



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS 1007 Ridge Rd

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING Commercial / Retail

CURRENT USE C-Store

PROPOSED ZONING Commercial Retail

PROPOSED USE C-Store

ACREAGE \_\_\_\_\_

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

OWNER Kamran Khan

APPLICANT \_\_\_\_\_

CONTACT PERSON Abel Cisneros

CONTACT PERSON \_\_\_\_\_

ADDRESS 805 Green Pond Dr.

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Garland TX 75040

CITY, STATE & ZIP \_\_\_\_\_

PHONE 214-907-6355

PHONE \_\_\_\_\_

E-MAIL notutexasbrands@gmail.com

E-MAIL \_\_\_\_\_

**NOTARY VERIFICATION [REQUIRED]**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kamran Ahmed Khan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

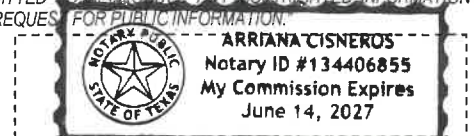
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 24 DAY OF October 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 24 DAY OF October, 2023

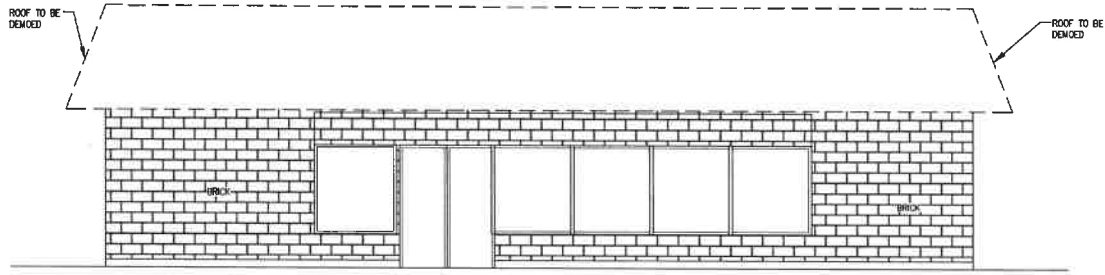
OWNER'S SIGNATURE

Kamran Khan

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

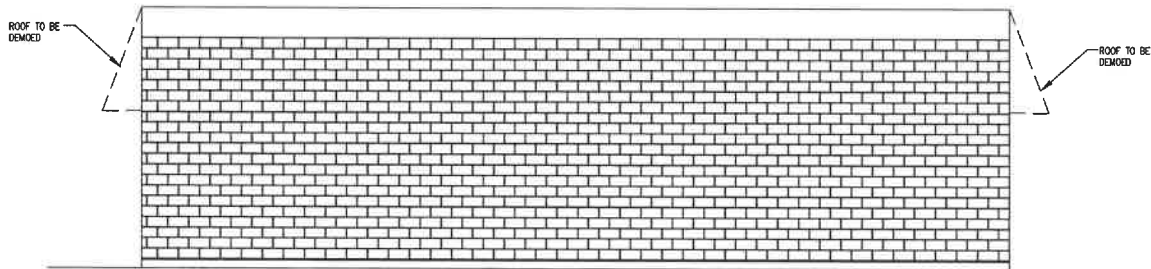


MY COMMISSION EXPIRES June 14, 2027



EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"

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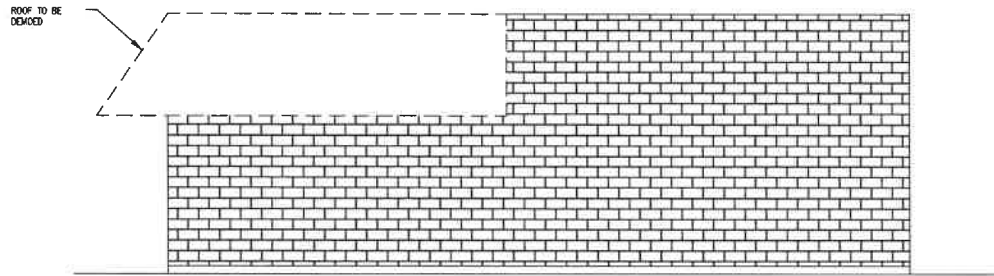
1007 RIDGE RD.  
 ROCKWALL, TX 75087

ISSUE LOG	
DATE	DESCRIPTION

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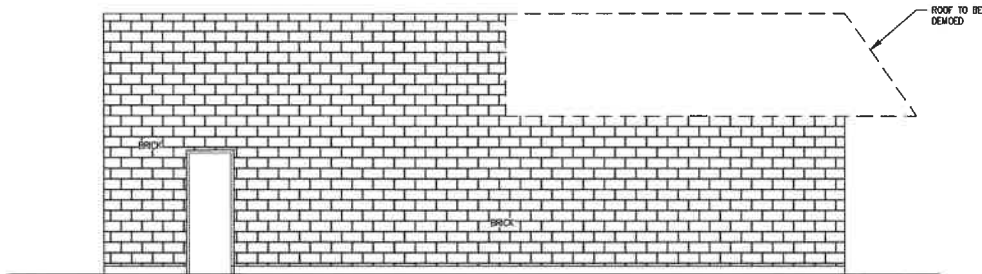
DATE  
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SHEET  
 A2.01



EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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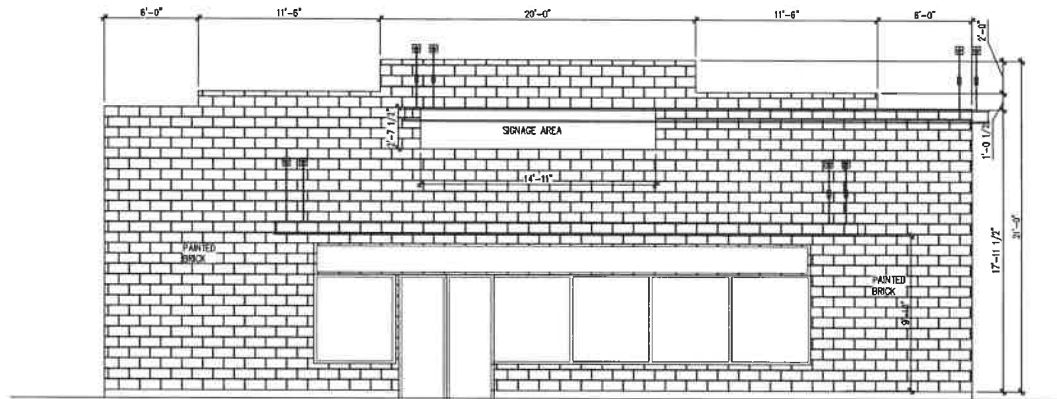
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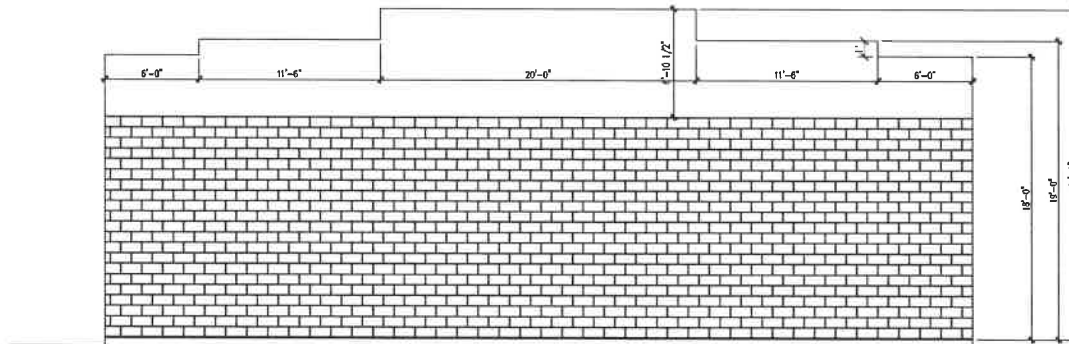
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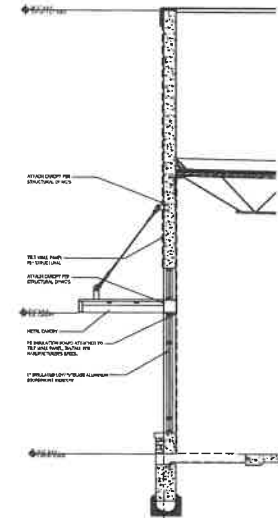
NEW FRONT ELEVATION

SCALE: 1/8" = 1'-0"



NEW REAR ELEVATION

SCALE: 1/8" = 1'-0"



AWNING DETAIL

SCALE: N.T.S.

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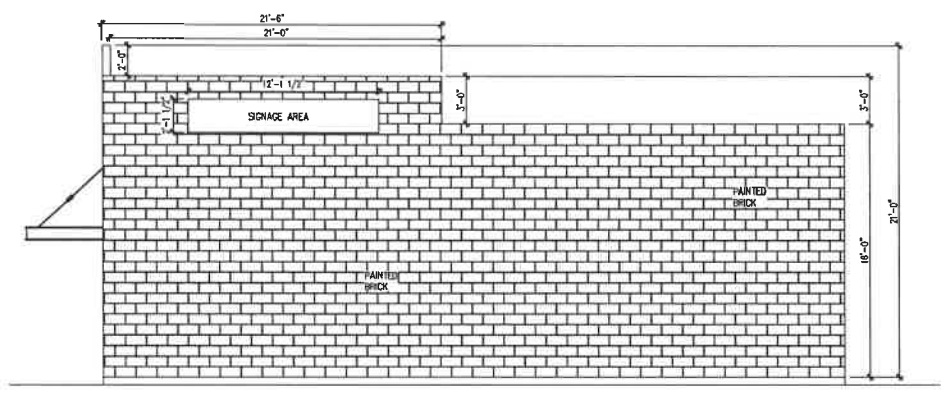
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 ROCKWALL, TX 75087

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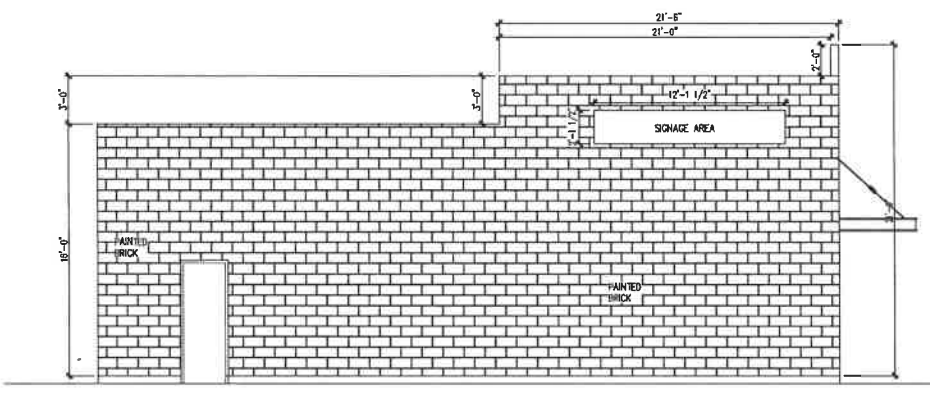
DATE  
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 A2.03



NEW RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



NEW LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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**GENERAL NOTES**

- CONSTRUCTION: COMPLY WITH APPLICABLE CODES AND RELATED AMENDMENTS.
- THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS, OR FULL INFORMATION NECESSARY FOR THE COMPLETE CONSTRUCTION OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER.
- NOTIFY ARCHITECT AND OWNER OF ERRORS, OMISSIONS, AND DISCREPANCIES IN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND ACTUAL SITE CONSTRUCTION CONDITIONS. ERRORS, OMISSIONS, AND DISCREPANCIES MUST BE RESOLVED AND DOCUMENTED BEFORE CONTINUING CONSTRUCTION WITH THE WORK IN QUESTION. FAILURE TO NOTIFY THE OWNER AND ARCHITECT IN SUCH AN EVENT SHALL CONSTITUTE ACCEPTANCE OF ANY RESULTING OBLIGATIONS OR RESPONSIBILITIES WITH REGARDS TO DELAYS, COSTS, CODE COMPLIANCE, AND LEGAL REMEDIES RESULTING FROM THIS OR RELATED WORK.
- CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS BY OWNERS CONSULTANTS.
  - ARCHITECT'S ELECTRICAL, MECHANICAL, AND PLUMBING PLANS ARE DIAGRAMMATIC ONLY. ACTUAL DESIGN BY OWNER'S CONSULTANT.
  - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR GRADING AND DRAINAGE REQUIREMENTS.
  - REFER TO STRUCTURAL ENGINEER FOR STRUCTURAL DESIGN, SPECIFICATIONS, AND DETAILS; INCLUDING REQUIRED RETAINING WALLS, WATERPROOFING, AND FRENCH DRAIN SYSTEMS.
  - COORDINATE SOIL COMPACTION REQUIREMENTS BEHIND RETAINING WALLS WITH STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR THE ACCURACY AND CORRECTNESS OF SAME.
- VERIFY TYPE AND LOCATION OF UTILITIES SERVING SITE.
- REFER TO ELEVATIONS FOR ROOFS TO BE GUTTERED. SUBMIT PROPOSED LOCATIONS OF GUTTERS AND DOWNSPOUTS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL.
- ALL FLOOR FINISH HEIGHTS TO MATCH. FLOOR ELEVATIONS AT SECOND FLOOR ARE GIVEN TO TOP OF FLOOR DECK.
- INSTALL STUDS AT CLOSET SIDE WALL ROD LOCATIONS, MEASURED 10" FROM BACK WALL.
- EXTERIOR MATERIALS AND FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS AND DETAILS.
- FIRE SPRINKLERS SYSTEMS: REFER TO LOCAL JURISDICTION FOR REQUIREMENTS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLING ANY EQUIPMENT. I.E. WINDOWS, STEEL, CAST STONE...ETC.
- THE CONTRACTOR SHALL PAY ALL FINES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS, AND OBTAIN

ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THE CONTRACT DOCUMENTS.

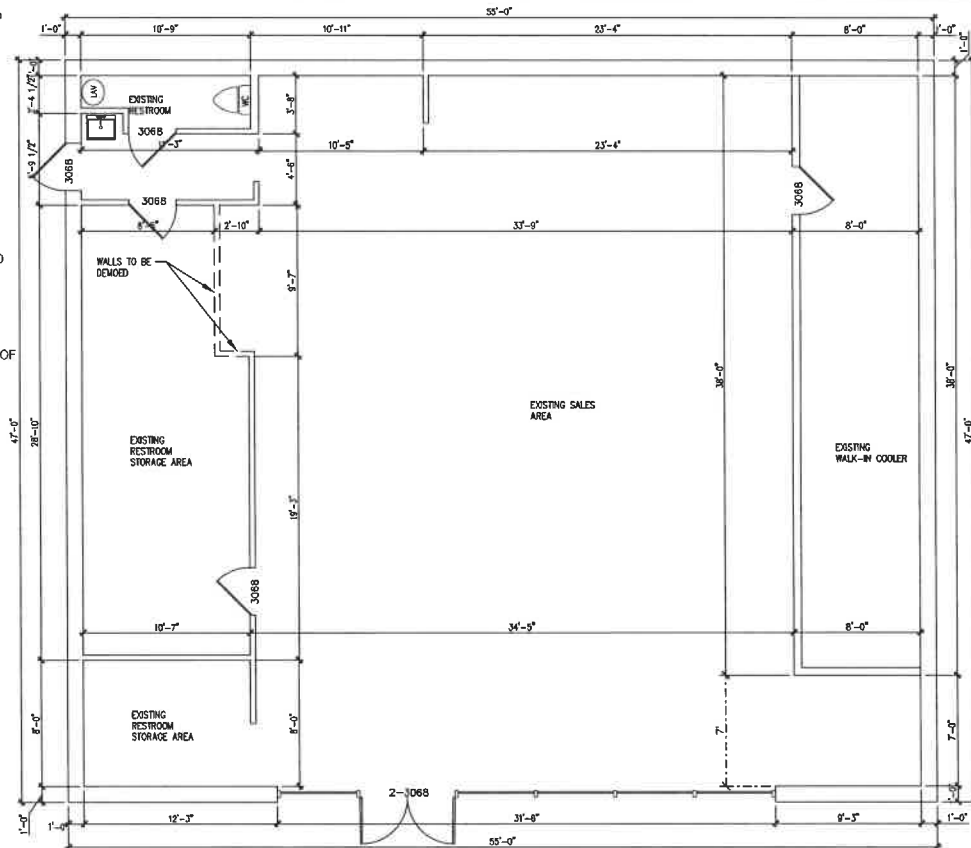
- ALL GARAGE DOORS SHALL HAVE REMOTE ACCESS. MATERIALS ON GARAGE WILL BE ALUMINUM WITH A LIGHT BRONZE FINISH.
- ALL CONCRETE AREAS SHALL FORMED WITH HIGH-STRENGTH CONCRETE MATERIAL AND SHALL HAVE A BRUSH FINISH WITH A STONE BOARD.
- EXISTING BACK YARD TREE SHALL BE USED TO MEET AND SATISFY REQUIREMENTS OF HOA AND SHALL COMPLY WITH CITY OF DESOTO TREE SURVEY.

**FOR DIMENSION PURPOSES:**

- DO NOT SCALE DRAWINGS.
- VERIFY DIMENSIONS: NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- WOOD STUD WALLS: 2x4'S @ 16" O.C. TO A MAXIMUM HEIGHT OF 10'-0", SUPPORTING ONE FLOOR, ROOF, AND CEILING. UNSUPPORTED WALL HEIGHTS EXCEEDING 10'-0" AND 3 STORY CONDITIONS REQUIRE STRUCTURAL ANALYSIS TO DETERMINE STUD SIZE AND SPACING.
- EXTERIOR WOOD STUD/MASONRY ASSEMBLIES: 9" w/2x4's, 11" w/2x6's, 13" w/2x8's
- INTERIOR WOOD STUDS DIMENSIONED TO CENTERLINE OF WALL. EXCEPTION: FLAT STUDS DIMENSIONED 2" THICK AND OVER 6" THICK STUD WALLS DIMENSIONED OUT-TO-OUT.
- WALL PLATE HEIGHTS: CROSS REFERENCE EXTERIOR ELEVATIONS, WALL SECTIONS, AND FASCIA DETAILS TO DETERMINE.

**CODE INFORMATION**

CODE INFORMATION	REQUIRED	PROVIDED
INTERNATIONAL BUILDING CODE (IBC)	2021	2021
INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	2021	2021
INTERNATIONAL MECHANICAL CODE (IMC)	2021	2021
NFPA 70 NATIONAL ELECTRICAL CODE (NEC)	2020	2020
INTERNATIONAL PLUMBING CODE (IPC)	2021	2021
INTERNATIONAL FIRE CODE (IFC)	2021	2021



**EXISTING FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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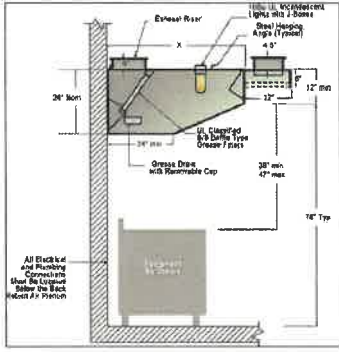
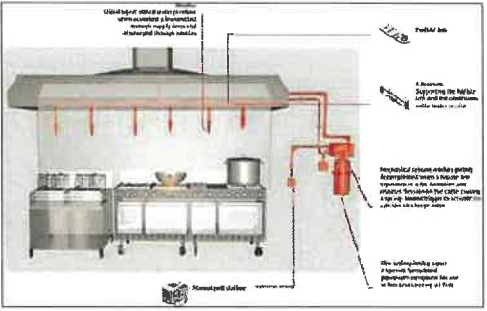
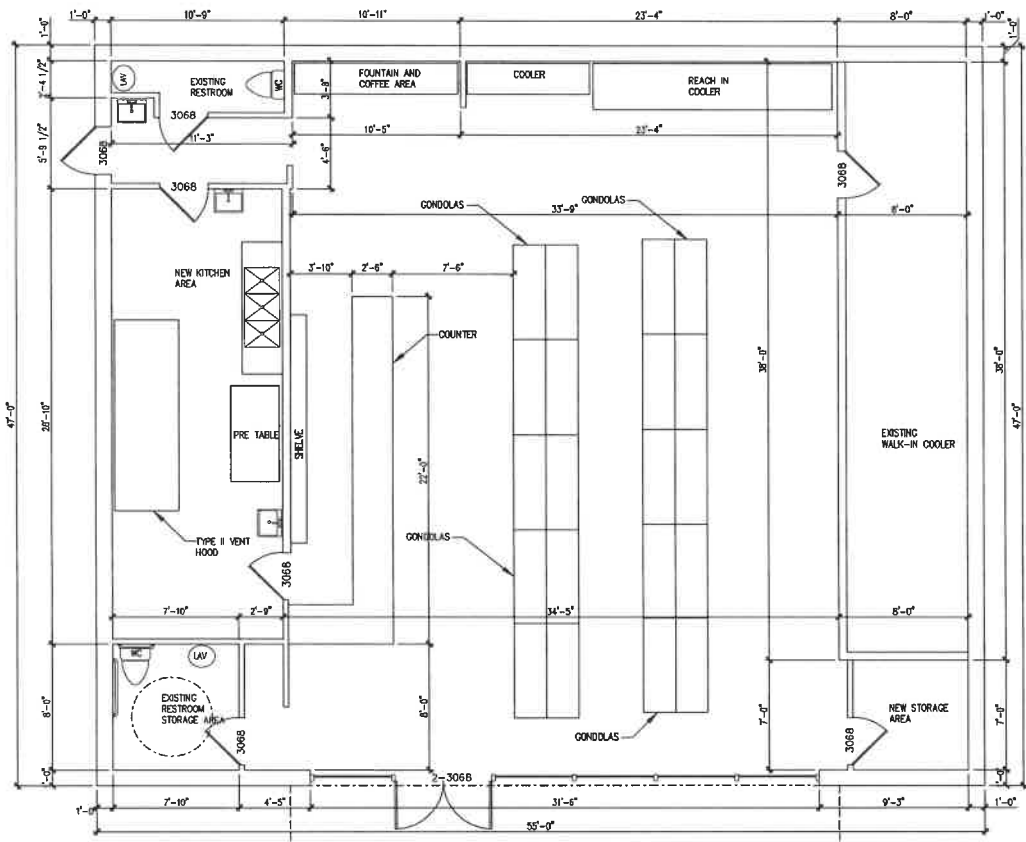
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ISSUE LOG	
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SCALE  
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A1.00



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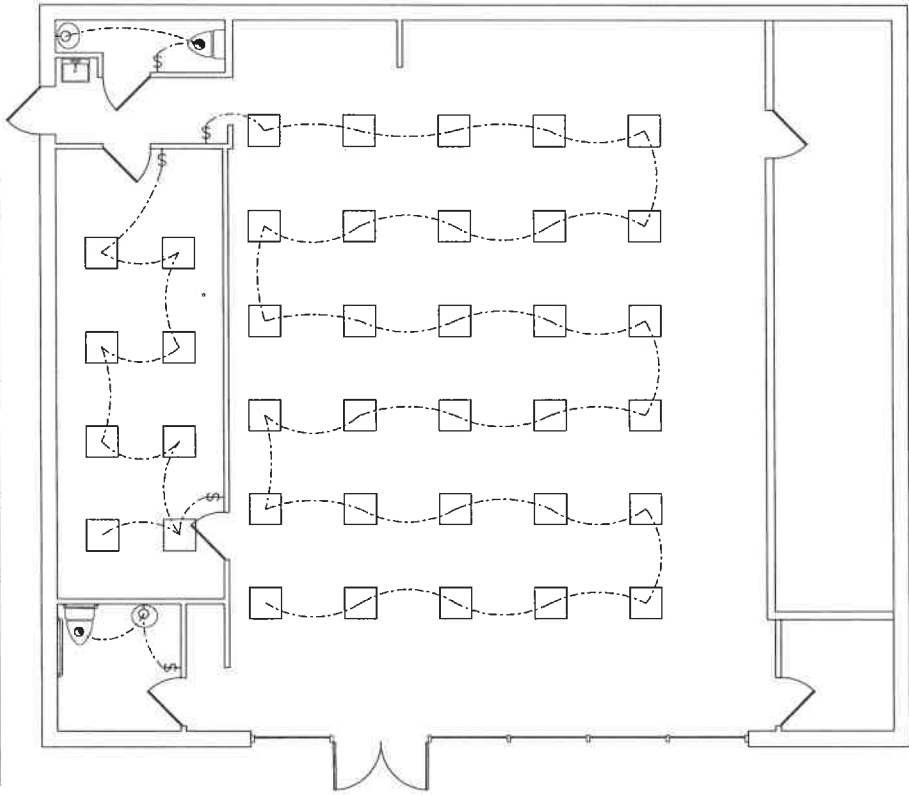
SCALE  
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 A1.02



ELECTRICAL SYMBOLS	
<b>LIGHT FIXTURES</b>	
○ CEILING MOUNTED WITH PULL CHAIN	○ CEILING SPEAKER
○ PENDANT LIGHT	○ LANDSCAPE LIGHT
○ RECESSED IN CEILING OR SOFFIT	
○ RECESSED "WALL WASH" IN CEILING OR SOFFIT	
○ FLUORESCENT FIXTURE	○ LOW VOLTAGE
○ UNDER CABINET LIGHT	
○ RECESSED "PIN HOLE" IN CEILING OR SOFFIT	
○ WALL MOUNTED RECESSED LIGHT	
<b>CONVENIENCE OUTLETS</b>	
○ 120V 15 AMP 2-POLAR 1/2" ABOVE FLOOR	○ 60V GROUND FULT OUTLET
○ 120V 15 AMP 2-POLAR 1/2" ABOVE FLOOR	○ 48V AC FLOOR
○ 120V 15 AMP 2-POLAR 1/2" ABOVE FLOOR	○ TO LIGHT AND
○ 120V 15 AMP 2-POLAR 1/2" ABOVE FLOOR	○ FLOOR OUTLET
○ 120V 15 AMP 2-POLAR 1/2" ABOVE FLOOR	○ 220V 2-PHASE 3-WIRE
○ 120V 15 AMP 2-POLAR 1/2" ABOVE FLOOR	○ 220V 2-PHASE 3-WIRE
<b>SWITCHES</b>	
○ SINGLE POLE SWITCH	○ 3-WAY SWITCH
○ 3-WAY SWITCH	○ 4-WAY SWITCH
<b>GENERAL</b>	
○ 120V JUNCTION BOX	○ SMOKE DETECTOR
○ 220V JUNCTION BOX	○ S.O.C. DETECTOR
○ GARAGE VENT	○ LAUNDRY
○ EXHAUST FAN	○ OVERHEAD
○ EXHAUST FAN W/ LIGHT	○ CEILING FAN
○ WALL EXHAUST FAN	○ CEILING FAN W/ LIGHT
○ ELECTRICAL PANEL	
○ TELEPHONE OUTLET	
○ TELEPHONE DATA OUTLET	
○ FLOOR	



**ELECTRICAL PLAN**  
SCALE: 1/8" = 1'-0"

- GENERAL ELECTRICAL NOTES:
- BREAKER BOX TO BE LOCATED PER PLAN.
  - ALL PLUGS AND SMOKE DETECTORS PER IRC CODES AND WHERE LOCATED ON PLAN. ALL SMOKE DETECTORS SHOULD BE IN AN AREA ACCESSIBLE BY 16" EXTENSION LADDER OR 8" STEP LADDER. BEDROOM SMOKE DETECTORS TO BE CENTERED ABOVE DOOR 8" FROM CEILING. SMOKE DETECTORS MUST BE MIN. OF 30" FROM ANY R.A.G. INCLUDING ADJACENT ROOMS. DETECTORS SHALL BE INSTALLED INTERCONNECTED SO THAT THE ACTUATION OF ONE WILL ACTIVATE ALL OTHERS.
  - COACH LIGHTS TO BE MOUNTED PER ELEV.
  - SWITCHES TO BE 34" AFF. (TOP OF BOX).
  - PRE-WIRE LOW VOLTAGE FOR O.H. DOOR OPENER - LOW VOLTAGE AT 8" AFF. ON EACH SIDE OF O.H. DOOR. OPENER BUTTONS TO BE 5'-0" AFF.
  - DOORBELL WIRING PER PLAN BY COMMUNITY - BUTTON TO BE AT 42" A.F.F. WHERE APPLICABLE AND LOCATION DENOTED ON PLAN.
  - DOORBELL CHIMES AND SECURITY SIREN BOX PER PLAN 8" FROM CLG. TO BOTTOM OF BOX.
  - MICROWAVE/VENTHOOD PLUG TO BE LOCATED AT 76" AFF. (IF OVER COOKTOP; WHEN APPLICABLE IN PLAN). MICROWAVE AND REFRIGERATOR AND FREEZER OUTLETS TO BE DEDICATED 20 AMP.
  - BATH VANITY LIGHT FIXTURE BLOCKING TO BE AT 86" A.F.F. (TO BOTTOM OF BLOCKS). SEE INTERIOR ELEV. FOR MOUNTING HT OF VENT HOOD.
  - VANITY LIGHT BOXES TO BE AT 86" AFF. (TO BOTTOM OF BOX).
  - INSTALL GFCI PLUGS AT ALL SINK VANITIES: SIDEWALL PLUG TO BE 8" FROM BACK WALL. BATH VANITY PLUGS TO BE AT 42" AFF. TO BOTTOM OF BOX.
  - INSTALL GFCI PLUGS AT ALL SINK VANITIES AND AT KITCHEN COUNTERTOPS.
  - KITCHEN COUNTERTOP PLUGS AND SWITCHES TO BE VERTICAL AT 42" A.F.F. (TO BOTTOM OF BOX). ALL PLUGS AND SWITCHES AT BAR TOP TO BE HORIZONTAL AT 38 1/2" AFF. TO BOTTOM OF BOX.
  - GARBAGE DISPOSAL TO HAVE PLUG.
  - SECURITY KEYPADS TO BE LOCATED ABOVE SWITCHES, PER PLAN. SECURITY PANEL AT 67" AFF. TOP OF BOX, STRUCTURED WIRING PANEL AT 53" AFF. TOP OF BOX.
  - TELEPHONE, T.V., AND PLUG BELOW KNEE SPACE AT PLANNING CENTER (WHEN APPLICABLE IN PLAN) TO BE AT 13" AFF. TO BOTTOM OF BOX.
  - PLANNING CENTER 110V OUTLET (WHEN APPLICABLE IN PLAN) ABOVE COUNTER TO BE 36" AFF. TO BOTTOM OF BOX. - BOX TO BE VERTICAL.
  - WALK IN CLOSET LIGHT TO BE 18" FROM SHELF.
  - NO WIRES TO BE RUN OVER ATTIC CAT WALKS.
  - LIGHT IN ATTIC AT HVAC WORK PLATFORM AND W/H/ PLATFORM (PER IRC CODES) TO BE SWITCHED IN ATTIC, ACCESSIBLE FROM ATTIC LADDER. IF LOCATION REQ.'S PROVIDE 2 LIGHTS, 1 AT UNIT AND ACCESS OPENING (ON 1 SWITCH).
  - INSTALL SPLIT OUTLET BELOW SINK FOR DISPOSAL AND DISHWASHER AND CENTER AT SINK BASE. SWITCH FOR DISPOSAL ONLY.
  - 110V SERVICE OUTLET IN ATTIC AT HVAC AND W/H PLATFORM.
  - BLOCK AND WIRE FOR ALL CEILING FANS AND LIGHTS IN ALL SECONDARY BDRNS, MASTER BDRM, GAME ROOM, AND FAMILY RM. SEPERATE SWITCH FOR LIGHT AND FAN (2 GANG SWITCH).
  - 110V OUTLETS AT ISLAND TO BE 25" AFF. TO BOTTOM OF BOX. PLUG TO BE HORIZONTAL.
  - HVAC CONTRACTOR TO SUPPLY AND INSTALL ALL EXHAUST FANS. ELECTRICIAN TO WIRE. INSTALL 16" FROM BACK OF BOX TO WALL WHEN POSSIBLE AND CENTER OVER DRYER & TOILET.
  - THERMOSTAT TO BE LOCATED 60" AFF. TO CENTER OF BOX. LOCATIONS PER PLAN.
  - CLG FANS ARE TO BE INSTALLED & BALANCED PER MANUF. SPECS.
  - SEE SPECS FOR WATER SOFTENER OUTLET REQUIREMENTS (PER COMMUNITY).
  - PLUG FOR SPRINKLER SYSTEM AT 84" AFF. IN GARAGE (PER COMMUNITY).
  - EXTERIOR GFI AT A/C CONDENSER SHOULD BE LOCATED NEXT TO, AND AT THE SAME HEIGHT AS THE DISCONNECT.
  - DRYER VENT TO SIT ON BOTTOM PLATE.
  - INSTALL DRYER VENT CENTER OF DRYER LOCATION IN PLAN WHEN APPLICABLE.
  - DOORBELL TRANSFORMER TO BE LOCATED BEHIND CHIMES IN J-BOX.
  - SECURITY MOTION DETECTOR PER PLAN. TO BE MOUNTED 7'-6" A.F.F.
  - REFERENCE PARIAL FLOOR PLANS FOR ADDITIONAL LIGHTS AT EXTENDED FRONT PORCH PER ELEVATION.

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1007 RIDGE RD.  
 ROCKWALL, TX 75087

ISSUE LOG	DATE DESCRIPTION

SCALE  
1/8" = 1'-0"

DATE  
09/11/2023

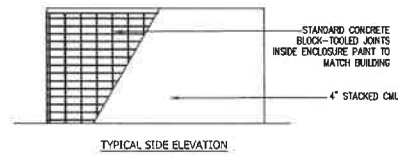
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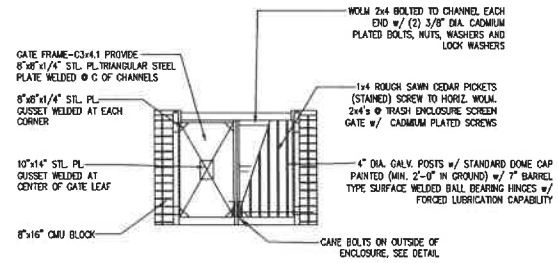
TYPICAL FLOORPLAN NOTES:

1. DOWEL CONC. WALK INTO FOUNDATION WALL AT EXTERIOR DOORS AND STOREFRONT DOORS, AND AT STOREFRONT SYSTEM.
2. REFERENCE STRUCTURAL DRAWINGS FOR COLUMN DESIGNATIONS AND ADDITIONAL INFORMATION.
3. REFERENCE MEP DRAWINGS FOR UTILITIES RUN UNDER SLAB. PROVIDE 2' SQ. LEAVE OUT AT STUB-UP & CLEAN OUTS, UNLESS NOTED OTHERWISE.
4. SITE CONTRACTOR IS RESPONSIBLE FOR UTILITIES BEYOND 5'-0" OF BUILDING PERIMETER.
5. REFERENCE ELEVATIONS FOR TRANSOM WINDOW LOCATIONS AND REFERENCE NUMBERS.
6. REFER TO EXTERIOR ELEVATIONS FOR EXTENT OF STOREFRONT WORK.



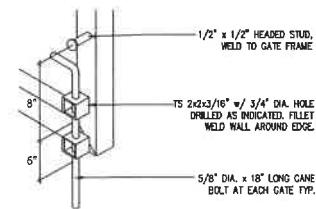
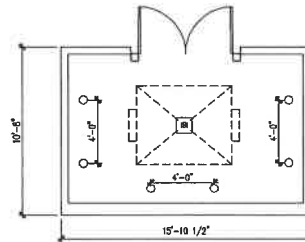
DUMPSTER ENCLOSURE SIDE ELEVATION

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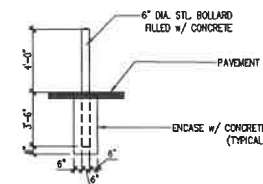
DUMPSTER ENCLOSURE FRONT ELEVATION

SCALE: N.T.S.



CANE BOLT DETAIL

SCALE: N.T.S.



BOLLARD DETAIL

SCALE: N.T.S.

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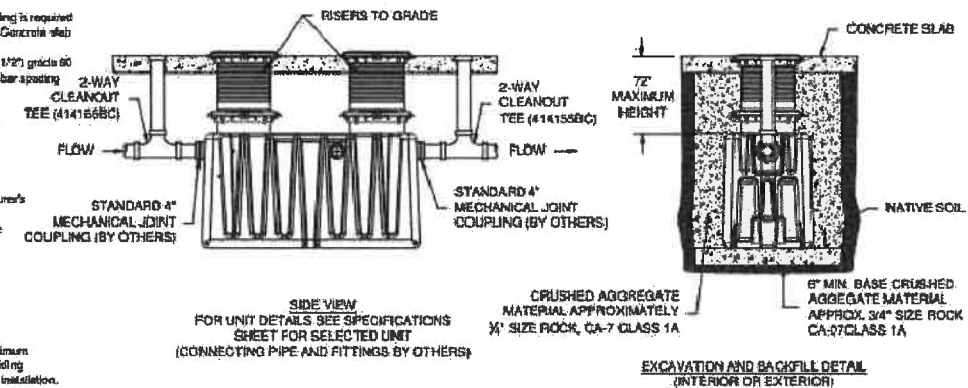
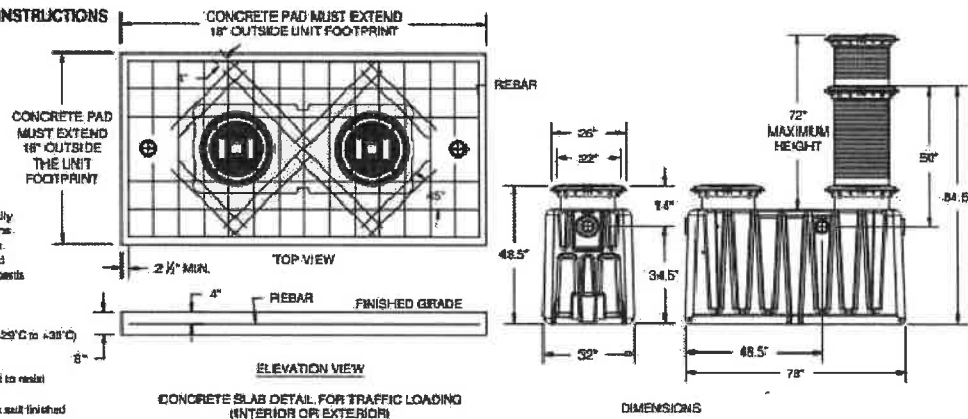
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**Endura® XL - INTERIOR OR EXTERIOR BELOW GRADE INSTALLATION INSTRUCTIONS**  
**BELOW GRADE INSTALLATION INSTRUCTIONS**

1. **EXCAVATION**
  - 1.1 Install the Endura® XL unit(s) as close as possible to features being serviced. Ideally within 25ft of developed pipe run from the last fixture to the inlet of the interceptor.
  - 1.2 Width and length of excavation shall be minimum 12" greater than the tank dimensions on all sides.
  - 1.3 Depth of excavation shall be at least 8" deeper than tank bottom.
  - 1.4 **IMPORTANT:** Maximum burial depth: 64" (2") measured from the air lift/lower channel (Endura® XL Log) to finished grade/floor level. Please refer to local code requirements (401150A/325 (401100A/18) - (see below).
  - 1.5 Set the tank on well-packed crushed aggregate material approximately 3/4" size rock, pea gravel or sand. When setting Endura® XL units they must be level laterally and longitudinally.
  - 1.6 Endura® XL tanks are specifically designed to resist buoyancy in high water table conditions. Additional anchoring may however be necessary as determined by the specifying engineer. Tie-down locations are incorporated to the tank and can be used in conjunction with coated stainless steel cables and an applicable anchor method based on substrate. Specific requirements to be determined by specifying engineer.
2. **BACKFILLING & FINISHED CONCRETE SLAB (TRAFFIC LOAD RATED)**
  - 2.1 Endura® XL is supplied standard with traffic rated covers designed in accordance with AASHTO 304 - H20 (18,000lbs) and approved to CSA B481.0 Class "E" -26°F to +100°F (+38°C).
  - 2.2 Preparation of sub grade per local jurisdictional code requirements.
  - 2.3 Stabilize and compact sub grade to 85% proctor per Excavation information above.
  - 2.3 Fill tank with water (to discharge level) to prevent movement during backfilling process and to resist backfill loss.
  - 2.4 Before backfilling and pouring of slab, install riser(s) (as necessary) and cover assembly to suit finished floor/grade level.
  - 2.5 Backfill using crushed aggregate material approximately 3/4" size rock, pea gravel or sand.
  - 2.6 Place minimum 6" aggregate base (or soil) poured structural slab. Aggregate should be 3/4" size rock or pea shingle.
  - 2.7 Thickness of concrete around cover to be determined by specifying engineer. If traffic loading is required refer to local specifying engineer recommendations and/or local code requirements. Note: Concrete slab dimensions shown are for illustration purposes only.
  - 2.8 Concrete to be 28 day compressive strength to 4000 PSI. Reinforcers with No.4 rebar (1/2") grade 60 steel per ASTM A615; connected with wire. Rebar to be 2"x4" from edge of concrete. Rebar spacing 12" grid, 4" spacing around access openings.
3. **PIPING CONNECTIONS**
  - 3.1 All Endura® XL Grass Interceptors are manufactured with no hub connections. Threaded connections are available from your Endura distributor supplying the product code with "T" - i.e. 401100A/T.
  - 3.2 Locally approved mechanical joint (MJ) couplings are used to connect the inlet and outlet piping to the tank. This allows transition to different piping materials as required.
  - 3.3 Make system piping connections using locally approved MJ couplings installing to manufacturer's instructions. Review all field-made connections for leaks before backfilling begins. Isolate the tank from the system both up and down stream and fill tank with water, submersing the inlet and outlet fully below the water level. **DO NOT PRESSURE TEST - Risk of serious Injury or Death.**
  - 3.4 **DO NOT** decrease pipe diameter across the unit (i.e. 4 inch inlet, 3 inch outlet). If the piping system needs to be reduced, use appropriate mechanical joint reduces consistent with the direction of flow and installed in compliance with local code.
4. **EXTENSION RISERS (Optional)**
  - 4.1 Endura® XL Extension Risers provide a maximum of 35" extension per riser. Based on maximum installation depth up to a maximum of 72" depth of burial can be achieved (see 1.4 above), adding Extension Risers (or part thereof) during installation. Risers are cut to length on site to suit installation.
  - 4.2 Remove cover from interceptor. Set aside for use at finished grade/floor level.
  - 4.3 Secure riser to tank frame remains in place) using folings provided. Ensure seal is correctly located.
  - 4.4 Secure the 1-1/2" adapter fitting supplied with the Extension Kit to the thread on the top of the handle mechanism. Cut and extend a length of 1 1/2" DNW pipe per instructions supplied.
  - 4.5 For custom riser length - measure from tank frame to finished grade/floor level. Subtract 1 1/2". Cut cleanly by hand or mechanical means using guide rings molded into the riser to give clean straight cut. Note - Horizontal surface of cover will be 0.5" above finished floor/grade.
  - 4.6 Fit riser seal provided over the cut edge of the riser and locate frame (supplied) over the seal making sure it is fully seated. Secure with lip screws provided using the pre-drilled locations in frame.
  - 4.7 Repeat process for additional riser if/as required.
  - 4.8 With frame installed and verified at the correct height, pass the handle extension support over the 1 1/2" DNW and secure the support to the frame with the screw provided. Solvent weld a 1/4" vent tee cut top of the pipe to act as a handle.
  - 4.9 Re-fit the original cover(s) provided with the interceptor.



**NOTES:**  
 Endura XL grass interceptors are riser and supplied with an internal flow control system already in place. They do not require an external flow control system or an intake vent unless specified by local code requirements or being operated as a POI GI-101 installation. Endura XL grass interceptors are only to be installed in the manner and for the application shown. Consult local codes for separate stopping requirements, clearance locations and additional installation instructions. Full instructions information supplied with every interceptor.



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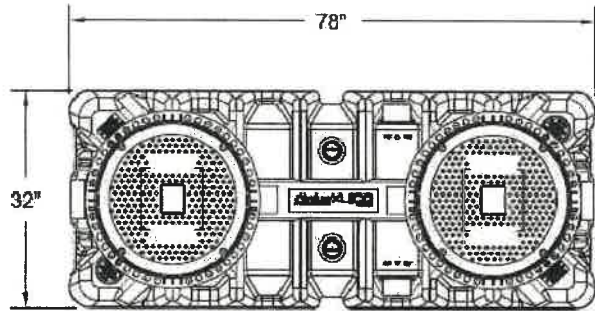
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 ROCKWALL, TX 75087

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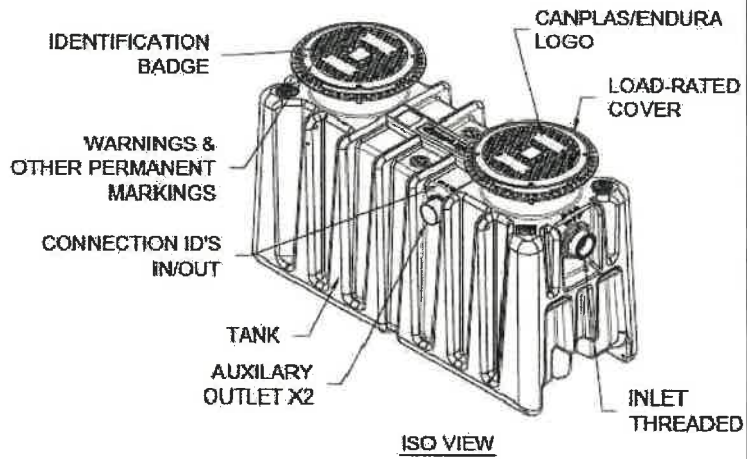
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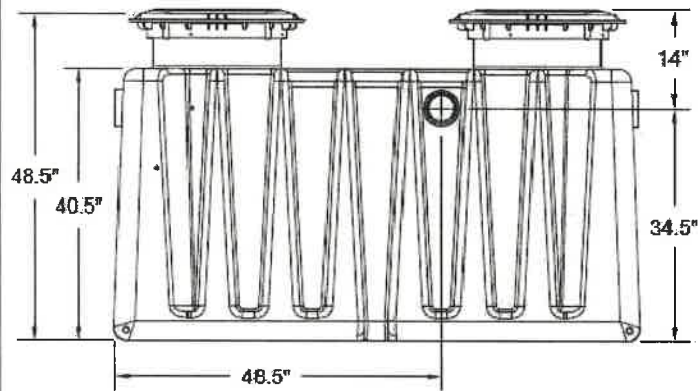
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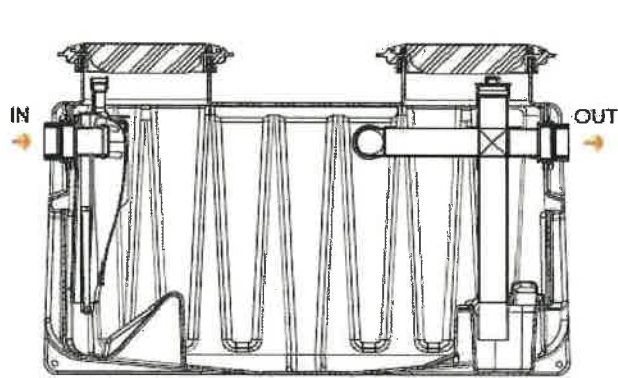
TOP VIEW



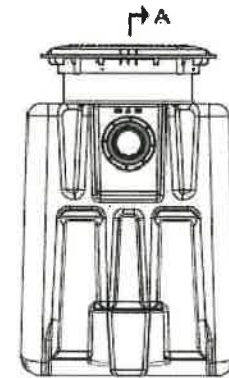
ISO VIEW



FRONT VIEW



SECTION A-A



SIDE VIEW



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 P1.02



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION** [PLEASE PRINT]

ADDRESS 1007 Ridge Rd

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

**ZONING, SITE PLAN AND PLATTING INFORMATION** [PLEASE PRINT]

CURRENT ZONING Commercial / Retail

CURRENT USE C-Store

PROPOSED ZONING Commercial Retail

PROPOSED USE C-Store

ACREAGE \_\_\_\_\_

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION** [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kamran Khan

APPLICANT \_\_\_\_\_

CONTACT PERSON Abel Cisneros

CONTACT PERSON \_\_\_\_\_

ADDRESS 805 Green Pond Dr.

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Garland TX 75040

CITY, STATE & ZIP \_\_\_\_\_

PHONE 214-907-6355

PHONE \_\_\_\_\_

E-MAIL notutexasbrands@gmail.com

E-MAIL \_\_\_\_\_

**NOTARY VERIFICATION** [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kamran Ahmed Khan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

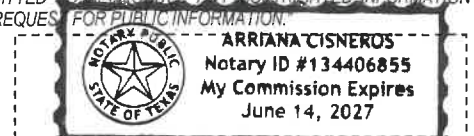
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 24 DAY OF October 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 24 DAY OF October, 2023

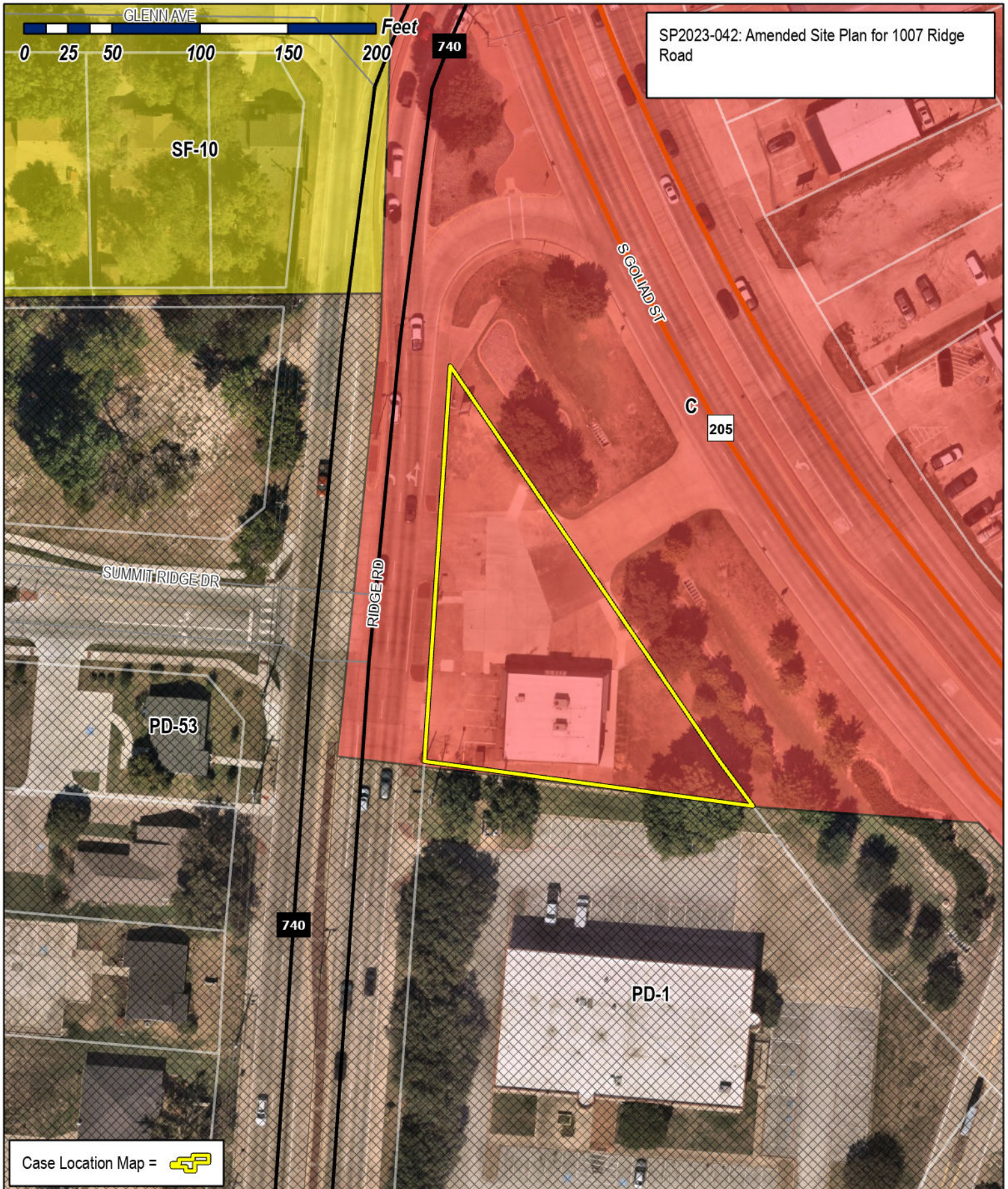
OWNER'S SIGNATURE

Kamran Khan

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES June 14, 2027



SP2023-042: Amended Site Plan for 1007 Ridge Road

Case Location Map = 

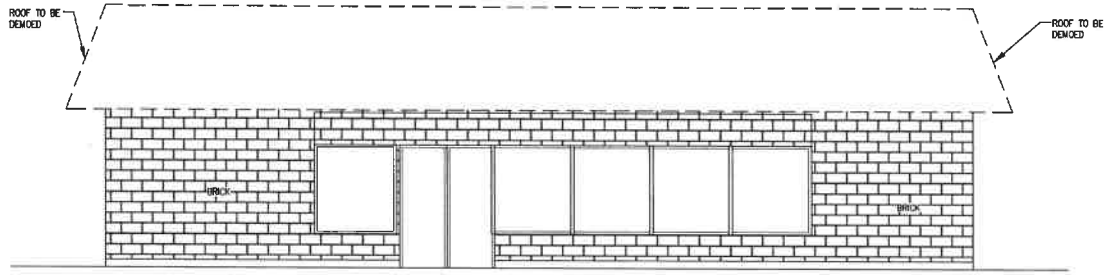


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

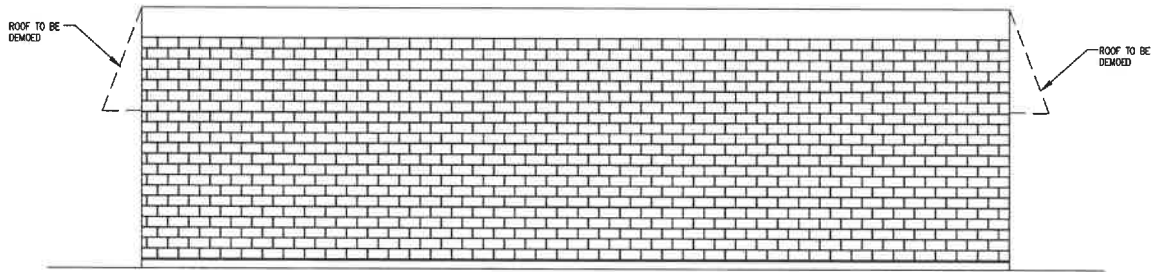
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EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING REAR ELEVATION

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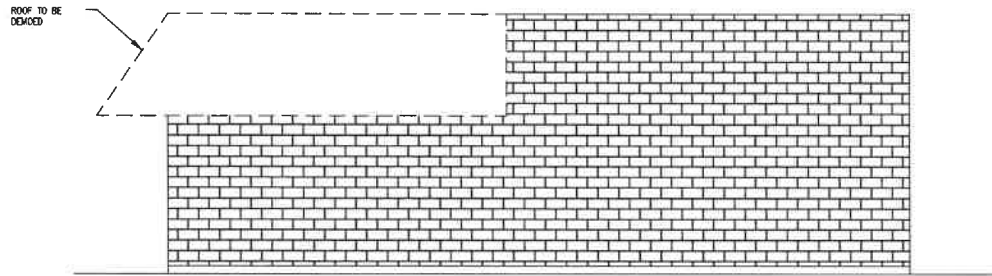
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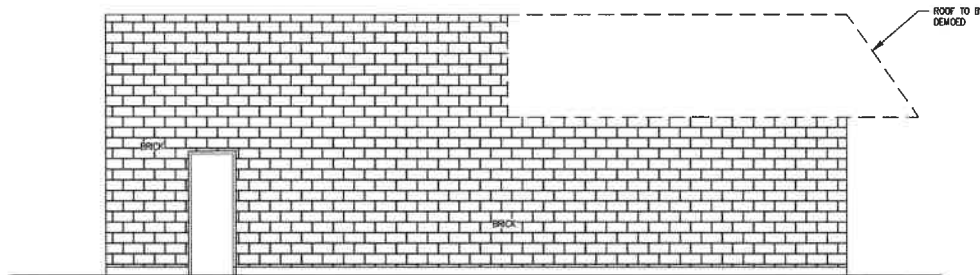
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EXISTING RIGHT SIDE ELEVATION

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EXISTING LEFT SIDE ELEVATION

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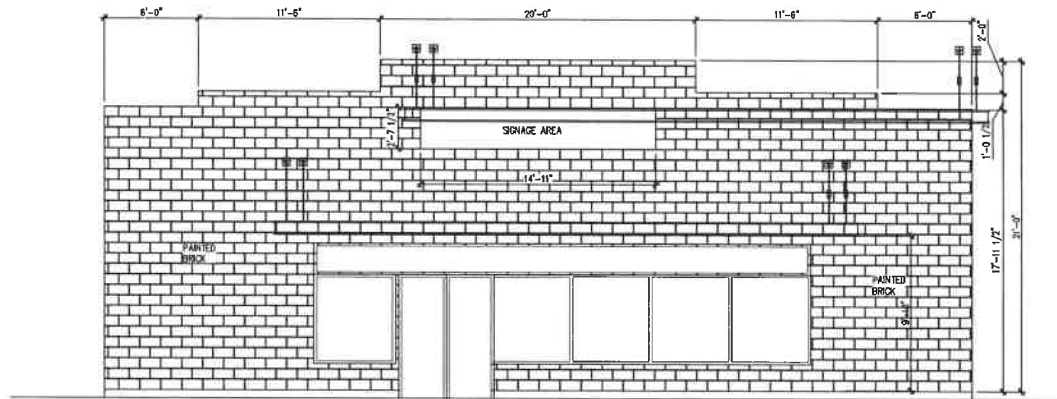
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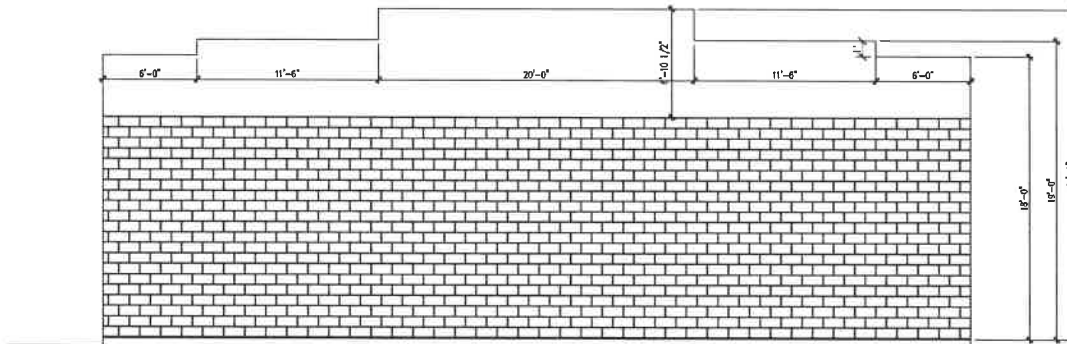
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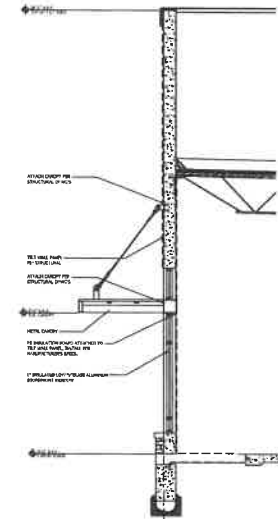
NEW FRONT ELEVATION

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NEW REAR ELEVATION

SCALE: 1/8" = 1'-0"



AWNING DETAIL

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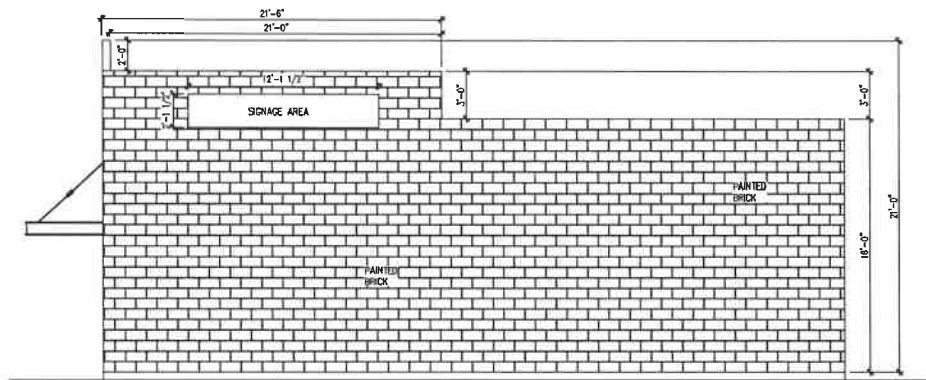
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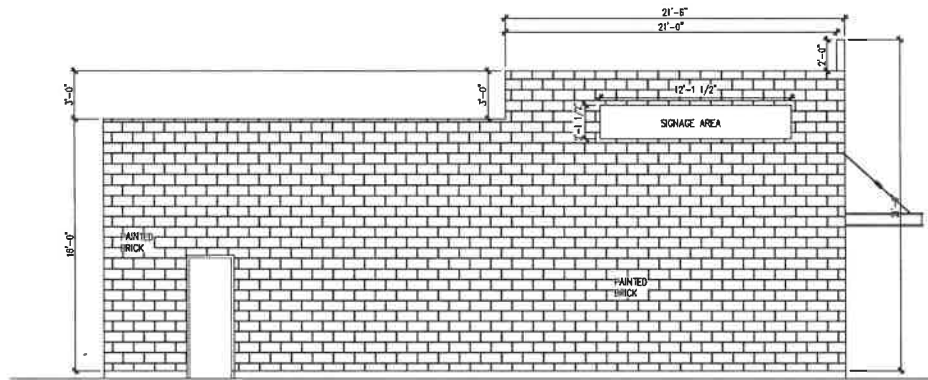
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NEW RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



NEW LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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**GENERAL NOTES**

- CONSTRUCTION: COMPLY WITH APPLICABLE CODES AND RELATED AMENDMENTS.
- THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS, OR FULL INFORMATION NECESSARY FOR THE COMPLETE CONSTRUCTION OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER.
- NOTIFY ARCHITECT AND OWNER OF ERRORS, OMISSIONS, AND DISCREPANCIES IN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND ACTUAL SITE CONSTRUCTION CONDITIONS. ERRORS, OMISSIONS, AND DISCREPANCIES MUST BE RESOLVED AND DOCUMENTED BEFORE CONTINUING CONSTRUCTION WITH THE WORK IN QUESTION. FAILURE TO NOTIFY THE OWNER AND ARCHITECT IN SUCH AN EVENT SHALL CONSTITUTE ACCEPTANCE OF ANY RESULTING OBLIGATIONS OR RESPONSIBILITIES WITH REGARDS TO DELAYS, COSTS, CODE COMPLIANCE, AND LEGAL REMEDIES RESULTING FROM THIS OR RELATED WORK.
- CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS BY OWNERS CONSULTANTS.
  - ARCHITECT'S ELECTRICAL, MECHANICAL, AND PLUMBING PLANS ARE DIAGRAMMATIC ONLY. ACTUAL DESIGN BY OWNER'S CONSULTANT.
  - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR GRADING AND DRAINAGE REQUIREMENTS.
  - REFER TO STRUCTURAL ENGINEER FOR STRUCTURAL DESIGN, SPECIFICATIONS, AND DETAILS; INCLUDING REQUIRED RETAINING WALLS, WATERPROOFING, AND FRENCH DRAIN SYSTEMS.
  - COORDINATE SOIL COMPACTION REQUIREMENTS BEHIND RETAINING WALLS WITH STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR THE ACCURACY AND CORRECTNESS OF SAME.
- VERIFY TYPE AND LOCATION OF UTILITIES SERVING SITE.
- REFER TO ELEVATIONS FOR ROOFS TO BE GUTTERED. SUBMIT PROPOSED LOCATIONS OF GUTTERS AND DOWNSPOUTS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL.
- ALL FLOOR FINISH HEIGHTS TO MATCH. FLOOR ELEVATIONS AT SECOND FLOOR ARE GIVEN TO TOP OF FLOOR DECK.
- INSTALL STUDS AT CLOSET SIDE WALL ROD LOCATIONS, MEASURED 10" FROM BACK WALL.
- EXTERIOR MATERIALS AND FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS AND DETAILS.
- FIRE SPRINKLERS SYSTEMS: REFER TO LOCAL JURISDICTION FOR REQUIREMENTS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLING ANY EQUIPMENT. I.E. WINDOWS, STEEL, CAST STONE...ETC.
- THE CONTRACTOR SHALL PAY ALL FINES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS, AND OBTAIN

ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THE CONTRACT DOCUMENTS.

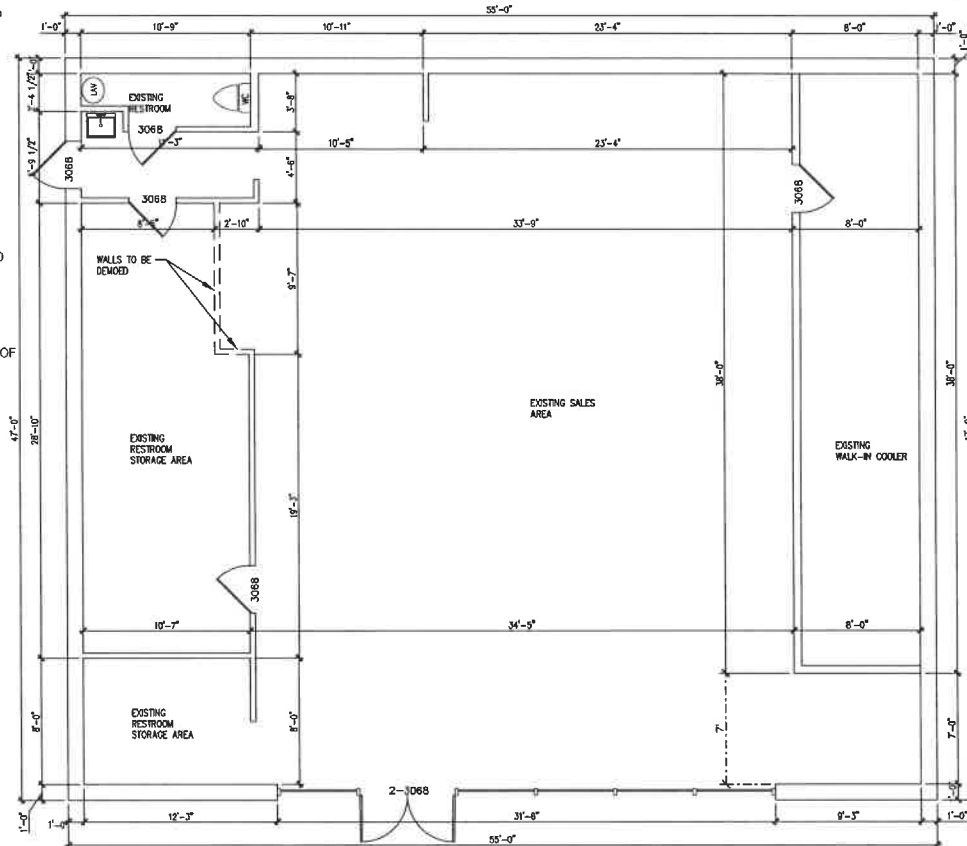
- ALL GARAGE DOORS SHALL HAVE REMOTE ACCESS. MATERIALS ON GARAGE WILL BE ALUMINUM WITH A LIGHT BRONZE FINISH.
- ALL CONCRETE AREAS SHALL FORMED WITH HIGH-STRENGTH CONCRETE MATERIAL AND SHALL HAVE A BRUSH FINISH WITH A STONE BOARD.
- EXISTING BACK YARD TREE SHALL BE USED TO MEET AND SATISFY REQUIREMENTS OF HOA AND SHALL COMPLY WITH CITY OF DESOTO TREE SURVEY.

**FOR DIMENSION PURPOSES:**

- DO NOT SCALE DRAWINGS.
- VERIFY DIMENSIONS: NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- WOOD STUD WALLS: 2x4'S @ 16" O.C. TO A MAXIMUM HEIGHT OF 10'-0", SUPPORTING ONE FLOOR, ROOF, AND CEILING. UNSUPPORTED WALL HEIGHTS EXCEEDING 10'-0" AND 3 STORY CONDITIONS REQUIRE STRUCTURAL ANALYSIS TO DETERMINE STUD SIZE AND SPACING.
- EXTERIOR WOOD STUD/MASONRY ASSEMBLIES: 9" w/2x4's, 11" w/2x6's, 13" w/2x8's
- INTERIOR WOOD STUDS DIMENSIONED TO CENTERLINE OF WALL. EXCEPTION: FLAT STUDS DIMENSIONED 2" THICK AND OVER 6" THICK STUD WALLS DIMENSIONED OUT-TO-OUT.
- WALL PLATE HEIGHTS: CROSS REFERENCE EXTERIOR ELEVATIONS, WALL SECTIONS, AND FASCIA DETAILS TO DETERMINE.

**CODE INFORMATION**

CODE INFORMATION	REQUIRED	PROVIDED
INTERNATIONAL BUILDING CODE (IBC)	2021	2021
INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	2021	2021
INTERNATIONAL MECHANICAL CODE (IMC)	2021	2021
NFPA 70 NATIONAL ELECTRICAL CODE (NEC)	2020	2020
INTERNATIONAL PLUMBING CODE (IPC)	2021	2021
INTERNATIONAL FIRE CODE (IFC)	2021	2021



**EXISTING FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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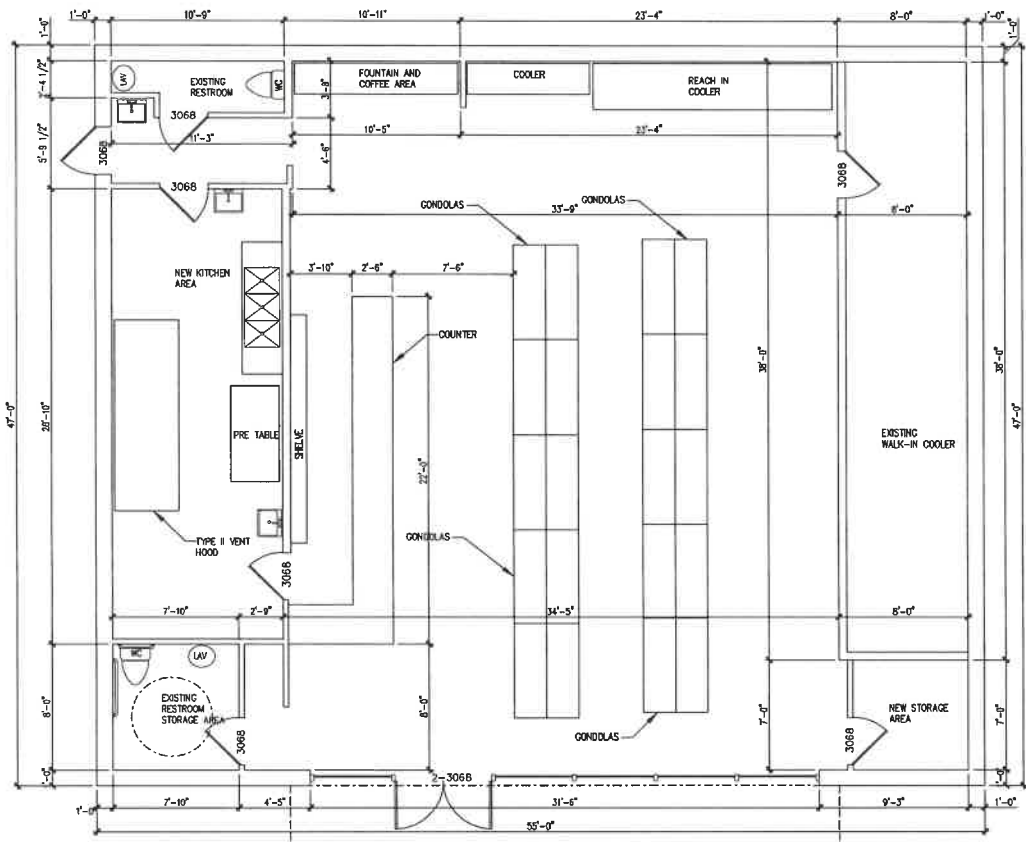
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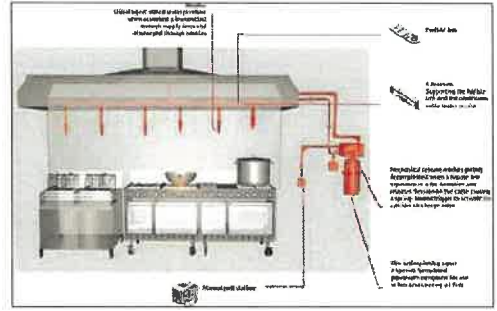
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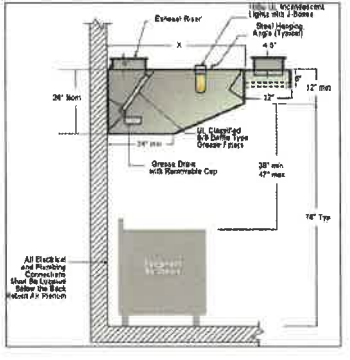
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**NEW FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**FIRE SUPPRESSION DETAIL**  
SCALE: N.T.S.



**VENT HOOD DETAIL**  
SCALE: N.T.S.

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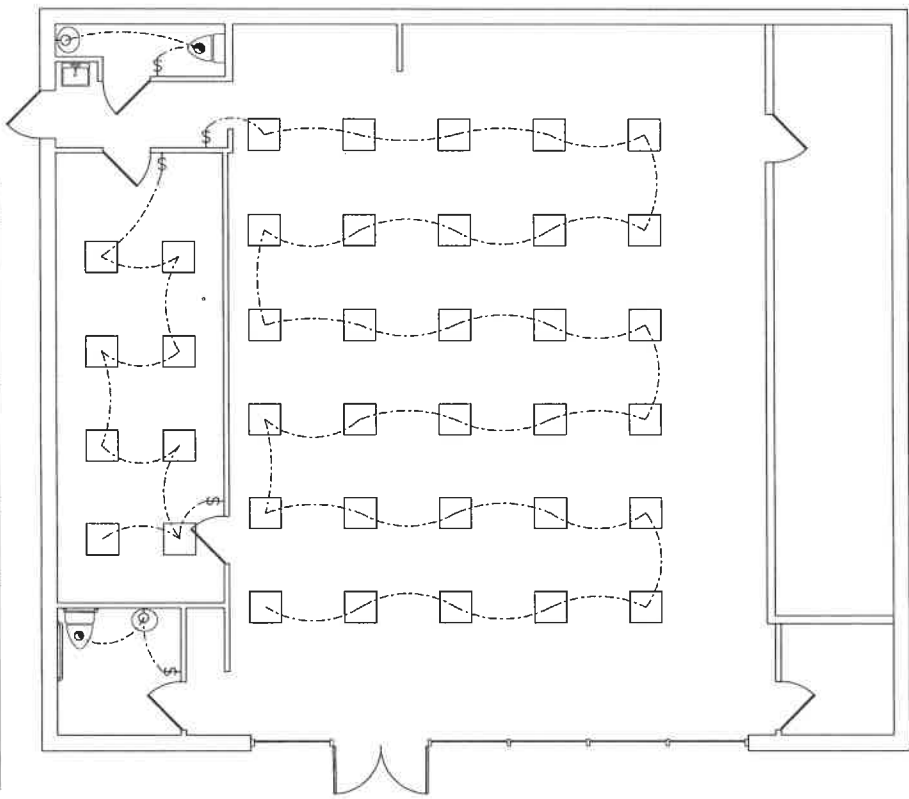
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GENERAL ELECTRICAL NOTES:

- 1.) BREAKER BOX TO BE LOCATED PER PLAN.
- 2.) ALL PLUGS AND SMOKE DETECTORS PER IRC CODES AND WHERE LOCATED ON PLAN. ALL SMOKE DETECTORS SHOULD BE IN AN AREA ACCESSIBLE BY 16" EXTENSION LADDER OR 8" STEP LADDER. BEDROOM SMOKE DETECTORS TO BE CENTERED ABOVE DOOR 8" FROM CEILING. SMOKE DETECTORS MUST BE MIN. OF 30" FROM ANY R.A.G. INCLUDING ADJACENT ROOMS. DETECTORS SHALL BE INSTALLED INTERCONNECTED SO THAT THE ACTUATION OF ONE WILL ACTIVATE ALL OTHERS.
- 3.) COACH LIGHTS TO BE MOUNTED PER ELEV.
- 4.) SWITCHES TO BE 54" AFF. (TOP OF BOX).
- 5.) PRE-WIRE LOW VOLTAGE FOR O.H. DOOR OPENER - LOW VOLTAGE AT 8" AFF. ON EACH SIDE OF O.H. DOOR. OPENER BUTTONS TO BE 5'-0" AFF.
- 6.) DOORBELL WIRING PER PLAN BY COMMUNITY - BUTTON TO BE AT 42" A.F.F. WHERE APPLICABLE AND LOCATION DENOTED ON PLAN.
- 7.) DOORBELL CHIMES AND SECURITY SIREN BOX PER PLAN 8" FROM CLG. TO BOTTOM OF BOX.
- 8.) MICROWAVE/VENTHOOD PLUG TO BE LOCATED AT 76" AFF. (6" OVER COOKTOP; WHEN APPLICABLE IN PLAN). MICROWAVE AND REFRIGERATOR AND FREEZER OUTLETS TO BE DEDICATED 20 AMP.
- 9.) BATH VANITY LIGHT FIXTURE BLOCKING TO BE AT 86" A.F.F. (TO BOTTOM OF BLOCKS). SEE INTERIOR ELEV. FOR MOUNTING HT OF VENT HOOD.
- 10.) VANITY LIGHT BOXES TO BE AT 86" AFF. (TO BOTTOM OF BOX).
- 11.) INSTALL GFCI PLUGS AT ALL SINK VANITIES: SIDEWALL PLUG TO BE 8" FROM BACK WALL. BATH VANITY PLUGS TO BE AT 42" AFF. TO BOTTOM OF BOX.
- 12.) INSTALL GFCI PLUGS AT ALL SINK VANITIES AND AT KITCHEN COUNTERTOPS.
- 13.) KITCHEN COUNTERTOP PLUGS AND SWITCHES TO BE VERTICAL AT 42" A.F.F. (TO BOTTOM OF BOX). ALL PLUGS AND SWITCHES AT BAR TOP TO BE HORIZONTAL AT 38 1/2" AFF. TO BOTTOM OF BOX.
- 14.) GARBAGE DISPOSAL TO HAVE PLUG.
- 15.) SECURITY KEYPADS TO BE LOCATED ABOVE SWITCHES, PER PLAN. SECURITY PANEL AT 67" AFF. TOP OF BOX, STRUCTURED WIRING PANEL AT 53" AFF. TOP OF BOX.
- 16.) TELEPHONE, T.V., AND PLUG BELOW KNEE SPACE AT PLANNING CENTER (WHEN APPLICABLE IN PLAN) TO BE AT 13" AFF. TO BOTTOM OF BOX.
- 17.) PLANNING CENTER 110V OUTLET (WHEN APPLICABLE IN PLAN) ABOVE COUNTER TO BE 36" AFF. TO BOTTOM OF BOX. - BOX TO BE VERTICAL.
- 18.) WALK IN CLOSET LIGHT TO BE 18" FROM SHELF.
- 19.) NO WIRES TO BE RUN OVER ATTIC CAT WALKS.
- 20.) LIGHT IN ATTIC AT HVAC WORK PLATFORM AND W/H/ PLATFORM (PER IRC CODES) TO BE SWITCHED IN ATTIC, ACCESSIBLE FROM ATTIC LADDER. IF LOCATION REQ.'S PROVIDE 2 LIGHTS, 1 AT UNIT AND ACCESS OPENING (ON 1 SWITCH).
- 21.) INSTALL SPLIT OUTLET BELOW SINK FOR DISPOSAL AND DISHWASHER AND CENTER AT SINK BASE, SWITCH FOR DISPOSAL ONLY.
- 22.) 110V SERVICE OUTLET IN ATTIC AT HVAC AND W/H PLATFORM.
- 23.) BLOCK AND WIRE FOR ALL CEILING FANS AND LIGHTS IN ALL SECONDARY BDRNS, MASTER BDRM, GAME ROOM, AND FAMILY RM. SEPERATE SWITCH FOR LIGHT AND FAN (2 GANG SWITCH).
- 24.) 110V OUTLETS AT ISLAND TO BE 25" AFF. TO BOTTOM OF BOX. PLUG TO BE HORIZONTAL.
- 25.) HVAC CONTRACTOR TO SUPPLY AND INSTALL ALL EXHAUST FANS. ELECTRICIAN TO WIRE. INSTALL 16" FROM BACK OF BOX TO WALL WHEN POSSIBLE AND CENTER OVER DRYER & TOILET.
- 26.) THERMOSTAT TO BE LOCATED 60" AFF. TO CENTER OF BOX. LOCATIONS PER PLAN.
- 27.) CLG FANS ARE TO BE INSTALLED & BALANCED PER MANUF. SPECS.
- 28.) SEE SPECS FOR WATER SOFTENER OUTLET REQUIREMENTS (PER COMMUNITY).
- 29.) PLUG FOR SPRINKLER SYSTEM AT 84" AFF. IN GARAGE (PER COMMUNITY).
- 30.) EXTERIOR GFI AT A/C CONDENSER SHOULD BE LOCATED NEXT TO, AND AT THE SAME HEIGHT AS THE DISCONNECT.
- 31.) DRYER VENT TO SIT ON BOTTOM PLATE.
- 32.) INSTALL DRYER VENT CENTER OF DRYER LOCATION IN PLAN WHEN APPLICABLE.
- 33.) DOORBELL TRANSFORMER TO BE LOCATED BEHIND CHIMES IN J-BOX.
- 34.) SECURITY MOTION DETECTOR PER PLAN. TO BE MOUNTED 7'-6" A.F.F.
- 35.) REFERENCE PARIAL FLOOR PLANS FOR ADDITIONAL LIGHTS AT EXTENDED FRONT PORCH PER ELEVATION.

ELECTRICAL SYMBOLS	
<b>LIGHT FIXTURES</b>	
CEILING MOUNTED WITH PULL CHAIN	CEILING SPEAKER
LANDSCAPE LIGHT	RECESSED "PIN HOLE" IN CEILING OR SOFFIT
RECESSED "WALL WASHERS" IN CEILING OR SOFFIT	FLUORESCENT FIXTURE
UNDER CABINET LIGHT	LOW VOLTAGE
RECESSED "WALL WASHERS" IN CEILING OR SOFFIT	RECESSED "PIN HOLE" IN CEILING OR SOFFIT
WALL MOUNTED FLOOD LIGHT	
<b>CONVENIENCE OUTLETS</b>	
120V STANDARD OUTLET	GROUND FAULT OUTLET
120V STANDARD OUTLET	AFCI OUTLET
120V STANDARD OUTLET	TOILET OUTLET
WATERPROOF OUTLET	FLOOR OUTLET
20A OUTLET	J-BOX OUTLET
<b>SWITCHES</b>	
SINGLE POLE SWITCH	NON-WIRE SWITCH
THREE POLE SWITCH	CORNER SWITCH
<b>GENERAL</b>	
120V JUNCTION BOX	SMOKE DETECTOR
220V JUNCTION BOX	S.O.C.O.
GARAGE SERVICE	PUSH BUTTON
EXHAUST FAN	LANDSCAPE LIGHT
EXHAUST FAN W/LIGHT	OVERHEAD
WALL EXHAUST FAN	CEILING FAN
ELECTRICAL PANEL	CEILING FAN W/ COVER
TELEVISION OUTLET	
TELEPHONE/DATA OUTLET	
OUTLET	



**ELECTRICAL PLAN**  
 SCALE: 1/8" = 1'-0"



Reviewed

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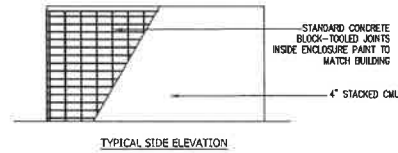
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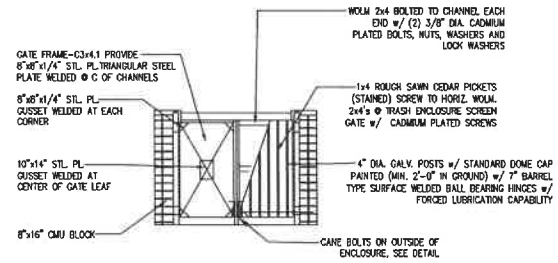
TYPICAL FLOORPLAN NOTES:

1. DOWEL CONC. WALK INTO FOUNDATION WALL AT EXTERIOR DOORS AND STOREFRONT DOORS, AND AT STOREFRONT SYSTEM.
2. REFERENCE STRUCTURAL DRAWINGS FOR COLUMN DESIGNATIONS AND ADDITIONAL INFORMATION.
3. REFERENCE MEP DRAWINGS FOR UTILITIES RUN UNDER SLAB. PROVIDE 2' SQ. LEAVE OUT AT STUB-UP & CLEAN OUTS, UNLESS NOTED OTHERWISE.
4. SITE CONTRACTOR IS RESPONSIBLE FOR UTILITIES BEYOND 5'-0" OF BUILDING PERIMETER.
5. REFERENCE ELEVATIONS FOR TRANSOM WINDOW LOCATIONS AND REFERENCE NUMBERS.
6. REFER TO EXTERIOR ELEVATIONS FOR EXTENT OF STOREFRONT WORK.



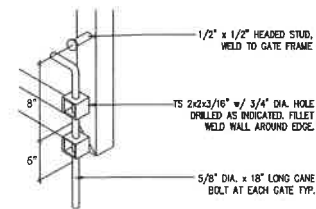
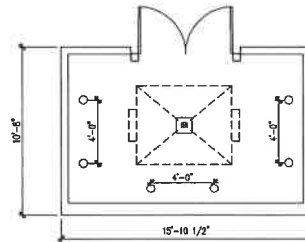
DUMPSTER ENCLOSURE SIDE ELEVATION

SCALE: N.T.S.



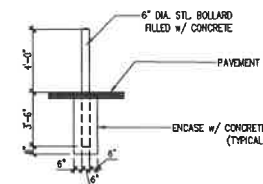
DUMPSTER ENCLOSURE FRONT ELEVATION

SCALE: N.T.S.



CANE BOLT DETAIL

SCALE: N.T.S.



BOLLARD DETAIL

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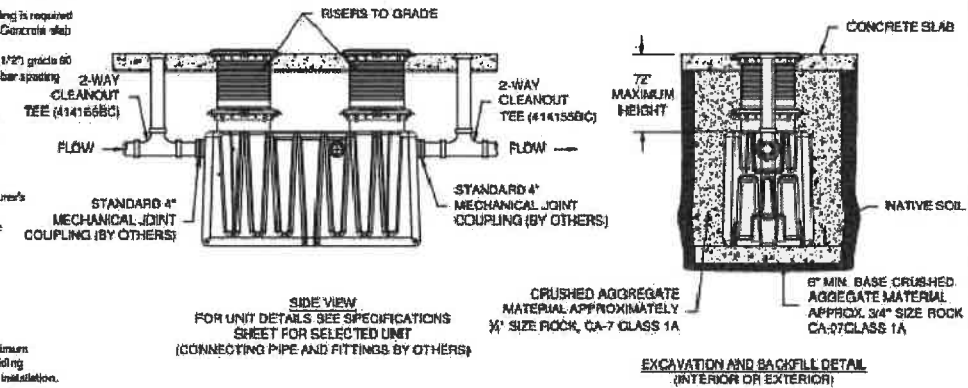
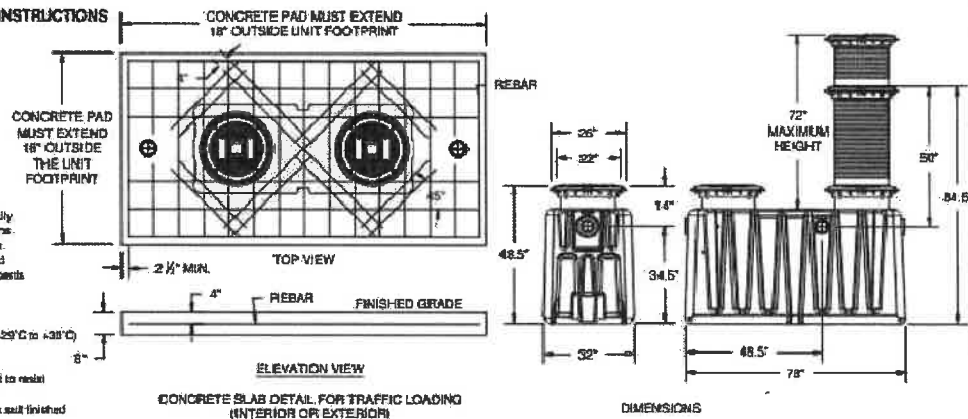
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**Endura® XL - INTERIOR OR EXTERIOR BELOW GRADE INSTALLATION INSTRUCTIONS**  
**BELOW GRADE INSTALLATION INSTRUCTIONS**

1. **EXCAVATION**
  - 1.1 Install the Endura® XL unit(s) as close as possible to features being serviced. Ideally within 25ft of developed pipe run from the last future to the inlet of the interceptor.
  - 1.2 Width and length of excavation shall be minimum 12" greater than the tank dimensions on all sides.
  - 1.3 Depth of excavation shall be at least 8" deeper than tank bottom.
  - 1.4 **IMPORTANT:** Maximum burial depth: 60" (2") measured from the air lift/lower channel (Endura® XL Log) to finished grade/floor level. Please refer to section 4.1 for details.
  - 1.5 Set the tank on well-packed crushed aggregate material approximately 3/4" size rock, pea gravel or sand. When setting Endura® XL units they must be level laterally and longitudinally.
  - 1.6 Endura® XL tanks are specifically designed to resist buoyancy in high water table conditions. Additional anchoring may however be necessary as determined by the specifying engineer. Tie-down locations are incorporated to the tank and can be used in conjunction with coated stainless steel cables and an applicable anchor method based on substrate. Specific requirements to be determined by specifying engineer.
2. **BACKFILLING & FINISHED CONCRETE SLAB (TRAFFIC LOAD RATED)**
  - 2.1 Endura® XL is supplied standard with traffic rated covers designed in accordance with AASHTO 304 - H20 (18,000lbs) and approved to CSA B481.0 Class "E" -26°F to +100°F (+38°C).
  - 2.2 Preparation of sub grade per local jurisdictional recommendations.
  - 2.3 Stabilize and compact sub grade to 85% proctor per Excavation information above.
  - 2.3 Fill tank with water (to discharge level) to prevent movement during backfilling process and to resist backfill loss.
  - 2.4 Before backfilling and pouring of slab, install riser(s) (as necessary) and cover assembly to suit finished floor/grade level.
  - 2.5 Backfill using crushed aggregate material approximately 3/4" size rock, pea gravel or sand.
  - 2.6 Place minimum 6" aggregate base (or soil) poured structural slab. Aggregate should be 3/4" size rock or pea shingle.
  - 2.7 Thickness of concrete around cover to be determined by specifying engineer. If traffic loading is required refer to local specifying engineer recommendations and/or local code requirements. Note: Concrete slab dimensions shown are for illustration purposes only.
  - 2.8 Concrete to be 28 day compressive strength to 4000 PSI. Reinforcers with No.4 rebar (1/2") grade 60 steel per ASTM A615; connected with wire. Rebar to be 2"x4" from edge of concrete. Rebar spacing 12" grid, 4" spacing around access openings.
3. **PIPING CONNECTIONS**
  - 3.1 All Endura® XL Grass Interceptors are manufactured with no hub connections. Threaded connections are available from your Endura distributor supplying the product code with "T" - i.e. 40100AB7.
  - 3.2 Locally approved mechanical joint (MJ) couplings are used to connect the inlet and outlet piping to the tank. This allows transition to different piping materials as required.
  - 3.3 Make system piping connections using locally approved MJ couplings installing to manufacturer's instructions. Review all field-made connections for leaks before backfilling begins. Isolate the tank from the system both up and down stream and fill tank with water, submersing the inlet and outlet fully below the water level. **DO NOT PRESSURE TEST - Risk of serious Injury or Death.**
  - 3.4 **DO NOT** decrease pipe diameter across the unit (i.e. 4 inch inlet, 3 inch outlet). If the piping system needs to be reduced, use appropriate mechanical joint reduces consistent with the direction of flow and installed in compliance with local code.
4. **EXTENSION RISERS (Optional)**
  - 4.1 Endura® XL Extension Risers provide a maximum of 35" extension per riser. Based on maximum installation depth up to a maximum of 72" depth of burial can be achieved (see 1.4 above), adding Extension Risers (or part thereof) during installation. Risers are cut to length on site to suit installation.
  - 4.2 Remove cover from interceptor. Set aside for use at finished grade/floor level.
  - 4.3 Secure riser to tank frame remains in place) using folings provided. Ensure seal is correctly located.
  - 4.4 Secure the 1-1/2" adapter fitting supplied with the Extension Kit to the thread on the top of the handle mechanism. Cut and extend a length of 1 1/2" DNW pipe per instructions supplied.
  - 4.5 For custom riser length - measure from tank frame to finished grade/floor level. Subtract 1 1/2". Cut cleanly by hand or mechanical means using guide rings molded into the riser to give clean straight cut. Note - Horizontal surface of cover will be 0.5" above finished floor/grade.
  - 4.6 Fit riser seal provided over the cut edge of the steel and locate frame (supplied) over the seal making sure it is fully seated. Secure with lip screws provided using the pre-drilled locations in frame.
  - 4.7 Repeat process for additional riser if/as required.
  - 4.8 With frame installed and verified at the correct height, pass the handle extension support over the 1 1/2" DNW and secure the support to the frame with the screw provided. Solvent weld a 1/4" vent tee on top of the pipe to act as a handle.
  - 4.9 Re-fit the original cover(s) provided with the interceptor.



**NOTES:**  
 Endura XL grass interceptors are riser and supplied with an internal flow control system already in place. They do not require an external flow control system or an intake vent unless specified by local code requirements or being operated as a POI G-101 installation. Endura XL grass interceptors are only to be installed in the manner and for the application shown. Consult local codes for separate stopping requirements, clearance locations and additional installation instructions. Full instructions information supplied with every interceptor.



Reviewed

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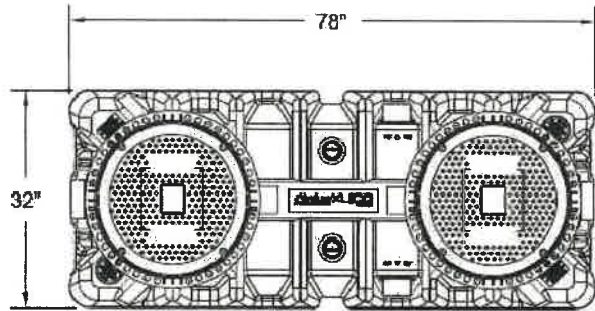
1007 RIDGE RD.  
 ROCKWALL, TX 75087

ISSUE LOG	
DATE	DESCRIPTION

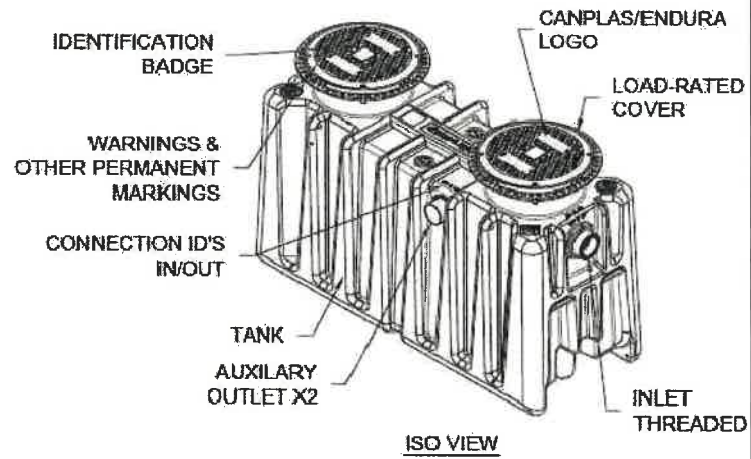
SCALE  
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DATE  
 09/11/2023

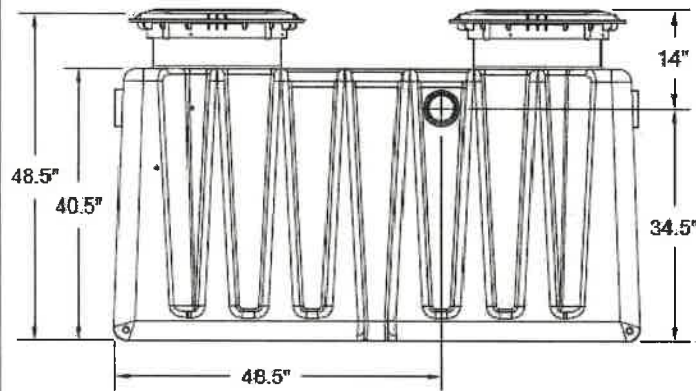
SHEET  
 P.1.03



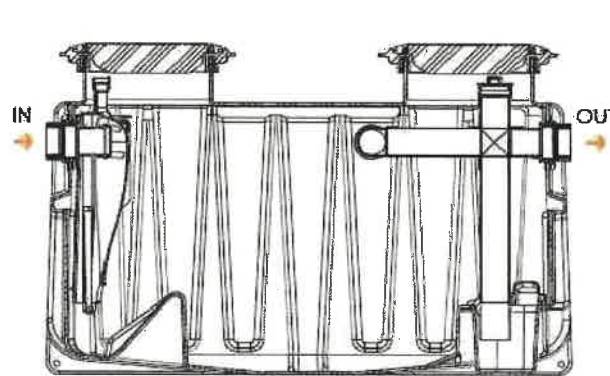
TOP VIEW



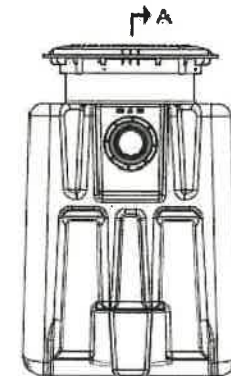
ISO VIEW



FRONT VIEW



SECTION A-A



SIDE VIEW



Reviewed

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1007 RIDGE RD.  
 ROCKWALL, TX 75087

ISSUE LOG	DATE	DESCRIPTION

SCALE  
 1/8" = 1'-0"

DATE  
 09/11/2023

SHEET  
 P1.02



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 11/20/2023

PROJECT NUMBER: SP2023-042  
PROJECT NAME: Amended Site Plan for 1007 Ridge Road  
SITE ADDRESS/LOCATIONS: 1007 RIDGE RD

CASE CAPTION: Discuss and consider a request by Kamran Khan for the approval of an Amended Site Plan for an existing general retail building on a 0.55-acre parcel of land identified as Lot 1, Block A, Burgamy Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 1007 Ridge Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	11/20/2023	Approved w/ Comments

11/20/2023: SP2023-042: Amended Site Plan for an Existing General Retail Building  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of an Amended Site Plan for an existing general retail building on a 0.55-acre parcel of land identified as Lot 1, Block A, Burgamy Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 1007 Ridge Road.
- I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (SP2023-042) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**M.5 Building Elevations:**

- (1) Please indicate what building materials will be used for the increased parapet height. (Subsection 06.02, Article 05, UDC)
- (2) Please cross-hatch any proposed roof top units on building elevations. (Subsection 04.01. C, of Article 05, UDC)
- (3) The current codes require all RTU's to be fully screened from all adjacent properties. Currently, there is no parapet on the rear side of the building. Screening of the RTU's will

be required. Please indicate how the RTU's will be screened.

(4) All structures less than 6,000 SF shall have a pitched roof. In this case, the existing building has a mansard roof on a portion of the structure. By removing this roof element, it makes the existing building less in conformance with the General Overlay District Standards; however, this can be granted through a variance by the Planning and Zoning Commission. (Subsection 04.01, Article 05, UDC)

(5) Please note that the code requires the back sides of the parapet to be finished in the same material as the outward facing façade. In this case, the proposed parapet elements will extend above the existing roof line and will be required to be clad in the same materials as the front façade, please indicate conformance to this requirement on the plans (Subsection 06.02, of Article 05, UDC)

#### M.6 Dumpster Screening

- (1) Indicate/delineate the dumpster location. (Subsection 01.05, of Article 05, UDC)
- (2) Indicate the dumpster enclosure height. Dumpster enclosures are required to be eight (8) feet in in an overlay district. (Subsection 01.05, of Article 05, UDC)
- (3) Indicate that the dumpster enclosure will utilize the same masonry materials as the primary building. (Subsection 01.05, of Article 05, UDC)
- (4) Indicate that the dumpster enclosure will have a self-latching gate. (Subsection 01.05, of Article 05, UDC)

I.7 Staff has identified the following possible exception(s) and variance(s) associated with the proposed request: [1] Roof Design Standards, [2] HVAC Screening. Please provide a variance letter that requests this variance.

I.8 Please note that failure to address all comments provided by staff by 3:00 PM on December 5, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 5, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 28, 2023 Planning & Zoning Meeting.

I.10 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Meeting will be held on November 28, 2023.

I.11 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/14/2023	Approved w/ Comments

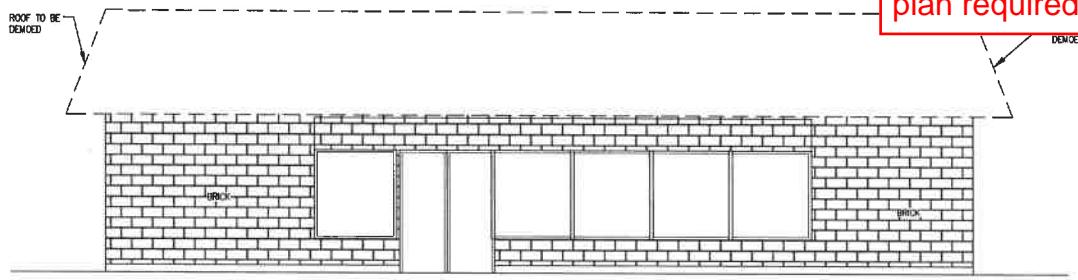
- 11/14/2023: 1. If anything on site is changing/relocating, full site plan required.  
2. Need overall site plan showing dumpster area.  
3. Need to show oil/water separator for dumpster area. Must drain to the storm system...not the sanitary sewer.  
4. This will need to be shown on the site plan.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	11/16/2023	Needs Review

- 11/16/2023: \* NEED SITE PLAN FOR DUMPSTER ENCLOSURE LOCATION  
\* DUMPSTER ENCLOSURE MUST MEET MINIMUM SIZE REQUIREMENTS - CURRENTLY DOESN'T  
\* DUMPSTER ENCLOSURE MUST HAVE AN INLET OR TRENCH DRAIN THAT FLOWS THROUGH AND OIL/WATER SEPARATOR (SIZED BY AN ENGINEER) PRIOR TO DISCHARGING TO THE STORM LINE  
\* GREASE TRAP TO BE SIZED BY AN ENGINEER

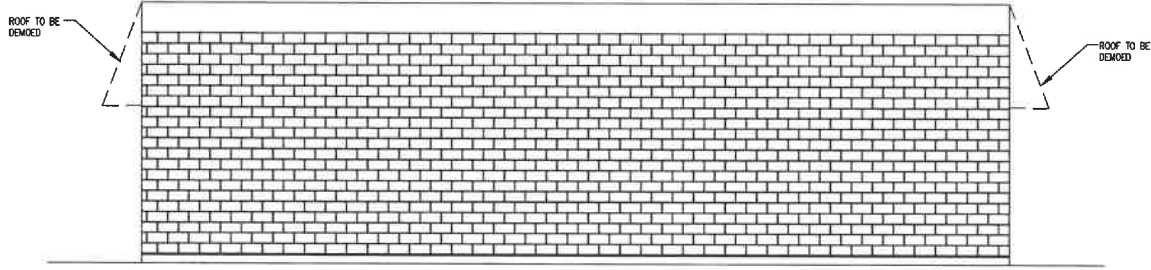
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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FIRE	Ariana Kistner	11/17/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/14/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	11/20/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/14/2023	Approved
No Comments			



EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"

If anything on site is changing/relocating, full site plan required.

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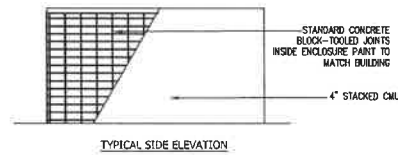
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SHEET  
 A2.01

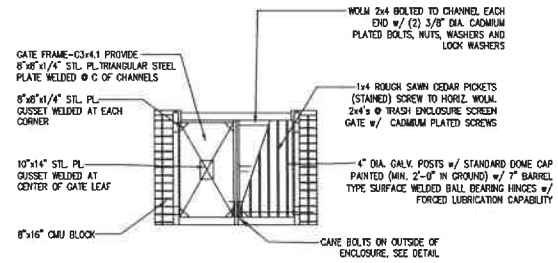
TYPICAL FLOORPLAN NOTES:

1. DOWEL CONC. WALK INTO FOUNDATION WALL AT EXTERIOR DOORS AND STOREFRONT DOORS, AND AT STOREFRONT SYSTEM.
2. REFERENCE STRUCTURAL DRAWINGS FOR COLUMN DESIGNATIONS AND ADDITIONAL INFORMATION.
3. REFERENCE MEP DRAWINGS FOR UTILITIES RUN UNDER SLAB. PROVIDE 2' SQ. LEAVE OUT AT STUB-UP & CLEAN OUTS, UNLESS NOTED OTHERWISE.
4. SITE CONTRACTOR IS RESPONSIBLE FOR UTILITIES BEYOND 5'-0" OF BUILDING PERIMETER.
5. REFERENCE ELEVATIONS FOR TRANSOM WINDOW LOCATIONS AND REFERENCE NUMBERS.
6. REFER TO EXTERIOR ELEVATIONS FOR EXTENT OF STOREFRONT WORK.



DUMPSTER ENCLOSURE SIDE ELEVATION

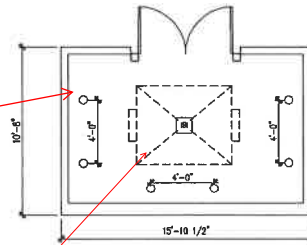
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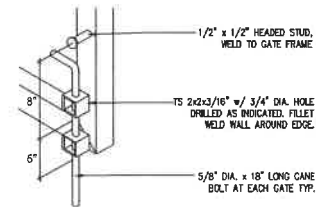
DUMPSTER ENCLOSURE FRONT ELEVATION

SCALE: N.T.S.

Need overall site plan showing dumpster area

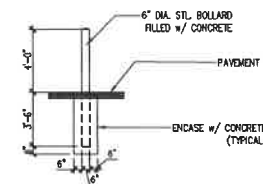


Need to show oil/water separator for dumpster area. Must drain to the storm system...not the sanitary sewer



CANE BOLT DETAIL

SCALE: N.T.S.



BOLLARD DETAIL

SCALE: N.T.S.

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 ROCKWALL, TX 75087

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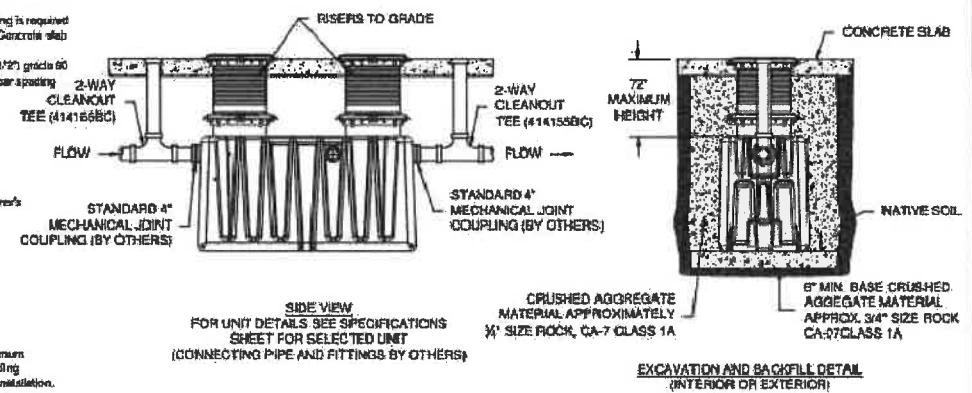
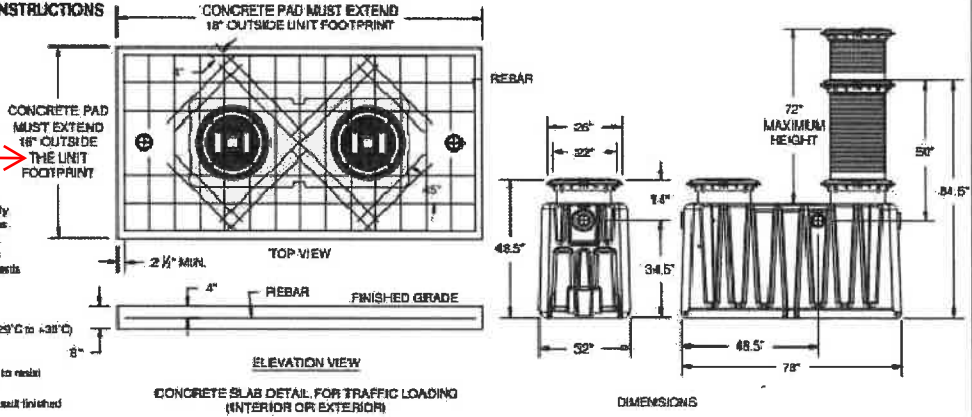
SHEET  
 A3.01

**Endura® XL - INTERIOR OR EXTERIOR BELOW GRADE INSTALLATION INSTRUCTIONS**  
**BELOW GRADE INSTALLATION INSTRUCTIONS**

1. EXCAVATE to install the unit within 25ft on all sides.
- 1.1 Within 25ft on all sides.
- 1.2 Depth of excavation (Endura® XL) 140150A2X).
- 1.3 Set the 1/2" gravel or Endura® XL.
- 1.4 Additional Tie-down restraints to be determined by specifying engineer.
2. BACKFILLING & FINISHED CONCRETE SLAB (TRAFFIC LOAD RATED)
- 2.1 Endura® XL is supplied standard with traffic rated covers designed in accordance with AASHTO 304 - H20 (18 000lbs) and approved to CSA B481.0 Class 'E' -26°F to +100°F (25°C to +38°C).
- 2.2 Preparation of sub grade per local jurisdictional code requirements.
- 2.3 Stabilize and compact sub grade to 85% proctor per Excavation information above.
- 2.4 Fill tank with water (to discharge level) to prevent movement during backfilling process and to resist backfill load.
- 2.5 Before backfilling and panning of slab, install riser (if necessary) and cover assembly to suit finished floor/grade level.
- 2.6 Backfill using crushed aggregate material approximately 3/4" size rock, pea gravel or sand.
- 2.7 Place minimum 6" aggregate base (or soil) poured structural slab. Aggregate should be 3/4" size rock or pea gravel.
- 2.8 Thickness of concrete around cover to be determined by specifying engineer. If traffic loading is required refer to local specifying engineer recommendations and/or local code requirements. Note: Concrete slab dimensions shown are for illustration purposes only.
- 2.9 Concrete to be 28 day compressive strength to 4000 PSI. Reinforcers with No.4 rebar (#12) grade 60 steel per ASTM A615; connected with 1/2" wire. Rebar to be 2" from edge of concrete. Rebar spacing 12" grid, 4" spacing a round access openings.
3. PIPING CONNECTIONS
- 3.1 All Endura® XL Grease Interceptors are manufactured with no hub connections. Threaded connections are available from your Endura distributor supplying the product code with "T" - i.e. 4010CA8T.
- 3.2 Locally approved mechanical joint (MJ) couplings are used to connect the inlet and outlet piping to the tank. This allows transition to different piping materials as required.
- 3.3 Make system piping connections using locally approved MJ couplings installing to manufacturer's instructions. Review all field-made connections for leaks before backfilling begins. Isolate the tank from the system both up and down stream and fill tank with water, submersing the inlet and outlet fully below the water level. **DO NOT PRESSURE TEST - Risk of serious Injury or Death.**
- 3.4 **DO NOT** decrease pipe diameter across the unit (i.e. 4 inch inlet, 3 inch outlet). If the piping system needs to be reduced, use appropriate mechanical joint reduces consistent with the direction of flow and installed in compliance with local code.
4. EXTENSION RISERS (Optional)
- 4.1 Endura® XL Extension Risers provide a maximum of 35" extension per riser. Based on maximum installation depth up to a maximum of 72" depth of burial can be achieved (see 1.4 above), adding Extension Risers (or part thereof) during installation. Risers are cut to length on site to suit installation.
- 4.2 Remove cover from interceptor. Set aside for use at finished grade/floor level.
- 4.3 Secure riser to tank frame remains in place) using folings provided. Ensure seal is correctly located.
- 4.4 Secure the 1-1/2" adapter fitting supplied with the Extension Kit to the thread on the top of the handle mechanism. Cut and extend a length of 1 1/2" DNW pipe per instructions supplied.
- 4.5 For custom riser length - measure from tank frame to finished grade/floor level. Subtract 1 1/2". Cut cleanly by hand or mechanical means using guide rings molded into the riser to give clean straight cut. Note - Horizontal surface of cover will be 0.5" above finished floor/grade.
- 4.6 Fit riser seal provided over the cut edge of the riser and locate frame (supplied) over the seal making sure it is fully seated. Secure with lip screws provided using the pre-drilled locaters in frame.
- 4.7 Repeat process for additional riser if/as required.
- 4.8 With frame installed and verified at correct height, pass the handle extension support over the 1 1/2" DNW and secure the support to the frame with the screw provided. Solvent weld a 1/4" vent tee cut top of the pipe to act as a handle.
- 4.9 Re-fit the original cover(s) provided with the interceptor.

This will need to be shown on the site plan.

Interceptors being serviced. Ideally the inlet of the interceptor, rather than the tank dimensions bottom, frame the air admission chamber unless otherwise available approximately 3/4" size rock, pea gravel or sand in high water table conditions. Consulted by the specifying engineer. Be used in conjunction with coated steel or stainless. Specific requirements to be determined by specifying engineer.



**NOTES:**  
 Endura XL grease interceptors are riser and supplied with an internal flow control system already in place. They do not require an external flow control system or an intake vent unless specified by local code requirements or being operated as a POI GI-101 installation. Endura XL grease interceptors are only to be installed in the manner and for the application shown. Consult local codes for separate trapping requirements, clearance locations and additional installation instructions. Full instructions information supplied with every interceptor.



Reviewed

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 ROCKWALL, TX 75087

ISSUE LOG	
DATE	DESCRIPTION

SCALE  
 1/8" = 1'-0"

DATE  
 09/11/2023

SHEET  
 P.1.03



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1007 Ridge Rd

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial / Retail

CURRENT USE C-Store

PROPOSED ZONING Commercial Retail

PROPOSED USE C-Store

ACREAGE \_\_\_\_\_

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kamran Khan

APPLICANT \_\_\_\_\_

CONTACT PERSON Abel Cisneros

CONTACT PERSON \_\_\_\_\_

ADDRESS 805 Green Pond Dr.

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Garland TX 75040

CITY, STATE & ZIP \_\_\_\_\_

PHONE 214-907-6355

PHONE \_\_\_\_\_

E-MAIL notutexasbrands@gmail.com

E-MAIL \_\_\_\_\_

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kamran Ahmed Khan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

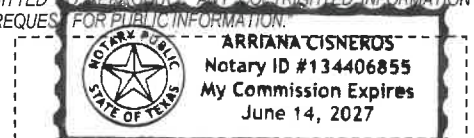
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 24 DAY OF October 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 24 DAY OF October, 2023

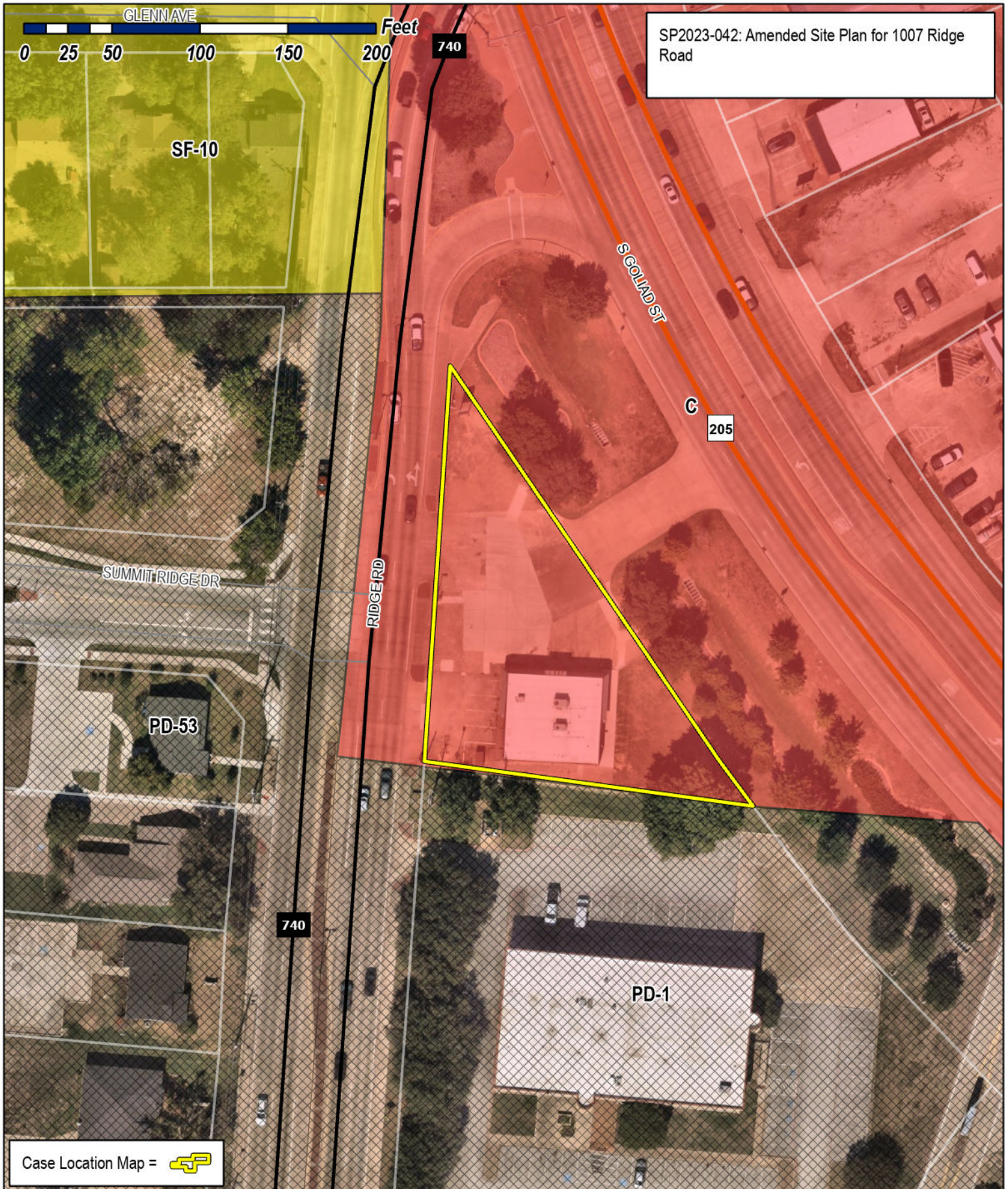
OWNER'S SIGNATURE

Kamran Khan

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES June 14, 2027



SP2023-042: Amended Site Plan for 1007 Ridge Road

Case Location Map = 



# City of Rockwall

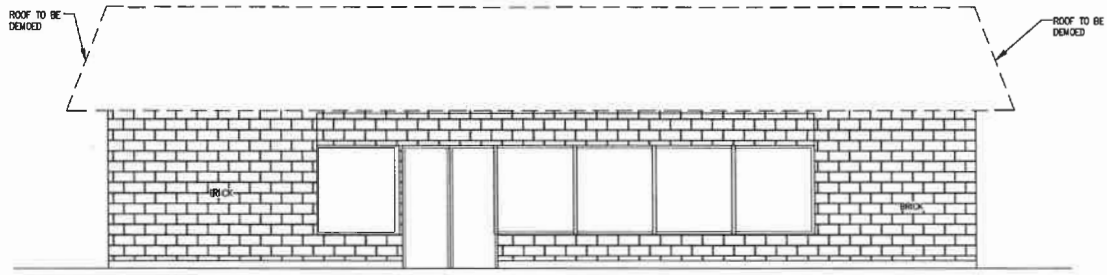
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



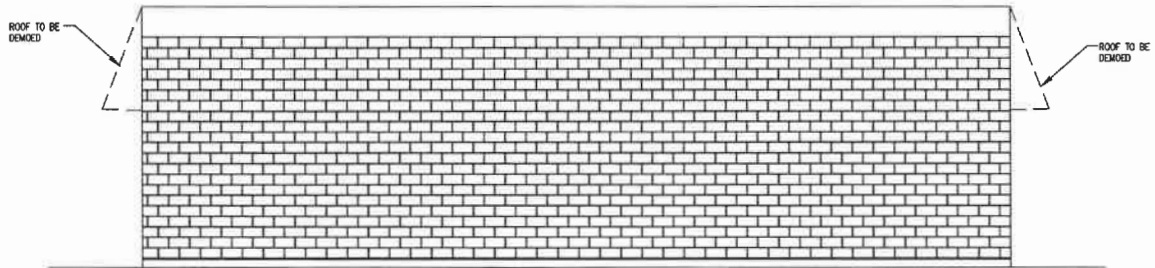






EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"

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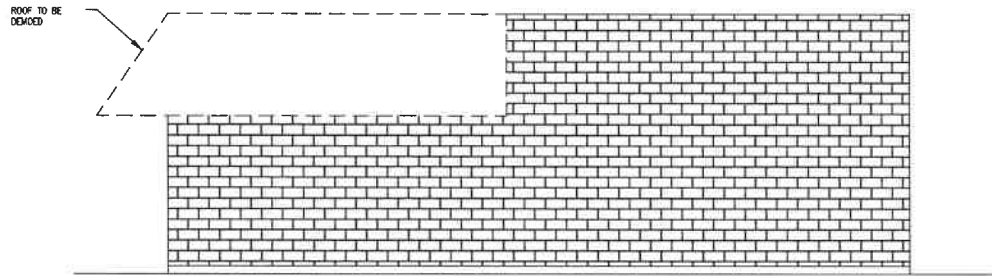
1007 RIDGE RD,  
 ROCKWALL, TX 75087

ISSUE LOG	
DATE	DESCRIPTION

SCALE  
 1/8" = 1'-0"

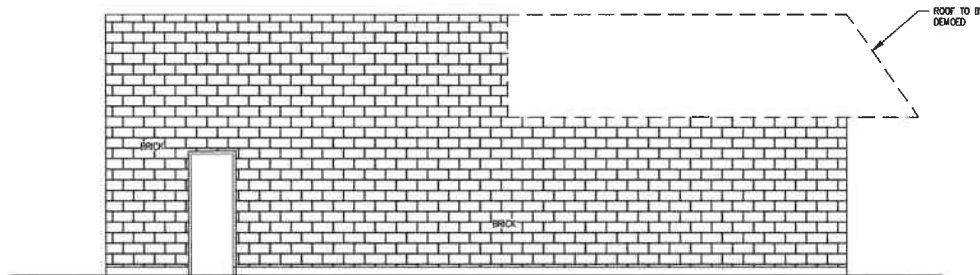
DATE  
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SHEET  
 A2.01



EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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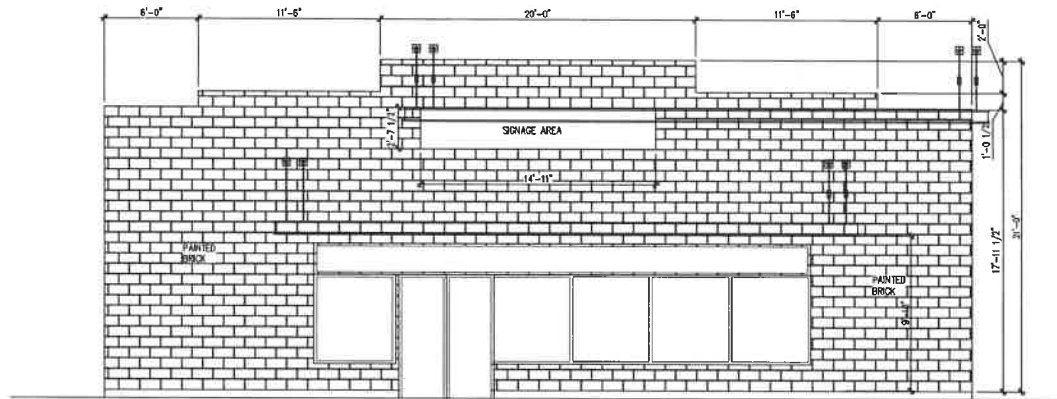
1007 RIDGE RD.  
 ROCKWALL, TX 75087

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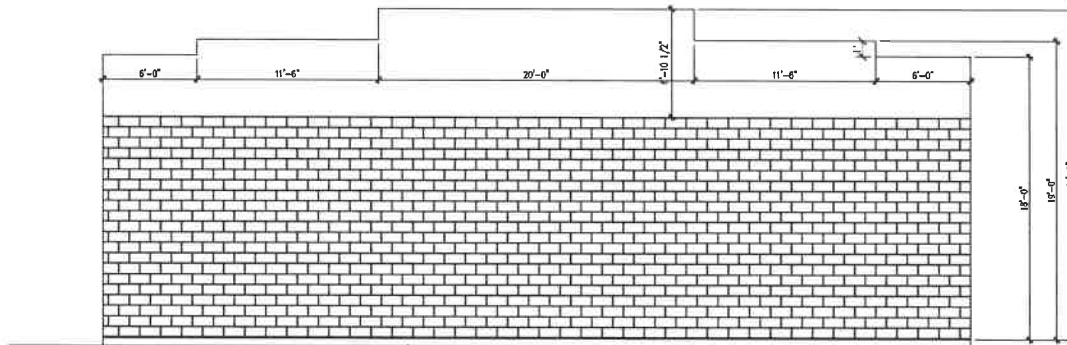
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SHEET  
 A2.02



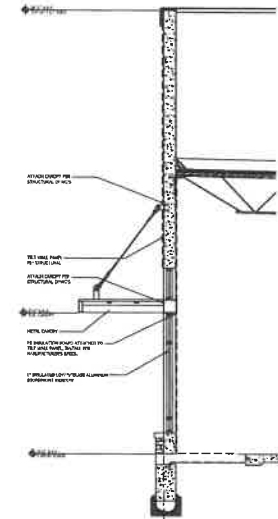
NEW FRONT ELEVATION

SCALE: 1/8" = 1'-0"



NEW REAR ELEVATION

SCALE: 1/8" = 1'-0"



AWNING DETAIL

SCALE: N.T.S.

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1007 RIDGE RD.  
 ROCKWALL, TX 75087

ISSUE LOG
DATE DESCRIPTION

SCALE  
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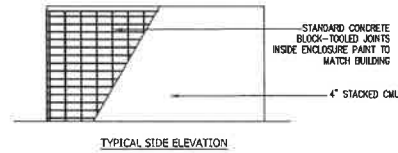
DATE  
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SHEET  
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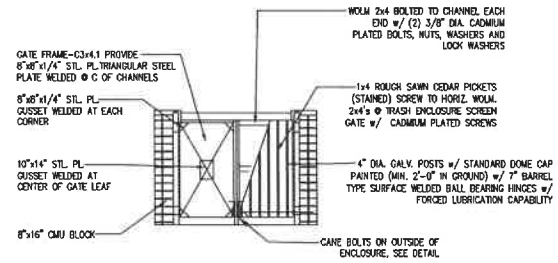
TYPICAL FLOORPLAN NOTES:

1. DOWEL CONC. WALK INTO FOUNDATION WALL AT EXTERIOR DOORS AND STOREFRONT DOORS, AND AT STOREFRONT SYSTEM.
2. REFERENCE STRUCTURAL DRAWINGS FOR COLUMN DESIGNATIONS AND ADDITIONAL INFORMATION.
3. REFERENCE MEP DRAWINGS FOR UTILITIES RUN UNDER SLAB. PROVIDE 2' SQ. LEAVE OUT AT STUB-UP & CLEAN OUTS, UNLESS NOTED OTHERWISE.
4. SITE CONTRACTOR IS RESPONSIBLE FOR UTILITIES BEYOND 5'-0" OF BUILDING PERIMETER.
5. REFERENCE ELEVATIONS FOR TRANSOM WINDOW LOCATIONS AND REFERENCE NUMBERS.
6. REFER TO EXTERIOR ELEVATIONS FOR EXTENT OF STOREFRONT WORK.



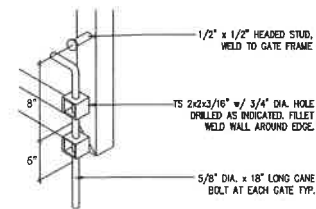
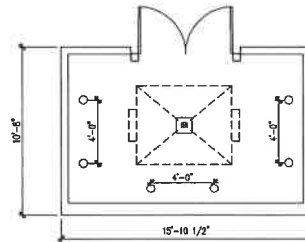
DUMPSTER ENCLOSURE SIDE ELEVATION

SCALE: N.T.S.



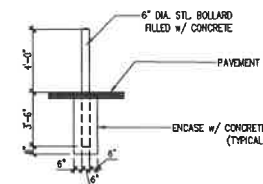
DUMPSTER ENCLOSURE FRONT ELEVATION

SCALE: N.T.S.



CANE BOLT DETAIL

SCALE: N.T.S.



BOLLARD DETAIL

SCALE: N.T.S.

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1007 RIDGE RD.  
 ROCKWALL, TX 75087

ISSUE LOG	
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1/8" = 1'-0"

DATE  
09/11/2023

SHEET  
A3.01

**GENERAL NOTES**

- CONSTRUCTION: COMPLY WITH APPLICABLE CODES AND RELATED AMENDMENTS.
- THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS, OR FULL INFORMATION NECESSARY FOR THE COMPLETE CONSTRUCTION OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER.
- NOTIFY ARCHITECT AND OWNER OF ERRORS, OMISSIONS, AND DISCREPANCIES IN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND ACTUAL SITE CONSTRUCTION CONDITIONS. ERRORS, OMISSIONS, AND DISCREPANCIES MUST BE RESOLVED AND DOCUMENTED BEFORE CONTINUING CONSTRUCTION WITH THE WORK IN QUESTION. FAILURE TO NOTIFY THE OWNER AND ARCHITECT IN SUCH AN EVENT SHALL CONSTITUTE ACCEPTANCE OF ANY RESULTING OBLIGATIONS OR RESPONSIBILITIES WITH REGARDS TO DELAYS, COSTS, CODE COMPLIANCE, AND LEGAL REMEDIES RESULTING FROM THIS OR RELATED WORK.
- CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS BY OWNERS CONSULTANTS.
  - ARCHITECT'S ELECTRICAL, MECHANICAL, AND PLUMBING PLANS ARE DIAGRAMMATIC ONLY. ACTUAL DESIGN BY OWNER'S CONSULTANT.
  - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR GRADING AND DRAINAGE REQUIREMENTS.
  - REFER TO STRUCTURAL ENGINEER FOR STRUCTURAL DESIGN, SPECIFICATIONS, AND DETAILS; INCLUDING REQUIRED RETAINING WALLS, WATERPROOFING, AND FRENCH DRAIN SYSTEMS.
  - COORDINATE SOIL COMPACTION REQUIREMENTS BEHIND RETAINING WALLS WITH STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR THE ACCURACY AND CORRECTNESS OF SAME.
- VERIFY TYPE AND LOCATION OF UTILITIES SERVING SITE.
- REFER TO ELEVATIONS FOR ROOFS TO BE GUTTERED. SUBMIT PROPOSED LOCATIONS OF GUTTERS AND DOWNSPOUTS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL.
- ALL FLOOR FINISH HEIGHTS TO MATCH. FLOOR ELEVATIONS AT SECOND FLOOR ARE GIVEN TO TOP OF FLOOR DECK.
- INSTALL STUDS AT CLOSET SIDE WALL ROD LOCATIONS, MEASURED 10" FROM BACK WALL.
- EXTERIOR MATERIALS AND FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS AND DETAILS.
- FIRE SPRINKLERS SYSTEMS: REFER TO LOCAL JURISDICTION FOR REQUIREMENTS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLING ANY EQUIPMENT. I.E. WINDOWS, STEEL, CAST STONE...ETC.
- THE CONTRACTOR SHALL PAY ALL FINES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS, AND OBTAIN

ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THE CONTRACT DOCUMENTS.

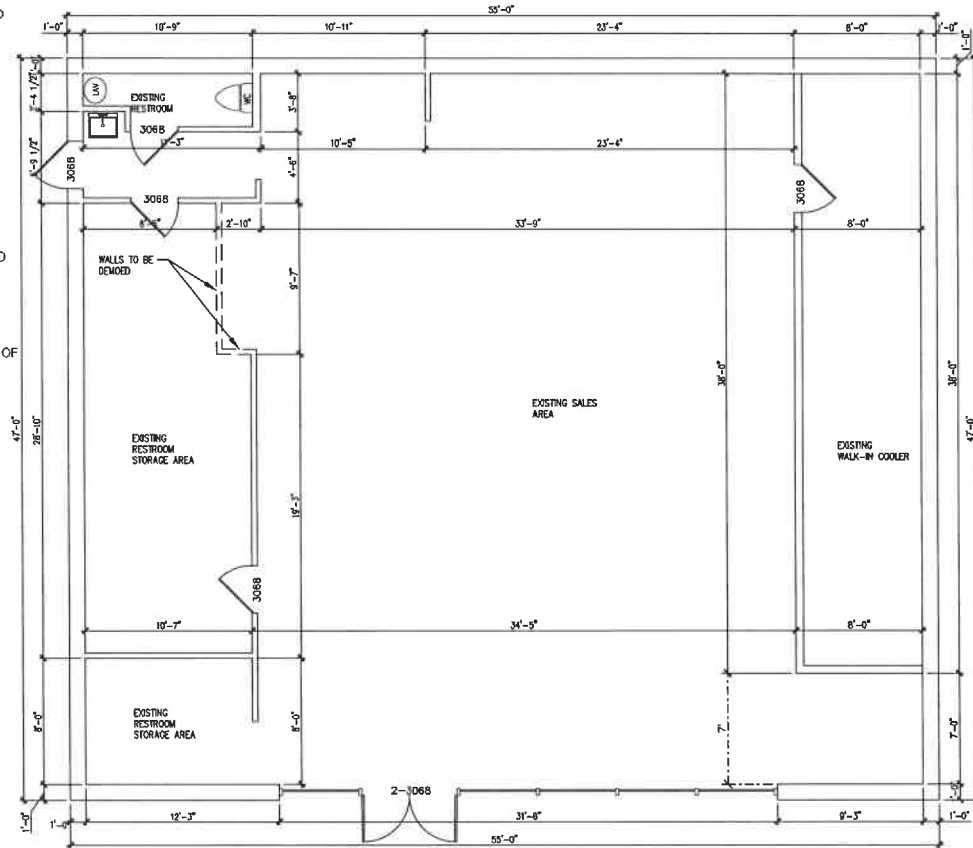
- ALL GARAGE DOORS SHALL HAVE REMOTE ACCESS. MATERIALS ON GARAGE WILL BE ALUMINUM WITH A LIGHT BRONZE FINISH.
- ALL CONCRETE AREAS SHALL FORMED WITH HIGH-STRENGTH CONCRETE MATERIAL AND SHALL HAVE A BRUSH FINISH WITH A STONE BOARD.
- EXISTING BACK YARD TREE SHALL BE USED TO MEET AND SATISFY REQUIREMENTS OF HOA AND SHALL COMPLY WITH CITY OF DESOTO TREE SURVEY.

**FOR DIMENSION PURPOSES:**

- DO NOT SCALE DRAWINGS.
- VERIFY DIMENSIONS: NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- WOOD STUD WALLS: 2x4'S @ 16" O.C. TO A MAXIMUM HEIGHT OF 10'-0", SUPPORTING ONE FLOOR, ROOF, AND CEILING. UNSUPPORTED WALL HEIGHTS EXCEEDING 10'-0" AND 3 STORY CONDITIONS REQUIRE STRUCTURAL ANALYSIS TO DETERMINE STUD SIZE AND SPACING.
- EXTERIOR WOOD STUD/MASONRY ASSEMBLIES: 9" w/2x4's, 11" w/2x6's, 13" w/2x8's
- INTERIOR WOOD STUDS DIMENSIONED TO CENTERLINE OF WALL. EXCEPTION: FLAT STUDS DIMENSIONED 2" THICK AND OVER 6" THICK STUD WALLS DIMENSIONED OUT-TO-OUT.
- WALL PLATE HEIGHTS: CROSS REFERENCE EXTERIOR ELEVATIONS, WALL SECTIONS, AND FASCIA DETAILS TO DETERMINE.

**CODE INFORMATION**

CODE INFORMATION	REQUIRED	PROVIDED
INTERNATIONAL BUILDING CODE (IBC)	2021	2021
INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	2021	2021
INTERNATIONAL MECHANICAL CODE (IMC)	2021	2021
NFPA 70 NATIONAL ELECTRICAL CODE (NEC)	2020	2020
INTERNATIONAL PLUMBING CODE (IPC)	2021	2021
INTERNATIONAL FIRE CODE (IFC)	2021	2021



**EXISTING FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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1007 RIDGE RD.  
 ROCKWALL, TX 75087

**ISSUE LOG**

DATE	DESCRIPTION

SCALE  
1/8" = 1'-0"

DATE  
08/11/2023

SHEET  
A1.00



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** December 12, 2023  
**APPLICANT:** Kamran Khan  
**CASE NUMBER:** SP2023-042; *Amended Site Plan for an Existing General Retail Building*

---

On July 6, 1959, the subject property was annexed into the City of Rockwall by *Ordinance No. 59-02 [i.e. Case No. A1959-002]*. At the time of annexation, the subject property was zoned Commercial (C) District and has remained zoned Commercial (C) District since annexation. In June 1977, the subject property was established as Lot 1, Block A, Burgamy Addition. According to Rockwall Central Appraisal District (RCAD), there is a 2,585 SF retail building currently situated on the subject property that was constructed in 1983. On November 13, 2023, the applicant -- *Kamran Khan* -- submitted an application for an *Amended Site Plan* proposing to make changes to the existing retail building. Based on the building elevations provided in the *Amended Site Plan*, the applicant is proposing changes to the existing building façade and adding a dumpster on the subject property. Based on the *General Overlay District Standards*, the proposed changes will require a variance to the following:

- (1) *Roof Design Standards*. According to Subsection 06.02(C)(2), of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint less than 6,000 SF shall be constructed with a pitched roof." In this case, the existing building has a partial mansard roof on the front of the structure. By removing this roof element, the applicant is bringing the existing building further out of conformance with the *General Overlay District Standards*. This will require a *variance* to be granted by the Planning and Zoning Commission.

According to Subsection 09.02 of Article 11, *Variances to the General Overlay District Standards*, of the Unified Development Code (UDC), "(i)n cases where a variance or variances is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception." Based on the provided building elevations, the proposed changes to the existing general retail store will require a variance to the roof design standards. Staff should note that even though there are no compensatory measures provided, the applicant is proposing improvements to the property that will bring the building closer in to conformance with the *General Overlay District Standards*. Specifically, when the existing retail store closed, new RTU's were placed on the roof that were not permitted. The applicant has indicated that they will be raising the parapet on three (3) sides of the building and finishing the parapet on the back side of the building. This will meet the HVAC screening requirements and will screen the RTU's reducing the visibility from the adjacent public rights-of-way. Based on this, staff feels the applicant's variance request warrants consideration without compensatory measures. With this being said, approval of variances are discretionary decisions for the Planning and Zoning Commission and do require a supermajority vote with a minimum of four (4) affirmative votes. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the *December 12, 2023* Planning and Zoning Commission meeting.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1007 Ridge Rd

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial / Retail

CURRENT USE C-Store

PROPOSED ZONING Commercial Retail

PROPOSED USE C-Store

ACREAGE \_\_\_\_\_

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Kamran Khan

APPLICANT

CONTACT PERSON

Abel Cisneros

CONTACT PERSON

ADDRESS

805 Green Pond Dr.

ADDRESS

CITY, STATE & ZIP

Garland TX 75040

CITY, STATE & ZIP

PHONE

214-907-6355

PHONE

E-MAIL

notutexasbrands@gmail.com

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kamran Ahmed Khan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 24 DAY OF October 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

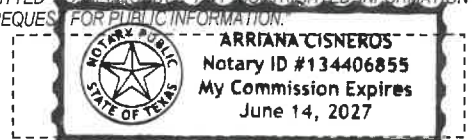
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 24 DAY OF October, 2023

OWNER'S SIGNATURE

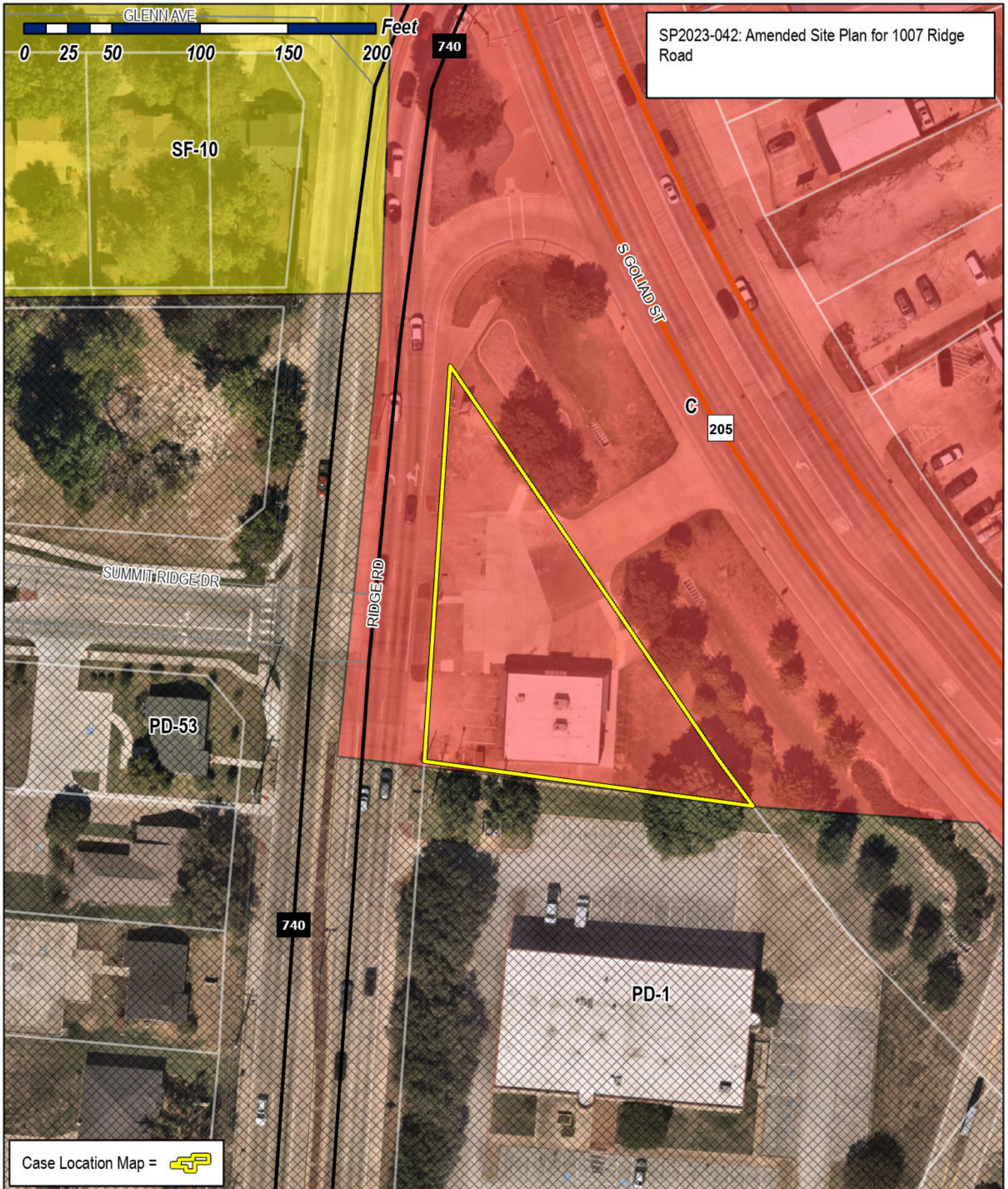
Kamran Khan

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



MY COMMISSION EXPIRES June 14, 2027



SP2023-042: Amended Site Plan for 1007 Ridge Road

Case Location Map = 



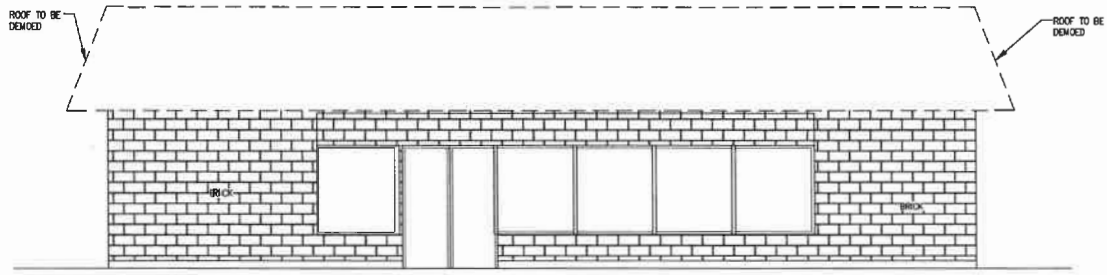
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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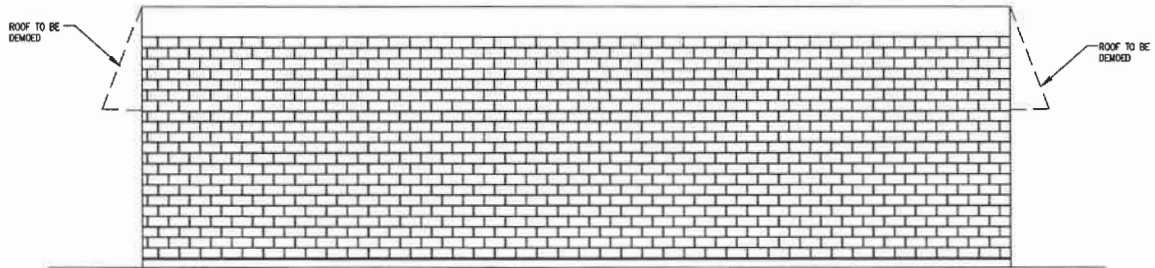






EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"

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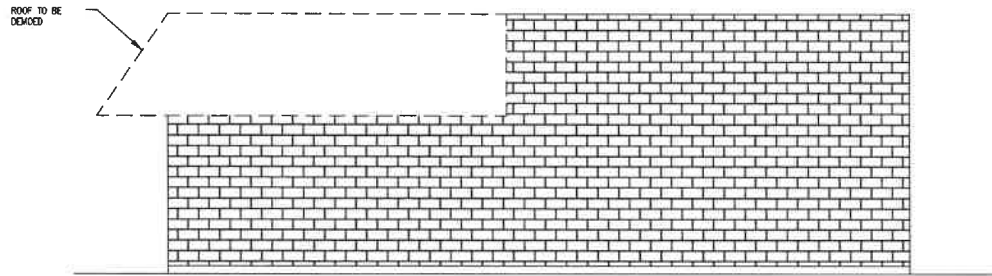
1007 RIDGE RD,  
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ISSUE LOG	
DATE	DESCRIPTION

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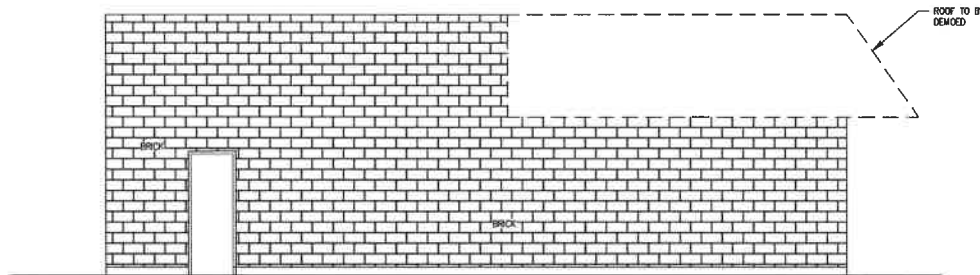
DATE  
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SHEET  
 A2.01



EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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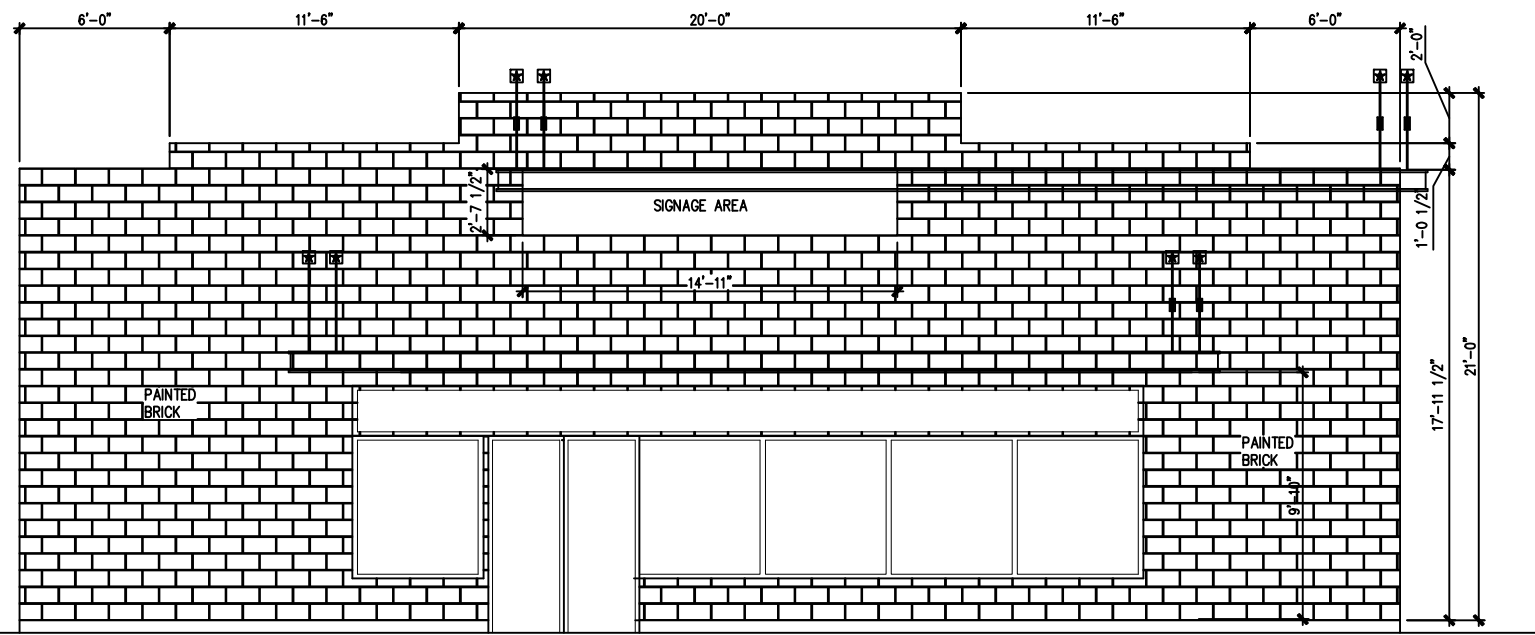
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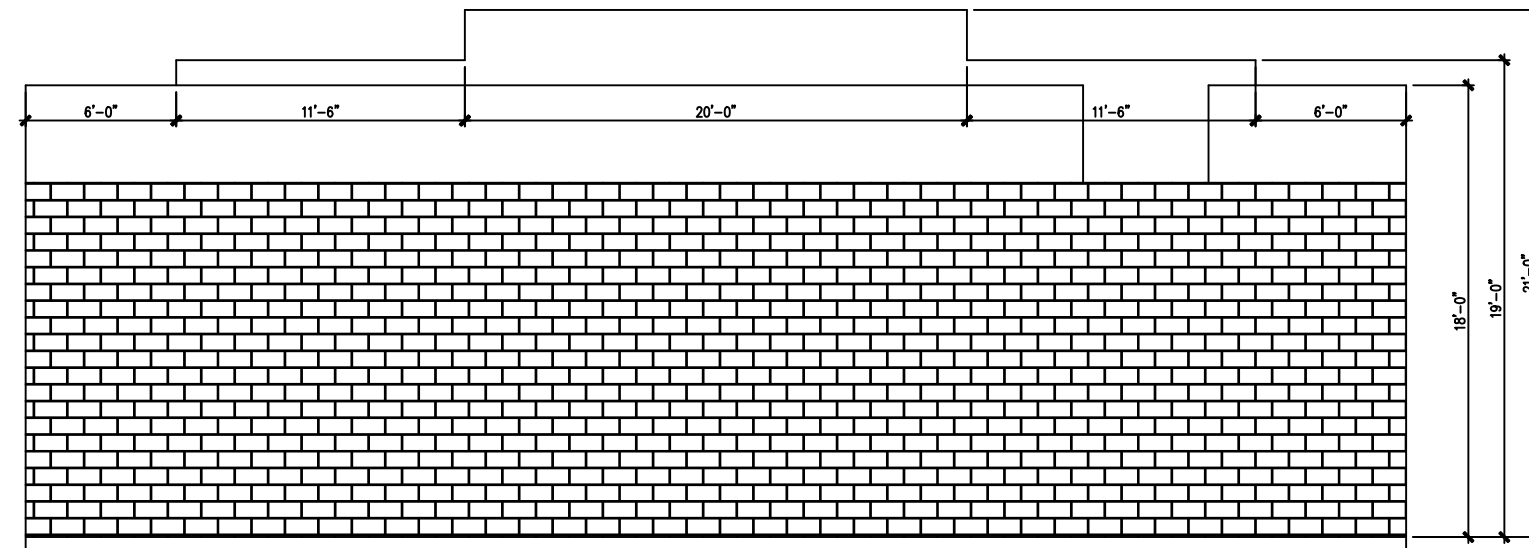
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SHEET  
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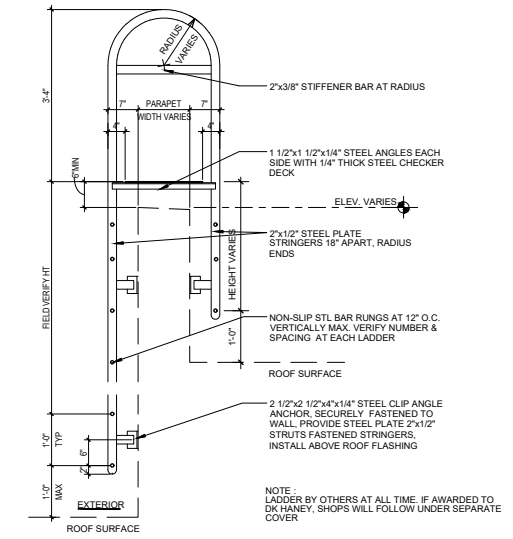
**NEW FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



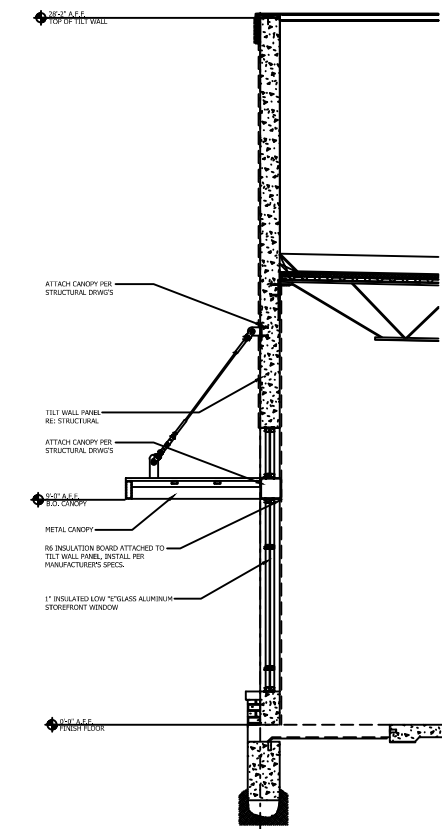
**NEW REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**1 TYP LADDER SIDE ELEVATION**

SCALE: 3/4" = 1'-0"



**AWING DETAIL**

SCALE: N.T.S.

ISSUE LOG	
DATE	DESCRIPTION

SCALE  
1/8" = 1'-0"

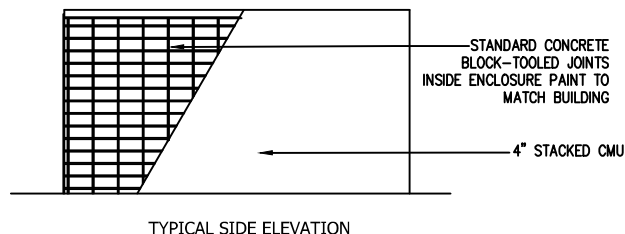
DATE  
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SHEET  
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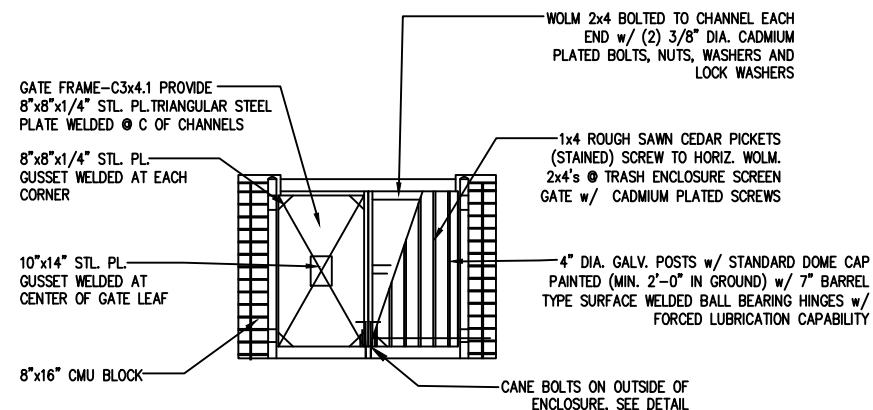
**TYPICAL FLOORPLAN NOTES:**

1. DOWEL CONC. WALK INTO FOUNDATION WALL AT EXTERIOR DOORS AND STOREFRONT DOORS, AND AT STOREFRONT SYSTEM.
2. REFERENCE STRUCTURAL DRAWINGS FOR COLUMN DESIGNATIONS AND ADDITIONAL INFORMATION.
3. REFERENCE MEP DRAWINGS FOR UTILITIES RUN UNDER SLAB. PROVIDE 2' SQ. LEAVE OUT AT STUB-UP & CLEAN OUTS, UNLESS NOTED OTHERWISE.
4. SITE CONTRACTOR IS RESPONSIBLE FOR UTILITIES BEYOND 5'-0" OF BUILDING PERIMETER.
5. REFERENCE ELEVATIONS FOR TRANSOM WINDOW LOCATIONS AND REFERENCE NUMBERS.
6. REFER TO EXTERIOR ELEVATIONS FOR EXTENT OF STOREFRONT WORK.



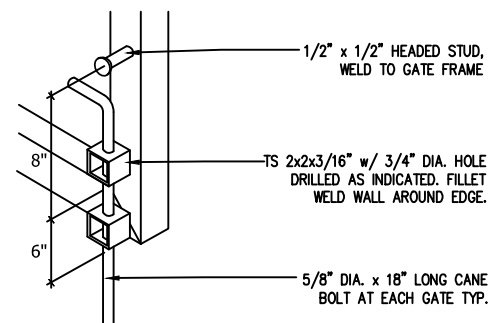
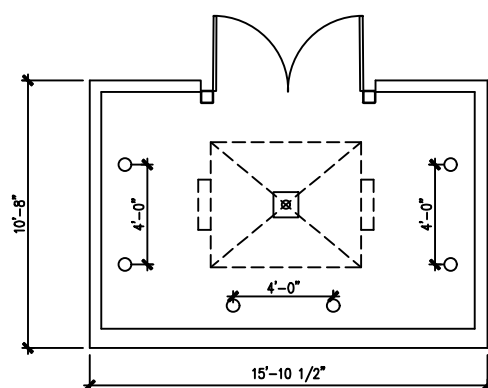
**DUMPSTER ENCLOSURE SIDE ELEVATION**

SCALE: N.T.S.



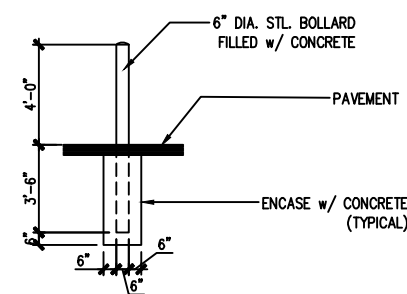
**DUMPSTER ENCLOSURE FRONT ELEVATION**

SCALE: N.T.S.



**CANE BOLT DETAIL**

SCALE: N.T.S.



**BOLLARD DETAIL**

SCALE: N.T.S.

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1/8" = 1'-0"

DATE  
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A3.01



**GENERAL NOTES**

- CONSTRUCTION: COMPLY WITH APPLICABLE CODES AND RELATED AMENDMENTS.
- THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS, OR FULL INFORMATION NECESSARY FOR THE COMPLETE CONSTRUCTION OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER.
- NOTIFY ARCHITECT AND OWNER OF ERRORS, OMISSIONS, AND DISCREPANCIES IN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND ACTUAL SITE CONSTRUCTION CONDITIONS. ERRORS, OMISSIONS, AND DISCREPANCIES MUST BE RESOLVED AND DOCUMENTED BEFORE CONTINUING CONSTRUCTION WITH THE WORK IN QUESTION. FAILURE TO NOTIFY THE OWNER AND ARCHITECT IN SUCH AN EVENT SHALL CONSTITUTE ACCEPTANCE OF ANY RESULTING OBLIGATIONS OR RESPONSIBILITIES WITH REGARDS TO DELAYS, COSTS, CODE COMPLIANCE, AND LEGAL REMEDIES RESULTING FROM THIS OR RELATED WORK.
- CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS BY OWNERS CONSULTANTS.
  - ARCHITECT'S ELECTRICAL, MECHANICAL, AND PLUMBING PLANS ARE DIAGRAMMATIC ONLY. ACTUAL DESIGN BY OWNER'S CONSULTANT.
  - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR GRADING AND DRAINAGE REQUIREMENTS.
  - REFER TO STRUCTURAL ENGINEER FOR STRUCTURAL DESIGN, SPECIFICATIONS, AND DETAILS; INCLUDING REQUIRED RETAINING WALLS, WATERPROOFING, AND FRENCH DRAIN SYSTEMS.
  - COORDINATE SOIL COMPACTION REQUIREMENTS BEHIND RETAINING WALLS WITH STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR THE ACCURACY AND CORRECTNESS OF SAME.
- VERIFY TYPE AND LOCATION OF UTILITIES SERVING SITE.
- REFER TO ELEVATIONS FOR ROOFS TO BE GUTTERED. SUBMIT PROPOSED LOCATIONS OF GUTTERS AND DOWNSPOUTS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL.
- ALL FLOOR FINISH HEIGHTS TO MATCH. FLOOR ELEVATIONS AT SECOND FLOOR ARE GIVEN TO TOP OF FLOOR DECK.
- INSTALL STUDS AT CLOSET SIDE WALL ROD LOCATIONS, MEASURED 10" FROM BACK WALL.
- EXTERIOR MATERIALS AND FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS AND DETAILS.
- FIRE SPRINKLERS SYSTEMS: REFER TO LOCAL JURISDICTION FOR REQUIREMENTS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLING ANY EQUIPMENT. I.E. WINDOWS, STEEL, CAST STONE...ETC.
- THE CONTRACTOR SHALL PAY ALL FINES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS, AND OBTAIN

ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THE CONTRACT DOCUMENTS.

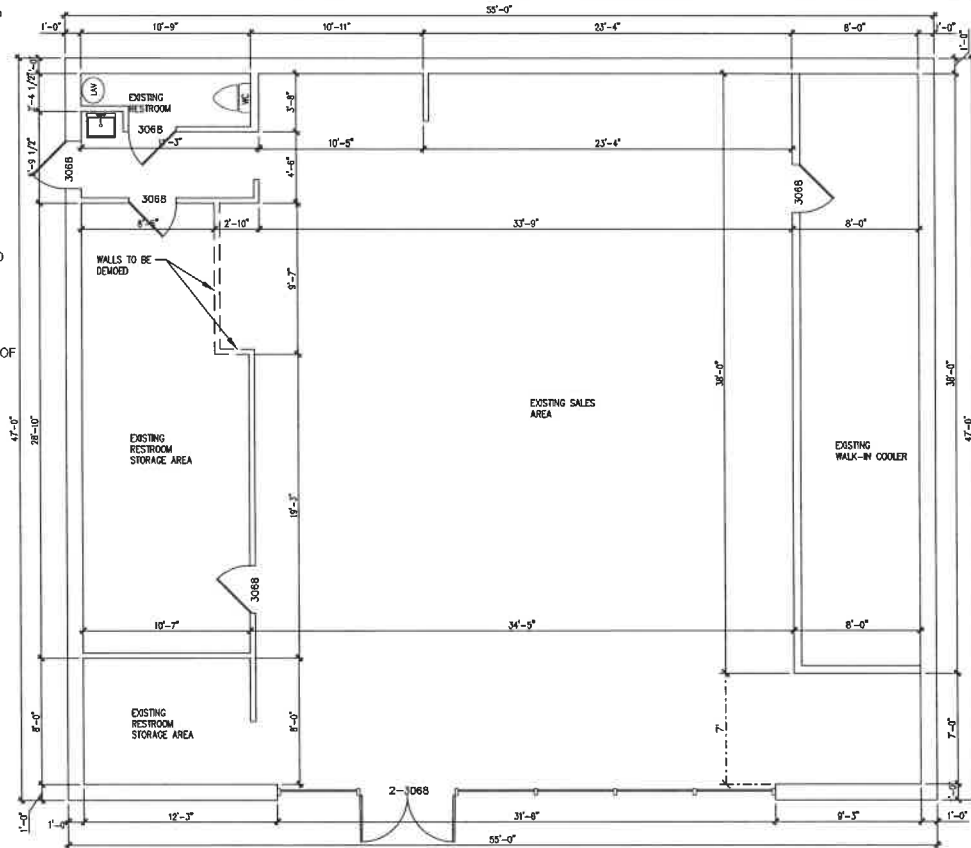
- ALL GARAGE DOORS SHALL HAVE REMOTE ACCESS. MATERIALS ON GARAGE WILL BE ALUMINUM WITH A LIGHT BRONZE FINISH.
- ALL CONCRETE AREAS SHALL FORMED WITH HIGH-STRENGTH CONCRETE MATERIAL AND SHALL HAVE A BRUSH FINISH WITH A STONE BOARD.
- EXISTING BACK YARD TREE SHALL BE USED TO MEET AND SATISFY REQUIREMENTS OF HOA AND SHALL COMPLY WITH CITY OF DESOTO TREE SURVEY.

**FOR DIMENSION PURPOSES:**

- DO NOT SCALE DRAWINGS.
- VERIFY DIMENSIONS: NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- WOOD STUD WALLS: 2x4'S @ 16" O.C. TO A MAXIMUM HEIGHT OF 10'-0", SUPPORTING ONE FLOOR, ROOF, AND CEILING. UNSUPPORTED WALL HEIGHTS EXCEEDING 10'-0" AND 3 STORY CONDITIONS REQUIRE STRUCTURAL ANALYSIS TO DETERMINE STUD SIZE AND SPACING.
- EXTERIOR WOOD STUD/MASONRY ASSEMBLIES: 9" w/2x4's, 11" w/2x6's, 13" w/2x8's
- INTERIOR WOOD STUDS DIMENSIONED TO CENTERLINE OF WALL. EXCEPTION: FLAT STUDS DIMENSIONED 2" THICK AND OVER 6" THICK STUD WALLS DIMENSIONED OUT-TO-OUT.
- WALL PLATE HEIGHTS: CROSS REFERENCE EXTERIOR ELEVATIONS, WALL SECTIONS, AND FASCIA DETAILS TO DETERMINE.

**CODE INFORMATION**

CODE INFORMATION	REQUIRED	PROVIDED
INTERNATIONAL BUILDING CODE (IBC)	2021	2021
INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	2021	2021
INTERNATIONAL MECHANICAL CODE (IMC)	2021	2021
NFPA 70 NATIONAL ELECTRICAL CODE (NEC)	2020	2020
INTERNATIONAL PLUMBING CODE (IPC)	2021	2021
INTERNATIONAL FIRE CODE (IFC)	2021	2021



**EXISTING FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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DATE  
08/11/2023

SHEET  
A1.00



February 9, 2024

TO: Abel Cisneros  
305 Green Pond Drive  
Garland, TX 75040

FROM: Angelica Guevara, *Planning Technician*  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2023-042; *Amended Site Plan for 1007 Ridge Road*

Mr. Cisneros:

This letter serves to notify you that the above referenced case (*i.e. Amended Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on December 12, 2023. The following is a record of all recommendations, voting records and conditions of approval:

*Staff Recommendations*

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

*Planning and Zoning Commission*

On December 12 2023, the Planning and Zoning Commission approved a motion to approve the Amended Site Plan by a vote of 6-0, with Vice-Chairman Womble absent.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6438.

Sincerely,

A handwritten signature in blue ink, appearing to read 'AG', is positioned above the typed name of the sender.

Angelica Guevara, *Planning Technician*  
City of Rockwall Planning and Zoning Department