OF THIS SURVEY BY ANYONE OTHER THAN THE CERTIFIED PARTIES OR FOR ANY UNINTENDED USE WILL REMOVE SURVEYOR FROM BURDEN OF ANY DAMAGES INCURRED.

10. THE TERM "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON INDICATES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED, AND IS EXCLUSIVELY TO THE PARTIES INVOLVED IN AND LIMITED TO THE TRANSACTION CLOSING AT THE TITLE COMPANY INDICATED HEREON.



SCHEDULE B NOTES

g. TERMS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT FOR IMPOUNDING WATER AS SET OUT IN INSTRUMENT RECORDED IN VOLUME 51, PAGE 116, OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS. (SUBJECT TO-NON PLOTTABLE)

LEGEND

●	IRON ROD OR IRON PIPE FOUND
●	1/2" IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED)
D.R.R.C.T.	DEED RECORDS, ROCKWALL COUNTY, TEXAS
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
TS	TRAFFIC SIGN
UGCM	UNDERGROUND CABLE MARKER
FH	FIRE HYDRANT
GUY	GUY WIRE ANCHOR
PP	POWER POLE
TPED	TELEPHONE PEDESTAL
WV	WATER VALVE
○	CHAIN LINK FENCE
—x—	WIRE FENCE

FIELD NOTE DESCRIPTION
140.494 ACRES

BEING A 140.494 ACRE TRACT OF LAND SITUATED IN THE GLOVER WELLS SURVEY, ABSTRACT NUMBER 219 AND THE JOHN R. JOHNSTON SURVEY, ABSTRACT NUMBER 128 OF ROCKWALL COUNTY, TEXAS, BEING THAT TRACT OF LAND CONVEYED TO THE ESTATE OF EVELYN B. LOFLAND ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 86, PAGE 558, DEED RECORDS ROCKWALL COUNTY, TEXAS AND VICMAR I, LTD. ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 2016, PAGE 200, DEED RECORDS ROCKWALL COUNTY, TEXAS (D.R.R.C.T.) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1" IRON PIPE FOUND IN THE SOUTH LINE OF SAID VICMAR I TRACT, SAME BEING THE COMMON NORTHEAST CORNER OF THAT TRACT OF LAND CONVEYED TO HAPPY COUNTRY HOMES OF TEXAS, ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 157, PAGE 755 (D.R.R.C.T.) AND BEING THE COMMON NORTHWEST CORNER OF THAT TRACT OF LAND CONVEYED TO NAN A. SMARTT, JULIANA BOND AND W.I. LOFLAND ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 98, PAGE 759 (D.R.R.C.T.);

THENCE S 89° 10' 08" W WITH THE SOUTH LINE OF SAID VICMAR I TRACT, SAME BEING THE COMMON NORTH LINE OF SAID HAPPY COUNTRY HOMES TRACT, FOR A DISTANCE OF 2031.00 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A CORNER OF THIS TRACT;

THENCE LEAVING SAID COMMON LINE, CONTINUING WITH THE SOUTH LINE OF SAID VICMAR I TRACT THE FOLLOWING THREE (3) COURSES AND DISTANCES:
N 66° 38' 21" W, A DISTANCE OF 419.95 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A CORNER OF THIS TRACT;
N 63° 24' 34" W, A DISTANCE OF 335.00 FEET TO A POINT FOR CORNER OF THIS TRACT, LOCATED WITHIN THE LIMITS OF THE CURRENT WATER LEVEL OF A LARGE POND;
N 42° 24' 34" W, A DISTANCE OF 262.28 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A CORNER OF THIS TRACT;

THENCE N 06° 34' 13" E, PASSING AT A DISTANCE OF 40.96 FEET A 1/2" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF LOT 1, BLOCK D, LYNDEN PARK ESTATES, PHASE 4, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT FILED OF RECORD IN CABINET E, SLIDE 396 PLAT RECORDS ROCKWALL COUNTY, TEXAS (P.R.R.C.T.), CONTINUING WITH THE EAST LINE OF SAID LYNDEN PARK ESTATES, PHASE 4 FOR A DISTANCE OF 1558.91 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR THE NORTHEAST CORNER OF SAID LYNDEN PARK ESTATES, PHASE 4, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT FILED OF RECORD IN CABINET C, PAGE 301/302 (P.R.R.C.T.), ALSO BEING THE SOUTHWEST CORNER OF THAT TRACT OF LAND CONVEYED TO RAYBURN COUNTRY ELECTRIC COOPERATIVE, INC. ACCORDING TO THE DOCUMENT FILED OF RECORD IN DOCUMENT NUMBER 2021000024965 (D.R.R.C.T.) AND BEING THE COMMON NORTHWEST CORNER OF THIS TRACT;

THENCE N 89° 08' 03" E WITH THE SOUTH LINE OF SAID RAYBURN COUNTRY ELECTRIC COOPERATIVE, INC. TRACT, SAME BEING COMMON WITH THE NORTH LINE OF THIS TRACT, A DISTANCE OF 1603.14 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A COMMON CORNER OF SAID TRACT AND THIS TRACT, FROM WHICH A FOUND 60-D NAIL FOUND FOR A REFERENCE TO SAID CORNER BEARS S 31° 40' 24" E, 0.71 FEET, ALSO FROM SAID CORNER, A 5/8" IRON ROD FOUND FOR REFERENCE TO SAID CORNER BEARS S 43° 21' 16" E, 28.37 FEET;

THENCE N 89° 30' 54" E, CONTINUING WITH SAID COMMON LINE, FOR A DISTANCE OF 1320.77 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR THE NORTHEAST CORNER OF THIS TRACT, FROM WHICH A 3/8" IRON ROD FOUND FOR REFERENCE TO SAID CORNER BEARS S 82° 16' 02" E, 3.04 FEET;

THENCE S 00° 46' 51" E, LEAVING SAID COMMON LINE, WITH THE WEST LINE OF ROCKWALL 205 BUSINESS PARK, AN ADDITION TO THE CITY OF ROCKWALL, ACCORDING TO THE PLAT FILED OF RECORD IN CABINET C, PAGE 7 (P.R.R.C.T.) FOR A DISTANCE OF 1351.47 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID ADDITION, THE NORTHWEST CORNER OF THAT TRACT OF LAND CONVEYED TO LAYZA & LUNA REAL ESTATE, LLC ACCORDING TO THE DOCUMENT FILED OF RECORD IN DOCUMENT NUMBER 2022000001115 (D.R.R.C.T.) AND COMMON CORNER OF THIS TRACT;

THENCE S 00° 19' 07" E WITH THE WEST LINE OF SAID LAYZA & LUNA REAL ESTATE, LLC TRACT, FOR A DISTANCE OF 708.50 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET IN THE NORTH LINE OF THE ABOVE-MENTIONED NAN A. SMARTT, JULIANA BOND AND W.I. LOFLAND TRACT, FOR THE SOUTHWEST CORNER OF SAID LAYZA & LUNA REAL ESTATE, LLC TRACT AND COMMON SOUTHEAST CORNER OF THIS TRACT;

THENCE S 88° 47' 14" W, WITH SAID NORTH LINE, A DISTANCE OF 231.69 FEET TO THE POINT OF BEGINNING AND CONTAINING 6,119,939 SQUARE FEET OR 140.494 ACRES OF LAND.

SURVEYOR'S CERTIFICATE:

To QUALICO DEVELOPMENTS (U.S.), INC., A DELAWARE CORPORATION, INDEPENDENCE TITLE, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND THE ESTATE OF EVELYN B. LOFLAND AND VICMAR I, LTD., A TEXAS CORPORATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE SUBSTANTIALLY IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2021, AND INCLUDES ITEMS 1-4, 7(A), 8, 9, 11, 13 AND 14 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR IN THE STATE OF TEXAS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

RYAN S. REYNOLDS
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6385

SURVEYED ON THE GROUND: JANUARY 9, 2023

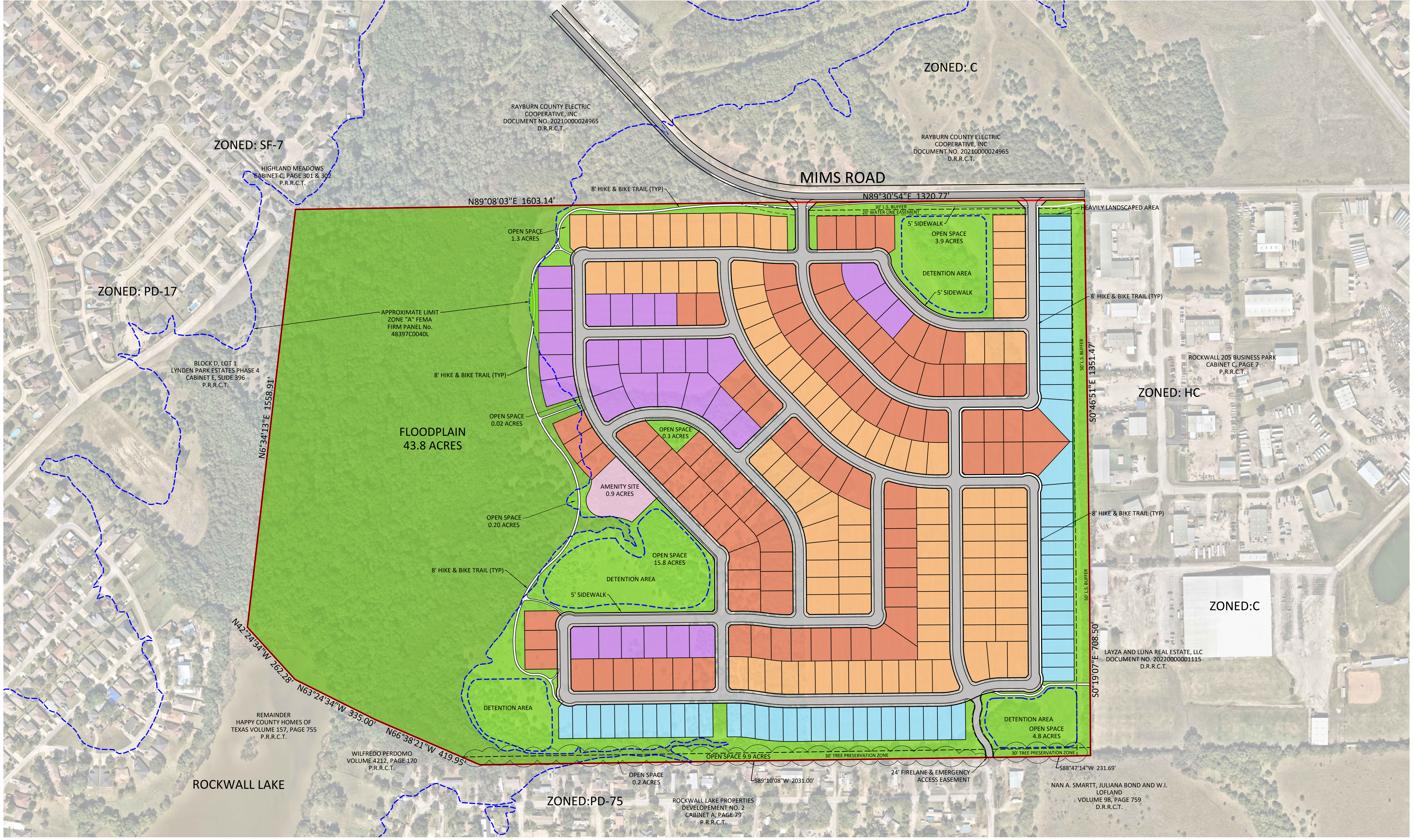
JOHNSON VOLK CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

ALTA/NSPS LAND TITLE SURVEY
140.494 Acres, Glover Wells Survey, Abstract 219
and the John R. Johnston Survey, Abstract 128
Rockwall County, Texas

01/30/2023

SCALE:
200'
One Inch
JVC No Q00501

SHEET 1 OF 1



ALL LOTS LESS THAN 12,000 SF ARE LOCATED WITHIN 800 FT OF A PUBLIC OR PRIVATE OPEN SPACE AREA.



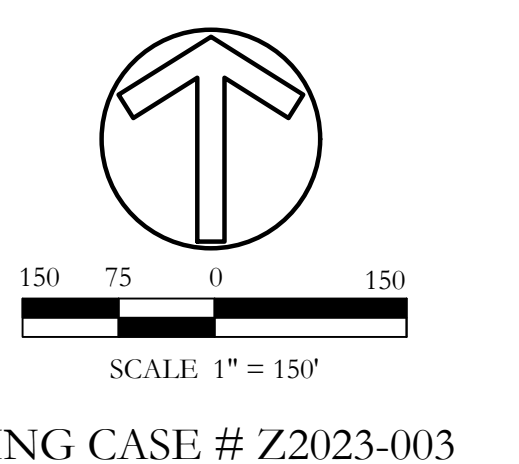
LOT TYPE	A	B	C	D
LOT COUNT	32	98	105	57
MINIMUM LOT AREA (SF)	9,000	8,400	7,200	6,000
MINIMUM LOT WIDTH (FT)	82	72	62	52
MINIMUM LOT DEPTH (FT)	120	120	120	120
FRONT BUILDING SETBACK (FT)	20	20	20	20
REAR BUILDING SETBACK (FT)	20	20	20	20
SIDE BUILDING SETBACK INTERIOR (FT)	6	6	6	6
SIDE BUILDING SETBACK CORNER (FT)	15	15	15	15
MAXIMUM BUILDING HEIGHT	35 FEET / 2.5 STORIES			
MAXIMUM LOT COVERAGE (%)	45%	45%	65%	65%
TYPICAL PAD SIZE*	70' x 80'	60' x 80'	50' x 80'	40' x 80'

*MEASURED AT FRONT BUILDING SETBACK

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LAND USE	AREA (AC)	PERCENT OF TOTAL
RESIDENTIAL	75.3	53.6%
OPEN SPACE		
Private Open Space	20.5	14.6%
Amenity Center	0.9	0.6%
Floodplain	43.8	31.2%
OPEN SPACE TOTAL	65.2	46.4%
TOTAL ACRES	140.5	100.0%

Open Space Required (20%) = 140.5 x 20% = 28.1 acres
 Open Space Provided (Including 1/2 of floodplain) = 43.3



ZONING CASE # Z2023-003

18 SOUTHWEST RESIDENTIAL DISTRICT

 = SUBJECT PROPERTY

DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

2 **Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

3 **Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

4 **Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



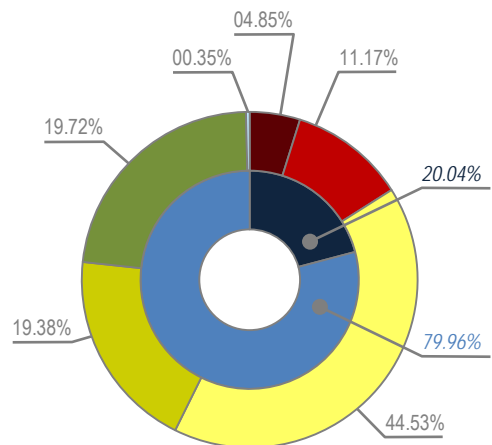
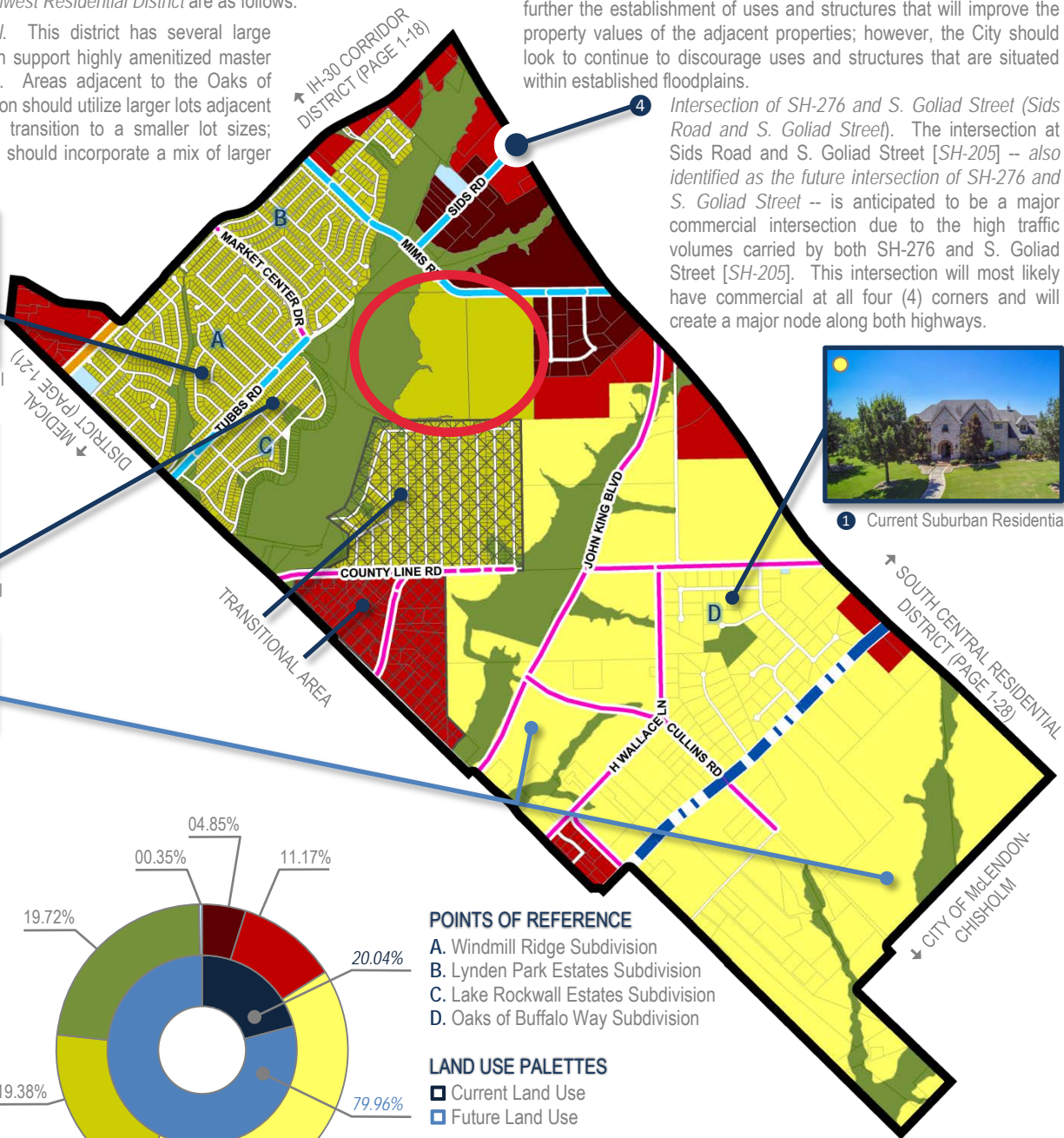
1 Current Suburban Residential



1 Current Suburban Residential



1 Future Suburban Residential



POINTS OF REFERENCE

- A. Windmill Ridge Subdivision
- B. Lynden Park Estates Subdivision
- C. Lake Rockwall Estates Subdivision
- D. Oaks of Buffalo Way Subdivision

LAND USE PALETTES

- Current Land Use
- Future Land Use

COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
COMMERCIAL/RETAIL (CR)	277.44-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
PARKS AND OPEN SPACE (OS)	489.99-ACRES
QUASI-PUBLIC (QP)	8.67-ACRES

BUILD OUT	4,251
% OF ROCKWALL	10.95%
	10.34%
	12.49%
CURRENT	2,190
	188
	7,437

COMMERCIAL	20.04%
RESIDENTIAL	79.96%
MIXED USE	0.00%
MINOR COLLECTOR	
M4D	
M4U	
TXDOT 4D	

CITY OF ROCKWALL

ORDINANCE NO. **23-XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT **XX** (PD-**XX**) FOR SINGLE FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 140.50-ACRE TRACT OF LAND IDENTIFIED AS TRACT 5 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128 AND TRACT 3 OF THE G. WELLS SURVEY, ABSTRACT NO. 219, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District land uses, on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto

and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property* -- prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* of this ordinance -- shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development on the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF MARCH, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A':
Legal Description

BEING a 140.494-acre tract of land situated in the Glover Wells Survey, Abstract Number 219 and the John R. Johnston Survey, Abstract Number 128 of Rockwall County, Texas, being that tract of land conveyed to VICMAR I, LTD. According to the document filed of record in Volume 2016, Page 200, Deed Records Rockwall County, Texas (D.R.R.C.T.) and being more particularly described as follows:

BEGINNING at a 1" iron pipe found in the south line of said VICMAR I tract, same being the common northeast corner of that tract of land conveyed to Happy Country Homes of Texas, according to the document filed of record in Volume 157, Page 755 (D.R.R.C.T.) and being the common northwest corner of that tract of land conveyed to Nan A. Smartt, Juliana Bond and W.I. Lofland according to the document filed of record in Volume 98, Page 759 (D.R.R.C.T.);

THENCE S 89° 10' 08" W with the south line of said VICMAR I tract, same being the common north line of said Happy Country Homes tract, for a distance of 2031.00 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

THENCE leaving said common line, continuing with the south line of said VICMAR I tract the following three (3) courses and distances:

N 66° 38' 21" W, a distance of 419.95 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

N 63° 24' 34" W, a distance of 335.00 feet to a point for corner of this tract, located within the limits of the current water level of a large pond;

N 42° 24' 34" W, a distance of 262.28 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

THENCE N 06° 34' 13" E, passing at a distance of 40.96 feet a ½" iron rod found for the southeast corner of Lot 1, Block D, Lynden Park Estates, Phase 4, an addition to the City of Rockwall according to the plat filed of record in Cabinet E, Slide 396 Plat Records Rockwall County, Texas (P.R.R.C.T.), continuing with the east line of said Lynden Park Estates, Phase 4 for a distance of 1558.91 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for the northeast corner of said Lynden Park Estates, same being the southeast corner of Highland Meadows, an addition to the City of Rockwall according to the plat filed of record in Cabinet C, Page 301/302 (P.R.R.C.T.), also being the southwest corner of that tract of land conveyed to

Rayburn Country Electric Cooperative, Inc. according to the document filed of record in Document Number 20210000024965 (D.R.R.C.T.) and being the common northwest corner of this tract;

THENCE N 89° 08' 03" E with the south line of said Rayburn Country Electric Cooperative, Inc. tract, same being common with the north line of this tract, a distance of 1603.14 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a common corner of said tract and this tract, from which a found 60-D Nail found for a reference to said corner bears S 31° 40' 24" E, 0.71 feet, also from said corner, a 5/8" iron rod found for reference to said corner bears S 43° 21' 16" E, 28.37 feet;

THENCE N 89° 30' 54" E, continuing with said common line, for a distance of 1320.77 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for the northeast corner of this tract, from which a 3/8" iron rod found for reference to said corner bears S 82° 16' 02" E, 3.04 feet;

THENCE S 00° 46' 51" E, leaving said common line, with the west line of Rockwall 205 Business Park, an addition to the City of Rockwall, according to the plat filed of record in Cabinet C, Page 7 (P.R.R.C.T.) for a distance of 1351.47 feet to a ½" iron rod found for the southwest corner of said addition, the northwest corner of that tract of land conveyed to Layza & Luna Real Estate, LLC according to the document filed of record in Document Number 20220000001115 (D.R.R.C.T.) and common corner of this tract;

THENCE S 00° 19' 07" E with the west line of said Layza & Luna Real Estate, LLC tract, for a distance of

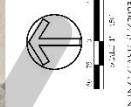
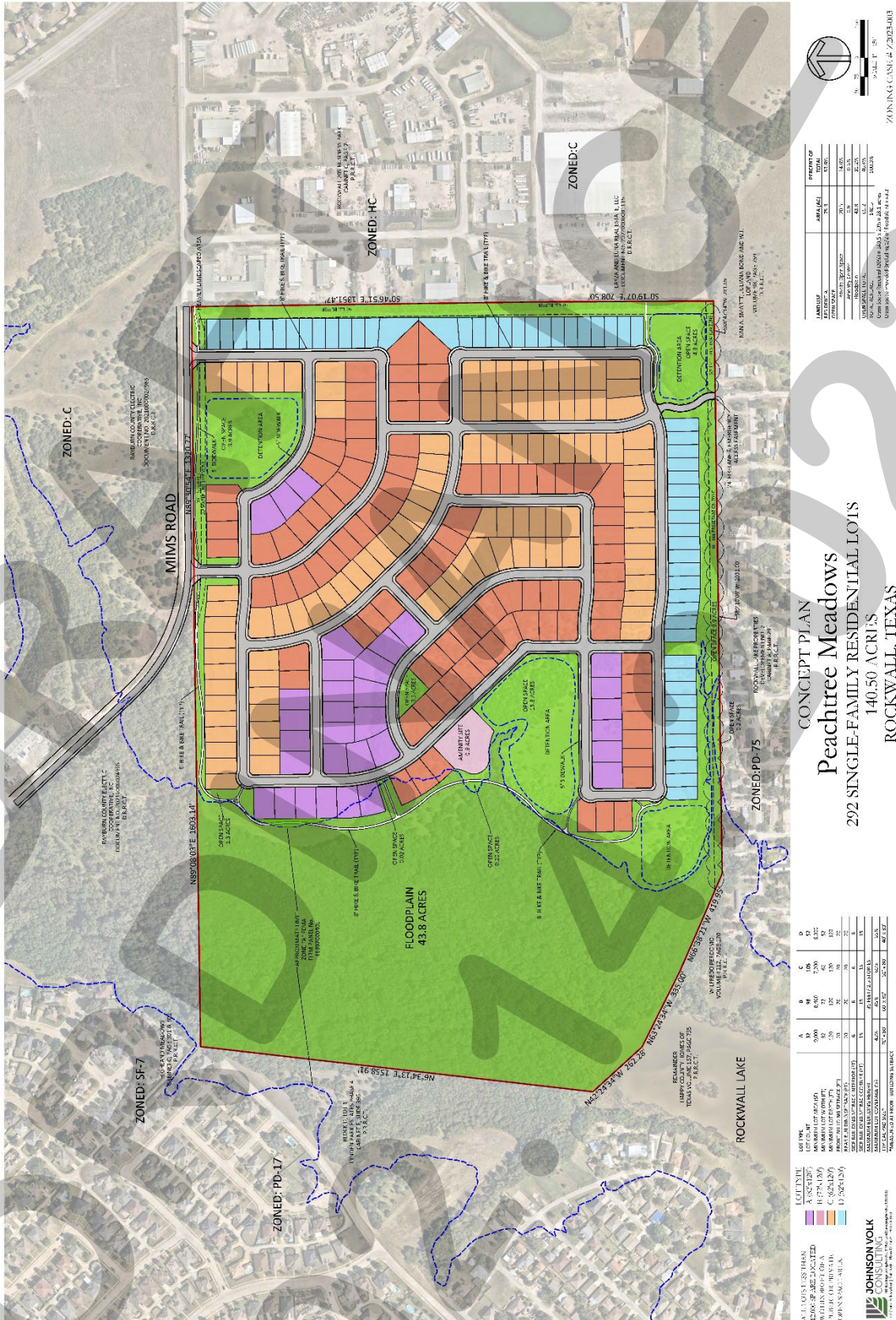
Exhibit 'A':
Legal Description

708.50 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set in the north line of the above-mentioned Nan A. Smartt, Juliana Bond and W.I. Lofland tract, for the southwest corner of said Layza & Luna Real Estate, LLC tract and common southeast corner of this tract;

THENCE S 88° 47' 14" W, with said north line, a distance of 231.69 feet to the *POINT OF BEGINNING* and containing 6,119,939 square feet or 140.494 acres of land.

DRAFT
ORDINANCE
02.14.2023

**Exhibit 'C':
Concept Plan**



PROPERTY OF	AREA (AC)	% OF TOTAL
LOT AREA	140.50	100.00
IMPROVEMENTS	140.50	100.00
TOTAL	140.50	100.00

LOT TYPE	A	B	C	D
LOT TYPE	0.00	6.96	2.96	0.22
AREA (AC)	0.00	30.00	13.00	1.00
% OF TOTAL	0.00	21.35	9.25	0.71
TOTAL	0.00	140.50	140.50	140.50

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LOT TYPE	A	B	C	D
LOT TYPE	0.00	6.96	2.96	0.22
AREA (AC)	0.00	30.00	13.00	1.00
% OF TOTAL	0.00	21.35	9.25	0.71
TOTAL	0.00	140.50	140.50	140.50

LOT TYPE	A	B	C	D
LOT TYPE	0.00	6.96	2.96	0.22
AREA (AC)	0.00	30.00	13.00	1.00
% OF TOTAL	0.00	21.35	9.25	0.71
TOTAL	0.00	140.50	140.50	140.50

JOHNSON VOLK
 ENGINEERS & ARCHITECTS
 10000 W. LAKELAND BLVD., SUITE 100
 ROCKWALL, TEXAS 75087
 TEL: 972.967.1100
 WWW.JVONLINE.COM

**Exhibit 'D':
Density and Development Standards**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.08 dwelling units per gross acre of land; however, in no case should the proposed development exceed 292 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	A	B	C	D
<i>Minimum Lot Width</i> ⁽¹⁾	82'	72'	62'	52'
<i>Minimum Lot Depth</i>	120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>	9,000 SF	8,400 SF	7,200 SF	6,000 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	20'	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i> ⁽⁷⁾	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500 SF	2,200 SF	2,200 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

Exhibit 'D':
Density and Development Standards

(4) *Building Standards*. All development shall adhere to the following building standards:

- (a) *Masonry Requirement*. The minimum masonry requirement for the exterior façade of all buildings shall be 90.00% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see *examples below*) shall be considered masonry and may be used on 20.00% of the total exterior façade of the home; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard for architectural purposes (*as seen below in Figures 1 & 2*) in excess of 80.00% total exterior façade of the home on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP

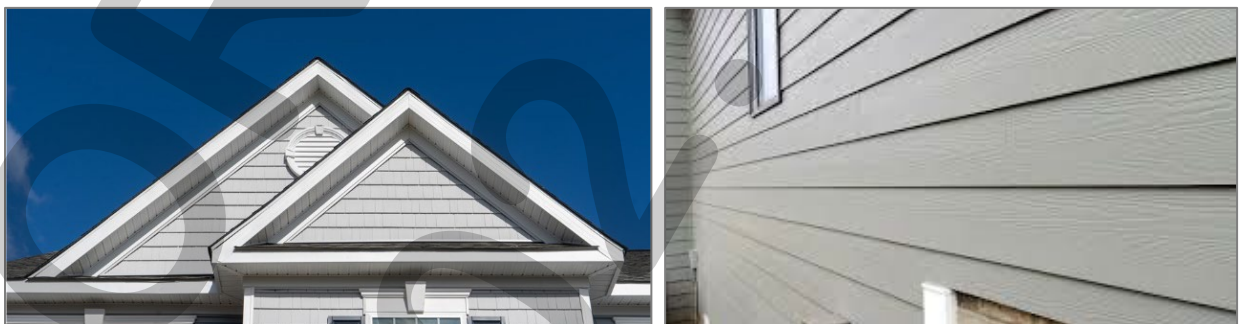


Exhibit 'D':
Density and Development Standards

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.

- (c) Garage Orientation and Garage Doors. All of the Type 'D' lots (being a total of 19.59% or 57 of the 292 lots) may have garages that are oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining Type 'A', 'B' & 'C' lots (being 80.31% or 235 lots) shall have garages that are oriented in a *J-Swing* (or *Traditional Swing*) configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 4*.

Figure 4. Examples of Enhanced Wood Garage Door



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS

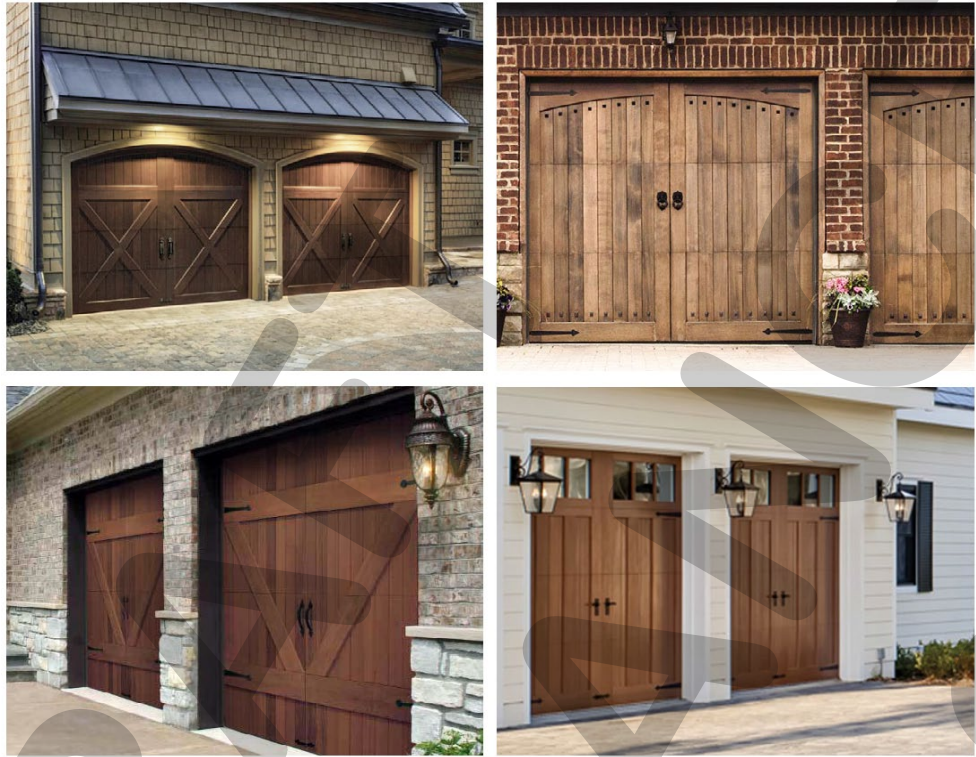
CARRIAGE HARDWARE

CEDAR CLADDING

ORNAMENTAL PAVING

Exhibit 'D':
Density and Development Standards

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



(5) *Anti-Monotony Restrictions.* The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

Table 3: Anti-Monotony Matrix

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	82' x 120'	(1), (2), (3), (4), (5)
B	72' x 120'	(1), (2), (3), (4), (5)
C	62' x 120'	(1), (2), (3), (4), (5)
D	52' x 120'	(1), (2), (3), (4)

(a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

(b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces and Mims Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:

- (1) Number of Stories
- (2) Permitted Encroachment Type and Layout
- (3) Roof Type and Layout
- (4) Articulation of the Front Façade
- (5) Garage Orientation

Exhibit 'D':
Density and Development Standards

- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 7: Properties line up on the opposite side of the street. Where RED is the subject property.



Figure 8: Properties do not line up on opposite side of the street. Where RED is the subject property.



- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - (a) **Front Yard Fences.** Front yard fences shall be prohibited.
 - (b) **Wood Fences.** All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of

Exhibit 'D':
Density and Development Standards

burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.

- (c) Wrought Iron/Tubular Steel. Lots located along Mims Road, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence; however, all Type 'D' lots (*i.e. the lots directly adjacent to the eastern and southern boundaries of the Subject Property*) shall be permitted to have wood fences in accordance with the requirements of this ordinance regardless of adjacency. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 - (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
 - (f) Fence in Easements. No fencing shall be constructed in or across the City of Rockwall's easements.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of mature shrubs (*i.e. a minimum of seven [7] gallons in size*) adjacent to the wrought iron/tubular steel fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (Mims Road). A minimum of a 30-foot landscape buffer shall be provided along Mims Road (*outside of and beyond the required 20-foot utility easement required to be provided adjacent to this roadway*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer. In addition, two (2) increased landscape areas shall be provided, adjacent to the lots that side to Mims Road. The purpose of these areas is to screen the permitted wood fencing that will be adjacent to Mims Road. These increased landscape areas shall incorporate accent trees and large shrubs and will be reviewed for compliance to the stated intent at the time of *PD Site Plan*.

Exhibit 'D':
Density and Development Standards

- (2) Landscape Buffer (Adjacent to Eastern Property Boundary). A minimum of a 50-landscape buffer shall be provided along the *Type 'D'* lots adjacent to the non-residential properties along the eastern property boundary, and shall incorporate a *built-up* berm and two (2) staggered row of cedar trees. Berms shall have a minimum height of 48-inches each. The staggered row of cedar trees should create a solid screening from the adjacent non-residential land uses.
- (3) Tree Preservation Easement (Adjacent to the Southern Property Boundary). A minimum of a 30-foot tree preservation easement shall be provided along the southern property boundary as depicted in *Exhibit 'C'* of this ordinance. This area shall be established to preserve the existing natural tree line and vegetation, which shall remain undisturbed and serve as screening between the proposed development and the property adjacent to this southern property line.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines that are less than ten (10) inches and ten (10) feet from public water, sanitary sewer and storm lines that are greater than ten (10) inches. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Streets. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the

Exhibit 'D':
Density and Development Standards

Subject Property, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

- (12) Open Space/Public Park. The development shall consist of a minimum of 20% open space (or a minimum of 28.10-acres -- as calculated using the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (13) Amenity Site. An amenity site shall generally be located in the same area as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity site shall be approved with the *PD Site Plan*.
- (14) Trails. A minimum of an eight (8) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including drainage facilities), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: February 21, 2023
APPLICANT: Ryan Joyce; *Michael Joyce Properties*
CASE NUMBER: Z2023-003; *Zoning Change (AG to PD) for the Peachtree Meadows Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on December 20, 1999 through the adoption of *Ordinance No. 99-33*. At the time of annexation, the subject property was zoned Agricultural (AG) District. This designation has not changed and the subject property has remained vacant since annexation.

PURPOSE

On January 20, 2023 the applicant -- *Ryan Joyce of Michael Joyce Properties* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 292-lot single-family, residential subdivision that will consist of four (4) lot sizes (*i.e. [A] 32, 82' x 120' lots; [B] 98, 72' x 120' lots; [C] 105, 62' x 120' lots; and [D] 57, 52' x 120' lots*).

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Mims Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 58.72-acre tract of land (*i.e. Tract 3 of the W. H. Barnes Survey, Abstract No. 26*) that is zoned Heavy Commercial (HC) District.

South: Directly south of the subject property is Phase 2 of the Lake Rockwall Estates Subdivision, which consists of 156.18-acres and was established on June 15, 1956. This subdivision is zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

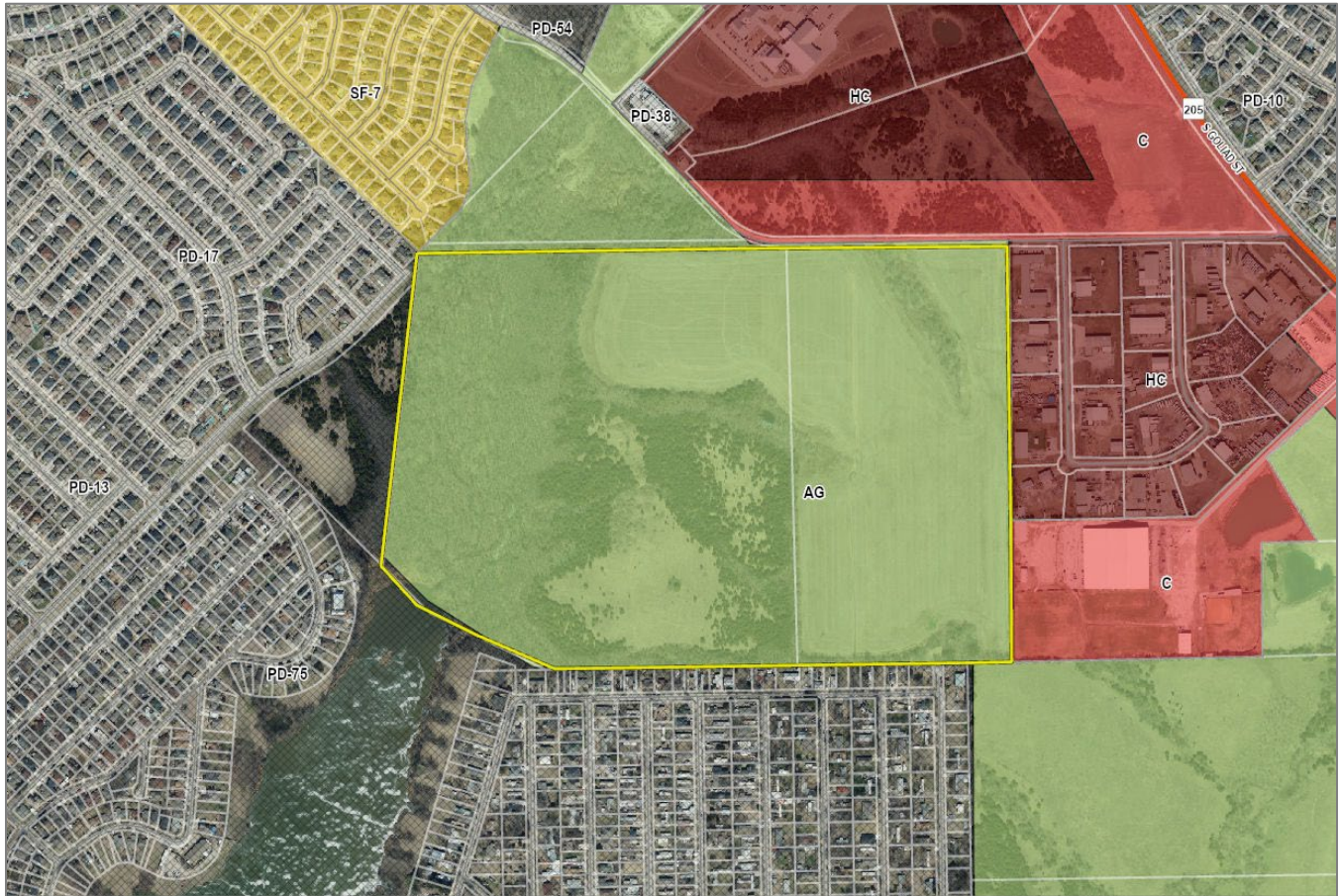
East: Directly east of the subject property are multiple parcels of land with industrial land uses that are zoned Heavy Commercial (HC) District. Also, east of the subject property is a 23.27-acre tract of land (*i.e. Tract 2-28 of the J. R. Johnson Survey, Abstract No. 128*) that currently has a *Recreation Facility (i.e. the RISE)* situated on it. This

property is zoned Commercial (C) District. Beyond these land uses is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Phase 4 of the Lynden Park Estates Subdivision, which consists of 84 single-family residential lots on 34.90-acres. This phase of the Lynden Park Estates Subdivision was established on January 5, 2004. Beyond this is Phase 3 of the Lynden Park Estates Subdivision, which consists of 71 single-family residential lots on 18.13-acres. This phase of the Lynden Park Estates Subdivision was established on December 28, 2001. Both of these phases of the subdivision are zoned Planned Development District 17 (PD-17) for single-detached residential land uses.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 140.50-acre subject property will consist of 292 residential lots. These lots will consist of four (4) lot types: [1] 32, Type 'A' lots that are a minimum of 82' x 120' (or 9,000 SF), [2] 98, Type 'B' lots that are a minimum of 72' x 120' (or 8,400 SF), [3] 105, Type 'C' lots that are a minimum of 62' x 120' (or 7,200 SF), and [4] 57, Type 'D' lots that are a minimum of 52' x 120' (or 6,000 SF). This translates to a gross density of 2.08 dwelling units per gross acre (*i.e. 292 lots/140.50-acres = 2.078 dwelling units per gross acre*). The minimum dwelling unit size (*i.e. air-condition space*) will range from 2,000 SF to 2,500 SF. With regard to the proposed housing product, staff has incorporated anti-monotony and masonry standards into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 90% masonry materials be used on the exterior façade, and be subject to the City's upgraded anti-monotony standards; however, the Planned Development District ordinance will also incorporate provisions that allow up to 80% cementitious fiberboard utilized in a horizontal lap-siding, *board-and-batten* siding, or decorative pattern to allow a variation of materials throughout the subdivision; however, the approval of the ability to use over 20% cementitious materials will be an

administrative approval from the Director of Planning and Zoning. The following are some of the examples provided by the applicant showing horizontal lap-siding, *board-and-batten* siding, or decorative patterns that are contained within the Planned Development District ordinance:

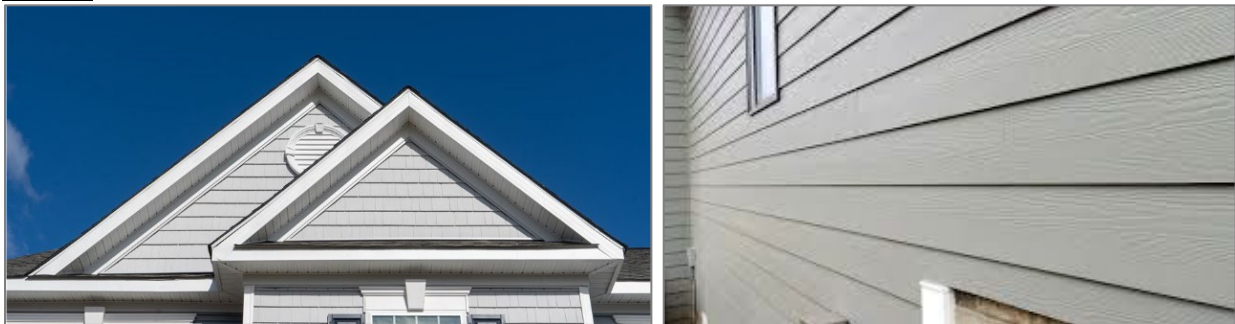
FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



Looking at the garage orientation proposed for the development, the applicant is requesting to allow all of the *Type 'D'* lots (*i.e. the 52' x 120' lots*) or a total of 19.59% of the 292 lots (*equating to a total of 57 lots*) to be orientated toward the street in a *Front Entry* garage configuration; however, the applicant is proposing to require an additional five (5) foot setback from the front façade of the home for *Front Entry* garage configurations, which will create a 25-foot separation from the garage to the front property line. The applicant has stated that this is necessary due to the inability to provide a *J-Swing* or *Traditional Swing* garage orientation on a 52' x 120' lot. In addition, the applicant has stated that setting the garage back 20-feet behind the front façade of the home would shrink the building pad, and is making the request for *Front Entry* garages based on this rationale. The remaining garage doors will be oriented in a *J-Swing* (*or a Traditional Swing*) configuration or *Recessed Entry* configuration (*i.e. where the garage door is situated a minimum of 20-feet behind the front façade*). In addition, the applicant is proposing to incorporate upgraded finishes on all garage doors that include: [1] coach lighting, [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways that are constructed with

ornamental stamped concrete brick pavers, stained finish, or salt finished. The following are some of the examples of the upgrades required in the Planned Development District ordinance:

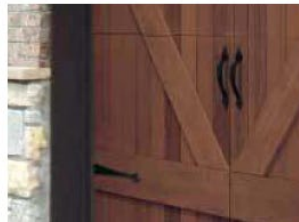
FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS



CARRIAGE HARDWARE



CEDAR CLADDING



ORNAMENTAL PAVING

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 10 (SF-10) District unless otherwise specified in the Planned Development District ordinance. The following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	A	B	C	D
Minimum Lot Width ⁽¹⁾	82'	72'	62'	52'
Minimum Lot Depth	120'	120'	120'	120'
Minimum Lot Area (SF)	9,000 SF	8,400 SF	7,200 SF	6,000 SF
Minimum Front Yard Setback ^{(2), (5) & (6)}	20'	20'	20'	20'
Minimum Side Yard Setback	6'	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) ^{(2) & (5)}	20'	20'	20'	20'
Minimum Length of Driveway Pavement ⁽⁷⁾	20'	20'	20'	20'
Maximum Height ⁽³⁾	35'	35'	35'	35'
Minimum Rear Yard Setback ⁽⁴⁾	10'	10'	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,500 SF	2,200 SF	2,200 SF	2,000 SF
Maximum Lot Coverage	65%	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

The proposed concept plan shows that the development will consist of a total of 65.90-acres of open space that includes a 0.90-acre amenity site, 21.10-acres of private open space, and 43.90-acres of floodplain. This translates to an open space percentage of 31.28% (*i.e.* 21.10-acres of private open space + 0.90-acre amenity site + [43.90-acres of floodplain/2]/140.50-acres gross = 43.95-acres or 31.2811%). In addition, the applicant has incorporated a trail system on the concept plan that shows an eight (8) foot trail will be provided throughout the proposed subdivision. These trails will also provide access into the *Recreational Facility (i.e. the RISE)*, which is situated east of the proposed subdivision.

INFRASTRUCTURE

Based on the applicant’s concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) **Roadways.** According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan Mims Road is required to be a M4D (*i.e. major collector, four [4] lane divided roadway*), which requires a 65-foot right-of-way with a 45-foot *back-to-back* concrete street; however, the new unadopted Master Thoroughfare Plan shows

this road being decreased to a *Minor Collector*, which requires a 60-foot right-of-way with a 41-foot *back-to-back* concrete street. Based on this, the applicant will be required to dedicate a minimum of 30-feet of right-of-way from the centerline of Mims Road and construct a minimum of a 24-foot concrete road section along the entire adjacency of the subject property. In addition, the applicant will be required to construct a minimum of a five (5) foot sidewalk along Mims Road. Staff is also requiring a Traffic Impact Analysis (TIA) to be submitted with this request.

- (2) Water. The applicant will be required to construct a minimum of an eight (8) inch waterline -- *that will be looped through the subject property* --, and a 12-inch waterline along the eastern property line from the northern property line to the southern property line. The applicant will also need to dedicate a 20-foot wide waterline easement along a portion of Mims Road in accordance with the Master Water Plan contained in the OURHometown Vision 2040 Comprehensive Plan. An *Infrastructure Study* will be required to determine if the applicant will be required to construct the 20-inch waterline that is required within this easement, and any additional offsite water improvements that will be necessary to adequately serve the development.
- (3) Wastewater. The applicant will be required to dedicate a 50-foot wastewater easement along the western property line in accordance with the Master Wastewater Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This easement will be used to locate a *future* 30-inch wastewater line. In addition, the applicant will also be required to pay a \$401.89 per acre pro-rata fee for previous wastewater improvements that benefit the subject property. An *Infrastructure Study* will be required to determine if any offsite wastewater improvements will be necessary to adequately serve the development.
- (4) Drainage. Detention will be required and sized per the required detention study, which will be required to utilize the *Unit Hydrograph Method*. The applicant will also be required to perform a *Flood Study* and a *Wetlands and Waters of the United States (WOTUS) Study* for the existing ponds, creeks, and floodplain on the subject property. The applicant will also be required to get a Letter of Map Revision (LOMR) from the Federal Emergency Management Agency (FEMA).

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department's *Standards of Design and Construction Manual* stipulate that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 16; Section 2.11 of the *Standards of Design and Construction Manual*]
- (2) Garage Configuration. Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a *J-Swing [or traditional swing]* garage where the garage door is perpendicular to the street."

Applicant's Response to (1) & (2): In lieu of providing the required alleyways, the applicant is proposing to provide 80.31% *J-Swing (or Traditional Swing)* or *Recessed Front Entry* garages (*i.e. where the garage is setback a minimum of 20-feet behind the front façade of the home*) and 19.59% *Front Entry* garages with a five (5) foot recess of the garage door from the front façade of the single-family home. This will create a minimum of 25-feet from the front property line and the garage. As a compensatory measure the applicant is proposing to provide additional architectural elements into all garage configurations: [A] divided garage bay doors (*i.e. for two [2] car garages two [2] individual entrances and for three [3] car garages a standard two [2] bay garage door with a single bay garage door adjacent*), [B] carriage style hardware and lighting, [C] decorative wood doors or wood overlays on insulated metal doors, and [D] driveways constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished.

- (3) Relation to Adjoining Streets. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(t)he system of streets designed for the development, except in unusual cases, must connect with streets already dedicated in adjacent developments." [Page 115; Section 2.09 of the *Standards of Design and Construction Manual*]

Applicant's Response to (3): Currently, the right-of-way for Renee Drive abuts the southern property line of the subject property; however, the applicant's concept plan does not show the proposed street network connecting to this public right-of-way. Based on this, staff requested that the subdivision connect to and extend Renee Drive through the proposed subdivision. The applicant has stated that they would like to keep this development separate from the existing subdivision to the south of the subject property (i.e. *Phase 2 of the Lake Rockwall Estates Subdivision*). As a compensatory measure the applicant has proposed extending a 24-foot emergency access lane -- which will have removal bollards at either end - - to [1] provide emergency access and [2] to provide pedestrian connectivity between the two (2) residential developments. Since this is a requirement of the Engineering Department's *Standards of Design and Construction Manual*, this aspect of this request will require discretionary approval from the City Council.

- (4) Fences for New Subdivisions. According to Subsection 08.03, *Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(t)ransparent fencing is required adjacent to all perimeter roadways (i.e. along the perimeter of the subdivision), abutting open spaces, greenbelts, and parks."

Applicant's Response to (4): The applicant is requesting to allow wood *board-on-board* fencing for all of the *Type 'D'* lots (i.e. the 52' x 120' lots). These lots are located along the southern and eastern boundaries of the subject property; however, all of the lots back to open space. The applicant has stated that the wood fences are being requested to screen the adjacent land uses along these boundaries (i.e. *Phase 2 of the Rockwall Estates Subdivision and the industrial properties adjacent to National Drive*). As a compensatory measure the applicant has proposed to incorporate a 30-foot tree preservation easement along the southern property boundary, which will preserve several large clusters of trees on the subject property. In addition, -- and in accordance with the *Unified Development Code (UDC)* -- staff has included requirements in the Planned Development District ordinance that will require a 50-foot landscape buffer, berm, and two (2) staggered rows of cedar trees along the eastern boundary of the subject property. The purpose of this requirement is to further provide screening of the non-residential land uses from the proposed residential land uses.

- (5) Open Space. According to Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC), "(i)n a residential Planned Development (PD) District, all lots less than 12,000 SF shall be located within 800-feet of a neighborhood-oriented park or open space (i.e. private or public). All open space areas shall be landscaped and serve as a visual amenity and/or gathering place for socializing with neighbors."

Applicant's Response to (5): The applicant has failed to submit an exhibit showing conformance with this requirement or address this comment. Based on this, staff has included a conditional of approval for this case requiring that all lots less than 12,000 SF be located within 800-feet of a public or private open space.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Southwest Residential District and is designated for Medium Density Residential land uses. The plan defines Medium Density Residential land uses as "... residential subdivisions that are greater than two (2) and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ..." In this case, the applicant is proposing a total density of 2.08 dwelling units per acre. The proposed density is more characteristic of the Low Density Residential land use designation, which is defined as "... residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ..." In addition, the applicant is proposing to incorporate an eight (8) foot trail system, a 0.90-acre amenity site, and 31.28% open space (which exceeds the required open space by 11.28%). Based on this, the applicant's request is in substantial conformance with the Medium Density Residential designation indicated for the subject property.

With regard to the policies and goals for residential development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these policies and goals (e.g. *minimum of six [6] side yard setbacks on all lot types, etc.*);

however, staff did identify the following non-conformities on the original concept plan. Based on these non-conformities, staff provided the below recommendations to the applicant. These recommendations are followed by the applicant's response to each recommendation.

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

- (1) CH. 8; Section 2.02; Goal #4 | Policy #2 (Page 8-3). Use berms and buffers to transition land uses as opposed to walls. This creates a natural transition in which trails can be incorporated to connect residential areas with non-residential areas.

Staff Response: Staff recommended to the applicant that a 50-foot landscape buffer with berms and three (3) tiered landscaping be incorporated adjacent to the southern and eastern property lines. The applicant has agreed to put a 50-foot landscape buffer along the eastern property line incorporating a berm and two (2) staggered rows of cedar trees. In addition, the applicant has agreed to put a 30-foot landscape buffer adjacent to the southern property line with a tree preservation easement to preserve the existing tree line. This appears to meet the intent of the Comprehensive Plan.

- (2) CH. 8; Section 2.03; Goal #1 | Policy #2 (Page 8-3). To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, the house on the property should face onto the park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff Response: Staff recommended that the applicant consider adjusting the lot layout to incorporate more single-loaded streets fronting onto the floodplain situated on the westside of the subject property to better conform to this requirement. The applicant has not changed the plan in accordance with staff's recommendation.

- (3) CH. 8; Section 2.03; Goal #1 | Policy #5 (Page 8-3). Design neighborhoods utilizing the *Housing Tree Model*.

Staff Response: Staff recommended that the applicant consider relocating the larger *Type 'A'* lot product -- currently adjacent to the floodplain -- to northern property line adjacent to Mims Road. The remaining *Type 'C'* lot product located in this area can be relocated adjacent to the floodplain. This will better adhere to the *Housing Tree Model*. The applicant has not made the requested changes.

- (4) CH. 08 | Section 02.03 | Goal 03; Policy 2: Require rear-entry garages and alleyways on all lots that have a lot width of 55-feet or less; however, alleyways should be prohibited on all lots greater than 55-feet. These lots should incorporate *J-Swing* or *Recessed Front Entry* garages.

Staff Response: The applicant is proposing to incorporate a 52' x 120' lot product (i.e. *Type 'D'* lots) that will incorporate a *Front Entry* garage. With this being said, these lots back up to existing non-residential properties and existing residential properties, and the use of alleyways may not be the most appropriate garage configuration in these areas. Based on this, staff is of the opinion that the applicant's plan conforms with the intent of this requirement; however, this does remain a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

- (5) CH. 08 | Sec. 02.03 | Goal 03; Policy 3: In cases where *Flat Front Entry* garages (i.e. even with the front façade of the primary structure) are requested as part of a development no greater than 20% should be incorporated into the development. In addition, *Flat Front Entry* garages should have a minimum of a 25-foot front yard building setback to allow vehicles to be parked in the driveway without overhanging public right-of-way. This type of garage may not be appropriate for all developments and should be generally discouraged.

Staff Response: If a *Front Entry* garage configuration with a recess of five (5) feet is being requested it should be limited to 20% and relegated to only the *Type 'D'* lot product (i.e. the 52' x 120' lots). The applicant is requesting that 19.59% or all of the *Type 'D'* lots (i.e. the 52' x 120' lots) incorporate *Front Entry* garage orientations; however, they are proposing a five (5) foot off-set between the front façade of the home and the garage, which will create a 25-foot building setback for the garage.

In addition to these recommendations, staff also suggested that the applicant consider preserving some of the *Blackland Prairie* as open space in accordance with the Comprehensive Plan; however, this is not currently depicted in their current concept plan. Taking all of this into account, the applicant's concept plan and proposed density and development standards appear to conform with the majority of the OURHometown Vision 2040 Comprehensive Plan; however, there are areas of non-conformance, and -- *as with all zoning cases* -- this request remains a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On January 27, 2023, staff mailed 288 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lynden Park, Flagstone Estates, and Hickory Ridge Homeowner's Associations (HOA's), which are the only Neighborhood Organizations or Homeowners Associations (HOA's) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) One (2) property owner notifications from one (2) property owners within the 500-foot notification buffer in opposition to the applicant's request.
- (2) One (1) notice from the City's Zoning & Specific Use Permit Input Form from a property owner outside of the 500-foot notification buffer in opposition to the applicant's request.
- (3) Two (2) property owner notifications in favor that did not indicate a name or address. In addition, the returned envelop did not have a return address. Based on this, these notices cannot be counted for this case because staff cannot verify the ownership.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) All residential lots, less than 12,000 SF in size, are required to be located within 800-feet of a public or private open space. At the time of *Master Plat*, the applicant will be required to provide an exhibit showing conformance to this requirement.
- (3) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On February 14, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Zoning Change by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Mims Rd, TX**

SUBDIVISION **A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50**

LOT

BLOCK

GENERAL LOCATION **Southeast of Intersection Mims Road & National Dr**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Agricultural**

CURRENT USE **Agricultural**

PROPOSED ZONING **Planned Development District**

PROPOSED USE **Single Family**

ACREAGE **140.5 Acres**

LOTS [CURRENT] **2**

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Vicmar I Ltd & (76195)**

APPLICANT **Michael Joyce Properties**

CONTACT PERSON

CONTACT PERSON

ADDRESS **105 Kaufman St**

ADDRESS **767 Justin Road**

CITY, STATE & ZIP **Rockwall, Tx 75087**

CITY, STATE & ZIP **Rockwall, Tx 75087**

PHONE

PHONE **512-694-6394**

E-MAIL

E-MAIL **meredith@michaeljoyceproperties.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Virginia W. Petersen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2,307.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF January, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

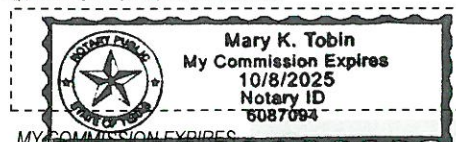
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF January, 2023

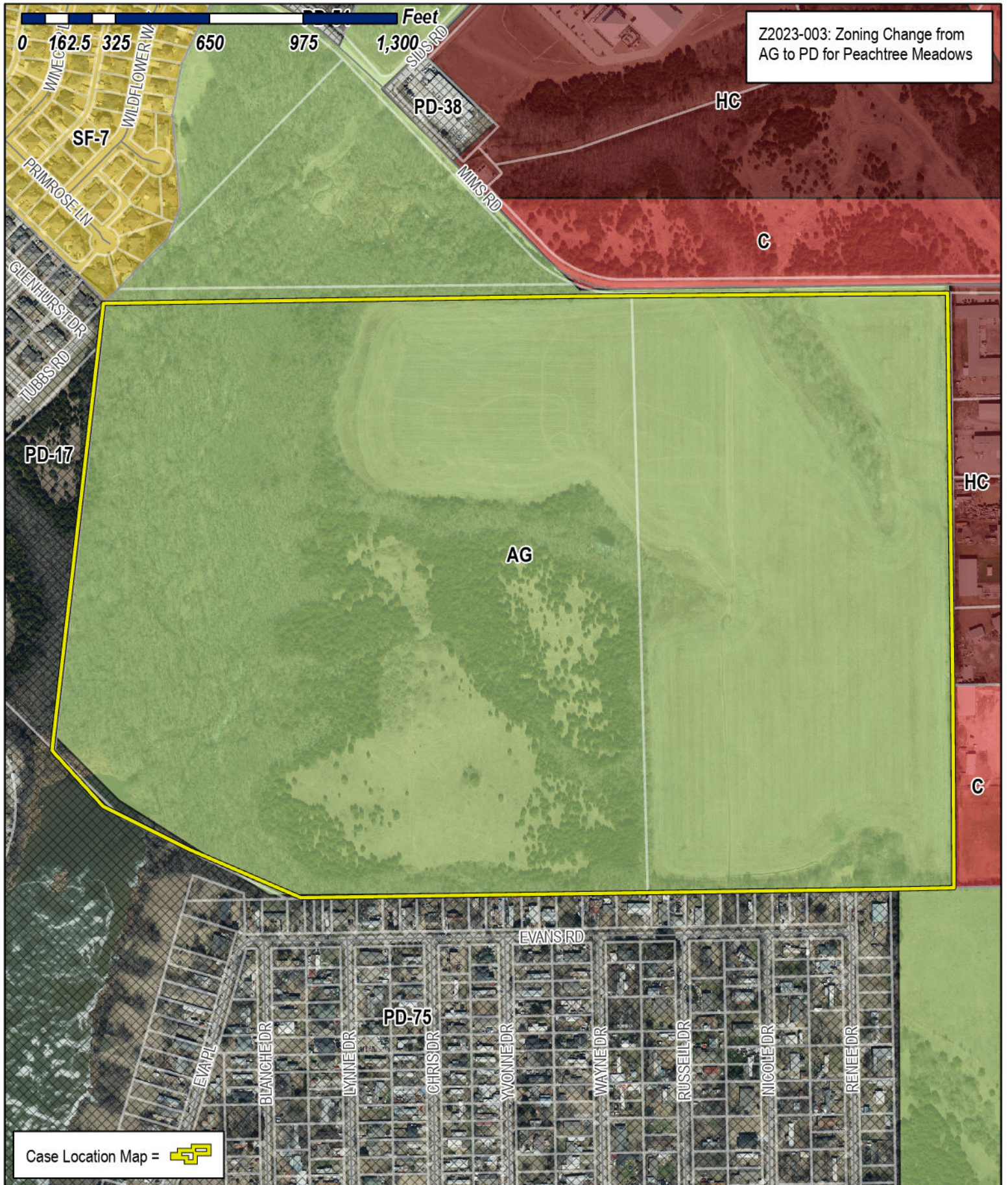
OWNER'S SIGNATURE

Virginia W. Petersen

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary K. Tobin





Z2023-003: Zoning Change from AG to PD for Peachtree Meadows

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

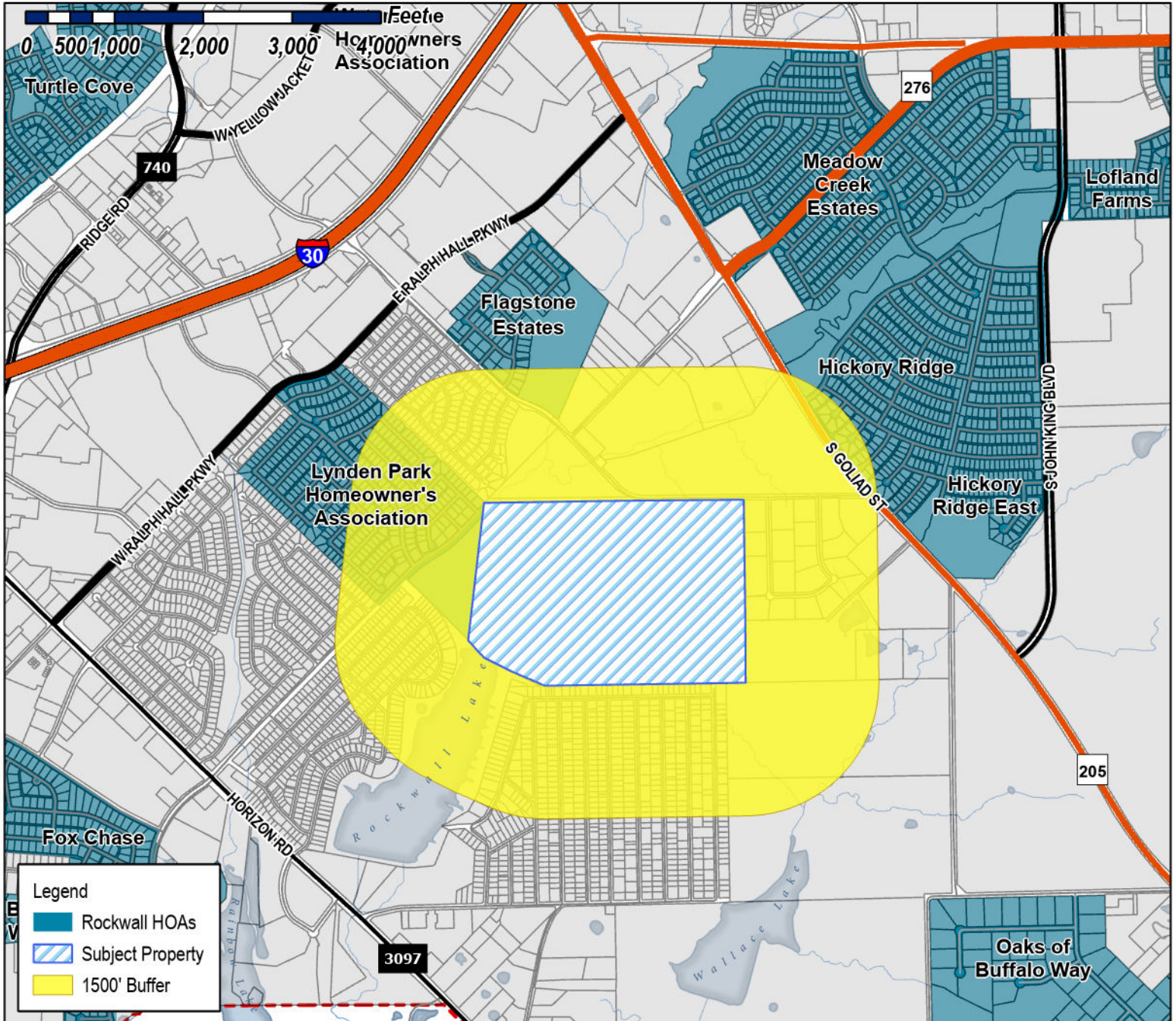




City of Rockwall

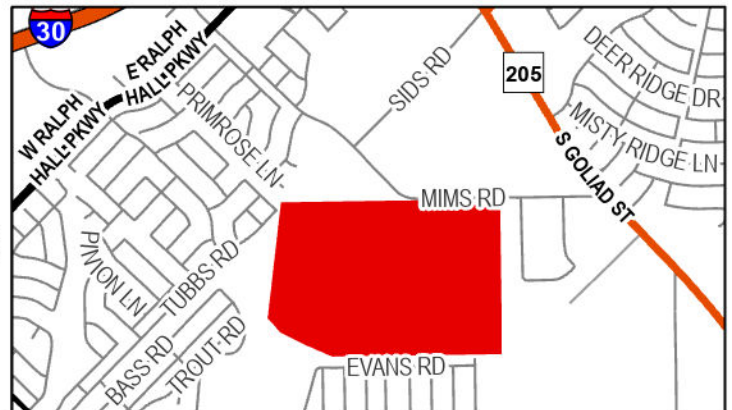
Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2023-003
Case Name: Zoning Change from AG to PD for Peachtree Meadows
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SW of Mims Road and S Goliad Street

Date Saved: 1/20/2023
 For Questions on this Case Call (972) 771-7745



From: [Chapin, Sarah](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#)
Subject: Neighborhood Notification Program [Z2023-003]
Date: Thursday, January 26, 2023 12:24:12 PM
Attachments: [HOA Map \(01.20.2023\).pdf](#)
[Public Notice Z2023-003.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [January 27, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 14, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 21, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-003: Zoning Change for AG to a PD for SF-10 District Land Uses

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a [Zoning Change](#) from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

Thank you,

Sarah Chapin

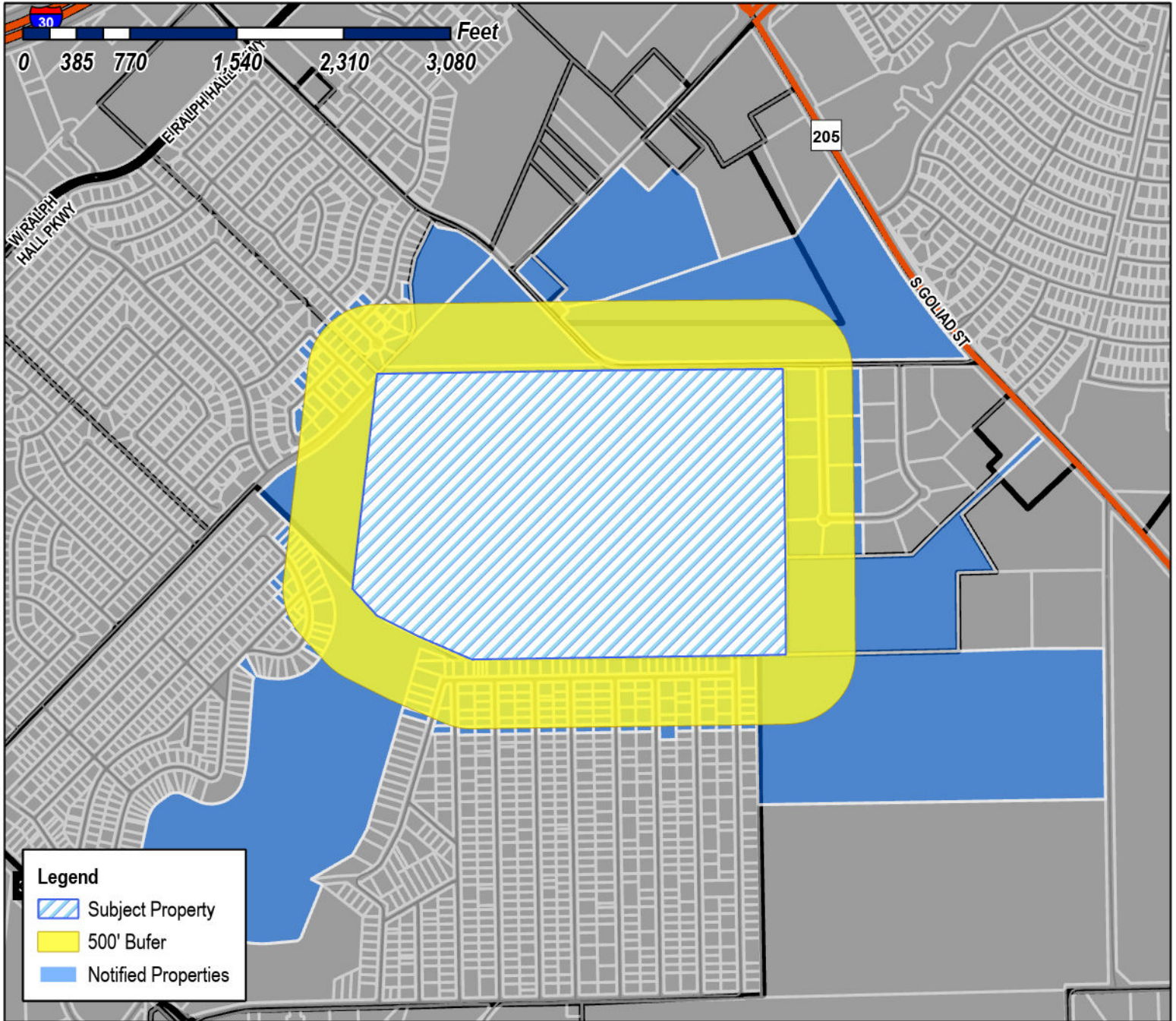
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568



City of Rockwall

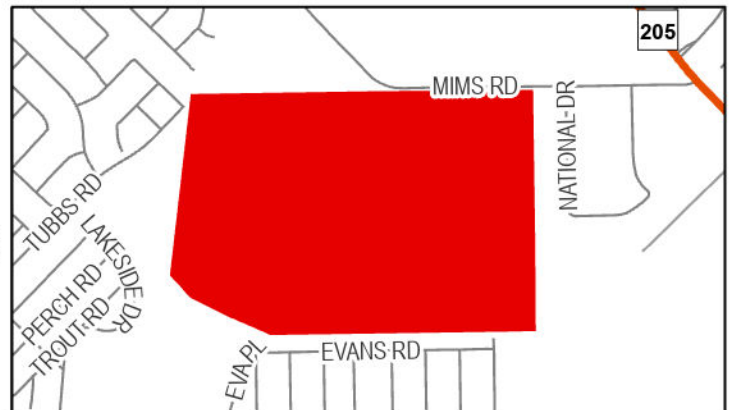
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-003
Case Name: Zoning Change from AG to PD for Peachtree Meadows
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SW of Mims Road and S Goliad Street

Date Saved: 1/20/2023
 For Questions on this Case Call (972) 771-7745



OCCUPANT
599 TROUT RD
ROCKWALL, TX 75032

FRANKS SHERI DENISE
401 FOREST TRCE
ROCKWALL, TX 75087

OCCUPANT
609 TROUT RD
ROCKWALL, TX 75032

JANG TO LIVING TRUST
WILLIAM JANG AND STEFANIE TO- TRUSTEES
11515 205TH STREET
LAKEWOOD, CA 90715

HERNANDEZ BENJAMIN
509 YVONNE DR
ROCKWALL, TX 75032

MARTINEZ DAVID
516 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
485 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
532 LYNNE DR
ROCKWALL, TX 75032

ANAYA JUAN C & RAUL
439 PERCH RD
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
513 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

VASQUEZ JAVIER AND LILIANA
524 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
521 YVONNE DR
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

GONZALEZ NORMA PATRICIA SOLIS
388 EVANS RD
ROCKWALL, TX 75032

MENDOZA FIDEL & ALEJANDRINA
400 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
498 EVANS RD
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
557 RENEE DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

OCCUPANT
917 LAKESIDE DR
ROCKWALL, TX 75032

LORENZO JOSE LUIS &
ANA MARIA GRANDOS
8937 WHISHERS RD
QUINLAN, TX 75474

GUTIERREZ NELSON ANTONIO
933 LAKESIDE DR
ROCKWALL, TX 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
548 NICOLE DR
ROCKWALL, TX 75032

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

OCCUPANT
496 NICOLE DR
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

OCCUPANT
485 RUSSELL DR
ROCKWALL, TX 75032

TELL MARK ALLEN
M/R
, TX

DELGADO JUAN E & MARIA L
541 YVONNE DR
ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE DR
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS
552 RUSSELL DR
ROCKWALL, TX 75032

OBRIEN ELLEN K
537 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

VALDEZ EUSEBIO
505 EVANS RD
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA
513 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
534 YVONNE DR
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
517 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
513 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

OCCUPANT
488 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ DANIEL CONTRERAS AND
PATRICIA CARREON DE CONTRERAS
488 BLANCHE DRIVE
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ
525 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
499 WAYNE DR
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
612 TROUT RD
ROCKWALL, TX 75032

PHAM DAN Q
5158 COUNTY ROAD 3115
CAMPBELL, TX 75422

OCCUPANT
508 RENEE DR
ROCKWALL, TX 75032

VALDEZ JOSE G
1311 PRATO AVE
MCLENDON CHISHOLM, TX 75032

OCCUPANT
594 EVA
ROCKWALL, TX 75032

ALVARES FLORINA GUTIERREZ &
ENRIQUE RENE ORTIZ GARCIA
594 EVA PL
ROCKWALL, TX 75032

OCCUPANT
602 EVA
ROCKWALL, TX 75032

QUEVEDO LUIS & FELIZA
3326 BURNING TREE LN
GARLAND, TX 75042

DEJESUS SANTOS
616 EVA
ROCKWALL, TX 75032

OCCUPANT
582 EVA
ROCKWALL, TX 75032

GARCIA HUGO IVAN DEL AND
JUANA GUZMAN
582 EVA PLACE
ROCKWALL, TX 75032

FAVIAN IGNACIO
620 TROUT RD
ROCKWALL, TX 75032

JONES JAMES & MARY
721 BLUEBELL CT
ROCKWALL, TX 75032

OCCUPANT
481 BLANCHE DR
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
4100 ANDYS LANE
PARKER, TX 75002

DIAZ JOSE LUIS & MARICELA
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
491 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR
ROCKWALL, TX 75032

GUEVARA MARIA
482 YVONNE DR
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS
MARTINEZ-AGUILAR
485 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
488 WAYNE DR
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
441 LYNNE DRIVE
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND FANIA GARCIA
494 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
489 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
466 RENEE DR
ROCKWALL, TX 75032

FLORES ALEJANDRO
1070 N BEN PAYNE RD
ROCKWALL, TX 75087

MAYHALL DANIEL J
463 RENEE DR
ROCKWALL, TX 75032

SUAREZ ERIKA & ALFREDO ESTRADA
497 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
498 LYNNE DR
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

DIAZ MARIA L FLORES
503 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
514 YVONNE DR
ROCKWALL, TX 75032

BLACK TORO CUSTOM HOMES LLC
1210 CREEK VALLEY
MESQUITE, TX 75181

GAMEZ PETRA K MARTINEZ
406 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
412 EVANS RD
ROCKWALL, TX 75032

KOURINIAN MIKAEL
6924 VALMONT STREET UNIT #9
TUJUNGA, CA 91042

OCCUPANT
418 EVANS RD
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING LLC
7331 WESTER WAY
DALLAS, TX 75248

OCCUPANT
452 EVANS RD
ROCKWALL, TX 75032

COLUNGA MARIA CRISTINA
C/O BERNABE COLUNGA
807 N JOSEPHINE ST
ROYSE CITY, TX 75189

OCCUPANT
464 EVANS RD
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

OCCUPANT
486 EVANS RD
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

RETANA JUAN & YENY RUBIO
535 CHRIS DR
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

CERVANTES-OSORNIO HECTOR AND ERIKA J
MOLINA-OLVERA
526 NICOLE DR
ROCKWALL, TX 75032

DIAZ MANUEL & ROSARIO
528 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
518 RUSSELL DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA
523 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
503 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
538 LYNNE DR
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DRIVE
ROCKWALL, TX 75032

OCCUPANT
541 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
528 CHRIS DR
ROCKWALL, TX 75032

SILVA BERTHA
1041 E FM 552
ROCKWALL, TX 75087

OCCUPANT
531 YVONNE DR
ROCKWALL, TX 75032

SAFRA PROPERTIES INC
PO BOX 69
ROCKWALL, TX 75087

STRICKLAND TARA
536 WAYNE DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
535 NICOLE DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

OCCUPANT
520 RENEE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
505 EVANS
ROCKWALL, TX 75032

OCCUPANT
535 BLANCHE DR
ROCKWALL, TX 75032

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
551 LYNNE DR
ROCKWALL, TX 75032

THELWELL LINDA
1013 BLACKBERRY TRL
LANCASTER, TX 75134

RODRIGUEZ ROMAN
540 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
544 YVONNE DR
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT
GARLAND, TX 75043

RAMIREZ GABRIELA & JOSE MENDOZA JR
579 PERCH RD
ROCKWALL, TX 75032

DIAZ-ALMARAZ CARLOS OMAR
514 NICOLE
ROCKWALL, TX 75032

OCCUPANT
491 YVONNE DR
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANDRES M
715 PRIMROSE LN
ROCKWALL, TX 75032

LEBLANC BRIAN AND AARON SALAZAR
709 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
3129 WILDFLOWER WAY
ROCKWALL, TX 75032

PROGRESS DALLAS LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

PRICE TIMOTHY F & DIANA M
3137 WILDFLOWER WAY
ROCKWALL, TX 75032

OCCUPANT
496 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

ALONSO ELEASAR & BENITO GAMEZ
482 WAYNE DR
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR
ROCKWALL, TX 75032

MOORE VIVIAN
811 LAKESIDE DR
ROCKWALL, TX 75032

RIDDLE LINDA K
715 BLUEBELL CT
ROCKWALL, TX 75032

GEORGE POLLY A & BENJAMIN E
709 BLUEBELL CT
ROCKWALL, TX 75032

BRIDGMAN SHAWN AND RENEE
728 PRIMROSE LN
ROCKWALL, TX 75032

DIBA ABBAS & RAZIEHALSADAT YAHYAZADEH
MASHHADI
152 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
714 GLENHURST DR
ROCKWALL, TX 75032

DO DAVID KIM
2206 OAK GROVE CIR
GARLAND, TX 75040

ORAVSKY JAMES S & GINGER L
746 BRAEWICK DR
ROCKWALL, TX 75032

WINTERS KEVIN R & STELIANA V
745 GLENHURST DR
ROCKWALL, TX 75032

PIERCE SYLVIA JO
152 HAVEN RIDGE DR
ROCKWALL, TX 75032

BROWN GREGORY J II AND BARBARA J
112 WESTON CT
ROCKWALL, TX 75032

REYES GALIA OLAZABAL & FRANK ALVAREZ
MOYA
945 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
957 LAKESIDE DR
ROCKWALL, TX 75032

RAMIREZ MARTIN AND ALMA DELIA
8250 COLQUITT ROAD
TERRELL, TX 75160

MUPPALA VENKATANARAYANA AND
CHANDRIKA KONDUR
801 LAKESIDE DR
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS FRANCISCO
532 BLANCHE DR
ROCKWALL, TX 75032

ARROYO REYES
499 RUSSELL DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

AGUILAR ROSALINA
507 BLANCHE DR
ROCKWALL, TX 75032

FLORES JAIME W & MARLENE CASTRO
520 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
506 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

VELASQUEZ LORENA
501 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
495 NATIONAL DR
ROCKWALL, TX 75032

PEOPLES MIKE
PO BOX 41
ROCKWALL, TX 75087

OCCUPANT
433 NATIONAL DR
ROCKWALL, TX 75032

FARRAR SECURITY SYSTEMS INC
PO BOX 2199
ROCKWALL, TX 75087

OCCUPANT
627 NATIONAL DR
ROCKWALL, TX 75032

D & A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

EISENSTEIN JENNIPHER D AND MICHAEL J
157 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
708 GLENHURST DR
ROCKWALL, TX 75032

CHEN CHAI
825 HARLAN CT
MURPHY, TX 75094

OCCUPANT
118 NATIONAL DR
ROCKWALL, TX 75032

SCOTTFREE INVESTMENTS LP
519 E INTERSTATE 30 #511
ROCKWALL, TX 75087

OCCUPANT
496 NATIONAL DR
ROCKWALL, TX 75032

BIG BUCK PROPERTIES LLC
PO BOX 2107
ROCKWALL, TX 75087

SITTER KAREEN RUTH
743 PRIMROSE LN
ROCKWALL, TX 75032

TIPPING DORA MARIA
735 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
727 PRIMROSE LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

HARRIS CHAD & MISTY PIERCE
721 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
156 WESTON CT
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT
23974 PARK SORRENTO Suite 300
CALABASAS, CA 91302

ALLMANN CHRISSEY J
126 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
134 WESTON CT
ROCKWALL, TX 75032

RONALD J AND EILEEN P BOTT LIVING TRUST
RONALD J BOTT AND EILEEN P BOTT-
COTRUSTEES
12172 GAY RIO DRIVE
LAKESIDE, CA 92040

STANCIOIU MARIAN & OANA
138 WESTON CT
ROCKWALL, TX 75032

SCARNATI TAMMY AND JAMES T JR
156 HAVEN RIDGE DR
ROCKWALL, TX 75032

OCCUPANT
449 NATIONAL DR
ROCKWALL, TX 75032

FRAUSTO MICKEY & LISA L
PO BOX 928
ROYSE CITY, TX 75189

GULICK ANNA C
734 PRIMROSE LN
ROCKWALL, TX 75032

BUSH BLAKE & LARRY
740 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
718 BLUEBELL CT
ROCKWALL, TX 75032

GREGORY COREY ALAN
25881 SOUTH 655 RD
GROVE, OK 74344

BEASLEY MOLLIE & MEAGAN NUGENT
727 BLUEBELL CT
ROCKWALL, TX 75032

OCCUPANT
626 NATIONAL DR
ROCKWALL, TX 75032

SCOTTFREE INVESTMENT LP
519 E INTERSTATE 30 #511
ROCKWALL, TX 75087

HEFFLER MICHAEL A
744 PRIMROSE LN
ROCKWALL, TX 75032

HOLLAND JON E
747 PRIMROSE LN
ROCKWALL, TX 75032

CZARNOPYS BENJAMIN J & ROBIN K
746 GLENHURST DR
ROCKWALL, TX 75032

STEWART EMILY D AND BRYON STEWART JR
738 GLENHURST DR
ROCKWALL, TX 75032

SOAITA MARIUS & DANIELA M
732 GLENHURST DR
ROCKWALL, TX 75032

TATEVOSIAN BARKEV S & GUENDOLI
726 GLENHURST DR
ROCKWALL, TX 75032

OCCUPANT
720 GLENHURST DR
ROCKWALL, TX 75032

RENDON NOEL & CHRISTIE
607 W BROAD ST
MANSFIELD, TX 76063

BYERS MARY E TRESPACES- AND JAMES
MICHAEL
745 BRAEWICK DR
ROCKWALL, TX 75032

ROTEN STEVEN NEIL
141 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
145 WESTON CT
ROCKWALL, TX 75032

CSH PROPERTY ONE LLC
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

LOFGREN STEVE G
149 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
153 WESTON CT
ROCKWALL, TX 75032

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

PEACOCK JAY C & ROBYN M
148 WESTON CT
ROCKWALL, TX 75032

RODRIGUEZ FLORENCIO GOMEZ
630 EVA
ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
150 EVANS RD
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
160 EVANS RD
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT
GARLAND, TX 75043

MEJIA RAMIRO
244 EVANS ST
ROCKWALL, TX 75032

OCCUPANT
266 EVANS RD
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA
848 SMITH ACRES DR
ROYSE CITY, TX 75189

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS RD
ROCKWALL, TX 75032

BALDERAS GREGORY
310 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
302 EVANS RD
ROCKWALL, TX 75032

VAZQUEZ MARCOS PEREZ
1806 13TH STREET
GALENA PARK, TX 77547

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD
ROCKWALL, TX 75032

RAMIRES RAUL
358 EVANS RD
ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

GARCIA JUAN
519 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
515 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD
ROCKWALL, TX 75032

PERALES OSCAR F AND DIANA A
106 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
114 EVANS RD
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
LOFLAND CIR
ROCKWALL, TX 75032

SMARTT LOFLAND & BOND
1 CARMARTHEN CT
DALLAS, TX 75225

OCCUPANT
2922 S HWY205
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC
6310 LEMMON AVE STE 202
DALLAS, TX 75209

OCCUPANT
791 LAKESIDE DR
ROCKWALL, TX 75032

KUBIS CINDY
281 N LARAMIE CIR
PILOT POINT, TX 76258

RODRIGUEZ ROMAN
220 EVANS RD
ROCKWALL, TX 75032

BAKER LATONIA
840 LAKESIDE DR
ROCKWALL, TX 75032

TUAZON LINCOLN AND DIVINA
848 LAKESIDE DR
ROCKWALL, TX 75032

PETREY MELODIE A
806 LAKESIDE DR
ROCKWALL, TX 75032

DEL ROSARIO VICTOR & LETICIA
813 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
905 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

OCCUPANT
891 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
855 LAKESIDE DR
ROCKWALL, TX 75032

TURNER DANNY AND NANCY
829 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
877 LAKESDIE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
610 ARCADIA WAY
ROCKWALL, TX 75087

BOLEN LORNA L &
ROSALIO O SANCHEZ
861 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
869 LAKESIDE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
610 ARCADIA WAY
ROCKWALL, TX 75087

TURNER DANNY
829 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75087

OCCUPANT
900 SIDS RD
ROCKWALL, TX 75032

SLAUGHTER RICHARD E JR
PO BOX 1717
ROCKWALL, TX 75087

RAMIREZ MARIO
908 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
EVANS RD
ROCKWALL, TX 75032

GANUS HUGH
524 SESAME DR
MESQUITE, TX 75149

OCCUPANT
140 EVANS RD
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
950 SIDS RD
ROCKWALL, TX 75032

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75087

HERREROS BERTOLDO
196 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
170 EVANS RD
ROCKWALL, TX 75032

DIAZ JOSE LUIS &
MARICELA ARREDONDO
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
510 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ CARLOS FRANSISCO CARMONA
532 BLANCHE DRIVE
ROCKWALL, TX 75032

OCCUPANT
125 NATIONAL DR
ROCKWALL, TX 75032

RACK HOLDINGS LLC- 125 NATIONAL SERIES
3021 RIDGE ROAD SUITE A-131
ROCKWALL, TX 75032

BOWERS TAMMY GAIL
630 TROUT RD
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We specifically bought our home because it is on a greenbelt!
We enjoy our privacy. Rezoning this area will result in the
wildlife having to find a new area to relocate to for their
home and we do not want to impact the wildlife here!

Name: Ben + Robin Czarnopys

Address: 746 Glenhurst Dr

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

UNWanted Traffic, overpopulation

Name:

Gregory Brown

Address:

112 Weston Ct Rockwall TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area for comments]

Name:

[Redacted area for name]

Address:

[Redacted area for address]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name:

[Redacted name field]

Address:

[Redacted address field]

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Lots of wildlife reside in that area. You will destroy their habitat and destroy many trees which help the ecosystem.

Respondent Information

Please provide your information.

First Name *

Shelly

Last Name *

McWilliams

Address *

107 Weston Ct

City *

Rockwall

State *

Tx

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

I received a property owner notification in the mail.

I read about the request on the City's website.

I saw a zoning sign on the property.

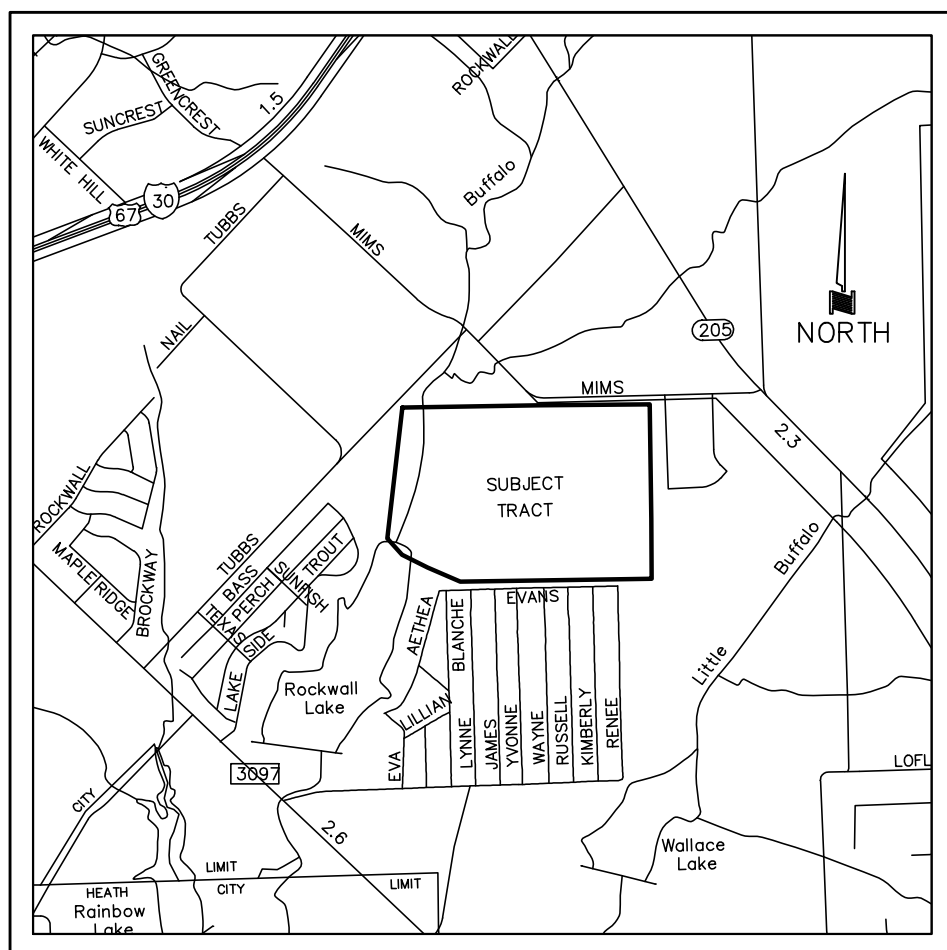
I read about the request in the Rockwall Herald Banner.

My neighbors told me about the request.

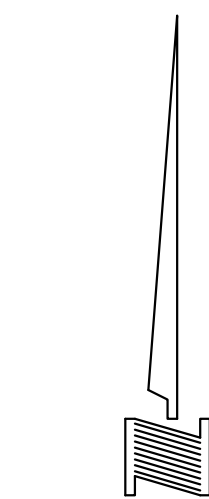
Other: _____

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Google Forms



LOCATION MAP
NOT TO SCALE



GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983. ALL DIMENSIONS SHOWN ARE GROUND DISTANCES. TO OBTAIN A GRID DISTANCE, MULTIPLY THE GROUND DISTANCE BY THE PROJECT COMBINED FACTOR (PCF) OF 0.9998800144.

2. ACCORDING TO MAP NO. 48397-0040L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, DATED SEPTEMBER 26, 2008, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN, ZONE "A"; DEFINED AS SPECIAL FLOOD HAZARD AREA INUNDATED BY THE 100-YEAR FLOOD WITH NO BASE ELEVATIONS DETERMINED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

3. THE LOCATION OF THE FLOOD ZONE LINES SHOWN HEREON, WERE DETERMINED BY SCALING FROM SAID FEMA MAP. THE ACTUAL LOCATION AS DETERMINED BY ELEVATION CONTOURS MAY DIFFER. SURVEYOR ASSUMES NO LIABILITY AS TO THE ACCURACY OF THE LOCATION OF THE FLOOD ZONE LIMITS..

4. SURVEYOR ADDRESSED ONLY THOSE ITEMS LISTED IN OLD REPUBLIC TITLE INSURANCE COMPANY'S COMMITMENT FOR TITLE INSURANCE, G.F. NO. 2254424-ATDA, EFFECTIVE DATE DECEMBER 7, 2022. NO FURTHER RESEARCH WAS PERFORMED BY SURVEYOR.

5. VISIBLE IMPROVEMENTS/UTILITIES WERE LOCATED WITH THIS SURVEY, NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED FOR THIS SURVEY.

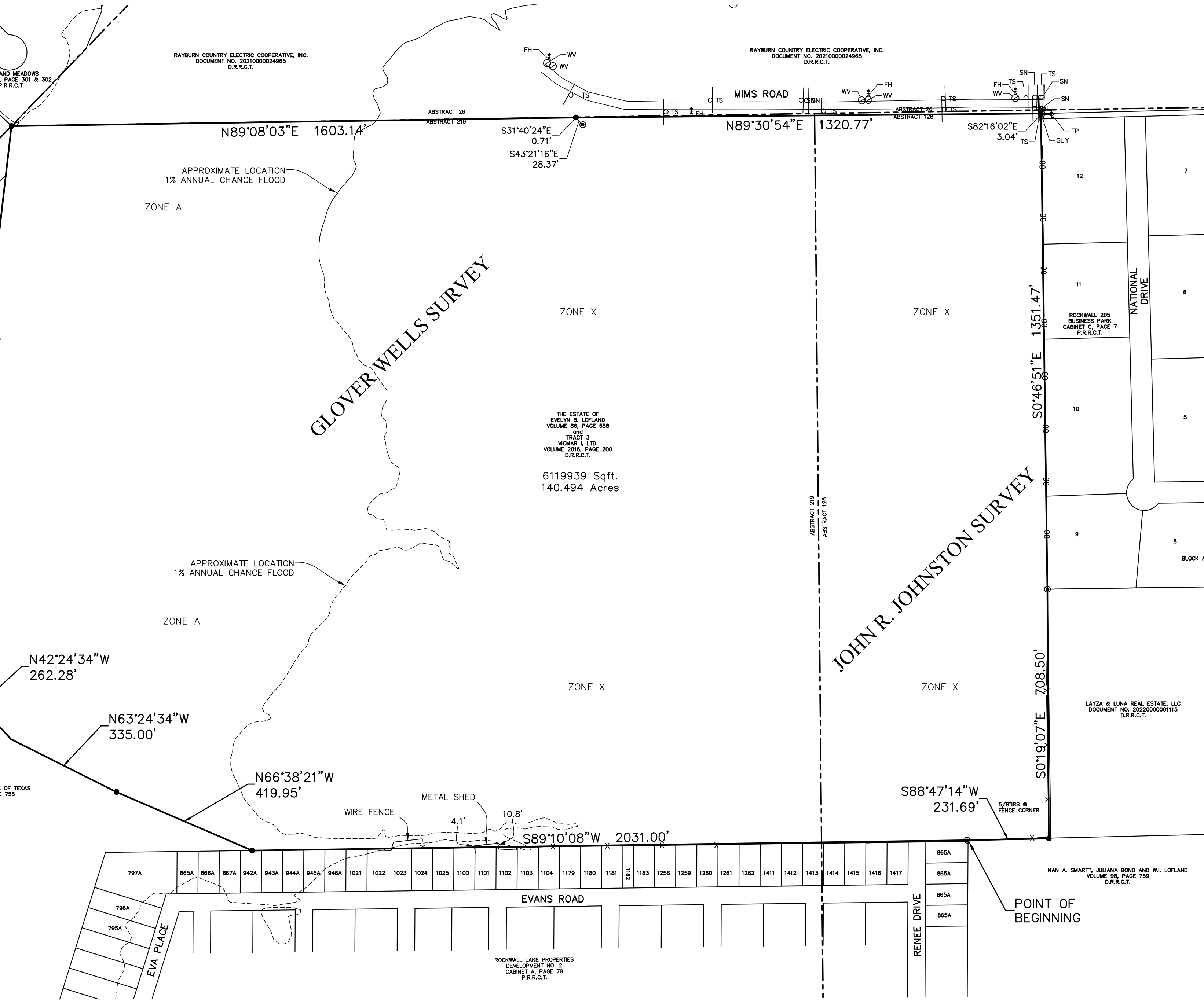
6. FENCES SHOWN HEREON ARE GRAPHIC ONLY AND MAY MEANDER BETWEEN MEASURED LOCATIONS.

7. THE ACREAGE TOTALS AS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THIS SURVEY. THEY DO NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.

8. THIS SURVEY DOES NOT PROVIDE ANY DETERMINATION CONCERNING WETLANDS, FAULT LINES, TOXIC WASTE OR ANY OTHER ENVIRONMENTAL ISSUES. SUCH MATTERS SHOULD BE DIRECTED BY THE CLIENT OR PROSPECTIVE PURCHASER TO AN EXPERT CONSULTANT.

9. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR THE PARTIES CERTIFIED TO HEREON AND REMAINS THE PROPERTY OF THE SURVEYOR. THE UNAUTHORIZED USE OR REUSE OF THIS SURVEY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SURVEYOR IS NOT PERMITTED. THE USE OF THIS SURVEY BY ANYONE OTHER THAN THE CERTIFIED PARTIES OR FOR ANY UNINTENDED USE WILL REMOVE SURVEYOR FROM BURDEN OF ANY DAMAGES INCURRED.

10. THE TERM "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON INDICATES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED, AND IS EXCLUSIVELY TO THE PARTIES INVOLVED IN AND LIMITED TO THE TRANSACTION CLOSING AT THE TITLE COMPANY INDICATED HEREON.



SCHEDULE B NOTES

g. TERMS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT FOR IMPOUNDING WATER AS SET OUT IN INSTRUMENT RECORDED IN VOLUME 51, PAGE 116, OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS. (SUBJECT TO-NON PLOTTABLE)

LEGEND

- IRON ROD OR IRON PIPE FOUND
- 1/2" IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED)
- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
- TS — TRAFFIC SIGN
- UGCM — UNDERGROUND CABLE MARKER
- FH — FIRE HYDRANT
- GUY — GUY WIRE ANCHOR
- PP — POWER POLE
- TPED — TELEPHONE PEDESTAL
- WV — WATER VALVE
- CHAIN LINK FENCE
- X— WIRE FENCE

FIELD NOTE DESCRIPTION
140.494 ACRES

BEING A 140.494 ACRE TRACT OF LAND SITUATED IN THE GLOVER WELLS SURVEY, ABSTRACT NUMBER 219 AND THE JOHN R. JOHNSTON SURVEY, ABSTRACT NUMBER 128 OF ROCKWALL COUNTY, TEXAS, BEING THAT TRACT OF LAND CONVEYED TO THE ESTATE OF EVELYN B. LOFLAND ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 86, PAGE 558, DEED RECORDS ROCKWALL COUNTY, TEXAS AND VICMAR I, LTD. ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 2016, PAGE 200, DEED RECORDS ROCKWALL COUNTY, TEXAS (D.R.R.C.T.) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1" IRON PIPE FOUND IN THE SOUTH LINE OF SAID VICMAR I TRACT, SAME BEING THE COMMON NORTHEAST CORNER OF THAT TRACT OF LAND CONVEYED TO HAPPY COUNTRY HOMES OF TEXAS, ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 157, PAGE 755 (D.R.R.C.T.) AND BEING THE COMMON NORTHWEST CORNER OF THAT TRACT OF LAND CONVEYED TO NAN A. SMARTT, JULIANA BOND AND W.I. LOFLAND ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 98, PAGE 759 (D.R.R.C.T.);

THENCE S 89° 10' 08" W WITH THE SOUTH LINE OF SAID VICMAR I TRACT, SAME BEING THE COMMON NORTH LINE OF SAID HAPPY COUNTRY HOMES TRACT, FOR A DISTANCE OF 2031.00 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A CORNER OF THIS TRACT;

THENCE LEAVING SAID COMMON LINE, CONTINUING WITH THE SOUTH LINE OF SAID VICMAR I TRACT THE FOLLOWING THREE (3) COURSES AND DISTANCES:
N 66° 38' 21" W, A DISTANCE OF 419.95 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A CORNER OF THIS TRACT;
N 63° 24' 34" W, A DISTANCE OF 335.00 FEET TO A POINT FOR CORNER OF THIS TRACT, LOCATED WITHIN THE LIMITS OF THE CURRENT WATER LEVEL OF A LARGE POND;
N 42° 24' 34" W, A DISTANCE OF 262.28 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A CORNER OF THIS TRACT;

THENCE N 06° 34' 13" E, PASSING AT A DISTANCE OF 40.96 FEET A 1/2" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF LOT 1, BLOCK D, LYNDEN PARK ESTATES, PHASE 4, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT FILED OF RECORD IN CABINET E, SLIDE 396 PLAT RECORDS ROCKWALL COUNTY, TEXAS (P.R.R.C.T.), CONTINUING WITH THE EAST LINE OF SAID LYNDEN PARK ESTATES, PHASE 4 FOR A DISTANCE OF 1558.91 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR THE NORTHEAST CORNER OF SAID LYNDEN PARK ESTATES, PHASE 4, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT FILED OF RECORD IN CABINET C, PAGE 301/302 (P.R.R.C.T.), ALSO BEING THE SOUTHWEST CORNER OF THAT TRACT OF LAND CONVEYED TO RAYBURN COUNTRY ELECTRIC COOPERATIVE, INC. ACCORDING TO THE DOCUMENT FILED OF RECORD IN DOCUMENT NUMBER 2021000024965 (D.R.R.C.T.) AND BEING THE COMMON NORTHWEST CORNER OF THIS TRACT;

THENCE N 89° 08' 03" E WITH THE SOUTH LINE OF SAID RAYBURN COUNTRY ELECTRIC COOPERATIVE, INC. TRACT, SAME BEING COMMON WITH THE NORTH LINE OF THIS TRACT, A DISTANCE OF 1603.14 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A COMMON CORNER OF SAID TRACT AND THIS TRACT, FROM WHICH A FOUND 60-D NAIL FOUND FOR A REFERENCE TO SAID CORNER BEARS S 31° 40' 24" E, 0.71 FEET, ALSO FROM SAID CORNER, A 5/8" IRON ROD FOUND FOR REFERENCE TO SAID CORNER BEARS S 43° 21' 16" E, 28.37 FEET;

THENCE N 89° 30' 54" E, CONTINUING WITH SAID COMMON LINE, FOR A DISTANCE OF 1320.77 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR THE NORTHEAST CORNER OF THIS TRACT, FROM WHICH A 3/8" IRON ROD FOUND FOR REFERENCE TO SAID CORNER BEARS S 82° 16' 02" E, 3.04 FEET;

THENCE S 00° 46' 51" E, LEAVING SAID COMMON LINE, WITH THE WEST LINE OF ROCKWALL 205 BUSINESS PARK, AN ADDITION TO THE CITY OF ROCKWALL, ACCORDING TO THE PLAT FILED OF RECORD IN CABINET C, PAGE 7 (P.R.R.C.T.) FOR A DISTANCE OF 1351.47 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID ADDITION, THE NORTHWEST CORNER OF THAT TRACT OF LAND CONVEYED TO LAYZA & LUNA REAL ESTATE, LLC ACCORDING TO THE DOCUMENT FILED OF RECORD IN DOCUMENT NUMBER 2022000001115 (D.R.R.C.T.) AND COMMON CORNER OF THIS TRACT;

THENCE S 00° 19' 07" E WITH THE WEST LINE OF SAID LAYZA & LUNA REAL ESTATE, LLC TRACT, FOR A DISTANCE OF 708.50 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET IN THE NORTH LINE OF THE ABOVE-MENTIONED NAN A. SMARTT, JULIANA BOND AND W.I. LOFLAND TRACT, FOR THE SOUTHWEST CORNER OF SAID LAYZA & LUNA REAL ESTATE, LLC TRACT AND COMMON SOUTHEAST CORNER OF THIS TRACT;

THENCE S 88° 47' 14" W, WITH SAID NORTH LINE, A DISTANCE OF 231.69 FEET TO THE POINT OF BEGINNING AND CONTAINING 6,119,939 SQUARE FEET OR 140.494 ACRES OF LAND.

SURVEYOR'S CERTIFICATE:

To QUALICO DEVELOPMENTS (U.S.), INC., A DELAWARE CORPORATION, INDEPENDENCE TITLE, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND THE ESTATE OF EVELYN B. LOFLAND AND VICMAR I, LTD., A TEXAS CORPORATION:

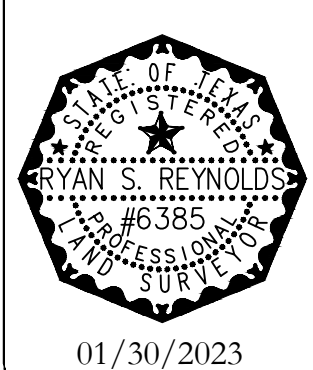
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE SUBSTANTIALLY IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2021, AND INCLUDES ITEMS 1-4, 7(A), 8, 9, 11, 13 AND 14 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR IN THE STATE OF TEXAS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

RYAN S. REYNOLDS
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6385

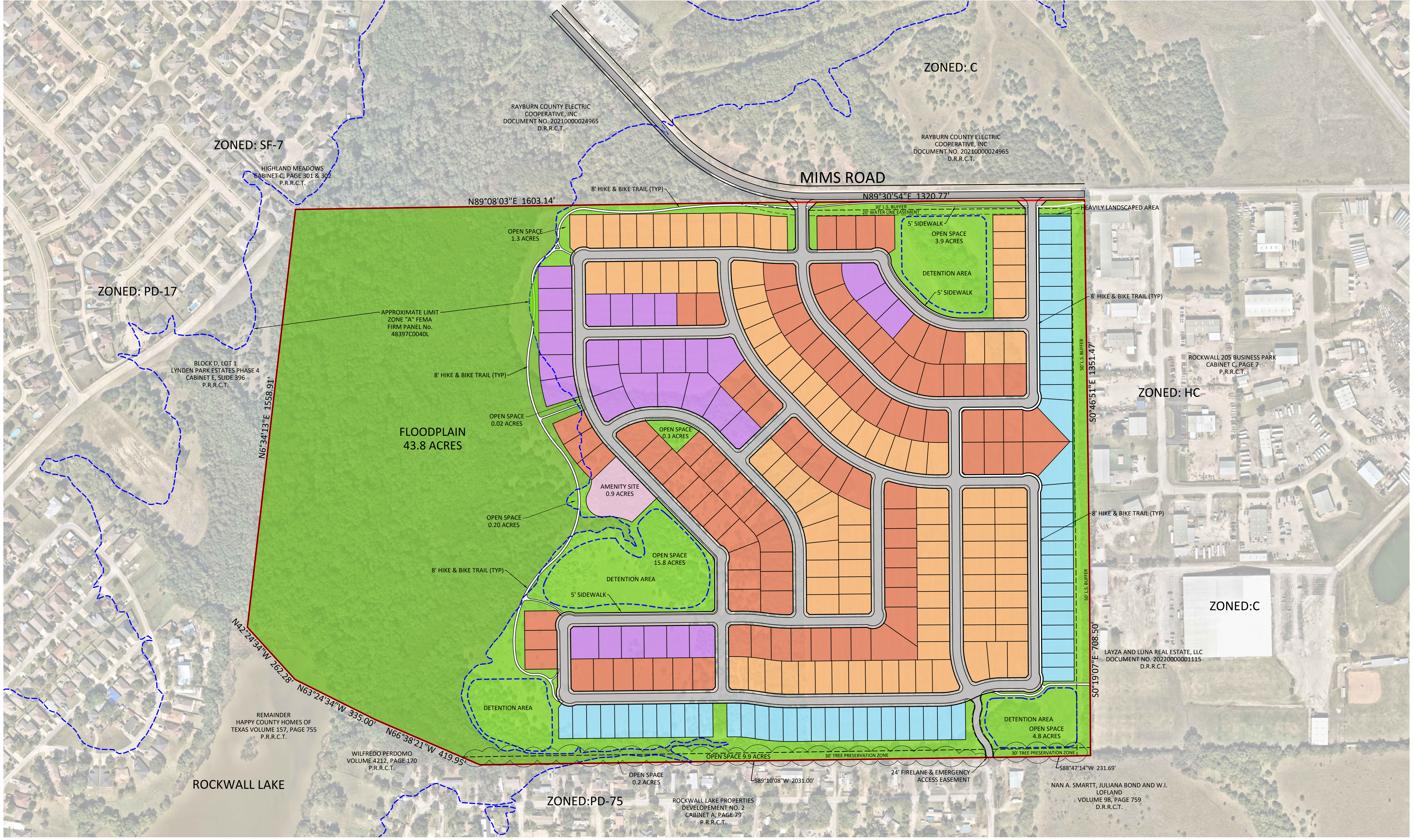
SURVEYED ON THE GROUND: JANUARY 9, 2023



ALTA/NSPS LAND TITLE SURVEY
140.494 Acres, Glover Wells Survey, Abstract 219
and the John R. Johnston Survey, Abstract 128
Rockwall County, Texas



SCALE:
200'
One Inch
JVC No Q00501
SHEET 1 OF 1



ALL LOTS LESS THAN 12,000 SF ARE LOCATED WITHIN 800 FT OF A PUBLIC OR PRIVATE OPEN SPACE AREA.



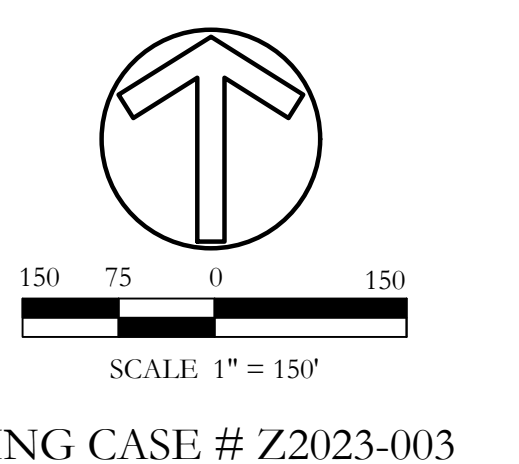
LOT TYPE	A	B	C	D
LOT COUNT	32	98	105	57
MINIMUM LOT AREA (SF)	9,000	8,400	7,200	6,000
MINIMUM LOT WIDTH (FT)	82	72	62	52
MINIMUM LOT DEPTH (FT)	120	120	120	120
FRONT BUILDING SETBACK (FT)	20	20	20	20
REAR BUILDING SETBACK (FT)	20	20	20	20
SIDE BUILDING SETBACK INTERIOR (FT)	6	6	6	6
SIDE BUILDING SETBACK CORNER (FT)	15	15	15	15
MAXIMUM BUILDING HEIGHT	35 FEET / 2.5 STORIES			
MAXIMUM LOT COVERAGE (%)	45%	45%	65%	65%
TYPICAL PAD SIZE*	70' x 80'	60' x 80'	50' x 80'	40' x 80'

*MEASURED AT FRONT BUILDING SETBACK

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LAND USE	AREA (AC)	PERCENT OF TOTAL
RESIDENTIAL	75.3	53.6%
OPEN SPACE		
Private Open Space	20.5	14.6%
Amenity Center	0.9	0.6%
Floodplain	43.8	31.2%
OPEN SPACE TOTAL	65.2	46.4%
TOTAL ACRES	140.5	100.0%

Open Space Required (20%) = 140.5 x 20% = 28.1 acres
 Open Space Provided (Including 1/2 of floodplain) = 43.3



ZONING CASE # Z2023-003

18 SOUTHWEST RESIDENTIAL DISTRICT

 = SUBJECT PROPERTY

DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

2 **Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

3 **Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

4 **Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



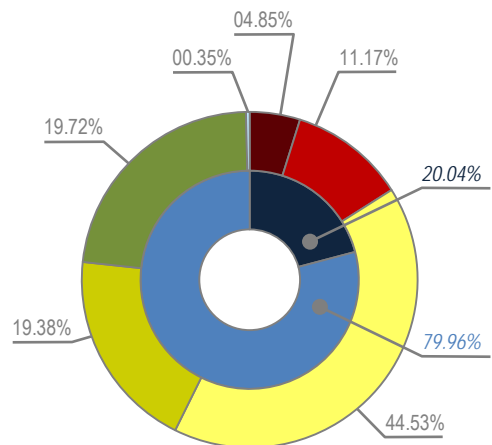
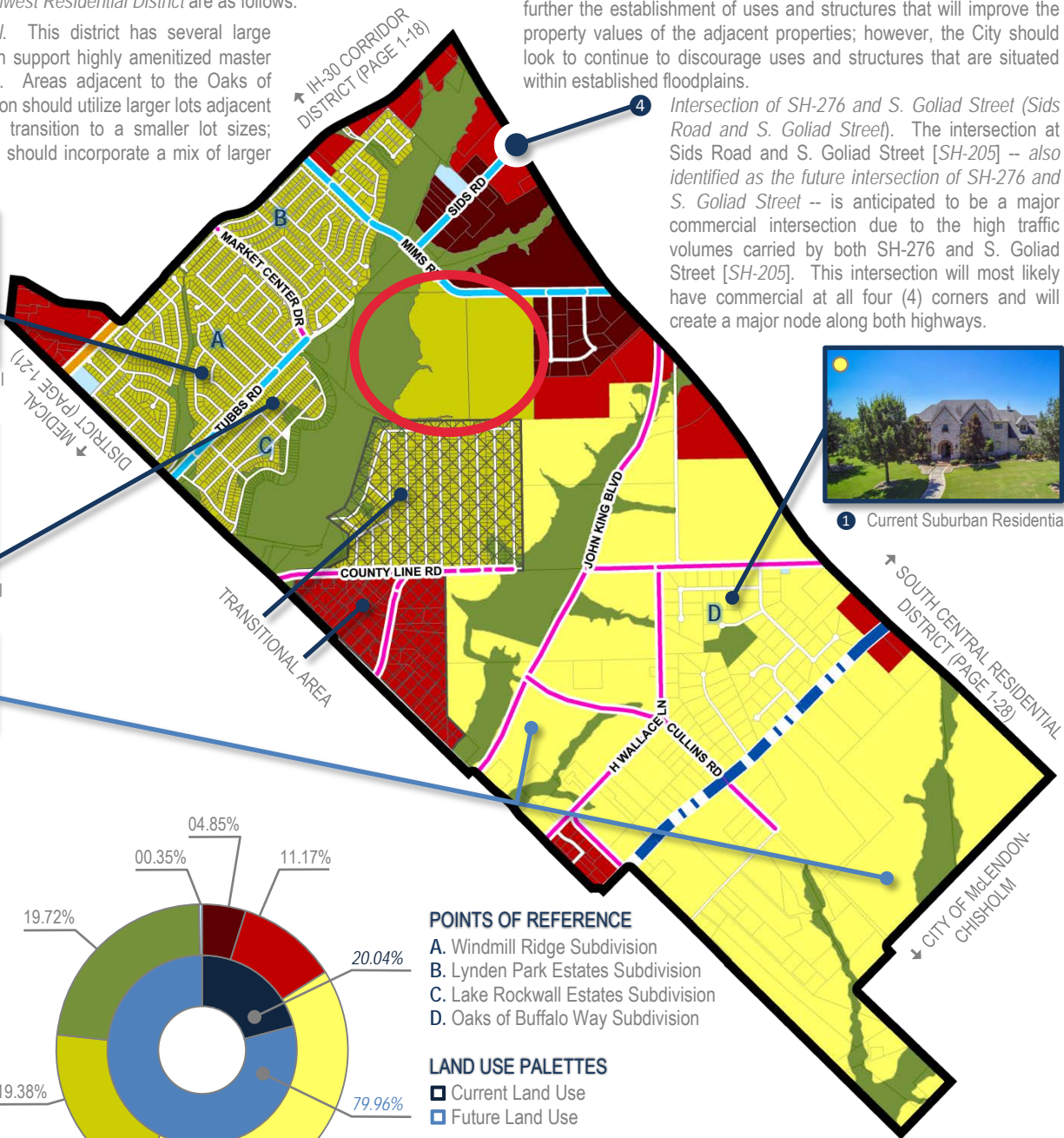
1 Current Suburban Residential



1 Current Suburban Residential



1 Future Suburban Residential



POINTS OF REFERENCE

- A. Windmill Ridge Subdivision
- B. Lynden Park Estates Subdivision
- C. Lake Rockwall Estates Subdivision
- D. Oaks of Buffalo Way Subdivision

LAND USE PALETTES

- Current Land Use
- Future Land Use

COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
COMMERCIAL/RETAIL (CR)	277.44-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
PARKS AND OPEN SPACE (OS)	489.99-ACRES
QUASI-PUBLIC (QP)	8.67-ACRES

BUILD OUT	4,251
% OF ROCKWALL	10.95%
	10.34%
	12.49%
CURRENT	2,190
	188
	7,437

COMMERCIAL	20.04%
RESIDENTIAL	79.96%
MIXED USE	0.00%
MINOR COLLECTOR	
M4D	
M4U	
TXDOT 4D	

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 140.50-ACRE TRACT OF LAND IDENTIFIED AS TRACT 5 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128 AND TRACT 3 OF THE G. WELLS SURVEY, ABSTRACT NO. 219, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District land uses, on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto

and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property* -- prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* of this ordinance -- shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development on the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) *Master Parks and Open Space Plan*
 - (2) *Master Plat*
 - (3) *Preliminary Plat*
 - (4) *PD Site Plan*
 - (5) *Final Plat*
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF MARCH, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A':
Legal Description

BEING a 140.494-acre tract of land situated in the Glover Wells Survey, Abstract Number 219 and the John R. Johnston Survey, Abstract Number 128 of Rockwall County, Texas, being that tract of land conveyed to VICMAR I, LTD. According to the document filed of record in Volume 2016, Page 200, Deed Records Rockwall County, Texas (D.R.R.C.T.) and being more particularly described as follows:

BEGINNING at a 1" iron pipe found in the south line of said VICMAR I tract, same being the common northeast corner of that tract of land conveyed to Happy Country Homes of Texas, according to the document filed of record in Volume 157, Page 755 (D.R.R.C.T.) and being the common northwest corner of that tract of land conveyed to Nan A. Smartt, Juliana Bond and W.I. Lofland according to the document filed of record in Volume 98, Page 759 (D.R.R.C.T.);

THENCE S 89° 10' 08" W with the south line of said VICMAR I tract, same being the common north line of said Happy Country Homes tract, for a distance of 2031.00 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

THENCE leaving said common line, continuing with the south line of said VICMAR I tract the following three (3) courses and distances:

N 66° 38' 21" W, a distance of 419.95 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

N 63° 24' 34" W, a distance of 335.00 feet to a point for corner of this tract, located within the limits of the current water level of a large pond;

N 42° 24' 34" W, a distance of 262.28 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

THENCE N 06° 34' 13" E, passing at a distance of 40.96 feet a ½" iron rod found for the southeast corner of Lot 1, Block D, Lynden Park Estates, Phase 4, an addition to the City of Rockwall according to the plat filed of record in Cabinet E, Slide 396 Plat Records Rockwall County, Texas (P.R.R.C.T.), continuing with the east line of said Lynden Park Estates, Phase 4 for a distance of 1558.91 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for the northeast corner of said Lynden Park Estates, same being the southeast corner of Highland Meadows, an addition to the City of Rockwall according to the plat filed of record in Cabinet C, Page 301/302 (P.R.R.C.T.), also being the southwest corner of that tract of land conveyed to

Rayburn Country Electric Cooperative, Inc. according to the document filed of record in Document Number 20210000024965 (D.R.R.C.T.) and being the common northwest corner of this tract;

THENCE N 89° 08' 03" E with the south line of said Rayburn Country Electric Cooperative, Inc. tract, same being common with the north line of this tract, a distance of 1603.14 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a common corner of said tract and this tract, from which a found 60-D Nail found for a reference to said corner bears S 31° 40' 24" E, 0.71 feet, also from said corner, a 5/8" iron rod found for reference to said corner bears S 43° 21' 16" E, 28.37 feet;

THENCE N 89° 30' 54" E, continuing with said common line, for a distance of 1320.77 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for the northeast corner of this tract, from which a 3/8" iron rod found for reference to said corner bears S 82° 16' 02" E, 3.04 feet;

THENCE S 00° 46' 51" E, leaving said common line, with the west line of Rockwall 205 Business Park, an addition to the City of Rockwall, according to the plat filed of record in Cabinet C, Page 7 (P.R.R.C.T.) for a distance of 1351.47 feet to a ½" iron rod found for the southwest corner of said addition, the northwest corner of that tract of land conveyed to Layza & Luna Real Estate, LLC according to the document filed of record in Document Number 20220000001115 (D.R.R.C.T.) and common corner of this tract;

THENCE S 00° 19' 07" E with the west line of said Layza & Luna Real Estate, LLC tract, for a distance of

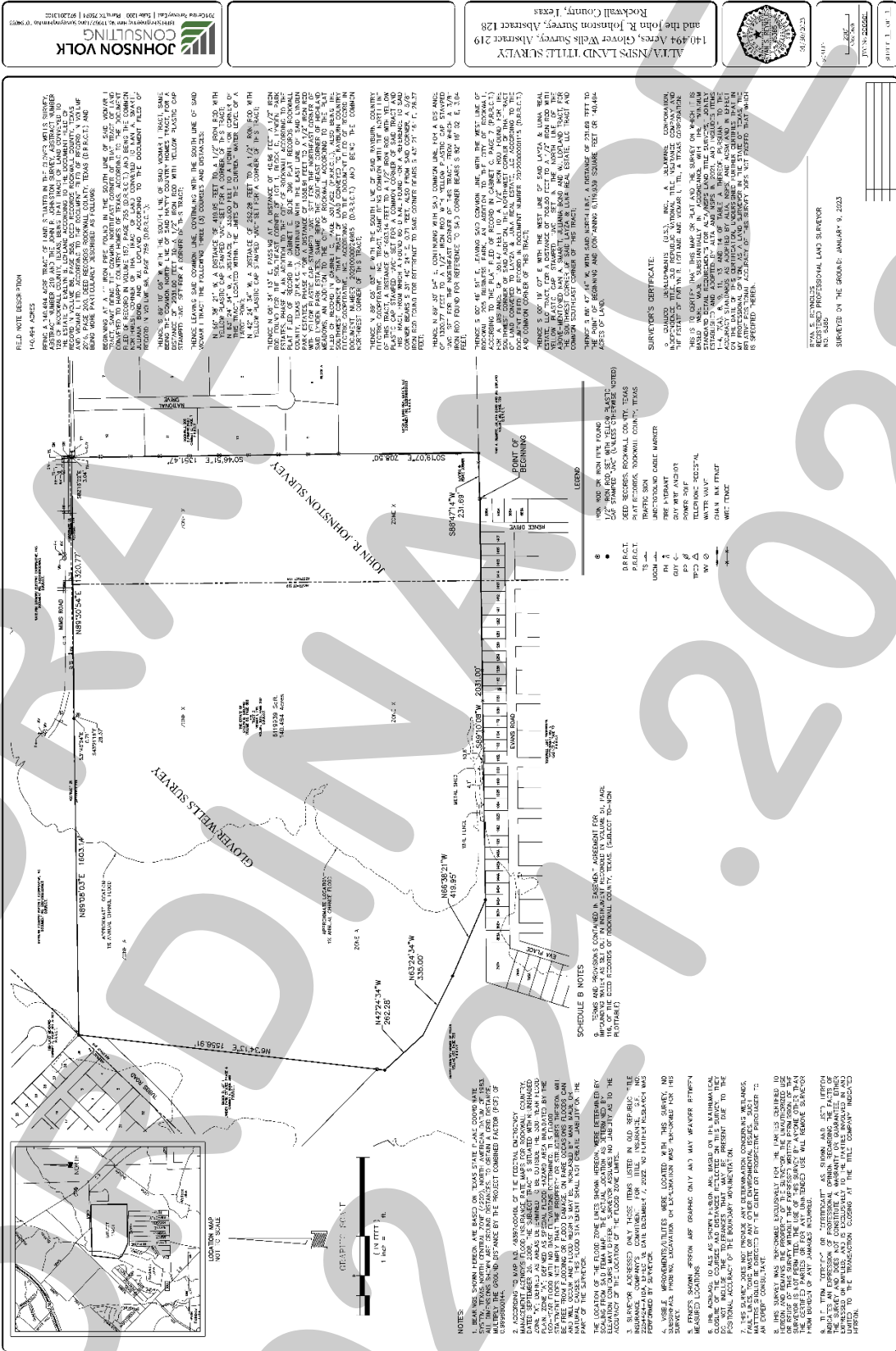
Exhibit 'A':
Legal Description

708.50 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set in the north line of the above-mentioned Nan A. Smartt, Juliana Bond and W.I. Lofland tract, for the southwest corner of said Layza & Luna Real Estate, LLC tract and common southeast corner of this tract;

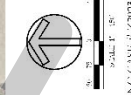
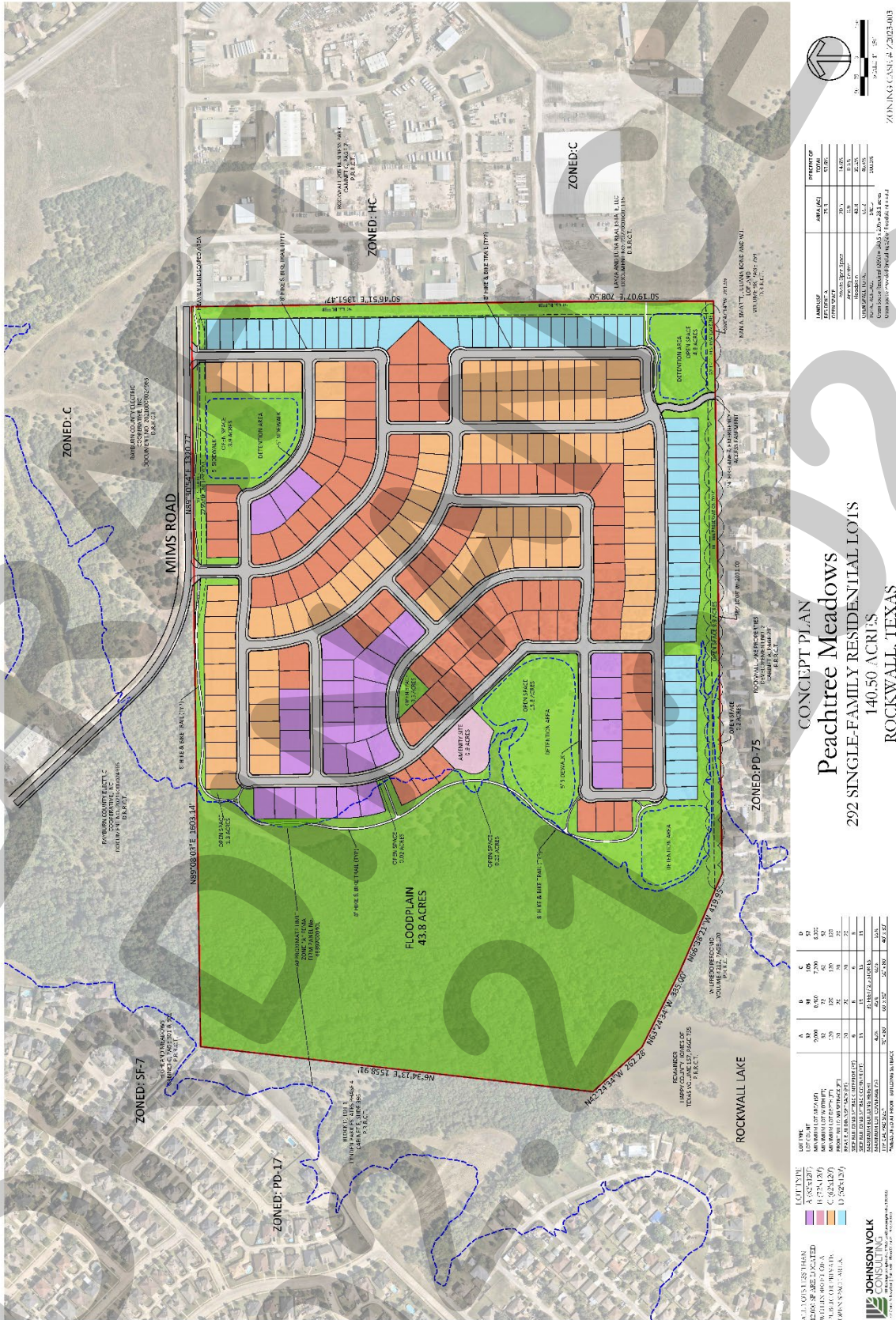
THENCE S 88° 47' 14" W, with said north line, a distance of 231.69 feet to the *POINT OF BEGINNING* and containing 6,119,939 square feet or 140.494 acres of land.

DRAFT
ORDINANCE
02.21.2023

Exhibit 'B': Survey



**Exhibit 'C':
Concept Plan**



PROPERTY OF	AREA (AC)	% OF TOTAL
LOT AREA	140.50	100.00%
OPEN SPACE	43.80	31.17%
ROADWAY	10.00	7.12%
UTILITIES	1.00	0.71%
WATERBODIES	0.50	0.36%
OTHER	0.20	0.14%
TOTAL	140.50	100.00%

LOT TYPE	A	B	C	D
LOT AREA	9,000	6,000	3,000	6,000
NO. LOTS	15	15	15	15
TOTAL LOT AREA	135,000	90,000	45,000	90,000
TOTAL LOT COUNT	15	15	15	15
TOTAL LOT AREA	135,000	90,000	45,000	90,000
TOTAL LOT COUNT	15	15	15	15
TOTAL LOT AREA	135,000	90,000	45,000	90,000
TOTAL LOT COUNT	15	15	15	15

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LOT TYPE
 A - 10,000 SQ. FT. (0.23 AC)
 B - 6,000 SQ. FT. (0.14 AC)
 C - 3,000 SQ. FT. (0.07 AC)
 D - 6,000 SQ. FT. (0.14 AC)

LEGEND
 FLOODPLAIN
 OPEN SPACE
 ROADWAY
 UTILITIES
 WATERBODIES
 OTHER

JOHNSON VOLK ENGINEERING
 10000 W. HIGHTWAY 175, SUITE 100, ROCKWALL, TX 75087
 TEL: 972.967.1111
 WWW.JVENGINEERING.COM

**Exhibit 'D':
Density and Development Standards**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.08 dwelling units per gross acre of land; however, in no case should the proposed development exceed 292 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	A	B	C	D
<i>Minimum Lot Width</i> ⁽¹⁾	82'	72'	62'	52'
<i>Minimum Lot Depth</i>	120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>	9,000 SF	8,400 SF	7,200 SF	6,000 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	20'	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i> ⁽⁷⁾	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500 SF	2,200 SF	2,200 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

Exhibit 'D':
Density and Development Standards

(4) *Building Standards*. All development shall adhere to the following building standards:

- (a) *Masonry Requirement*. The minimum masonry requirement for the exterior façade of all buildings shall be 90.00% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see *examples below*) shall be considered masonry and may be used on 20.00% of the total exterior façade of the home; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard for architectural purposes (*as seen below in Figures 1 & 2*) in excess of 80.00% total exterior façade of the home on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP

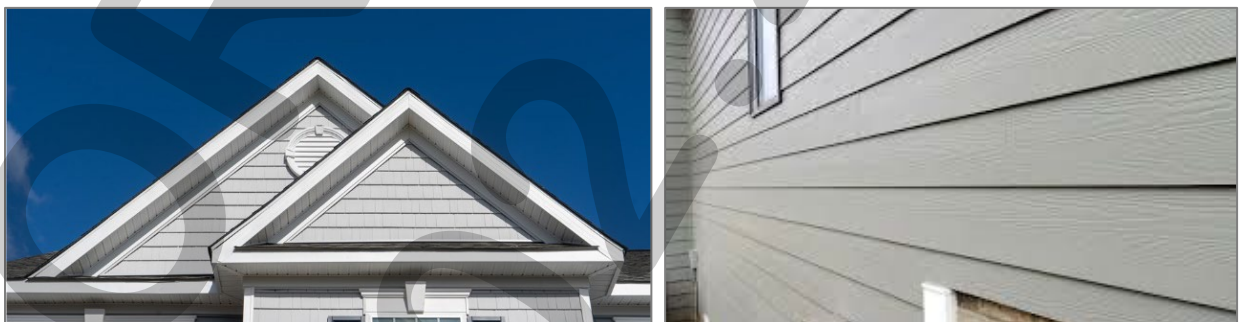


Exhibit 'D':
Density and Development Standards

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.

- (c) Garage Orientation and Garage Doors. All of the Type 'D' lots (being a total of 19.59% or 57 of the 292 lots) may have garages that are oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining Type 'A', 'B' & 'C' lots (being 80.31% or 235 lots) shall have garages that are oriented in a *J-Swing* (or *Traditional Swing*) configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 4*.

Figure 4. Examples of Enhanced Wood Garage Door



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS

CARRIAGE HARDWARE

CEDAR CLADDING

ORNAMENTAL PAVING

Exhibit 'D':
Density and Development Standards

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



(5) *Anti-Monotony Restrictions.* The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	82' x 120'	(1), (2), (3), (4), (5)
B	72' x 120'	(1), (2), (3), (4), (5)
C	62' x 120'	(1), (2), (3), (4), (5)
D	52' x 120'	(1), (2), (3), (4)

(a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

(b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces and Mims Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:

- (1) Number of Stories
- (2) Permitted Encroachment Type and Layout
- (3) Roof Type and Layout
- (4) Articulation of the Front Façade
- (5) Garage Orientation

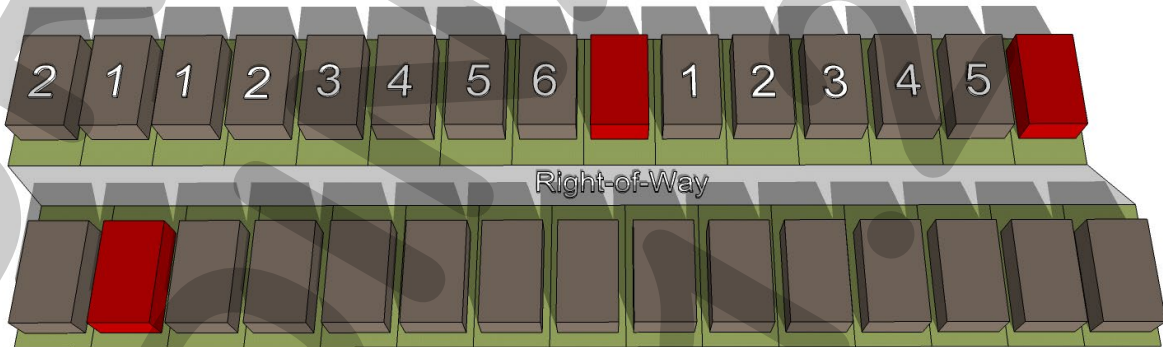
Exhibit 'D':
Density and Development Standards

- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 7: Properties line up on the opposite side of the street. Where RED is the subject property.



Figure 8: Properties do not line up on opposite side of the street. Where RED is the subject property.



- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - (a) **Front Yard Fences.** Front yard fences shall be prohibited.
 - (b) **Wood Fences.** All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of

Exhibit 'D':
Density and Development Standards

burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.

- (c) Wrought Iron/Tubular Steel. Lots located along Mims Road, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence; however, all *Type 'D'* lots (*i.e. the lots directly adjacent to the eastern and southern boundaries of the Subject Property*) shall be permitted to have wood fences in accordance with the requirements of this ordinance regardless of adjacency. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (f) Fence in Easements. No fencing shall be constructed in or across the City of Rockwall's easements.

(7) Landscape and Hardscape Standards.

- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of mature shrubs (*i.e. a minimum of seven [7] gallons in size*) adjacent to the wrought iron/tubular steel fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (Mims Road). A minimum of a 30-foot landscape buffer shall be provided along Mims Road (*outside of and beyond the required 20-foot utility easement required to be provided adjacent to this roadway*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer. In addition, two (2) increased landscape areas shall be provided, adjacent to the lots that side to Mims Road. The purpose of these areas is to screen the permitted wood fencing that will be adjacent to Mims Road. These increased landscape areas shall incorporate accent trees and large shrubs and will be reviewed for compliance to the stated intent at the time of *PD Site Plan*.

Exhibit 'D':
Density and Development Standards

- (2) Landscape Buffer (Adjacent to Eastern Property Boundary). A minimum of a 50-landscape buffer shall be provided along the *Type 'D'* lots adjacent to the non-residential properties along the eastern property boundary, and shall incorporate a *built-up* berm and two (2) staggered row of cedar trees. Berms shall have a minimum height of 48-inches each. The staggered row of cedar trees should create a solid screening from the adjacent non-residential land uses.
- (3) Tree Preservation Easement (Adjacent to the Southern Property Boundary). A minimum of a 30-foot tree preservation easement shall be provided along the southern property boundary as depicted in *Exhibit 'C'* of this ordinance. This area shall be established to preserve the existing natural tree line and vegetation, which shall remain undisturbed and serve as screening between the proposed development and the property adjacent to this southern property line.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines that are less than ten (10) inches and ten (10) feet from public water, sanitary sewer and storm lines that are greater than ten (10) inches. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Streets. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the

Exhibit 'D':
Density and Development Standards

Subject Property, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

- (12) Open Space/Public Park. The development shall consist of a minimum of 20% open space (or a minimum of 28.10-acres -- as calculated using the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (13) Amenity Site. An amenity site shall generally be located in the same area as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity site shall be approved with the *PD Site Plan*.
- (14) Trails. A minimum of an eight (8) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including drainage facilities), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

Miller, Ryan

From: Miller, Ryan
Sent: Thursday, January 26, 2023 2:03 PM
To: 'meredith@michaeljoyceproperties.com'
Subject: Project Comments: Z2023-003
Attachments: Draft Ordinance (01.31.2023).pdf; Engineering Mark Ups (01.31.2023).pdf; Planning Mark Ups (01.26.2023).pdf; Project Comments (01.31.2023).pdf

Ms. Joyce,

Attached are the project comments, engineering/planning markups, and draft ordinance for your case. The meeting schedule for this case is as follows:

Planning and Zoning Commission Work Session: January 31, 2023
Planning and Zoning Commission Meeting: February 14, 2023
City Council [First Reading]: February 21, 2023
City Council [Second Reading]: March 6, 2023

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is REQUIRED to be at all meetings. Should you have any questions please let me know. Thanks.



RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

HELPFUL LINKS | CITY OF ROCKWALL WEBSITE | PLANNING & ZONING DIVISION WEBSITE | MUNICIPAL CODE WEBSITE
GIS DIVISION WEBSITE | UNIFIED DEVELOPMENT CODE

NOTES:

- 1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD.

Miller, Ryan

From: Meredith Joyce <Meredith@michaeljoyceproperties.com>
Sent: Friday, February 3, 2023 2:42 PM
To: Miller, Ryan
Subject: FW: MIMS ROAD PROPERTY CONCEPT PLAN
Attachments: QCO501 - PEACHTREE MEADOWS - CONCEPT PLAN-24x36 (L).pdf; QCO501 - PEACHTREE MEADOWS - LEGAL DESCRIPTION.pdf; QCO501 - Peachree Meadows - Letter.pdf; Density and Development Standards Peachtree-1.20.pdf

Hey Ryan,
Legal description attached here. Thanks!
Meredith

Meredith Joyce, PE



Michael Joyce Properties

767 Justin Rd.

Rockwall, TX 75087

512-694-6394

www.michaeljoyceproperties.com

From: Meredith Joyce <Meredith@michaeljoyceproperties.com>
Sent: Friday, January 20, 2023 9:30 AM
To: John Vick <John.Vick@Qualico.com>; Kyle Tressler <kyle.tressler@qualico.com>
Cc: Ryan Joyce <ryan@michaeljoyceproperties.com>
Subject: FW: MIMS ROAD PROPERTY CONCEPT PLAN

Here are the submittal items. Thanks.
Meredith

Meredith Joyce, PE



Michael Joyce Properties

767 Justin Rd.

Rockwall, TX 75087

512-694-6394

www.michaeljoyceproperties.com

Miller, Ryan

From: Miller, Ryan
Sent: Friday, February 10, 2023 10:58 AM
To: Ryan Joyce
Cc: 'Meredith Joyce'
Subject: Case No. Z2023-003
Attachments: Draft Ordinance (02.14.2023).pdf; Case Memo [P&Z] (02.05.2023).pdf

Ryan/Meredith ... Attached is the finalized draft ordinance and case memo for the Peachtree Meadows Subdivision. Please look over the draft ordinance and let me know if you are good with everything. Also, if you have any questions or need anything else please let me know. Thanks.



RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
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[GIS DIVISION WEBSITE](#) | [UNIFIED DEVELOPMENT CODE](#)

NOTES:

- 1) **APPOINTED AND ELECTED OFFICIALS:** BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD.



April 10, 2023

TO: Meredith Joyce
Michael Joyce Properties
767 Justin Road
Rockwall, Texas 75087

CC: Vicmar I LTD (76195)
105 Kaufman Street
Rockwall, Texas 75087

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2023-003; *Zoning Change (AG to PD) for the Peachtree Meadows Subdivision*

Ms. Joyce:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on March 6, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) All residential lots, less than 12,000 SF in size, are required to be located within 800-feet of a public or private open space. At the time of *Master Plat*, the applicant will be required to provide an exhibit showing conformance to this requirement.
- (3) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On February 14, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Zoning Change by a vote of 7-0.

City Council

On February 21, 2023, the City Council approved the Zoning Change by a vote of 7-0.

On March 6, 2023, the City Council approved the Zoning Change by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 23-11*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning

CITY OF ROCKWALL

ORDINANCE NO. 23-11

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 101 (PD-101) FOR SINGLE FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 140.50-ACRE TRACT OF LAND IDENTIFIED AS TRACT 5 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128 AND TRACT 3 OF THE G. WELLS SURVEY, ABSTRACT NO. 219, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District land uses, on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto

and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property* -- prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* of this ordinance -- shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development on the *Subject Property* shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) *Master Parks and Open Space Plan*
 - (2) *Master Plat*
 - (3) *Preliminary Plat*
 - (4) *PD Site Plan*
 - (5) *Final Plat*
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

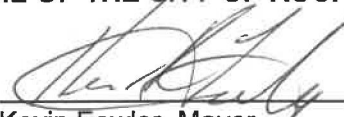
SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;


SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

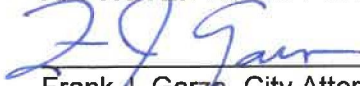
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF MARCH, 2023.


Kevin Fowler, Mayor

ATTEST:


Kristy Teague, City Secretary

APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A':
Legal Description

BEING a 140.494-acre tract of land situated in the Glover Wells Survey, Abstract Number 219 and the John R. Johnston Survey, Abstract Number 128 of Rockwall County, Texas, being that tract of land conveyed to VICMAR I, LTD. According to the document filed of record in Volume 2016, Page 200, Deed Records Rockwall County, Texas (D.R.R.C.T.) and being more particularly described as follows:

BEGINNING at a 1" iron pipe found in the south line of said VICMAR I tract, same being the common northeast corner of that tract of land conveyed to Happy Country Homes of Texas, according to the document filed of record in Volume 157, Page 755 (D.R.R.C.T.) and being the common northwest corner of that tract of land conveyed to Nan A. Smartt, Juliana Bond and W.I. Lofland according to the document filed of record in Volume 98, Page 759 (D.R.R.C.T.);

THENCE S 89° 10' 08" W with the south line of said VICMAR I tract, same being the common north line of said Happy Country Homes tract, for a distance of 2031.00 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

THENCE leaving said common line, continuing with the south line of said VICMAR I tract the following three (3) courses and distances:

N 66° 38' 21" W, a distance of 419.95 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

N 63° 24' 34" W, a distance of 335.00 feet to a point for corner of this tract, located within the limits of the current water level of a large pond;

N 42° 24' 34" W, a distance of 262.28 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

THENCE N 06° 34' 13" E, passing at a distance of 40.96 feet a ½" iron rod found for the southeast corner of Lot 1, Block D, Lynden Park Estates, Phase 4, an addition to the City of Rockwall according to the plat filed of record in Cabinet E, Slide 396 Plat Records Rockwall County, Texas (P.R.R.C.T.), continuing with the east line of said Lynden Park Estates, Phase 4 for a distance of 1558.91 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for the northeast corner of said Lynden Park Estates, same being the southeast corner of Highland Meadows, an addition to the City of Rockwall according to the plat filed of record in Cabinet C, Page 301/302 (P.R.R.C.T.), also being the southwest corner of that tract of land conveyed to

Rayburn Country Electric Cooperative, Inc. according to the document filed of record in Document Number 20210000024965 (D.R.R.C.T.) and being the common northwest corner of this tract;

THENCE N 89° 08' 03" E with the south line of said Rayburn Country Electric Cooperative, Inc. tract, same being common with the north line of this tract, a distance of 1603.14 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a common corner of said tract and this tract, from which a found 60-D Nail found for a reference to said corner bears S 31° 40' 24" E, 0.71 feet, also from said corner, a 5/8" iron rod found for reference to said corner bears S 43° 21' 16" E, 28.37 feet;

THENCE N 89° 30' 54" E, continuing with said common line, for a distance of 1320.77 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for the northeast corner of this tract, from which a 3/8" iron rod found for reference to said corner bears S 82° 16' 02" E, 3.04 feet;

THENCE S 00° 46' 51" E, leaving said common line, with the west line of Rockwall 205 Business Park, an addition to the City of Rockwall, according to the plat filed of record in Cabinet C, Page 7 (P.R.R.C.T.) for a distance of 1351.47 feet to a ½" iron rod found for the southwest corner of said addition, the northwest corner of that tract of land conveyed to Layza & Luna Real Estate, LLC according to the document filed of record in Document Number 2022000001115 (D.R.R.C.T.) and common corner of this tract;

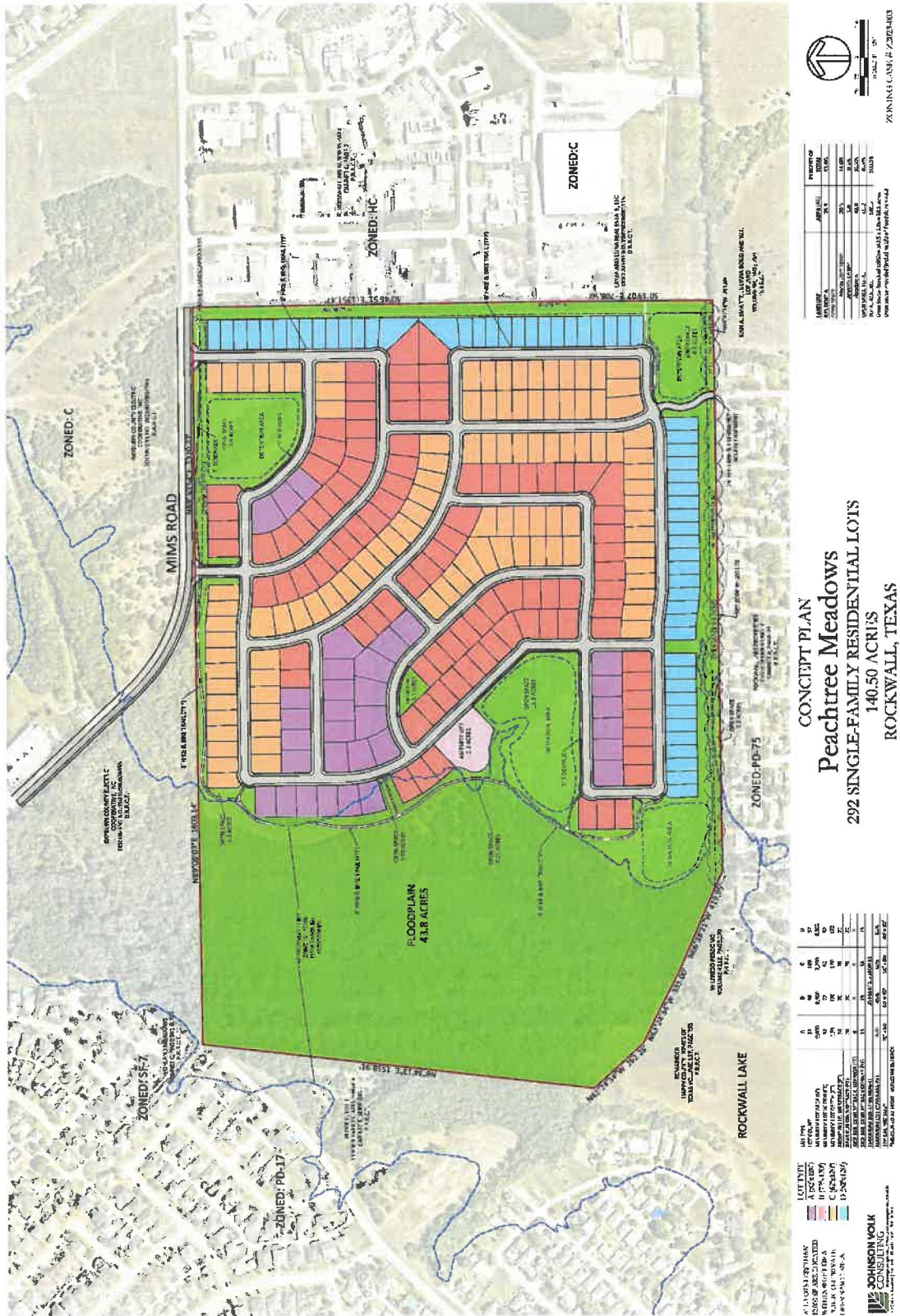
THENCE S 00° 19' 07" E with the west line of said Layza & Luna Real Estate, LLC tract, for a distance of

Exhibit 'A':
Legal Description

708.50 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set in the north line of the above-mentioned Nan A. Smartt, Juliana Bond and W.I. Lofland tract, for the southwest corner of said Layza & Luna Real Estate, LLC tract and common southeast corner of this tract;

THENCE S 88° 47' 14" W, with said north line, a distance of 231.69 feet to the *POINT OF BEGINNING* and containing 6,119,939 square feet or 140.494 acres of land.

Exhibit 'C': Concept Plan



LOT TYPE	AREA (AC)	NUMBER OF LOTS
1.5-2.0 ACRES	20.0	100
2.0-3.0 ACRES	10.0	50
3.0-4.0 ACRES	5.0	25
4.0-5.0 ACRES	2.5	12
5.0+ ACRES	1.3	6
TOTAL	38.8	193

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LOT TYPE	AREA (AC)	NUMBER OF LOTS
1.5-2.0 ACRES	20.0	100
2.0-3.0 ACRES	10.0	50
3.0-4.0 ACRES	5.0	25
4.0-5.0 ACRES	2.5	12
5.0+ ACRES	1.3	6
TOTAL	38.8	193

THE JOHNSON WOLK CONSULTING
 1100 W. WILSON ROAD, SUITE 100
 ROCKWALL, TEXAS 75087
 PHONE: 972.967.1100
 FAX: 972.967.1101
 WWW.JWC-CONSULTING.COM

Exhibit 'D':
Density and Development Standards

- (1) **Permitted Uses.** Unless specifically provided by this Planned Development District ordinance, only those land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).
- (2) **Lot Composition and Layout.** The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

- (3) **Density and Dimensional Requirements.** Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.08 dwelling units per gross acre of land; however, in no case should the proposed development exceed 292 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	A	B	C	D
<i>Minimum Lot Width</i> ⁽¹⁾	82'	72'	62'	52'
<i>Minimum Lot Depth</i>	120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>	9,000 SF	8,400 SF	7,200 SF	6,000 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	20'	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i> ⁽⁷⁾	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500 SF	2,200 SF	2,200 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%	65%

General Notes:

- ^{1:} Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ^{2:} The location of the *Front Yard Building Setback* as measured from the front property line.
- ^{3:} The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ^{4:} The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ^{5:} Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ^{6:} *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

Exhibit 'D':
Density and Development Standards

(4) Building Standards. All development shall adhere to the following building standards:

- (a) Masonry Requirement. The minimum masonry requirement for the exterior façade of all buildings shall be 90.00% (excluding dormers and walls over roof areas). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. *HardiBoard* or *Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see *examples below*) shall be considered masonry and may be used on 20.00% of the total exterior façade of the home; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard for architectural purposes (as seen below in *Figures 1 & 2*) in excess of 80.00% total exterior façade of the home on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



Exhibit 'D':
Density and Development Standards

- (b) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation and Garage Doors.* All of the Type 'D' lots (being a total of 19.59% or 57 of the 292 lots) may have garages that are oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining Type 'A', 'B' & 'C' lots (being 80.31% or 235 lots) shall have garages that are oriented in a *J-Swing* (or *Traditional Swing*) configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 4*.

Figure 4. Examples of Enhanced Wood Garage Door



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS

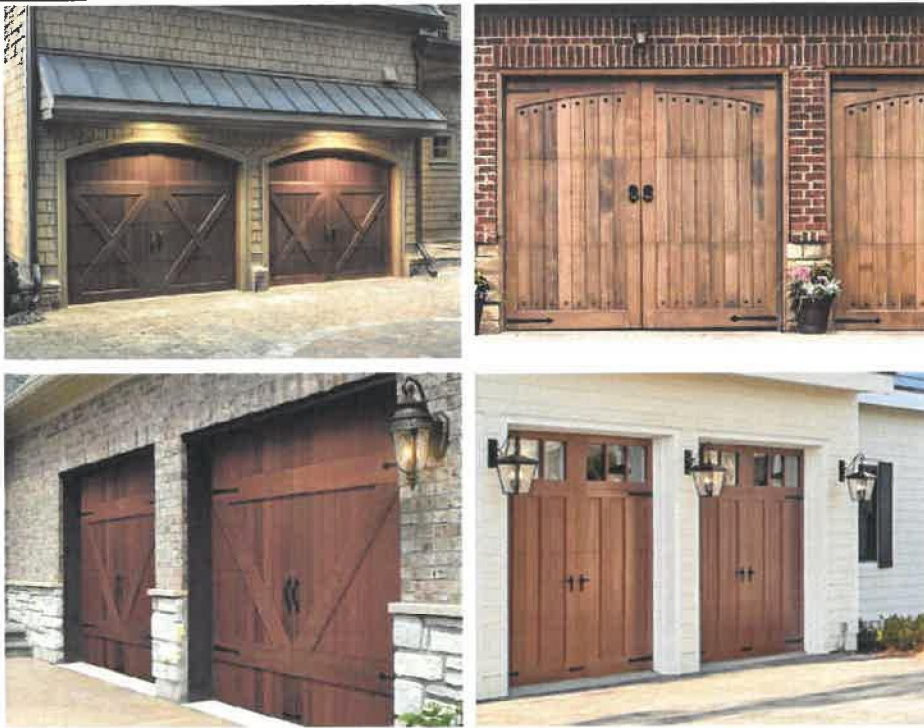
CARRIAGE HARDWARE

CEDAR CLADDING

ORNAMENTAL PAVING

Exhibit 'D':
Density and Development Standards

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



- (5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

Table 3: Anti-Monotony Matrix

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	82' x 120'	(1), (2), (3), (4), (5)
B	72' x 120'	(1), (2), (3), (4), (5)
C	62' x 120'	(1), (2), (3), (4), (5)
D	52' x 120'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces and Mims Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:
- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
 - (5) Garage Orientation

Exhibit 'D':
Density and Development Standards

- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 7: Properties line up on the opposite side of the street. Where RED is the subject property.



Figure 8: Properties do not line up on opposite side of the street. Where RED is the subject property.



- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - (a) **Front Yard Fences.** Front yard fences shall be prohibited.
 - (b) **Wood Fences.** All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of

Exhibit 'D':
Density and Development Standards

burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.

- (c) Wrought Iron/Tubular Steel. Lots located along Mims Road, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence; however, all Type 'D' lots (*i.e. the lots directly adjacent to the eastern and southern boundaries of the Subject Property*) shall be permitted to have wood fences in accordance with the requirements of this ordinance regardless of adjacency. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 - (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
 - (f) Fence in Easements. No fencing shall be constructed in or across the City of Rockwall's easements.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of mature shrubs (*i.e. a minimum of seven [7] gallons in size*) adjacent to the wrought iron/tubular steel fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (Mims Road). A minimum of a 30-foot landscape buffer shall be provided along Mims Road (*outside of and beyond the required 20-foot utility easement required to be provided adjacent to this roadway*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer. In addition, two (2) increased landscape areas shall be provided, adjacent to the lots that side to Mims Road. The purpose of these areas is to screen the permitted wood fencing that will be adjacent to Mims Road. These increased landscape areas shall incorporate accent trees and large shrubs and will be reviewed for compliance to the stated intent at the time of *PD Site Plan*.

Exhibit 'D':
Density and Development Standards

- (2) Landscape Buffer (Adjacent to Eastern Property Boundary). A minimum of a 50-landscape buffer shall be provided along the *Type 'D'* lots adjacent to the non-residential properties along the eastern property boundary, and shall incorporate a *built-up* berm and two (2) staggered row of cedar trees. Berms shall have a minimum height of 48-inches each. The staggered row of cedar trees should create a solid screening from the adjacent non-residential land uses.
- (3) Tree Preservation Easement (Adjacent to the Southern Property Boundary). A minimum of a 30-foot tree preservation easement shall be provided along the southern property boundary as depicted in *Exhibit 'C'* of this ordinance. This area shall be established to preserve the existing natural tree line and vegetation, which shall remain undisturbed and serve as screening between the proposed development and the property adjacent to this southern property line.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines that are less than ten (10) inches and ten (10) feet from public water, sanitary sewer and storm lines that are greater than ten (10) inches. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Streets. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the

Exhibit 'D':
Density and Development Standards

Subject Property, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

- (12) *Open Space/Public Park*. The development shall consist of a minimum of 20% open space (or a minimum of 28.10-acres -- as calculated using the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (13) *Amenity Site*. An amenity site shall generally be located in the same area as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity site shall be approved with the *PD Site Plan*.
- (14) *Trails*. A minimum of an eight (8) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (15) *Neighborhood Signage and Enhancements*. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) *Homeowner's Association (HOA)*. A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including *drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) *Variances*. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.